



Village of Arlington Heights
Conceptual Plan Review Committee
Virtual Meeting
December 16, 2020
6:00 PM

I. CALL TO ORDER

- A. In response to the COVID-19 pandemic, this meeting is being held virtually which permits the public to fully participate via their computers or using their phones.

To participate in the virtual meeting, please follow these instructions: <https://bit.ly/384O21I>

Individuals who wish to comment or ask a question on an item on the Agenda may either participate virtually or send an email to the Village at shubbard@vah.com. Please limit emails to 200 words or less. To be shared at the meeting, the email must be received by 3:00 p.m. on December 16, 2020.

II. ROLL CALL

III. APPROVAL OF MINUTES

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. Timber Ridge Gym Addition - 201 S. Evanston Ave. - T1719
SUP for School, Variations

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



**Conceptual Plan Review Committee
12/16/2020**

Item: Timber Ridge Gym Addition - 201 S. Evanston Ave. - T1719

Department: Planning & Community Development

Requested Action

1. Special Use Permit to allow an existing Elementary School within the R-3 District.

Variations Required

1. Variation from Chapter 28, Section 5.1-3.5, to allow a 29.5 foot tall building where building heights are restricted to 25 feet.
2. Variation from Chapter 28, Section 6.15-1.2b, to waive the requirement for landscape islands at the ends of certain parking rows.
3. Variation to Chapter 28, Section 10.4-4, to reduce the required off-street parking from 81 spaces to 75 spaces
4. Additional Variations may be identified when formal plans have been submitted.

Recommendation

The Staff Development Committee (SDC) reviewed the proposed SUP to allow an existing elementary school to include a new gymnasium addition within the R-3 District, and the following variations from Chapter 28 of the Municipal Code:

1. Variation from Chapter 28, Section 5.1-3.5, to allow a 29.5 foot tall building where building heights are restricted to 25 feet.
2. Variation from Chapter 28, Section 6.15-1.2b, to waive the requirement for landscape islands at the ends of certain parking rows.
3. Variation to Chapter 28, Section 10.4-4, to reduce the required off-street parking from 81 spaces to 75 spaces.

The SDC is generally supportive of the application and requests the petitioner

address the following items as part of their Plan Commission application:

1. Provide a written justification to support the proposed Special Use Permit as per the approval criteria outlined in the Zoning Ordinance:

- That said special use is deemed necessary for the public convenience at this location.
- That such case will not, under the circumstances of the particular case, be detrimental to the health, safety, morals or general welfare of persons residing or working in the vicinity.
- That the proposed use will comply with the regulations and conditions specified in this ordinance for such use, and with the stipulations and conditions made a part of the authorization granted by the Village Board of Trustees.

2. Provide a written justification to support the proposed Variations as per the hardship criteria outlined in the Zoning Ordinance:

- The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.
- The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.
- The proposed variation is in harmony with the spirit and intent of this Chapter.
- The variance requested is the minimum variance necessary to allow reasonable use of the property.

3. A neighborhood meeting shall be held prior to the Plan Commission hearing. A summary of said meeting shall be provided to staff no less than one week prior to the Plan Commission hearing date.

4. Design Commission review shall be required prior to the Plan Commission hearing.

5. The petitioner shall work with staff to determine what items shall be required within the necessary traffic and parking study.

6. The petitioner shall comply with all Federal, State, and Village Codes, Regulations, and Policies.

7. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:

Description

Staff Report

Aerial

Project Narrative

Conceptual Site & Floor Plans

Type

Board or Commission Report

Exhibits

Correspondence

Exhibits



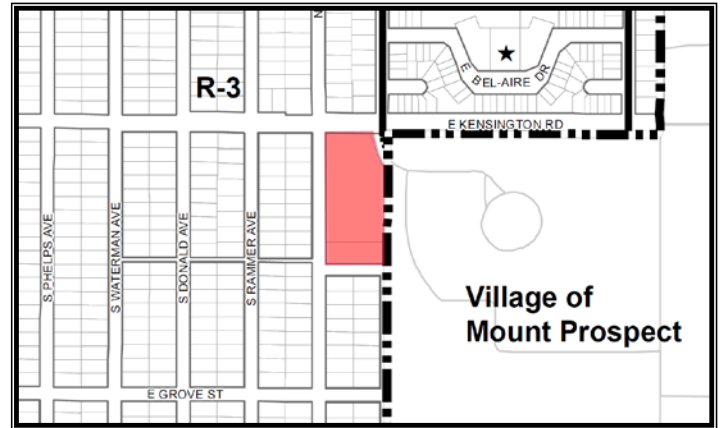
VILLAGE OF ARLINGTON HEIGHTS STAFF DEVELOPMENT COMMITTEE REPORT

Temp File Number: T1719
Project Title: Timber Ridge Gym Addition
Address: 201 S. Evanston Avenue
PIN: 03-33-218-004 and -005

To: Conceptual Plan Review Committee
Prepared By: Sam Hubbard, Development Planner
Meeting Date: December 16, 2020
Date prepared: December 11, 2020

Petitioner: Jonathan Kuzynowski
Address: Wold Architects & Engineers
 220 N. Smith Street, Suite 310
 Palatine, Illinois 60067

Existing Zoning: R-3, One-Family Dwelling District
Comprehensive Plan: Schools



SURROUNDING LAND USES

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	R-3, One-Family Dwelling District	Single-Family Homes	Single-Family Detached
South	R-3, One-Family Dwelling District	Single-Family Homes	Single-Family Detached
East	- Village of Mount Prospect -		
West	R-3 One-Family Dwelling District	Single-Family Homes	Single-Family Detached

Requested Action:

1. Special Use Permit to allow an existing Elementary School to include a new gym addition within the R-3 District.

Variations Required:

1. Variation from Chapter 28, Section 5.1-3.5, to allow a 29.5 foot tall building where building heights are restricted to 25 feet.
2. Variation from Chapter 28, Section 6.15-1.2b, to waive the requirement for landscape islands at the ends of certain parking rows.
3. Variation to Chapter 28, Section 10.4-4, to reduce the required off-street parking from 81 spaces to 75 spaces
4. Additional Variations may be identified when formal plans have been submitted.

Project Background:

The subject property is approximately 177,313 square feet (4.07 acres) and is bounded by Kensington Drive on the north, Evanston Avenue to the west, Mayfair Road to the south, and borders Prospect High School to the east. The site is occupied by a two-story building, parking lot and play fields, and is the home of the Timber Ridge therapeutic day school, which is a Kindergarten through 8th grade elementary school. The Northwest Suburban Special Education Organization (NSSEO), a non-profit entity that is funded by local school districts to provide special education services to their students, owns and operates the site. Children are enrolled in schools such as Timber Ridge when they have special needs and/or a disability to an extent to where they may not be able to receive the services they need through their local public school. As such, the population of Timber Ridge is made up of children from several neighboring school districts. Current enrollment at Timber Ridge is approximately 115 students with 70 support staff. The school also provides a preschool program for approximately 30 students that includes three support staff (total of 145 students and 73 support staff).

The petitioner has proposed an addition to the school, which would create space for a new gymnasium on the north side of the building as well as four new classrooms. Upon completion, the building would include 16 classrooms total, 170 students, and approximately 77 staff members. The drive aisle on the north of the building would be reconstructed to wrap around the addition and lead to the parking area at the east, and the parking that currently exists along this drive aisle would be eliminated. In total, the site would go from 76 parking stalls to 75 parking stalls. The proposed improvements would be designed to conform to Village and MWRD stormwater regulations, and interior work involves several accessibility upgrades, including an elevator to the second floor of the building.

All Timber Ridge students are picked up and dropped off at home. In addition, a small portion of the students spend part of the day at Timber Ridge and part of the day at their home school within their respective schooling district, meaning that a small percentage of students may arrive or depart at off peak times. Access to the site comes from two curb cuts along Evanston Avenue, the northernmost access point leading to a circular drop-off/pick-up and parking area at the rear (east) of the building that includes 54 parking stalls. The southern entrance opens directly onto a small parking lot with 22 parking spaces.

Zoning and Comprehensive Plan

The subject property is located within the R-3 Zoning District, which allows schools via the Special Use Permit approval process. Since the Timber Ridge School (formerly known as Kensington School) was never formally granted a Special Use Permit, it is required to obtain one as part of the proposed building addition. Therefore, the petitioner must provide written responses justifying compliance with the Special Use Permit approval criteria, as summarized below:

- ***That said special use is deemed necessary for the public convenience at this location.***
- ***That such case will not, under any circumstances of the particular case, be detrimental to the health, safety, morals or general welfare of persons residing or working in the vicinity.***
- ***That the proposed use will comply with the regulations and conditions specified in this ordinance for such use, and with the stipulations and conditions made a part of the authorization granted by the Village Board of Trustees.***

In addition to the Special Use Permit, three Variations have been identified; 1) parking variation, 2) building height variation, and 3) landscape island variation. Each of these Variations will be discussed below, however,

the petitioner will be required to provide a written response to the justify compliance to the Variation approval criteria, as outlined below:

- ***The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.***
- ***The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.***
- ***The proposed variation is in harmony with the spirit and intent of this Chapter.***
- ***The variance requested is the minimum variance necessary to allow reasonable use of the property.***

The Village's Comprehensive Plan designates the future use of the subject property as "Schools". The proposed Special Use is therefore consistent with the Comprehensive Plan.

Building, Site Design and Landscaping

The existing building and proposed addition appear to conform to all R-3 District setback, floor area ratio, and lot coverage requirements, however, a complete analysis will be conducted once formal plans have been submitted. The proposed gymnasium addition exceeds the 25-foot maximum allowable height restriction by approximately 4.5 feet, resulting in the need for the following variance:

- Variation from Chapter 28, Section 5.1-3.5, to allow a 29.5 foot tall building where building heights are restricted to 25 feet.

The Staff Development Committee is supportive of said variation as this building is setback over 40 feet from the street and approximately 140 away from the closest single-family home. Additionally, for practical purposes, gymnasium structures need additional height to allow for certain sporting activities, and staff notes that in 2016, Thomas Middle School received a similar height variation for a gymnasium addition.

As part of the formal Plan Commission application, a landscape/tree preservation plan and photometric plan (if additional lighting will be installed) will be required. Code requires that all rows of parking terminate with landscape islands on each end, which islands include a shade tree. The conceptual site plan does not show the code required islands, and therefore the following variation is required:

- Variation from Chapter 28, Section 6.15-1.2b, to waive the requirement for landscape islands at the ends of certain parking rows.

The existing parking lot does not contain the required islands and since the petitioner will be restriping the parking area and constructing additional parking spaces, it presents an opportunity to enhance the landscaping to conform with code. Staff encourages the petitioner to incorporate the required landscape islands and will work with the petitioner to balance parking needs with code required landscaping.

The site includes four accessory structures (sheds), two of which are in non-compliant locations (with one located on a parking space). Given the increased building size as a result of the proposed building addition, the petitioner should clarify if any of the accessory structures can be stored within the building. If any sheds will be relocated as part of this project, additional variations may be required and staff recommends that the shed currently stored within the northern parking lot be relocated to free up an additional parking space.

A Design Commission application will be required for this project. As part of the Plan Commission application, an exhibit to engineering scale showing the turning path of the Fire Department's responding vehicle

maneuvering through the site in all possible directions of travel shall be required. Finally, staff recommends that NSSEO hold a virtual neighborhood meeting prior to their appearance before the Plan Commission in order to introduce the project to the neighborhood and address any preliminary feedback.

Traffic and Parking

Chapter 28, Section 6.12, Traffic Engineering Approval, requires that Special Use Permit applications include a traffic and parking study from a certified traffic engineer. The study needs to assess access (location, design, and Level of Service), on-site circulation, trip generation and distribution, parking, pick-up and drop-off operations, and impacts to public streets. However, due to the CoVid-19 pandemic, all students at Timber Ridge are learning remotely and are not within the building. Therefore, a full traffic and parking study would not be possible at this time. As a parking variation is necessary, and since additional classrooms will be constructed (with no additional parking proposed), an analysis of parking and drop-off/pick-up operations is important in evaluation of this project. Prior to submitting a Plan Commission application, the petitioner must work with staff to determine the appropriate items to include in the required study, and because school attendance is remote, traffic demand shall be estimated using ITE standards. Staff notes that in addition to the 76 off-street parking spaces, there are 13 parallel parking space along Evanston Avenue abutting the school site.

Elementary Schools are required to provide one parking space per employee plus one parking space per five classrooms. According to the data provided by the petitioner, the proposed building addition will result in a total of 77 staff members and 16 classrooms, which translates to a parking requirement of 81 cars. As the site currently provides only 76 parking spaces, and one space will be eliminated as part of this project, a six space deficit will exist and therefore the following Variation is required (see **Table I** for parking calculations):

- Variation to Chapter 28, Section 10.4-4, to reduce the required off-street parking from 81 spaces to 75 spaces.

The petitioner must provide justification for said variation as part of their formal Plan Commission application and is encouraged to find a way to provide the code required parking onsite.

Table I – Parking Calculations

SPACE	PARKING CODE USE	NUMBER OF EMPLOYEES	NUMBER OF CLASSROOMS	PARKING RATIO	PARKING REQUIRED
Existing Timber Ridge School	Elementary School	73	13	1 space per 5 classrooms plus 1 space per employee	79
Total Parking Required					79
Total Parking Provided					76
Parking Surplus/(Deficit)					3
Proposed Timber Ridge School	Elementary School	77	16	1 space per 5 classrooms plus 1 space per employee	81
Total Parking Required					81
Total Parking Provided					75
Parking Surplus/(Deficit)					6

Based on aerial photography, it appears that several transportation vehicles are permanently stored on the site. As part of the parking analysis, any permanent vehicle storage must be accounted for. Finally, the proposed building addition triggers conformance to the Village's bicycle parking requirements and

preliminary analysis indicates that eight bicycle parking spaces are required. The petitioner should indicate if any bike parking spaces currently exist on the site.

RECOMMENDATION

The Staff Development Committee (SDC) reviewed the proposed SUP to allow an existing elementary school to include a new gymnasium addition within the R-3 District, and the following variations from Chapter 28 of the Municipal Code:

- **Variation from Chapter 28, Section 5.1-3.5, to allow a 29.5 foot tall building where building heights are restricted to 25 feet.**
- **Variation from Chapter 28, Section 6.15-1.2b, to waive the requirement for landscape islands at the ends of certain parking rows.**
- **Variation to Chapter 28, Section 10.4-4, to reduce the required off-street parking from 81 spaces to 75 spaces.**

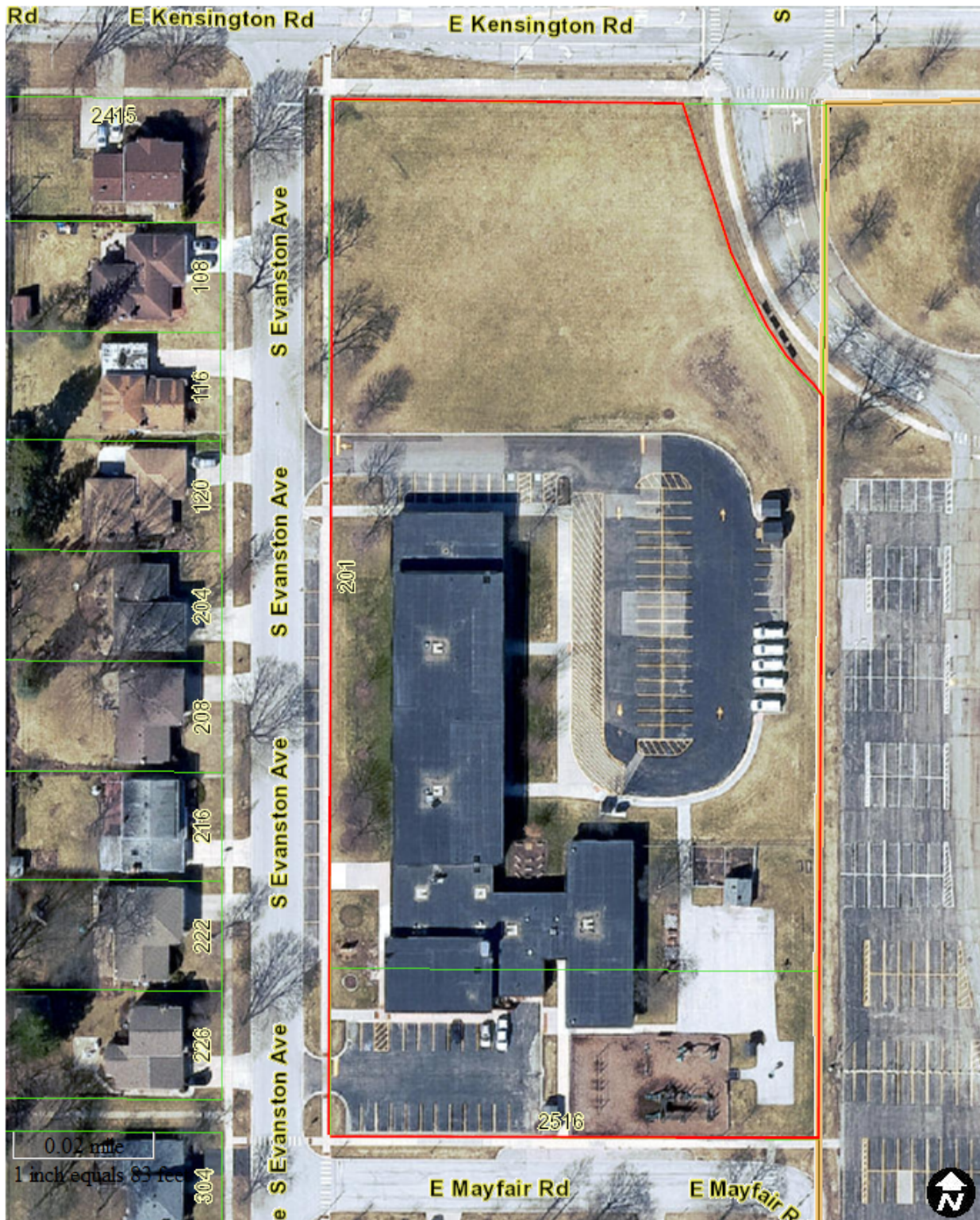
The SDC is generally supportive of the application and requests the petitioner address the following items as part of their Plan Commission application:

1. Provide a written justification to support the proposed Special Use Permit as per the approval criteria outlined in the Zoning Ordinance:
 - ***That said special use is deemed necessary for the public convenience at this location.***
 - ***That such case will not, under the circumstances of the particular case, be detrimental to the health, safety, morals or general welfare of persons residing or working in the vicinity.***
 - ***That the proposed use will comply with the regulations and conditions specified in this ordinance for such use, and with the stipulations and conditions made a part of the authorization granted by the Village Board of Trustees.***
2. Provide a written justification to support the proposed Variations as per the hardship criteria outlined in the Zoning Ordinance:
 - ***The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.***
 - ***The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.***
 - ***The proposed variation is in harmony with the spirit and intent of this Chapter.***
 - ***The variance requested is the minimum variance necessary to allow reasonable use of the property.***
3. A neighborhood meeting shall be held prior to the Plan Commission hearing. A summary of said meeting shall be provided to staff no less than one week prior to the Plan Commission hearing date.
4. Design Commission review shall be required prior to the Plan Commission hearing.
5. The petitioner shall work with staff to determine what items shall be required within the necessary traffic and parking study.
6. The petitioner shall comply with all Federal, State, and Village Codes, Regulations, and Policies.
7. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

December 11, 2020

Bill Enright, Deputy Director of Planning and Community Development

Cc: Randy Recklaus, Village Manager
All Department Heads
Temp File 1712



Map created on December 11, 2020.

© 2020 [GIS Consortium](#) and [MGP Inc.](#) All Rights Reserved.

The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law.

Disclaimer: This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



Project Description

Petitioner Name: Jonathan Kuzynowski, Wold Architects & Engineers

Date: July 9, 2020 – *Updated December 6, 2020*

Project: Timber Ridge School Gymnasium Addition – NSSEO

Location: 201 S. Evanston Ave, Arlington Heights, IL 60004

Thank you for taking the time to review this project. The Northwest Suburban Special Education Organization (NSSEO) Public School District 805 strives to help students with special needs to be actively engaged citizens through dynamic family, school and community partnerships. NSSEO is excited about the opportunity to provide a new gymnasium to its students and its community.

The project at the Timber Ridge School will include the addition of a new gymnasium, an elevator to improve accessibility, new stair, toilets, fitness room, two new 2nd floor classrooms, three offices, a positive sensory lounge, and additional support spaces. Renovations include a new accessible connection on the north side of the existing building and will include renovation of two existing classrooms. The addition will be two stories high and slightly taller than the adjacent existing two story portion of the building. The new design of the new addition will include similar materials to the existing building which include red brick and anodized aluminum windows along with the use of some painted precast that will match the existing building color palette.

NSSEO primary funding comes from its member districts. Each member district has a number of students which are provided educational services at one of 8 facilities (some shared). The project hopes to seek construction bids fall of 2020 and begin construction spring of 2021 with a completion of construction at the end of summer 2021.

Currently the Timber Ridge School serves approximately 115 students. There are about 70 staff support those students. The school also provides a preschool program with 30 students and 3 staff. With the proposed gymnasium addition and the two additional classrooms, the school anticipates the ability to offer services to approximately 25 new students and 4 new staff.



The proposed addition will create new opportunities for the school to better serve its students, allow for expanded curriculum and create a possibility to offer new programs to the local community. Currently physical education takes place in the school's undersized multi-purpose space. The new addition will provide facilities that are both designed for the program and more appropriately sized for the curriculum. This will also allow the shift of some other spaces within the interior of the existing building and provide some much needed space for programs and storage.

Proposed site modifications provide improved traffic flow, better site drainage and improved access for visitors, staff, students and their families. The northeast parking lot will change from fifty two standard and 2 accessible parking stalls to fifty standard and 3 accessible parking stalls. All existing street side parking on Evanston Ave. is maintained. The site modifications have been designed to conform village and MWRD storm water management requirements.

A summary of the floor area ratio, building lot coverage, and height/stories is as follows:

Maximum Floor Area Ratio

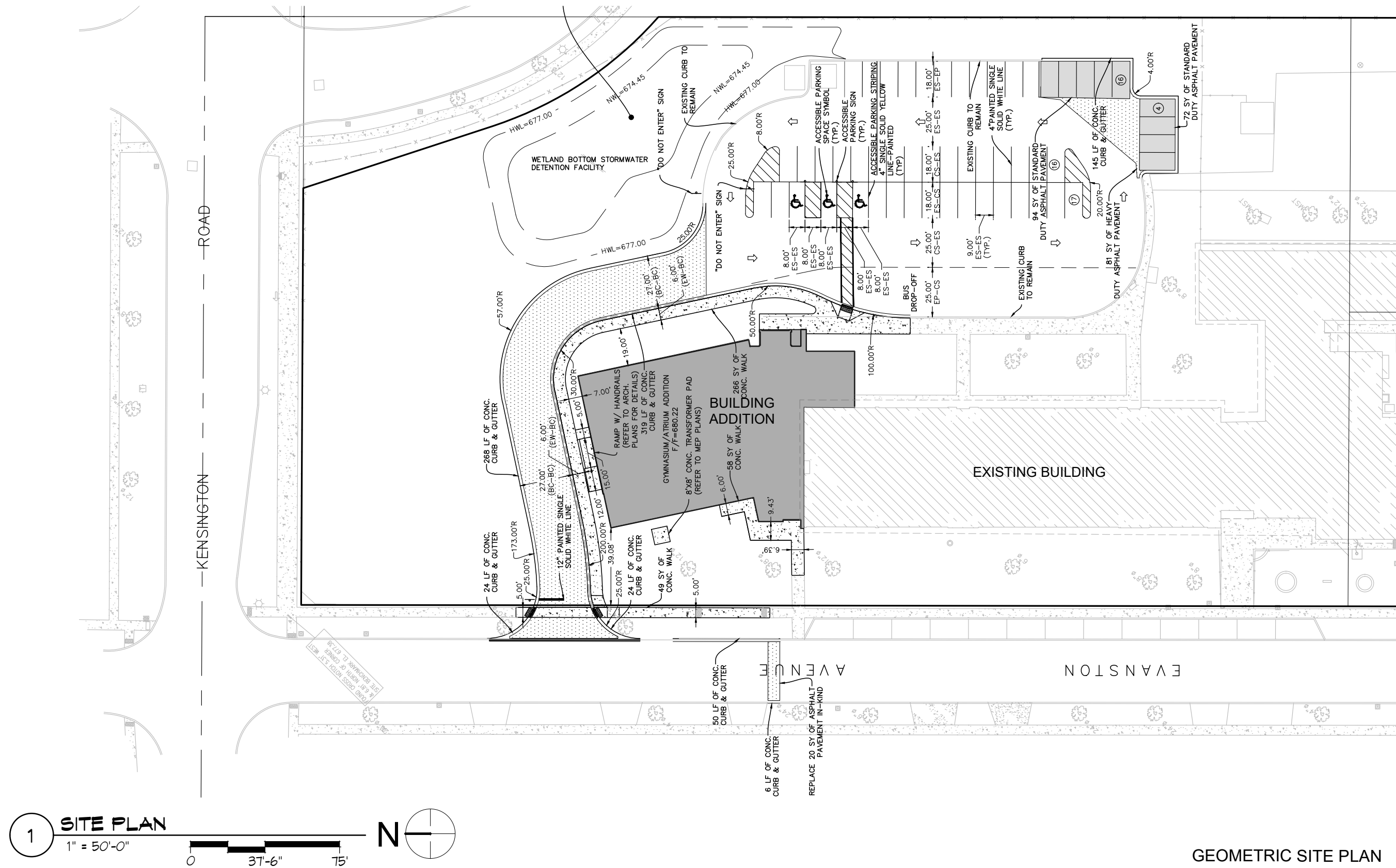
Allowed	Existing	Proposed	Comment
50%	19.49% (34,567/177,313)	26.45% (46,899/177,313)	Complies with Max. Floor Area

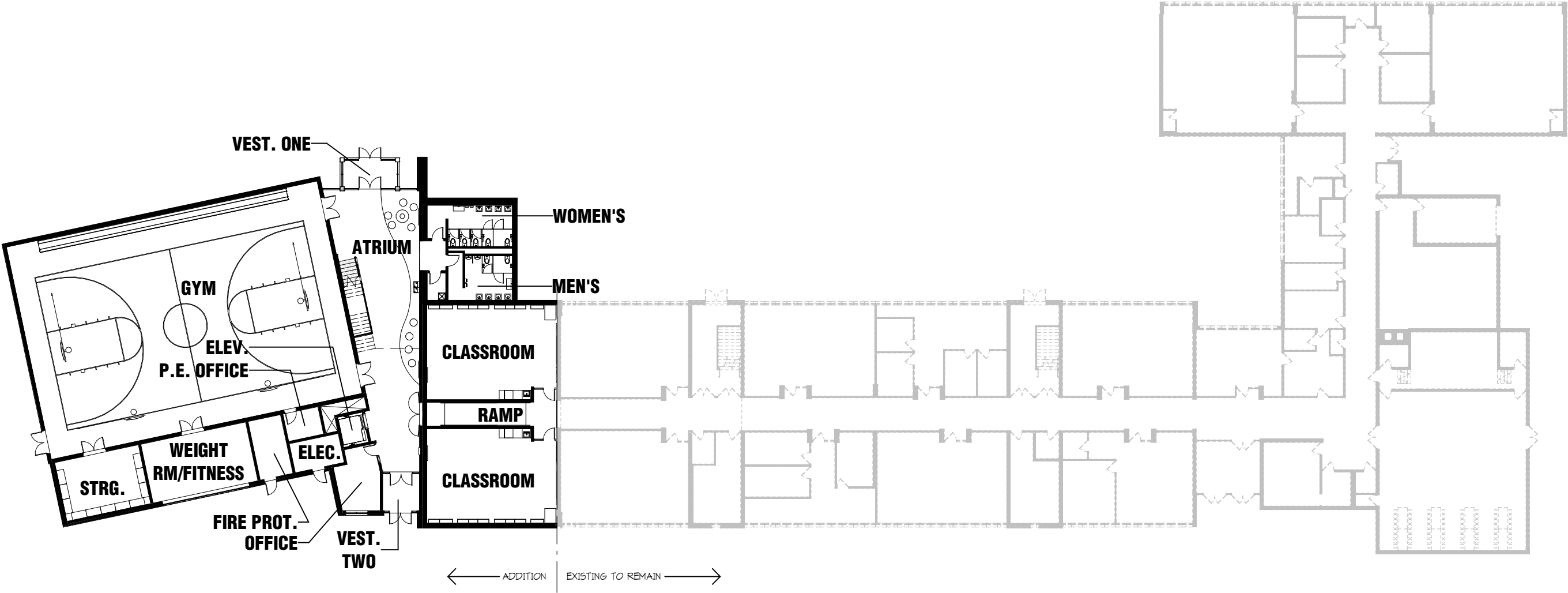
Maximum Building Lot Coverage

Allowed	Existing	Proposed	Comment
35%	13.82% (24,508/177,313)	19.14% (33,930/177,313)	Complies with Bldg. Lot Coverage

Maximum Height and Stories

Allowed	Existing	Proposed	Comment
25 ft. 2 1/2 Stories	23'-10" 2 stories	29'-5" 2 stories	Height Requires a Variance Due to Site Topography





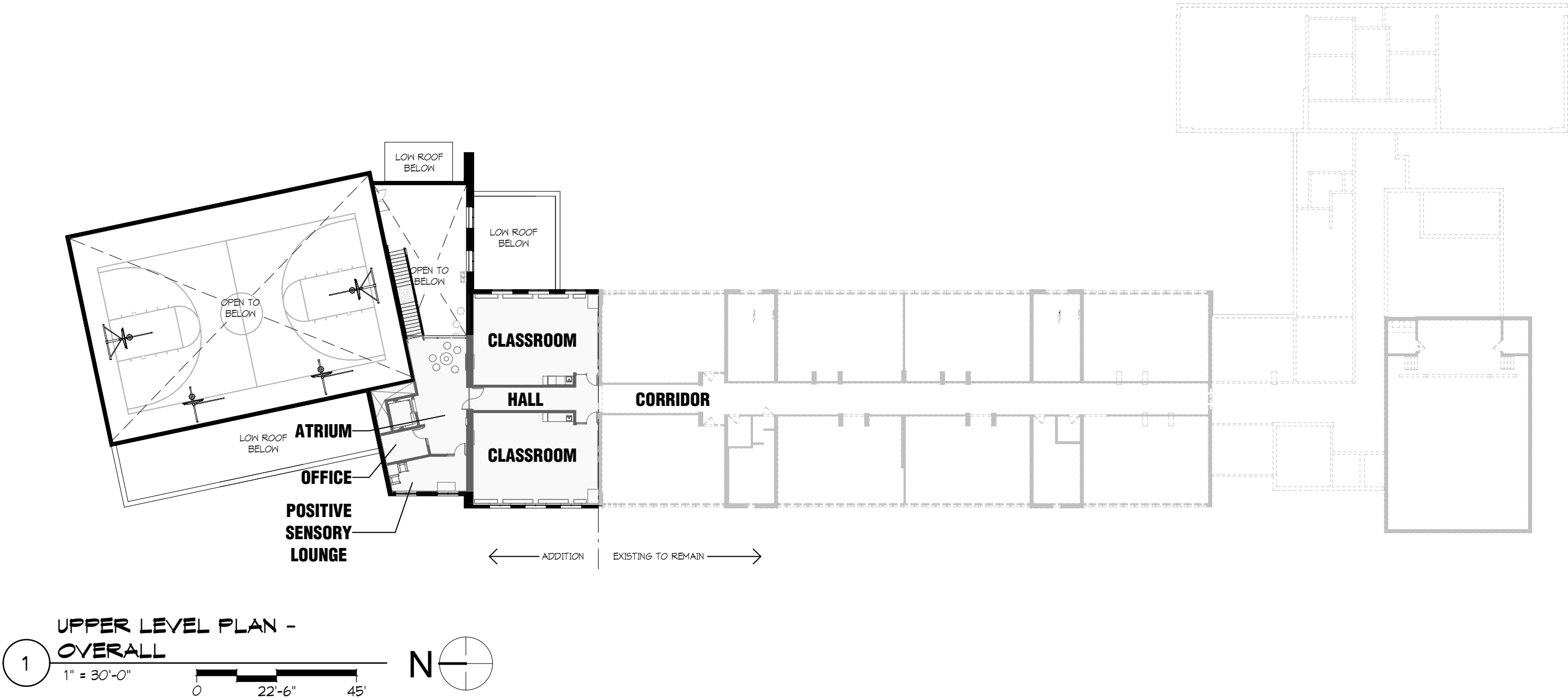
1

GROUND FLOOR PLAN -
OVERALL

1" = 30'-0"

0 22'-6" 45'

N



TIMBER RIDGE
SCHOOL
GYMNASIUM
ADDITION

Northwest Suburban
Special Education
Organization
201 S Evanston Ave.,
Arlington Heights, IL 60004

Wold

WOLD ARCHITECTS
AND ENGINEERS
220 North Smith Street, Suite 310
Palatine, Illinois 60067

woldac.com | 847.241.6100

FLOOR PLAN GENERAL NOTES:

- REFER TO DETAILS OF CONSTRUCTION FOR:
A. ABBREVIATIONS, MATERIAL SYMBOLS
B. MOUNTING HEIGHTS
C. LINTEL SCHEDULE
D. MATERIAL FINISH/COLOR SCHEDULE
E. WALL TYPES
F. MARKER BD TYPES AND MOUNTING HTS
THE ABOVE SECTIONS ARE LISTED FOR REFERENCE ONLY, AND ARE NOT EXCLUSIVE TO AREAS OF WORK. ALL DETAILS SHALL BE REVIEWED FOR SCOPE OF WORK.
SEE LINTEL SCHEDULE
- ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL. WALL THICKNESSES ARE SHOWN NOMINAL. SEE WALL TYPES FOR ACTUAL THICKNESS.
- ALL INTERIOR WALLS ARE TO BE 8" THICK CMU UNLESS OTHERWISE NOTED.
- ALL CONCRETE BLOCK WALLS ARE TO BE 8" THICK UNLESS OTHERWISE NOTED.
- COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHIRT OPENINGS IN WALLS AND FLOORS W/ MECH. AND ELEC. PROVIDE ALL REQUIRED LINTELS FOR OPENINGS.
SEE LINTEL SCHEDULE
- FIELD VERIFY ALL MILLWORK OPENINGS.
- SET FLOOR DRAIN 3/4" BELOW FINISHED CONCRETE FLOORS UNLESS OTHERWISE NOTED. PROVIDE CONSISTENT SLOPE FROM WALL TO DRAIN BY SLOPING CONCRETE, MIN. 1/4" PER FOOT.
- VERIFY LOCATION, SIZE AND QUANTITY OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS.
- ALL DOOR/SIDELITE OPENINGS TO BEGIN 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- ALL GYP. WALLS ARE CENTERED ON GRID UNLESS OTHERWISE NOTED.
- FIRE RATED WALLS ARE INDICATED ON CODE PLANS.
- ALL INTERIOR CMU/BLOCK WALLS TO BE CENTERED "V" SCORED BLOCK UNLESS OTHERWISE NOTED.
- SEE INTERIOR ELEVATIONS FOR CONTROL JOINT LOCATIONS.
- COORDINATE WORK/BOARD LOCATIONS IN CLASSROOMS WITH OWNER PRIOR TO INSTALLATION. COORDINATE WITH INSTALLATION OF MONITOR.

FLOOR PLAN KEY NOTES:

- DOOR ACTUATORS - SEE ELECTRICAL.
- BOLLARD - SEE DETAIL.
- MOP SINK - SEE MECH.
- STEEL TUBE COLUMN, TYP. OF 5, W/ INSET POLYCARBONATE RESIN PANELS, KODA XT OR OWNER APPROVED EQUAL.
- EMERGENCY EYE WASH - SEE MECH.
- CABINET UNIT HEATER - SEE MECHANICAL, COORDINATE LOCATION, SEE DETAILS
- FIRE EXTINGUISHER
- WALL MOUNTED MONITOR (NIC), COORDINATE WITH ELEG. AND INTERIOR ELEVATIONS, SEE DETAIL.
- CARD READER - SEE ELEC.
- ROLLER SHADES
- BACKBOARD TYPE #1, AS SPECIFIED
- BACKBOARD TYPE #2, AS SPECIFIED
- CORNER PAD
- WALL PADS, CENTERED ON COURT/HOOP - SEE INTERIOR ELEVATIONS FOR SIZES
- CORNER GUARD
- UNIT VENT - SEE MECH.
- PROJECTOR LOCATION - OWNER TO PROVIDE EQUIPMENT
- KNOX BOX - COORDINATE WITH OWNER FOR EXACT LOCATION.
- SCOREBOARD (NIC) - COORDINATE WITH ELEC.
- A/C CABINET - COORDINATE WITH ELEC.
- MAGNETIC HOLD-OPENS
- NEW STEEL TUBE COLUMNS, TYP. OF 5, W/ INSET POLYCARBONATE RESIN PANELS, KODA XT OR OWNER APPROVED EQUAL.
- TELESCOPING BLEACHERS, CENTERED ON WALL - SEE INTERIOR ELEVATIONS FOR SIZES

ROOM FINISH SCHEDULE GENERAL NOTES

- SEE DETAILS OF CONSTRUCTION FOR ABBREVIATIONS.
- IF ALL WALLS IN ROOM HAVE THE SAME FINISH, THE "N WALL-TYP" COLUMN WILL BE USED.
- DISCREPANCIES BETWEEN THE ROOM FINISH SCHEDULE AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR FINISH DETERMINATION.
- ON WALLS HIGH ARE COVERED WITH MILLWORK AND TACK SURFACES. A FINISH SHALL NOT BE APPLIED TO THE WALL BEHIND EXCEPT FOR LOCATIONS HIGH MAY BE EXPOSED (I.E. SPACE BETWEEN MILLWORK AND TACK SURFACES). CONCRETE BLOCK BEHIND MILLWORK AND MARKERBOARDS TO BE TOGGLED.
- REFER TO MATERIAL FINISH/COLOR SCHEDULE FOR SPECIFIC FINISH TYPES AND COLORS.
- FOR CEILING MATERIAL WHEN MORE THAN ONE CEILING MATERIAL OCCURS THE CEILING FINISH IS INDICATED THIS: "7".
- ELEVATOR CARPET STYLE & COLOR TO BE SELECTED BY OWNER.
- SEE ENLARGED RAMP PLANS FOR FINISHES, RAILING DETAILS AND DIMENSIONS AT SLOPE RAMPS.

ROOM FINISH SCHEDULE REMARKS

- SEE INTERIOR ELEVATIONS FOR LOCATIONS OF GLAZED BLOCK, PAINTED BLOCK, BRICK, SCAND. BLOCK, VMC AND PAINT.
- PROVIDE EPOXY PAINT UP TO 19'-2" ABOVE FINISH FLOOR IN THE GYMNASIUM (159).
- SEE STAR DETAILS, ELEVATIONS, AND SECTIONS FOR FINISH MATERIALS.
- PART CEILING AND ALL EXPOSED STRUCTURE, PIPING, CONDUIT, MECHANICAL DUCTS AND VENTS.
- ALL ELEVATOR FINISHES, OTHER THAN FLOOR MATERIAL, ARE SPECIFIED TO BE PROVIDED BY ELEVATOR MANUFACTURER.
- PROVIDE VINYL BASE AT CASEWORK.
- SEE PLANS FOR GYM EQUIPMENT LOCATIONS (I.E. PULL-UP BARS, WALL PADS, ETC.).
- SLOPE CONC. FLOOR TOWARDS EXTERIOR DOOR. SEE PLANS FOR FLOOR SLOPING INFORMATION.
- SEE ALTERNATE #1 FOR GYMNASIUM FLOOR FINISH ALTERNATE. REFERENCE SPECIFICATION, SECTIONS AND DETAILS FOR HOOD INFORMATION.
- SEE DETAIL ____ FOR FLOOR STRIPING INFORMATION.
- SEE DETAIL ____ FOR VGT FLOOR PATTERN INFORMATION.
- NON-SLIP FLOOR ON RAMP.

DOOR SCHEDULE GENERAL NOTES

- ALL DOORS ARE 1 3/4" THICK UNLESS OTHERWISE NOTED.
- FOR FRAME DEPTH, ONLY EXCEPTIONS TO THE FOLLOWING TABLE ARE SCHEDULED:
GYPSUM BOARD PARTITIONS: THROAT OF FRAME TO MATCH WALL THICKNESS.
MASONRY PARTITIONS:
4" WALL: 3 3/4" FRAME
6" WALL: 3 3/4" FRAME
8" AND GREATER WALL: 1 3/4" FRAME
FRAME DEPTHS ARE SCHEDULED IN NOMINAL DIMENSIONS. SEE FRAME/DOOR TYPES (DETAIL SECTION 51000) FOR CORRESPONDING ACTUAL DIMENSIONS.
- FOR GLASS TYPES, ONLY EXCEPTIONS TO THE FOLLOWING TABLE ARE SCHEDULED:
INTERIOR NON RATED:
CLEAR (SAFETY WHEN REQUIRED BY TABLE IN GLAZING SPECIFICATION.)
INTERIOR AND EXTERIOR RATED:
FIRE RATED
EXTERIOR NON-RATED:
CLEAR INSULATED (SAFETY INSULATED WHEN REQUIRED BY TABLE IN GLAZING SPECIFICATION.)
- SEE SHEET A2-401 FOR FRAME TYPES.
- SEE SHEET A2-401 FOR DOOR TYPES.
- AT DOOR SCHEDULE, LABEL DESIGNATION "AS/20" INDICATES: FOR ALL OPENINGS WITH SIDE LITES AND SCHEDULED TO BE RATED FOR 20 MINUTES, THE DOOR AND ANY GLASS WITHIN THE DOOR IS TO BE RATED FOR 20 MINUTES. THE FRAME AND ADJACENT SIDELITES GLASS AND FRAME IS TO BE RATED FOR 45 MINUTES.

DOOR SCHEDULE REMARKS

- SEE DETAIL ____ FOR USE WITH ALTERNATE #1
- PROVIDE FIRE NUMBER AT EXTERIOR DOORS DOOR NUMBER IN "1".

E1 MAIN LEVEL FLOOR PLAN

1/8" = 1'-0"

DOOR / OPENING SCHEDULE													
DOOR NO.	TYPE	QTY	DOOR / OPENING		MTRL	LABEL	FRAME			GL	MOUNTING CONDITIONS		
			WIDTH	HEIGHT			TYPE	DEPTH	MATL		HEAD	U/LAMB	SILL
101A	AL	2	3'-0"	7'-0"	WD	--	SF X	--	HM	--	SEE ELEV.	SEE ELEV.	--
101B	AL	2	3'-0"	7'-0"	WD	--	SF X	--	HM	--	SEE ELEV.	SEE ELEV.	--
102A	AL	2	3'-0"	7'-0"	WD	--	SF X	--	HM	--	SEE ELEV.	SEE ELEV.	--
102B	AL	2	3'-0"	7'-0"	WD	--	SF X	--	HM	--	SEE ELEV.	SEE ELEV.	--
104A	F	1	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	B4/A4.801	C4/A4.801	--
108A	F	1	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	B1/A5.601	C1/A5.601	--
108B	F	1	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	B4/A4.801	C4/A4.801	--
107A	F	2	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	B1/A5.601	C1/A5.601	--
107B	F	2	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	B1/A5.601	C1/A5.601	--
107C	F	2	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	B1/A5.601	C1/A5.601	--
108A	F	1	3'-0"	7'-0"	WD	--	FR 2B	--	HM	--	B4/A4.801	C4/A4.801	--
109A	F	1	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	B1/A5.601	C1/A5.601	--
110A	F	2	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	B1/A5.601	C1/A5.601	--
111A	F	2	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	B1/A5.601	C1/A5.601	--
111A	F	2	3'-0"	7'-0"	WD	--	FR 1B	--	HM	--	B4/A4.801	C4/A4.801	--
111A	F	1	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	B3/A5.601	C3/A5.601	--
118A	F	1	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	B3/A5.601	C3/A5.601	--
113A	F	1	3'-0"	7'-0"	WD	--	FR 1	--	HM	--	--	--	--
115A	F	1	3'-0"	8'-0"	WD	--	FR 3C	--	HM	--	B4/A4.801	C4/A4.801	--
116A	F	1	3'-0"	8'-0"	WD	--	FR 3C	--	HM	--	B4/A4.801	C4/A4.801	--

ROOM FINISH SCHEDULE											
ROOM NO.	ROOM NAME	FLOOR	BASE	N WALL - TYP		E WALL		S WALL		W WALL	
				MATL	FIN	MATL	FIN	MATL	FIN	MATL	FIN
A100	ELEV.	RES	NA	AL/GL	NA	AL/GL	NA	AL/GL	NA	AL/GL	NA
A101	VEST. ONE	RES	NA	VNTL	CMU	PT-	CMU/AL/GL	PT-	CMU	PT-	AL/GL
A102	VEST. TWO	RES	NA	VNTL	CMU	PT-	CMU/AL/GL	PT-	CMU	PT-	AL/GL
A103	ATRIUM	RF	P TILE	P TILE	SEE SCHEDULE	P TILE	SEE SCHEDULE	P TILE	SEE SCHEDULE	P TILE	SEE SCHEDULE
A104	NOMEN'S	RF	P TILE	P TILE	SEE SCHEDULE	P TILE	SEE SCHEDULE	P TILE	SEE SCHEDULE	P TILE	SEE SCHEDULE
A105	MEN'S	RF	P TILE	P TILE	SEE SCHEDULE	P TILE	SEE SCHEDULE	P TILE	SEE SCHEDULE	P TILE	SEE SCHEDULE
A106	JAN	RES	RUBBER	CMU	PT-	CMU	PT-	CMU	PT-	CMU	PT-
A107	GYM	RAF-1	VNTL	PRECAST	PT-	PRECAST	PT-	PRECAST	PT-	PRECAST	PT-
A108	OFFICE	RES	RUBBER	CMU	PT-	CMU	PT-	CMU	PT-	CMU	PT-
A109	P.E. OFFICE	RES	RUBBER	CMU	PT-	PRECAST	PT-	CMU	PT-	CMU	PT-
A110	WEIGHT RM/FITNESS	RAF-2	RUBBER	CMU	PT-	PRECAST	PT-	CMU	PT-	CMU	PT-
A111	STRG.	SEALED CONG.	RUBBER	CMU	PT-	CMU	PT-	CMU	PT-	CMU	PT-
A113	IDF	SEALED CONG.	RUBBER	CMU	PT-	CMU	PT-	CMU	PT-	CMU	PT-
A114	RAMP	RES	RUBBER	CMU	PT-	CMU	PT-	CMU	PT-	CMU	PT-
A115	CLASSROOM	RES	RUBBER	CMU	PT-	EXIST. CMU	PT-	CMU	PT-	CMU	PT-
A116	CLASSROOM	RES	RUBBER	CMU	PT-	CMU	PT-	EXIST. CMU	PT-	CMU	PT-
A117B	Elec.	RES	RUBBER	CMU	PT-	CMU	PT-	CMU	PT-	CMU	PT-
A118A	FIRE PROT.	SEALED CONG.	RUBBER	CMU	PT-	PRECAST	PT-	CMU	PT-	CMU	PT-

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of ILLINOIS

Arch Name
License Number: Arch Num Date: 04/03/2020

Description	Revisions	
	Date	Num

Comm: 173230
Date: 04/03/2020
Drawn: Author
Check: Checker
North

MAIN LEVEL
FLOOR PLAN

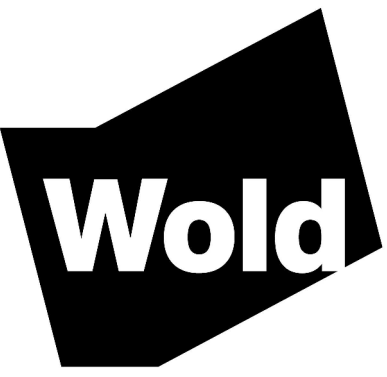
Scale: As indicated

NOT FOR CONSTRUCTION
95% CD ESTIMATE

A2.00a

TIMBER RIDGE
SCHOOL
GYMNASIUM
ADDITION

Northwest Suburban
Special Education
Organization
201 S Evanston Ave.,
Arlington Heights, IL 60004



WOLD ARCHITECTS
AND ENGINEERS
220 North Smith Street, Suite 310
Palatine, Illinois 60067

woldac.com | 847.241.6100

FLOOR PLAN GENERAL NOTES:

- REFER TO DETAILS OF CONSTRUCTION FOR:
A. ABBREVIATIONS, MATERIAL SYMBOLS
B. MOUNTING HEIGHTS
C. LINTEL SCHEDULE
D. MATERIAL FINISH/COLOR SCHEDULE
E. WALL TYPES
F. MARKER BD TYPES AND MOUNTING HTS
THE ABOVE SECTIONS ARE LISTED FOR REFERENCE ONLY, AND ARE NOT EXCLUSIVE TO AREAS OF WORK. ALL DETAILS SHALL BE REVIEWED FOR SCOPE OF WORK.
- ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL. WALL THICKNESSES ARE SHOWN NOMINAL. SEE WALL TYPES FOR ACTUAL THICKNESS.
- ALL INTERIOR WALLS ARE TO BE 8" THICK CMU UNLESS OTHERWISE NOTED.
- ALL CONCRETE BLOCK WALLS ARE TO BE 8" THICK UNLESS OTHERWISE NOTED.
- COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHAFT OPENINGS IN WALLS AND FLOORS W/ MECH. AND ELEG. PROVIDE ALL REQUIRED LINTELS FOR OPENINGS. SEE LINTEL SCHEDULE.
- FIELD VERIFY ALL MILLWORK OPENINGS.
- SET FLOOR DRAIN 3/4" BELOW FINISHED CONCRETE FLOORS UNLESS OTHERWISE NOTED. PROVIDE CONSISTENT SLOPE FROM WALL TO DRAIN BY SLOPING CONCRETE, MIN. 1/4" PER FOOT.
- VERIFY LOCATION, SIZE AND QUANTITY OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS.
- ALL DOOR/SIDELITE OPENINGS TO BEGIN 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- ALL GYP. WALLS ARE CENTERED ON GRID UNLESS OTHERWISE NOTED.
- FIRE RATED WALLS ARE INDICATED ON CODE PLANS.
- ALL INTERIOR CMU/BLOCK WALLS TO BE CENTERED "V" SCORED BLOCK UNLESS OTHERWISE NOTED.
- SEE INTERIOR ELEVATIONS FOR CONTROL JOINT LOCATIONS.
- COORDINATE WORKBOARD LOCATIONS IN CLASSROOMS WITH OWNER PRIOR TO INSTALLATION. COORDINATE WITH INSTALLATION OF MONITOR.

FLOOR PLAN KEY NOTES:

- DOOR ACTUATORS - SEE ELECTRICAL.
- BOLLARD - SEE DETAIL.
- MOP SINK - SEE MECH.
- STEEL TUBE COLUMN, TYP. OF 5 1/4" INSET POLYCARBONATE RESIN PANELS, KODA XT OR OWNER APPROVED EQUAL.
- EMERGENCY EYE WASH - SEE MECH.
- CABINET UNIT HEATER - SEE MECHANICAL, COORDINATE LOCATION. SEE DETAILS.
- FIRE EXTINGUISHER
- WALL MOUNTED MONITOR (NIC), COORDINATE WITH ELEG. AND INTERIOR ELEVATIONS. SEE DETAIL.
- CARD READER - SEE ELEG.
- ROLLER SHADES
- BACKBOARD TYPE #1, AS SPECIFIED
- BACKBOARD TYPE #2, AS SPECIFIED
- CORNER PAD
- WALL PADS, CENTERED ON COURT/HOOP - SEE INTERIOR ELEVATIONS FOR SIZES
- CORNER GUARD
- UNIT VENT - SEE MECH.
- PROJECTOR LOCATION - OWNER TO PROVIDE EQUIPMENT
- KNOX BOX - COORDINATE WITH OWNER FOR EXACT LOCATION.
- SCOREBOARD (NIC) - COORDINATE WITH ELEG.
- A/V CABINET - COORDINATE WITH ELEG.
- MAGNETIC HOLD-OPENS
- NEW STEEL TUBE COLUMNS, TYP. OF 5 1/4" INSET POLYCARBONATE RESIN PANELS, KODA XT OR OWNER APPROVED EQUAL.
- TELESCOPING BLEACHERS, CENTERED ON WALL - SEE INTERIOR ELEVATIONS FOR SIZES

ROOM FINISH SCHEDULE GENERAL NOTES

- SEE DETAILS OF CONSTRUCTION FOR ABBREVIATIONS.
- IF ALL WALLS IN ROOM HAVE THE SAME FINISH, THE "N" WALL-TYP" COLUMN WILL BE USED.
- DISCREPANCIES BETWEEN THE ROOM FINISH SCHEDULE AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR FINISH DETERMINATION.
- ON WALLS WHICH ARE COVERED WITH MILLWORK AND TACK SURFACES, A FINISH SHALL NOT BE APPLIED TO THE WALL BEHIND EXCEPT FOR LOCATIONS WHICH MAY BE EXPOSED (I.E. SPACE BETWEEN MILLWORK AND TACK SURFACES). CONCRETE BLOCK BEHIND MILLWORK AND MARKERBOARDS TO BE TOGGLED.
- REFER TO MATERIAL FINISH/COLOR SCHEDULE FOR SPECIFIC FINISH TYPES AND COLORS.
- FOR CEILING MATERIAL WHEN MORE THAN ONE CEILING MATERIAL OCCURS THE CEILING FINISH IS INDICATED THIS: "C".
- ELEVATOR CARPET STYLE & COLOR TO BE SELECTED BY OWNER.
- SEE ENLARGED RAMP PLANS FOR FINISHES, RAILING DETAILS AND DIMENSIONS AT SLOPE RAMPS.

ROOM FINISH SCHEDULE REMARKS

- SEE INTERIOR ELEVATIONS FOR LOCATIONS OF GLAZED BLOCK, PAINTED BLOCK, BRICK, SOUND BLOCK, VMC AND PAINT.
- PROVIDE EPOXY PAINT UP TO 15'-2" ABOVE FINISH FLOOR IN THE GYMNASIUM (ISS).
- SEE STAR DETAILS, ELEVATIONS, AND SECTIONS FOR FINISH MATERIALS.
- PAIN CEILING AND ALL EXPOSED STRUCTURE, PIPING, CONDUIT, MECHANICAL DUCTS AND VENTS.
- ALL ELEVATOR FINISHES, OTHER THAN FLOOR MATERIAL ARE SPECIFIED TO BE PROVIDED BY ELEVATOR MANUFACTURER.
- PROVIDE VINYL BASE AT GASEWORK.
- SEE PLANS FOR GYM EQUIPMENT LOCATIONS (I.E. PULL-UP BARS, WALL PADS, ETC.).
- SLOPE CONC. FLOOR TOWARDS EXTERIOR DOOR. SEE PLANS FOR FLOOR/SLOPE INFORMATION.
- SEE ALTERNATE #1 FOR GYMNASIUM FLOOR FINISH ALTERNATE REFERENCE SPECIFICATION, SECTIONS AND DETAILS FOR HOOD FLOOR INFORMATION.
- SEE DETAIL ____ FOR FLOOR STRIPING INFORMATION.
- SEE DETAIL ____ FOR VGT FLOOR PATTERN INFORMATION.
- NON-SLIP FLOOR ON RAMP.

DOOR SCHEDULE GENERAL NOTES

- ALL DOORS ARE 1 3/4" THICK UNLESS OTHERWISE NOTED.
- FOR FRAME DEPTH, ONLY EXCEPTIONS TO THE FOLLOWINGS TABLE ARE SCHEDULED:
GYPSUM BOARD PARTITIONS: THROAT OF FRAME TO MATCH WALL THICKNESS.
MASONRY PARTITIONS:
4" WALL: 3 3/4" FRAME
6" WALL: 3 3/4" FRAME
8" AND GREATER WALL: 3 3/4" FRAME
FRAME DEPTHS ARE SCHEDULED IN NOMINAL DIMENSIONS. SEE FRAME/DOOR TYPES (DETAIL SECTION 51000) FOR CORRESPONDING ACTUAL DIMENSIONS.
- FOR GLASS TYPES, ONLY EXCEPTIONS TO THE FOLLOWINGS TABLE ARE SCHEDULED:
INTERIOR NON RATED:
CLEAR (SAFETY WHEN REQUIRED BY TABLE IN GLAZING SPECIFICATION.)
INTERIOR AND EXTERIOR RATED:
FIRE RATED:
EXTERIOR NON-RATED:
CLEAR INSULATED (SAFETY INSULATED WHEN REQUIRED BY TABLE IN GLAZING SPECIFICATION.)
- SEE SHEET A2-101 FOR FRAME TYPES.
- SEE SHEET A2-101 FOR DOOR TYPES.
- AT DOOR SCHEDULE, LABEL DESIGNATION "45/20" INDICATES:
FOR ALL OPENINGS WITH SIDE LITES AND SCHEDULED TO BE RATED FOR 20 MINUTES, THE DOOR AND ANY GLASS WITHIN THE DOOR IS TO BE RATED FOR 20 MINUTES. THE FRAME AND ADJACENT SIDELITE(S) GLASS AND FRAME IS TO BE RATED FOR 45 MINUTES.

DOOR SCHEDULE REMARKS

- SEE DETAIL ____ FOR USE WITH ALTERNATE #1
- PROVIDE FIRE NUMBER AT EXTERIOR DOORS DOOR NUMBER IN "C".

E1 UPPER LEVEL FLOOR PLAN

1/8" = 1'-0"
0 6' 12'

DOOR / OPENING SCHEDULE													
DOOR NO.	TYPE	QTY	DOOR / OPENING		MATL	LABEL	FRAME			GL	MOUNTING CONDITIONS		
			WIDTH	HEIGHT			TYPE	DEPTH	MATL		HEAD	UAMB	SILL
202A	F	2	3'-0"	T-0"	WD	--	FR 1	--	HM	--	B4/A4.B01	C4/A4.B01	--
203A	F	2	3'-0"	T-0"	WD	--	FR X	--	HM	--	B4/A4.B01	C4/A4.B01	--
204A	F	1	3'-0"	8'-0"	WD	--	FR 3C	--	HM	--	B4/A4.B01	C4/A4.B01	C4/A4.B01
205A	F	1	3'-0"	8'-0"	WD	--	FR 3C	--	HM	--	B4/A4.B01	C4/A4.B01	C4/A4.B01
206A	F	1	3'-0"	T-0"	WD	--	FR 2B	--	HM	--	B4/A4.B01	C4/A4.B01	C4/A4.B01
207A	F	1	3'-0"	T-0"	WD	--	FR 2B	--	HM	--	B4/A4.B01	C4/A4.B01	C4/A4.B01

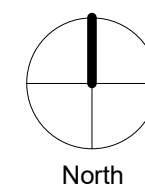
ROOM FINISH SCHEDULE												
ROOM NO	ROOM NAME	FLOOR	BASE	N WALL - TYP		E WALL		S WALL		W WALL		REMARKS
				MATL	FIN	MATL	FIN	MATL	FIN	MATL	FIN	
A201	ATRIUM	RES	RUBBER	PRECAST/G MU	PT-	CMU/AL/GL	PT-	CMU	PT-	CMU/AL/GL	PT-	
A203	HALL	RES - MATCH EXIST CORRIDOR	RUBBER	CMU	PT-	CMU	PT-	CMU	PT-	CMU	PT-	
A204	CLASSROOM	RES	RUBBER	CMU	PT-	CMU	PT-	EXIST. CMU	PT-	CMU	PT-	6
A205	CLASSROOM	RES	RUBBER	CMU	PT-	CMU	PT-	EXIST. CMU	PT-	CMU	PT-	6
A206	OFFICE											
A207	POSITIVE SENSORY LOUNGE											
A208	ELEG. CLOSET											
EXIST.	CORRIDOR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of ILLINOIS

Arch Name
License Number: Arch Num Date: 04/03/2020

Description	Revisions		Num
	Date		

Comm: 173230
Date: 04/03/2020
Drawn: Author
Check: Checker



UPPER LEVEL
FLOOR PLAN

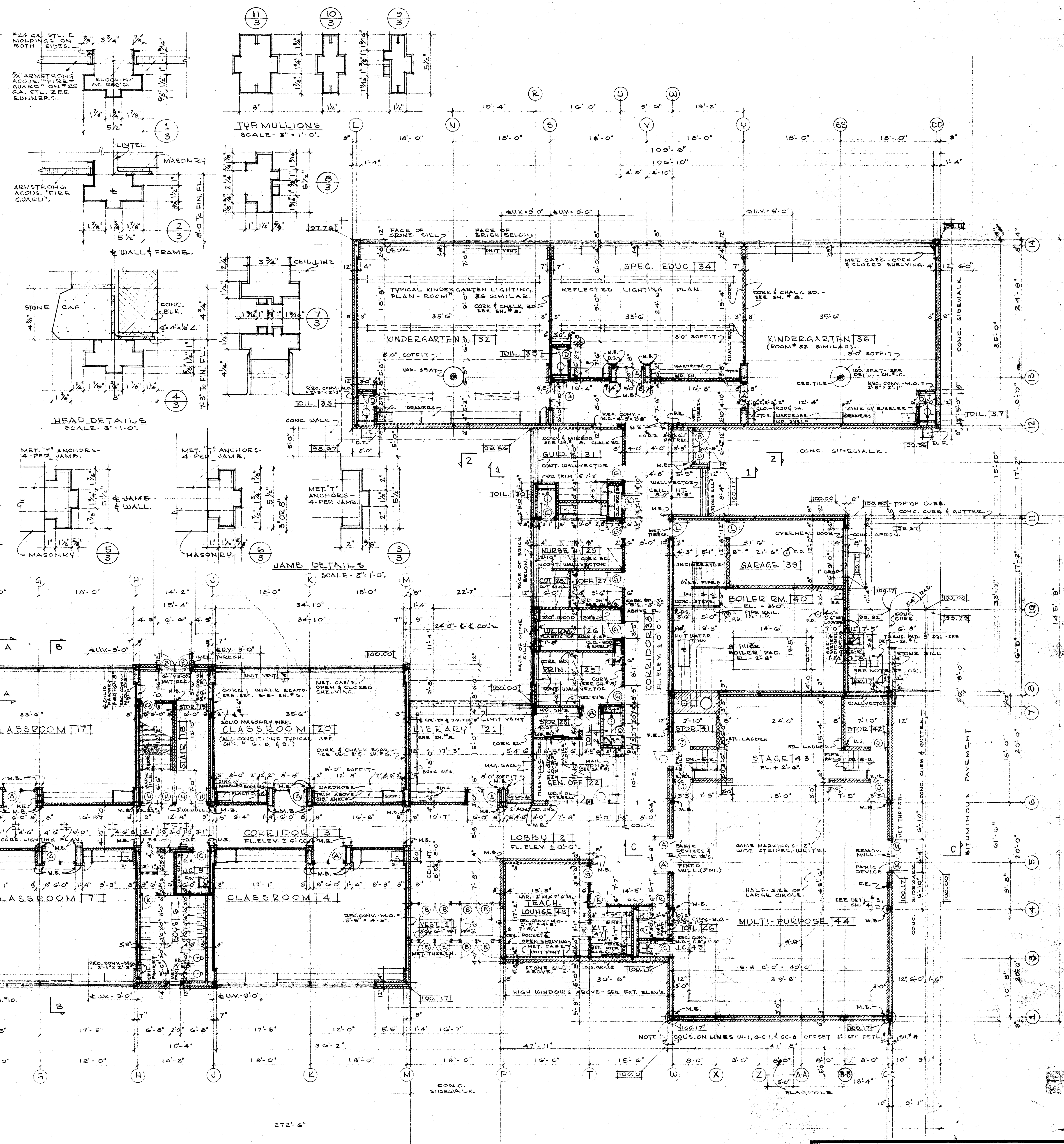
Scale: As indicated

NOT FOR CONSTRUCTION
95% CD ESTIMATE

A2.00b

ROOM FINISH SCHEDULE									
NO.	NAME	FLOOR	BASE	NORTH	EAST	SOUTH	WEST	WATER	REMARKS
1	VESTIBULE	ASPH. TILE	4" RUBBER	BRICK	ALUM. ENT.	ALUM. ENT.	ALUM. ENT.	A.A.F.G.	8'-0" x 8'-0"
2	LOBBY	"	"	"	"	"	"	"	"
3	CORRIDOR	"	"	BRICK	GLT. BR.	GLT. BR.	GLT. BR.	"	"
4	CLASSROOM	"	"	C.B. - BR.	C.B. - BR.	C.B. - BR.	C.B. - GL.	"	8'-0" x 8'-0"
5	JAN. CLO.	"	"	CONC. BLK.	CONC. BLK.	CONC. BLK.	CONC. BLK.	UNFIN.	"
6	BOYS TOIL.	"	"	GL. TILE	GL. TILE	GL. TILE	GL. TILE	A.A.F.G.	8'-0" x 8'-0"
7	CLASSROOM	"	"	C.B. - BR.	C.B. - BR.	C.B. - BR.	C.B. - GL.	"	8'-0" x 8'-0"
8	"	"	"	"	"	"	"	"	"
9	JAN. CLO.	"	"	CONC. BLK.	CONC. BLK.	CONC. BLK.	CONC. BLK.	UNFIN.	"
10	GIRLS TOIL.	"	"	GL. TILE	GL. TILE	GL. TILE	GL. TILE	A.A.F.G.	8'-0" x 8'-0"
11	CLASSROOM	"	"	C.B. - BR.	C.B. - BR.	C.B. - BR.	C.B. - GL.	"	8'-0" x 8'-0"
12	CONFERENCE	"	"	CONC. BLK.	CONC. BLK.	CONC. BLK.	CONC. BLK.	"	8'-0" x 8'-0"
13	CLASSROOM	"	"	C.B. - BR.	C.B. - BR.	C.B. - BR.	C.B. - GL.	"	8'-0" x 8'-0"
14	STAIR	AT. TERR.	RUB. TERR.	BRICK	BR. GL.	BRICK	ENT.	"	VARIES
15	STORAGE	CONC.	NONE	CONC. BLK.	CONC. BLK.	CONC. BLK.	CONC. BLK.	UNFIN.	"
16	CLASSROOM	ASPH. TILE	4" RUBBER	C.B. - BR.	C.B. - GL.	C.B. - BR.	C.B. - BR.	A.A.F.G.	8'-0" x 8'-0"
17	"	"	"	"	"	"	"	"	"
18	STAIR	AT. TERR.	RUB. TERR.	BRICK	BR. GL.	BRICK	ENT.	"	VARIES
19	STORAGE	CONC.	NONE	CONC. BLK.	CONC. BLK.	CONC. BLK.	CONC. BLK.	UNFIN.	"
20	CLASSROOM	ASPH. TILE	4" RUBBER	C.B. - BR.	C.B. - GL.	C.B. - BR.	C.B. - BR.	A.A.F.G.	8'-0" x 8'-0"
21	LIBRARY	"	"	CONC. BLK.	C.B. - BR.	BRICK	C.B. - GL.	"	"
22	GEN. OFF.	"	"	CONC. BLK.	C.B. - GL.	GLT. GL.	CONC. BLK.	"	8'-0" x 8'-0"
23	STORAGE	"	"	"	CONC. BLK.	CONC. BLK.	CONC. BLK.	"	"
24	MEN'S TOIL.	"	"	GL. TILE	GL. TILE	GL. TILE	GL. TILE	"	"
25	PRIN. OFF.	"	"	C.B. - GL.	CONC. BLK.	CONC. BLK.	CONC. BLK.	"	"
26	WORK ROOM	"	"	CONC. BLK.	"	"	"	"	"
27	OFFICE	"	"	"	"	"	"	"	"
28	COT ROOM	"	"	C.B. - GL.	"	"	"	"	"
29	NURSE	"	"	"	"	"	"	"	"
30	TOILET	"	"	GL. TILE	GL. TILE	GL. TILE	GL. TILE	"	"
31	GUIDANCE	"	"	C.B. - GL.	CONC. BLK.	CONC. BLK.	CONC. BLK.	"	"
32	KINDERGARTEN	"	"	C.B. - BR.	C.B. - GL.	C.B. - BR.	C.B. - BR.	"	8'-0" x 8'-0"
33	TOILET	"	"	GL. TILE	GL. TILE	GL. TILE	GL. TILE	"	8'-0" x 8'-0"
34	SPEC. EDUC.	"	"	C.B. - BR.	C.B. - GL.	C.B. - BR.	C.B. - BR.	"	8'-0" x 8'-0"
35	TOILET	"	"	GL. TILE	GL. TILE	GL. TILE	GL. TILE	"	8'-0" x 8'-0"
36	KINDERGARTEN	"	"	C.B. - BR.	C.B. - GL.	C.B. - BR.	CONC. BLK.	"	8'-0" x 8'-0"
37	TOILET	"	"	GL. TILE	GL. TILE	GL. TILE	GL. TILE	"	8'-0" x 8'-0"
38	CORRIDOR	"	"	"	BRICK	"	"	"	8'-0" x 8'-0"
39	GARAGE	CONC.	NONE	CONC. BLK.	CONC. BLK.	CONC. BLK.	CONC. BLK.	UNFIN.	UNPAINTED. BOARD ON CEILING.
40	BOILER RM.	CONC.	NONE	"	"	"	"	UNFIN.	"
41	STORAGE	ASPH. TILE	4" RUBBER	"	BRICK	"	"	"	"
42	STORAGE	"	"	"	CONC. BLK.	"	"	"	"
43	STAGE	WOOD	WOOD	"	"	"	"	"	"
44	MULTI-PURP.	ASPH. TILE	4" RUBBER	BRICK	BRICK	BRICK	BRICK	"	"
45	JAN. CLO.	"	"	CONC. BLK.	CONC. BLK.	CONC. BLK.	CONC. BLK.	"	"
46	BOYS TOIL.	"	"	GL. TILE	GL. TILE	GL. TILE	GL. TILE	A.A.F.G.	8'-0" x 8'-0"
47	KITCHEN	"	"	CONC. BLK.	CONC. BLK.	CONC. BLK.	CONC. BLK.	"	"
48	TEACH. LOUNGE	"	"	"	"	"	"	"	"

C.B. = CONC. BLK. • BR. = BRICK • GLT. = GL. TILE • AT. = ASPH. TILE • TERR. = TERRAZZO •
 * - A.A.F.G. = ARMSTRONG ACQUS. FIRE GUARD



GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

NOTE: ALL FIRE EXT. CAB'S - M.O. = 12" x 27 3/4"
 "M.O." - MOLDED BRICK.