



Agenda
Village of Arlington Heights
Zoning Board of Appeals
Virtual Meeting

December 14, 2020
7:00 PM

I. CALL TO ORDER

- A. In response to the COVID-19 pandemic, this meeting is being held virtually which permits the public to fully participate via their computers or using their phones.

To participate in the virtual meeting, please follow these instructions: <https://bit.ly/3oCfXwe>

Individuals who wish to comment or ask a question on an item on the Agenda may either participate virtually or send an email to the Village at dmach@vah.com. Please limit emails to 200 words or less. To be shared at the meeting, the email must be received by 3:00 p.m. on December 14, 2020.

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. ComEd - 2300 N. Arlington Heights Rd. - 11/30/20
B. 633 N. Ironwood Dr. - 11/30/20
C. 754 S. Belmont Ave. - 11/30/20
D. 611 E. Frederick St. - 11/30/20
E. 2158 N. Lake Shore Circle - 11/30/20

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. 300 E. Haven St. - ZBA#20-033
B. 116 N. Pine Ave. - ZBA#20-037
C. 2404 E. Gregory St. - ZBA#20-038

VII. OTHER BUSINESS

VIIIADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



**Zoning Board of Appeals
12/14/2020**

Item: ComEd - 2300 N. Arlington Heights Rd. - 11/30/20

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
2300 N Arlington Heights Rd - 11/30/20 Minutes	Minutes
2300 N Arlington Heights Rd - 11/30/20 Findings	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 2300 NORTH ARLINGTON HEIGHTS ROAD - ZBA #20-029

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals, held virtually in response to the
COVID-19 pandemic, which permits the public to fully participate via their
computers or using their phones, on the 30th day of November, 2020 at the hour
of 7:00 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Acting Chairperson
TOM DRAKE
JEFF LANAGHAN
BENJAMIN JAFFE
JOE GEISEL

ALSO PRESENT:

DEREK MACH, Development Planner

ACTING CHAIRPERSON DIVITO: Good evening, everyone. I would like to call to order the Zoning Board of Appeals meeting for November 30th, 2020. I have a couple of quick announcements to make before we get the normal process started here. Let's see.

First, I find that the public health concerns related to the Corona virus pandemic render in-person attendance at the regular meeting location non-feasible.

After the petitioner's presentation, as part of the comments from the audience, public attendees will have an opportunity to speak. In order to do so, please select the Raise Hand icon on the display and wait for the Chairman to call on you one at a time please. To all participants, please mute your microphone when not speaking to avoid background noise. During the meeting, if the Staff liaison loses connection, or host, please remain in the meeting until the host can rejoin and resume the meeting. If the participant loses connection, you can rejoin using the original meeting link.

Do I need to read the other, the pandemic statement there, Derek?
Or is that sufficient? Could we just go straight to roll call?

MR. MACH: We can go to roll call. Chairman Peter Siavelis.

(No response.)

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Here.

MR. MACH: Mr. Geisel.

COMMISSIONER GEISEL: Here.

MR. MACH: Mr. Jaffe.

COMMISSIONER JAFFE: Here.

MR. MACH: Mr. Lanaghan.

(No response.)

MR. MACH: Mr. Selbka.

(No response.)

MR. MACH: Mr. Divito.

ACTING CHAIRPERSON DIVITO: Here.

All right, so we have a quorum for this evening. So, before we jump into the next, let's go in and do our Pledge of Allegiance. I know this can be tricky, but there is the American Flag presented for us. If you could rise with me and join me.

(Pledge of Allegiance recited.)

ACTING CHAIRPERSON DIVITO: That was probably the most awkward part of the entire meeting.

COMMISSIONER JAFFE: So far.

ACTING CHAIRPERSON DIVITO: Exactly.

All right, next order of business is the approval of the minutes from last month's, or earlier this month's meeting. Has everyone had an opportunity to review?

(Chorus of yeses.)

ACTING CHAIRPERSON DIVITO: Are there errors or omissions that need to be addressed? If not, is there a motion to pass?

COMMISSIONER DRAKE: So moved.

COMMISSIONER JAFFE: Seconded.

MR. MACH: I have Mr. Drake put the motion forward and Mr. Jaffe

seconded the motion.

Roll call. Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Geisel.

COMMISSIONER GEISEL: Yes.

MR. MACH: Mr. Jaffe.

COMMISSIONER JAFFE: Yes.

MR. MACH: Acting Chairman Divito.

ACTING CHAIRPERSON DIVITO: Yes. The minutes have been approved.

Before we go in to the business for this evening, I just want to go through a few other statements here.

COMMISSIONER JAFFE: Excuse me, Chairman?

ACTING CHAIRPERSON DIVITO: Yes.

COMMISSIONER JAFFE: Jeff is in the attendee area, he's got his hand raised. I don't know if he's trying to talk or in the wrong place or what.

ACTING CHAIRPERSON DIVITO: That's fine. He went to the panel list, Derek, so, he's good. Good call, thank you.

MR. MACH: Please let the record reflect that Mr. Lanaghan is present.

COMMISSIONER LANAGHAN: Oh, I'm here Derek. I'm just trying to figure out the audio. Sorry about that.

MR. MACH: Thank you.

ACTING CHAIRPERSON DIVITO: Audio is good. We don't have you on video, but we can hear your voice.

COMMISSIONER LANAGHAN: There we go.

ACTING CHAIRPERSON DIVITO: There we go, I see you.

All right, so this is a seven-member panel. If there are less than six members, which there are, so we can actually, it takes four affirmative votes in order for your variance to be approved. If denied, petitioner cannot reapply for an entire year. Let's see.

There are four elements necessary to establish in order for the Board to be able to grant a variance. I'll read through these, and this is more of a note to the petitioners. Please make sure that you hit on these key points. Don't wait for us to try and extract this information from your presentation.

1. That the proposed use will not alter the essential character of the locality and will be compatible with the existing uses and zoning of nearby property;
2. That the plight of the owner is due to unique circumstances which may include length of time the subject property has been vacant as zoned;
3. That the proposed variation is in harmony with the spirit and intent of this chapter; and finally,
4. The variance requested is the minimum variance necessary to allow reasonable use of the property.
- 5.

So, with all that in mind, there's actually an old business that we want

to bring up as the first one, which is 2300 North Chestnut, which is the ComEd facility.

So, Derek, would you like to read?

MR. MACH: Yes. Chairman and the Zoning Board, the Petitioner is proposing to replace and expand an existing seven-foot fence surrounding the ComEd electrical substation with a security fence structure that is 12 feet tall, including the proposed barbed wire at the top. Along Chestnut Avenue and to, so Staff is recommending that landscaping be provided along Chestnut Avenue as this is a gateway to the subdivision to the north.

The Petitioner is requesting a variation from Chapter 28, Section 6.13-3 to allow a 12-foot tall fence, including the barbed wire at the top, along with three 18-foot tall posts which support the fence and other security functions, where the maximum fence height allowed is six feet. In addition, they're requesting a variation from Chapter 28, Section 6.13-2a to allow the use of barbed wire where barbed wire is prohibited.

Thank you, Chairman.

ACTING CHAIRPERSON DIVITO: All right, so Petitioners are present?

MR. SAEF: Yes.

MS. DAVIS: Yes.

ACTING CHAIRPERSON DIVITO: All right, so I think there's quite a few of you on the call here this evening. So, how many are going to actually be presenting?

MS. DAVIS: Hi, this is Calandra Davis. Good evening, everyone. I'm the External Affairs Manager with ComEd. We appreciate the opportunity to discuss our plans for the update to our substation exterior fence, our Arlington Heights Substation called TDC268.

ACTING CHAIRPERSON DIVITO: Before you actually get started, I do need to swear you in, as difficult as this is going to be in this setting. So, is there anyone else going to be speaking on behalf of this petition?

MS. DAVIS: Yes, we have three primary speakers, and also two additional people available for questions later. But three primary speakers.

ACTING CHAIRPERSON DIVITO: All right, so, let's do this. Can we --

MS. DAVIS: And I'm attempting to be on video, it's not showing up. I'm not sure why but I did activate the video but it's not cooperating. My apologies.

ACTING CHAIRPERSON DIVITO: No, no worries. So, do we want to start with a list of names and then we can go through and swear you in individually?

MS. DAVIS: Yes. So, again, I'm Calandra Davis. We have Scott Saef of Sidley Austin, our Zoning Attorney. We have Christina Deuchler with ComEd, she's the Manager of Physical Infrastructure Protection. The third primary speaker is Doug Gotham with Christopher B. Burke Engineering.

ACTING CHAIRPERSON DIVITO: All right. So, Calandra, since you're speaking, raise your right hand.

(Witness sworn.)

ACTING CHAIRPERSON DIVITO: Thank you. All right, Scott, if you can unmute yourself? Scott, do you want to just cite your name and address for the record as well?

MR. SAEF: Scott Saef, Sidley Austin, 1 South Dearborn, Chicago, Illinois
60603.

ACTING CHAIRPERSON DIVITO: Thank you.

(Witness sworn.)

ACTING CHAIRPERSON DIVITO: Thank you. Christina?

MS. DEUCHLER: Yes.

ACTING CHAIRPERSON DIVITO: Excellent. All right, can you state your name and address for the record please as well?

MS. DEUCHLER: Christina Deuchler, 1919 Swift Drive, Oak Brook, Illinois, ComEd.

ACTING CHAIRPERSON DIVITO: Excellent. Raise your right hand.

(Witness sworn.)

ACTING CHAIRPERSON DIVITO: Thank you, and last but not least, Doug? Doug, we can't hear you.

MR. GOTHAM: I'm here.

ACTING CHAIRPERSON DIVITO: Excellent.

MR. GOTHAM: 9875 West Higgins Road, Rosemont, Illinois. Christopher Burke Engineering.

ACTING CHAIRPERSON DIVITO: Excellent.

(Witness sworn.)

ACTING CHAIRPERSON DIVITO: Thank you. All right, so thank you for bearing with us on this.

Calandra, do you want to start off?

MS. DAVIS: Yes. Again, I've introduced the three primary speakers. I just wanted again to just reiterate that we appreciate the opportunity to discuss our plans for the update to our substation exterior fence at the Arlington Heights Substation TDC268. Again, the three primary speakers are Scott, Christina and Doug. Also available for questions, we have Duke Calie, a Senior Project Manager with ComEd, and Dan Hanahan with Primera.

With that, I will turn it over to Scott to open with a few remarks.
Thank you.

MR. SAEF: Thank you, Calandra. I'm going to provide a brief project overview and touch on the Presidential Directive that is creating a need for the project which really goes to our unique circumstances. Christina is going to talk briefly about the security needs from her perspective as Manager of Physical Infrastructure Protection. Then Doug is going to talk about the landscape plan. Sounds like a lot, we're going to keep it tight and brief, but we just thought it might be helpful.

So, what you're seeing on the screen, the substation is located as you've heard in the R-1 Zoning District, landscaping and commercial uses to the south. Actually, the substation backs up to the rear of those buildings, vacant land is owned by ComEd to the east. We've got a transmission corridor to the north. There are homes on the north side about 115 feet away to north of the transmission corridor, and then roadway parking lots to the west.

As you heard, today the substation is enclosed. The substation has been at this location since the late 1960's or early 1970's. It's a seven-foot tall fence

including 12 inches of barbed wire that's been in existence for sometime. Really the site plan is not changing, the idea is to replace the fence. It's a little hard to read this plan, but the idea really is to replace the fence in generally the same location except for the northeast corner where the fence is being bumped out a slight bit to secure an entryway to the substation and to even out the line of the fence at the southeast corner. The rest of the fence is really going in the same location, and to create a more secure exterior barrier around the substation.

The fence is going to be, we propose it to be 12 feet tall including 12 inches of barbed wire. There are three taller posts, you can see them here a little faint, the SP1, SP2 and SP3. These are corners. These will support the fence and also provide an additional security function. The lengths of those posts are 18 to 20 feet, generally about 18.

That's really the overview of the plan. What it stems from is, and Christina is going to talk in more detail, but what it stems from is a 2013 substation attack among other things in California. There's actually two that Christina will talk about. But that led in 2013 or after that to a Presidential Directive for the federal government. This was issued by President Obama at the time, to work with critical infrastructure owners including utilities such as Exelon and ComEd.

What the Presidential Order did is order the federal government to take proactive steps to strengthen security at what was known as, what is known as critical infrastructure. The particulars were that the order required the Department of Homeland Security to develop with the Department of Energy a national plan to implement these mandates.

By 2015, the Department of Homeland Security and Department of Energy had issued what was known, or what is known as an Energy Sector Specific Plan (ESSP), a lot of initials. But the essence of it was that is the plan by which electric utilities around the country committed to deploying tools to enhance what's known as situational awareness, which Christina will explain, the idea of knowing what's going on at substations and the security of the grid. Don't advance yet, Derek, we're spoiling Christina's surprise.

Substations are really key to the grid. This project is part of Exelon's commitment to carrying out this 2015 plan. Exelon, through ComEd, and its other utilities and other utilities around the country, but for ComEd, it's in the midst of a multi-year program to update security at this and many other substations to carry out the Presidential Directive.

So, I know it's a lot of words just to set the stage. I'll turn it over to Christina to get a little more in detail as to what the security concerns are.

MS. DEUCHLER: Thank you, Scott. As Scott explained, I'm the Physical Security Manager for ComEd. A little background, I'm a military veteran, a retired police officer, and security manager for a nuclear power plant in Michigan prior to coming here. I am a CPTED, and my team is CPTED qualified, which is Crime Prevention Through Environmental Design which I believe the Arlington Heights Police Department is fully involved in.

As Scott mentioned, coming out of, the Presidential Directive was inspired by the three incidents on the slide. I won't go through those. Locally, I did want

to just give you a flavor of what we deal with at ComEd up in the northern suburbs, a little bit in the west suburbs as well. But burglary, sabotage, suspicious folks, and some explosive devices that keep popping up in the northern suburbs actually. So, if we can go to the next slide, I can explain the infrastructure and why we want this infrastructure.

These are a couple of photos that were taken in the north and west suburbs over the last 12 months for break-ins at the substation and damage to the substation. So, the one on the bottom left-hand side was over the weekend. So, this is what we're looking at and this is why we've chosen the materials and the height of the fence that we've chosen. Some kind of a climb under regular fencing which resulted in, and what they're after is copper, right? So, in the absence of copper reels lying around, they are stealing the grounding which is presenting a safety issue for ComEd, for the residents, and for the first responders that come out to the substations, fire departments, police departments, and easily manipulated.

So, if we go to the next slide, I can like talk about how we are able to, how we came up with the materials we want to use. So, physically, fencing/barbed wire, the goal is to deter somebody from even wanting to come on property, just making it require a lot of forethought and tools to accomplish the goal of getting into the substation.

To speak to height and also the barbed wire, we want to, you know, delay individuals from coming in. With the super posts, we're installing technology, and that technology typically is in the form of cameras. We have a couple of other tools. We use microwaves, infrared detectors, those are all designed to detect an intrusion into the fence line and communicate that intrusion to our security operation center. Next slide please.

I think that's all for me for now. So, I will turn it over to Doug on the landscaping.

MR. GOTHAM: Thank you, Christina.

So, what we see here is the plant palette which are the pretty pictures over there on the far right-hand side, and on the left side is the landscape plan. We developed a buffer of landscaping along Chestnut Avenue. As Scott pointed out, we see that as the gateway to the residential area. We wanted to make that softer and nicer.

So, we developed a double wall of shrub plantings, a mixture of lilacs and chokeberry. I should point out that we're under the high-powered lines here. So, ComEd has a restriction that they self impose where we want to keep the landscaping not to exceed the eight-foot height.

I don't know if you can notice, but in the landscape plan there is a contour line, the green lines. The substation actually sits down in a little depressed area. So, by moving that off, that hedge screen 15 feet off, it gives us a nice security buffer between the fence and the screen or the hedge. It also elevates those plant materials by another 30 plus inches so we can gain some height on that eight feet of planting to help screen that 12-foot fence.

But like I said, we have a double wall of hedge, and then Derek made a comment on the review of the landscape plan where he wanted to see more of a layered look. So, since we weren't able to put in trees or anything like that, we went the opposite. We went low and we have a front of perennials, of ornamental grasses and

flowering perennials in front of that.

So, that's pretty much the landscape plan. You can see I have a section there below that gives sort of an illustration in the center on the bottom where you see, yes, thank you, Derek, where you see the fence of the 12-foot height. Then by moving it up in a way by that 15 feet, we can get that plant material to appear taller to cover more of the fence.

I'll turn it back over to Scott.

MR. SAEF: Just in conclusion, we submitted detailed responses to the standards. I can verbally go through them if you'd like. We touched a lot on the unique circumstances. In terms of the essential character, the substation has coexisted with the surrounding uses for many years, and really we're not changing that. We're altering the exterior protection of the use but we're not really changing it.

In terms of the intent of the chapter and spirit, we are really again just responding to the nation's directive for upgrading the security. We're not changing the nature or function of the use. As Christina explained, we think this is the minimum necessary to accomplish the security, to respond to the security directive.

Our team is available to answer any questions and we appreciate you listening to our presentation.

ACTING CHAIRPERSON DIVITO: Thank you for all that.

Ben, are you still good for this one?

COMMISSIONER JAFFE: Yes, and I mean, given the presentation that the Petitioners have gone through, I think they've addressed some of the questions that I was going to pose. You know, the one thing that probably still is outstanding in my mind is have the Petitioners had any contact or have they been contacted by those neighbors who live just to the north of the station? I mean obviously, the continuance was based on some additional work for the landscaping which looks like has been done. I'm just curious if there has been any dialogue or any feedback or communications with the property owners to the north.

MR. SAEF: I can answer some of that, and maybe others can, too. We obviously followed the notice directives and sent the letters that we needed to send. I don't believe ComEd has gotten any response to those letters, unless Calandra?

MS. DAVIS: That is correct, Scott. I have not received any feedback.

COMMISSIONER JAFFE: Chairman, that's all I had given the presentation that they delivered. So, I don't know if the other Board members have questions.

ACTING CHAIRPERSON DIVITO: Any other members?

COMMISSIONER LANAGHAN: I had one, a quick one. You guys touched on it briefly, the SP1, SP2, and SP3 you said were 20-foot tall? Could you, I might have missed it, I know I was having a little bit of technical difficulties earlier, so can you explain again why those are going up that high?

MR. SAEF: I think the number, well, I was having trouble hearing you just now, but the three posts in the corner are generally 18 to 20 feet in length. So, 18 to 20, not 28 at all, maybe you'd said that? They are a little taller in part to support the fence, and in part as Christina said, they also support certain of the security functions such as cameras or other security monitoring, I don't know right word, devices or techniques that are used as part of the system.

ACTING CHAIRPERSON DIVITO: Jeff, does that work for you? You're on mute again.

COMMISSIONER LANAGHAN: Thank you. No, that answered my question.

COMMISSIONER GEISEL: This is Joe Geisel. I have one question please. Are the improvements similar or equal to those that are being planned in other communities for like kind situations?

MR. SAEF: I guess I'll answer that and our team can. Yes, the simple answer is yes. You know, Calandra, if you want to add or anyone else, or Christina, but that's the simple answer, Commissioner, to your question.

COMMISSIONER GEISEL: That answers it, thank you.

COMMISSIONER DRAKE: Yes, this is Tom Drake. I have a question. The directive came out of 2015, so that says I guess that the plant has been in some risk right now. What's the timetable for getting this project done?

MR. SAEF: I believe the timetable is to implement it, you know, whenever we can, assuming you favorably vote on it and once permits are issued, I believe the goal, unless our team corrects me, is first quarter 2021 maybe into the second quarter of 2021. I ask my team to correct me if I've misstated that.

MS. DEUCHLER: Sure, Scott. This is Chris Deuchler. So, ComEd has embarked on a seven-year program to upgrade 167 substations. The substations are tiered in order of criticality, and they are updated or upgraded as we're proposing here in order of their criticality to the national grid. So, where that falls in the seven-year project, you can kind of figure it out, can't tell you.

But, yes, so we have a lot of substations upgrade and we've prioritized them in order of criticality to the national grid.

MR. SAEF: But am I correct this is a first or second quarter completion of 2021?

MS. DEUCHLER: I believe that is the plan. Duke?

MR. CALIE: I believe that is the plan.

MS. DEUCHLER: It is in 2021, I just don't remember what quarter it is.

MR. CALIE: This is Duke, can you guys hear me?

MS. DEUCHLER: Yes.

MR. CALIE: Yes, so right now, we're slated for construction completion on April 16th of 2021. So, that's the more precise date.

COMMISSIONER DRAKE: Okay, thank you.

ACTING CHAIRPERSON DIVITO: Sorry, just to be a stickler here, Duke, can you just state your name and address for the record please?

MR. CALIE: Duke Calie, Senior Project Manager, 1 Lincoln Center, Oak Brook Terrace, Illinois.

ACTING CHAIRPERSON DIVITO: Raise your right hand. Not that I can see you, but I assume that you are raising your right hand.

(Witness sworn.)

ACTING CHAIRPERSON DIVITO: Thank you. Fun day and age that we live in today, right? All right, I appreciate all the additional context.

Any other Board members who have any other questions for the

Petitioners?

COMMISSIONER JAFFE: No.

ACTING CHAIRPERSON DIVITO: All right, none being heard, let's close down this section and go to the attendees, see if anyone is in the audience that would like to speak about this petition. So, I see that we only have five attendees. I do not see any hands raised.

Just a reminder, as this is the first petition, if you do want to speak when appropriate, you do need to raise your hand within the Zoom meeting icon, and that gives myself and Derek, the host, visibility that you want to speak on this petition.

So, I'm not seeing any, Derek. I'm assuming you don't either?

MR. MACH: That is correct, David.

ACTING CHAIRPERSON DIVITO: All right, so at this point, we'll close it down to Board discussion.

So, Ben, would you like to lead off the Board discussion?

COMMISSIONER JAFFE: Sure. So, look, I mean, I think the Petitioner has spelled out very clearly why they have requested this variance. I think as all of us being users of the utility, I think there's something reassuring about the fact that these measures are being taken so we don't have any interruptions in our supply. I think they've taken the extra time that they asked for to put together a more comprehensive landscaping plan to mitigate any type of, you know, visibility issues that the neighbors to the north might have.

So, given all that, I would be in support of approving this petition as presented.

ACTING CHAIRPERSON DIVITO: Any other comments from the Board members?

(No response.)

ACTING CHAIRPERSON DIVITO: All right, Ben, I am in full agreement with you. Not only the cause in which to put in the additional security parameters, but also it was very well laid out and very well constructed as far as their application. So, I'd be in support as well.

So, with all that being said, is there a motion?

COMMISSIONER DRAKE: I would move approval of the petition.

COMMISSIONER LANAGHAN: I second.

MR. MACH: I have Mr. Drake put the motion forward, and Mr. Lanaghan seconded the motion.

I'll proceed with roll call. Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Geisel.

COMMISSIONER GEISEL: Yes.

MR. MACH: Mr. Jaffe.

COMMISSIONER JAFFE: Yes.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Acting Chairman Divito.

ACTING CHAIRPERSON DIVITO: Yes.

Congratulations, team. The petition has passed. So, I appreciate your time and your effort in going through the petition this evening. This goes to all future petitioners as well. You do not need to stick around for the rest of this meeting. You can drop off at any time.

MR. SAEF: Thank you, Mr. Chairman and members of the Commission. We appreciate it.

MS. DAVIS: Thank you for your time. Have a good evening.
(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:34 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS

November 30, 2020

PETITIONER: ComEd

ADDRESS OF PROPERTY: 2300 N. Arlington Heights Rd.

VARIATION: 6.13-3, 6.13-2a (Location of Fences)

A variation to allow a 12' tall fence (including barbed wire at the top) along with three 18'-20' tall posts which support the fence and other security functions where the maximum fence height allowed is 6'; A variation to allow the use of barbed wire where barbed wire is prohibited.

The petitioner explained that they are proposing a 12 foot tall unscalable security fence which includes barbed wire at the top in order to provide additional security at the ComEd electrical substation known as TDC268 Arlington Heights. The petitioner further explained that the proposed security measures are policy directives of a Presidential Executive Order addressing the physical security of the country's critical electrical infrastructure. The petitioner provided information regarding the importance of the security fence. The petitioner presented a landscape plan for the area along Chestnut and agreed to install the landscaping. The petitioner explained that the landscaping includes a double row of deciduous shrubs along with perennials for a layered buffer.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Drake and seconded by Mr. Lanaghan. Thereafter, the Board voted 5-0 to approve the variance request, with a condition that landscaping be provided that consists of shrubs and perennials along Chestnut.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 5-0 to grant the variance as requested, with a condition that landscaping be provided that consists of shrubs and perennials along Chestnut.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chair
Zoning Board of Appeals
Village of Arlington Heights



**Zoning Board of Appeals
12/14/2020**

Item: 633 N. Ironwood Dr. - 11/30/20

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
633 N Ironwood Dr - 11/30/20 Minutes	Minutes
633 N Ironwood Dr - 11/30/20 Findings	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALSOF APPEALS

RE: 633 NORTH IRONWOOD DRIVE - ZBA #20-032

REPORT OF PROCEEDINGS had before the Village of
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JOE GEISEL

ALSO PRESENT:

DEREK MACH, Development Planner

ACTING CHAIRPERSON DIVITO: All right, so new business for this evening, we will start off with 633 North Ironwood.

MR. MACH: Chairman, the Petitioner is proposing to construct a 420 square-foot shed that is located in the side yard where sheds are only permitted in the rear yard. In addition, the proposed shed is 17.5 feet tall where the maximum height allowed is 15 feet.

Therefore, they're requesting a variation from Chapter 28, Section 6.5-2 to allow a shed in the side yard where sheds are only permitted in the rear yard; and a 2.5-foot variance from Chapter 28, Section 6.5-6 to allow an increase to the maximum height of an accessory structure from 15 feet to 17.5 feet; and a 120 square-foot variance from Chapter 28, Section 6.5-7 to allow an accessory structure with a size of 420 square feet instead of the maximum 300 square feet.

ACTING CHAIRPERSON DIVITO: Okay, who is the one to be presenting now please?

MR. LIRA: Gary Lira with Lira & Associates, the architect.

MR. EVANS: Paul Evans, homeowner.

ACTING CHAIRPERSON DIVITO: Excellent, good evening to both of you. Gary, I hope you took notes during the ComEd presentation. That's the expectation that was set for the evening.

MR. LIRA: Exactly, we're going to work on it.

ACTING CHAIRPERSON DIVITO: All right.

MR. LIRA: Hopefully, we'll be a little bit shorter.

ACTING CHAIRPERSON DIVITO: All right, so Gary, let's start with you. Name and address for the record?

MR. LIRA: 3015 South Arlington Heights Road, Arlington Heights, Illinois.

(Witness sworn.)

ACTING CHAIRPERSON DIVITO: All right, name?

MR. EVANS: Paul Evans, 633 North Ironwood Drive, Arlington Heights, Illinois 60004.

(Witness sworn.)

ACTING CHAIRPERSON DIVITO: Thank you. The floor is yours.

MR. LIRA: All right, good evening. We are looking to replace an existing shed. So, if you look at the site plan or if you went out to the site, the existing shed is located in the southeast corner. It's kind of seen a lot of wear and tear, it's probably the original shed that was dumped there. So, Mr. Evans wants to replace it with a shed that complements his new structure that he built, I don't know, six years ago?

MR. EVANS: Six or seven.

MR. LIRA: Six or seven years ago. So, as far as the shed location, it's basically in the same location that the existing shed is currently, except we have shifted this shed four feet off the east property line where the existing shed currently sits two feet. We can't push it any farther because we have an existing drainage patterns that comes between the existing tree, there are some big, large trees there, and the front of the existing shed. So, we were only able to shift it about two feet to the east.

We are taking the height up a little bit taller here to complement the

existing structure that was built six years ago. We've come up with a really nice design that Mr. Evans is actually spending quite a bit of money on the shed to complement the structure, so that way it looks very appealing to the neighbors.

You'll notice that the shed height is 673.75, and the neighboring property of the garage to the northeast of him is at 677.4. So, we are 4.5 feet, so if you take a look at that, we're 4.5 feet below that closest garage, and that garage, I measured it, is approximately 19 feet tall. So, that's 19 feet plus 4.5 feet. So, as far as the height goes, this will complement the existing structure and will not be a negative on the neighbors directly to the east of it.

The sides of the shed, the existing shed that is there is 401.6 square feet, and we're at 420 square feet. The reason why that pushed up over the actual 18 square feet was to create the colonnade on the front porch. So, that way, it doesn't have a colonnade now and Mr. Evans wanted that colonnade, so that's what increased it from the 401 to 420 square feet.

MR. EVANS: It is a garage not a shed.

ACTING CHAIRPERSON DIVITO: Sorry, I was on mute. I didn't hear the homeowner speak, it's not able to pick him up very well.

MR. LIRA: He just said the existing structure is really a garage, not a shed.

ACTING CHAIRPERSON DIVITO: All right, quick question. How long have you been at the property? How long have you lived there?

MR. EVANS: Since the end of March of 2014. We purchased the property in September of 2012. Gary was our architect on the original, on the property we built there. Yes, and I think two of my neighbors, one Jim Devorchek sent a letter of support, and then another, the other neighbor, Larry, I don't know Larry's last name, but he sent a letter of support to the Village.

MR. LIRA: Did you receive those, Derek?

MR. MACH: I did. I'll read those into the record when we get to public comment.

MR. LIRA: Great. There are only two, so just to give you, if you haven't been out to the site, directly to the east, I mean to the north is Rohlwing Green Country Club. Directly to the east, there is one property, that's Jim Devorchek. Directly northeast is, I mean sorry, southeast is Larry, and directly south of them is currently an empty vacant lot.

ACTING CHAIRPERSON DIVITO: How many people currently reside in the residence?

MR. EVANS: Four people.

ACTING CHAIRPERSON DIVITO: What's going to be the primary use of the shed?

MR. EVANS: It will be just to store the garden equipment, maybe a riding lawnmower, you know, that's just in the end maybe a work bench here and there, but that's it. That's what it's being used for today sans the riding lawnmower which Gary doesn't believe I'll ever use a riding lawnmower now.

ACTING CHAIRPERSON DIVITO: Any other questions from Board members?

COMMISSIONER LANAGHAN: I have one. I know you kind of said that

you couldn't move it any farther to the east because of some drainage patterns, is that correct?

MR. LIRA: Yes, to the west. We couldn't move it farther to the west.

COMMISSIONER LANAGHAN: Can you kind of walk me through there? I'm looking at your plan there which I do see your grade lines.

MR. LIRA: Right.

COMMISSIONER LANAGHAN: I'm not quite understanding why a few more feet would make a difference I guess.

MR. LIRA: What doesn't come up on that topo is the existing trees that are out there are very large. I have a picture, I can show you the picture of it, but they're very large, and the root base of the trees fan out all the way to the canopy. So, on the plan, it looks like you have a lot of area that you're going to run this swale through, and the reality is the root base is so wide you don't really have it. Moving it any farther, we would then start cutting into that root base of these very old trees that Mr. Evans is not interested in doing.

COMMISSIONER LANAGHAN: So, the mature trees, yes, I do see the trees there and that's kind of what was throwing me off, so the mature trees are creating such a canopy that if you move it any further, you're going to have a problem with the existing root structure, is that correct?

MR. LIRA: Correct. Not only the root structure but the roots, you know, how trees, the old trees can create a hump, and that's what you have going there.

COMMISSIONER LANAGHAN: Okay, thank you.

MR. LIRA: I've got a picture if you want to see them, the trees, if you want us to add it.

COMMISSIONER LANAGHAN: I've got Google Earth up and on the other page, so it's, I can see you got some pretty good canopies out there.

MR. LIRA: Yes.

ACTING CHAIRPERSON DIVITO: Any other Board members with comments?

COMMISSIONER DRAKE: I just had a question to the Petitioner. Did you see the comment by the Building Department about fire resistance in their report?

MR. LIRA: Yes. Yes, very familiar. We do that, we do a lot of work in Arlington Heights, and we know that if we're within five feet of the property line, we have to provide fire resistant material out there.

COMMISSIONER DRAKE: Okay, thank you.

ACTING CHAIRPERSON DIVITO: All right, last call for Board member comments, questions?

(No response.)

ACTING CHAIRPERSON DIVITO: If not, we'll go over to the audience and see if anyone from the audience wishes to speak on this behalf.

Or actually, Derek, why don't you go ahead and start with the letters that came in?

MR. MACH: Yes. I received two e-mails regarding this petition.

The first one is addressed to the Zoning Board: My wife and I own the home to the east of Mr. and Mrs. Evans. We appreciate them as great neighbors who

have built a wonderful home and beautiful landscaping. Mr. Evans has personally shown us the project proposed and submitted to the Village, has reviewed the drawings with us and the zoning variance requests. We are in total support of the project and variances requested by Mr. Evans, and I feel it would be a positive addition to our neighborhood. We ask that you grant the Evanses the variances requested. We thank you for your service on behalf of our Village and kind regards. Jim and Janine Devorchek.

Then the next e-mail received states: I am writing with regard to the above which I believe there is a hearing on Monday, November 30th. I live in an adjacent property to the Evans. Paul Evans was kind enough to share the drawings as well as the variance requests. Overall, I believe this will be a very nice enhancement to the neighborhood and I am in full support of this project. Greatly appreciate the due diligence the Village of Arlington Heights takes to ensure an open and transparent review of building initiatives. Many thanks for your time and efforts. Larry Brooke.

Thank you, Chairman.

ACTING CHAIRPERSON DIVITO: All right, so with that, we'll continue to the audience participation here. If anyone in the audience wishes to speak, please use the Raise Hand icon and we can make sure that your voice is heard. Ill give you three seconds.

I'm not seeing anybody raising their hand. Derek, can you confirm?

MR. MACH: That is correct. I do not show any raised hands.

ACTING CHAIRPERSON DIVITO: All right, so we'll close this one down for Board deliberation.

I can start this one off. Seems like a reasonable request given the size and it's replacing the existing structure. They moved it a little bit to offer a little bit of relief against the property line to the east. The fact that we have two letters from neighbors in support and seeing that it's minimally, there's minimum variances that are being requested here, I think I'd be in full support of this.

COMMISSIONER GEISEL: Agreed.

COMMISSIONER JAFFE: Agreed.

COMMISSIONER DRAKE: Same here.

ACTING CHAIRPERSON DIVITO: All right, so with all that, is there a motion?

COMMISSIONER LANAGHAN: I move that we accept the variances as requested for this petition.

COMMISSIONER GEISEL: Second.

MR. MACH: I have Mr. Lanaghan put the motion forward and Mr. Geisel seconded the motion.

I'll proceed with roll call. Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Geisel.

COMMISSIONER GEISEL: Yes.

MR. MACH: Mr. Jaffe.

COMMISSIONER JAFFE: Yes.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Acting Chairman Divito.
ACTING CHAIRPERSON DIVITO: Yes. Congratulations! Motion has passed.

MR. LIRA: Thank you.

MR. EVANS: Thank you very much.

ACTING CHAIRPERSON DIVITO: As I said, you do not need to stick around for the rest of this meeting. So, thanks again.

MR. LIRA: Have a great night.

MR. EVANS: Thank you. Bye-bye.

ACTING CHAIRPERSON DIVITO: Thank you.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:47 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS November 30, 2020

PETITIONER: Evans Residence

ADDRESS OF PROPERTY: 633 N. Ironwood Dr.

VARIATION: 6.5-2, 6.5-6, 6.5-7 (Accessory Buildings, Accessory Structures)

A variation to allow a shed in the side yard where sheds are only permitted in the rear yard; A 2.5' variance to allow an increase to the maximum height of an accessory structure (new shed) from 15' to 17.5'; A 120 sf variance to allow an accessory structure with a size of 420 sf instead of the maximum of 300 sf.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they proposing to replace an existing 400 square foot shed. The petitioner testified that they are proposing to replace the shed with a structure that compliments the house. The petitioner explained that due to the grade change the height of the proposed shed will have less impact. The petitioner also explained that the shed is 300 square feet and with the covered front entry the structure is 420 square feet.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Lanaghan and seconded by Mr. Geisel. Thereafter, the Board voted 5-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 5-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chair
Zoning Board of Appeals
Village of Arlington Heights



**Zoning Board of Appeals
12/14/2020**

Item: 754 S. Belmont Ave. - 11/30/20

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
754 S Belmont Ave - Minutes 11/30/20	Minutes
754 S Belmont Ave - 11/30/20 Findings	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALSOF APPEALS

RE: 754 SOUTH BELOMONT AVENUE - ZBA #20-034

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals, held virtually in response to the
COVID-19 pandemic, which permits the public to fully participate via their
computers or using their phones, on the 30th day of November, 2020 at the hour
of 7:47 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Acting Chairperson
TOM DRAKE
JEFF LANAGHAN
BENJAMIN JAFFE
JOE GEISEL

ALSO PRESENT:

DEREK MACH, Development Planner

ACTING CHAIRPERSON DIVITO: All right, so this next order of business is at the property 754 South Belmont. Derek, would you like to read it off?

MR. MACH: Chairman, the Petitioner is proposing to a 600 square-foot accessory structure where the maximum allowed is 300 square feet. The proposed structure will comprise of 300 square feet of a pool house and 300 square feet of a covered patio area.

Therefore, they're requesting a variance, a 300 square-foot variance from Chapter 28, Section 6.5-7 to allow an accessory structure with a size of 600 square feet instead of the maximum of 300 square feet.

ACTING CHAIRPERSON DIVITO: All right, and who do we have presenting tonight on this petition?

MS. BRUENING: That would be me, Julie Bruening from Delta Renovations.

ACTING CHAIRPERSON DIVITO: We can hear you, so that's good.

MS. BRUENING: Yes.

ACTING CHAIRPERSON DIVITO: So, Julie, if you would, you mentioned your name, can you give your address? Then I'll swear you in.

MS. BRUENING: Sure. Julie Bruening, 28144 West Industrial Avenue, Suite 114, Lake Barrington, Illinois 60010.

(Witness sworn.)

ACTING CHAIRPERSON DIVITO: Thank you.

MS. BRUENING: I also have the architect of record here with me, Dave Lindquist.

ACTING CHAIRPERSON DIVITO: All right, is he going to be presenting as well?

MS. BRUENING: He may have comments I guess as a participant call.

ACTING CHAIRPERSON DIVITO: That works. David, do you mind giving me your name and address for the record?

MR. LINDQUIST: Yes, David Lindquist, L-i-n-d-q-u-i-s-t. My address is 1 Lydia Court, like the lady's name, in Hawthorn Woods, Illinois.

ACTING CHAIRPERSON DIVITO: All right, can you raise your right hand?
(Witness sworn.)

ACTING CHAIRPERSON DIVITO: Thank you.

MR. LINDQUIST: My hand is up right next to Julie's.

MRS. WASHCO: Then Marc and Katie Washco, we're the homeowners.

ACTING CHAIRPERSON DIVITO: Great. Do you two plan on speaking on this? Probably, right?

MRS. WASHCO: Yes.

MR. WASHCO: Yes.

ACTING CHAIRPERSON DIVITO: All right, so I can swear you both in. So, Katie, why don't you go first? Name and address?

MRS. WASHCO: Katie Washco, 754 South Belmont, Arlington Heights, Illinois 60005.

ACTING CHAIRPERSON DIVITO: All right, sorry, husband's name?

MR. WASHCO: Marc.

ACTING CHAIRPERSON DIVITO: Name and address for the record?

MR. WASHCO: Marc Washco, 754 South Belmont, Arlington Heights, Illinois 60005.

ACTING CHAIRPERSON DIVITO: All right, good.
(Witnesses sworn.)

ACTING CHAIRPERSON DIVITO: Thank you. All right, all that's out of the way, go ahead with the presentation.

MS. BRUENING: Okay, thank you. We're proposing a new covered patio area that's adjoined with a storage area for a changing room, a powder room, and storage for what is in the future and submitted for a permit now is a pool, in-ground swimming pool. So, we're proposing to do 300 square feet of enclosed space, and then the pool patio will go under the covered porch area and be continuous with the pool deck.

We're under our 15 feet for height. The structure is very compatible with their existing home design. We're maintaining, we're not right on the property line to the side yard or the rear yard, we're well within that.

We know that, you know, we're asking for 300 square feet, but we thought that this kind of works a little better for the Washcos in the fact that it's all under one roof and it leaves more green space in the yard. It keeps it to one side and farther away from the property line than if we had to do multiple structures.

I think, I mean that pretty much sums it up. It's held to the north side of the property because the pool basically centers on the structure that we've done. So, the Village asked me not to show the pool on the plan, you know, for us not to do that. So, it's far enough away from the house that it's centered on the pool and then, well, there's, yes, there it is. That's part of the other permit, we're not part of that permit process.

So, we just would ask that you grant this variance request so that they can enjoy these in their property and I think that well sums it up.

MRS. WASHCO: The only thing that we would add to Julie's comments was the importance of having it shaded, having it covered for me. You can obviously see, I'm fair and redheaded, so I need to be in the shade. But I'm also on a medication that makes me even more sensitive to the sun. So, if I don't have that shaded covered area, I really wouldn't be able to use the pool. So, I just wanted to emphasize the importance of having it covered for me.

ACTING CHAIRPERSON DIVITO: All right, Mr. Lanaghan, do you want to start off the questioning?

COMMISSIONER LANAGHAN: Yes, I'd love to, thank you very much. So, just so I understand it correctly, the pool was a separate permit that you guys are in the process of requesting now. It's not going to be with this because there's no variances requested for that, is that correct?

MS. BRUENING: Yes, correct.

COMMISSIONER LANAGHAN: All right, thank you. So, the 300 square-foot makes a lot of sense to me. A question I would have, how long have you lived in the house currently?

MR. WASHCO: May of 2012 we moved in.

COMMISSIONER LANAGHAN: Okay, and have you been Arlington

Heights residents longer that out of curiosity?

MR. WASHCO: Born and raised.

MRS. WASHCO: Born and raised, both of us.

COMMISSIONER LANAGHAN: Excellent, excellent. Well, we love to have you around, so thank you very much.

You know, I don't have a lot of questions. You've done a nice job of keeping this inside the boundaries so there's no other variances required. The way the code is written, unfortunately, is that covered areas with a roof are classified as, you know, continued structures, so I do understand why you kind of like this.

If you look, and I think you've kind of already answered this to a degree, but you've looked at multiple structures I think and just kind of decided on one, if I heard correctly, in order to maximize the green space of the yard?

MS. BRUENING: Yes, that's exactly what we did. Yes. That just, with where the pool is being laid out and the spa, then there just wasn't as much room there to get what they need, you know, all together as opposed to having one on one side of the pool and one on the other side of the pool. It just made more sense to them and worked better for their situation to have that kind of connected between the pool, the spa, the patio, and then the covered area and storage.

COMMISSIONER LANAGHAN: Yes, I tend to agree quite frankly. I have no further questions, Chairman. I'll let you finish up and I'll wrap it up at the end, thank you.

ACTING CHAIRPERSON DIVITO: Appreciate that.

Any other questions from the Board members to the Petitioners?
(No response.)

ACTING CHAIRPERSON DIVITO: Okay, let's move on to questions from the audience.

MR. MACH: Chairman, I do have two letters of support that I would like to read into the record.

ACTING CHAIRPERSON DIVITO: Please do.

MR. MACH: I am neighbors with Marc and Katie Washco and have been aware of the pool house they are planning to build. They shared with me the design plans and building specifics. I wanted to let you know that I fully support the project. The building itself is only 300 square feet, and it's just the covered patio that extends the structure beyond 300 square feet. This seems like a very reasonable request. I think the pool house will be a nice addition not only to their home but also the neighborhood itself. Thank you for your consideration in this matter. Sincerely, Calsey Woloch.

Then the next letter is: We are next-door neighbors of Marc and Katie Washco. They have made us aware of their pool house size, design, location and pool plan. We are in full support of their project. It makes real sense to have the pool house and we feel it will enhance their property both visually and in value. They have our approval and support as adjoining neighbors. Sincerely, Mark and Nancy Claus.

Thank you, Chairman.

ACTING CHAIRPERSON DIVITO: Yes, thank you.

So, we'll continue with the audiences that are present on the Zoom meeting today. So, if you have a desire to speak on this petition, please click the icon to

raise your hand and we'll make sure to open up the dialogue with you.

(No response.)

ACTING CHAIRPERSON DIVITO: I'm not seeing anything, Derek. Can you confirm?

MR. MACH: That is correct, Chairman. I do not see any hands at this time.

ACTING CHAIRPERSON DIVITO: All right, so closing it down to Board discussion, Mr. Lanaghan, you want to take this home on this one?

COMMISSIONER LANAGHAN: Yes, absolutely.

Based on the support of the neighbors which Derek was kind enough to put into the packet already, the fact that they've kind of put this all in one location to maximize green space, which is something I think we should be, you know, pushing, I have no issues whatsoever. There's no other variances. They've done a nice job of keeping it up on the other setbacks and I'm in support of this one.

COMMISSIONER JAFFE: Agreed.

ACTING CHAIRPERSON DIVITO: I'd be in agreement with you as well. It seems like a very nice structure, nicely suited to the property.

So, any other comments from the Board?

(No response.)

ACTING CHAIRPERSON DIVITIO: Otherwise, is there a motion?

COMMISSIONER DRAKE: I would move approval of the petition.

COMMISSIONER JAFFE: Seconded.

MR. MACH: I have Mr. Lanaghan put the motion forward and Mr. Jaffe seconded the motion.

COMMISSIONER LANAGHAN: Actually it was Mr. Drake, Derek, just to clarify.

MR. MACH: Thank you for the clarification. Mr. Drake and then Mr. Jaffe.

I'll proceed with roll call. Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Geisel.

COMMISSIONER GEISEL: Yes.

MR. MACH: Mr. Jaffe.

COMMISSIONER JAFFE: Yes.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Acting Chairman Divito.

ACTING CHAIRPERSON DIVITO: Yes. Congratulations! Motion has passed.

MRS. WASHCO: Thank you.

MR. WASHCO: Thank you very much.

MS. BRUENING: Thank you very much, appreciate it.

ACTING CHAIRPERSON DIVITO: Enjoy the rest of your evening.

MS. BRUENING: You, too, thank you.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:59 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS November 30, 2020

PETITIONER: Washco Residence

ADDRESS OF PROPERTY: 754 S. Belmont Ave.

VARIATION: 6.5-7 (Accessory Structure)

A 300 sf variation to allow an accessory structure with a size of 600 sf instead of the maximum of 300 sf.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they are proposing a new covered patio area that's adjoined with a pool house which includes a storage area and changing room. The petitioner explained that they are proposing to construct 300 square feet of enclosed space, and a 300 square foot covered patio. The petitioner testified that the structure is compatible with the existing home design. The petitioner testified that they could construct two 300 square foot structures but the 600 square foot structures allows for more green space. The petitioner commented that the homeowner is sensitive to the sun and therefore needs a covered area.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Drake and seconded by Mr. Jaffe. Thereafter, the Board voted 5-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 5-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chair
Zoning Board of Appeals
Village of Arlington Heights



**Zoning Board of Appeals
12/14/2020**

Item: 611 E. Frederick St. - 11/30/20

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
611 E Frederick St. - 11/30/20 Minutes	Minutes
611 E Frederick St. - 11/30/20 Findings	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 611 EAST FREDERICK STREET - ZBA #20-035

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals, held virtually in response to the
COVID-19 pandemic, which permits the public to fully participate via their
computers or using their phones, on the 30th day of November, 2020 at the hour
of 7:59 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Acting Chairperson
TOM DRAKE
JEFF LANAGHAN
BENJAMIN JAFFE
JOE GEISEL

ALSO PRESENT:

DEREK MACH, Development Planner

ACTING CHAIRPERSON DIVITO: All right, next item for review is 611 East Frederick Street.

MR. MACH: Chairman, the Petitioner is proposing to add a front porch addition to the existing home. The proposed front porch is five feet by 23.1 feet in width, and the proposed setback is 19.3 feet where 23.2 feet is required.

Therefore, they're seeking a variance, a 3.9-foot variation from Chapter 28, Section 5.1-3.2a to allow a front porch with a front yard setback of 19.3 feet where 23.2 feet is required, and an additional 0.5 feet for the eave.

ACTING CHAIRPERSON DIVITO: All right. Who will be presenting on this one tonight?

MR. LEIPER: This is Matt Leiper, I am the property owner.

ACTING CHAIRPERSON DIVITO: Excellent. Matt, can you give your address please?

MR. LEIPER: 611 East Frederick Street, Arlington Heights 60004.

ACTING CHAIRPERSON DIVITO: Perfect.
(Witness sworn.)

ACTING CHAIRPERSON DIVITO: Excellent. Anybody else presenting on this one tonight?

MR. LEIPER: If my kids need to be sworn in for screaming, you've got them. Otherwise, no.

ACTING CHAIRPERSON DIVITO: Perfect. No dogs back there or anything like that?

MR. LEIPER: No dogs, no.

ACTING CHAIRPERSON DIVITO: All right, perfect. So, go for it.

MR. LEIPER: Okay, so I feel like I'll hit on your points with the subtlety of a sixth grader's essay but I'm going to go for it anyway.

So, if you can see the existing structure of my house, it's a bid of an odd shape and everything is very flat on the front face of the house. So, that's part of the reason we wanted to get a covered porch is to add some depth there. I think that the essential character of the locality is meant for this front porch to be used in a residential purpose, and that is obviously what we're going to be using it for. I think that it does match the character of everything within our neighborhood pretty well.

As far as the plight of the owner, there's a couple of things that I wanted to make mention of, one of which is I think the house needs some modernization that I think a porch will add. I'm not sure that really demonstrates plight too much but I think it is an important thing to call out. The part that I am actually a little bit concerned with and that I think this porch does a good job of remedying is that since I mentioned it's very flat, I feel like there's a really easy path for people walking by to see directly into our windows. Although the porch won't solve all of those problems, it does add some depth in there that people will be less inclined to look directly into our windows. So, I am looking forward to having this porch with some semblance of added privacy to it.

Also, I believe that the intent of the neighborhood is to maintain, or maintain the harmony and the spirit of the neighborhood, and I believe that this porch enhances the character of the neighborhood. A lot of our neighbors have similar type

porches around, and I think this will fit in quite nicely with what we have going on.

So, I guess in summation, our intention is to use the porch as an added layer of privacy to sit outside and enjoy the neighborhood. So, I'm not sure if there's anything else I can add to that, but I'm happy to answer any questions you have.

COMMISSIONER GEISEL: Mr. Leiper, your presentation was well done there. Just a couple of questions. Have you spoken with your neighbors regarding your proposed project?

MR. LEIPER: I have spoken with my neighbors. I regret now that I didn't have them write an e-mail and to bring it into the record. We have a neighbor who moved in, in the house to our west a couple of months ago. He kind of reached me on this process in general and offered to write the letter, which I again regret not taking him up on. But he was very much in support. They're doing a lot of work to their house and I think, you know, we have to keep up with those Joneses a little bit.

The house to our east also is aware of our plans and obviously is in support. So, yes, I have talked with the neighbors about it.

COMMISSIONER GEISEL: Thank you. I think the proposed project looks very nice. To your point, that's a very flat elevation, it does give it some nice character. Given the requests that we've had from to time for porches, this looks nice and is reasonable.

I'm not sure if any of the Board members have any questions?

COMMISSIONER LANAGHAN: No, I would agree with you, Joe. I think it adds to the house. It was a little flat before, I completely agree with the homeowner.

ACTING CHAIRPERSON DIVITO: All right, given the fact that there is nothing today, it's really just a flat surface, this will allow for some protection for any visiting visitors when that is appropriate again.

All right, any other questions or comments from the Board?

(No response.)

ACTING CHAIRPERSON DIVITO: All right, let's move on to the audience participation. Any member from the audience that wishes to speak on behalf of this petition, please use the Raise Hand icon in the Zoom meeting.

(No response.)

ACTING CHAIRPERSON DIVITO: I'm not seeing any. Derek?

MR. MACH: No, I'm not showing any hands at this time.

ACTING CHAIRPERSON DIVITO: All right, so we'll move straight into closed deliberation for the Board members. Joe?

COMMISSIONER GEISEL: So, as previously stated, I believe the plans look appropriate to the house. It's not the entirety of the front elevation. It gives it some nice depth and utility, and at five feet it is not excessive. So, I would be supportive of the project.

ACTING CHAIRPERSON DIVITO: Well said. I also am in support. Any other comments from the Board members? If not, is there a motion?

COMMISSIONER GEISEL: Move to approve.

COMMISSIONER JAFFE: Seconded.

MR. MACH: I have Mr. Geisel put the motion forward and Mr. Jaffe seconded the motion.

I'll proceed with roll call. Mr. Drake.
COMMISSIONER DRAKE: Yes.
MR. MACH: Mr. Geisel.
COMMISSIONER GEISEL: Yes.
MR. MACH: Mr. Jaffe.
COMMISSIONER JAFFE: Yes.
MR. MACH: Mr. Lanaghan.
COMMISSIONER LANAGHAN: Yes.
MR. MACH: Acting Chairman Divito.
ACTING CHAIRPERSON DIVITO: Yes. Congratulations, motion has
passed.
MR. LEIPER: Thank you so much, appreciate it.
COMMISSIONER GEISEL: Good luck with your project.
MR. LEIPER: Thank you.
(Whereupon, the public hearing on the above-mentioned
petition was adjourned at 8:06 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS November 30, 2020

PETITIONER: Leider Residence

ADDRESS OF PROPERTY: 611 E. Frederick St.

VARIATION: 5.1-3.2a (Required Minimum Yards-Front Yards)

A 3.9' variation to allow a front porch with a front yard setback of 19.3' where 23.2' is required, and an additional 0.5' for the eave.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that the front elevation is flat and they are proposing a front porch in order to add depth and protection from the elements. The petitioner testified that the front porch enhances the character of the neighborhood.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Geisel and seconded by Mr. Jaffe. Thereafter, the Board voted 5-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 5-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chair
Zoning Board of Appeals
Village of Arlington Heights



**Zoning Board of Appeals
12/14/2020**

Item: 2158 N. Lake Shore Circle - 11/30/20

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
2158 N Lake Shore Circle - 11/30/20 Minutes	Minutes
2158 N Lake Shore Circle - 11/30/20 Findings	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 2158 NORTH LAKE SHORE CIRCLE - ZBA #20-036

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals, held virtually in response to the
COVID-19 pandemic, which permits the public to fully participate via their
computers or using their phones, on the 30th day of November, 2020 at the hour
of 8:06 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Acting Chairperson
TOM DRAKE
JEFF LANAGHAN
BENJAMIN JAFFE
JOE GEISEL

ALSO PRESENT:

DEREK MACH, Development Planner

ACTING CHAIRPERSON DIVITO: All right, the last item for this evening is 2158 North Lake Shore Circle.

MR. MACH: Chairman, the Petitioner is proposing to add a screened porch to the rear of the duplex. The proposed addition will be set back 15.5 feet from the rear property line, but the minimum required setback is 30 feet. The Petitioner is also exceeding the allowable building lot square footage.

Therefore, they're requesting: a 14.5-foot variance from Chapter 28, Section 5.1-4.2 and Section 5.4 to allow a screened porch with a rear yard setback of 15.5 feet instead of the minimum required 30 feet and an additional one-foot for the eave; in addition, a 17 square-foot variance from Chapter 28, Section 5.1-4.4a to allow 2,615 square feet of building lot coverage where the maximum allowed is 2,598 square feet.

ACTING CHAIRPERSON DIVITO: Thank you, Derek.

For those Petitioners, who is going to be doing the presenting?

MR. MACH: Hang on one moment. I think --

ACTING CHAIRPERSON DIVITO: She possibly is raising a hand. You're all right, are you guys okay?

MR. MACH: She's unmuted. Ms. Dabrowski, are you there?

MS. DABROWKSI: Yes, I am. Can you hear me?

MR. MACH: Yes.

MS. DABROWKSI: Good, thank you. I see myself, but I don't know if you see me.

ACTING CHAIRPERSON DIVITO: Yes, we can see you on the camera.

MS. DABROWKSI: I am Ludmila Dabrowski, good evening. I'm the architect for the --

ACTING CHAIRPERSON DIVITO: All right, your audio is not perfectly clear though, so I don't know if there is any background noise there.

MS. DABROWKSI: Is this better?

ACTING CHAIRPERSON DIVITO: Give it a shot.

MS. DABROWKSI: Thank you. This is as loud as I can be on the computer.

ACTING CHAIRPERSON DIVITO: Let's get your sworn in first. So, if you don't mind, your name and address for the record?

MS. DABROWKSI: Do I say something?

ACTING CHAIRPERSON DIVITO: Just repeat your name and address for the record please.

MS. DABROWKSI: Ludmila Dabrowski, 105 North Wheeling Road, Prospect Heights, Illinois.

ACTING CHAIRPERSON DIVITO: Excellent.

(Witness sworn.)

ACTING CHAIRPERSON DIVITO: Thank you. All right, is there anybody else going to speak on this petition?

MR. STILLWELL: Yes. Todd and Tracy Stillwell, we're the owners.

ACTING CHAIRPERSON DIVITO: Excellent, Todd and Tracy, thank you. Can you both raise your right hand and I'll swear you both in at the same time?

(Witnesses sworn.)

ACTING CHAIRPERSON DIVITO: Thank you. Then if you don't mind, your mic might actually be interfering, so if you'd want to stay on mute until it's appropriate to speak? So, with that, Ms. Dabrowski, you can actually kick it off for us.

MS. DABROWSKI: Good evening. It's interesting watching everybody; I have never done a Zoom meeting.

I'm the architect for the screened porch. There is an existing screened porch there that is -- and it needs to be replaced. Tracy has a history of pre-cancer and -- porch screen and everything to stay out of the sun, avoid sunrays. So, they don't want to get rid of the screened porch, just -- are we okay?

ACTING CHAIRPERSON DIVITO: Yes, we're getting a little distortion and some feedback. Let's try it again.

MS. DABROWSKI: She has a history, her family has a history of melanoma. They have the existing porch. It needs to be repaired, and they would like to, you know, unfortunately, it is in the rear yard setback. We are going in by six inches, seven inches, so it's not encroaching by that much. We're making it larger to make it more usable because it's an odd-shaped screened porch.

She would love to enjoy the beautiful lake views, because they're right on the lake, Arlington Lake, and the beautiful area around there. You know, in these past couple of months, we need the fresh air since we're all cooped up inside mostly. So, a screened porch would take care of everything, sun's rays, mosquitoes in the summertime, and she would be protected and we would, the looks of the porch would be better than what it is right now.

I think the neighbors would be happy. I believe that the neighbors have commented and they've talked to their neighbors, that it would be very nice. They've seen, I believe, the drawings.

So, we would greatly appreciate it if you would grant the variance of approving this new screened porch so that they could enjoy being outside but be protected from the elements, from the sun, from mosquitoes, and from everything.

I don't know, maybe Tracy or Todd has something else to add, but that's basically that. Any questions?

ACTING CHAIRPERSON DIVITO: All right, Mr. Drake, I think you're leading on this one?

COMMISSIONER DRAKE: I do, Mr. Chairman, thank you.

Hello, folks, how are you?

I just had a couple of questions. You may have covered this, because I was having some difficulty with the audio, so bear with me. How long have the residents lived in the home?

MR. STILLWELL: We've lived here for three years.

COMMISSIONER DRAKE: Three years, okay. How old is that existing porch that you want to take down?

MR. STILLWELL: Well, it was here when we purchased the property. I would say it's at least five plus years old. Yes, my guess would be that it was here probably for five plus years before we purchased it in 2017, yes.

COMMISSIONER DRAKE: Okay, and what about with the neighbors? Did you talk to neighbors? Did you get any feedback? What can you tell us there?

MR. STILLWELL: Yes, I appreciate you guys asking. We apologize, we didn't get letters. But both of our neighbors on either side have fully endorsed us getting this. Our neighbor to the north of us actually has a porch very similar to this.

As a part of our process, we did go ahead and run it through our HOA. As part of that HOA approval process, we had to have our next-door neighbors sign off on the porch. So, we actually, excuse me, we have the letter from the HOA if that would help as well approving the initial design pending your guys' approval.

COMMISSIONER DRAKE: Okay, that's pretty much it as far as the questions I have.

ACTING CHAIRPERSON DIVITO: Any other Board members with questions for the Petitioner?

COMMISSIONER LANAGHAN: Yes, I have a couple actually, David.

Thank you very much for coming in tonight. So, I'm a little confused. The original porch, I can't tell if it was bigger than this one and you're sizing it down, or it was smaller and you're increasing it. Can you shed a little light on what the original porch was versus what you're asking for here?

MS. DABROWKSI: The original porch is smaller. If you go to the second sheet of the drawings, on the upper left-hand corner, there is a dashed line of the outline of the original porch. Keep going one more, okay. On the upper left-hand corner. Okay, it's like -- with the dashed line that goes -- that's the original porch, yes, exactly -- we were actually avoiding the windows around the fireplace, I believe that's how the --

ACTING CHAIRPERSON DIVITO: The audio is pretty broken up. I don't know if anybody else is having issues. Derek?

COMMISSIONER JAFFE: I don't think I heard any of that response.

COMMISSIONER DRAKE: I didn't either.

ACTING CHAIRPERSON DIVITO: I understood the dashed lines.

MS. DABROWKSI: -- of the original porch, the existing porch that is there right now.

ACTING CHAIRPERSON DIVITO: The dashed lines are the, that's the existing porch.

MS. DABROWKSI: The new porch is what's there right now, so it's a little, I probably should have called it out on the drawing itself. But it is maybe half the size, but I don't know, you know, I wasn't there when they, whoever planned it the way they did, but that's the way it was done. They were probably avoiding the window around the fireplace when they jogged in instead of making it rectangular, but that's all I could say as to why the shape was the way it was.

COMMISSIONER LANAGHAN: All right, so I'm still struggling to figure it out, but I'm hearing what you're saying. So, how much bigger are you making this? Am I reading it right, you're extending it about nine-foot farther out?

MS. DABROWKSI: No. No, the existing porch actually extends like seven inches out north. Our porch goes in seven inches.

COMMISSIONER LANAGHAN: Okay, so you're actually reducing the footprint of the existing porch slightly?

MS. DABROWKSI: That goes out into the rear yard. We're making it larger by making it wider. That's the only difference. We are not going into the rear yard as

much as the existing porch is. The existing porch was 14 feet six inches by 16 and one inch out. At the widest, it's 14 feet six inches.

COMMISSIONER LANAGHAN: Okay, so you're at 15-foot six but you're going wider to 28-foot. You're actually pulling it back away from the property line a little bit and then expanding it across the back of the house a little bit?

MS. DABROWSKI: And missing both of the windows around the fireplace.

COMMISSIONER LANAGHAN: Got you, okay. Okay, I think I understand what you're doing now, thank you.

ACTING CHAIRPERSON DIVITO: All right, any other questions from the Board members to the Petitioner? No?

(No response.)

ACTING CHAIRPERSON DIVITO: All right, none being heard, let's go over to the audience and see if any of the attendees want to speak on this. So, if any of you would like to speak on this, please use the Raise Hand icon and we'll make sure that your voice is heard.

(No response.)

MR. MACH: Chairman, I do not see any hands at this time.

ACTING CHAIRPERSON DIVITO: All right, neither do I. So, let's close it down to Board discussion.

Mr. Drake, do you want to lead us?

COMMISSIONER DRAKE: Sure.

A few things. It was good to hear that they have approval from the homeowners association, I think that's important. I would think that probably speaks for the bulk of the neighbors easily enough.

I think Lake Arlington is a unique situation. We have no other lakes in the town. So, the opportunity for them to have a new structure and take advantage of that nice view is a good project.

The different departments had no opposition, no comment and no opposition to the petition. So, I think that's important.

I think it's a nice design. It's not going any deeper as the architect mentioned. It's going to be a wider structure. So, I would certainly be in favor of it.

ACTING CHAIRPERSON DIVITO: Yes, I agree with you on all points. The added note from the doctor does help that decision as well, just to, you know, as nice as it is. But knowing that this is going to at least allow you to enjoy the outdoors a little bit would be good, so it fits the purpose as well.

With that, any other comments from the Board members? If not, is there a motion?

COMMISSIONER DRAKE: I would move for approval of this petition.

COMMISSIONER LANAGHAN: Second.

MR. MACH: I have Mr. Drake put the motion forward and Mr. Lanaghan seconded the motion.

I'll proceed with roll call. Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Geisel. You're on mute.

COMMISSIONER GEISEL: Yes. I'm sorry.

MR. MACH: Mr. Jaffe.

COMMISSIONER JAFFE : Yes.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Acting Chairman Divito.

ACTING CHAIRPERSON DIVITO: Yes.

Congratulations, the motion has passed.

MR. STILLWELL: Thank you.

MRS. STILLWELL: Thank you so much. We're so excited.

MS. DABROWSKI: Thank you.

ACTING CHAIRPERSON DIVITO: Congrats. Have a good evening.

COMMISSIONER DRAKE: Good luck.

MRS. STILLWELL: Thank you.

ACTING CHAIRPERSON DIVITO: All right, that was the last item of the agenda for this evening. Anything else, Derek, that I haven't seen yet?

MR. MACH: No, there is no additional item.

ACTING CHAIRPERSON DIVITO: Perfect. Can we get a motion to adjourn?

COMMISSIONER DRAKE: So moved.

COMMISSIONER LANAGHAN: Second.

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Geisel.

COMMISSIONER GEISEL: Yes.

MR. MACH: Mr. Jaffe.

COMMISSIONER JAFFE: Yes.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Mr. Divito.

ACTING CHAIRPERSON DIVITO: Yes. We're adjourned for the evening, now we're off record.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 8:22 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS November 30, 2020

PETITIONER: Stillwell Residence

ADDRESS OF PROPERTY: 2158 N. Lake Shore Circle

VARIATION: 5.1-4.2, 5.1-4.4a (Required Minimum Yards, Maximum Building Lot Coverage)

A 14.5' variance to allow a screen porch with a rear yard setback of 15.5' instead of the minimum required 30', and an additional 1.0' for the eave; A 17 sf variance to allow 2,615 sf of building lot coverage where a maximum of 2,598 sf is allowed.

The petitioner explained that they are proposing to add a screened porch to the rear of the existing duplex. The proposed addition will be set back 15.5 feet from the rear property line, but the minimum required setback is 30 feet. The petitioner explained that they are also exceeding the allowable building lot square footage. The petitioner testified that there is an existing screened porch in the current location that needs to be replaced. The petitioner testified that the homeowner has a history of pre-cancer and must stay out of the sun.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Drake and seconded by Mr. Lanaghan. Thereafter, the Board voted 5-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 5-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chair
Zoning Board of Appeals
Village of Arlington Heights



Zoning Board of Appeals 12/14/2020

Item: 300 E. Haven St. - ZBA#20-033

Department: Planning & Community Development

REQUEST

- A 8.8 foot variation from Chapter 28, Section 5.1-1.2a (Required Minimum Yards –Front Yards), to allow a front yard setback of 31.2 feet where 40.0 feet is required and an additional 1.0 feet for the eave.
- A 10.7 foot variation from Chapter 28, Section 5.1-1.2d (Required Minimum Yards –Rear Yards), to allow a rear yard setback of 19.3 feet where 30.0 feet is required and an additional 1.0 feet for the eave.

ATTACHMENTS:

Description	Type
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: December 14, 2020
Date Prepared: December 9, 2020
Project Title: Ajroja Residence
Address: 300 E. Haven St.

Background Information

Petition Number: ZBA #20-033
Petitioner: Ray H.C. Fang
Address: 739 Red Oak Dr
Bartlett, IL 60103

Existing Zoning: R-1 – Residential Single-Family District

Requested Action/Background Information

The petitioner is proposing to demolish an existing one-and-a-half story house with attached one-car garage to allow construction of a new two-story residence with an attached, three-car garage. The subject site is zoned R-1, One Family Dwelling District. The property has a total land area of 15,563 square feet and the proposed residence will have approximately 4,440 square feet. This project requires approval by the Zoning Board of Appeals for encroachment variations in the front and rear setbacks. Previously the petitioner was requesting a Floor Area Ratio (FAR) variance. The petitioner has revised the plans and the FAR variance is no longer being requested. The petitioner is requesting the following encroachment variations:

- A 8.8 foot variation from Chapter 28, Section 5.1-1.2a (Required Minimum Yards –Front Yards), to allow a front yard setback of 31.2 feet where 40.0 feet is required and an additional 1.0 feet for the eave.
- A 10.7 foot variation from Chapter 28, Section 5.1-1.2d (Required Minimum Yards –Rear Yards), to allow a rear yard setback of 19.3 feet where 30.0 feet is required and an additional 1.0 feet for the eave.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	11/27/20	
2. List of Property Owners Within 250 feet of Subject Property	✓	11/27/20	
3. Letter that was Mailed	✓	11/27/20	
4. Photographs of Sign on Property	✓	11/27/20	

Photographs of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Ajroja Residence

Project Address: 300 E Haven St.

ZBA #: 20-033

Date: November 23, 2020

Derek:

I have reviewed the request for the following variances:

- A 6.7 foot variation from Chapter 28, Section 5.1-1.2a (Required Minimum Yards –Front Yards), to allow a front yard setback of 33.3 feet where 40.0 feet is required.
- A 10.7 foot variation from Chapter 28, Section 5.1-1.2d (Required Minimum Yards –Rear Yards), to allow a rear yard setback of 19.3 feet where 30.0 feet is required.
- A 406 square-foot variation from Chapter 28, Section 5.1-1.3a (Maximum Floor Area Ratio) to allow a home with a floor area of 5,228 square feet where 4,822 square feet is the maximum allowed.

and have no objections or comments.

ZBA# 20-033
300 E Haven Street - ZBA
Rev. Eng: Briget Schwab, P.E.
cc: Mike Pagones, P.E. Village Engineer

Application Date: October 8, 2020
Received by Planning: October 9, 2020
Transmitted to Engineering: November 20, 2020
Received by Briget: November 20, 2020
Completed: November 20, 2020

The proposed ZBA application indicates that the petitioner is seeking:

A 6.7 foot variation from Chapter 28, Section 5.1-1.2a (Required Minimum Yards –Front Yards), to allow a front yard setback of 33.3 feet where 40.0 feet is required.

A 10.7 foot variation from Chapter 28, Section 5.1-1.2d (Required Minimum Yards –Rear Yards), to allow a rear yard setback of 19.3 feet where 30.0 feet is required.

A 406 square-foot variation from Chapter 28, Section 5.1-1.3a (Maximum Floor Area Ratio) to allow a home with a floor area of 5,228 square feet where 4,822 square feet is the maximum allowed.

The Engineering Division has NO COMMENT on the proposed variance request for required minimum yard setback for the front and rear yards.

The Engineering Division has NO COMMENT on the proposed variance request for maximum floor area space.

--

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Ajroja Residence

Project Address: 300 E. Haven Street

ZBA #: 20-033

ZBA Hearing Date: December 14, 2020

To: Mike Pagones, Village Engineer
Mark Fink, Assistant Building Official

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: November 20, 2020

- A 6.7 foot variation from Chapter 28, Section 5.1-1.2a (Required Minimum Yards –Front Yards), to allow a front yard setback of 33.3 feet where 40.0 feet is required.
- A 10.7 foot variation from Chapter 28, Section 5.1-1.2d (Required Minimum Yards –Rear Yards), to allow a rear yard setback of 19.3 feet where 30.0 feet is required.
- A 406 square-foot variation from Chapter 28, Section 5.1-1.3a (Maximum Floor Area Ratio) to allow a home with a floor area of 5,228 square feet where 4,822 square feet is the maximum allowed.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: This project is scheduled for Design Commission review on Tuesday, December 8.

Overall, the proposed design fits well with the surrounding context.

Steve Hautzinger, Design Planner

Please review, comment, and return to me no later than December 3, 2020.

PETITION

RECEIVED
OCT 09 2020
PLANNING & DEVELOPMENT DEPARTMENT

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner R. AJROJA

being the owner of the property commonly know as: 300 E. HAVEN STREET

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-1.2

Chapter 28, of the Arlington Heights Municipal Code, in order to: RETAIN EXISTING HOUSE'S
FRONT AND REAR SETBACKS

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): EXISTING
2 STORY, SINGLE FAMILY HOUSE IN R-1 AND HAS NOT CHANGED
IT'S USE.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): _____

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): _____

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): THIS IS A VERY SHALLOW SITE & ORIGINAL HOUSE'S
DEPTH IS A NORMAL SIZE TO MOST OF THE NEW HOME BUILT.

Signed: _____

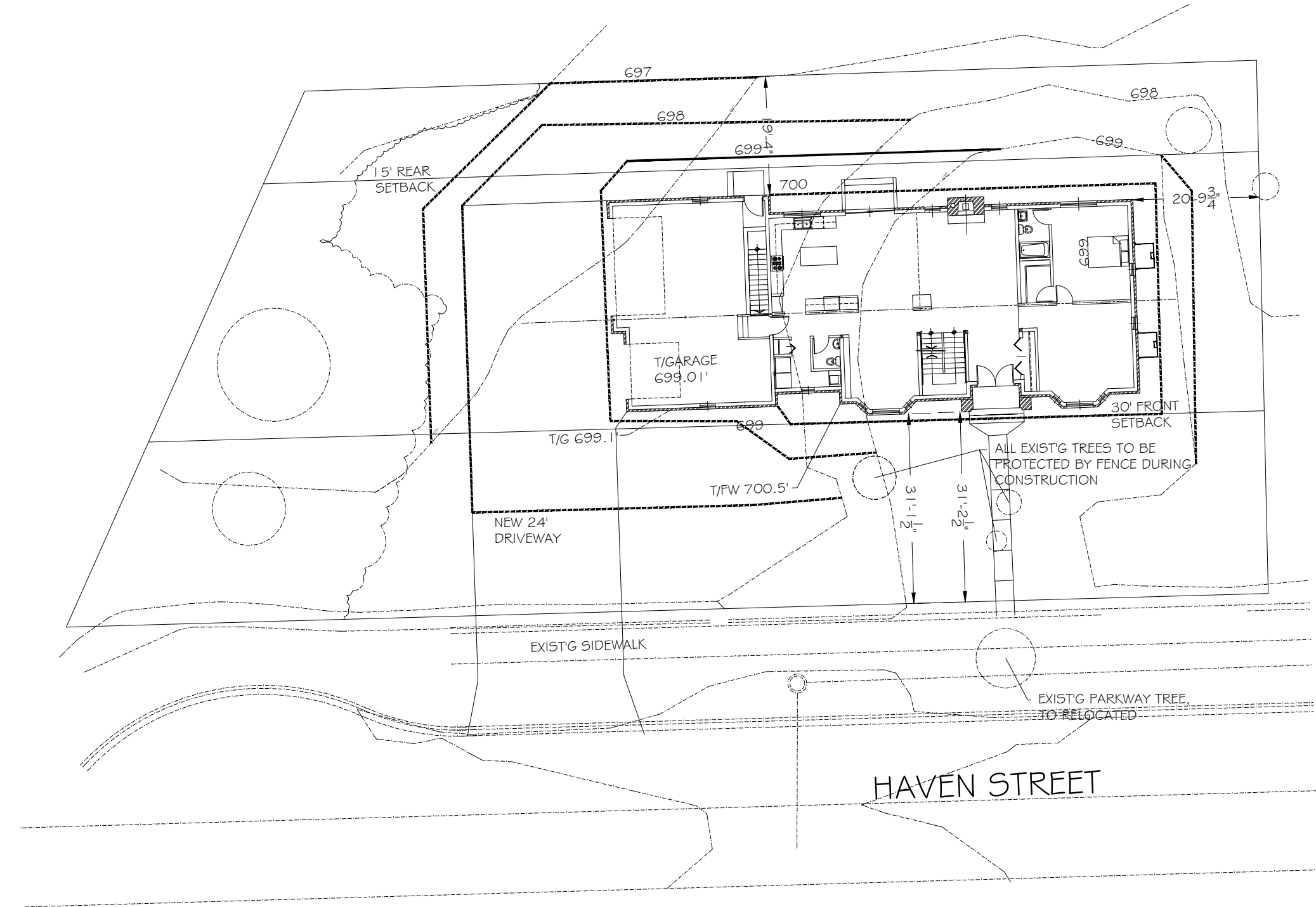
Petitioner

Date: 10-8-2020

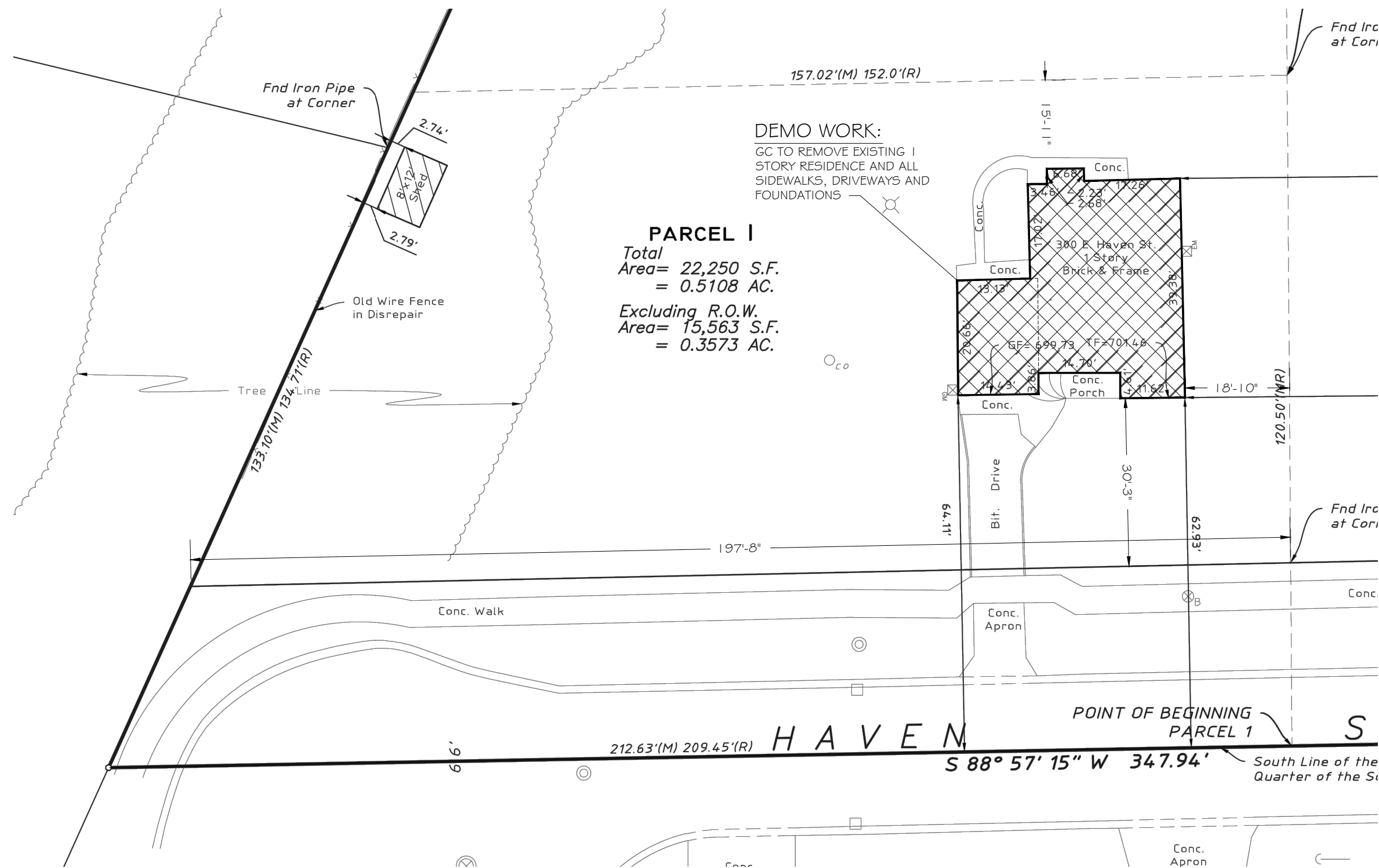
NEW RESIDENCE FOR MR. AJROJA

300 E. HAVEN STREET, ARLINGTON HEIGHTS, IL. 60005

OWNER: R AJROJA
ARCHITECT: RAY H.C. FANG



NEW SITE PLAN



DEMO PLAN

GENERAL NOTES:

ALL WORK SHALL CONFORM TO LOCAL CODES AND ORDINANCES. CONTRACTOR SHALL INFORM THE ARCHITECT/BUILDER OF ANY ITEMS ON THE DRAWINGS WHICH MAY CONFLICT WITH CODE SO THAT THOSE ITEMS MAY BE RESOLVED PRIOR TO THE EXECUTION OF WORKS.

OSHA NOTES:

ALL CONTRACTORS, SUB-CONTRACTORS AND THEIR REPRESENTATIVES WORKING ON THIS PROJECT SHALL AT ALL TIMES KEEP THE WORK PLACE SAFE AND MEET ALL OF THE OCCUPATIONAL SAFETY AND HAZARD ACT (OSHA) OR OTHER GOVERNING REGULATIONS. THE BEGINNING OF WORK BY A CONTRACTOR OR SUBCONTRACTOR INDICATE THEIR SATISFACTION OF SAFETY ON THE SITE AND ARE FULL RESPONSIBLE FOR ACCIDENTS AND/OR DAMAGES. IF UNSATISFIED, THE CONTRACTOR OR SUBCONTRACTOR SHALL INFORM THE ARCHITECT / OWNER / BUILDER. THE ACTIONS TO BE TAKEN AND DEVICES NECESSARY TO RENDER THE JOB-SITE SAFETY. IF THE WORK OF OTHER PARTIES IS FOUND AT ANY TIME TO BE UNSAFE, THE CONTRACTOR OR SUBCONTRACTOR SHALL IMMEDIATELY STOP ALL WORK, AND NOTIFY THE GENERAL CONTRACTOR, ARCHITECT AND OWNER. THE BEGINNING OF WORK SHALL INDICATE ACKNOWLEDGEMENT AND ACCEPTANCE OF THESE REQUIREMENTS.

HOLD HARMLESS NOTES:

ALL CONTRACTORS, SUB-CONTRACTORS OR THEIR AFFILIATES WORKED IN THIS PROPERTY SHALL HOLD THE PROPERTY OWNER(S), ARCHITECTS, ENGINEERS, VILLAGE OF ARLINGTON HEIGHTS HARMLESS AGAINST ANY DISPUTES FROM THIS PROJECT. BIDDING ON THIS PLAN OR WORKING IN THIS PROJECT IMPLIES THE ACCEPTANCE OF THIS STATEMENT.

INSURANCE:

ALL CONTRACTORS AND THEIR SUBCONTRACTORS ARE TO CARRY INSURANCE TO SATISFY OWNER OR LOCAL VILLAGES. AMOUNT BY LOCAL STATUE LAW.

CONCRETE:

1. MIN. CAPACITY OF CONCRETE FOR THIS PROJECT ARE AS FOLLOWS:
1. FOUNDATION WALL AND FOOTING: 4000 PSI
2. BASEMENT SLAB: 4000 PSI
3. GARAGE FLOOR: 4000 PSI
4. DRIVEWAY: 4000 PSI
5. PATIO AND WALKWAYS: 4000 PSI
6. VIBRATOR SHALL BE USED AT ALL TIMES TO ASCERTAIN PROPER SETTLEMENT OF CONCRETE.
7. WIRED MESH SHALL BE USED FOR ALL SLABS FLOORS, MIN. SIZE IS 6X6/10X10 WWM. OR USE FIBER MESH AS A SUBSTITUTE.
8. PROVIDE CONSTRUCTION JOINTS AS NECESSARY OR SPECIFIED BY THE ARCHITECT/ENGINEERS.

FRAMING

ALL FRAMING MEMBERS SHALL BE AS SHOWN ON THE FLOOR PLAN.
DOUBLE FLOOR JOISTS UNDER PARTITIONS PARALLEL TO JOISTS AND UNDER THE WHIRLPOOL AREA.
DOUBLE FRAMING MEMBERS AROUND ALL OPENINGS IN FLOOR, CEILING AND ROOFS.
DESIGN LOADS:
FLOOR: 40 PSF LIVE LOAD, 10 PSF DL
CEILING: 20 PSF LIVE LOAD, 10 PSF DL
ROOF: 30 PSF LL, 10 PSF DL
WALK-UP ATTIC: 30 PSF LL, 10 PSF DL
PROVIDE FLASHING AT HEADS & SILLS OF EXT. DOORS AND WINDOWS AND AT JUNCTIONS OF DISSIMILAR MATERIAL.
FIRESTOP ALL PLUMBING WALLS AND SOFFITS.
PROVIDE WATER RESISTANT DRYWALL IN ALL AREAS SUBJECT TO MOISTURE.
EXPOSED KRAFT PAPER ON BASEMENT INSULATION SHALL HAVE A FLAME SPREAD OF 25 OR LESS. (IF USED).
ALL FRAMING MEMBERS ARE TO BE SPF #2 OR BETTER OR AS SPECIFIED ON THE DRAWINGS.
ALL STUDS ARE SPF #2 AND BETTER
ALLOWABLE SPANS:
PER MANUFACTURE OR LOCAL BUILDING CODES: SEE ATTACHED ALLOWABLES TABLE AT A-4.

BRICK OR SIDING VENEER

4" BRICK WITH METAL WALL TIES 12" O.C. VERT. AND 32" O.C. HORIZ.; OR NEW EXTERIOR GRADE VINYL SIDING BY HARDI-BOARD.
1" AIR SPACE (FOR BRICK ONLY)
TYVEK HOUSE WRAP (OR EQUAL)
1/2" INSULATION SHEATHING (AT CORNER USE 1/2"x4x8 EXT. PLYWOOD AS WIND BRACING)
2X6 STUDS @ 16" O.C.
5-1/2" BATT INSULATION, R-20
1/2" U.L.A. DRYWALL
FLASHINGS & VEEF HOLES 24" O.C. AT TOP OF FOUNDATION
PROVIDE STEEL LINTELS AS FOLLOWS:

LINTEL SPAN TABLE		
SAPN	LINTEL SIZE	REMARKS
0 - 5 FT	L3X3X1/4	
5 - 8 FT	L5X3X5/16	
8 - 12 FT	L6X4X3/8	
12 - 16 FT	L6X4X1/2	
16 FT & ABOVE	SEE PLAN	

ELECTRICAL:

SERVICE:
200 AMP 120/208V 1 PHASE 3 WIRE UNDERGROUND 3/0 AWG COPPER WIRE, THWN INSULATION 2" RIGID HEAVY WALL GALVANIZED STEEL CONDUIT. 42 CIRCUIT PANEL BOARD WITH 200 AMP MAIN BREAKER.
GROUND:
1/0 COPPER WIRE, THWN INSULATION, 1" RIGID HEAVY WALL GALVANIZED STEEL CONDUIT GROUND CLAMP AND METAL IDENTIFICATION TAG.
ALL LIGHTING CIRCUITS:
15 AMP - 14 AWG COPPER WIRE, THWN INSULATION.
20 AMP - 12 AWG COPPER WIRE, THWN INSULATION.
ALL OUTLETS IN WASHROOM, BASEMENT WALL, EXTERIOR WALL OR ANY ROOM SUSCEPTIBLE TO MOISTURE SHALL BE GFI TYPE OUTLETS.
ALL OUTLETS ARE TAMPER RESISTANT & ARC-FAULT INTERRUPT BRANCH CIRCUITS IN ALL ROOMS.
NOT MORE THAN 8 OUTLETS PER CIRCUIT.
NOT MORE THAN 9 WIRES PER CIRCUIT.

HVAC:

ALL DUCTWORK AND EXHAUST DUCTS ARE METAL.
ALL JOINTS SHALL BE TAPED OR SEALED TIGHT.
AT FURNACE AREA, PROVIDE 100 S.F. 5/8" FIRE CODED TYPE X AND U.L. LISTED DRYWALL ON FURNACE CEILING AREA PLUS STAIRWAY OR SUBSTITUTE WITH SPRINKLER SYSTEM.. FIRE STOP PENETRATIONS AT FLOORS AS REQUIRED.
ALL SUPPLY OR RETURN AIR DUCTWORK PASSING ATTICS OR UNHEATED SPACE SHALL BE INSULATED WITH 1" THICK FIBERGLASS (R-6 MINIMUM) & SATISFYING NEW ILLINOIS ENERGY CODE.
HEATING CONTRACTOR TO SUBMIT LOADING CALCULATION ACCORDING ACCA MANUAL J & S, ASHRAE 90.1 OR OTHER APPROVED METHODS FOR VILLAGE APPROVAL.

DEMOLITION NOTES:

1.) CODES AND STANDARDS:
ALL DEMOLITION WORK SHALL FOLLOW STRICTLY OCCUPATIONAL SAFETY AND HAZARD ACT (OSHA) REGULATIONS AND ALL OTHER LOCAL CODES WHICH HAS JURISDICTIONS ON THE PROJECT.
2.) SITE EQUIPMENTS FOR DEMOLITION WORK:
ALL EQUIPMENTS USED FOR THE PROJECT ARE TO BE IN GOOD AND WORKING CONDITIONS, FREE FROM ANY DAMAGES CAUSED FROM OTHE PROJECTS.
3.) DUMPSTER AND PORTABLE JOHN:
G.C. TO PROVIDE DUMPSTER AND PORTABLE JOHNS, FOLLOW INTERNATIONAL PLUMBING CODES, AT SITE AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
4.) CLEANINGS:
ALL DEMOLITION DEBRIS ARE TO BE DUMPED AND PROTECTED FROM FLYING OVER TO OTHER PROPERTIES. JOB SITE SHOULD BE KEPT CLEAN AT ALL TIMES.
5.) FENCING:
PROVIDE 6 FT HIGH CONSTRUCTION FENCE ALL AROUND THE PROPERTY OR AROUND THE AREA WHICH WORKS PERFORMED. PROPER SIGNAGES REQUIRED, SUCH AS HARD HAT AREA, HAZARD WORK AREA, ETC.
6.) DISCONNECT UTILITIES:
G.C. TO HAVE ALL UTILITIES MARKED AND NOTED ON THE GROUND PRIOR TO ANY DEMOLITION WORK. DISCONNECT OF GAS, ELECTRICAL OR OTHER DEVICES SHALL BE DONE PRIOR TO COMMENCE OF DEMOLITIONS.
7.) FIELD CONDITIONS:
G.C. TO VERIFY ALL FIELD CONDITIONS AND REPORT ANY CONDITION DEVIATE FROM THE INTENT OF THIS DEMOLITION DRAWING TO THE OWNER, ARCHITECT IMMEDIATELY. AT LEAST 5 WORKING DAYS, PRIOR TO COMMENCE OF WORK, SHOULD BE NOTED TO THE ARCHITECT.
8.) CONTRACTOR PARKINGS:
ALL CONTRACTORS ARE TO PARK AT DESIGNATED AREA AS PER OWNER.

PLUMBING:

THE DESIGN AND INSTALLATION OF THE WATER SUPPLY AND SEWER/DRAINAGE SYSTEM SHALL FOLLOW THE LATEST ILLINOIS STATE PLUMBING CODE AND LOCAL CODES.
PLUMBING PIPES INSTALLED IN THE OUTER WALL OR UN-HEATED SPACE SHALL BE INSULATED PER LATEST ILLINOIS ENERGY CODE.
ALL VENT STACK THRU THE ROOF SHALL HAVE LEAD FLASHING.
CONFIGURATION OF VENTING SYSTEM SHALL BE DESIGNED AND SIZED BY THE LICENSED INSTALLER.
ALL FTHB SHALL BE ON HARD WATER.
PROVIDE A 3-WAY VALVE BY-PASS LOOP AT THE WATER SOFTENER LOCATION.
PLUMBING WORK SHALL BE IN COMPLIANCE WITH "WATER CONSERVATION" REGULATION (SECTION 901 (a) OF THE CODE).
PLUMBING FIXTURE SIZES PER CODE AS FOLLOWS:

FIXTURE PIPE SIZES			
TYPE	SUPPLY PIPE SIZE	DRAINAGE PIPE SIZE	REMARKS
TUB	1/2" Ø	1-1/2" Ø	PRIVATE
SHOWER	1/2" Ø	1-1/2" Ø	
WHIRLPOOL TUB	1/2" Ø	2" Ø	
BIDET	1/2" Ø	1-1/2" Ø	
TOILET	1/2" Ø	3" Ø	
WASHING MACHINES	1/2" Ø	2" Ø	
SINKS AND LAVATORY	1/2" Ø	1-1/2" Ø	
HOSE BIBB	1/2" Ø	-	
WATER HEATER	3/4" Ø	-	
WATER SOFTNER	3/4" Ø	-	
FLOOR DRAIN	-	2" Ø	
FOOTING PUMP	-	1-1/2" Ø	
SANITARY PUMP	-	3" Ø	



ZONING CODE SUMMARY					
ZONING DISTRICT	R-1 SINGLE FAMILY	BY CODE	EXIST'G HOUSE	NEW HOUSE	STATUS
SETBACKS	FRONT	40'-0"	30'-3"	30'-6"	VARIANCE
	SIDE	10% = 19.7'	18'-10"	20.75'	OK
	REAR	30'-0"	15'-11"	19'-4"	VARIANCE
BUILDING HEIGHTS		25'	20' (±)	24'-7" (±)	OK
MAX. FLOOR AREA RATIO (ACTUAL LOT AREA IS 15,464 SF)		8750 < LA < 20,000 = 3062 + ((LA - 8750) * .26) = 3062 + ((15464 - 8750) * .26) = 4807.6	1125 SF	1571.919 SF, 2ND - 1579.2, GARAGE - 898.9	OK
MAX. BUILDING COVERAGE		30%	SMALL	13.1%	OK
MAX. LOT COVERAGE		50%	SMALL	20.6%	OK

BUILDING CODES:

- 2018 INTERNATIONAL RESIDENTIAL CODE AND APPENDICES FOR ONE- AND TWO-FAMILY DWELLINGS & VAH AMENDMENTS
- 2018 INTERNATIONAL MECHANICAL CODE & VAH AMENDMENTS
- 2018 INTERNATIONAL FUEL GAS SYSTEMS & VAH AMENDMENTS
- 2017 NATIONAL ELECTRICAL CODE & VAH AMENDMENTS
- 2018 INTERNATIONAL EXISTING BUILDING CODE & VAH AMENDMENTS
- 2018 INTERNATIONAL SWIMMING POOLS AND SPAS & VAH AMENDMENTS
- 2014 STATE OF ILLINOIS PLUMBING CODE
- 2018 INTERNATIONAL ENERGY CODE

DRAWING INDEX:

T-1 --- SITE DEVELOPMENT PLAN, GENERAL NOTES, SPECS.
A-1 --- BASEMENT & ROOF PLAN AND DETAILS
A-2 --- 1ST & 2ND FLOOR PLAN.
A-3 --- ALL ELEVATIONS

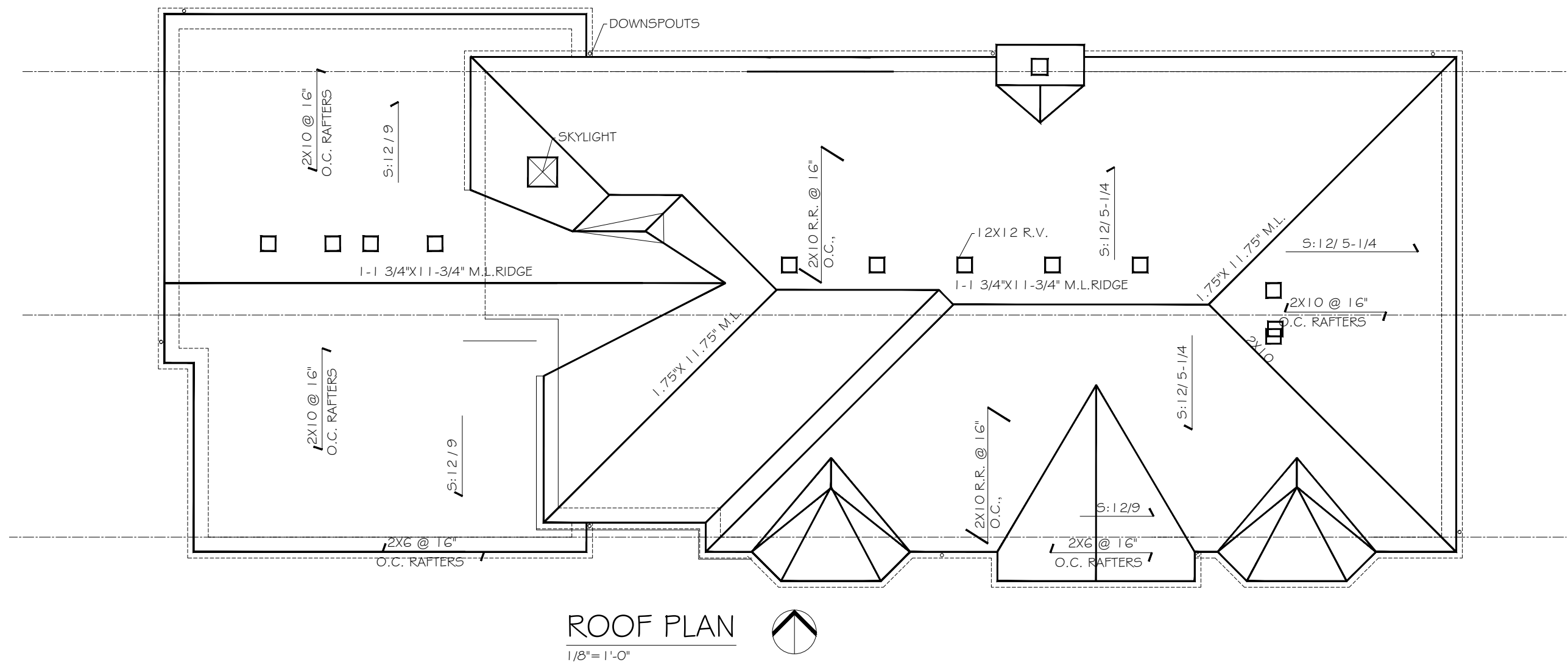
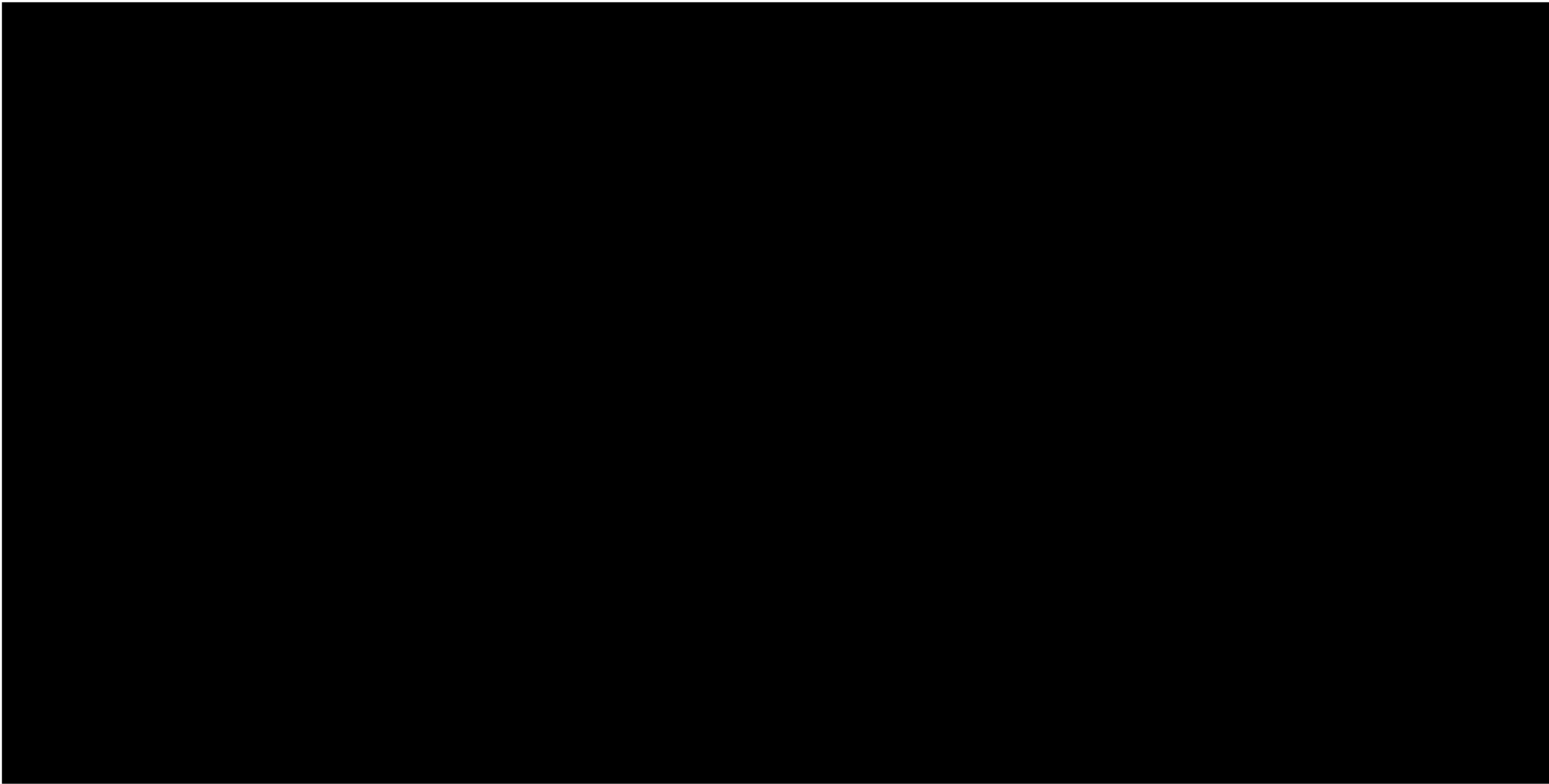
BUILDING AREA SUMMARY			
FLOOR	BUILDING AREA		REMARKS
	MAIN	GARAGE	
BASEMENT	1733.00	-	
1ST FLOOR	1919.00	697.70	GARAGE > 400 SF
2ND FLOOR	1579.20	-	FUTURE BONUS ROOM IS NOT INCLUDED
LIVING AREA	3498.20	-	

ARCHITECT'S CERTIFICATION:
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE CONFORM TO ALL LOCAL CODES AND ORDINANCES. ANY REPRODUCTIONS, CHANGES OR ASSIGNMENTS WITHOUT MY WRITTEN CONSENT ARE PROHIBITED.

HUNG-CHUN FANG
ILLINOIS LICENSED ARCHITECT NO. 001-011348

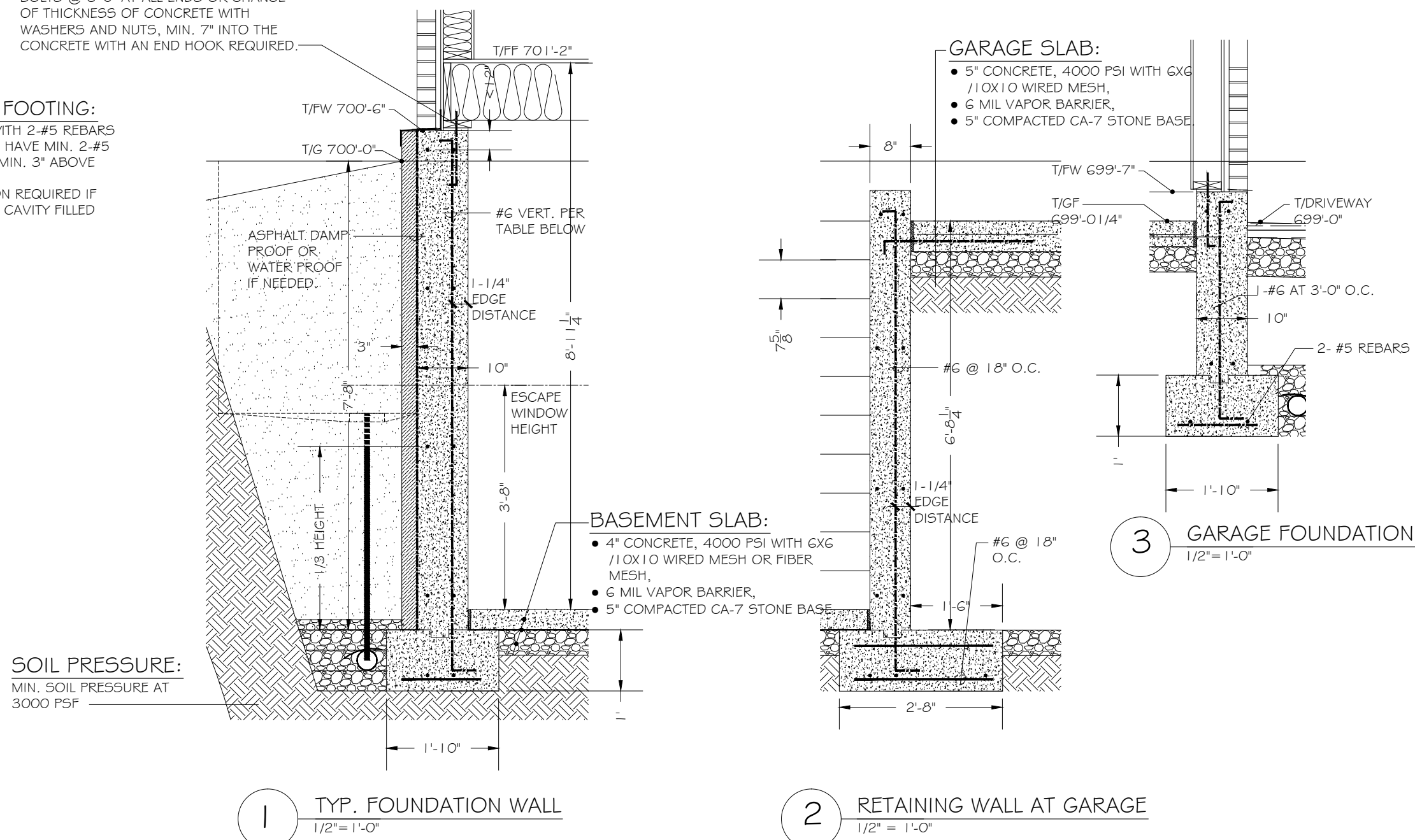
10-9-2020
DATE SEALED

ARCHITECT: RAY H.C. FANG	PROJECT NAME: NEW RESIDENCE FOR MR. R. AJROJA	PROJECT ADDRESS: 300 E. HAVEN ST., ARLINGTON HEIGHTS, IL. 60005
DRAWING CONTENTS: TITLE, SITE PLAN, SPECS, CODES, DWG INDEX, CERTS.		
REVISION LOGS		
BY DATE	RAY	12/3/2020
DESCRIPTIONS	FOR ZONING & DESIGN REVIEW	
REV. NO.	0	
PREPARED BY:	RAY	DATE: 8/15/2020
REVIEWER:	R. AJROJA	DATE: 9/3/2020
APPROVER:		DATE:
PROJECT NUMBER:	300E-01	SCALE: AS SHOWN
ARCHITECT STAMP: 		
EXP: 11/30/2022 DRAWING NO.: T-1		
2020 COPYRIGHT		



CONCRETE WALL AND FOOTING:
1.) MIN. 4,000 PSI CONCRETE WITH 2-#5 REBARS TOP AND BOTTOM, FOOTING TO HAVE MIN. 2-#5 CONTINUOUS REBARS, PLACED MIN. 3" ABOVE GROUND.
2.) EXTERIOR 3" R-15 INSULATION REQUIRED IF BASEMENT IS NOT FRAMED AND CAVITY FILLED WITH MIN. R-20.

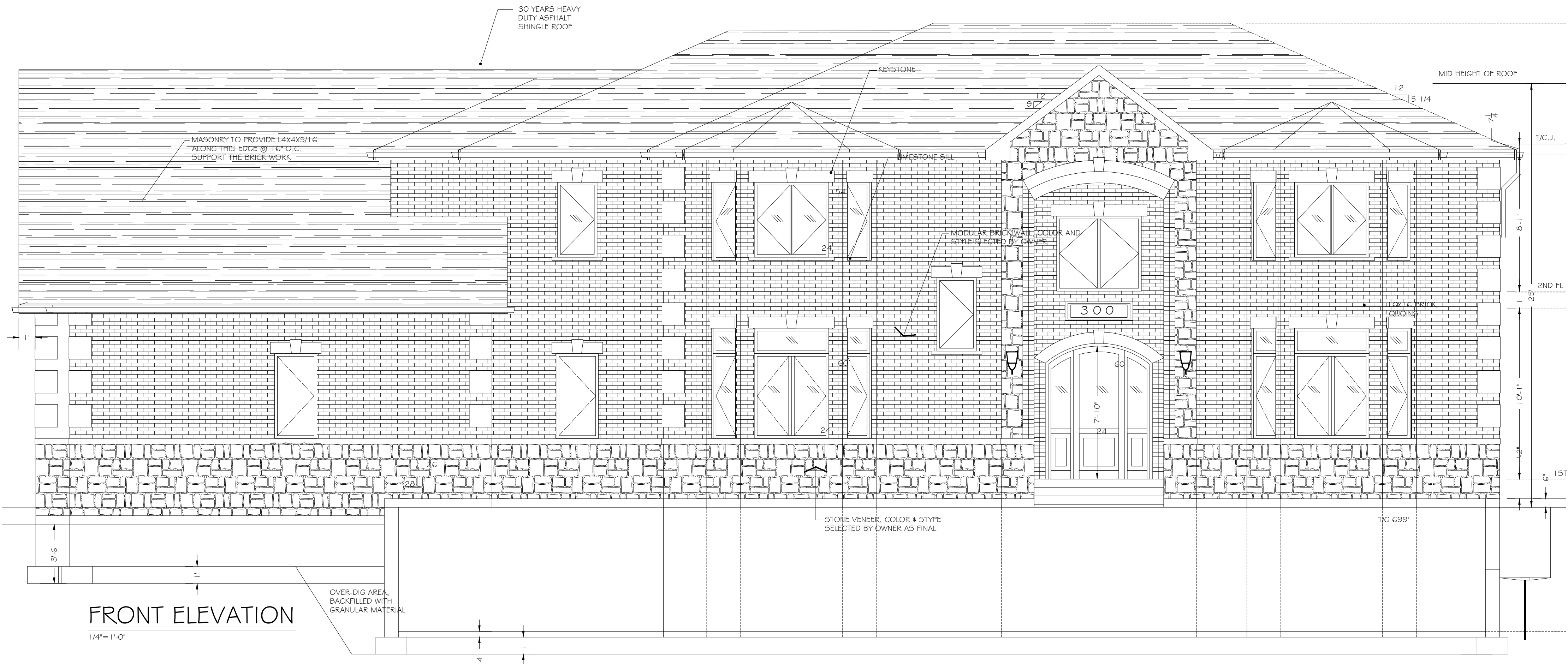
ANCHORS:
PROVIDE 5/8" GALVANIZED ANCHOR BOLTS @ 6'-0" AT ALL ENDS OR CHANGE OF THICKNESS OF CONCRETE WITH WASHERS AND NUTS, MIN. 7" INTO THE CONCRETE WITH AN END HOOK REQUIRED.



VERTICAL REINFORCEMENT FOR CONG. WALLS:
1.) ALL REINF. BARS ARE GRADE 60 MIN.
2.) EDGE DISTANCE TO SOILS:
ALL VERT. REBARS SHALL MAINTAIN A MIN. 1-1/4" FROM THE INSIDE FACE OF CONCRETE.
3.) VERTICAL REBARS SPACINGS:
FOR SILTY CLAY (CL CLASS) USE THE FOLLOWING MINIMUM SPACING:
8" WALL --- #6 AT 29" C.T.C.
10" WALL --- #6 AT 39" O.C.
12" WALL -- NR

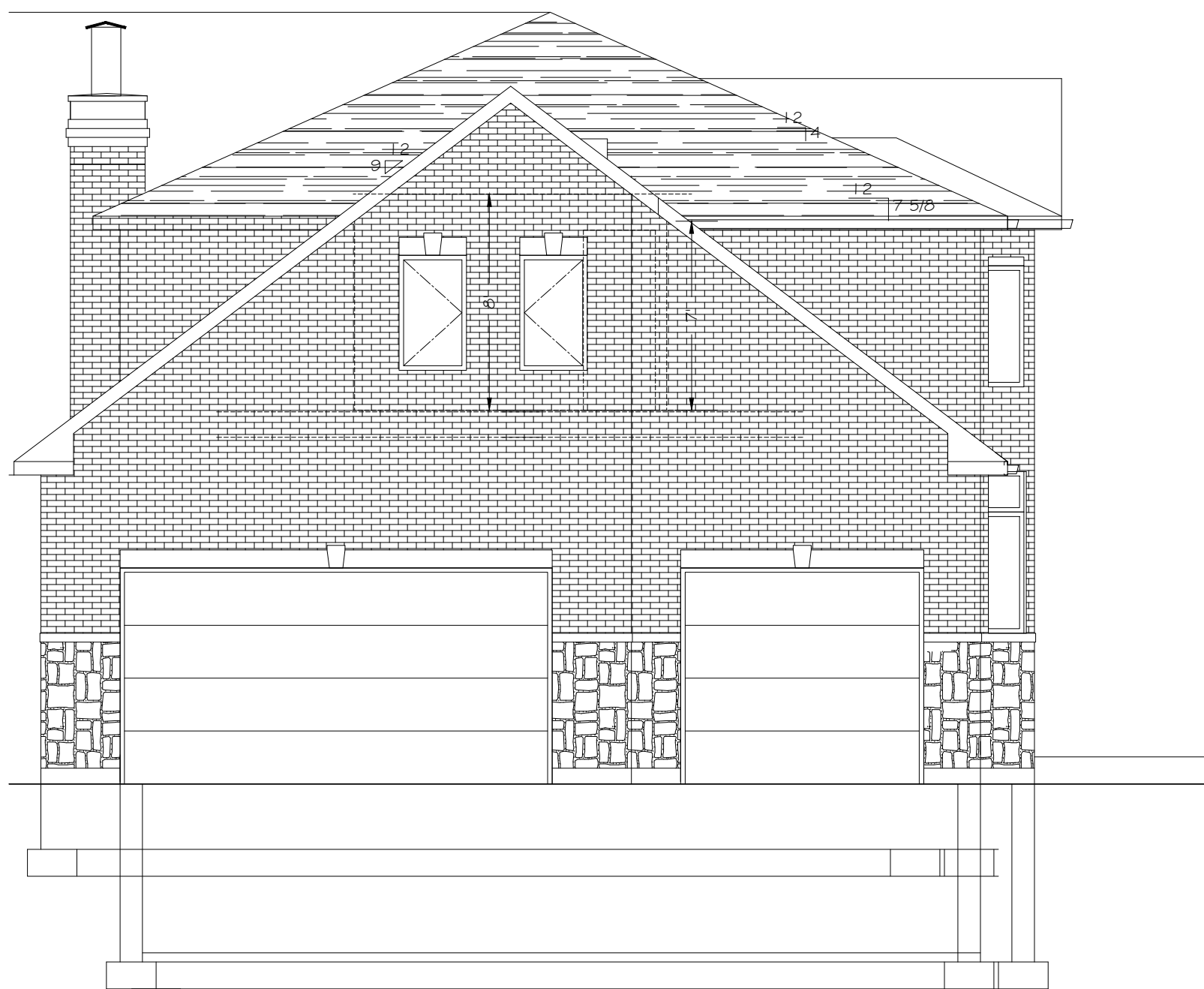
- LEGEND:
- NEW PARTITION WALL
 - SIMPLEX, DEDICATED
 - NEW WALL ARC FAULT PROTECTED DUPLEX, TAMPER RESISTANT
 - NEW SWITCH
 - NEW RECESSED LED LIGHT
 - NEW WALL LED SCONCE
 - NEW LED LIGHT
 - NEW LED DECORATING LIGHT
 - NEW 18" LED. LIGHT
 - NEW CO DETECTOR
 - NEW SMOKE DETECTOR
 - NEW SUPPLY REGISTERS
 - NEW RETURN GRILLES
 - NEW DATA/VOICE
 - EXHAUST FAN

ARCHITECT: RAY H.C. FANG 739 RED OAK DRIVE, BARTLETT, IL 60103 630-768-5536, HCFANG003@AOL.COM DEVELOPER/OWNER:			PROJECT NAME: NEW RESIDENCE FOR MR. R. AJROJA			PROJECT ADDRESS: 300 E. HAVEN ST., ARLINGTON HEIGHTS, IL. 60005			224-623-3348, AJROJA@HOTMAIL.COM 300 E. HAVEN ST., ARLINGTON HEIGHTS, IL. 60005		
DRAWING CONTENTS: BASEMENT PLAN, WALL DETAILS											
REVISION LOGS											
REV. NO.		DESCRIPTIONS		BY/DATE							
0		FOR ZONING & DESIGN REVIEW		RAY 1/23/2020							
PREPARED BY: RAY				DATE: 8/15/2020							
REVIEWER: R. AJROJA				DATE: 9/3/2020							
APPROVER				DATE:							
PROJECT NUMBER: 300E-01				SCALE: AS SHOWN							
ARCHITECT STAMP: STATE OF ILLINOIS HUNG-CHUN FANG 011348 REGISTERED ARCHITECT											
EXP. 11/30/2022 DRAWING NO.: A-1 2020 COPYRIGHT											



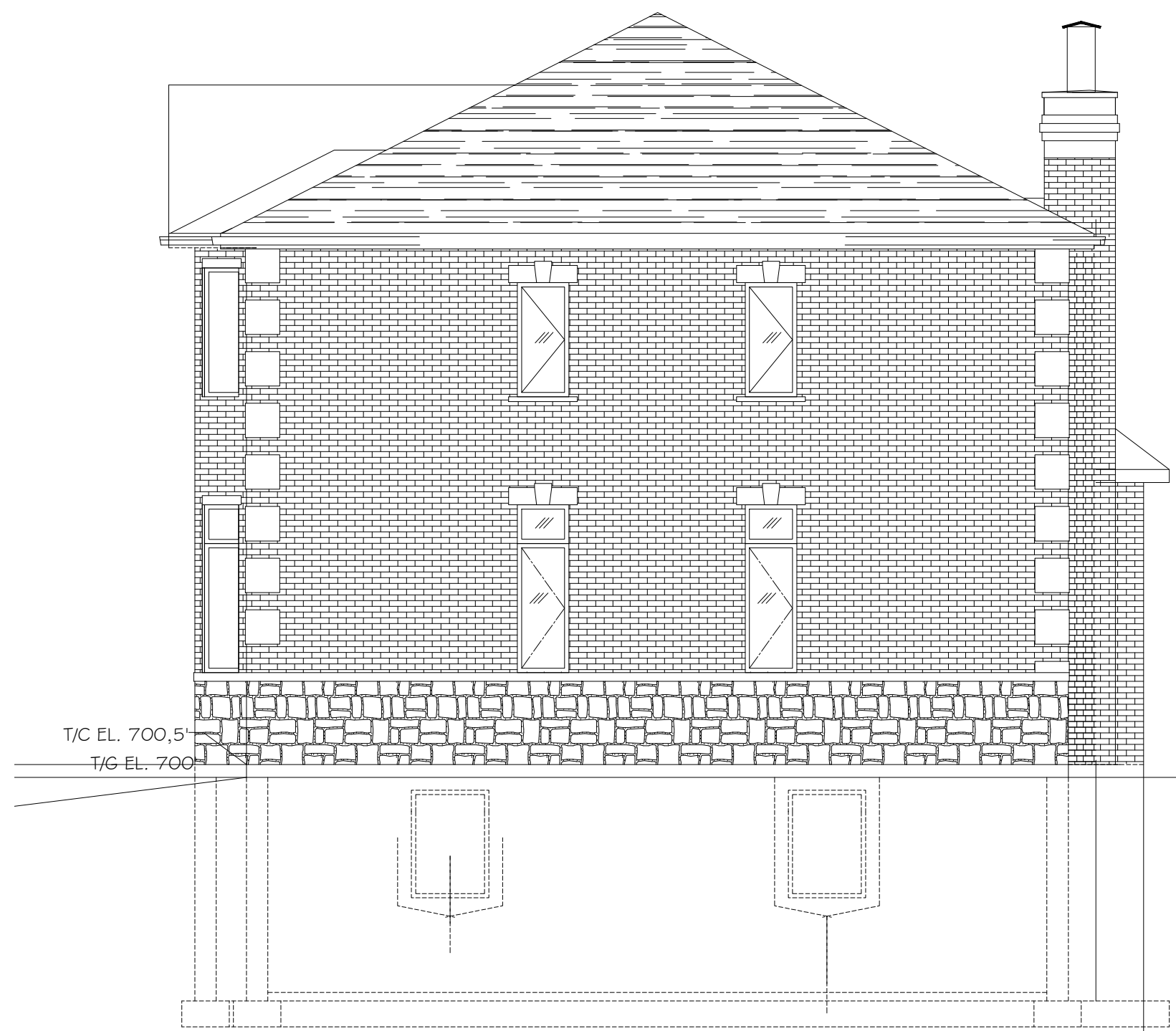
FRONT ELEVATION

1/4\"= 1'-0"



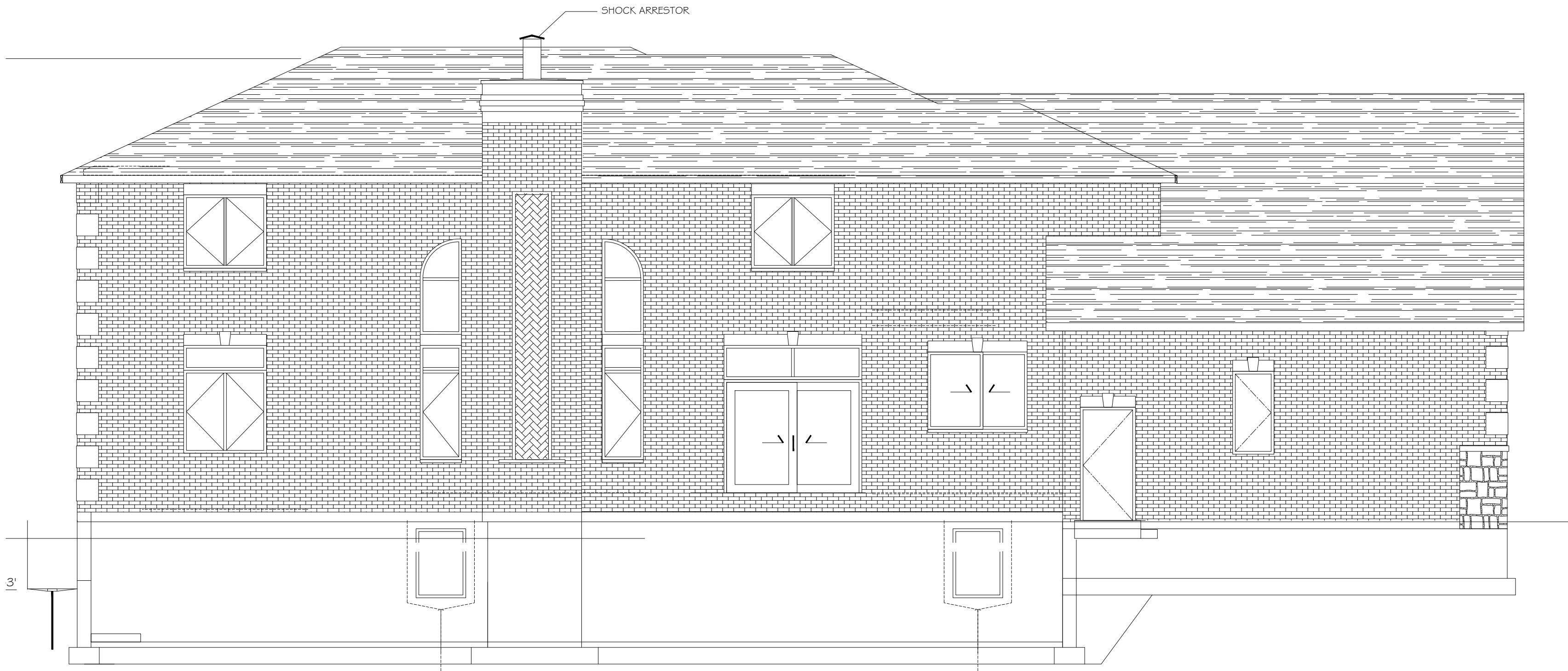
WEST ELEVATION

3/16\"= 1'-0"



EAST ELEVATION

3/16\"= 1'-0"



NORTH ELEVATION

3/16\"= 1'-0"

EXTERIOR SURFACE MATERIAL SUMMARY				
ITEM	MATERIAL	MANUFACTURER	COLOR	REMARKS
BRICK	CLAY	GLEN-GERY, WINDSOR ENGINEER MODULAR	DARK RED	
STONE	CUT STONE	FOND DU LAC COUNTRY SQUIRE	LIGHT GRAY STONE	WWW.BUECHELSTONE.COM
SILLS	LIMESTONE	FOND DU LAC	LIGHT GRAY STONE	
WINDOWS	VINYL-CLAD	PELLA	WHITE	CASEMENT & DOUBLE HUNG
GUTTERS, TRIMS, FACIA	ALUM	AMERIMAX HOME	WHITE	
GARAGE DOOR	STEEL CLAD INSULATED GARAGE DOOR	C.H.I. OVERHEAD DOOR	WHITE	
ROOF	ASPHALT SHINGLES	GAF	WEATHERED WOOD	

ARCHITECT:
RAY H.C. FANG
739 RED OAK DRIVE, BARTLETT, IL 60133
630-768-5536, HCFANG003@AOL.COM
DEVELOPER/OWNER:

PROJECT NAME:
NEW RESIDENCE FOR MR.
R. AJROJA

PROJECT ADDRESS:
300 E. HAVEN ST., ARLINGTON
HEIGHTS, IL. 60005

ARCHITECT STAMP:

STATE OF ILLINOIS
HUNG-CHUN
FANG
011348
REGISTERED ARCHITECT

EXP: 11/30/2022
DRAWING NO.:

A-3

ELEVATIONS

REVISION LOGS

REV. NO.	DESCRIPTIONS	BY/DATE
0	FOR ZONING & DESIGN REVIEW	RAY 1/23/2020

PREPARED BY: RAY
REVIEWED BY: R. AJROJA
APPROVED BY:
DATE: 8/15/2020
DATE: 9/3/2020
DATE:
PROJECT NUMBER: 300E-01
SCALE: AS SHOWN







**Zoning Board of Appeals
12/14/2020**

Item: 116 N. Pine Ave. - ZBA#20-037

Department: Planning & Community Development

REQUEST

- A variation from Chapter 28 Section 5.1-6.1 (Minimum Lot Width) to allow a lot width of 67.0 feet whereas 90 feet is required.

ATTACHMENTS:

Description	Type
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: December 14, 2020
Date Prepared: December 9, 2020
Project Title: Milford Residence
Address: 116 N. Pine Ave.

Background Information

Petition Number: ZBA #20-037
Petitioner: Kevin Purdom / JRC Design Build
Address: 1275 E. Davis St.
Arlington Heights IL 60005

Existing Zoning: R-6 – Multi Family Dwelling District

Requested Action/Background Information

The petitioner is proposing to add a two-story addition to an existing two-story house. The existing detached garage will remain. The property has a total land area of 8,844 square feet and the proposed residence with addition will be approximately 2,408 square feet. The project does comply with all single-family zoning requirements; however, the subject property is located in an R-6 Multi-Family zoning district where the minimum lot width requirement for a corner lot is 90 feet. Since the existing lot is only 67 feet wide, a zoning variation is required to allow expansion of the house on a non-conforming lot. Therefore, the petitioner is requesting the following variation:

- **A variation from Chapter 28 Section 5.1-6.1 (Minimum Lot Width) to allow a lot width of 67.0 feet whereas 90 feet is required.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	11/20/20	
2. List of Property Owners Within 250 feet of Subject Property	✓	11/20/20	
3. Letter that was Mailed	✓	11/20/20	
4. Photographs of Sign on Property	✓	11/20/20	

Photographs of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Milford Residence

Project Address: 116 N Pine Ave

ZBA #: 20-037

Date: November 23, 2020

Derek:

I have reviewed the request for the following variances:

- A variation from Chapter 28 Section 5.1-6.1 (Minimum Lot Width) to allow a lot width of 67.0 feet whereas 90 feet is required.

and have no objections or comments.

ZBA# 20-037
116 N Pine Ave - ZBA
Rev. Eng: Briget Schwab, P.E.
cc: Mike Pagones, P.E. Village Engineer

Application Date: October 10, 2020
Received by Planning:
Transmitted to Engineering: November 20, 2020
Received by Briget: November 20, 2020
Completed: November 20, 2020

The proposed ZBA application indicates that the petitioner is seeking:

A variation from Chapter 28 Section 5.1-6.1 (Minimum Lot Width) to allow a lot width of 67.0 feet whereas 90 feet is required.

The Engineering Division has NO OBJECTION on the proposed variance request for minimum lot width.

NOTE: Existing property width is 67 feet. The proposed addition will comply with all other ordinances.

--

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Milford Residence

Project Address: 116 N. Pine Avenue

ZBA #: 20-037

ZBA Hearing Date: December 14, 2020

To: Mike Pagones, Village Engineer
Mark Fink, Assistant Building Official

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: November 20, 2020

- A variation from Chapter 28 Section 5.1-6.1 (Minimum Lot Width) to allow a lot width of 67.0 feet whereas 90 feet is required.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: This project received Design Commission approval on 11/10/20. See attached

Meeting Minutes.

Steve Hautzinger, Design Planner

Please review, comment, and return to me no later than December 3, 2020.

DRAFT

MINUTES OF THE VILLAGE OF ARLINGTON HEIGHTS DESIGN COMMISSION VIRTUAL MEETING

NOVEMBER 10, 2020

Chair Fitzgerald called the meeting to order at 6:30 p.m.

Members Present: John Fitzgerald, Chair
Scott Seyer
Ted Eckhardt

Members Absent: Jonathan Kubow
Kirsten Kingsley

Also Present: Tony VanDyke, Marton Premier Homes for 508 S. Phelps Ave.
Julie Jilek & Beth Anne Ausnehmer, NSSEO for Miner School
Mary Boehmler & Grady Hamilton, Trammell Crow Co. for Senior Housing Development
Lukas Van Sistine, Gretchen Camp, & Teresa Forsberg, ESG Architects for Trammell
Crow Senior Housing Development
Jake Coryell, Confluence for Trammell Crow Senior Housing Development
Brian Radiszack, SPACECO, Inc. for Trammell Crow Senior Housing Development
Steve Hautzinger, Staff Liaison

Chair Fitzgerald read the following statement as requested by the Village: I find that the public health concerns related to the coronavirus pandemic render in-person attendance at the regular meeting location not feasible.

Chair Fitzgerald also reminded those speaking tonight to state their names before speaking. **Mr. Hautzinger** added instructions for public attendees that want to speak tonight, as well as muting when not speaking.

REVIEW OF MEETING MINUTES FOR OCTOBER 27, 2020

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER SEYER, TO APPROVE THE MEETING MINUTES OF OCTOBER 27, 2020. ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 2. SINGLE-FAMILY ADDITION REVIEW**DC#20-065 – 116 N. Pine Ave.**

Kevin Purdom, representing *JRC Design Build*, and **Matt Milford**, the owner, were present on behalf of the project.

Mr. Hautzinger summarized Staff comments. The petitioner is proposing to add a two-story addition to an existing two-story house. An existing detached garage will remain. The project does comply with all single-family zoning requirements; however, the subject property is located in an R-6 Multi-Family zoning district where the minimum lot width requirement for a corner lot is 90 feet. Since the existing lot is only 67 feet wide, a zoning variation is required to allow expansion of the house on a non-conforming lot.

The subject property is located in the Rec Park neighborhood, and the existing house was included in a Community Preservation Report that was prepared by the School of the Art Institute of Chicago in 2004 to raise community awareness and promote the preservation of the historic character of certain neighborhoods in Arlington Heights. Homes in the report are rated in order of historic importance as “Exceptional”, “Notable”, or “Contributing”. The subject house is rated as “Contributing”. Staff commends the petitioner for preserving and expanding the existing house, however, there are a few concerns with the proposed design.

The proposed addition is on the rear of the house, but the back of this house is highly visible upon entering the Rec Park neighborhood. Overall, the proposed addition is in keeping with the style of the existing house and the neighborhood. However, the Design Commission should evaluate the following design concerns:

1. **Massing.** The massing of the proposed addition has a random and unbalanced appearance. For a more cohesive appearance to blend the addition with the existing house, it is recommended to maintain the existing second floor eave line on all sides, with a more balanced arrangement of dormers.
2. **Windows.** The windows in the proposed addition have a random appearance of sizes and spacing, that is not consistent with the historic style of the house. A more balanced arrangement of windows with a traditional appearance is recommended to complement the historic house style.
3. **Foundation.** The exterior siding on the addition extends down to the ground, where the existing house has a masonry foundation. For a more cohesive appearance to blend the addition with the existing house, it is recommended to match the existing masonry foundation on the proposed addition.

Staff recommends the Design Commission evaluate these concerns with the design of the proposed addition.

Chair Fitzgerald asked if the petitioner had any comments at this time. **Mr. Purdom** said that the homeowners' response to three concerns raised by Staff are as follows: Massing/eave height; the owners want to have the minimum 5' required by code, in order to achieve the extra square footage in the new addition. Foundation; the owners are open to either bringing the new siding all the way down all around the home, or doing some sort of landscaping to help obscure the foundation. Windows; the owners want to emphasize an openness in the kitchen, which is why ribbon windows are shown. **Mr. Milford** added that one of the things they are looking for in this design is to match as much as possible, the existing structure and design, while meeting code requirements to create as much space with a limited addition as possible for the back of the home. They like the openness feel of the windows, and said that the lack of windows on the north side elevation is due to the existing staircase and bathroom that are located there.

Chair Fitzgerald asked if there was any public comment at this time, and **Mr. Hautzinger** said there was none.

The commissioners summarized their comments. **Commissioner Seyer** felt the massing of the addition was actually quite nice, and he liked the variation in heights at the top. The combination of the existing plus the addition was nice. He said the base was very important and he felt strongly that the base of the addition should be brick or stone to match

the existing, and painted to match the siding so it feels more consistent. **Commissioner Seyer** was okay with the base at the staircase of the rear entry being similar to the front entry; however, he felt very strongly that the solid stone base/masonry would really help the entire home look more complete and homogeneous. He was compelled to make this a requirement, although he wanted to hear comments from the other commissioners as well. **Commissioner Seyer** said the variation in window sizes was acceptable, although he questioned the roofline at the top right hand corner of the second-floor window above the door, where it feels like there is something very bulky there; however, he did not have a good view to understand it.

Commissioner Eckhardt agreed with Commissioner Seyer; he liked the massing and he liked that it has a little more excitement to it. The home looks like a contemporary farmhouse and the windows go with that look; the home looks like it has always been this big, and he liked it. He felt the architect did a good job with the front and back elevations having the same amount of detail, and he could support Commissioner Seyer's requirement about the stone base which he felt would really pull the home together and make a substantial difference in the appearance of the home.

Chair Fitzgerald agreed with the comments already made, especially making the stone/masonry base a requirement. He said the project looks really good, it looks fresh, it looks updated, but it still looks like it could have been there the whole time. He suggested continuing the deck at the south end, around the west and connecting to the porch leading to the back door, which would make it more usable.

Commissioner Seyer asked the petitioner/architect if there was something very unique happening at the roofline at the top right hand corner of the second-floor window; it feels very awkward. **Mr. Purdom** said that this area of roofline has since been changed to be cohesive with that corner; the rendering is not accurate. **Commissioner Seyer** appreciated the change.

A MOTION WAS MADE BY COMMISSIONER SEYER, SECONDED BY COMMISSIONER ECKHARDT, TO RECOMMEND APPROVAL OF THE PROPOSED ADDITION TO THE EXISTING SINGLE-FAMILY HOME LOCATED AT 116 N. PINE AVENUE. THIS RECOMMENDATION IS BASED ON THE ARCHITECTURAL PLANS RECEIVED 5/13/20, AND THE FOLLOWING:

1. A REQUIREMENT THAT THE EXISTING STONE/MASONRY FOUNDATION BE MATCHED ON THE ADDITION, WHETHER IT BE REPLICATED IN ANOTHER MATERIAL, TO GIVE THE AESTHETIC OF A CONTINUAL STONE/MASONRY BASE PAINTED THE SAME COLOR TO PROVIDE CONTINUITY IN THE AREAS WHERE IT IS CURRENTLY SHOWN AS SIDING.
2. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

Chair Fitzgerald asked for clarification on the base requirement; is it meant to go around the entire home. **Commissioner Seyer** clarified that the masonry foundation is not required on the front and rear entries. Chair Fitzgerald also said that the change in the eave stated by the petitioner should be added to the motion, to be approved by Staff.

A MOTION WAS MADE BY COMMISSIONER SEYER TO AMEND THE MOTION TO ADD THE FOLLOWING:

3. A REQUIREMENT THAT THE EAVE AT THE SOUTHWEST CORNER, ABOVE THE REAR ENTRY ON THE SECOND-FLOOR, BE CLEANED UP, PER THE ARCHITECT'S COMMENTS TONIGHT, AND NOT AS ILLUSTRATED IN THE RENDERINGS, TO BE REVIEWED AND APPROVED BY STAFF.

COMMISSIONER ECKHARDT SECONDED THE AMENDED MOTION.

ECKHARDT, AYE; SEYER, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

DRAFT

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner Kevin Purdom

being the owner of the property commonly know as: 116 N Pine Ave

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-6.1

Chapter 28, of the Arlington Heights Municipal Code, in order to: Build a 2-story addition with a nonconforming existing lot
width of 67 feet where 90 feet is required in zone R-6.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): This project will still be following
all setback and square footage requirements for R-6 but due to the existing nonconforming lot width we need to apply
for this variation.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): The unique circumstance that exists is that the lot width of 67 feet
already does not conform to the required width for this zone. We do not plan to alter this width at all but simply add addition to
of existing building.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain):
This addition will add to the existing character of the neighborhood and create a more cohesive building without needing any
variations in design or zoning other than the existing nonconforming lot width.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): we plan to meet all zoning and design requirements in the addition, in order to build anything we will need this
variation which is the minimum possible to build an addition.

Signed: 
Petitioner

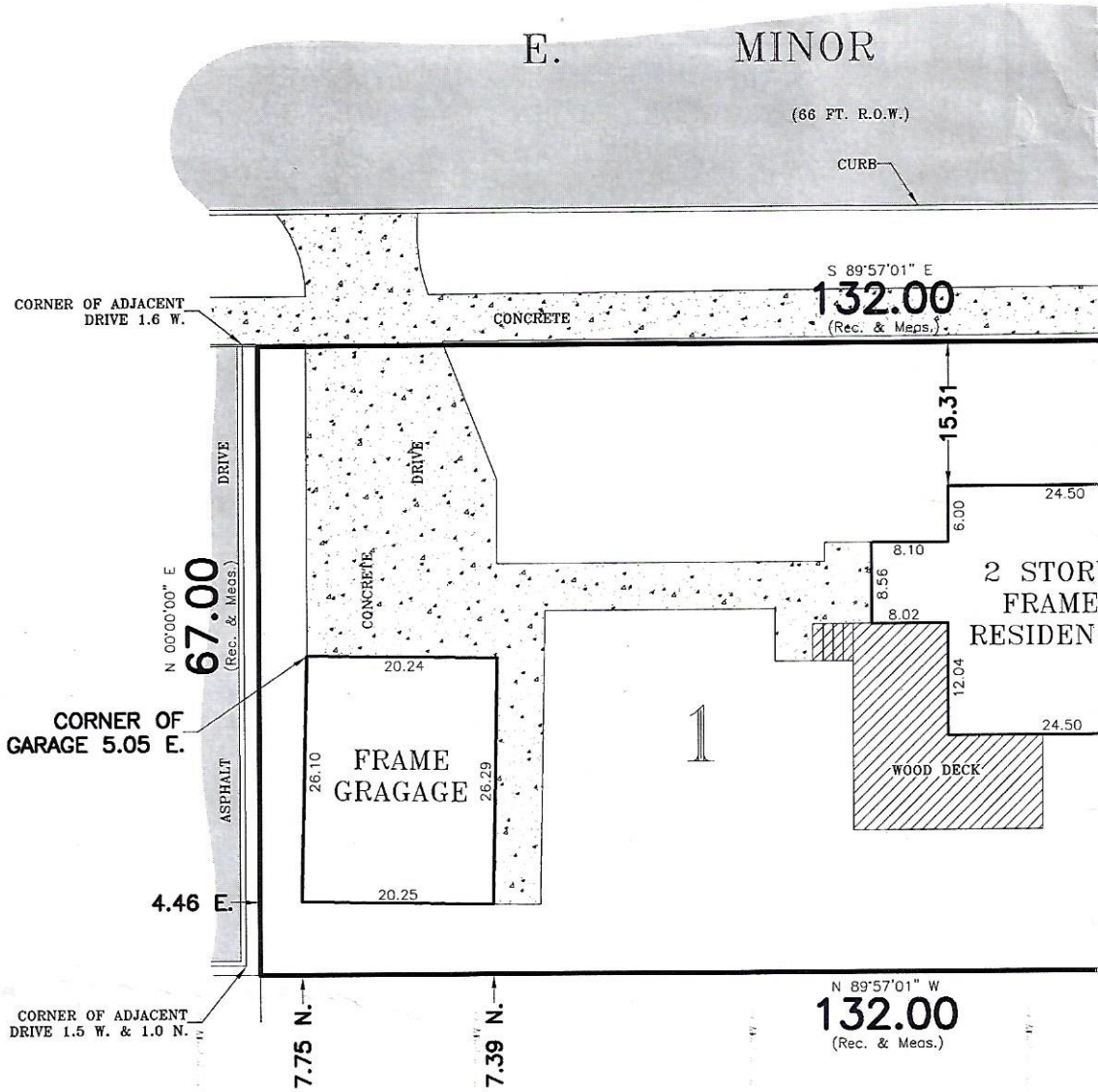
Date: 10/20/2020

PLAT OF
of

LOT 1 IN BLOCK 3 IN GEORGE W. DUNTON'S ADDITION TO ARLINGTON HEIGHTS IN THE EAST HALF OF THE SOUTH
TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

ADDRESS: 116 N. PINE AVENUE, ARLINGTON HEIGHTS, ILLINOIS

P.I.N. 03-29-336-004



GENERAL NOTES:

- 1) THE LEGAL DESCRIPTION HAS BEEN PROVIDED BY THE CLIENT OR THEIR
- 2) THIS SURVEY SHOWS THE BUILDING LINES AND EASEMENTS AS INDICATE
RECORDED PLAT. THIS PLAT DOES NOT SHOW ANY RESTRICTIONS ESTABLISH
LOCAL ORDINANCES UNLESS SUPPLIED BY THE CLIENT.
- 3) BASIS OF BEARING FOR THIS SURVEY IS AS THE NORTH ARROW INDICAT
SHOWN TO INDICATE THE ANGULAR RELATIONSHIP OF THE BOUNDARY LINES
- 4) MONUMENTS, IF SET, DURING THIS SURVEY, REPRESENT THE TRUE COR
THIS DESCRIPTION AS SURVEYED.
- 5) LOCATION OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY. NO
INTERPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN HEREON.
- 6) ONLY COPIES WITH AN ORIGINAL SIGNATURE AND SEAL ARE OFFICIAL LE
DOCUMENTS. ALL SURVEYS ARE COPYRIGHTED MATERIALS WITH ALL RIGHTS

Professional Design Registration #184-002795



PREFERRED SURVEY, INC.

7845 W. 79TH STREET, BRIDGEVIEW, IL, 60455
Phone 708-458-7845 / Fax 708-458-7855
www.psisurvey.com

Field Work Completed	11/30/16	FLD CREW:	CD/TT
Land Area Surveyed	8,844.0 Sq. Ft.	CAD:	EH
Drawing Revised			

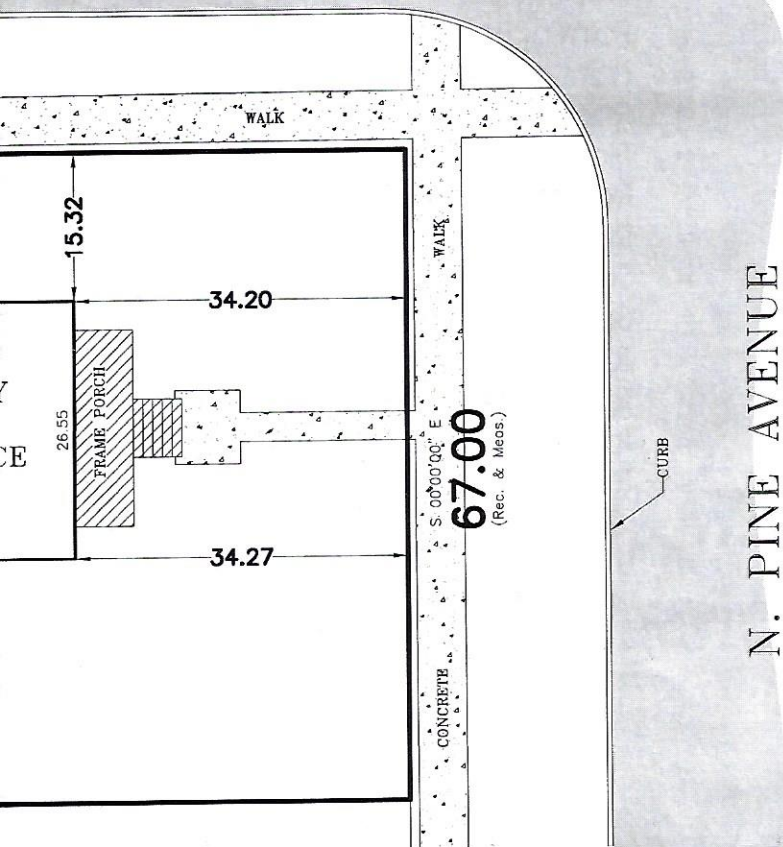
SURVEY

THWEST QUARTER NORTH OF THE RAILROAD (EXCEPT THE NORTH 20 ACRES) IN SECTION 29,



SCALE: 1"=20'

STREET



N. PINE AVENUE

(66 FT. R.O.W.)



STATE OF ILLINOIS)
S.S.
COUNTY OF COOK)

SURVEY ORDERED BY: THOMAS J. AHERN

I, MICHAEL J. LOPEZ, AS AN EMPLOYEE OF PREFERRED SURVEY INC., DO HEREBY STATE THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARD FOR A BOUNDARY SURVEY. PROPERTY CORNERS HAVE BEEN SET OR NOT IN ACCORDANCE WITH CLIENT AGREEMENT. DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT.

GIVEN UNDER MY HAND AND SEAL THIS
9TH DAY OF DECEMBER A.D. 2016



MY LICENSE EXPIRES ON 11/30/18

P.S.I. NO. 16114653

PROJECT DATA

PROJECT LOCATION:	116 N PINE DR ARLINGTON HEIGHTS, IL 60004
ZONING DISTRICT:	R-6
LOT AREA:	8779 SF
PIN:	03-29-336-004-0000
MAX LOT COVERAGE:(35%)	3072 SF
PROPOSED LOT COVERAGE: BUILDING FOOTPRINT:	1676 SF
MAX FAR: 3938 + [(8779-8750) X 0.4]	3949 SF
PROPOSED FAR:	2415 SF
MAX IMPERVIOUS COVERAGE (50%)	4390 SF
PROPOSED IMPERVIOUS COVERAGE:	2551 SF
MAX BUILDING HEIGHT:	50'-0"
PROPOSED BUILDING HEIGHT:	EX 26'-6"
LOCATION AREAS: FIRST FLOOR SECOND FLOOR	1139 SF 1139 SF
TOTAL BUILDING SIZE:	2278 SF
GARAGE	537 SF

DESIGN CRITERIA

FLOOR SLEEPING ROOMS OTHER ROOMS VEH. GARAGES	40# LL - 10# DL 40# LL - 10# DL 50# LL - 10# DL
WALL	60# PLF OR ACTUAL LOAD 20 PSF WIND 0'-20' HEIGHT 25 PSF WIND 21'-29' HEIGHT 30 PSF WIND 30' HEIGHT AND
ABOVE	
CEILING UNHAB W/O STOR UNHAB LIM STOR HAB W/ FIX STAIR	10# LL - 10# DL 20# LL - 10# DL 30# LL - 10# DL
WIND SPEED NOMINAL	115 MPH 3 SECOND GUST & 89
ROOF SLOPES)	30# LL (SNOW) - 10# DL (ALL
CATHEDRAL	30# LL - 15# DL (ALL SLOPES)
EXT DECK	40# LL - 10# DL
EXT BALCONY	40# LL - 10# DL
STAIRS LOAD	40# LL + 300# CONCENTRATED
GUARD & HANDRAILS APPLIED AT	200# LL AT ANY DIRECTION THE TOP
FROST DEPTH	42" (3'-6")

STRUCTURAL FRAMING LUMBER
BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)
GRADE #2 SPECIES SPF DOMESTIC OR CANADIAN BASE Fb 875

SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM PRODUCT
WITH THE CURRENT SIZE, Fb, AND E VALUES PER MANUFACTURER

MANUFACTURER - TRUS-JOIST
PRODUCT - LVL HEADERS & BEAMS MICRO-LAM

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDER LAYMENT REQ.	FLOOD HAZARDS CHAPTER 15 OF VILLAGE CODE	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WIND- BORNE DEBRIS ZONE		WTHRING	FROST LINE DEPTH	TERMITE					
25	115	NO	NO	NO	b	SEVERE	42"	MOD -TO- HEAVY	-4	YES	NOV 6 2000	2000	47.6

ENERGY CODE COMPLIANCE NOTES

- ENERGY CODE COMPLIANCE DESIGN BY PRESCRIPTIVE MEANS.
CLIMATE ZONE : 5
MAX. GLAZING U-FACTOR: 0.30
ACTUAL U-FACTOR: 0.30
MIN. SKYLIGHT U-FACTOR: 0.55
ACTUAL SKYLIGHT U-FACTOR: 0.55
SHGC : N R
MIN. CEILING R-VALUE: 49
ACTUAL CEILING R-VALUE: 49 (BLOWN)
MIN. FRAME WALL R-VALUE: 20 OR 13+5
ACTUAL WALL R-VALUE: 15 + 5 (BATT & RIGID)
MIN. FLOOR R-VALUE: 30
ACTUAL FLOOR R-VALUE: N/A
MIN. BASEMENT R-VALUE: 15/19
ACTUAL BASEMENT R-VALUE: 21
GC TO PROVIDE PERMANENT CERTIFICATE TO BE POSTED ADJACENT
TO ELECTRICAL PANEL INDICATING INSULATION AND ENERGY VALUES
FOR BUILDING INSULATION, FENESTRATION AND DUCT SYSTEMS.
SPRAY FOAM BOX SILLS AND SILL PLATES, AND ADD R-15 HIGH
DENSITY FRICTION FIT BATT INSULATION.
- ALL PENETRATIONS THROUGH THERMAL ENVELOPE SHALL BE
ADEQUATELY SEALED BY CAULK, GASKET, WEATHERSTRIPPING OR
OTHER BARRIER MEANS PER 2018 IECC REQUIREMENTS.
ALL WINDOWS AND EXTERIOR DOOR JAMBS ARE TO BE SEALED WITH
LOW-EXPANSION FOAM.
ALL BOTTOM PLATES ON EXTERIOR WALLS SHALL BE GLUED TO
SUB-FLOOR.
- ALL FIREPLACES SHALL HAVE GASKETED DOORS & OUTSIDE
COMBUSTION AIR.
- ALL RECESSED LIGHTING IN THERMAL ENVELOPE SHALL BE SEALED
TO PREVENT AIR LEAKAGE. ALL RECESSED DOWNLIGHTING TO BE
IC-RATED.

- PROVIDE PROGRAMMABLE THERMOSTATS FOR EACH ZONE WITH
SETBACK AND MANUAL OVERRIDE.
- ALL DUCTWORK SHALL BE ADEQUATELY SEALED. ALL SUPPLY
DUCTWORK IN UNCONDITIONED ATTIC TO HAVE R-8 INSULATION.
ALL OTHER DUCTWORK TO HAVE R-6 INSULATION. HVAC CONTRACTOR
SHALL PROVIDE EITHER POST-CONSTRUCTION OR ROUGH-IN TEST OF
TOTAL AIR LEAKAGE FOR DUCT SYSTEMS.
- ALL MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS
ABOVE 105 DEG F OR BELOW 55 DEG F SHALL BE INSULATED TO A
MINIMUM OF R-3. ALL HOT WATER LINES TO HAVE R-3 PIPE
INSULATION & MANUAL SWITCH FOR RECIRC. PUMP.
- ALL ACCESS HATCHES/DOORS TO UNCONDITIONED SPACE SHALL BE
INSULATED & WEATHERSTRIPPED.
- AT LEAST 90% OF ALL LIGHTING TO HAVE HIGH-EFFICACY BULBS.
- FURNACE: +90% AFUE
WATER HEATER: +95% AFUE
A/C: 13+ SEER
SHGC: 0.27 OR 8TR
- WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN
AIR INFILTRATION RATE NO MORE THAN 0.3 CFM PER SF, AND
SWINGING DOORS NO MORE THAN 0.5 CFM PER SF.

APPLICABLE CODES

ALL WORK PERFORMED AND MATERIALS USED SHALL
COMPLY WITH THE FOLLOWING:

BUILDING CODE	2018 INTERNATIONAL RESIDENTIAL CODE WITH AMENDMENTS
MECHANICAL CODE	INTERNATIONAL EXISTING BUILDING CODE, 2015 INTERNATIONAL MECHANICAL CODE, 2015
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
PLUMBING CODE	2014 ILLINOIS PLUMBING CODE WITH AMENDMENTS
ENERGY CODE CONSERVATION AMENDMENTS	2018 ILLINOIS ENERGY CODE WITH STATE
FUEL CODE FIRE CODE	INTERNATIONAL FUEL GAS CODE, 2015 INTERNATIONAL FIRE CODE, 2015
ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES, AND REGULATIONS.	
MANUFACTURERS' SPECIFICATIONS AND TRADE ASSOCIATIONS RECOMMENDATIONS.	
ACCEPTED ENGINEERING AND CONSTRUCTION PRACTICES.	

ADDITION TO THE MILFORD RESIDENCE



SHEET INDEX - ARCHITECTURAL

A0.0	COVER SHEET	10/02/2020
A0.00	EXISTING DRAWINGS	10/02/2020
A1.0	SITE PLAN	10/02/2020
A2.0	FOUNDATION & BASEMENT PLANS	10/02/2020
A2.1	FIRST FLOOR PLAN	10/02/2020
A2.2	SECOND FLOOR PLAN	10/02/2020
A3.0	ROOF PLAN & STAIR DETAILS	10/02/2020
A4.0	SOUTH AND EAST ELEVATIONS	10/02/2020
A4.1	NORTH AND WEST ELEVATIONS	10/02/2020
A4.2	GARAGE ELEVATIONS	10/02/2020
A5.0	CONNECTION DETAILS & NOTES	10/02/2020
A6.0	SPECIFICATIONS	10/02/2020
MEP1.0	MEP NOTES & DETAILS	10/02/2020



1275 E. DAVIS, ARLINGTON HEIGHTS, IL 60004
PHONE: (847)255-2322
EMAIL: JIMJRC@GMAIL.COM
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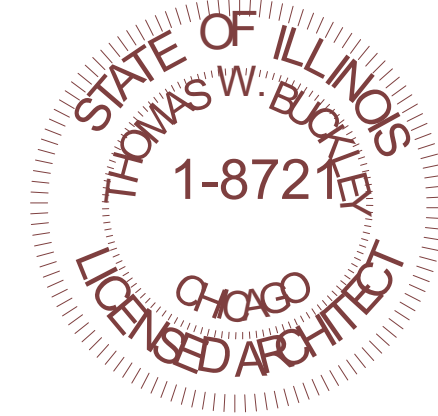
ADDITION & KITCHEN
REMODEL
MILFORD RESIDENCE
116 N PINE DR
ARLINGTON HEIGHTS, IL

DATE

10/02/2020

ISSUE DATE

09/29/2020 1 - DESIGN REVIEW
10/02/2020 2 - ISSUE FOR PERMIT



THOMAS
BUCKLEY
ARCHITECT

P.O. BOX 95624
HOFFMAN ESTATES, IL 60195
TEL. 847-310-9530 e-mail:
tom@thomasbuckleyarchitect.com

ARCHITECT'S CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED
BY ME OR UNDER MY DIRECTION AND THAT TO THE BEST OF
MY KNOWLEDGE, COMPLY WITH ALL APPLICABLE CODES AND
ORDINANCES.

Thomas Buckley
CERT. NO. 001.008721
EXP. 11-30-20 DATE 10/02/2020

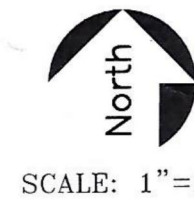
SHEET TITLE
COVER SHEET

SHEET NUMBER

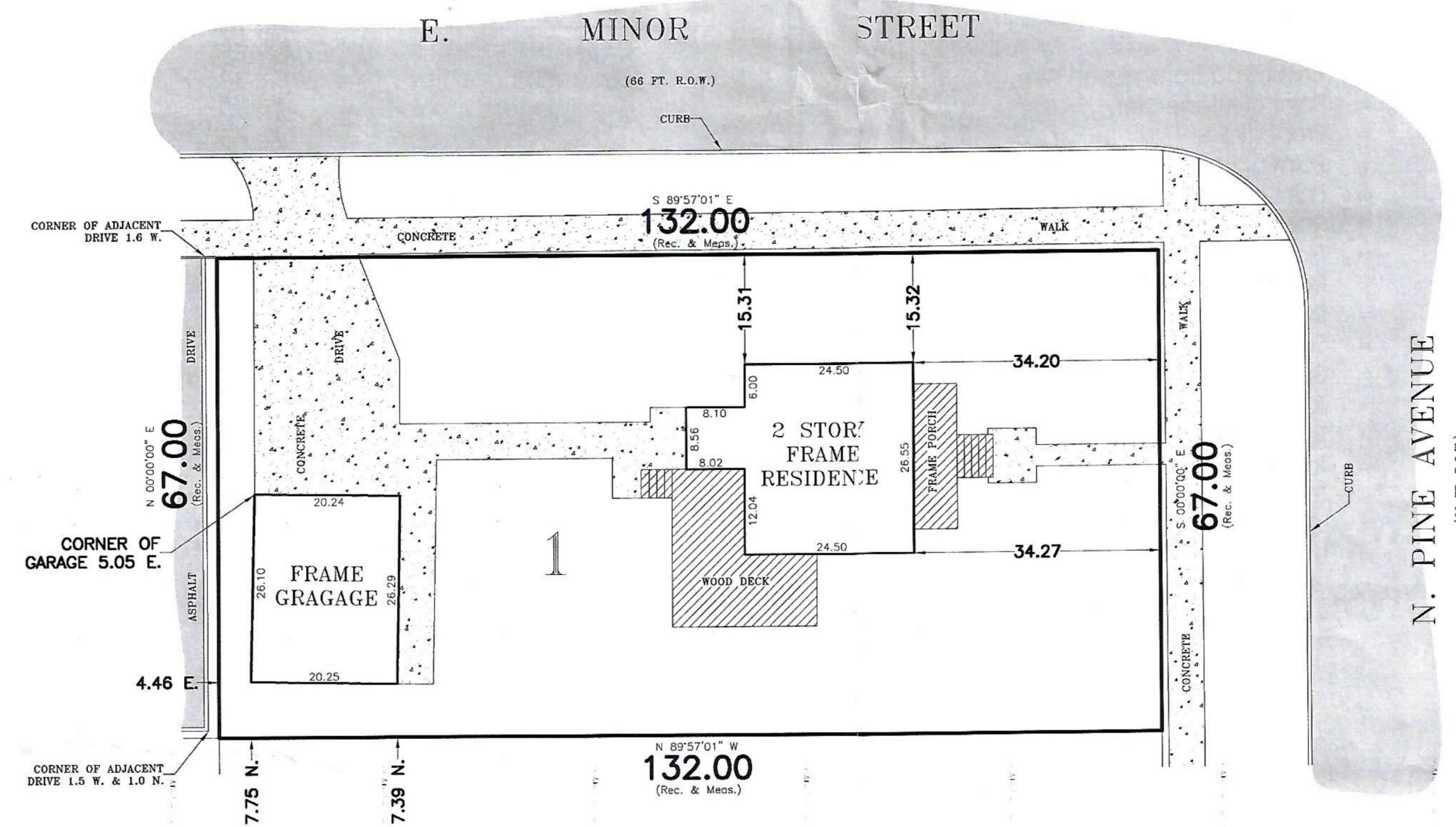
A0.0

of

ADDRESS: 116 N. PINE AVENUE, ARLINGTON HEIGHTS, ILLINOIS
P.I.N. 03-29-336-004



SCALE: 1"=20'



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- 2) THIS SURVEY SHOWS THE BUILDING LINES AND EASEMENTS AS INDICATED BY THE RECORDS PLAT. THIS SURVEY DOES NOT SHOW ANY RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES UNLESS SUPPLIED BY THE CLIENT.
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STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

SURVEY ORDERED BY: THOMAS J. AHERN

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GIVEN UNDER MY HAND AND SEAL THIS
9TH DAY OF DECEMBER A.D. 2016

MY LICENSE EXPIRES ON 11/

P.S.I. NO. 1611465.

Professional Design Registration #184-002795

PREFERRED SURVEY, INC.

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Phone 708-458-7845 / Fax 708-458-7855
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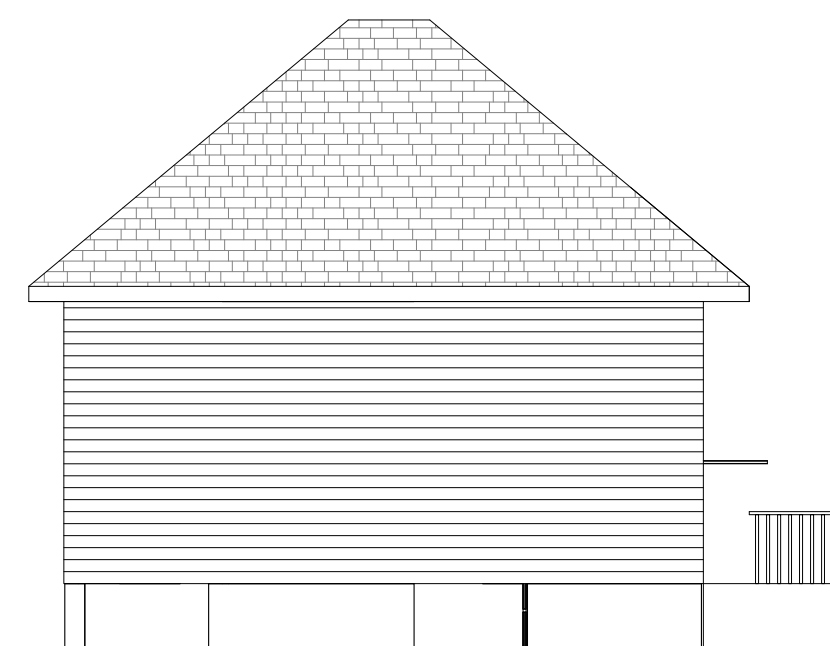
Completed	11/30/16	FLD CREW:	CD/TT
Surveyed	8,844.0 Sq. Ft.	CAD:	EH
vised			



1 EAST ELEVATION - FRONT EXISTING
A0.00 1/8" = 1'-0"



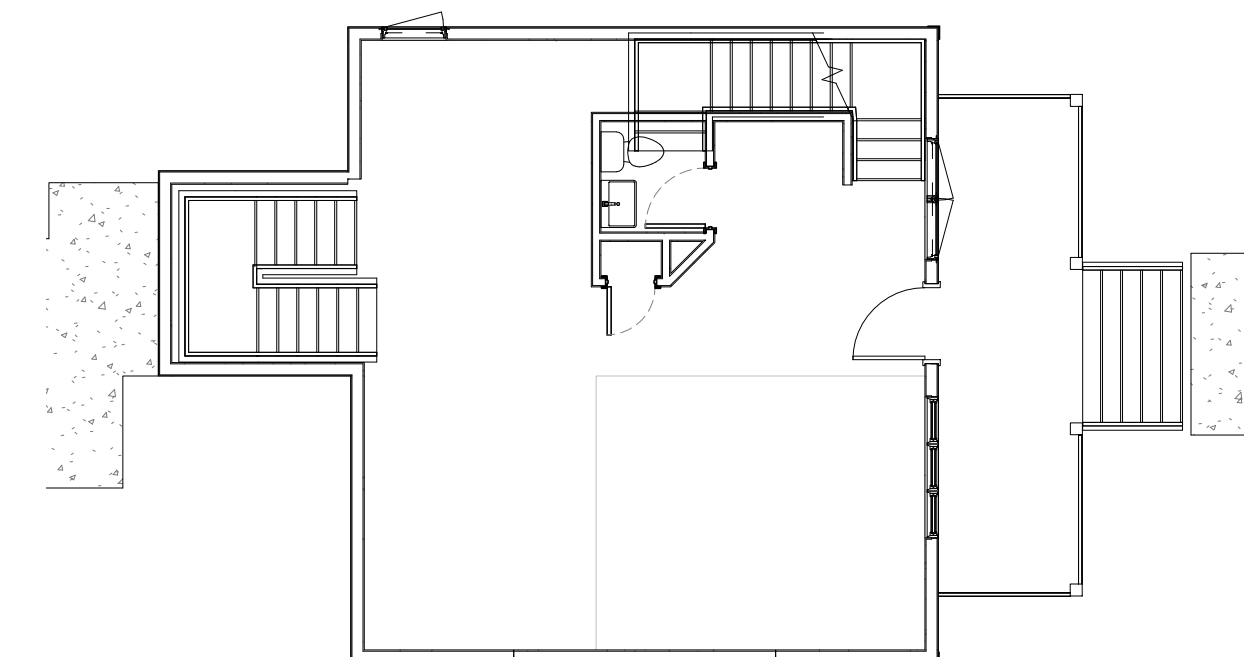
2 NORTH ELEVATION - SIDE EXISTING
A0.00 1/8" = 1'-0"



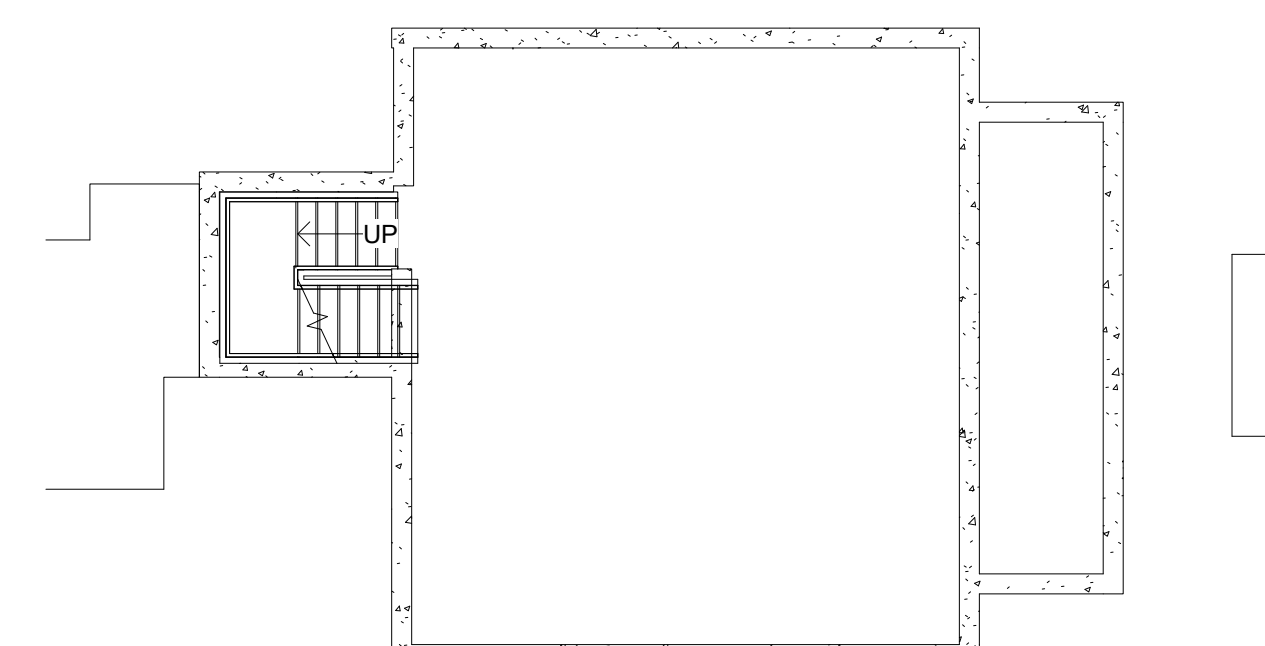
3 WEST ELEVATION - REAR EXISTING
A0.00 1/8" = 1'-0"



4 SOUTH ELEVATION - SIDE EXISTING
A0.00 1/8" = 1'-0"



6 FIRST FLOOR PLAN - EXISTING
A0.00 1/8" = 1'-0"



7 FOUNDATION PLAN - EXISTING
A0.00 1/8" = 1'-0"



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**ADDITION & KITCHEN
REMODEL
MILFORD RESIDENCE
116 N PINE DR
ARLINGTON HEIGHTS, IL**

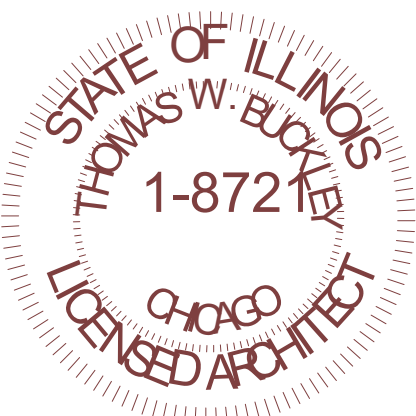
DATE _____

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09/29/2020 1 - DESIGN REVIEW

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Thomas Buckley

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SHEET TITLE
EXISTING DRAWINGS

SHEET NUMBER

A0.00

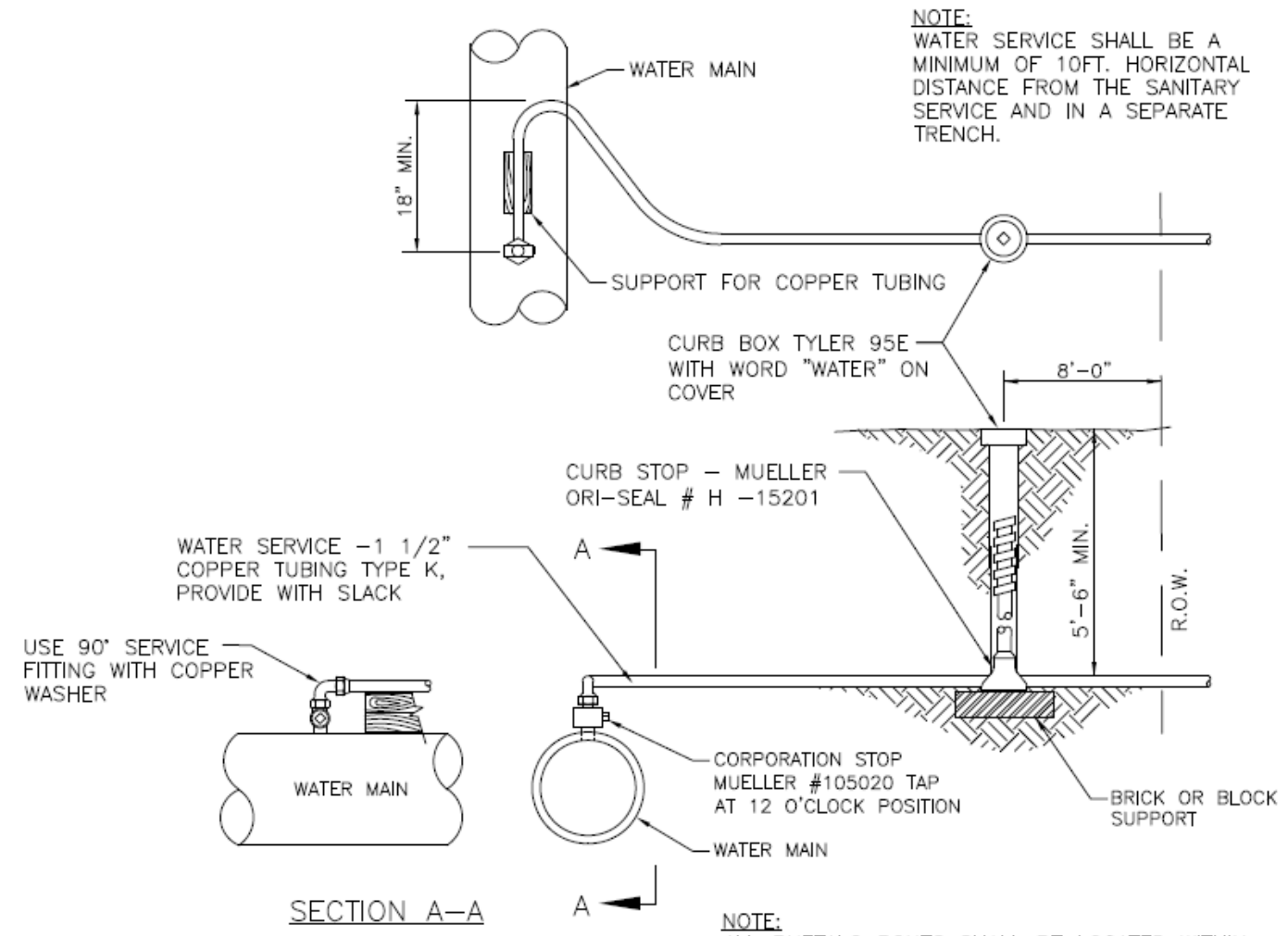
SITE SETBACKS (R-6)

	REQUIRED	PROPOSED
FRONTYARD	25'-0"	28'-1"
EXTERIOR SIDEYARD	10'-0"	15'-0"
INTERIOR SIDEYARD 10% LOT WIDTH	6'-8"	25'-5"
REARYARD	30'-0"	50'-3"
HEIGHT - MEAN	MAX 50'-0"	26'-6"

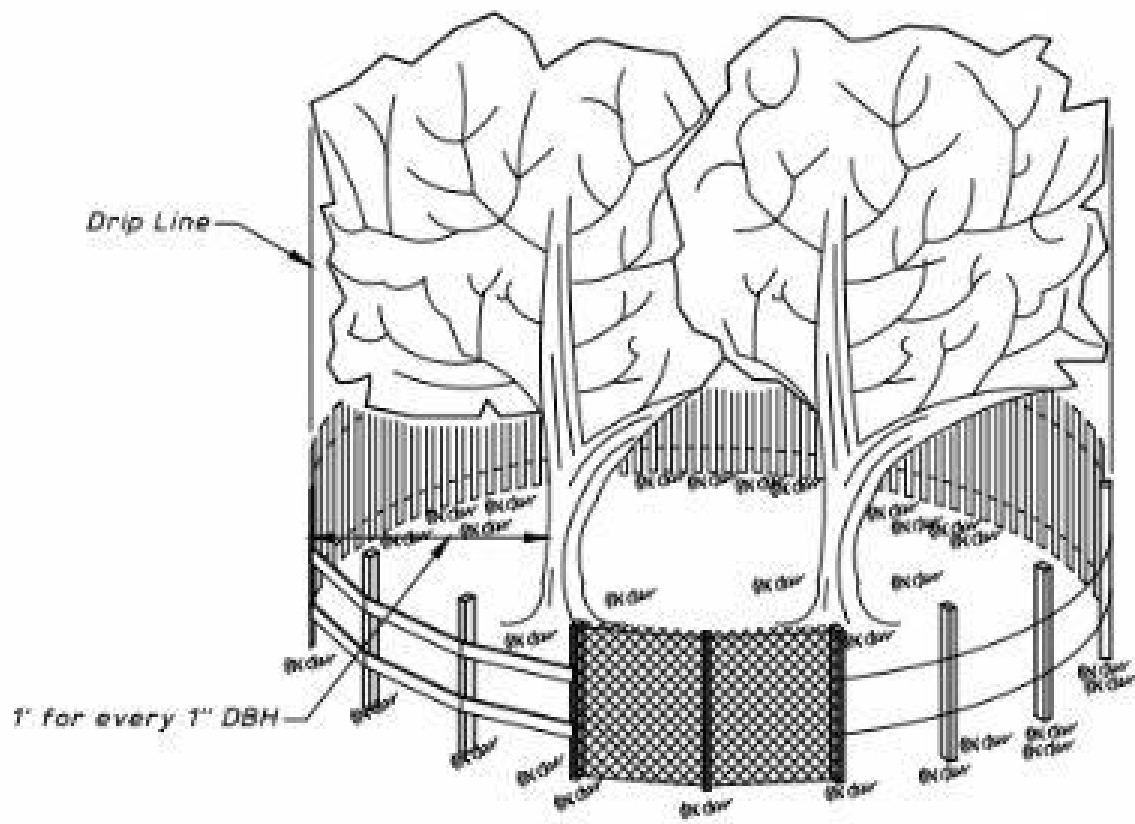
SITE PLAN LEGEND & NOTES

- INFORMATION ON THIS DRAWING IS ACCUMULATED FROM EXISTING DOCUMENTATION AND MUST BE CONFIRMED BY THE CONTRACTOR AND COORDINATED WITH THE ARCHITECT PRIOR TO CONSTRUCTION. ARCHITECTURAL SITE PLAN IN FOR SCHEMATIC PURPOSES ONLY. SEE SITE ENGINEERING PLAN AND LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- VERIFY LOCATIONS OF ALL UTILITIES AND OTHER BUILDING SERVICES PRIOR TO EXCAVATION.
- PROVIDE REQUIRED WORK TO ACCOMMODATE EXISTING UTILITIES OTHER BUILDING SERVICES.
- PROTECT EXISTING LANDSCAPING DURING CONSTRUCTION, TO GREATEST EXTENT POSSIBLE.
- PROVIDE TEMPORARY CONSTRUCTION/SECURITY FENCING AROUND ALL OPEN EXCAVATIONS; HEIGHT AS REQ'D BY LOCAL CODES.
- VERIFY LOCATIONS OF ALL MATERIAL STOCKPILES AND DUMPSTERS WITH OWNER.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCIES IN FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.
- PLEASE NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- STATE LAW: BEFORE DIGGING, CALL JULIE (811 OR 1-800-892-0123) FOR LOCATION OF PUBLIC AND PRIVATE UTILITIES AT WORK SITE. 48 HOUR NOTICE IS REQUIRED.
- THE HOUSE SHALL PASS A BLOWER DOOR TEST AND A COPY OF THE RESULTS SHALL BE PROVIDED TO THE BUILDING DEPARTMENT PRIOR TO SCHEDULING THE FINAL INSPECTIONS.
- CONSTRUCTION DEBRIS AND REFUSE CONTAINMENT SHALL BE REQUIRED FOR ALL JOB SITES. CONTAINMENT SHALL OCCUR ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT & SHALL BE WITHIN A DUMPSTER, STRUCTURE, OR CONTAINER THAT CAN BE COVERED TO PREVENT WINDBLOWN DEBRIS. ALL SUCH DUMPSTERS, STRUCTURES, OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.
- ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH NEW SOD ON 6" OF TOPSOIL. ALL SOD SHALL BE WATERED AS REQ'D TO SUSTAIN GROWTH.
- ALL PARKWAY TREES SHALL HAVE A SNOW FENCE THAT EXTENDS TO THE DRIP LINE. NO TRAFFIC SHALL GO OVER THE ROOT SYSTEM.
- SURFACE DRAINAGE TO BE DIVERTED FROM STRUCTURE SO AS NOT TO CREATE A HAZARD ON THIS OR ADJACENT PROPERTY. GRADE FROM FOUNDATION TO DROP A MINIMUM OF 6" IN 10'-0". PROVIDE SWALES OR DRAINS TO ENSURE DRAINAGE FROM STRUCTURE AND ADJACENT PROPERTY.
- TOILET FACILITIES SHALL BE PROVIDED AT ALL JOB SITES PER ILLINOIS PLUMBING CODE. THIS WILL BE A CONDITION OF THE PERMIT.
- PROVIDE AND MAINTAIN A 5'-0" HIGH FENCE ALONG THE FULL LENGTH OF INTERIOR SIDE YARDS UNTIL EXTERIOR CONSTRUCTION IS COMPLETE.
- PROVIDE AND MAINTAIN A 5'-0" HIGH CONSTRUCTION FENCE DURING NON-WORKING HOURS THAT WILL ENCLOSE ALL OPEN EXCAVATIONS UNTIL FOUNDATION IS BACK-FILLED & FIRST FLOOR DECK IS COMPLETED.
- ERECT PROTECTIVE SNOWFENCE PRIOR TO ANY CONSTRUCTION ACTIVITY. DO NOT STORE ANY EQUIPMENT OR MATERIALS WITHIN THE PROTECTION AREA. REMOVE THE PROTECTIVE SNOW FENCE ONLY AFTER CONSTRUCTION IS COMPLETE.
- ALL TREES ARE TO BE PROTECTED DURING CONSTRUCTION WITH FENCING FOR EVERY 1" OF TREE DIAMETER. MAINTAIN 1'-0" DISTANCE AWAY FOR FENCING.

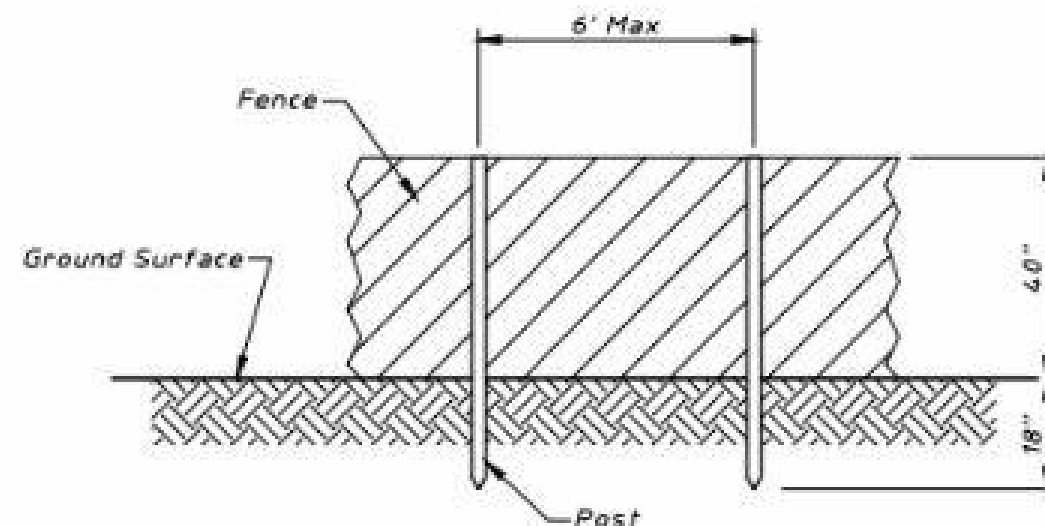
- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- E — ELECTRIC
- G — GAS
- (— (— STORM SEWER
- < — < — SANITARY SEWER
- W — WATER



TYPICAL 1 1/2" DOMESTIC WATER SERVICE



SIDE VIEW



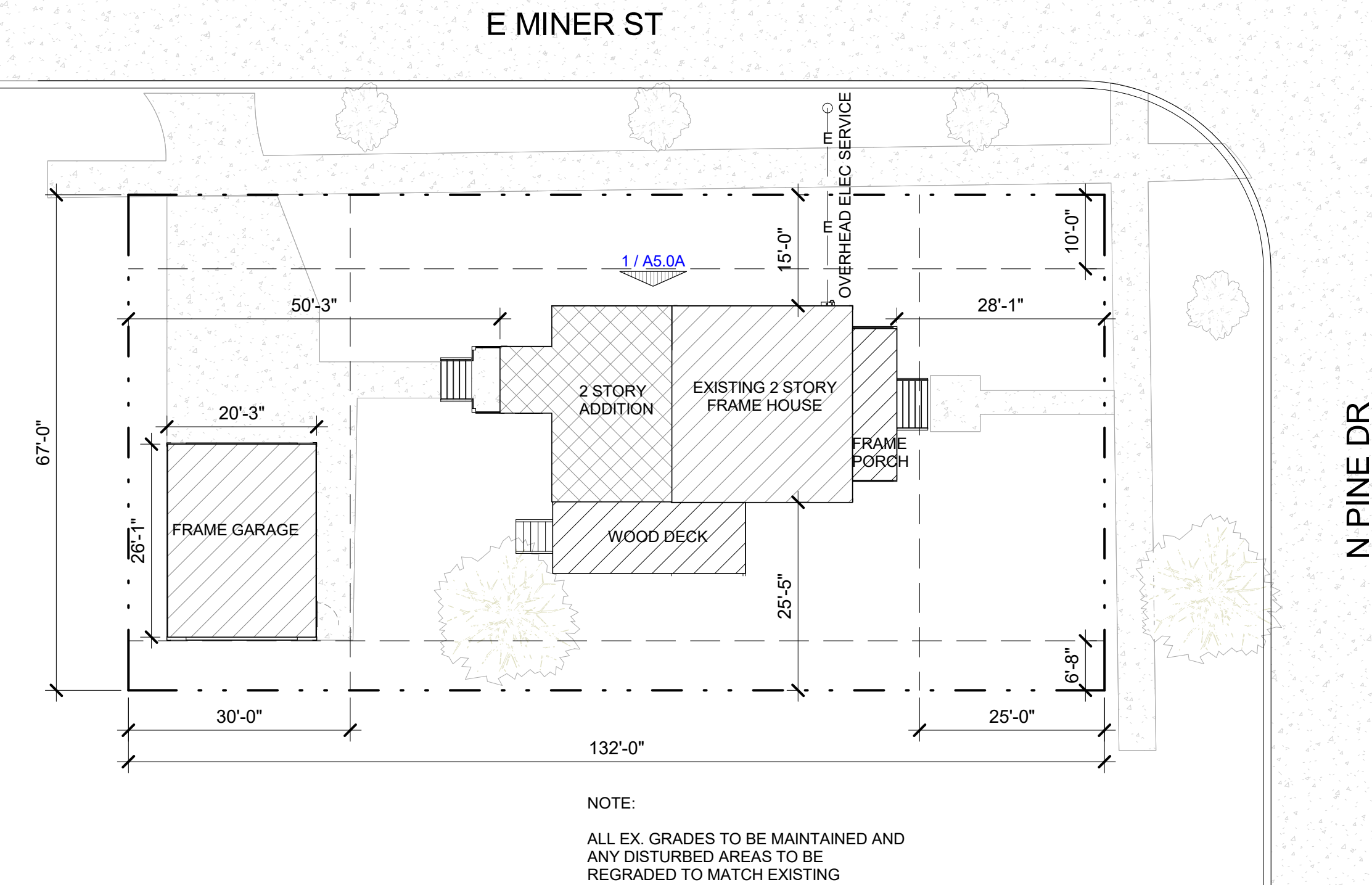
POST AND FENCE DETAIL

NOTES:

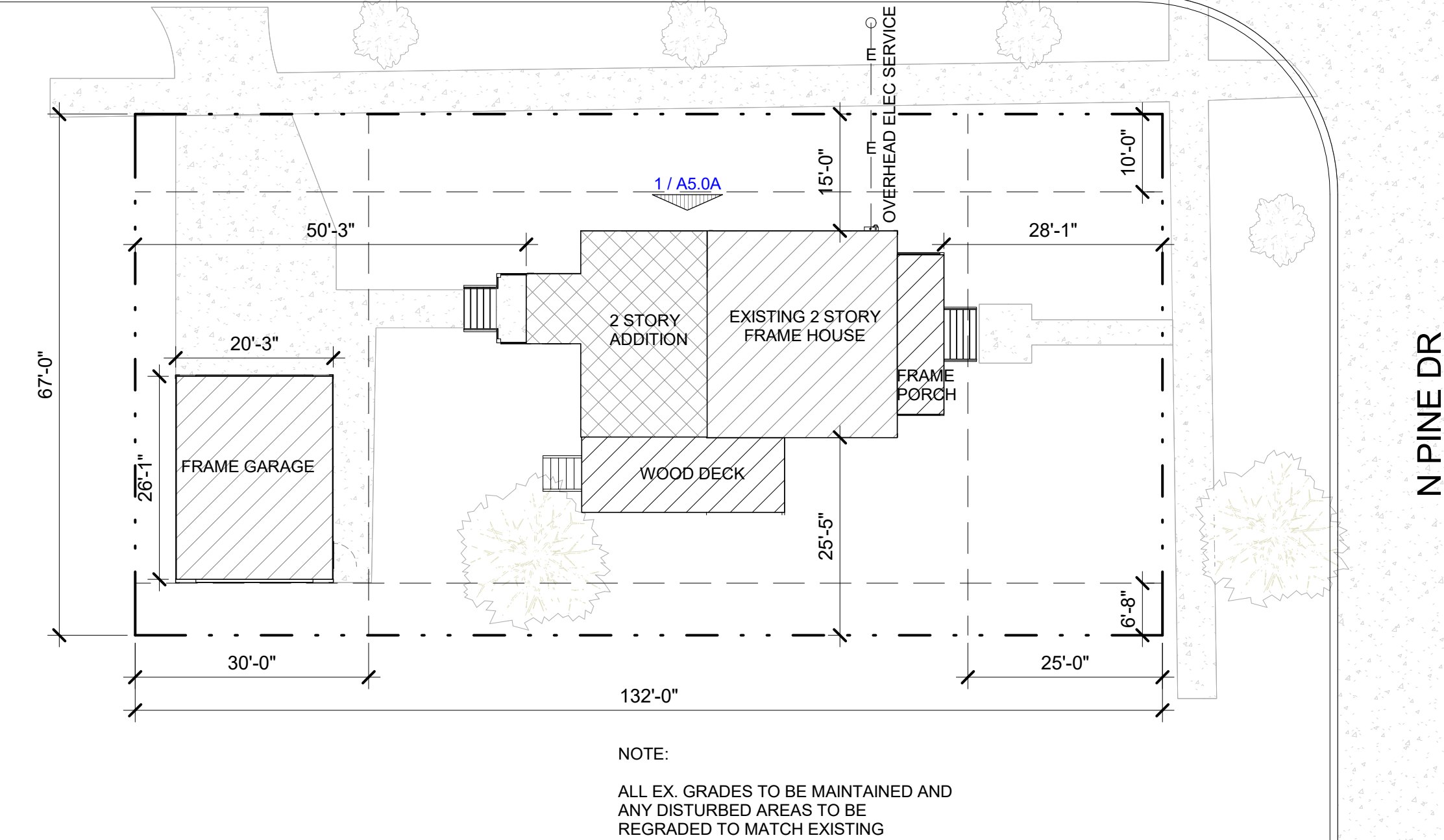
- The fence shall be located outside the drip line of the tree to be saved and in no case closer than 1 foot for every 1" DBH to the trunk of any tree.
- Fence posts shall be either standard steel posts or wood posts with a minimum cross sectional area of 3.0 sq. in.
- The fence may be either 40" high snow fence, 40" plastic web fencing or any other material as approved by the engineer.

TREE PROTECTION - FENCING

1 SITE PLAN - EXISTING
A1.0 1/16" = 1'-0"



2 SITE PLAN - PROPOSED
A1.0 1/16" = 1'-0"



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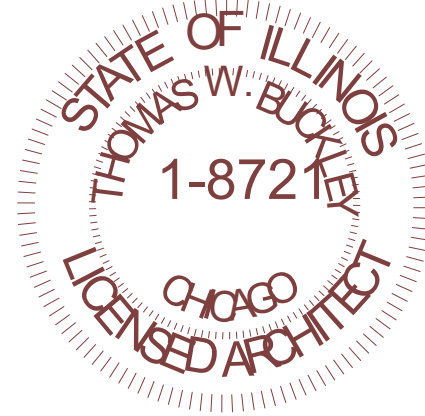
ADDITION & KITCHEN REMODEL
MILFORD RESIDENCE
116 N PINE DR
ARLINGTON HEIGHTS, IL

DATE

10/02/2020

ISSUE DATE

09/29/2020 1 - DESIGN REVIEW
10/02/2020 2 - ISSUE FOR PERMIT



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ARCHITECT'S CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECTION AND THAT TO THE BEST OF MY KNOWLEDGE, THEY COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.

Thomas Buckley

CERT. NO. 001.008721

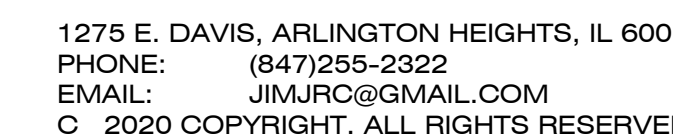
EXP. 11-30-20

DATE 10/02/2020

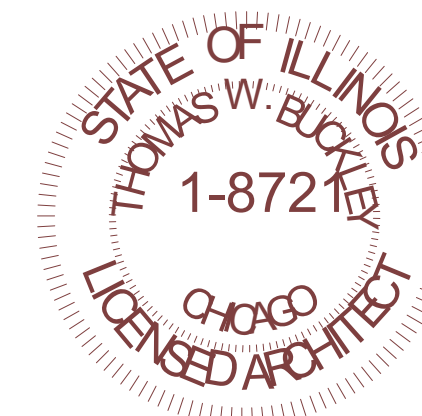
SHEET TITLE
SITE PLAN

SHEET NUMBER

A1.0



DATE	
10/02/2020	
ISSUE DATE	
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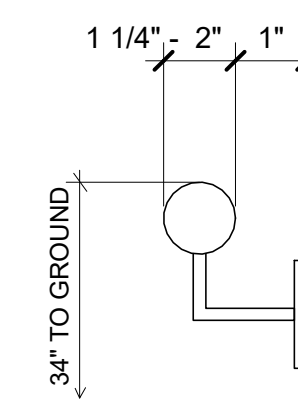
EXP. 11-30-20

DATE 10/02/2020

SHEET NUMBER

A3.0

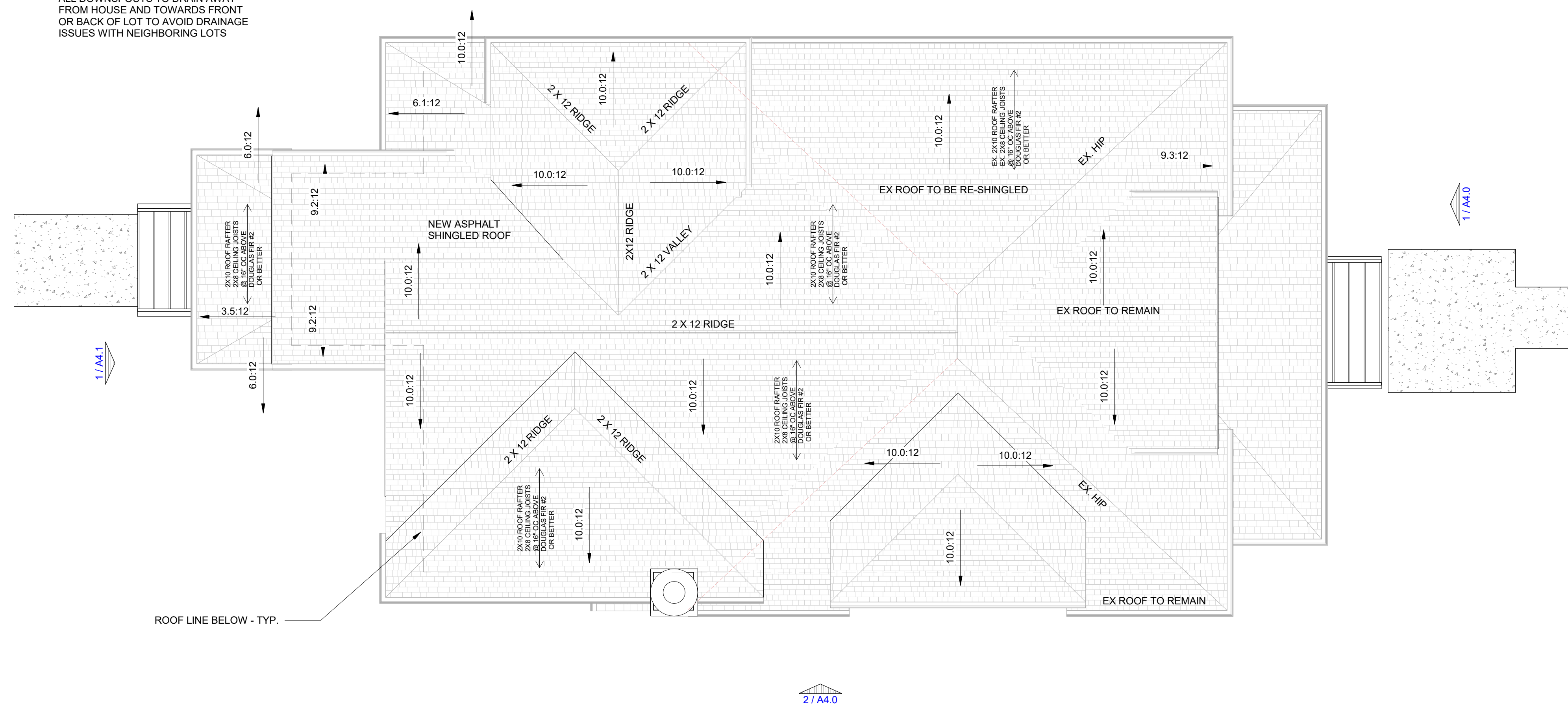
IN AREAS WHERE THERE HAS BEEN A HISTORY OF ICE FORMING ALONG THE EAVES CAUSING S BACKUP OF WATER AS DESIGNATED IN TABLE R301.2(1), AN ICE BARRIER SHALL BE INSTALLED FOR ASPHALT SHINGLES, METAL ROOF SHINGLES, MINERAL-SURFACED ROLL ROOFING, SLATE AND SLATE-TYPE SHINGLE, WOOD SHINGLES AND WOOD SHAKES. THE ICE BARRIER SHALL CONSIST OF NOT FEWER THAN TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER, OR A SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT NOT LESS THAN 24 INCHES (610 MM) FROM THE EXTERIOR WALL DOWNLONG ON ROOF SURFACES WITH A SLOPE EQUAL TO OR GREATER THAN 8 UNITS VERTICAL IN 12 UNITS HORIZONTAL. THE ICE BARRIER SHALL ALSO BE APPLIED NOT LESS THAN 36 INCHES MEASURED ALONG THE ROOF SLOPE FROM THE EAVE EDGE OF THE BUILDING.



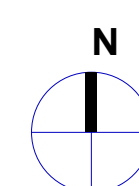
2 **HANDRAIL DETAIL**
A3.0 3" = 1'-0"

ATTIC VENTILATION CALCULATIONS		
	REQUIRED	ACTUAL
1/300 OF CEILING AREA.		
50% - 60% SOFFIT		
40% - 50% RIDGE/ UPPER		
SOFFIT		
DRILLED VENTS IN EAVE BLOCKING		
RIDGE/ UPPER		
1" SLOT OPENING FOR RIDGE VENT		
TOTAL VENTING PROVIDED		
TOTAL SOFFIT VENTING PROVIDED		
TOTAL RIDGE/UPPER PROVIDED		
SOFFIT		
RIDGE VENT TO BE COVERED WITH CORROSION-RESISTANT MESH OR OTHER APPROVED MATERIAL WITH OPENING NOT MORE THAN 1"		

1 / A5.0A 2 / A4.1



3 ROOF PLAN
A3.0 1/4" = 1'-0"



ADDITION & KITCHEN
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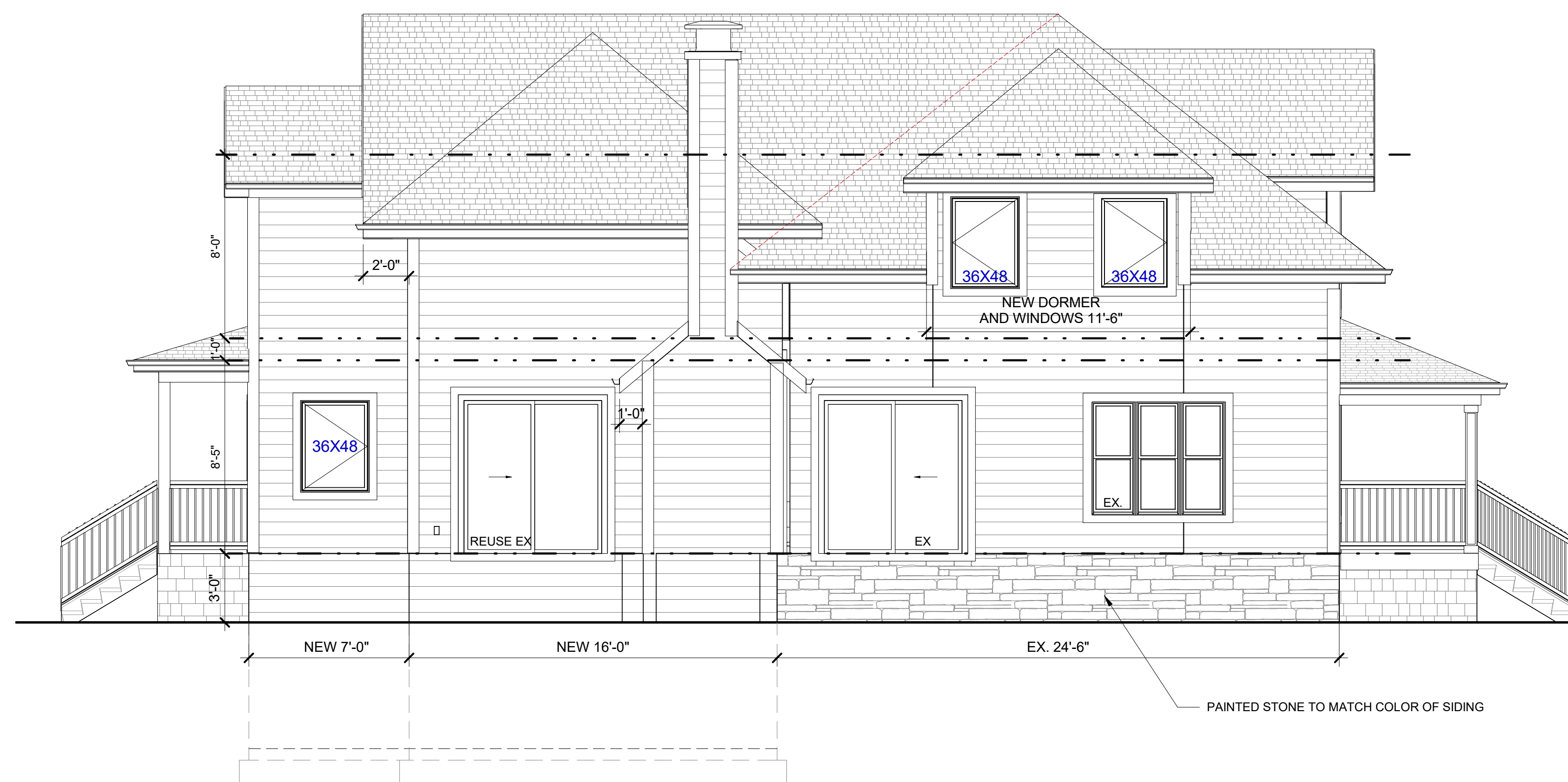
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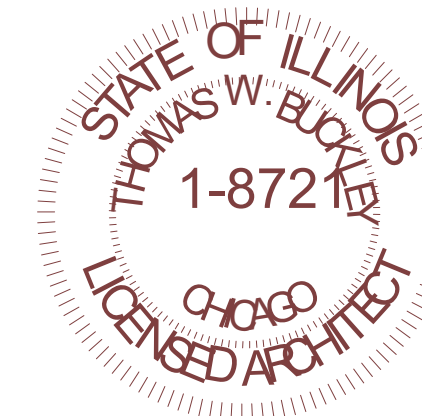
1 EAST ELEVATION - FRONT
A4.0 1/4" = 1'-0"

2 SOUTH ELEVATION - SIDE
A4.0 1/4" = 1'-0"

ELEVATION MATERIALS							
LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.		HATCH PATTERN	DESCRIPTION	MANUF.
SIDING (1)		HORIZ HARDPLANK LAP SIDING [BOOTHBAY BLUE FINISH]	JAMES HARDIE BOARD	TRIM AND FASCIA		TRIM [WHITE]	
SIDING (2)		WHITE SHAKE SIDING		GUTTERS, DOWNSPOUTS		ALUMINUM [WHITE]	
ROOFING (1)		ASPHALT SHINGLES [CHARCOAL FINISH]	GAF	SOFFIT AND FASCIA		ALUMINUM - VENTED [WHITE]	
WINDOWS		VINYL [WHITE TO MATCH EX.]		COLUMNS		WHITE	
DOORS		[WOOD AND WHITE, SEE ELEVATIONS]					

NOTES

1. WINDOW SIZES : ROUGH OPENING TO BE VERIFIED IN FIELD W/ CHOSEN WINDOW MANUF. & CONTRACTOR PRIOR TO CONSTRUCTION
2. GLASS SIZES TO BE FOLLOWED AS CLOSE AS POSSIBLE PER DIFFERENT MANUF.
3. BEDROOM WINDOWS TO HAVE EGRESS HARDWARE & FOLLOW EGRESS REQUIREMENTS AS LABELED ON ELEVATIONS.
4. WINDOWS IN WHICH THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" ABOVE THE TOP OF THE FLOOR ARE REQUIRED TO BE TEMPERED.
5. FIELD VERIFY EMERGENCY ESCAPE & RESCUE OPENINGS IN SLEEPING ROOMS EGRESS WINDOW REQUIREMENTS PROVIDE A NET CLEAR OPENING OF 5.7 SF OR GREATER, ACHIEVED BY SIMPLY OPENING THE WINDOW PROVIDE A NET CLEAR OPENING OF 5.0 SF OR GREATER FOR GRADE LEVEL WINDOWS. A MINIMUM CLEAR WIDTH OF 20" A MINIMUM CLEAR HEIGHT OF 24" A SILL HEIGHT OF LESS THAN 44" AFF
6. ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.32



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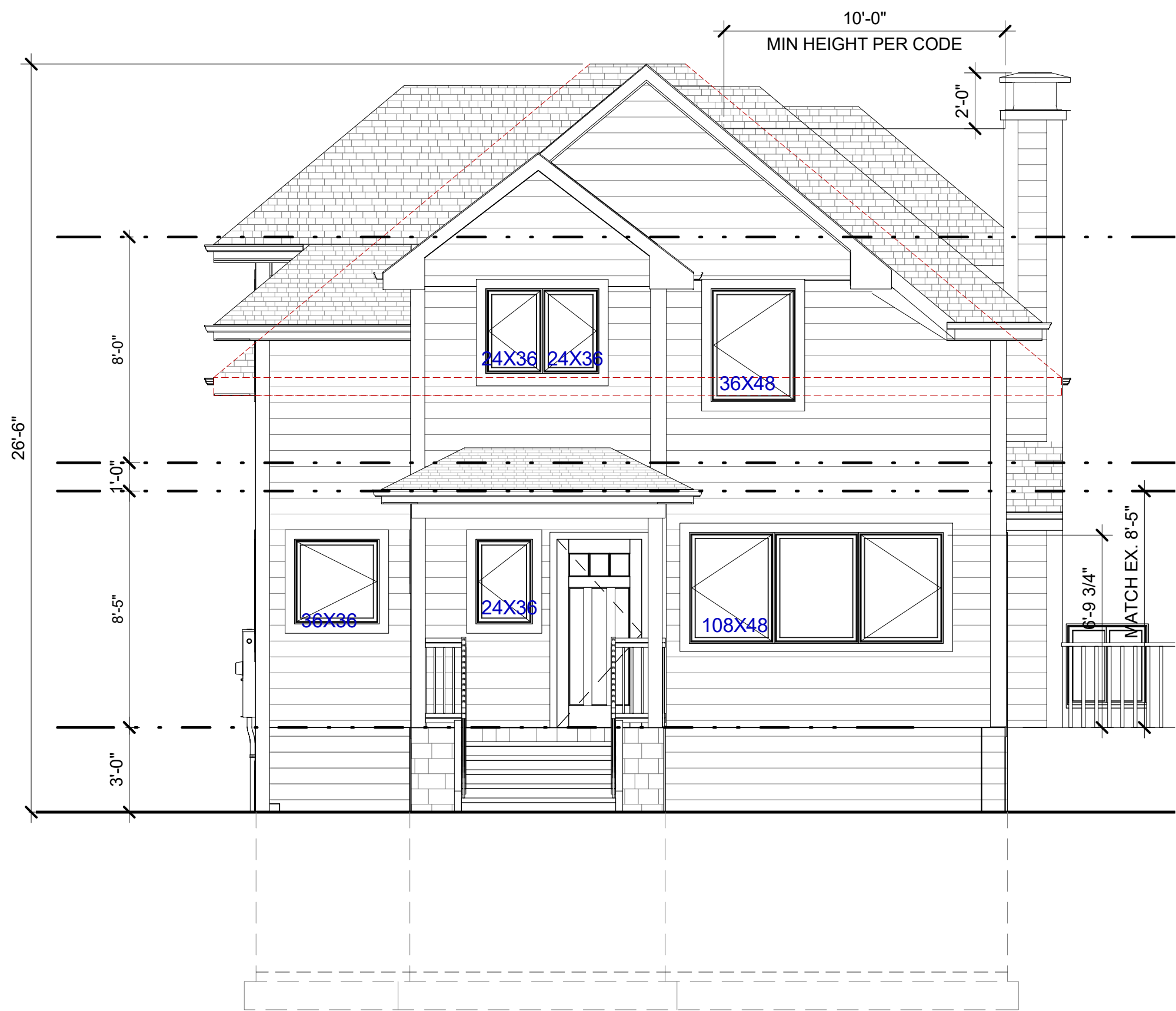
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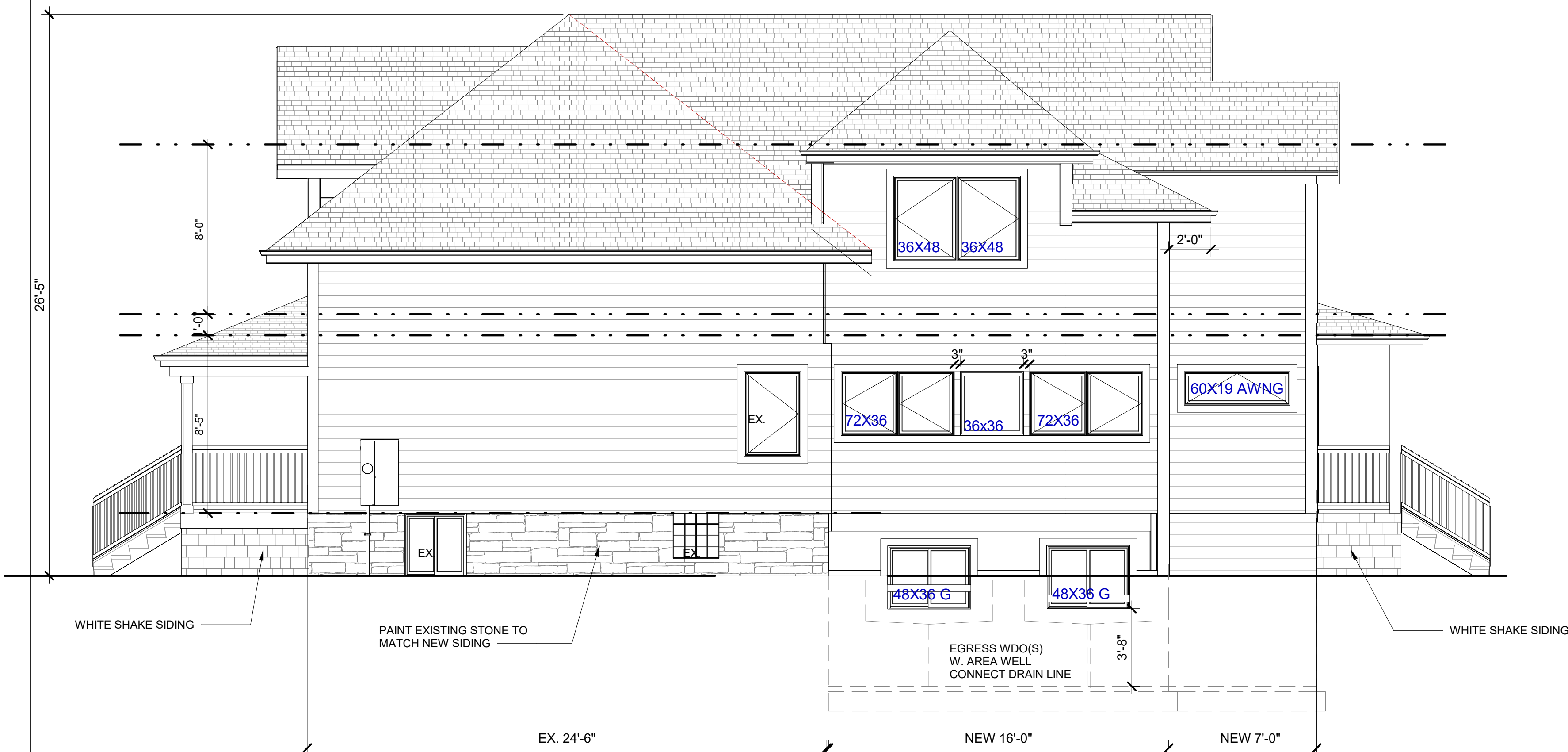
SHEET TITLE
SOUTH AND EAST ELEVATIONS

SHEET NUMBER

A4.0



1 WEST ELEVATION - REAR
A4.1 1/4" = 1'-0"



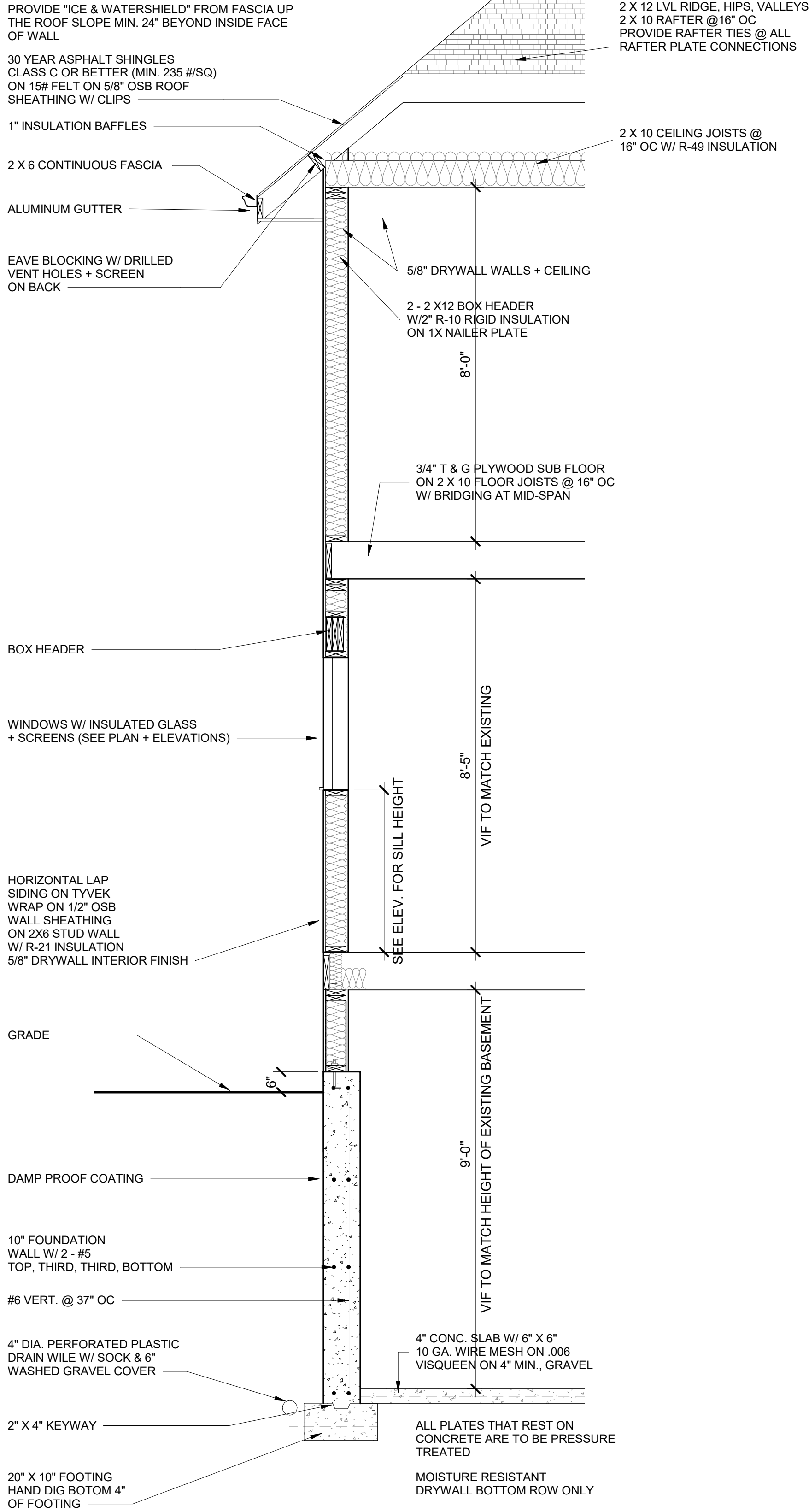
2 NORTH ELEVATION - SIDE
A4.1 1/4" = 1'-0"

ELEVATION MATERIALS

LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.		HATCH PATTERN	DESCRIPTION	MANUF.
SIDING (1)		HORIZ HARDPLANK LAP SIDING [BOOTHBAY BLUE FINISH]	JAMES HARDIE BOARD	TRIM AND FASCIA		TRIM [WHITE]	
SIDING (2)		WHITE SHAKE SIDING		GUTTERS, DOWNSPOUTS		ALUMINUM [WHITE]	
ROOFING (1)		ASPHALT SHINGLES [CHARCOAL FINISH]	GAF	SOFFIT AND FASCIA		ALUMINUM - VENTED [WHITE]	
WINDOWS		VINYL [WHITE TO MATCH EX]		COLUMNS		WHITE	
DOORS		[WOOD AND WHITE, SEE ELEVATIONS]					

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5. FIELD VERIFY EMERGENCY ESCAPE & RESCUE OPENINGS IN SLEEPING ROOMS
6. EGRESS WINDOW REQUIREMENTS
7. PROVIDE A NET CLEAR OPENING OF 5.7 SF OR GREATER, ACHIEVED BY SIMPLY OPENING THE WINDOW
8. PROVIDE A NET CLEAR OPENING OF 5.0 SF OR GREATER FOR GRADE LEVEL WINDOWS.
9. A MINIMUM CLEAR WIDTH OF 20"
10. A MINIMUM CLEAR HEIGHT OF 24"
11. A SILL HEIGHT OF LESS THAN 44" AFF
12. ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.32



3 WALL SECTION - TYP.
A4.1 1/2" = 1'-0"



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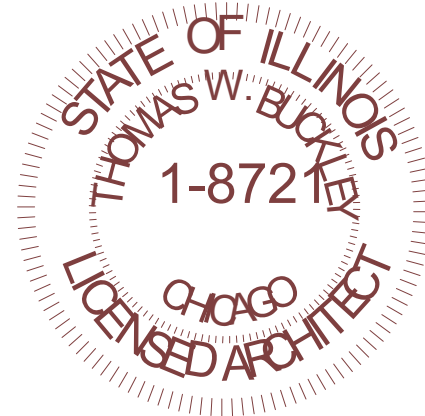
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SHEET TITLE
NORTH AND WEST ELEVATIONS

SHEET NUMBER

A4.1

ADDITION & KITCHEN
REMODEL
MILFORD RESIDENCE
116 N PINE DR
ARLINGTON HEIGHTS, IL

DATE

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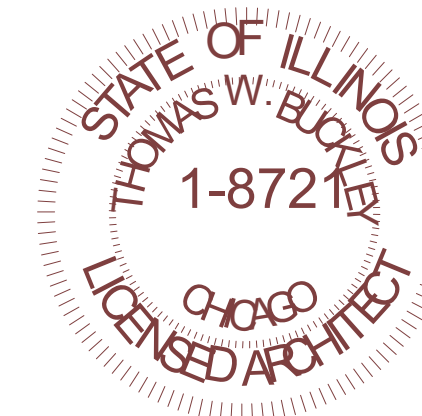
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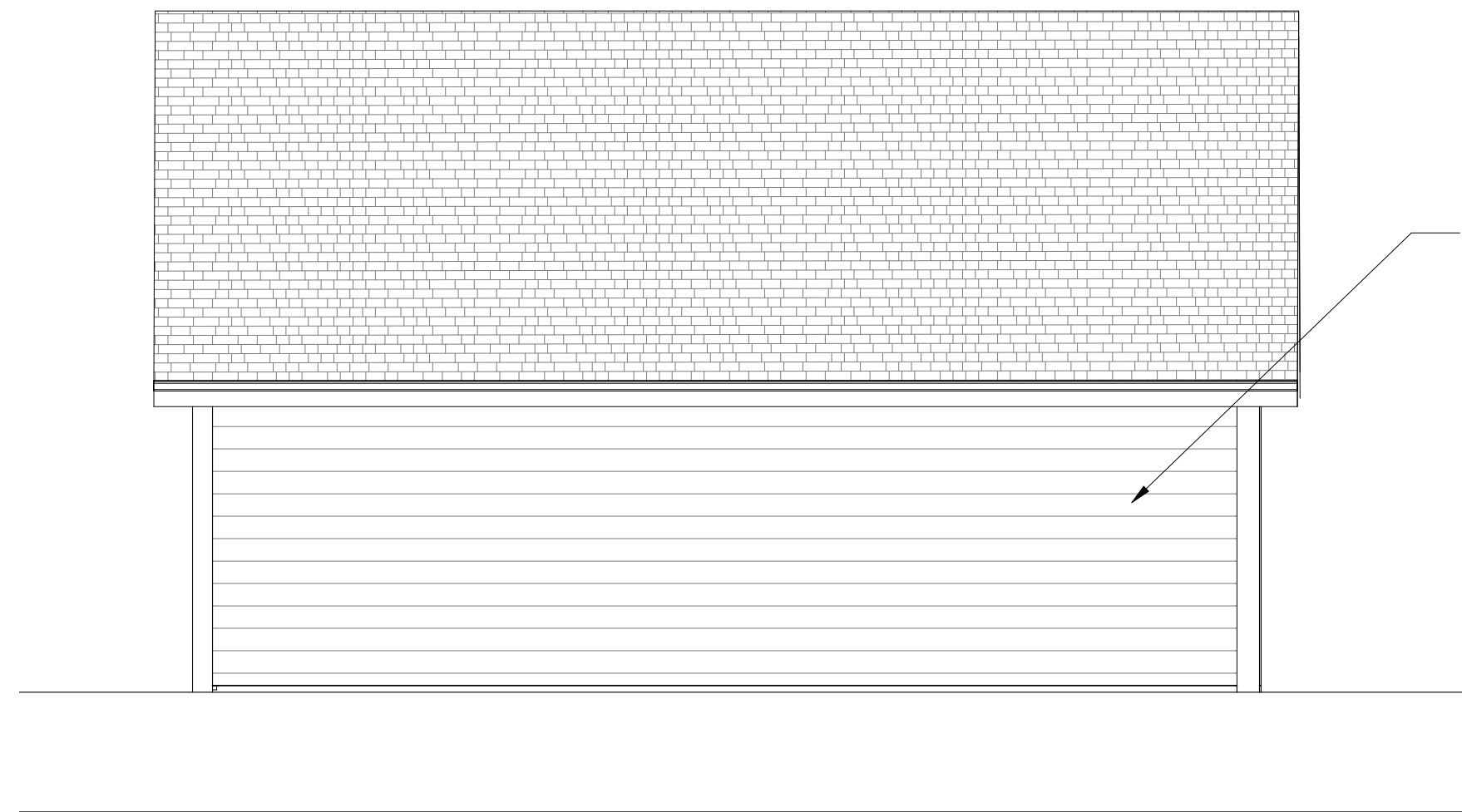
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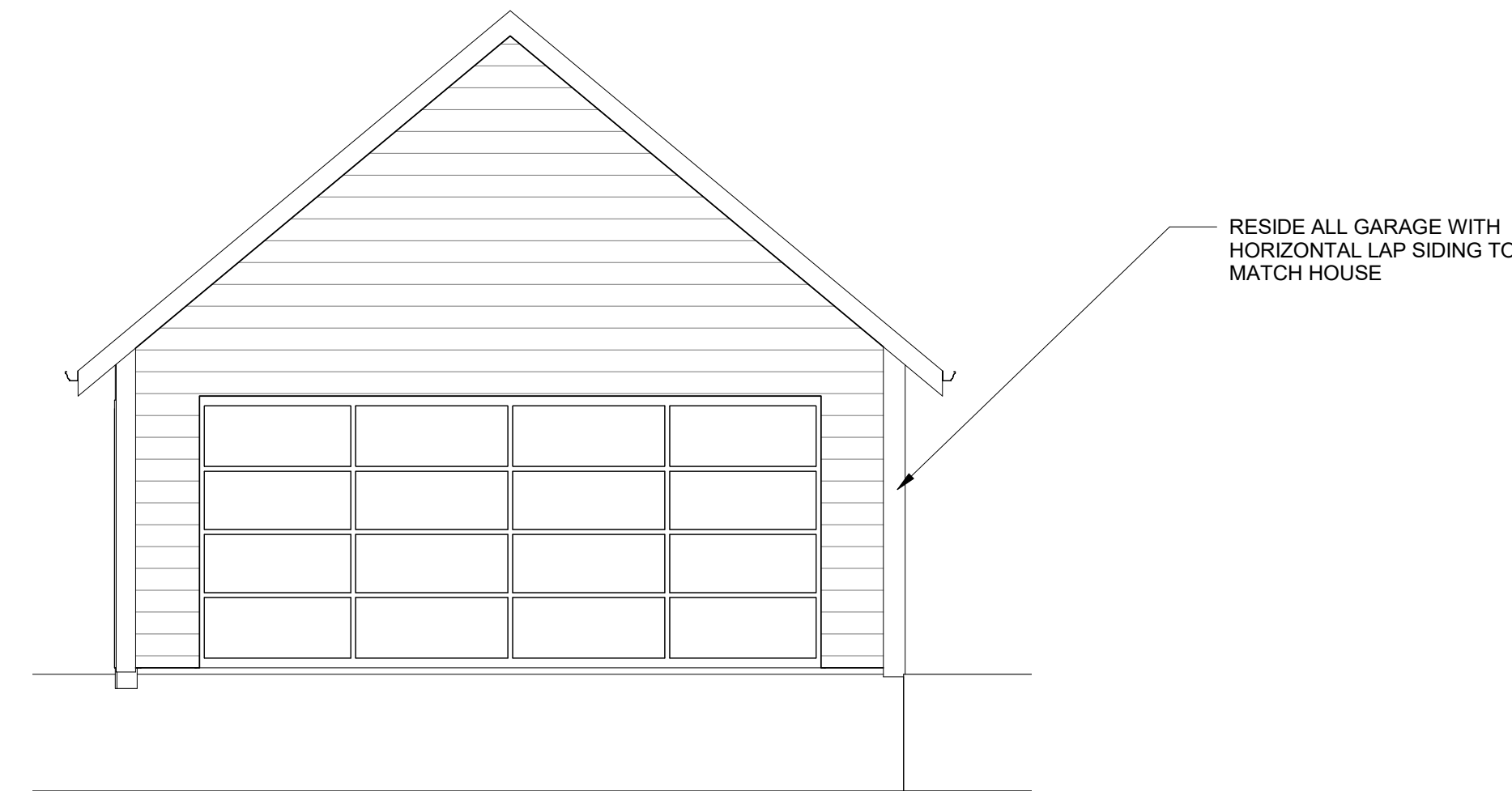
SHEET TITLE
GARAGE ELEVATIONS

SHEET NUMBER

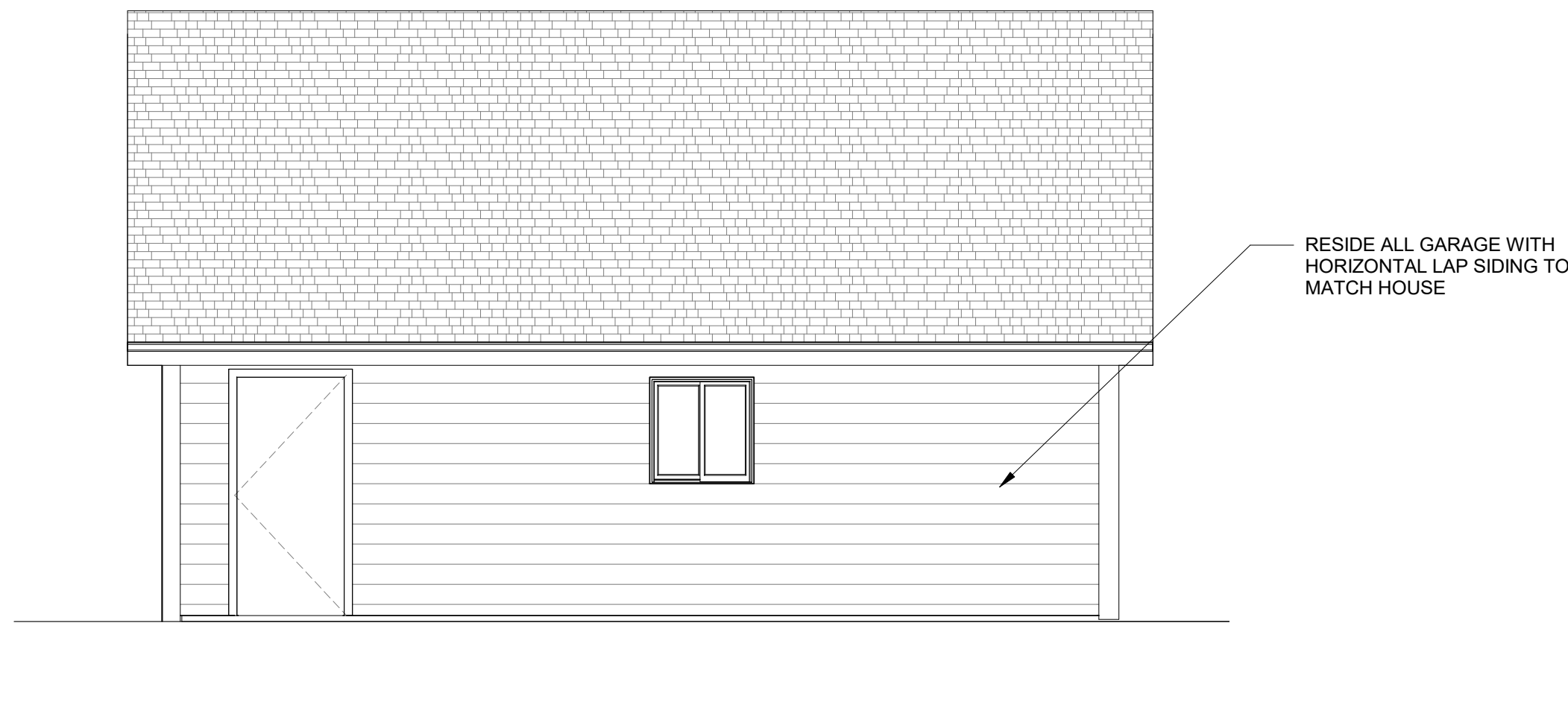
A4.2



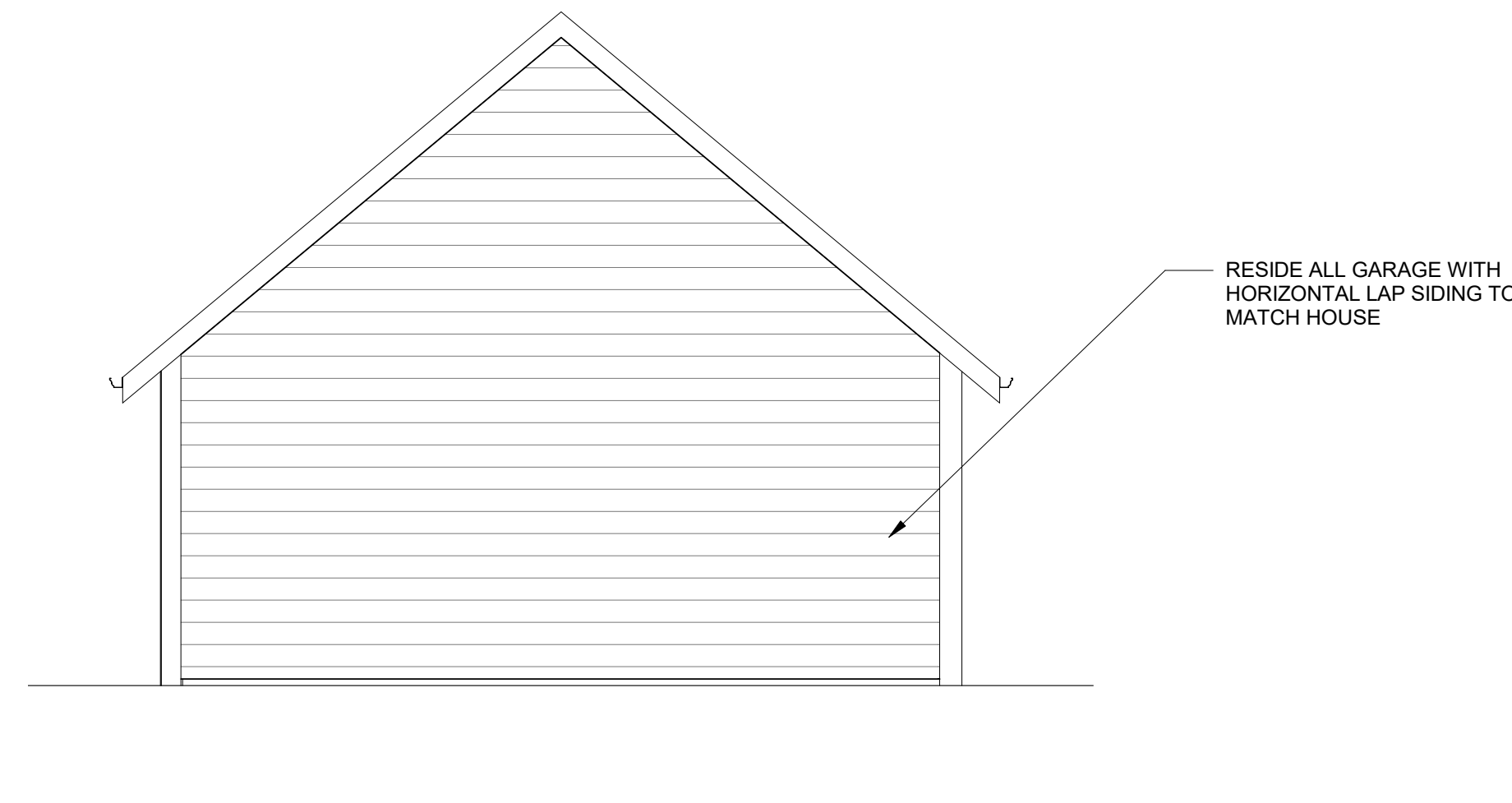
1 GARAGE ELEVATION SIDE
A4.2 1/4" = 1'-0"



2 GARAGE ELEVATION - FRONT
A4.2 1/4" = 1'-0"



3 GARAGE ELEVATION - SIDE
A4.2 1/4" = 1'-0"



4 GARAGE ELEVATION - BACK
A4.2 1/4" = 1'-0"

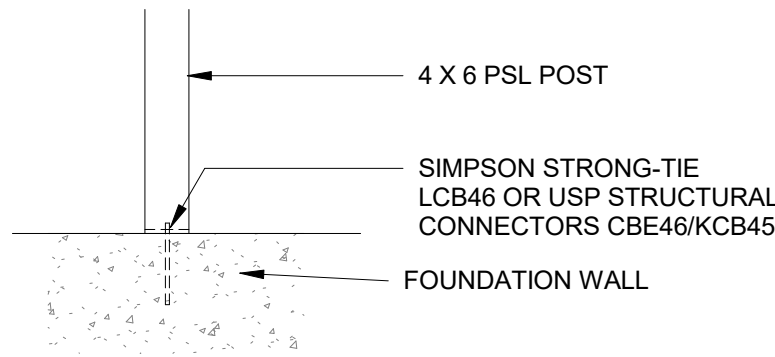
ELEVATION MATERIALS							
LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.		HATCH PATTERN	DESCRIPTION	MANUF.
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WINDOWS		VINYL [WHITE TO MATCH EX.]		COLUMNS		WHITE	
DOORS		[WOOD AND WHITE, SEE ELEVATIONS]					

NOTES

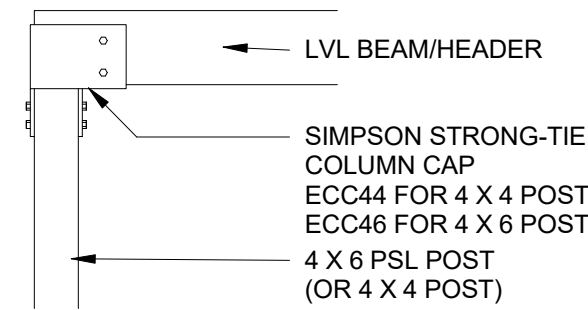
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6. ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.32

STRUCTURAL

- ALL WALLS WILL BE PROVIDED WITH A DOUBLE TOP PLATE LAPPED AT THE CORNERS. CONSTRUCTION LUMBER TO SPF CONSTRUCTION GRADE NO. 2
- Fb = 1000 PSI MODULUS OF ELASTICITY 1,100,000
- LUMBER WITH SPANS GREATER THAN 12' TO BE DOUGLAS FIR CONSTRUCTION GRADE NO. 2
- Fb = 1200 PSI MODULUS OF ELASTICITY 1,100,000
- ALL BEARING PARTITIONS W/ PIPES LARGER THAN 3/4" AND ALL NON-BEARING PARTITIONS W/ PIPES LARGER THAN 1 1/4" SHALL BE INCREASED TO A MIN. 2X6 STUD WALL TO APPROPRIATELY ACCOMMODATE THE MAX. NOTCHING AND BORING RESTRICTIONS.
- ALL INTERIOR WALL FRAMING, UNLESS OTHERWISE NOTED, TO BE 2 X 4 STUDS @ 16" OC W/ 5/8" DRYWALL EACH SIDE
- PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS. OPENINGS IN FLOOR CONSTRUCTION SHALL BE FRAMED WITH DOUBLE HEADER AND TRIMMER JOISTS. PROVIDE JOIST HANGERS AS REQUIRED.
- PROVIDE 2 - 2X12 HEADER WITH 1/2" PLYWOOD AND SINGLE CRIPPLE FOR SPENS UP TO 6'. SEE PLAN FOR SPANS GREATER THAN 6'; PROVIDE DOUBLE CRIPPLE FOR SPANS EXCEEDING 6'.
- EXTERIOR OR LOAD BEARING WALLS WITH STUDS DRILLED WITHIN 5/8" OF THE FACE OF THE STUD SHALL BE REINFORCED WITH A STRUCTURAL STUD SHOE. (SECTION R602.6)
- ROOF, FLOOR, AND WALL FRAMING ARE DESIGNED TO MEET THE FOLLOWING DESIGN LOAD CRITERIA: SEE A0.0 FOR CHART.
- ALL RAFTER TIES SHALL BE PROVIDED IN ACCORDANCE WITH 2009 R802.11.1 RESULTING UPLIFT FORCES FROM THE TIES SHALL BE TRANSMITTED TO THE FOUNDATION.
- RIDGE BOARD SHALL BE AT LEAST ONE- INCH (1") NOMINAL THICKNESS & NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. VALLEY & HIP RAFTERS SHALL NOT BE LESS THAN TWO-INCH(2") NOMINAL THICKNESS & NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTERS.
- HIP RAFTERS TO BE SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PARTITION OR BE DESIGNED TO CARRY & DISTRIBUTE THE SPECIFIC LOAD AT THAT POINT.
- CUT NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR I-JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED. (SECTION R502.8.2)
- EXTERIOR OR LOAD BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHED MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE 16 GAUGE AND 1 1/2" WIDE FASTENED TO EACH PLATE. (SECTION R602.6.1)



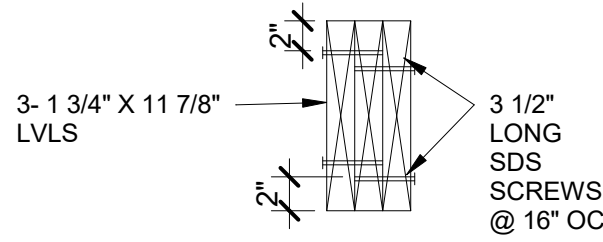
PSL COLUMN BASE DETAIL
(4X4) POST TO USE SIMPSON STRONG-TIE LCB44 OR USP STRUCTURAL CONNECTORS CBE44/KCB44)



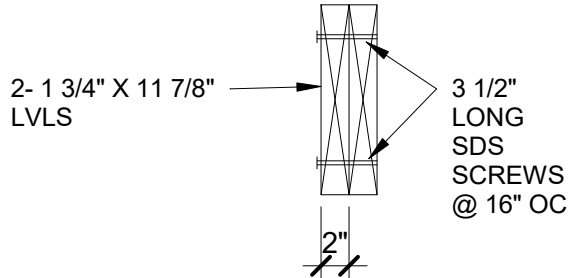
PSL - LVL (END) COLUMN CAP DETAIL

FIRE PROTECTION

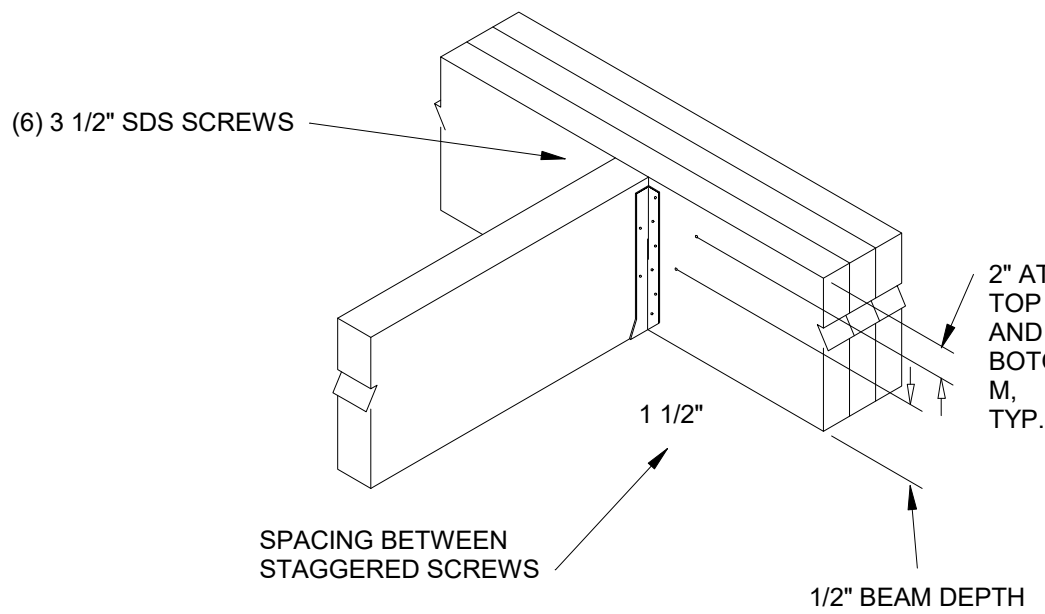
- PROVIDE FIRE-BLOCKING CONFORMING TO IRC R602.8
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOPPING SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 500 SF OR 25 FT IN ANY HORIZONTAL DIRECTION. DRAFT STOPPING SHALL BE DIVIDED IN EQUAL AREAS.
- FIRESTOPPING TO BE INSTALLED AT ALL PLATE PENETRATIONS, SOFFITS, FURRED SPACES CONCEALED SPACES, ETC. AS PER THE BUILDING CODE.
- FIELD VERIFY CODE COMPLIANT FIRESTOPPING IS PROVIDED AT THE FOLLOWING LOCATIONS
 - CONCEALED SPACES OF STUD WALLS & PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING & FLOOR LEVEL & AT 10'-0" INTERVALS BOTH HORIZONTAL AND VERTICAL.
 - ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILING, ETC.
 - CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 - OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT THE CEILING AND FLOOR LEVEL. W/OUT NON COMBUSTIBLE MATERIALS.
- WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS LOCATED AS REQUIRED FOR NEW DWELLINGS. (IRC R317.1.1) SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA VICINITY OF BEDROOMS & ON EACH ADDITIONAL STORY INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN SPLIT LEVEL HOMES A SMOKE DETECTOR NEED BE INSTALLED ON UPPER LEVEL IF LOWER LEVEL IS LESS THAN FULL STORY BELOW. SMOKE DETECTORS SHALL HAVE BATTERY BACKUP (IRC R317.1) VERIFY EXISTING, ADD AS NEEDED IN SPACES IN AREAS WHERE NO OTHER WORK IS DONE WE WILL CONSIDER USING BATTERY ONLY DEVICES. SMOKE DETECTORS IN EXISTING AREAS ARE NOT TO BE HARDWIRED.
- FOAM PLASTIC FINISHES AND CORES SHALL BE IGNITION PROTECTED OR HAVE A FLAME SPREAD RATING OF NOT MORE THAN 75 AND SMOKE-DEVELOPED RATING OF NOT MORE THAN 450 WHEN TESTED IN MAX. THICKNESS INTENDED FOR USE. (IRC R318.1.1) THE APPROVED TESTS: ASTM E 83, FM 4880, UL 41040, ASTM E 152 OR UL 1715. (R318.3)



3-PLY LVL FASTENING DETAIL



2-PLY LVL FASTENING DETAIL



PONT-LOAD CONNECTOR SPACING
6- SCREW CONNECTION

FACE MOUNT HANGERS:
3 1/2" X 9 1/2" - 18" LVL = HHUS410 W/ 16D NAILS
5 1/4" X 14"-20" LVL = HGUS5.50/12 W/ 16D NAILS

STRUCTURAL STEEL:

ANCHOR RODS (BOLTS) SHALL CONFORM TO ASTM A1554.

STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 OR ASTM A992 WITH 36,000 PSI MINIMUM YIELD STRENGTH.

PIPE COLUMNS SHALL CONFORM TO ASTM A53--GRADE B WITH 35,000 PSI MINIMUM YIELD STRENGTH.

ALL STEEL WORK SHALL BE FABRICATED AND ERECTED TO CONFORM WITH THE LATEST AISC SPECS.

SHOP CONNECTIONS SHALL BE WELDED OR BOLTED; FIELD CONNECTIONS SHALL BE BOLTED.

WELDING SHALL CONFORM TO THE LATEST AMERICAN WELDING SOCIETY SPECS., & MADE WITH A5.1 OR A5.5, E70XXX ELECTRODES & IN ACCORDANCE WITH THE LATEST AWS D1.1 STRUCTURAL WELDING CODE.

ALL WELDERS SHALL BE CERTIFIED BY A LABRATORY OF RECOGNIZED STANDING.

BOLTS SHALL BE 3/4" A325N U.N.O

BOLT HOLES SHALL BE 13/16" U.N.O

THE CONTRACTOR SHALL BRACE VERTICALLY AND/OR HORIZONTALLY, ALL THE CONSTRUCTION WHICH MAY BE UNSTABLE PENDING ITS FINAL INTEGRATION AND/OR INTERACTION WITH ADJACENT ELEMENTS OF PERMANENT CONSTRUCTION, WHICH WOULD ELIMINATE THE NEED FOR INTERIOR BRACING.

ENERGY CONSERVATION NOTES:

- A PERMANENT CERTIFICATE SHALL BE POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED, A UTILITY ROOM OR AN APPROVED LOCATION IN THE BUILDING, IT SHALL LIST THE R-VALUES OF INSULATION INSTALLED, U-FACTORS OF GLAZING, DUCT TESTING & BLOWER DOOR RESULTS.

THERMAL AND MOISTURE PROTECTION:

ROOFING:
SHINGLES SHALL COMPLY W/ ASTM D225 OR D3462. PROVIDE NO LESS THAN 4 NON-CORROSIVE FASTENERS PER STRIP. BASE FLASHING TO BE COROSIVE- RESISTANT METAL MIN. .019 INCH THICK OR MINERAL SURFACE ROLL 77#/100 SF, CAP FLASHING TO BE CORROSIVE-RESISTANT METAL MIN. .019 INCH THICK. OPEN VALLEYS TO BE LINED W/ METAL 24" (MIN.) WIDE OR 2 PLYS OR MINERAL SURFACE ROLL 36" (MIN.) WIDE, CLOSE VALLEY THE SAME AS OPEN VALLEY OR ONE PLY MIN. 36" WIDE.

ICE AND WATER SHIELD IS REQUIRED IN ALL VALLEYS AND ON EAVES, A MINIMUM OF 2'-0" BEYOND THE INTERIOR WALL LINE.

R-VALUE SHALL BE INDICATED ON INSULATION OR CERTIFICATION OF THE INSTALLED R-VALUE SHALL BE PROVIDED AT THE JOB SITE BY THE INSULATION INSTALLER.

GLAZING: MAXIMUM ALLOWED GLAZING U FACTOR IS .32 [BTU/HR X FT2 X F] GLAZING U FACTOR SHALL BE SHOWN ON THE WINDOW LABEL DURING INSPECTION.

PROVIDE 3/4" PIPE INSULATION FOR REFRIGERANT PIPING.

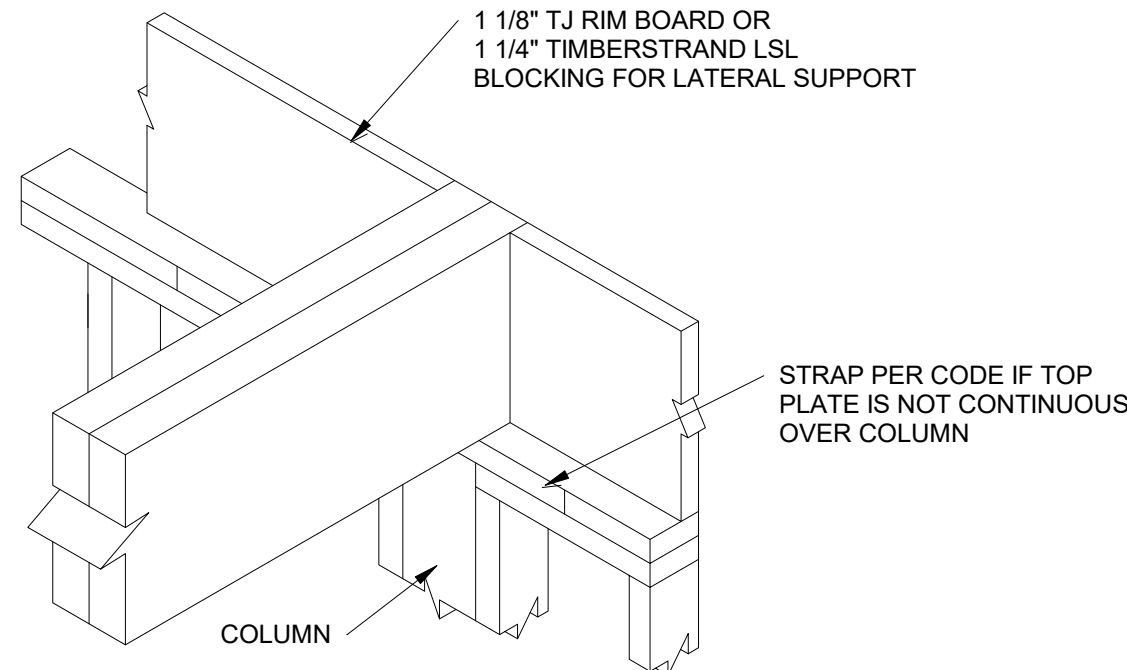
ACCESS DOORS FROM CONDITIONED TO UNCONDITIONED SPACE SHALL BE WEATHER-STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO INSULATION ON THE SURROUNDING AREAS.

THE VAPOR BARRIER SHALL BE LAPPED 12 INCHES AND THE SEAMS SEALED WITH COMPATIBLE GLUES.

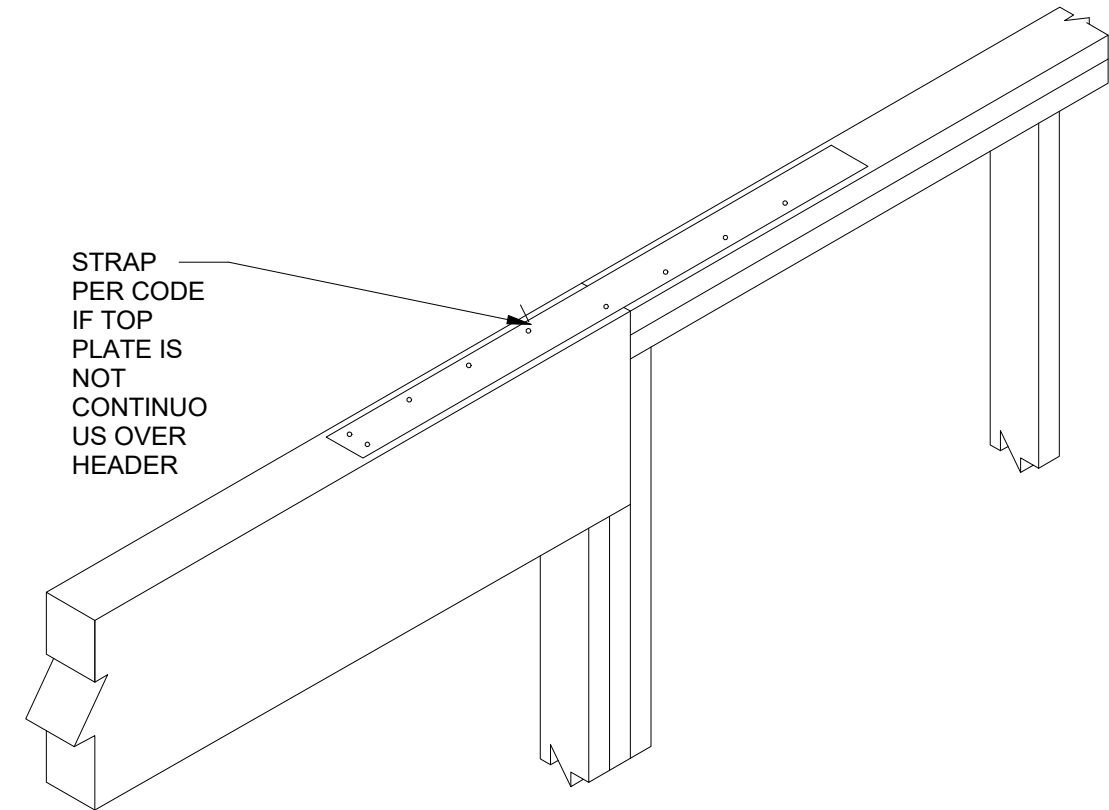
WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF ONE-INCH (1") SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENT.

AIR BARRIER SHALL BE INSTALLED ON FIREPLACE WALLS AND BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.

FENESTRATIONS SHALL BE LISTED AND LABELED BY THE MANUFACTURER. THE MAX AIR INFILTRATION OF WINDOWS, SKYLIGHTS, AND SLIDING GLASS DOORS IS 0.3 CFM PER SF. MAX AIR INFILTRATION OF SWINGING DOORS IS 0.5 CFM PER SF.



LVL BEARING AT WALL



LVL BEARING FOR DOOR OR WINDOW HEADER



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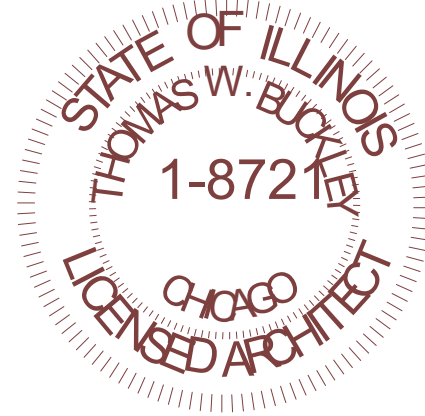
ADDITION & KITCHEN REMODEL
MILFORD RESIDENCE
116 N PINE DR
ARLINGTON HEIGHTS, IL

DATE

10/02/2020

ISSUE DATE

09/29/2020 1 - DESIGN REVIEW
10/02/2020 2 - ISSUE FOR PERMIT



THOMAS BUCKLEY ARCHITECT

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TEL. 847-310-9530 e-mail: tom@thomasbuckleyarchitect.com

ARCHITECT'S CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECTION AND THAT TO THE BEST OF MY KNOWLEDGE, THEY COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.

Thomas Buckley
CERT. NO. 001.008721
EXP. 11-30-20 DATE 10/02/2020

SHEET TITLE

CONNECTION DETAILS & NOTES

SHEET NUMBER

A5.0

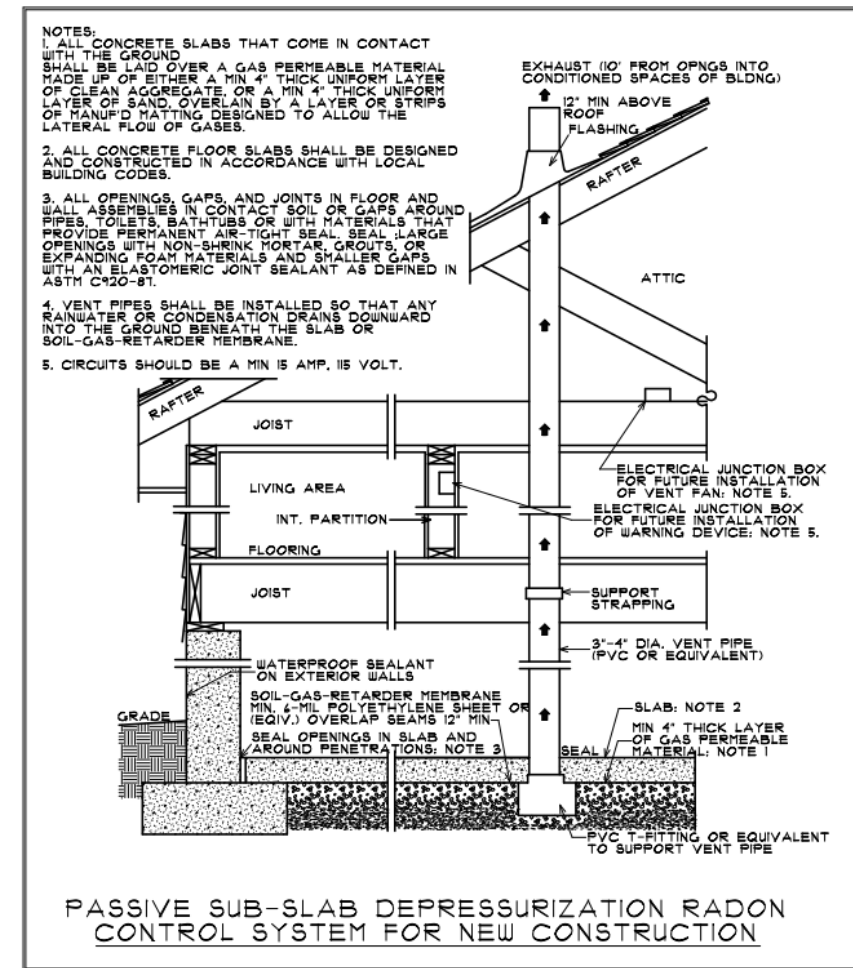
PLUMBING FIXTURE SCHEDULE				
FIXTURE	MANUF/MODEL	QUANTITY	WSFU PER	WSFU
LAVATORY (LAV)		5	1	5
WATER CLOSET (WC)		4	3	12
TUB (W/P)		1	2	2
SHOWER (SHOW-1)		2	2	4
KITCHEN SINK (K SINK		1	2	2
WASHER/DRYER (W/D)		1	2	4
DISHWASHER (DW)		1	1	1
WATER-HEATER (WH)		1		
TOTAL FIXTURES		16	---	30

PER ILLINOIS PLUMBING CODE 1" DIAMETER WATER SERVICE IS REQUIRED.
1" METER REQUIRED.
1 1/2" DIAMETER SERVICE TO BE INSTALLED.

1. ALL COPPER VENT / WASTE PIPE TO BE "M" TYPE
2. ALL COPPER ABOVE GROUND TO BE "L" TYPE
3. ALL COPPER BELOW GROUND TO BE "K" TYPE
4. ALL COPPER FITTINGS TO BE FORGED WITH NO LEAD SOLDER FLUX.
5. ALL PVC TO BE SCH. 40 TO MEET CODE
6. ALL PVC FITTINGS TO BE DWM WITH PURPLE PRIMER AND CLEAR PVC CEMENT
7. 24" AIR CHAMBERS ON ALL MAIN WATER RISERS.
8. 12" AIR CHAMBERS ON ALL FIXTURES
9. SHUT OFF STOPS ON ALL FIXTURES.

MINIMUM SHEET METAL THICKNESSES FOR SINGLE DWELLING UNITS			
DUCT SIZE	GALVANIZED STEEL		APPROX. ALUMINUM B+S GAUGE
	MINIMUM THICKNESS (INCHES)	EQUIVALENT GALVANIZED GAUGE NO.	
ROUND DUCTS + ENCLOSED RECT. DUCTS			
14" OR LESS	0.013	30	26
OVER 14"	0.016	28	24
EXPOSED RECT. DUCTS			
14" OR LESS	0.016	28	24
OVER 14"	0.019	26	22

DUCT SIZE	GALVANIZED STEEL		APPROX. ALUMINUM B+S GAUGE
	MINIMUM THICKNESS (INCHES)	EQUIVALENT GALVANIZED GAUGE NO.	
ROUND DUCTS + ENCLOSED RECT. DUCTS			
14" OR LESS	0.013	30	26
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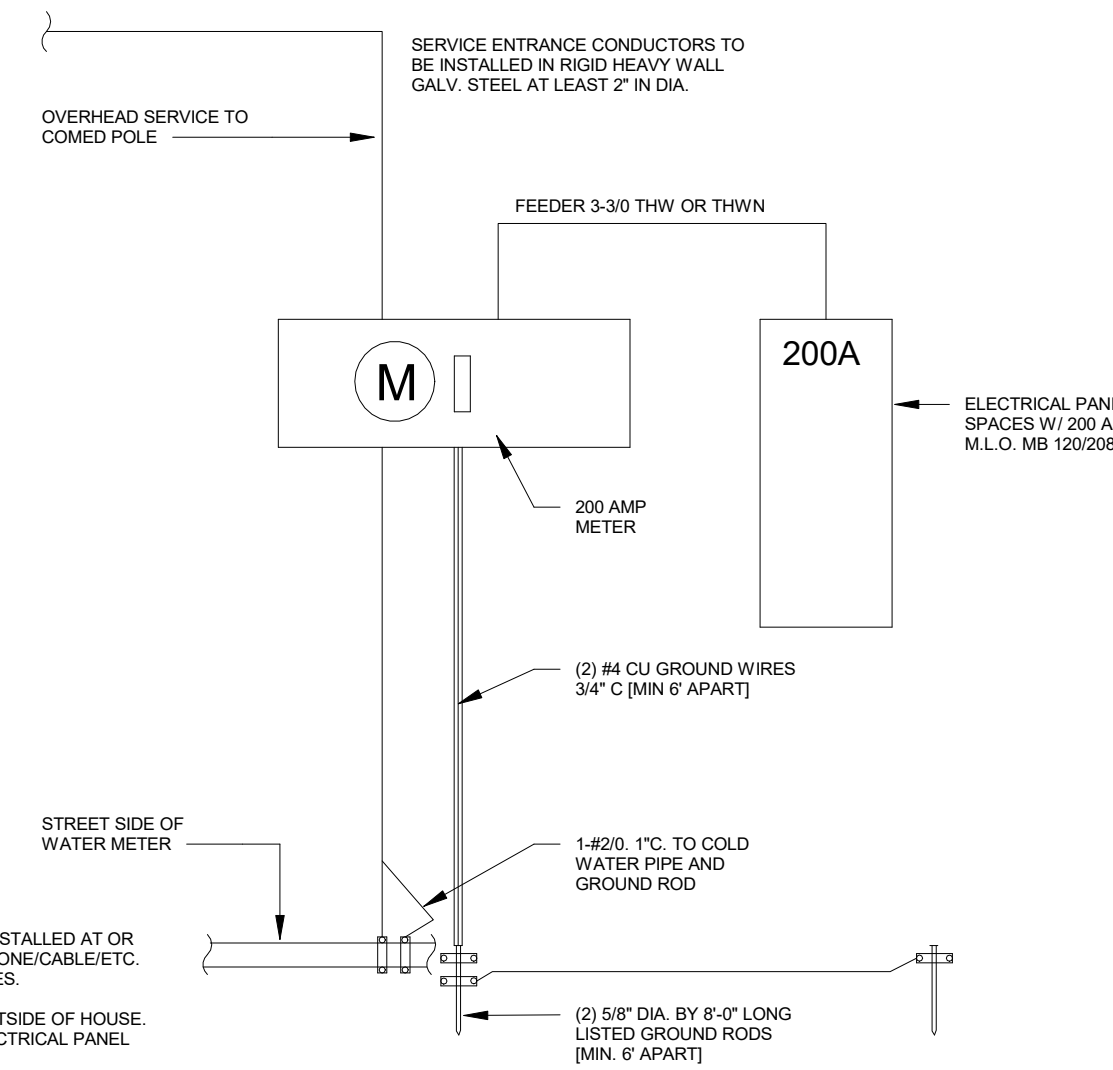


DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0 - 1	2 - 3	4 - 5	6 - 7	> 7
	Airflow in CFM				
< 1,500	30	45	60	75	90
1,501 - 3,000	45	60	75	90	105
3,001 - 4,500	60	75	90	105	120
4,501 - 6,000	75	90	105	120	135
6,001 - 7,500	90	105	120	135	150
> 7,500	105	120	135	150	165

ALL INTERSYSTEM BONDING TERMINATION SHALL BE INSTALLED AT OR NEAR THE ELECTRIC METER. THIS WILL ALLOW THE PHONE/CABLE/ETC. UTILITIES A PLACE TO TERMINATE THEIR GROUND WIRES.

SERVICE DISCONNECT (BREAKER) IS REQUIRED ON OUTSIDE OF HOUSE THIS IS IN ADDITION TO THE MAIN BREAKER IN THE ELECTRICAL PANEL INSIDE THE HOUSE. 2015 LHM 6-282 ART. 230. 701(A).

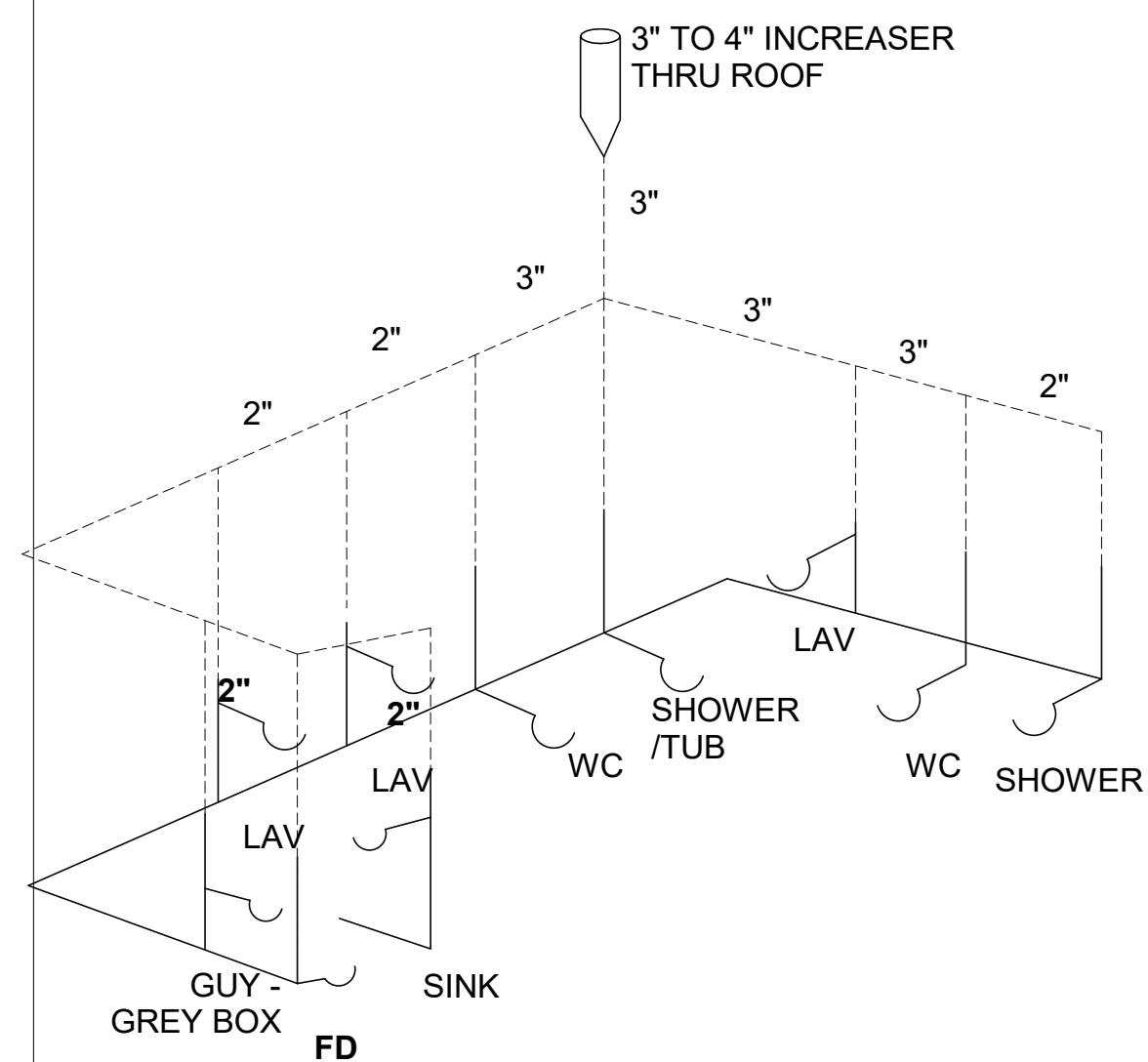
CONDUCTOR FOR EXTERIOR SUPPLEMENTAL GROUNDING ELECTRODE SHALL BE CONTINUOUS.



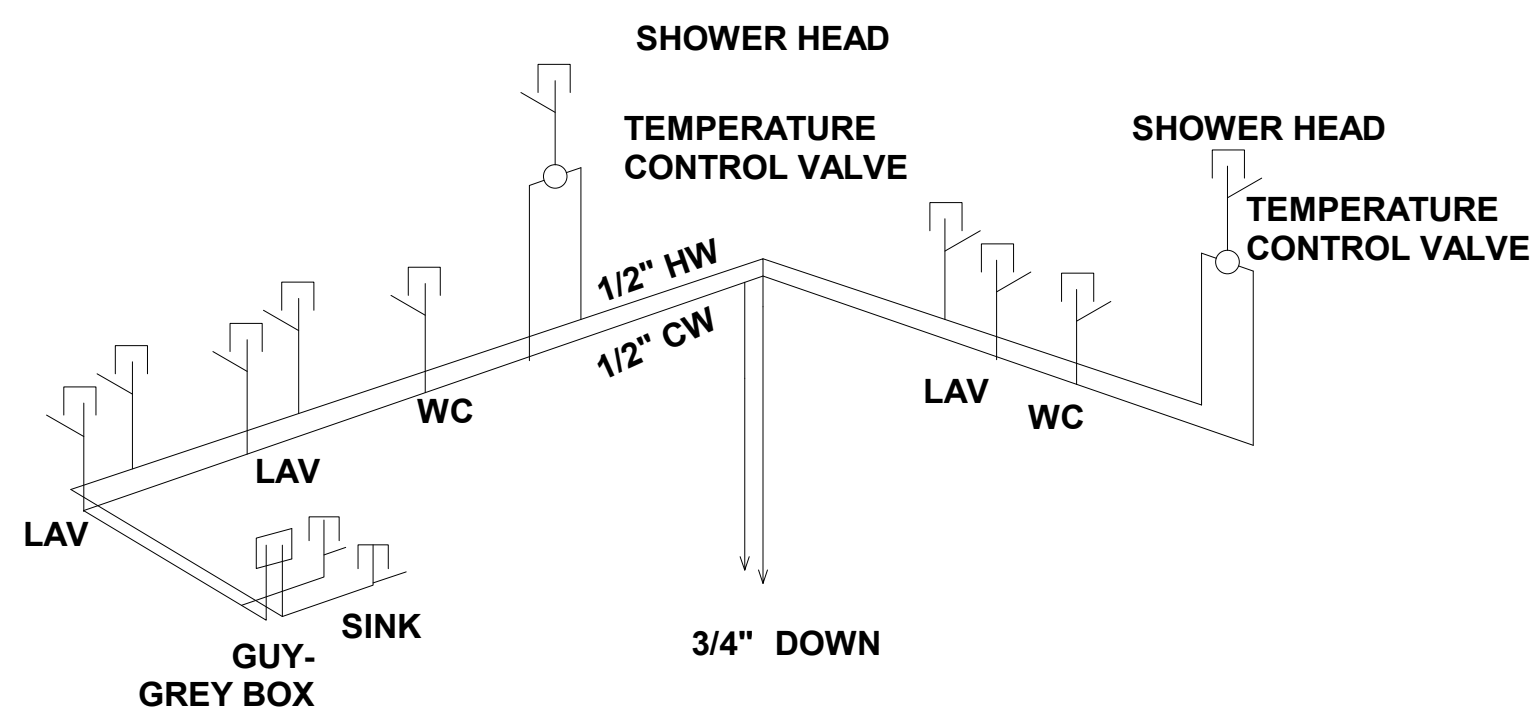
ELECTRICAL SERVICE RISER DIAGRAM

NOT TO SCALE

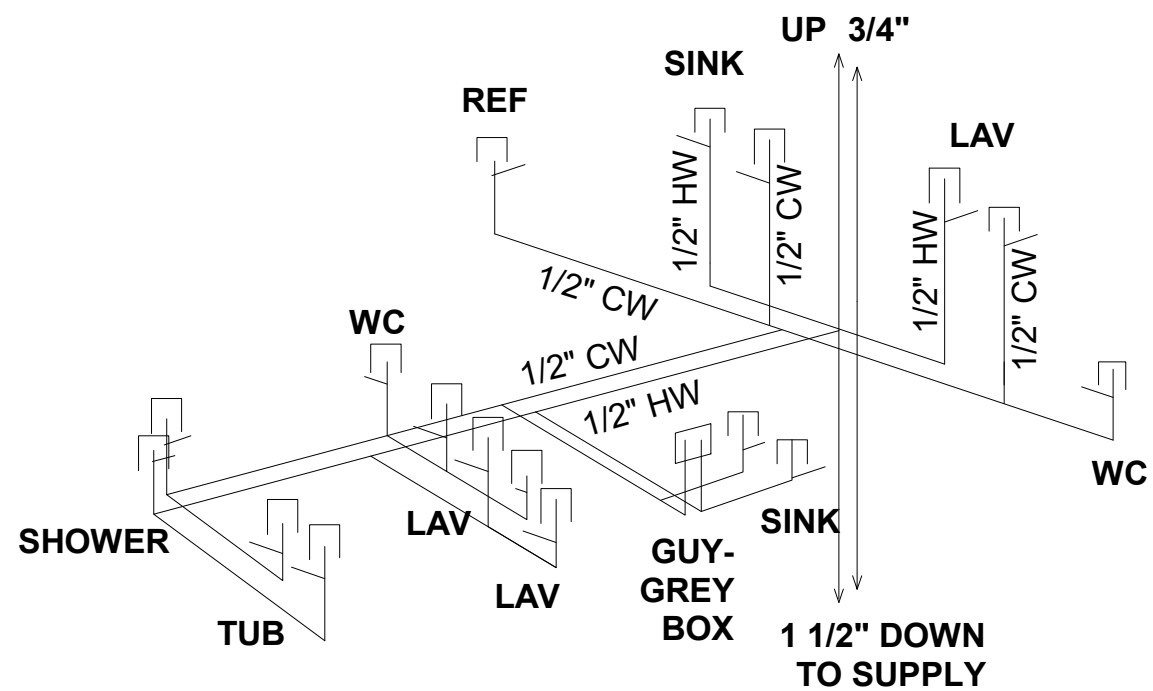
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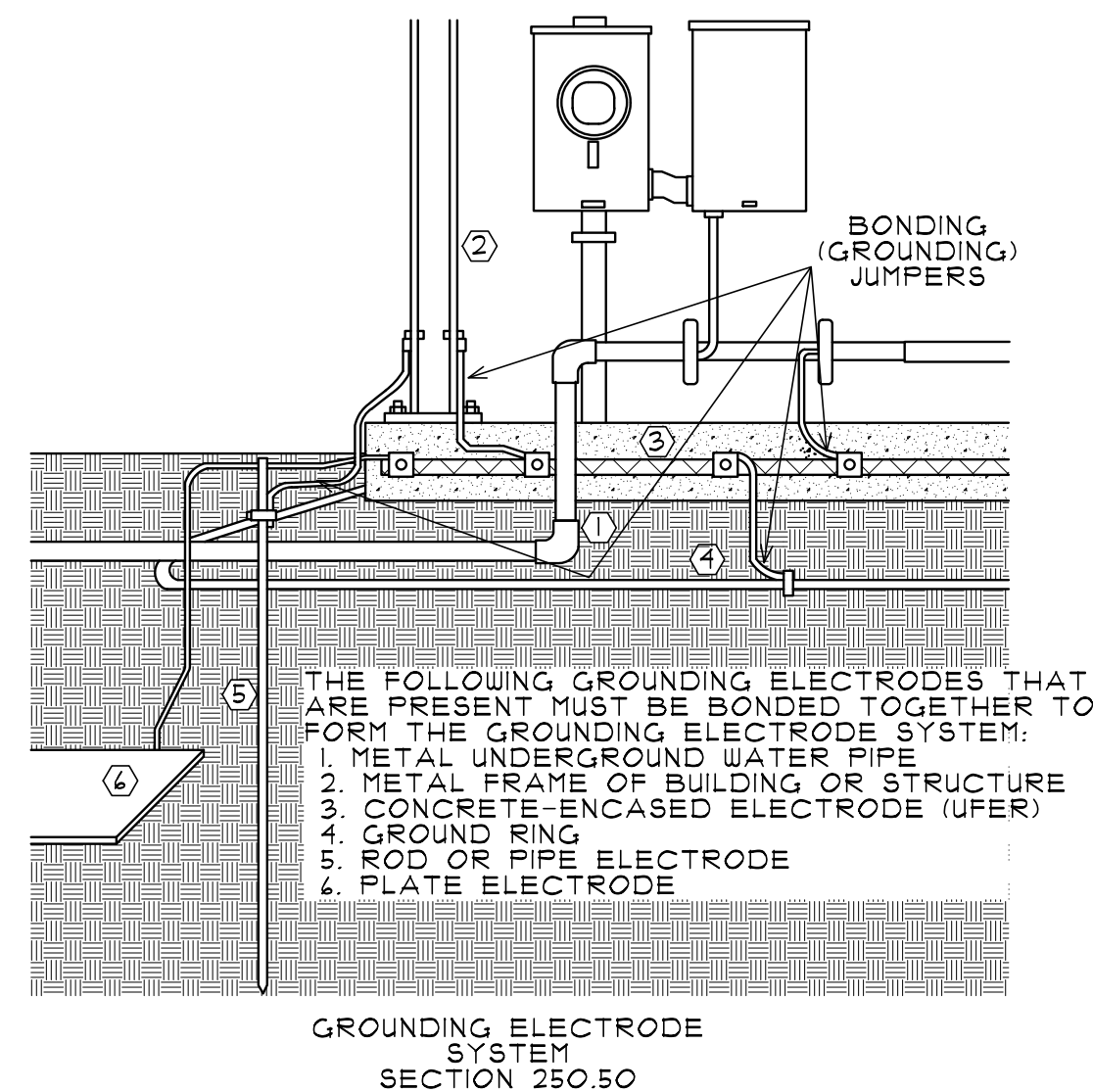
**2ND FLOOR BATH AND LAUNDRY
WASTE & VENT DIAGRAM
N.T.S.
NEW WASTE & VENT PIPING TO BE PVC SCHEDULE 40.**



**2ND FLOOR BATH & LAUNDRY
WATER PIPING DIAGRAM
N.T.S.
ALL SUPPLY PIPING TO BE COPPER TYPE "L"**

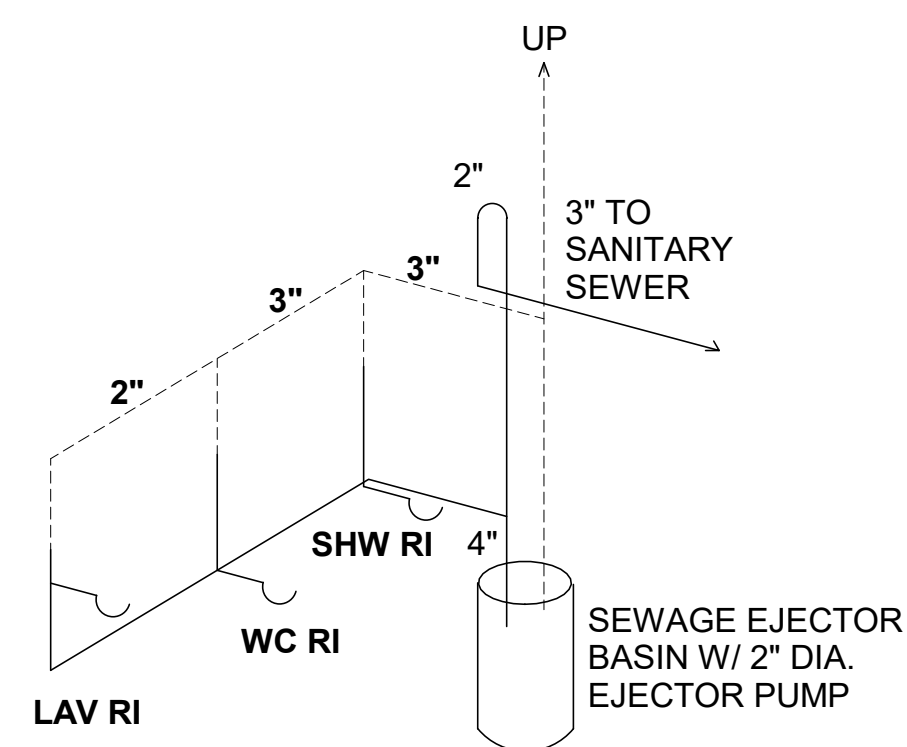


1ST FLOOR KITCHEN, POWDER, MASTER BATH & LAUNDRY
WATER PIPING DIAGRAM
N.T.S.
ALL SUPPLY PIPING TO BE COPPER TYPE "L"

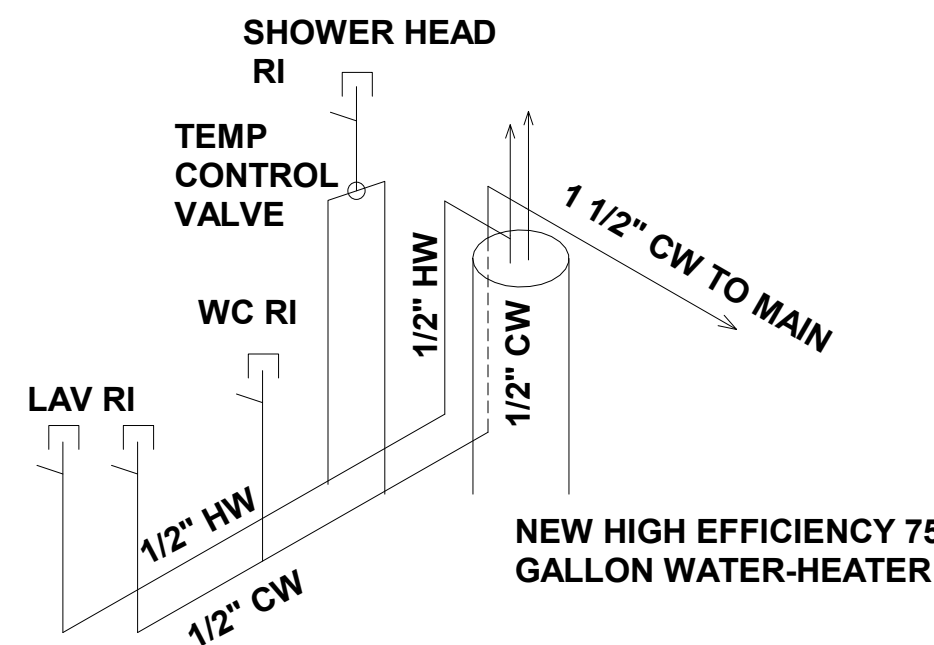


SERVICE GROUNDING & BONDING

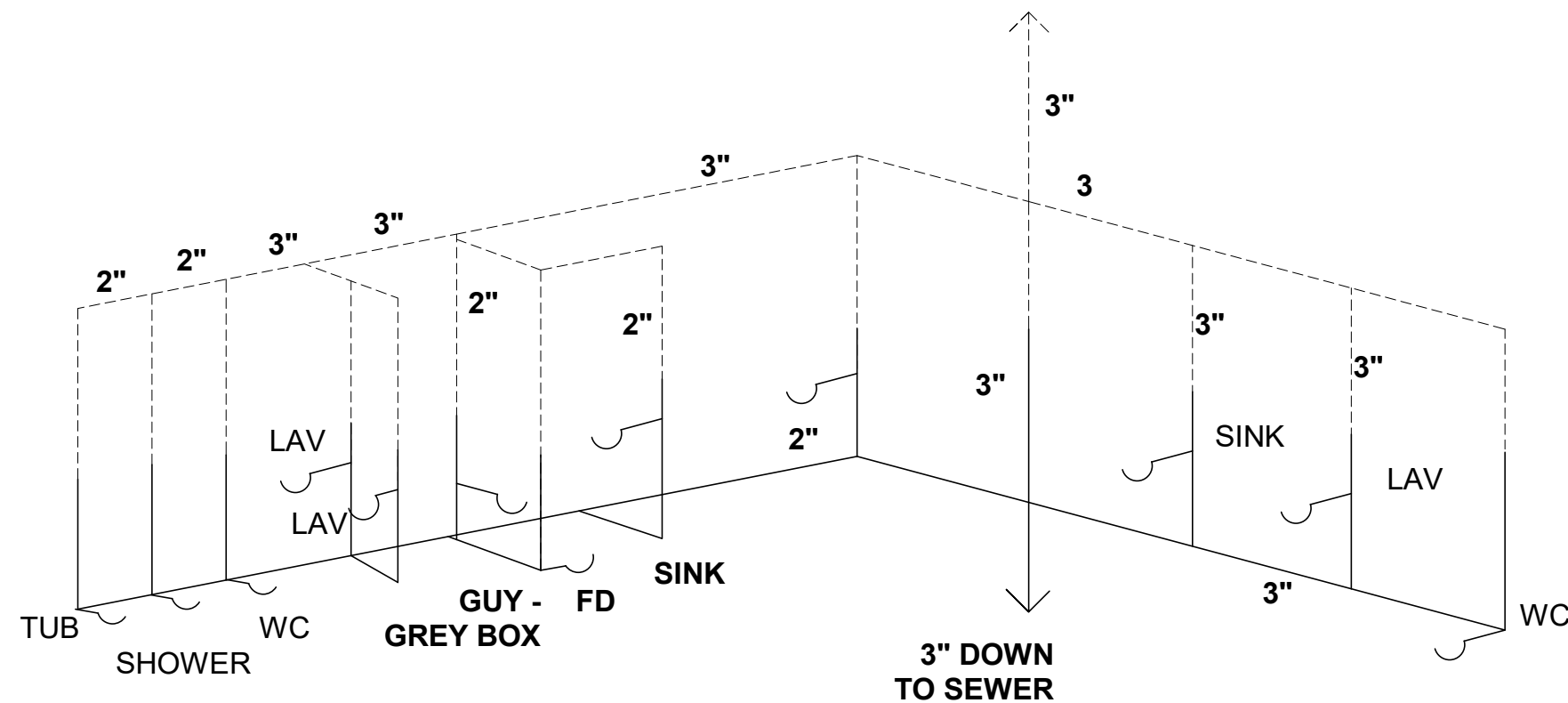
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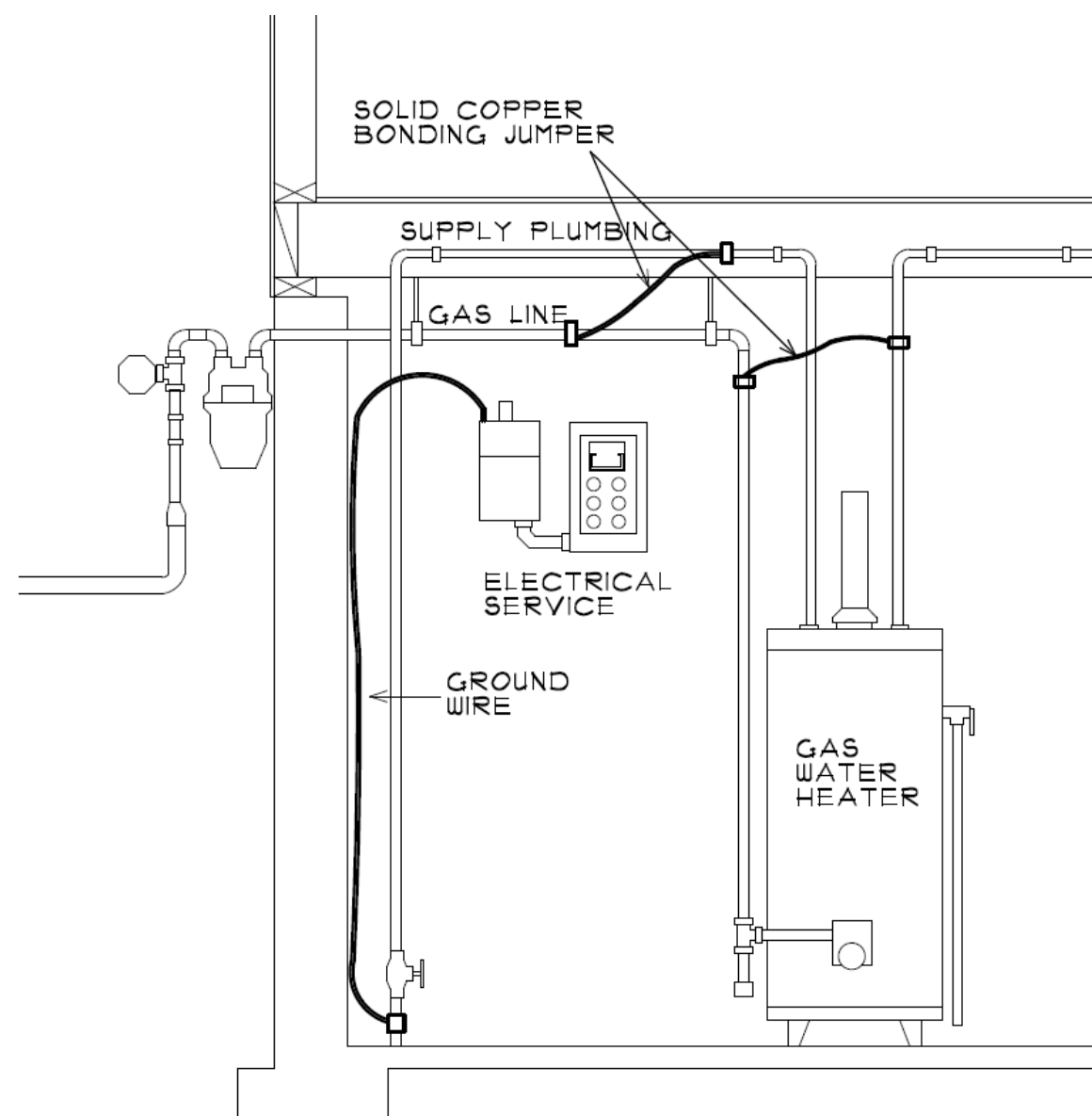
BASEMENT WASTE & VENT DIAGRAM
N.T.S.
NEW WASTE & VENT PIPING TO BE PVC SCHEDULE 40.



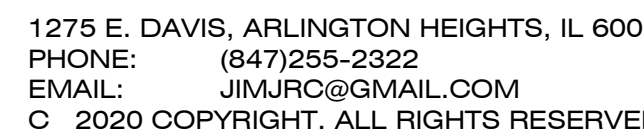
BASEMENT WATER PIPING DIAGRAM
N.T.S.
ALL SUPPLY PIPING TO BE COPPER TYPE "L"



**1ST FLOOR KITCHEN, POWDER, MASTER BATH & LAUNDRY
WASTE & VENT DIAGRAM
N.T.S.
NEW WASTE & VENT PIPING TO BE PVC SCHEDULE 40.**



NOT TO SCALE



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**ADDITION & KITCHEN
REMODEL
MILFORD RESIDENCE
116 N PINE DR
ARLINGTON HEIGHTS, IL**

DATE _____

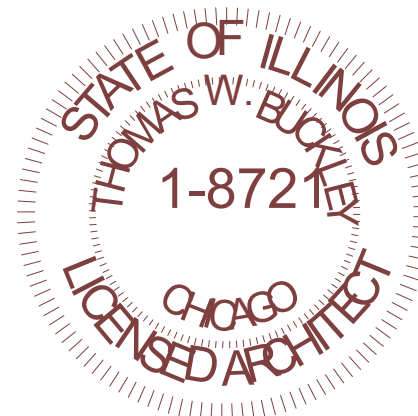
10/02/2020

ISSUE DATE

1 - DESIGN REVIEW

10/02/2020

2 - ISSUE FOR PERMIT



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ARCHITECT

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Thomas Buckley
CERT. NO. 001.008721
EXP. 11-30-20 DATE 10/02/2020

SHEET TITLE
MEP NOTES & DETAILS

SHEET NUMBER

MEP1.0



Zoning Board of Appeals 12/14/2020

Item: 2404 E. Gregory St. - ZBA#20-038

Department: Planning & Community Development

REQUEST

- A variation from Chapter 28, Section 6.5-2 to allow a shed in the side yard where sheds are only permitted in the rear yard.
- A 1.5 foot variation from Chapter 28, Section 6.5-2 to allow a shed with a side yard setback of 1.5 feet from the north property line where a minimum of 3.0 feet is required.

ATTACHMENTS:

Description	Type
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: December 14, 2020
Date Prepared: December 9, 2020
Project Title: Razniak Residence
Address: 2404 E. Gregory St.

Background Information

Petition Number: ZBA #20-038
Petitioner: Jakub Razniak
Address: 2404 E. Gregory St.
Arlington Heights IL 60004

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

The petitioner has partially constructed a shed in the side yard where sheds are only permitted in the rear yard. This was brought to the petitioner's attention; therefore, the homeowner is seeking a variation. The shed is 15 feet by 14.6 feet for a total of 219 square feet. In addition, the shed is 1.5 feet from the side property line where a minimum of 3 feet is required. The petitioner is requesting the following variations:

- A variation from Chapter 28, Section 6.5-2 to allow a shed in the side yard where sheds are only permitted in the rear yard.
- A 1.5 foot variation from Chapter 28, Section 6.5-2 to allow a shed with a side yard setback of 1.5 feet from the north property line where a minimum of 3.0 feet is required

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	11/25/20	
2. List of Property Owners Within 250 feet of Subject Property	✓	11/25/20	
3. Letter that was Mailed	✓	11/25/20	
4. Photographs of Sign on Property	✓	11/25/20	

Photographs of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Razniak Residence

Project Address: 2404 E Gregory Ave

ZBA #: 20-038

Date: November 23, 2020

Derek:

I have reviewed the request for the following variances:

- A variation from Chapter 28, Section 6.5-2 to allow a shed in the side yard where sheds are only permitted in the rear yard.
- A 1.5 foot variation from Chapter 28, Section 6.5-2 to allow a shed with a side yard setback of 1.5 feet from the north property line where a minimum of 3.0 feet is required.

and have the following comment:

1. Based on the distance to the lot line (1.5 feet) and the distance between the house and new shed (5.62 feet), the shed shall be constructed with 1-hour fire-resistance rated walls, with exposure from both the inside and outside of the shed. The soffit of the shed, on all sides shall have 5/8-inch exterior grade drywall under the normal weather protective materials. Consult with an architect on the requirements for fire-resistance rated walls.

ZBA# 20-038
2404 E Gregory Street - ZBA
Rev. Eng: Briget Schwab, P.E.
cc: Mike Pagones, P.E. Village Engineer

Application Date:
Received by Planning:
Transmitted to Engineering: November 20, 2020
Received by Briget: November 20, 2020
Completed: December 1, 2020

The proposed ZBA application indicates that the petitioner is seeking:

A variation from Chapter 28, Section 6.5-2 to allow a shed in the side yard where sheds are only permitted in the rear yard.

A 1.5 foot variation from Chapter 28, Section 6.5-2 to allow a shed with a side yard setback of 1.5 feet from the north property line where a minimum of 3.0 feet is required.

The Engineering Division has NO COMMENT on the proposed variance request for building a shed in the side yard.

The Engineering Division has NO COMMENT on the proposed variance request for sideyard setback for a shed.

NOTE: Concrete foundation and construction of shed began before ZBA. There was an apparent existing swale between 535 South Rammer and 2404 East Gregory viewed on Google Streets and Nearmap.com and the new shed appears to be situated in relatively the same location as previous shed. There were no drainage complaints on file and swale should be maintained.

--

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Razniak Residence

Project Address: 2404 E. Gregory Street

ZBA #: 20-038

ZBA Hearing Date: December 14, 2020

To: Mike Pagones, Village Engineer
Mark Fink, Assistant Building Official

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: November 20, 2020

- A variation from Chapter 28, Section 6.5-2 to allow a shed in the side yard where sheds are only permitted in the rear yard.
- A 1.5 foot variation from Chapter 28, Section 6.5-2 to allow a shed with a side yard setback of 1.5 feet from the north property line where a minimum of 3.0 feet is required.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: No comments.

Steve Hautzinger, Design Planner

Please review, comment, and return to me no later than December 3, 2020.

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner JAKUB RAZNIAK

being the owner of the property commonly known as: 2401 E. GREGORY ST

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 6-5-2

Chapter 28, of the Arlington Heights Municipal Code, in order to: CONSTRUCT AN ACCESSORY STRUCTURE IN THE SIDEYARD OF THE LOT

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): MANY OF THE SINGLE FAMILY HOMES IN THIS NEIGHBORHOOD HAVE ACCESSORY STORAGE SHEDS IN VARIOUS LOCATIONS ON THE LOT.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): THE EXISTING BACKYARD HAS A BEAUTIFUL AND VERY LARGE MAPLE TREE PLUS A ABOVE GROUND SWIMMING POOL CREATING A CROWDED BACKYARD.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): WE ARE COMPLYING WITH THE SQUARE FOOTAGE AND HEIGHT RESTRICTIONS PLUS THERE IS AN EXISTING WOOD FENCE TO MINIMIZE VISUAL EXPOSURE OF THE SHED TO RAMMER AVE.

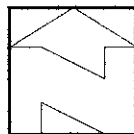
I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): THE TWO CAR GARAGES ARE TIGHT BY TODAY'S STANDARDS AND FITTING IN TWO CARS PLUS LAWNMOWERS, SNOW BLOWERS AND OTHER HOMEOWNER'S NECESSITIES IS DIFFICULT TO IMPOSSIBLE

Jakub
Signed: Razniak

Digitally signed by Jakub Razniak
DN: cn=Jakub Razniak,
ou=Craftwood Inc., ou=
email=ak.razniak@craftwoodproducts.
com, c=US
Date: 2020.10.08 11:03:58 -0500

Petitioner

Date: 10/08/2020

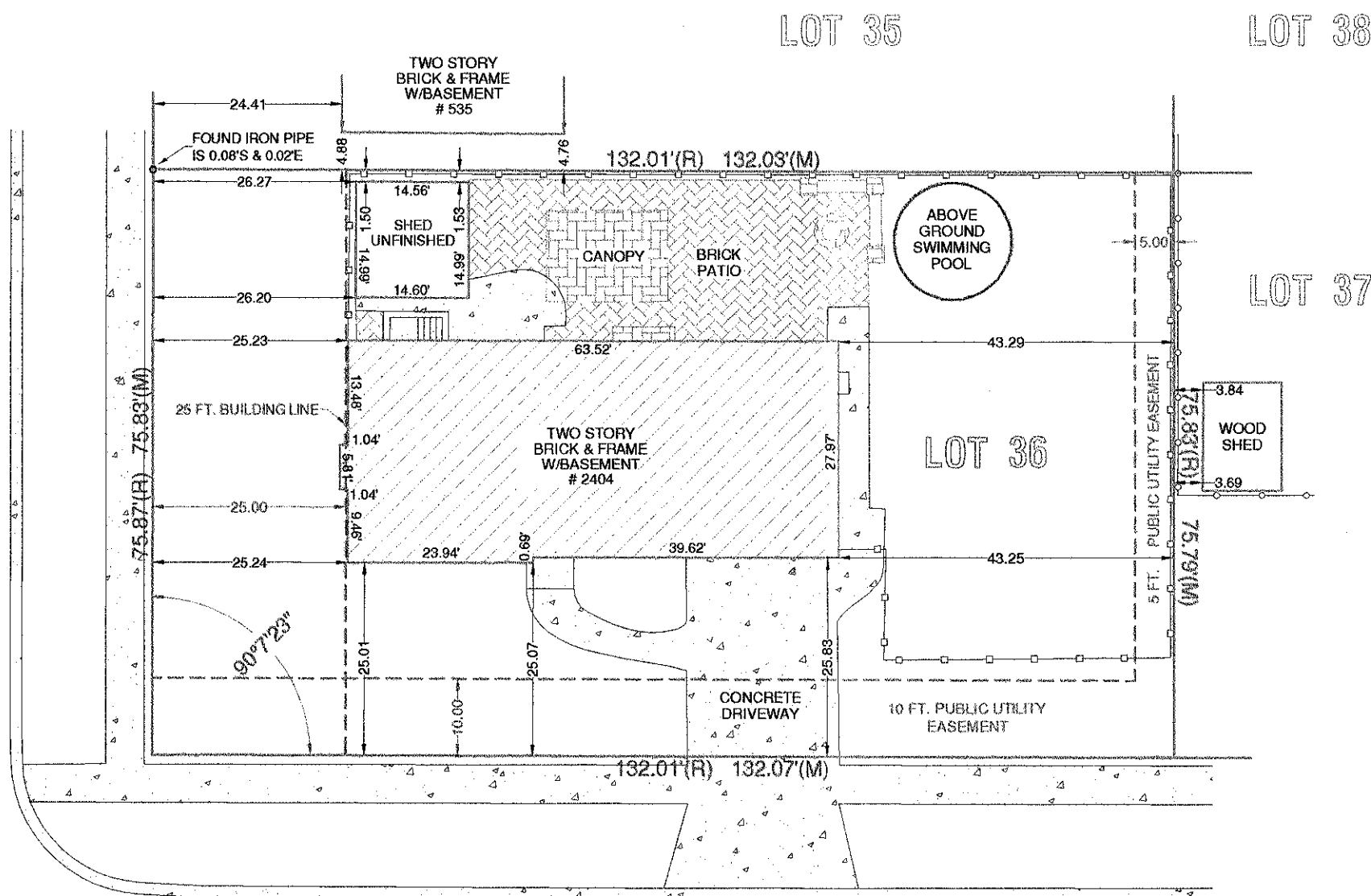


SCALE
1"=20'

RAMMER AVE.

LEGEND

- FIR = FOUND IRON ROD
- FIP = FOUND IRON PIPE
- ✱ FCC = FOUND CUT CROSS
- = BOUNDARY OF SURVEYED PARCEL
- = BUILDING LINE
- = EASEMENT
- = CHAIN LINK FENCE
- = WROUGHT IRON OR STOCKADE FENCE
- [] = WOOD BENCH
- [] = CONCRETE
- [] = ASPHALT
- [] = BUILDING



E. GREGORY ST.



PLAT OF SURVEY

LEGAL DESCRIPTION:

LOT 36 IN STOLTZNER'S GREENVIEW ESTATES SECOND ADDITION, BEING A SUBDIVISION OF PART OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS, ON MAY 28, 1958, AS DOCUMENT NUMBER 1798320.

PIN : 03-33-214-009-0000

Commonly Known as: 2404 E. GREGORY ST
ARLINGTON HTS, IL 60004

STATE OF ILLINOIS)
COUNTY OF KANE) S.S.

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A CORRECT REPRESENTATION OF A SURVEY PERFORMED AT AND UNDER MY DIRECTION. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL THIS 14TH DAY OF SEPTEMBER, A.D. 2020.

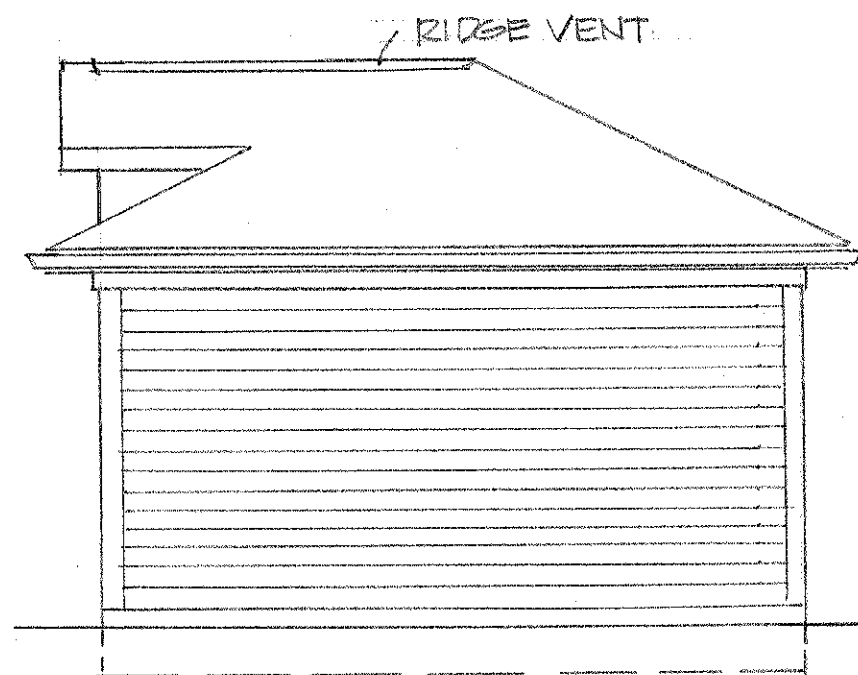
K. Blando

KRZYSZTOF BLANDO
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3705
LICENSE EXPIRES 1/1/20

ORDER NO. 2020/130
DRAWN BY CP
CHECKED KB
APPROVED KB
FIELD DATE 09/10/20
SCALE 1" = 20'

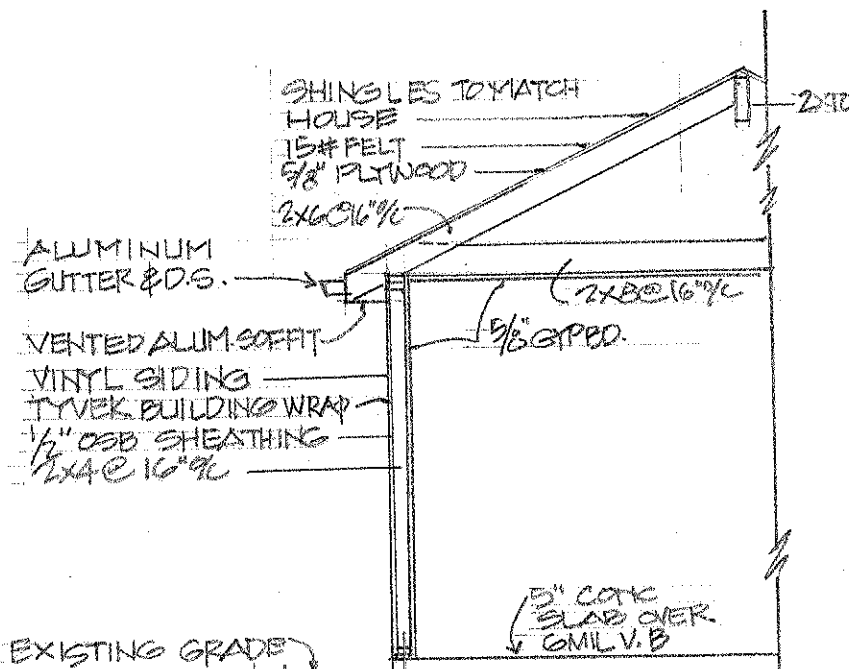
Prepared for:
JAKUB RAZNIAK
2404 E. GREGORY ST
ARLINGTON HTS, IL 60004

Prepared by:
ACORN CONSULTANTS LTD.
1340 GIESE ROAD
BATAVIA, ILLINOIS 60510
TEL: (630) 608-9933
kblando@comcast.net



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

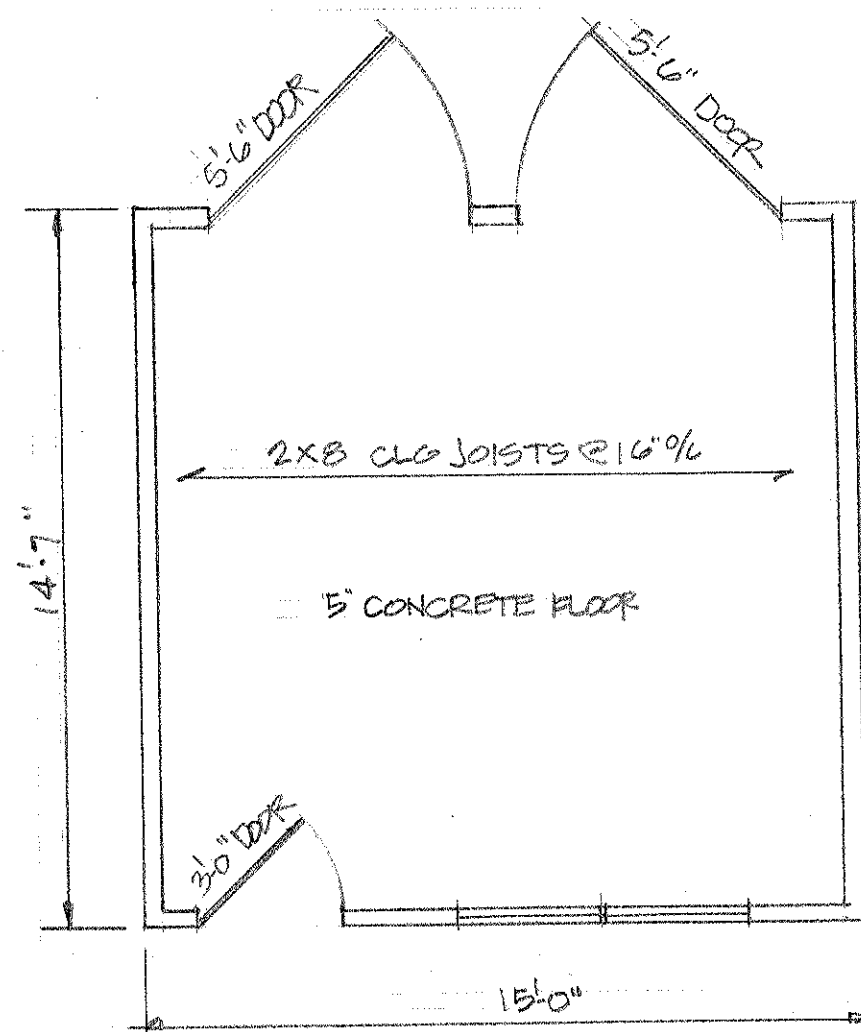


EXISTING GRADE

1/2" Ø ANCHOR BOLTS
@ 36" MINIMUM 2
PER PL @ WITHIN 12"
OF ALL CORNERS

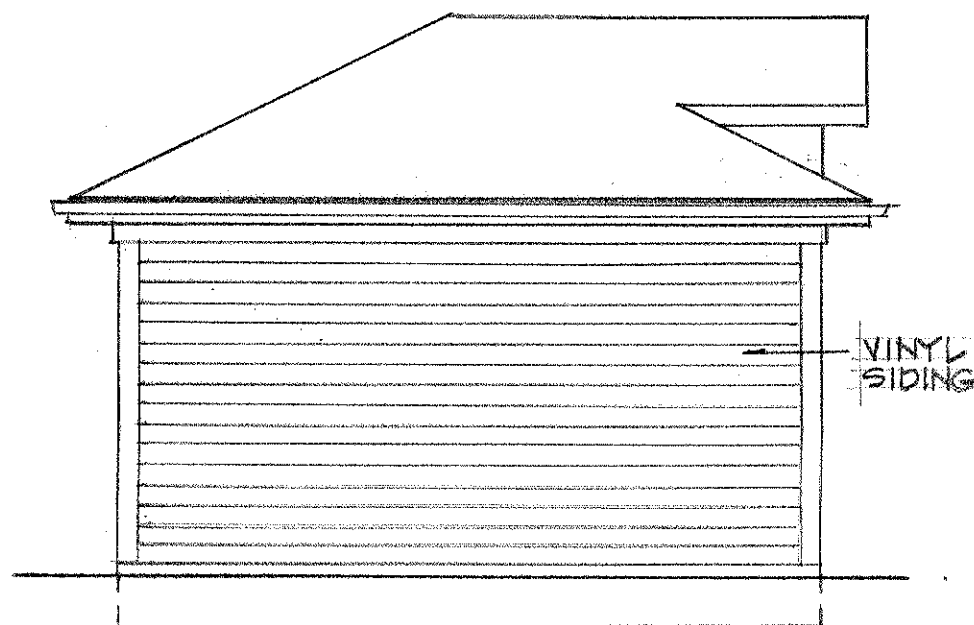
SECTION

SCALE 1/4" = 1'-0"



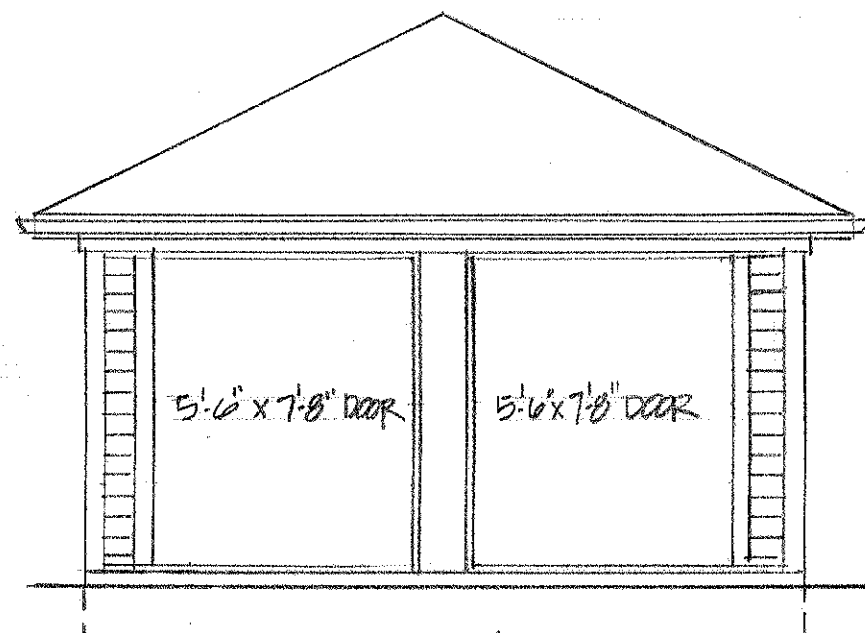
FLOOR PLAN

SCALE: 1/4" = 1'-0"



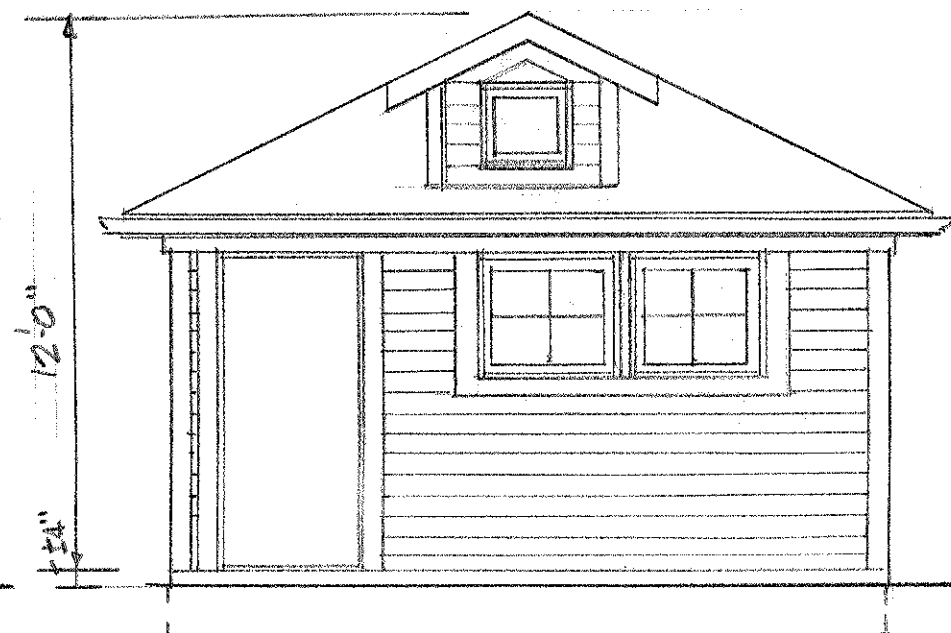
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE 1/4" = 1'-0"