



Agenda
Village of Arlington Heights
Design Commission
Community Room, 3rd Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
November 24, 2015
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

A. Minutes - 11/10/15

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

A. DC#15-143 - 1016 N. Fernandez Ave. - SF/Teardown

VII. OTHER BUSINESS

A. St. Edna Catholic Church - 2525 N. Arlington Heights Rd.
Preliminary Review

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Minutes - 11/10/15

Department: Planning & Community Development

ATTACHMENTS:

Description

Minutes 11/10/15

Type

Minutes

DRAFT

**MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
NOVEMBER 10, 2015**

Chair Eckhardt called the meeting to order at 6:30 p.m.

Members Present: Ted Eckhardt, Chair
Anthony Fasolo
John Fitzgerald
Alan Bombick

Members Absent: Jonathan Kubow

Also Present: Jack Boryszewski, MJ&B Contractors for 926 N. Beverly Ln.
Ron Bailitz, Owner of 813 N. Pine Ave. for 803 N. Pine Ave.
John Selgrad, Representing Owner of 803 N. Pine Ave.
Steve Hautzinger, Staff Liaison

Chair Eckhardt stated that 3 commissioners are present at this time with another member expected shortly. With only 3 commissioners voting on a project, a unanimous vote is required for the project to pass. If a petitioner prefers to wait until 4 commissioners are present, the agenda can be adjusted. There was no response from the petitioners present.

REVIEW OF MEETING MINUTES FROM OCTOBER 27, 2015

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO APPROVE THE MEETING MINUTES OF OCTOBER 27, 2015. ALL WERE IN FAVOR. THE MOTION CARRIED.

ITEM 1. SINGLE-FAMILY TEARDOWN RE-REVIEW

DC#15-130 – 926 N. Beverly Ln.

Mr. Jack Boryszewski, representing *MJ & B Contractors* was present on behalf of the project.

Mr. Hautzinger presented Staff comments. This project was reviewed by the Design Commission and continued from the last meeting on October 27, 2015. At that time, the petitioner was proposing a new home with a 3-car sideload garage on the front of the home, which the commissioners felt was not in context with the neighborhood. The petitioner is here tonight with a revised design that now includes a 2-car front load garage, combined with a front porch over the main entrance. This arrangement is more in context with the neighborhood and Staff feels that overall, it fits in well with the neighborhood. **Mr. Hautzinger** pointed out that the context elevation has been updated to show a new home on the lot directly to the left of the subject property, which was recently approved by the Design Commission.

Staff comments were as follows: although the front porch is similar to other newer homes on the block, it is recommended that the front porch be extended to be in front of the garage wall instead of recessed; the gable above the garage doors has a large appearance that somewhat dominates the front elevation, and the 4.5:12 front-to-back roof pitch has an awkward massing; consider revising the roof layout so that the roof slope on the front of the house is 12:12 to match the sides; and since the side elevations are long and flat, it is recommended to add some jogs in the walls or additional detailing to break up the long flat walls. Staff is recommending approval of the revised design, with the suggested revisions.

Mr. Boryszewski responded to the comments in the Staff report. He was not opposed to scaling down the gable above the garage doors, and he did not see a problem modifying the roof to accommodate a higher roof pitch in the back or on the side.

Commissioner Fitzgerald felt the new home was nicely designed and he appreciated the changes that were made. He really liked the color selection and he was okay with the large gable above the garage because it took some of the attention off the garage doors, and he was okay with the front porch as proposed because it is already over 9-feet deep, which makes it usable. He felt it would be nice if the roof could change as suggested by Staff, and he was okay with the side elevations of the home as proposed.

Commissioner Fasolo liked the improvements that were made since the last review. He generally agreed with Staff comments: the porch should be brought out in front of the garage so it is more prominent than the garage, by making either the porch or some of the interior spaces bigger; change the pitch of the roof in the front to match the sides, which would help the long side elevations; and add more details on the sides and back of the home, although he acknowledged the large home being built next door. He asked if a different style of window was being proposed on the sides of the home because the drawing was inconsistent and **Mr. Boryszewski** clarified that double hung windows were being proposed throughout home, with

the exception of the 2 transom windows in the two story family room on the north elevation. **Commissioner Fasolo** had no further comments.

Chair Eckhardt asked about the size of the front porch. **Mr. Boryszewski** clarified that the front porch measured 7-feet in depth to the center of the column, which would allow for a table and chairs, and he was concerned that pulling the porch forward might lower the pitch of the roof because of the limited space with the bedroom window above.

Chair Eckhardt said that he agreed with the comments made by the commissioners. The size of the gable over the garage was fine as proposed; the side elevations were okay as not overly detailed; and he liked the finishes being proposed. He had no further comments.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE ARCHITECTURAL DESIGN FOR THE NEW SINGLE-FAMILY HOME TO BE LOCATED AT 926 N. BEVERLY LANE. THIS APPROVAL IS BASED ON COMPLIANCE WITH THE REVISED PLANS DATED 11/10/15 AND RECEIVED 11/2/15, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND RESOLUTION OF THE FOLLOWING:

1. A REQUIREMENT TO CHANGE THE FRONT ROOF SLOPE TO 12:12 TO MATCH THE 12:12 PITCH OF THE SIDES, PER THE ROOF PLAN SKETCH PROVIDED BY STAFF ON SITE PLAN SHEET 1.0.
2. A REQUIREMENT TO PULL THE PORCH FORWARD TO BE A MINIMUM OF 1-FOOT IN FRONT OF THE GARAGE.
3. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
4. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.

**ECKHARDT, AYE; FASOLO, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.**

ITEM 2. SINGLE-FAMILY TEARDOWN REVIEW

DC#15-136 – 803 N. Pine Ave.

Mr. Ron Bailitz, owner of 813 N. Pine, and **Mr. John Selgrad**, representing the owner of 803 N. Pine Avenue, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to tear down the existing single family residence and detached garage to create an open, vacant lot adjacent to his existing home at 813 N. Pine. The subject site is zoned R-3, and per Section 14.2-3 of Chapter 28 (Zoning Regulations), a development plan is required to be approved prior to issuance of a demolition permit. In this case, the development plan proposed by the petitioner is to demolish the existing structures, restore the lot to turf, install a 5' wood fence along the south and east sides of the site, and install a 3' wood fence with landscaping along the front of the property to align with their existing adjacent home.

Commissioner Bombick arrived at the meeting.

The existing neighborhood is in an older part of Arlington Heights with many historic homes and some newer construction. The existing bungalow style house fits in well in the neighborhood and with other similar style historic bungalows on the street. Demolition of existing residences to create vacant lots is generally not supported by the Village unless such property is deemed to be unsafe, uninhabitable, and/or dangerous. Although the existing house appears to be in need of updating and repairs, it has not been inspected by the Village to determine if it is unsafe, uninhabitable, and/or dangerous. The photos submitted by the petitioner indicate portions of the home to be in poor condition, but there are not enough photos to determine the overall condition of the home. Photos submitted by the petitioner indicate two existing vacant lots on this block adjacent to 810 & 827 N. Pine. Staff recommends the Design Commission evaluate this request.

Mr. Bailitz said that he is a life-long resident of Arlington Heights and owns the home at 813 N. Pine that is located adjacent to the home at 803 N. Pine Avenue, which he is currently under contract to purchase, contingent on receiving approval to tear down the home. He explained that because of how his home is set back, there is not much of a backyard for his family of six, and he is looking to expand his yard space by purchasing the home next door and tearing it down. With regards to the condition of the home at 803 N. Pine, which is certainly in disrepair as shown in the photos that he provided, **Mr. Selgrad** is present tonight and can attest to its condition if necessary. **Mr. Bailitz** also pointed out the vacant lot located directly across the street from his home at 810 N. Pine, where the home was torn down approximately 11 years ago and now serves as a vacant side yard to the adjacent home, as well as a similar situation down the street at 827 N. Pine Ave.

Commissioner Fasolo had no objection to tearing down the home, as it appears as though it is unlivable by the photos provided. **Commissioner Fitzgerald** agreed. **Commissioner Bombick**

agreed as well; however, he was concerned about situations like this where vacant lots can sit for a long time and not be maintained, although this did not appear to be a big concern in this case. On behalf of the Village, he pointed out that there are not a lot of small homes in town for people to buy or rent, and it is very expensive to live in Arlington Heights. At one time, this existing home was charming and well maintained, and when these types of homes disappear, all that are left are medium to huge homes, nothing small, which he felt is a concern that the Village should be careful about. Having said this, he did not have an objection to the proposal to tear down the existing home, only words of caution going forward.

Chair Eckhardt said that he saw the trend of development within close proximity of this property, with homes that are 1-½ or 2 lots. He saw no reason why the petitioner should not be able to tear down the adjacent home and expand on outdoor yard space for his family of 6. He added that he was not aware of the code requirement for design review prior to demolition of a home that was not being combined with another lot. **Mr. Hautzinger** clarified the code requirement, and added that the 49'-11 ¼" measured lot width is recorded as 50', which would be considered a buildable lot in the future without a zoning variation.

Commissioner Bombick asked Staff about a new home (teardown) located on Vail Avenue, south of Sigwalt, and the lot next to it that was also a teardown and now appears to be the side yard of the new home. **Mr. Hautzinger** explained that this teardown was not reviewed by the Design Commission because it was inspected by the Village and deemed to be unsafe.

There were no further comments.

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO APPROVE THE PROPOSED DEMOLITION OF THE EXISTING SINGLE-FAMILY HOME AND GARAGE LOCATED AT 803 N. PINE AVENUE. THIS APPROVAL IS BASED ON COMPLIANCE WITH THE PLANS RECEIVED 10/19/15, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND RESOLUTION OF THE FOLLOWING:

- 1. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.**
- 2. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.**

ECKHARDT, AYE; FASOLO, AYE; FITZGERALD, AYE; BOMBICK, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 3. GENERAL MEETING

A MOTION WAS MADE BY COMMISSIONER BOMBICK, SECONDED BY COMMISSIONER FASOLO, TO ADJOURN THE MEETING AT 7:00 P.M.

**FITZGERALD, AYE; FASOLO, AYE; BOMBICK, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. THE MOTION CARRIED.**



Item: DC#15-143 - 1016 N. Fernandez Ave. - Sf/Teardown

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission evaluate the proposed architectural design for the new (teardown) single-family home to be located at 1016 N. Fernandez Avenue. This recommendation is subject to compliance with the architectural plans dated 10/28/15 and received on received 11/4/15, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. Revise the front elevation and exterior colors to further vary the appearance of the proposed design from the house at 939 N. Fernandez.
2. Add additional windows to the side elevations.
3. Wrap the stone wainscot from the front elevation onto the side elevations.
4. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
5. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report
Drawings & Documents

Type

Board or Commission Report
Exhibits

FOR REFERENCE ONLY - 939 N. Fernandez Exhibits
Ave.

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 1016 N. Fernandez Ave.
Project Address: 1016 N. Fernandez Ave.
Prepared By: Steve Hautzinger

Date Prepared: November 17, 2015

PETITION INFORMATION:

DC Number: 15-143
Petitioner Name: Kevin Davis
Petitioner Address: Fairfield Homes Inc.
287 Hickory Rd.
Lake Zurich, IL 60047
Meeting Date: November 24, 2015

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to demolish an existing one and a half story residence and detached garage to allow construction of a new two story residence with an attached, two car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 6,600 square feet and the proposed residence will have 2,969 square feet. The project does comply with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 25 feet Side: 5 feet Side: 5 feet Rear: 30 feet	Front: 25.82 feet Side: 5.84 feet Side: 6.00 feet Rear: 51.14 feet
Building Height	25 feet to the midpoint	24.85 feet to the midpoint
FAR	2,970 SF	2,969 SF
Building Lot Coverage	2,310 SF	1,845 SF
Impervious Surface Coverage Total	3,630 SF	2,487 SF

The existing neighborhood consists of primarily smaller scale, single-story, and one and a half story residences with predominantly detached garages. The proposed new home, if approved, will be the fifth teardown on this block.

On May 12, 2015, this petitioner received Design Commission approval for a teardown to build this same house plan at 939 N. Fernandez Ave. That house is currently under construction and is near completion. 939 N. Fernandez is located across the street and six lots to the south from the subject property. Section 6.4 of Chapter 28 Zoning Regulations states, *no contractor or builder shall construct two or more buildings of like exterior design on the same side of any street unless such buildings are separated by two or more buildings, and they may not be built directly across the street from each other.* This proposal does comply with this requirement, however since there are very few teardowns on this block, it is recommended that the Design Commission evaluate the appropriateness of building the same house plan within relatively close proximity to each other. The floor plans and exterior massing of the two homes are identical, with only a few subtle differences to the exterior proposed. The full stone on the front of the house is changed to a partial height wainscot, and the exterior color package is slightly different.

If the Design Commission decides that the proposed house is appropriate in this location, then additional changes to the front elevation and the exterior colors are recommended to further vary the appearance of the proposed design from the house at 939 N. Fernandez. Additionally, it is recommended that the side elevations be improved with additional windows and the continuation of the stone wainscot from the front elevation onto the sides.

RECOMMENDATION:

It is recommended that the Design Commission evaluate the proposed architectural design for the new (teardown) single-family home to be located at 1016 N. Fernandez Avenue. This recommendation is subject to compliance with the architectural plans dated 10/28/15 and received on received 11/4/15, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. Revise the front elevation and exterior colors to further vary the appearance of the proposed design from the house at 939 N. Fernandez.
2. Add additional windows to the side elevations.
3. Wrap the stone wainscot from the front elevation onto the side elevations.
4. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
5. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

November 17, 2015

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 15-143

A
B
C
D
E

NEW SINGLE FAMILY
RESIDENCE BY:
FAIRFIELD CUSTOM HOMES
AT:
1016 NORTH FERNANDEZ
ARLINGTON HEIGHTS, IL 60004



20 FRONT ELEVATION
A000

1/4"=1'-0"

NOTE TO CONTRACTORS
ALL CONTRACTORS PRIOR TO CONSTRUCTION ARE TO FAMILIARIZE THEMSELVES WITH THE PLANS AND EXISTING CONDITIONS OF THE PROJECT. ALL CONTRACTORS ARE RESPONSIBLE FOR PERFORMING WITHIN INDUSTRY STANDARDS AND TO COMPLY WITH ALL APPLICABLE CODES. NOTIFY ARCHITECT OF ANY CONDITIONS OR DISCREPANCIES ON PLANS WHICH MAY INTERFERE WITH SUCCESSFUL COMPLETION OF THE PROJECT, PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR DEMOLITION.

IECC - INTERNATIONAL ENERGY CONSERVATION CODE
NOTE TO PLAN REVIEWERS, OFFICIALS AND CONTRACTORS
THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE TO THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE AND MEET OR EXCEED ALL APPLICABLE REQUIREMENTS OF SAID CODE.

THE ARCHITECT HAS CHOSEN TO CONFORM TO THE PRESCRIPTIVE METHOD AS ALLOWED FOR IN IECC, CHAPTER 1: "ADMINISTRATION FIGURE(1) IECC SCOPE AND APPLICATION ABSTRACT - RESIDENTIAL, OPTION 1". MEETING OR EXCEEDING ALL APPLICABLE INSULATION VALUES AND SPECIFICATIONS REQUIRED BY THE CODE.

AS SPECIFIED BY THE CODE, OPTION 1, WAVES THE REQUIREMENT OF PERFORMING A "SIMULATED PERFORMANCE ALTERNATIVE" OR "RECHECK" TO EVALUATE THE ENVELOPE. THE PRESCRIPTIVE METHOD EXCEEDS ALL APPLICABLE REQUIREMENTS REQUIRED BY THE CODE AND IS SPECIFICALLY ALLOWED FOR AS A REPLACEMENT FOR THE "SIMULATED PERFORMANCE ALTERNATIVE" OR "RECHECK".

THESE PLANS STATE CERTAIN APPLICABLE ASPECTS OF THE 2012 IECC CODE AND ARE NOT INTENDED TO RESTATE THE ENTIRE CODE OR ACT AS A REPLACEMENT TO THE CODE. ALL CONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE CODE AND FOLLOW THOSE REQUIREMENTS THAT RELATE TO THEIR PARTICULAR TRADE AND ARE RESPONSIBLE FOR SAME.

CODE CONFORMANCE
THE DRAWINGS AND RELATED CONSTRUCTION TO CONFORM WITH THE FOLLOWING:
• 2009 INTERNATIONAL RESIDENTIAL CODE
• 2009 NATIONAL ELECTRICAL CODE
• 2004 STATE OF ILLINOIS PLUMBING CODE
• 2009 INTERNATIONAL MECHANICAL CODE
• 2009 INTERNATIONAL FIRE CODE
• 2012 STATE OF ILLINOIS ENERGY CONSERVATION CODE
• VILLAGE OF ARLINGTON HEIGHTS AMENDMENTS

ARCHITECT'S CERTIFICATION
"I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with all applicable codes."

001-018291 11/16
Exp. Date

DRAWING INDEX

A000	DRAWING INDEX
A100	GENERAL NOTES, FRONT ELEVATION
A101	FOUNDATION PLAN
A102	FIRST FLOOR PLAN
A200	SECOND FLOOR PLAN
A201	FRONT ELEVATION, REAR ELEVATION
A202	RIGHT ELEVATION, LEFT ELEVATION
A203	EXISTING CONTEXT ELEVATION
A300	PROPOSED CONTEXT ELEVATION
A301	ROOF PLAN AND STRUCTURE NOTES, CONSTRUCTION SPECIFICATIONS, WALL SECTIONS, FOUNDATION SECTIONS
A302	LIGHT AND VENT SCHEDULE, WASTE & SUPPLY RISER DIAGRAMS
E101	FIRST FLOOR ELECTRIC PLAN,
E102	SECOND FLOOR ELECTRIC PLAN

DESIGN LOADING VALUES			
ROOF	30 PSF LIVE LOAD	WALLS	20 PSF WIND FOR 0-20 FT. HEIGHT
CEILING	20 PSF LIVE LOAD		25 PSF WIND FOR 21-29 FT. HEIGHT
FLOOR	60 PSF LIVE FOR EXTERIOR BALCONY		30 PSF WIND FOR 30 FT. AND ABOVE
	40 PSF LIVE FOR FLOORS, DECKS, STAIRS	SOIL	3000 PSF ASSUMED MINIMUM BEARING CAPACITY. CONTACT ARCHITECT IF LESS

FOUNDATION NOTES:
• SEE FOUNDATION PLAN AND SECTIONS FOR HEIGHT OF FOUNDATION WALLS
• ALL FOUNDATION WALLS OVER 8'-0" TALL TO BE A MINIMUM OF 10" THICK (SEE SECTIONS)
N/A • ALL FOUNDATION WALLS WITH BROOK ABOVE TO BE A MINIMUM OF 10" THICK (SEE SECTIONS)
N/A • ALL EXTERIOR WALLS WITH BROOK ABOVE TO BE A MINIMUM OF 10" THICK (SEE SECTIONS)
• EXTERIOR WALL FINISHES SHOWN ON ELEVATIONS (BROOK OR FRAME)
N/A • ALL EXTERIOR WALKOUT OR BENCH BASEMENT FRAME WALLS 6" WITH 1/2" INSUL SHEATHING
• STRENGTH OF CONCRETE AFTER 28 DAYS TO BE 3000 PSI FOR CONCRETE WALLS AND 3500 PSI FOR CONCRETE SLAB AND EXTREME CONDITIONS
• ALL FLOORS, STEPS AND GARAGE FLOOR SLABS SHALL BE A MIN. OF 3500 PSI AND BETWEEN 5% & 7% AIR ENTRAINMENT
• SOILS REPORT PROVIDED BY OTHERS SHALL VERIFY THE SOIL BEARING CAPACITY PRIOR TO CONCRETE PLACEMENT, CONTACT ARCHITECT IF LESS THAN 3,000 PSF.

WINDOW NOTES:
N/A • TOP OF WINDOUT WINDOW 6'-0" AFF.
• TOP OF WINDOWS 94 3/4" ABOVE SUB-FLOOR FOR 9'-0" PLATES, UNLESS OTHERWISE NOTED
• TOP OF WINDOWS 82 3/4" ABOVE SUB-FLOOR FOR 8'-0" PLATES, UNLESS OTHERWISE NOTED
• ALL WINDOWS ARE DESIGNATED IN ROOMY OPENING, SHOWN IN FEET AND INCHES
EXAMPLE: 2555 = 2'-5" X 5'-5" TO BE MET WITH 2" OR EXCEEDED
• PROVIDE (2) 2 X 12'S ABOVE ALL WINDOWS AND OPENINGS UNLESS OTHERWISE NOTED
• PROVIDE SAFETY GLASSING IN ALL WINDOWS WITHIN 24" OF ANY DOOR, WITHIN 18" OF FLOOR, IN TUB/SHOWER ENCLOSURES, AND IN STAIR WELLS

STRUCTURAL NOTES:
• DOUBLE JOISTS UNDER ALL BEARING PARALLEL PARTITIONS, KITCHEN ISLANDS AND POINT LOADS
• ALL INTERIOR PARTITIONS 3-1/2" UNLESS OTHERWISE NOTED
• ALL EXTERIOR WALLS 4-1/2" (2x4 WITH 1" SHEATHING)
N/A • ALL EXTERIOR BRICK WALLS 8-1/2" (2x4 W/1/2" SHEATHING AND 1" AIR SPACE)
N/A • ALL EXTERIOR BRICK WALLS 11" (2x6 W/1/2" SHEATHING AND 1" AIR SPACE)
• ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR OF WALL SHEATHING OR BROOK
N/A • PROVIDE 2" X 12'S ABOVE 16'-0" ST. ANGLE LLV. ABOVE OPENINGS UP TO 9" WIDE WITH BROOK ABOVE
N/A • PROVIDE 2" X 12'S ABOVE 16'-0" ST. ANGLE LLV. ABOVE OPENINGS FROM 9" TO 16" WIDE WITH BROOK ABOVE
N/A • PROVIDE 2" X 12'S ABOVE 16'-0" ST. ANGLE LLV. ABOVE 16'-0" & 18'-0" WIDE OVERHEAD DOORS WITH UP TO 2" OF BROOK ABOVE
N/A • PROVIDE 2" X 12'S ABOVE 16'-0" ST. ANGLE LLV. ABOVE 16'-0" & 18'-0" WIDE OVERHEAD DOORS WITH MORE THAN 2" OF BROOK ABOVE
• STEEL FABRICATOR SHALL PROVIDE ALL MISCELLANEOUS CONNECTORS AND SHIMS FOR A COMPLETE INSTALLATION
• WALLS SHALL BE BRACED AT EACH END AND 25' O.C. MAX.

N/A • ALL 2 X 10 FLOOR JOISTS OVER 14'-0" IN LENGTH TO BE HE-M-FIR #2 OR BETTER (CANADIAN, NORTHERN AND SOUTHERN ACCEPTABLE) (SPURCE-PINE-FIR #2 STANDARD)
N/A • ALL 2 X 12 FLOOR JOISTS OVER 16'-0" IN LENGTH TO BE HE-M-FIR #2 OR BETTER (CANADIAN, NORTHERN AND SOUTHERN ACCEPTABLE) (SPURCE-PINE-FIR #2 STANDARD)
• THE DIAMETER OF HOLES BORED INTO SOLID SAWN MEMBERS SHALL NOT EXCEED 1/3 THE DEPTH OF THE MEMBER AND SHALL NOT BE CLOSER THAN 2" FROM THE TOP OR BOTTOM OF THE MEMBER OR TO ANY OTHER HOLE.
• THE DIAMETER OF HOLES BORED INTO PRE-ENGINEERED MEMBERS SHALL BE APPROVED BY THE MANUFACTURER.
• PROVIDE PRE-ENGINEERED FLOOR JOIST MANUFACTURER'S INSTALLATION INSTRUCTIONS ON THE JOIST AT THE TIME OF INSPECTIONS.
• PRE-ENGINEERED FLOOR JOIST TO BE BY TRUSTED JOIST MANUFACTURER OR EQUIVALENT PER MANUFACTURER'S RECOMMENDATIONS.
• PRE-ENGINEERED FLOOR JOIST SUPPLIER SHALL PROVIDE JOIST LAYOUT FROM MANUFACTURER PRIOR TO FRAMING.
• 2" X 4" IN INTERIOR PARTITIONS W/DOOR, JST. BELOW UNLESS OTHERWISE NOTED
• 2" X 4" IN INTERIOR PARTITIONS W/DOOR, JST. BELOW UNLESS OTHERWISE NOTED
• ALL EXTERIOR WALLS OVER 10'-0" TALL TO BE 2 X 6 @6" O.C. STUD WALLS
• ADD 2 X HORIZONTAL BLOCKING, SAME WIDTH AS STUDS, BETWEEN STUDS IN EXTERIOR WALLS OVER 6'-0" IN HEIGHT, FASTENED EXTERIOR SHEATHING TO BLOCKING AND TO STUDS.
• MINIMUM OF 38" HALF WALLS IN ALL CONDITIONS
• FIREBLOCKING SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:
- CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING STAGGERED OR PARALLEL RUNS OF STUDS, VERT. AT CEILING AND FLOOR LEVELS AND HORIZ. AT 10'-0" INTERVALS
- ALL INTERCONNECTING BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND CROWN MOULDINGS
- CONCEALED SPACES BETWEEN STAR STRINGERS AT TOP AND BOTTOM OF THE RUN
- OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVEL, WITH NONCOMBUSTIBLE MATERIALS

STAIR NOTES
• STAIRS SHALL HAVE MINIMUM 7'-0" RISER HEIGHTS & MINIMUM 10" TREAD DEPTHS
• GUARDRAILS SHALL HAVE SPACING SUCH THAT THEY WILL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE
• PROVIDE A MINIMUM OF 6'-8" CLEAR HEADROOM FOR STAIRS IN ALL CONDITIONS. PROVIDE FULL LENGTH CONTINUOUS HANDRAIL 36" IN HEIGHT AT ALL STAIR RUNS WITH 4 OR MORE RISERS. SHAL HANDRAILS TO BE RETURNED OR TERMINATE IN NEWEL POST.

ELECTRICAL NOTES
• KITCHEN OUTLETS MAXIMUM 48" O.C., ALL OUTLETS ABOVE COUNTER TOP TO BE GFI
• ALL OUTLETS WITHIN 12" OF SINK IN LAUNDRY ROOM AND ALL OUTLETS IN GARAGE TO BE GFI
• MAXIMUM OF 12'-0" BETWEEN TYPICAL ROOM OUTLETS UNLESS OTHERWISE NOTED
• VERIFY THAT NO POINT ALONG ANY WALL 2'-0" LONG OR LONGER IN ANY HABITABLE ROOM TO BE MORE THAN 6'-0" FROM AN OUTLET.
• ALL ELECTRICAL CONDUCTORS ARE TO BE SOLID COPPER IN ELECTRICAL METALLIC TUBING
• ALL ELECTRICAL SHALL BE RMC FAULT PROTECTED
• ALL 15 & 20 AMP OUTLETS SHALL BE TAMPER RESISTANT
• ALL CEILING OUTLET ELECTRICAL BOXES SHALL BE CAPABLE OF SUPPORTING A CEILING FAN
• RECESSED INCANDESCENT OR SURFACE MOUNTED FLUORESCENT LIGHT FIXTURES IN CLOSETS SHALL BE LOCATED A MIN. OF 4" IN FRONT OF THE TOP SHELF AND SURFACE MOUNTED INCANDESCENT FIXTURES IN WALK-IN CLOSETS SHALL BE AT LEAST 12" IN FRONT OF TOP SHELF AND SHALL BE FULLY ENCLOSED WITH A GLOBE. SURFACE MOUNTED INCANDESCENT LIGHT FIXTURES ARE NOT PERMITTED IN CLOSETS OTHER THAN WALK-IN.
• PROVIDE 3 SEPARATE 20 AMP CIRCUITS FOR THE REFRIGERATOR, MICROWAVE AND DISPOSAL/DISHWASHER
• PROVIDE 36" DEEP X 30" WIDE X 6'-6" HIGH CLEAR AREA IN FRONT OF ELECTRICAL PANEL.

PLUMBING NOTES
• PROVIDE GAS SHUTOFF VALVES TO ALL GAS APPLIANCES AND FIREPLACES
• ALL FRAMING DRILLED FOR PLUMBING VENTS OR SIMILAR HOLES TO BE IN A MINIMUM WALL OF 2 X 6 STUDS.
• ALL WATER LINES TO A SECOND FLOOR TO HAVE 18" AIR CHAMBERS
ABOVE GROUND WASTE - SCHEDULE 40 PVC, 1120 SERIES
BELOW GROUND WASTE - SCH 40 PVC OR CAST IRON
ABOVE GROUND WATER - CPVC
BELOW GROUND WATER - CPVC
• COLORED PRIMER AND STACK TEST REQUIRED ON ALL PVC PIPING
• 75LB. AIR OR WATER PRESSURE TEST REQUIRED ON WATER PIPING
• UNDERGROUND SANITARY SHALL BE 4" MIN.

HVAC NOTES:
• HVAC CONTRACTOR TO VERIFY LOCATION OF HVAC IN FIELD.
• WHEN PROVIDING AN ATTIC FURNACE, PROVIDE A SMOKE DETECTOR AN OVERFLOW PAN WITH A DRAIN AND AUTO SHUT OFF VALVE (FOR DRAIN BACK UP) ALONG WITH ANY OTHER REQUIREMENTS WHICH MAY BE NEEDED TO SATISFY LOCAL AND NATIONAL BUILDING CODES
• DUCT JOINTS AND SEAMS SHALL BE MADE SUBSTANTIALLY AIR TIGHT.
• DUCTS SHALL BE SUPPORTED AT 10'-0" INTERVALS MIN.

SYMBOLS:		TYP. "TYPICAL"	
TELEVISION JACK	TELEPHONE JACK	U.A.O.	"UNLESS NOTED OTHERWISE"
DUPLEX OUTLET	SWITCHED DUPLEX OUTLET	GAS HOOKUP	
DUAL OUTLET	SWITCH	FROST PROOF HOSE BB	
EXHAUST FAN VENTED TO EXTERIOR		FLUORESCENT LIGHT FIXTURE	
EXHAUST FAN/LIGHT, VENTED TO EXTERIOR		A/C HARD WIRED CARBON MONOXIDE DETECTOR W/BATTERY BACKUP	
RECESSED CAN LIGHT		110V SMOKE DETECTOR	
WALL MOUNTED LIGHT FIXTURE		WIRED IN SERIES W/BATTERY BACKUP RUN ON DEDICATED CIRCUIT	
CEILING MOUNTED LIGHT FIXTURE		SHOWER HEAD	
EXTERIOR SPOT LT. WITH MOTION DET.		FLOOR DRAIN	
FAN/LIGHT CEILING MOUNTED FIXTURE		5 SHELVES	
AUDIO SYSTEM OUTLET JACK		1 SHELF, 1 ROD	
		SPR	SPRINKLER HEAD

5
4
3
2
1

REVISIONS
CONCEPTUAL DESIGN
PRELIMINARY DESIGN
DESIGN DEVELOPMENT
FINAL DESIGN
PERMIT
REVISION

FAIRFIELD CUSTOM HOMES
DAVIS RESIDENCE
1016 NORTH FERNANDEZ
ARLINGTON HEIGHTS, IL 60004

GENERAL NOTES
DRAWING INDEX
FRONT ELEVATION

Architects & Planners, Inc.
2000 Delan Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-5200 Fax: 815-788-9201

ALA

Job Number: 15213
Sheet Number: A000
File Name: 15213000

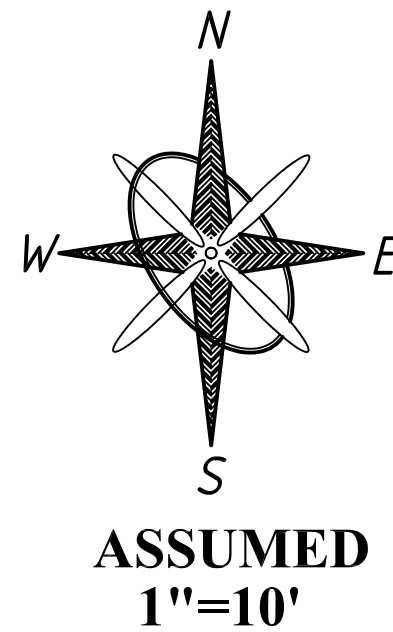
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PLAT OF SURVEY

OF
LOT 2 IN BLOCK 2 IN R. A. CEPEK'S ARLINGTON RIDGE, BEING A SUBDIVISION OF THAT PART OF THE WEST HALF (EXCEPT THE EAST 33 FEET THEREOF) OF THE NORTHEAST QUARTER, AND OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTHEASTERLY LINE OF NORTHWEST HIGHWAY, SAID NORTHEASTERLY LINE OF HIGHWAY BEING 66 FEET NORTHEASTERLY OF AND PARALLEL TO THE NORTHEASTERLY LINE OF C. & N.W. RAILWAY RIGHT OF WAY, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 2, 1925 AS DOCUMENT NUMBER 270771 IN COOK COUNTY, ILLINOIS.

ADDRESS : 1016 NORTH FERNANDEZ AVENUE, ARLINGTON HEIGHTS, ILLINOIS 60004.

OAKTON STREET



STORM MH
88.19' NORTH
RM=100.44
INV.=90.19
DID NOT SEE PIPE

SAN. MH
RIM=99.75
INV.=89.18

SAN. MH
RIM=99.75
INV.=89.18

AVENUE

FERNANDEZ

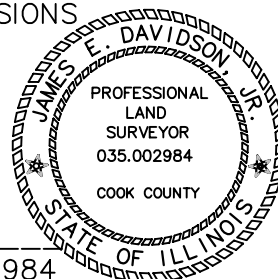
STORM MH
RIM=100.42
219.93' SOUTH
INV.=94.92 S
INV.=95.02 NW
INV.=95.02 NE

STATE OF ILLINOIS } SS
COUNTY OF COOK }

WE, CHRISTIAN-ROGE AND ASSOCIATES, INC. HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR AND THAT SAID SURVEY CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. ALL DIMENSIONS ARE IN FEET AND DECIMALS PARTS THEREOF.

IN CHICAGO, ILLINOIS THIS 9th DAY
OF OCTOBER A.D., 2015.

ILLINOIS PROFESSIONAL LAND SURVEYOR # 035.002984
EXPIRES 11/30/2016



LOT 2 BLOCK 2

SHEET NO.

2

OF 6

DATE: 10-12-15

JOB NO. 15-040

1016 N. FERNANDEZ AVE., ARLINGTON HEIGHTS, IL.

PREPARED FOR:

FAIRFIELD CUSTOM HOMES, LLC
287 HICKORY ROAD
LAKE ZURICH, IL 60047
(847) 456-8017

CHRISTIAN-ROGE &
ASSOCIATES, INC.

ENGINEERS - PLANNERS - SURVEYORS
730 WEST RANDOLPH, 5th FLOOR
CHICAGO, ILLINOIS 60661
(312) 207-2700 & (312) 372-2023



- LEGEND
- INDICATES WATER VALVE VAULT
 - INDICATES SANITARY/STORM MANHOLE
 - INDICATES CRITICAL ROOT W/ TREE SIZE
 - INDICATES EXISTING TREE
 - INDICATES POWER POLE
 - INDICATES 4' CHAIN LINK FENCE
 - INDICATES WATER SERVICE B-BOX
 - INDICATES GUY ANCHORS
 - INDICATES OVERHEAD WIRES
 - INDICATES CLEANOUT
 - INDICATES EXISTING PINE BUSH
 - INDICATES SANITARY SEWER
 - INDICATES STORM SEWER
 - INDICATES WATERMAIN

BENCHMARKS

SITE #1: TOP OF CURB ADJACENT TO THE SOUTH PROPERTY LINE OF # 1016 N. FERNANDEZ AVE. ARLINGTON HEIGHTS, IL

ELEVATION = 98.14 PER ASSUMED DATUM

SITE #2: RIM OF SANITARY MANHOLE ±43 FEET OF 1016 N. FERNANDEZ AVE. ARLINGTON HEIGHTS, IL (SUBJECT PROPERTY)

ELEVATION = 99.75 SET BY CRA FROM ASSUMED DATUM

NOTE: ANY AND ALL PARTIES UTILIZING THE VERTICAL DATUM LISTED ABOVE SHALL ALWAYS CHECK INTO AT LEAST TWO (2) BENCHMARKS TO AVOID MISTAKES DUE TO HYDRANT ADJUSTMENTS OR TRANSPOSITIONAL ERRORS. FAILURE TO DO SO WILL BE CONSIDERED TANTAMOUNT TO GROSS NEGLIGENCE AND SUBJECT THE OFFENDING PARTY TO ANY DAMAGES ATTENDANT THERETO.

NOTES:

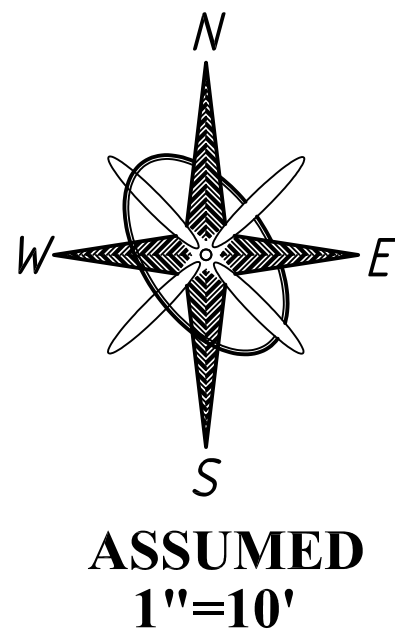
- FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, TITLE POLICY, ZONING ORDINANCE, ETC.
- SUBDIVISION DOCUMENT NUMBER 270771 WAS USED FOR MATTERS OF RECORD.
- COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCE AT ONCE. CONTACT UTILITY COMPANIES BEFORE BUILDING.
- ALL LOT CORNERS HAVE BEEN SET, FOUND OR OFF SET.
- THE FIELD NOTES FOR THIS SURVEY WERE COMPLETED ON OCTOBER 9, 2015 BY SCOTT QUINN OF THIS OFFICE.

- LEGEND
- M= INDICATES MEASURED DISTANCE
 - BOLD # INDICATES RECORD OR DEED DISTANCE
 - U.E. INDICATES UTILITY EASEMENT
 - NE INDICATES NORTHEASTERLY DIRECTION
 - SW INDICATES SOUTHWESTERLY DIRECTION
 - FIR INDICATES FOUND IRON ROD
 - FIP INDICATES FOUND IRON PIPE
 - x- INDICATES FENCE

SITE PLAN / GRADING PLAN

OF
LOT 2 IN BLOCK 2 IN R. A. CEPEK'S ARLINGTON RIDGE, BEING A SUBDIVISION OF THAT PART OF THE WEST HALF (EXCEPT THE EAST 33 FEET THEREOF) OF THE NORTHEAST QUARTER, AND OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTHEASTERLY LINE OF NORTHWEST HIGHWAY, SAID NORTHEASTERLY LINE OF HIGHWAY BEING 66 FEET NORTHEASTERLY OF AND PARALLEL TO THE NORTHEASTERLY LINE OF C. & N.W. RAILWAY RIGHT OF WAY, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 2, 1925 AS DOCUMENT NUMBER 270771 IN COOK COUNTY, ILLINOIS.

ADDRESS : 1016 NORTH FERNANDEZ AVENUE, ARLINGTON HEIGHTS, ILLINOIS 60004.



- LEGEND
- × 840.0 INDICATES PROPOSED SPOT ELEVATION
 - +841.2 INDICATES EXISTING SPOT ELEVATION
 - ⊙ INDICATES WATER VALVE VAULT
 - ⊙ INDICATES SANITARY/STORM MANHOLE
 - 12" INDICATES CRITICAL ROOT W/ TREE SIZE
 - ⊙ INDICATES EXISTING TREE
 - ⊗ INDICATES TREE TO BE REMOVED
 - 623-- INDICATES EXISTING CONTOUR
 - INDICATES TRENCH BACKFILL
 - ⊙ INDICATES INLET PROTECTION
 - INDICATES EXISTING WATERMAIN
 - INDICATES STRUCTURE TO BE REMOVED
 - INDICATES POWER POLE
 - X— INDICATES 4' CHAIN LINK FENCE
 - ⊙ B.BOX INDICATES WATER SERVICE B-BOX
 - INDICATES GUY ANCHORS
 - OHV— INDICATES OVERHEAD WIRES
 - c.o. INDICATES CLEANOUT
 - ⊙ INDICATES EXISTING PINE BUSH
 - INDICATES SANITARY SEWER
 - INDICATES STORM SEWER
 - INDICATES WATERMAIN
 - INDICATES TREE PROTECTION FENCE
 - INDICATES SILT FENCE
 - X—X— INDICATES TEMPORARY CONSTRUCTION FENCE

GENERAL NOTES

1. THE CONTRACTOR SHALL CONTACT JULIE (1-800-892-0123) PRIOR TO EXCAVATION WORK (INCLUDE SECTION, TOWNSHIP, AND RANGE NUMBER OF PROPERTY WITH NOTE).
2. THE VILLAGE OF ARLINGTON HEIGHTS MUST HAVE 48 HOURS NOTICE PRIOR TO THE COMMENCEMENT OF ANY APPROVED CONSTRUCTION ACTIVITY.
3. PERMITS SHALL BE OBTAINED FROM ALL OUTSIDE GOVERNMENTAL AGENCIES HAVING JURISDICTION PRIOR TO VILLAGE APPROVAL OF CONSTRUCTION ACTIVITIES.
4. WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS SUBJECT TO THE SPECIFIC APPROVAL OF THE VILLAGE ENGINEER.
5. ALL STRUCTURE ADJUSTMENTS SHALL BE ACCOMPLISHED USING ONLY CONCRETE RINGS NOT TO EXCEED 8" WITH APPROPRIATE MASTIC OR MORTAR.
6. EXISTING FIELD TILES ENCOUNTERED DURING DESIGN OR CONSTRUCTION SHALL BE REDIRECTED OR INCLUDED IN A MANNER ACCEPTABLE TO THE VILLAGE ENGINEER. ANY AND ALL FIELD TILES ENCOUNTERED SHALL BE IMMEDIATELY REPORTED TO THE VILLAGE ENGINEER OR FIELD REPRESENTATIVE.
7. THE BUILDER SHALL BE RESPONSIBLE FOR ALL ADJUSTMENTS BEFORE AND AFTER FINAL INSPECTION, PRIOR TO FINAL ACCEPTANCE BY THE VILLAGE OF ARLINGTON HEIGHTS.
8. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, TITLE POLICY, ZONING ORDINANCE, ETC. COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCE AT ONCE. CONTACT UTILITY COMPANIES BEFORE BUILDING.
9. ALL BUILDING TIES ARE MEASURED TO CONCRETE FOUNDATION DURING SPOT SURVEY.
10. IRON PIPES SET OR FOUND AT ALL LOT CORNERS DURING FINAL GRADE & UPDATE SURVEY.
11. SANITARY SERVICE STUBS AND B-BOX LOCATIONS ARE AS-BUILT LOCATIONS. ANY CONFLICTS CREATED BY CUSTOM BUILDING DESIGNS AND ALTERNATE GARAGE HANDING OR LOADS THAT CAUSE ADDITIONAL CONSTRUCTION COSTS WILL BE THE RESPONSIBILITY OF FAIRFIELD CUSTOM HOMES..
12. ALL YARD SLOPES WILL BE A MAXIMUM OF 4:1, UNLESS OTHERWISE NOTED.
13. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF WORK.

BENCHMARKS

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ELEVATION = 98.14 PER ASSUMED DATUM

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NOTE: ANY AND ALL PARTIES UTILIZING THE VERTICAL DATUM LISTED ABOVE SHALL ALWAYS CHECK INTO AT LEAST TWO (2) BENCHMARKS TO AVOID MISTAKES DUE TO HYDRANT ADJUSTMENTS OR TRANSPONENTIAL ERRORS. FAILURE TO DO SO WILL BE CONSIDERED TANTAMOUNT TO GROSS NEGLIGENCE AND SUBJECT THE OFFENDING PARTY TO ANY DAMAGES ATTENDANT THERETO.

DRIVE CONSTRUCTION SPECIFICATIONS:

- ★ DRIVEWAY SHALL BE CONSTRUCTED OF 6" THICK PORTLAND CEMENT OVER 6" CRUSHED STONE BASE. THE DRIVEWAY APPROACH SHALL NOT CONTAIN ANY METAL REINFORCEMENT. THE DRIVEWAY SHALL BE A MAXIMUM OF 20' IN WIDTH AT THE PROPERTY LINE.

SERVICES

- △ 6" SDR-26 P.V.C. SANITARY SERVICE
- △ 1-1/2" TYPE "K" COPPER WATER SERVICE
- △ 4" P.V.C. SUMP DISCHARGE IN ACCORDANCE WITH VILLAGE CODE MIN. 1.0 % SLOPE. DAYLIGHT TO GRADE.

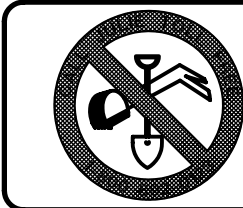
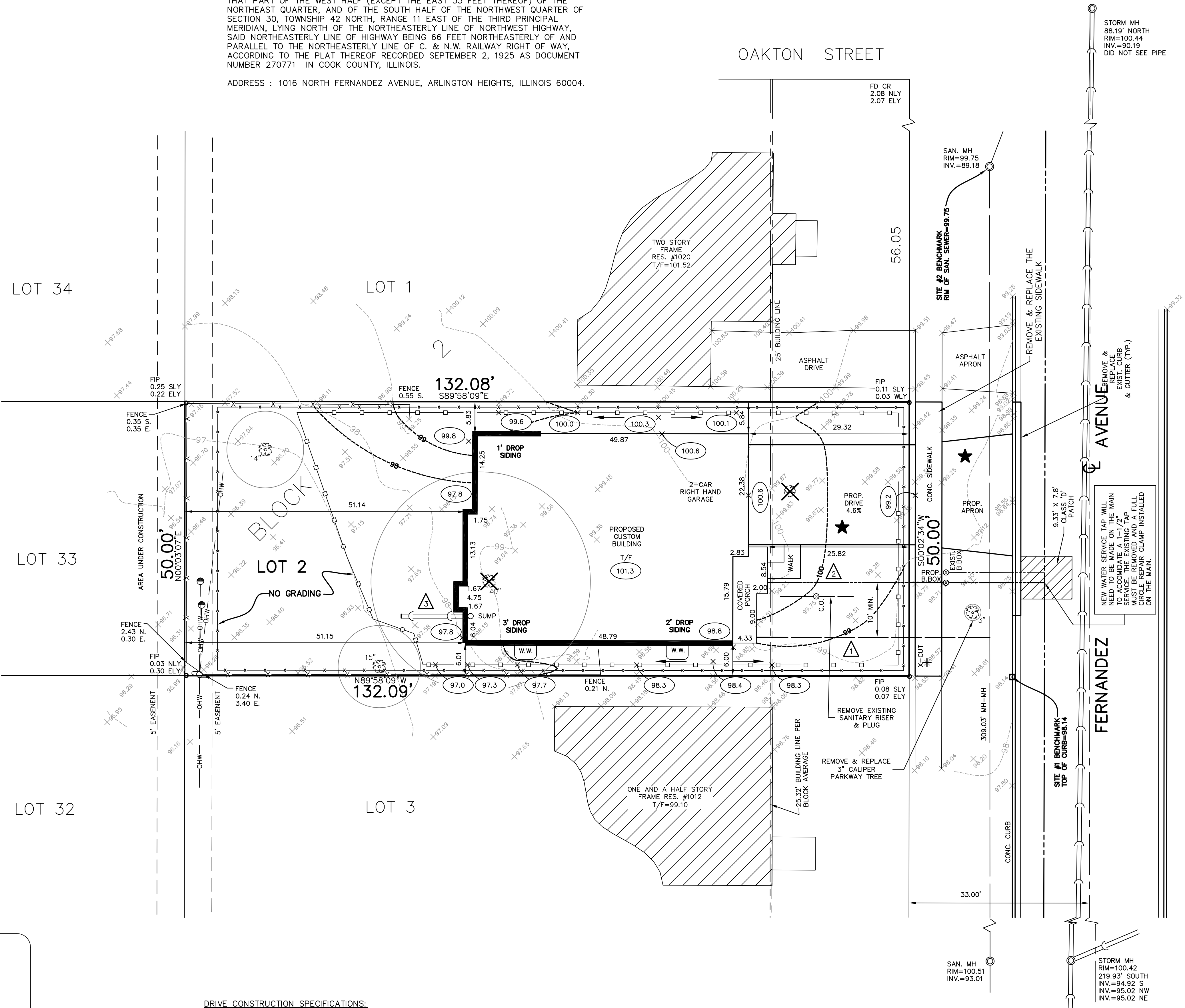
UTILITY PIPE SPECIFICATIONS:

SANITARY SEWER

- Pipe PVC, SDR - 26, meeting requirements of ASTM - 3034 Gasketed Joint / Cell Classification 12454 - B
- Service Lateral 6" PVC SCH40 or better, SDR - 26, meeting requirements of ASTM - 3034 Gasketed Joint / Cell Classification 12454 - B Minimum 1.0% Slope

WATERMAIN

- Service Line 1-1/2" Type K Copper, or as required by plumbing code Double Banded Stainless Steel Tapping Sleeve with 1" corporation stop All nuts and bolts below grade shall be stainless steel
- Tapping Saddle
- Hardware
- B-Box Mueller H - 10300 Upper section inside diameter 1 1/4" Mueller H - 10302 Upper section inside diameter 1 1/2"



CALL **JULIE**
48 Hours (2 working days) Before You Dig.
1-800-892-0123

1016 N. FERNANDEZ AVE., ARLINGTON HEIGHTS, IL.

PREPARED FOR:
FAIRFIELD CUSTOM HOMES, LLC
287 HICKORY ROAD
LAKE ZURICH, IL 60047
(847) 456-8017

CHRISTIAN-ROGE & ASSOCIATES, INC.
ENGINEERS - PLANNERS - SURVEYORS
730 WEST RANDOLPH, 5th FLOOR
CHICAGO, ILLINOIS 60661
(312) 207-2700 & (312) 372-2023



SHEET NO.

4

OF 6

DATE: 10-26-15
JOB NO. 15-040

LOT 2 BLOCK 2

Single-Family Home Application and Procedures

Village of Arlington Heights

1016 N FERNANDEZ

Arlington Heights IL 60005



PROPERTY TO LEFT 3
1002 N FERNANDEZ



PROPERTY TO LEFT 2
1008 N FERNANDEZ



PROPERTY TO LEFT 1
1012 N FERNANDEZ



SUBJECT PROPERTY
1016 N FERNANDEZ



PROPERTY TO RIGHT 1
1020 N FERNANDEZ

PROPERTY TO RIGHT 2 & 3
NONE

NORTH FERNANDEZ



PROPERTY ACROSS 1
1019 N FERANDEZ



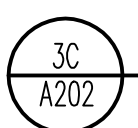
PROPERTY ACROSS 2
1015 N FERNANDEZ



PROPERTY ACROSS 3
1101 N FERNANDEZ

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



$$1/6'' = 1' - 0''$$


$$1/6'' = 1' - 0''$$


$$1/6'' = 1' - 0''$$


$$1/6'' = 1' - 0''$$


$$1/6'' = 1' - 0''$$

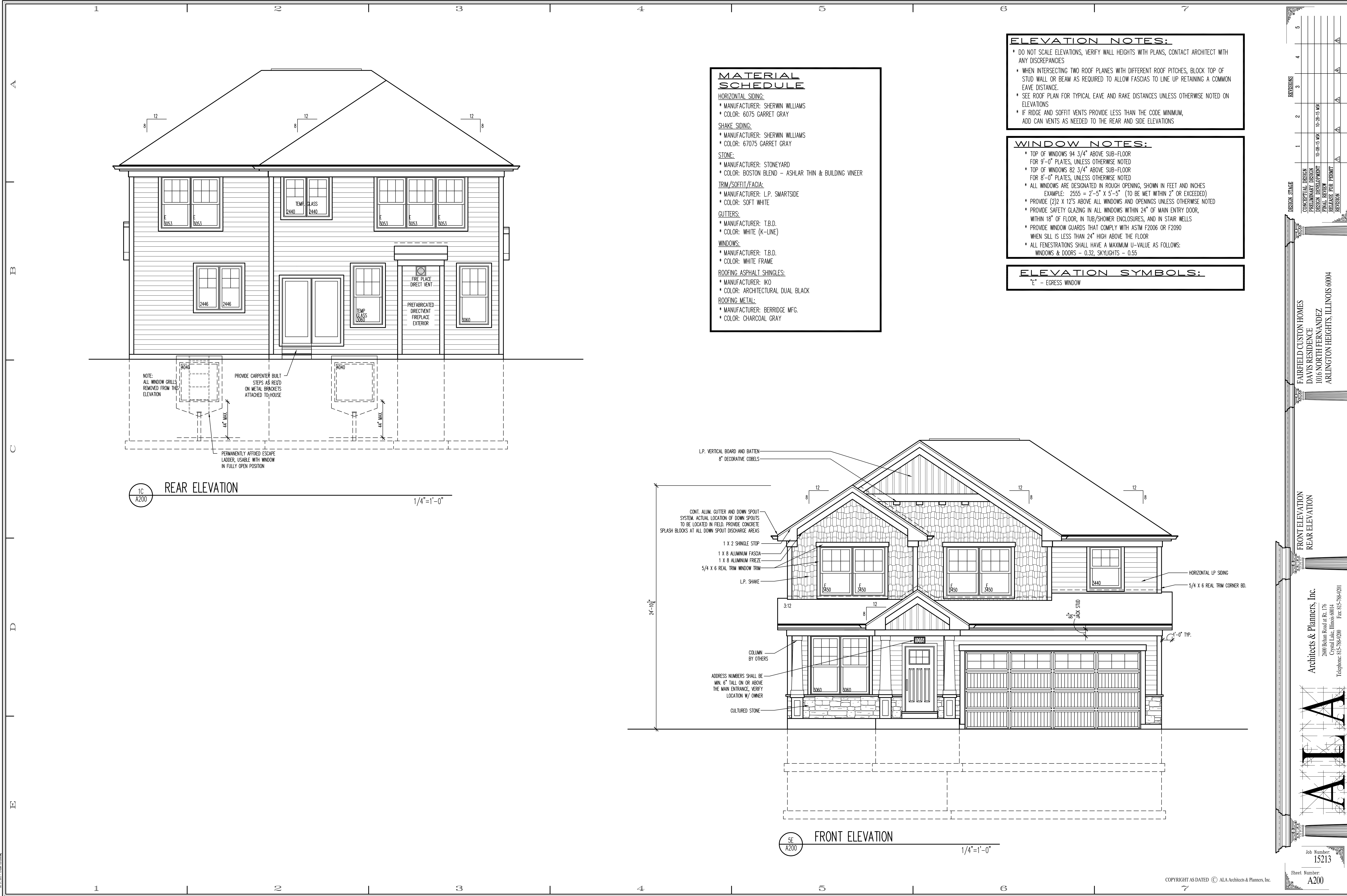

$$1/6'' = 1' - 0''$$

Job Number
15213

Architects & Planners, Inc.
2000 Ritten Road at Rt. 726
Coral Gables, Florida 33104
Telephone: 305-288-0200
Fax: 305-288-0970

Job Number: 15213
Sheet Number: A202





ELEVATION NOTES:

- * DO NOT SCALE ELEVATIONS, VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
- * WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE.
- * SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
- * IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS

WINDOW NOTES:

- * TOP OF WINDOWS 94 3/4" ABOVE SUB-FLOOR FOR 8'-0" PLATES, UNLESS OTHERWISE NOTED
- * TOP OF WINDOWS 82 3/4" ABOVE SUB-FLOOR FOR 8'-0" PLATES, UNLESS OTHERWISE NOTED
- * ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET AND INCHES
EXAMPLE: 2555 = 2'-5" X 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED)
- * PROVIDE (2)2 X 12'S ABOVE ALL WINDOWS AND OPENINGS UNLESS OTHERWISE NOTED
- * PROVIDE SAFETY GLAZING IN ALL WINDOWS WITHIN 24" OF MAIN ENTRY DOOR, WITHIN 18" OF FLOOR, IN TUB/SHOWER ENCLOSURES, AND IN STAIR WELLS
- * PROVIDE WINDOW GUARDS THAT COMPLY WITH ASTM F2006 OR F2090 WHEN SILL IS LESS THAN 24" HIGH ABOVE THE FLOOR
- * ALL FENESTRATIONS SHALL HAVE A MAXIMUM U-VALUE AS FOLLOWS:
WINDOWS & DOORS - 0.32, SKYLIGHTS - 0.55

ELEVATION SYMBOLS:

"E" - EGRESS WINDOW

MATERIAL SCHEDULE

HORIZONTAL SIDING:

- * MANUFACTURER: SHERWIN WILLIAMS
- * COLOR: 6075 GARRET GRAY

SHAKE SIDING:

- * MANUFACTURER: SHERWIN WILLIAMS
- * COLOR: 67075 GARRET GRAY

STONE:

- * MANUFACTURER: STONEYARD
- * COLOR: BOSTON BLEND - ASHLAR THIN & BUILDING VINEER

TRIM/SOFFIT/FACIA:

- * MANUFACTURER: L.P. SMARTSIDE
- * COLOR: SOFT WHITE

GUTTERS:

- * MANUFACTURER: T.B.D.
- * COLOR: WHITE (K-LINE)

WINDOWS:

- * MANUFACTURER: T.B.D.
- * COLOR: WHITE FRAME

ROOFING ASPHALT SHINGLES:

- * MANUFACTURER: IKO
- * COLOR: ARCHITECTURAL DUAL BLACK

ROOFING METAL:

- * MANUFACTURER: BERRIDGE MFG.
- * COLOR: CHARCOAL GRAY

REAR ELEVATION

1/4"=1'-0"

FRONT ELEVATION

1/4"=1'-0"

DESIGN STAGE	REVISIONS
CONCEPTUAL DESIGN	1
PRELIMINARY DESIGN	2
DESIGN DEVELOPMENT	3
FINAL DESIGN	4
PERMIT REVIEW	5
RELEASE FOR PERMIT	6

FAIRFIELD CUSTOM HOMES
DAVIS RESIDENCE
1016 NORTH FERNANDEZ
ARLINGTON HEIGHTS, ILLINOIS 60004

FRONT ELEVATION
REAR ELEVATION

Architects & Planners, Inc.
2000 Debra Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax: 815-788-9201

ALA
Job Number: 15213
Sheet Number: A200
File Name: 15213200

Fairfield Homes, Inc.
1016 N Fernandez Ave
Material Schedule

ITEM	MATERIAL	MANUFACTURER	COLOR
Brick	N/A	N/A	N/A
Roof	Asphalt Shingles	Tamko	Architectural - Weathered Wood
Siding	Wood	LP	Smartside - SW7046 Anonymous
Gutters/Trim/Fascia	Aluminum		White
Windows	Vinyl	Simonton	White
Garage Door	Steel	Hormann	Timberlast - Walnut
Stone	Cultured Stone	Owens Corning	Pro-Line Niagara Weatheredge

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NOV - 4 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

 **FILE**

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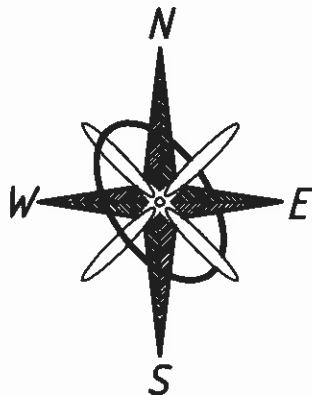
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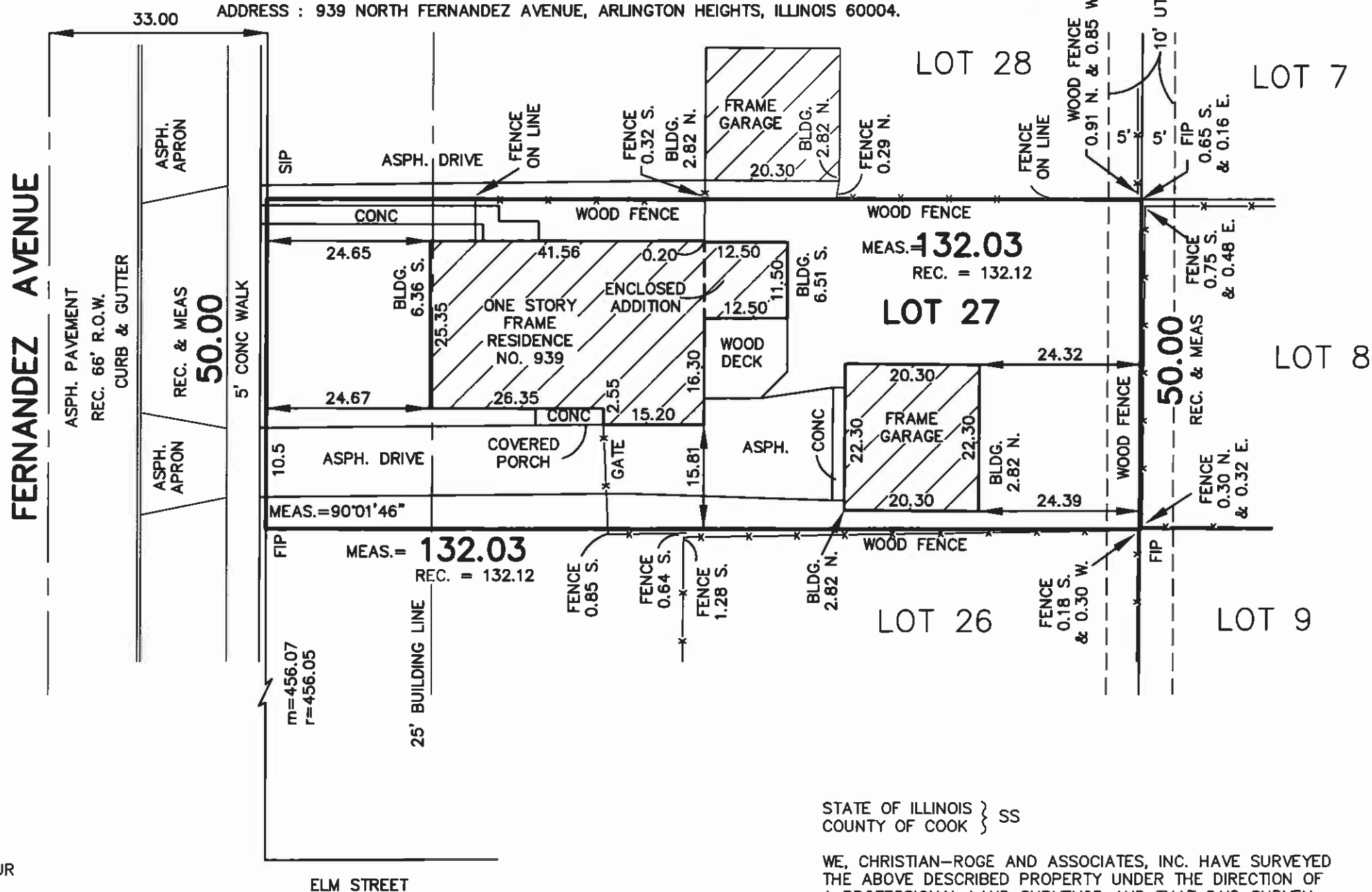
1"=20'

ASSUMED

PLAT OF SURVEY

OF
LOT 27 IN BLOCK 1 IN R. A. CEPEK'S ARLINGTON RIDGE, BEING A SUBDIVISION OF THAT PART OF THE WEST HALF (EXCEPT THE EAST 33 FEET THEREOF) OF THE NORTHEAST QUARTER, AND OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTHEASTERLY LINE OF NORTHWEST HIGHWAY, SAID NORTHEASTERLY LINE OF HIGHWAY BEING 66 FEET NORTHEASTERLY OF AND PARALLEL TO THE NORTHEASTERLY LINE OF C. & N.W. RAILWAY RIGHT OF WAY, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 2, 1925 AS DOCUMENT NUMBER 270771 IN COOK COUNTY, ILLINOIS.

ADDRESS : 939 NORTH FERNANDEZ AVENUE, ARLINGTON HEIGHTS, ILLINOIS 60004.



- NOTES:**
- 1) FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, TITLE POLICY, ZONING ORDINANCE, ETC.
 - 2) SUBDIVISION DOCUMENT NUMBER 270771 WAS USED FOR MATTERS OF RECORD.
 - 3) COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCE AT ONCE. CONTACT UTILITY COMPANIES BEFORE BUILDING.
 - 4) ALL LOT CORNERS HAVE BEEN SET, FOUND OR OFF SET.
 - 5) THE FIELD NOTES FOR THIS SURVEY WERE COMPLETED ON JANUARY 17, 2015 BY SCOTT QUINN OF THIS OFFICE.

M=	INDICATES MEASURED DISTANCE
BOLD #	INDICATES RECORD OR DEED DISTANCE
U.E.	INDICATES UTILITY EASEMENT
NE	INDICATES NORTHEASTERLY DIRECTION
SW	INDICATES SOUTHWESTERLY DIRECTION
FIR	INDICATES FOUND IRON ROD
FIP	INDICATES FOUND IRON PIPE
-x-	INDICATES FENCE

STATE OF ILLINOIS }
COUNTY OF COOK } SS

WE, CHRISTIAN-ROGE AND ASSOCIATES, INC. HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR AND THAT SAID SURVEY CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. ALL DIMENSIONS ARE IN FEET AND DECIMALS PARTS THEREOF.

IN CHICAGO, ILLINOIS THIS 17 th DAY
OF JANUARY A.D., 2015.

James E. Davidson
ILLINOIS PROFESSIONAL LAND SURVEYOR # 035.002984
EXPIRES 11/30/2016



CHRISTIAN-ROGE & ASSOCIATES, INC.

ENGINEERS - PLANNERS - SURVEYORS
211 WEST WACKER DRIVE, SUITE 600
CHICAGO, ILLINOIS 60606
(312)372-2023 ; FAX(312)372-5274

FAIRFIELD CUSTOM HOMES

287 HICKORY ROAD

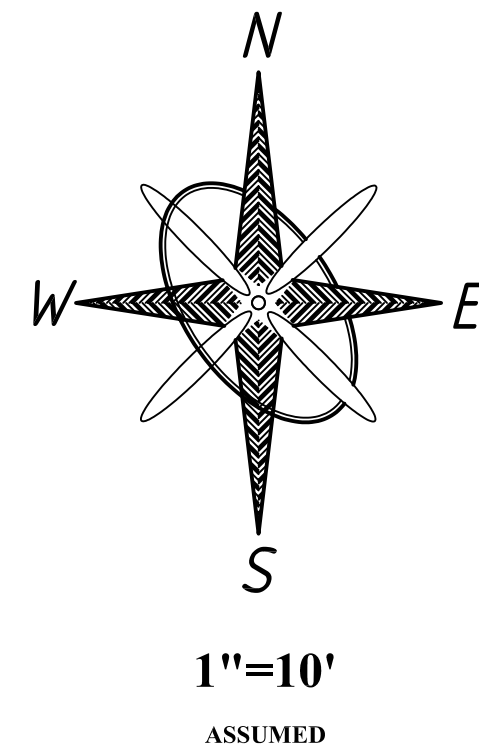
LAKE ZURICH, ILLINOIS 60047

DRAWN BY: WAM
DATE: 01-19-15
SCALE: 1"=20'
PROJECT: J.E.D.
15-001

SITE PLAN / GRADING PLAN

OF
LOT 27 IN BLOCK 1 IN R. A. CEPEK'S ARLINGTON RIDGE, BEING A SUBDIVISION OF THAT PART OF THE WEST HALF (EXCEPT THE EAST 33 FEET THEREOF) OF THE NORTHEAST QUARTER, AND OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTHEASTERLY LINE OF NORTHWEST HIGHWAY, SAID NORTHEASTERLY LINE OF HIGHWAY BEING 66 FEET NORTHEASTERLY OF AND PARALLEL TO THE NORTHEASTERLY LINE OF C. & N.W. RAILWAY RIGHT OF WAY, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 2, 1925 AS DOCUMENT NUMBER 270771 IN COOK COUNTY, ILLINOIS.

ADDRESS : 939 NORTH FERNANDEZ AVENUE, ARLINGTON HEIGHTS, ILLINOIS 60004.



UTILITY PIPE SPECIFICATIONS:	
SANITARY SEWER	
Pipe	PVC, SDR - 26, meeting requirements of ASTM - 3034
Service Lateral	Gasketed Joint / Cell Classification 12454 - B
	6" PVC SCH40 or better, SDR - 26, meeting requirements of ASTM - 3034
	Gasketed Joint / Cell Classification 12454 - B
	Minimum 1.0% Slope
WATERMAIN	
Service Line	1-1/2" Type K Copper, or as required by plumbing code
Tapping Saddle	Double Banded Stainless Steel Tapping Sleeve with 1" corporation stop
Hardware	All nuts and bolts below grade shall be stainless steel
B-Box	Mueller H - 10300 Upper section inside diameter 1 1/4"
	Mueller H - 10302 Upper section inside diameter 1 1/2"

GENERAL NOTES

1. THE CONTRACTOR SHALL CONTACT JULIE (1-800-892-0123) PRIOR TO EXCAVATION WORK (INCLUDE SECTION, TOWNSHIP, AND RANGE NUMBER OF PROPERTY WITH NOTE).
2. THE VILLAGE OF BARRINGTON MUST HAVE 48 HOURS NOTICE PRIOR TO THE COMMENCEMENT OF ANY APPROVED CONSTRUCTION ACTIVITY.
3. PERMITS SHALL BE OBTAINED FROM ALL OUTSIDE GOVERNMENTAL AGENCIES HAVING JURISDICTION PRIOR TO VILLAGE APPROVAL OF CONSTRUCTION ACTIVITIES.
4. WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS SUBJECT TO THE SPECIFIC APPROVAL OF THE VILLAGE ENGINEER.
5. ALL STRUCTURE ADJUSTMENTS SHALL BE ACCOMPLISHED USING ONLY CONCRETE RINGS NOT TO EXCEED 8" WITH APPROPRIATE MASTIC OR MORTAR.
6. EXISTING FIELD TILES ENCOUNTERED DURING DESIGN OR CONSTRUCTION SHALL BE REDIRECTED OR INCLUDED IN A MANNER ACCEPTABLE TO THE VILLAGE ENGINEER. ANY AND ALL FIELD TILES ENCOUNTERED SHALL BE IMMEDIATELY REPORTED TO THE VILLAGE ENGINEER OR FIELD REPRESENTATIVE.
7. THE BUILDER SHALL BE RESPONSIBLE FOR ALL ADJUSTMENTS BEFORE AND AFTER FINAL INSPECTION, PRIOR TO FINAL ACCEPTANCE BY THE VILLAGE OF BARRINGTON.
8. ALL UTILITY LINES SHALL BE AUGURED UNDER STREET PAVEMENT UNLESS SPECIFIC APPROVAL IS OBTAINED FROM THE VILLAGE ENGINEER TO OPEN CUT THE STREET PAVEMENT. THE CONTRACTOR SHALL MAINTAIN PAVEMENT CROSSING CUTS UNTIL FINAL PAVEMENT RESTORATION IS ACCEPTED BY THE VILLAGE ENGINEER.
9. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, TITLE POLICY, ZONING ORDINANCE, ETC. COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCE AT ONCE. CONTACT UTILITY COMPANIES BEFORE BUILDING.
10. ALL BUILDING TIES ARE MEASURED TO CONCRETE FOUNDATION DURING SPOT SURVEY.
11. IRON PIPES SET OR FOUND AT ALL LOT CORNERS DURING FINAL GRADE & UPDATE SURVEY.
12. SANITARY SERVICE STUBS AND B-BOX LOCATIONS ARE AS-BUILT LOCATIONS. ANY CONFLICTS CREATED BY CUSTOM BUILDING DESIGNS AND ALTERNATE GARAGE HANDING OR LOADS THAT CAUSE ADDITIONAL CONSTRUCTION COSTS WILL BE THE RESPONSIBILITY OF FAIRFIELD CUSTOM HOMES..
13. ALL YARD SLOPES WILL BE A MAXIMUM OF 4:1, UNLESS OTHERWISE NOTED.
14. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF WORK.



CALL JULIE
48 Hours (2 working days) Before You Dig.
1-800-892-0123

BENCHMARKS

SITE #1: TOP OF FOUNDATION OF # 943 N. FERNANDEZ AVE. ARLINGTON HEIGHTS, IL
NEAR THE SOUTHWEST CORNER OF THE STRUCTURE.
ELEVATION = 103.15 PER ASSUMED DATUM

SITE #2: CROSS CUT IN EASTERLY CURB LOCATED ±28 FEET NORTH OF THE SOUTH PROPERTY LINE
EXTENDED WESTTERLY, OF 939 N. FERNANDEZ AVE. ARLINGTON HEIGHTS, IL (SUBJECT
PROPERTY)
ELEVATION = 99.83 SET BY CRA FROM ASSUMED DATUM

NOTE: ANY AND ALL PARTIES UTILIZING THE VERTICAL DATUM LISTED ABOVE SHALL ALWAYS
CHECK INTO AT LEAST TWO (2) BENCHMARKS TO AVOID MISTAKES DUE TO HYDRANT
ADJUSTMENTS OR TRANSPOSITIONAL ERRORS. FAILURE TO DO SO WILL BE CONSIDERED
TANTAMOUNT TO GROSS NEGLIGENCE AND SUBJECT THE OFFENDING PARTY TO ANY
DAMAGES ATTENDANT THERETO.

EXISTING SAN. M.H.
RIM=100.51
INV.=93.01

EXISTING STORM M.H.
RIM=100.42
INV.=95.02 NE
INV.=95.02 NW
INV.=94.92 S

EXISTING C.B.
RIM=100.17
INV.=96.42

EXISTING SAN. M.H.
RIM=98.11
INV.=91.81

LEGEND

- INDICATES PROPOSED SPOT ELEVATION
- INDICATES EXISTING SPOT ELEVATION
- INDICATES EXISTING TREE W/SIZE

- INDICATES TREE TO BE REMOVED
- P.U. INDICATES PUBLIC UTILITY EASEMENT
- D.E. INDICATES DRAINAGE EASEMENT
- C.O. INDICATES CLEANOUT
- INDICATES EXISTING CONTOUR
- INDICATES TRENCH BACKFILL
- INDICATES SILT FENCE
- (6 FT. HIGH TEMPORARY FENCE)
- INDICATES FENCE LINE
- INDICATES OVERHEAD ELECTRIC WIRE
- INDICATES INLET PROTECTION
- INDICATES EXISTING WATERMAIN
- INDICATES STRUCTURE TO BE REMOVED

ELM STREET

- USE PROPOSED DRIVEWAY AND APRON
AS CONSTRUCTION ENTRANCE
- PROP. CONSTRUCTION ENTRANCE
INSTALL 6" CRUSHED STONE BASE

DRIVE CONSTRUCTION SPECIFICATIONS:

- DRIVEWAY SHALL BE CONSTRUCTED OF 6" THICK PORTLAND CEMENT
OVER 6" CRUSHED STONE BASE. THE DRIVEWAY APPROACH SHALL
NOT CONTAIN ANY METAL REINFORCEMENT. THE DRIVEWAY SHALL BE
A MAXIMUM OF 20' IN WIDTH AT THE PROPERTY LINE.

SERVICES

- 6" SDR-26 P.V.C. SANITARY SERVICE
- 1-1/2" TYPE "K" COPPER WATER SERVICE
- 4" P.V.C. SUMP DISCHARGE
IN ACCORDANCE WITH VILLAGE CODE
MIN. 1.0% SLOPE. DAYLIGHT TO GRADE.

939 N. FERNANDEZ AVE., ARLINGTON HEIGHTS, IL.

PREPARED FOR:
FAIRFIELD CUSTOM HOMES, LLC
287 HICKORY ROAD
LAKE ZURICH, IL 60047
(847) 456-8017

**CHRISTIAN-ROGE &
ASSOCIATES, INC.**



ENGINEERS - PLANNERS - SURVEYORS
211 WEST WACKER DRIVE, SUITE 600
CHICAGO, ILLINOIS 60606
(312) 372-2023 ; FAX (312) 372-5274

SHEET NO.

4

OF **6**

DATE: **04-15-15**

JOB NO. **15-001**

LOT 27

Single-Family Home Application and Procedures

Village of Arlington Heights

939 N. Fernandez Ave

Arlington Heights IL 60005



PROPERTY TO LEFT 3
1003 FERNANDEZ



PROPERTY TO LEFT 2
947 FERNANDEZ



PROPERTY TO LEFT 1
943 FERNANDEZ



SUBJECT PROPERTY
939 FERNANDEZ



PROPERTY TO RIGHT 1
935 FERNANDEZ



PROPERTY TO RIGHT 2
931 FERNANDEZ



PROPERTY TO RIGHT 3
927 FERNANDEZ

NORTH FERNANDEZ



PROPERTY ACROSS 1
948 FERNANDEZ



PROPERTY ACROSS 2
944 FERNANDEZ



PROPERTY ACROSS 3
940 FERNANDEZ



DESIGN STAGE		REVISIONS				
CONCEPTUAL DESIGN	01-21-15	1				
PRELIMINARY DESIGN	01-21-15	2				
DESIGN DEVELOPMENT	01-21-15	3				
PERMITTING	01-21-15	4				
REVISION	01-21-15	5				

FAIRFIELD CUSTOM HOMES
DAVIS RESIDENCE
939 NORTH FERNANDEZ AVE.
ARLINGTON HEIGHTS, IL 60004

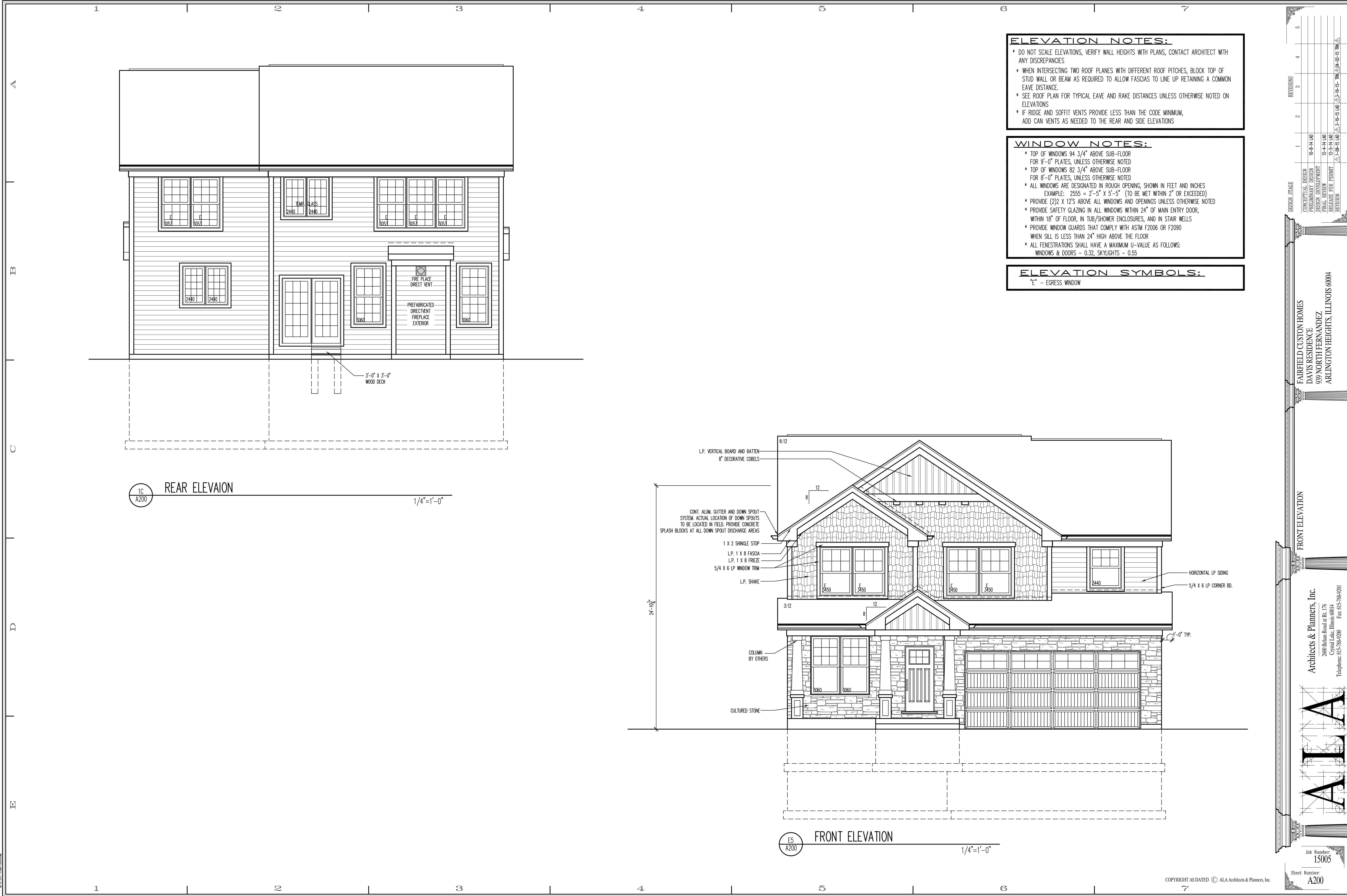
EXISTING CONTEXT ELEVATION
PROPOSED CONTEXT ELEVATION

ALA
Architects & Planners, Inc.
2000 Belmont Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-5200 Fax: 815-788-9201

Job Number: 15005
Sheet Number: A202
File Name: 15005201

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ELEVATION NOTES:

- * DO NOT SCALE ELEVATIONS, VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
- * WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE.
- * SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
- * IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS

WINDOW NOTES:

- * TOP OF WINDOWS 94 3/4" ABOVE SUB-FLOOR FOR 8'-0" PLATES, UNLESS OTHERWISE NOTED
- * TOP OF WINDOWS 82 3/4" ABOVE SUB-FLOOR FOR 8'-0" PLATES, UNLESS OTHERWISE NOTED
- * ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET AND INCHES
EXAMPLE: 2555 = 2'-5" X 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED)
- * PROVIDE (2)2 X 12'S ABOVE ALL WINDOWS AND OPENINGS UNLESS OTHERWISE NOTED
- * PROVIDE SAFETY GLAZING IN ALL WINDOWS WITHIN 24" OF MAIN ENTRY DOOR, WITHIN 18" OF FLOOR, IN TUB/SHOWER ENCLOSURES, AND IN STAIR WELLS
- * PROVIDE WINDOW GUARDS THAT COMPLY WITH ASTM F2006 OR F2090 WHEN SILL IS LESS THAN 24" HIGH ABOVE THE FLOOR
- * ALL FENESTRATIONS SHALL HAVE A MAXIMUM U-VALUE AS FOLLOWS:
WINDOWS & DOORS - 0.32, SKYLIGHTS - 0.55

ELEVATION SYMBOLS:

"E" - EGRESS WINDOW

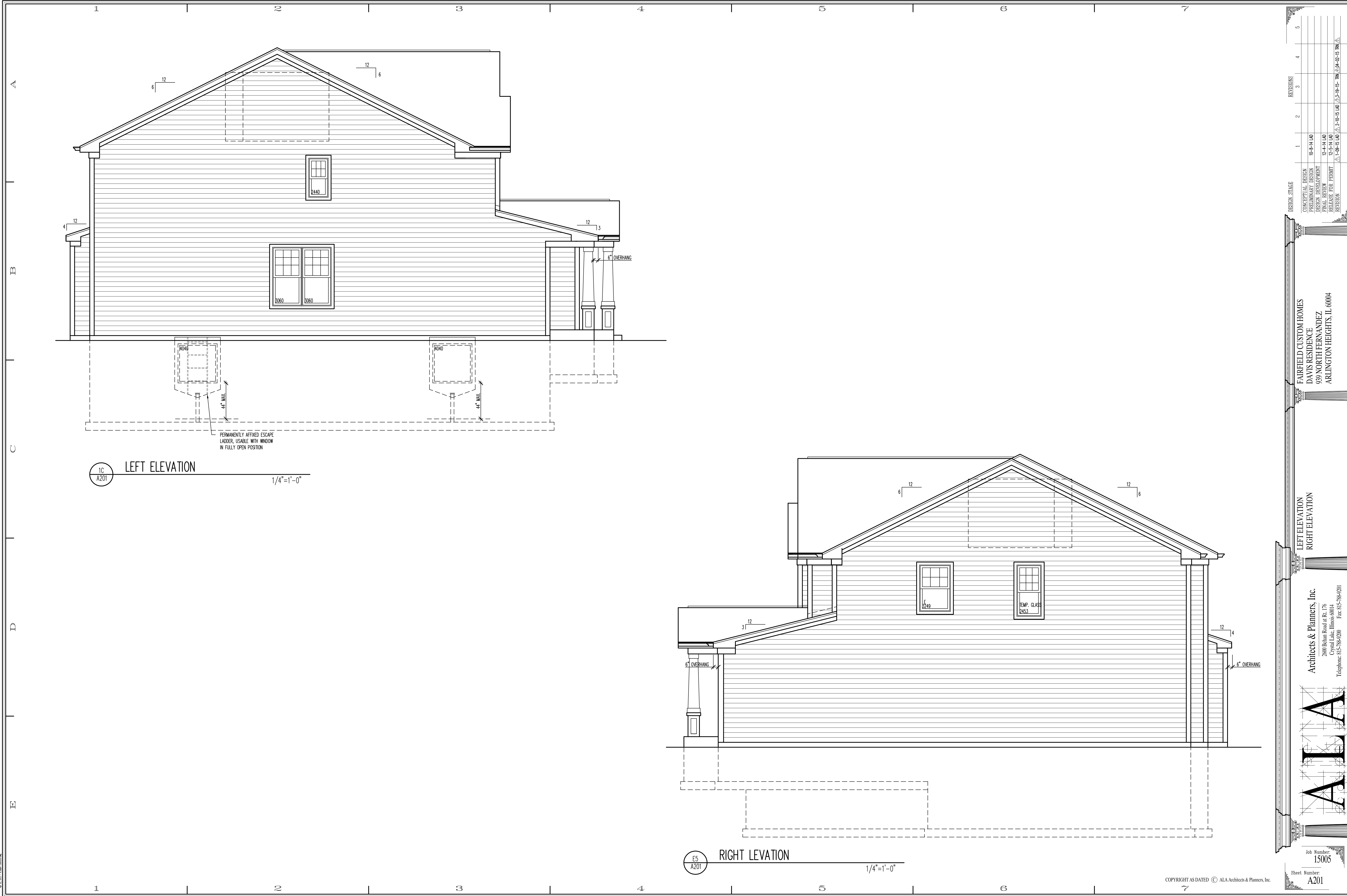
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CONCEPTUAL DESIGN	0-8-14.00					
PRELIMINARY DESIGN	0-8-14.00					
DESIGN DEVELOPMENT	12-4-14.00					
PERMITTING	12-4-14.00					
REVISION FOR PERMIT	12-4-14.00					
REVISION	12-4-14.00					

FAIRFIELD CUSTOM HOMES
DAVIS RESIDENCE
939 NORTH FERNANDEZ
ARLINGTON HEIGHTS, ILLINOIS 60004

Architects & Planners, Inc.
2000 Belton Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-5200 Fax: 815-788-9201

ALA

Job Number: 15005
Sheet Number: A200
File Name: 15005200



1C
A201
LEFT ELEVATION
1/4"=1'-0"

E5
A201
RIGHT ELEVATION
1/4"=1'-0"

DESIGN STAGE		1	2	3	4	5
CONCEPTUAL DESIGN						
PRELIMINARY DESIGN		10-8-14.00				
DESIGN DEVELOPMENT		12-4-14.00				
SCHEMATIC DESIGN		12-4-14.00				
PERMIT FOR PERMIT		12-4-14.00				
REVISION		1-10-15.00	2-10-15.00	3-10-15.00	4-10-15.00	5-10-15.00

FAIRFIELD CUSTOM HOMES
DAVIS RESIDENCE
939 NORTH FERNANDEZ
ARLINGTON HEIGHTS, IL 60004

LEFT ELEVATION
RIGHT ELEVATION

Architects & Planners, Inc.
2000 Debra Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-5200 Fax: 815-788-9201

ALA

Job Number: 15005
Sheet Number: A201
File Name: 15005201

Fairfield Homes, Inc.
939 N Fernandez Ave
Material Schedule

ITEM	MATERIAL	MANUFACTURER	COLOR
Brick	N/A	N/A	N/A
Roof	Asphalt Shingles	Tamko	Architectural - Weathered Wood
Siding	Wood	LP	Smartside - Gibraltar Gray
Gutters/Trim/Fascia	Aluminum		White
Windows	Vinyl	Simonton	White
Garage Door	Steel	Hormann	Timberlast - Walnut
Stone	Cultured Stone	Owens Corning	Gray Pro-fit LedgeStone PF-8018



Item: St. Edna Catholic Church - 2525 N. Arlington Heights Rd.

Department: Planning & Community Development

Requested Action

St Edna Catholic Church received Design Commission approval for a new Parish Center Addition in 2013. At this time, the petitioner is returning to the Design Commission for a preliminary design review of an enlarged version of the Parish Center, a new Chapel addition, and a new Rectory building.

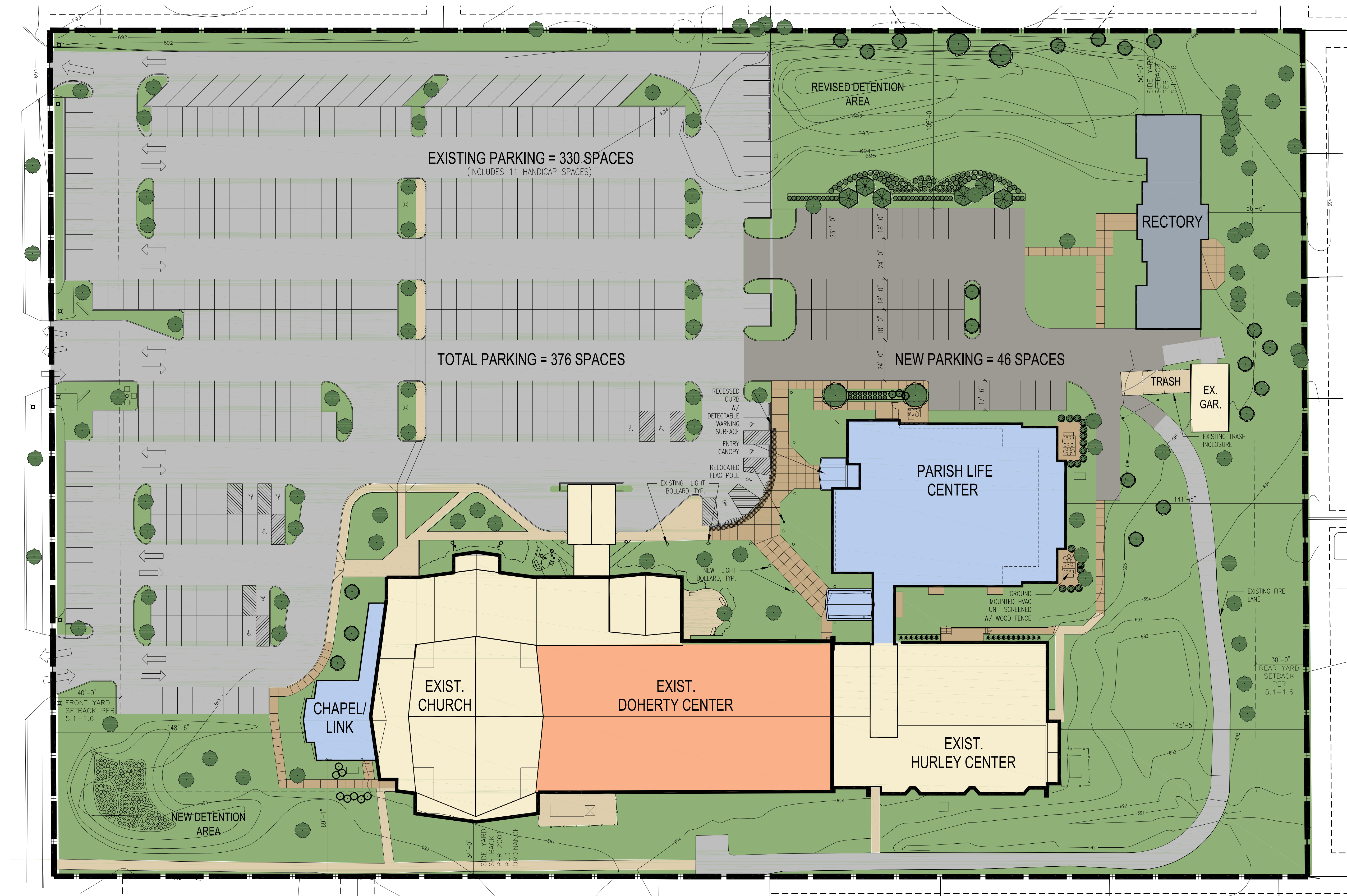
Recommendation

Preliminary design review only. No action required.

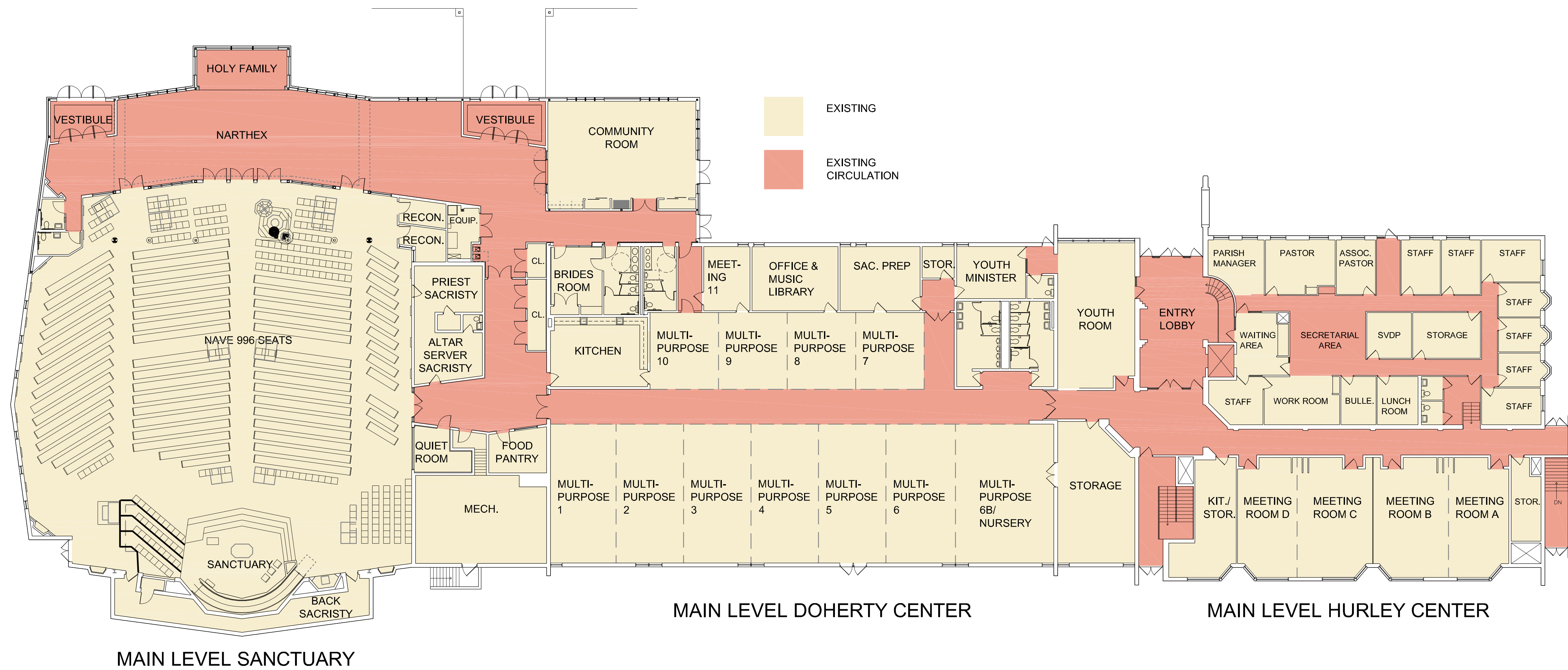
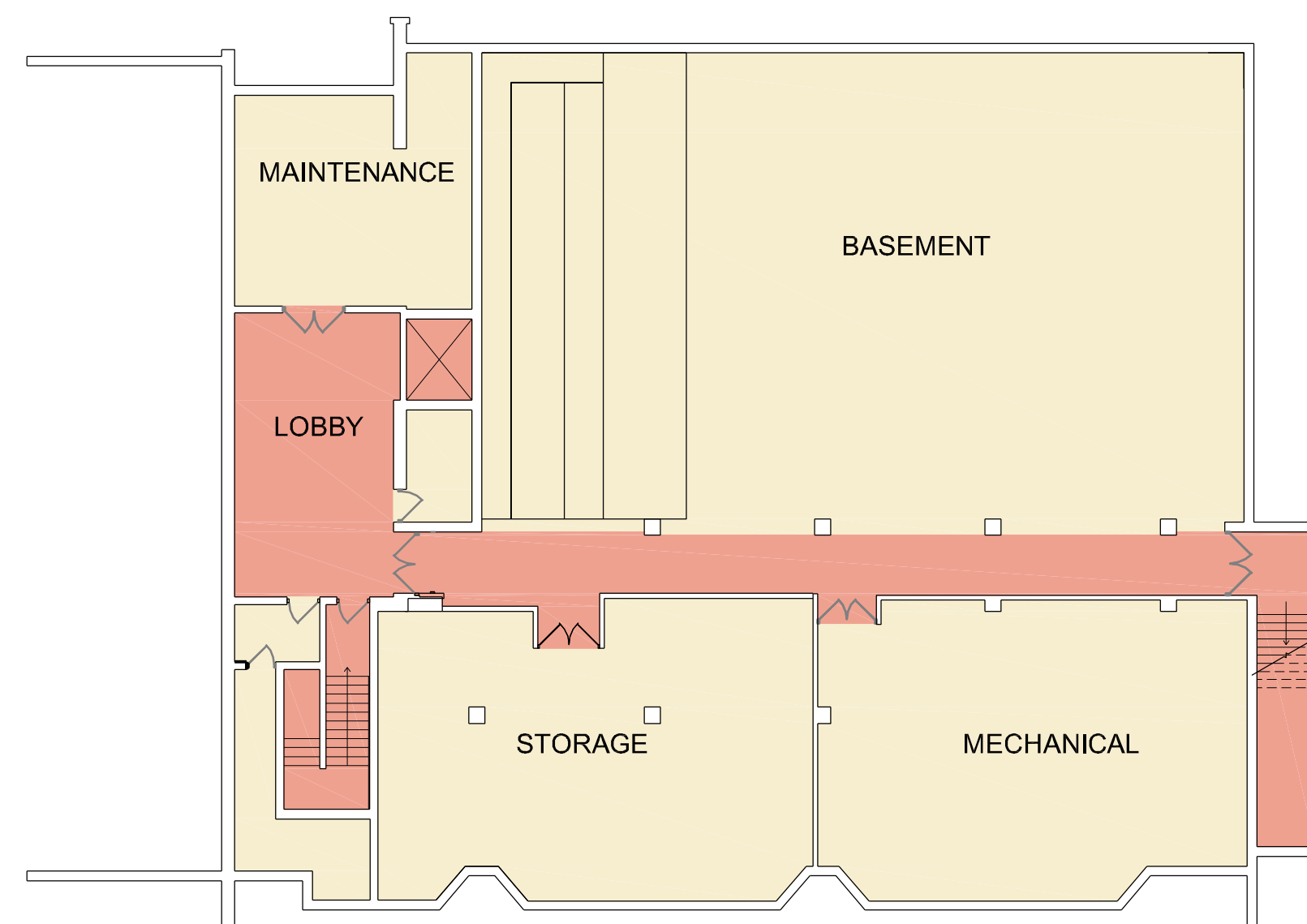
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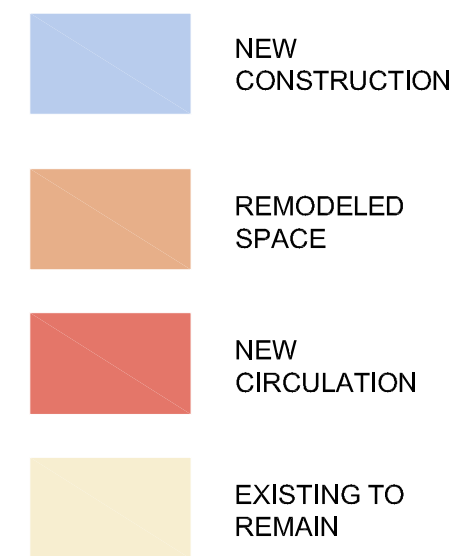
Description	Type
Drawings & Documents	Exhibits
FOR REFERENCE ONLY - 2013 Approved Design	Exhibits





- EXISTING PARKING/ ASPHALT
- NEW PARKING/ ASPHALT
- EXISTING SIDEWALK/ CONCRETE
- NEW SIDEWALK/ CONCRETE
- EXISTING BUILDING
- PROPOSED BUILDING ADDITION
- PROPOSED REMODELING OF EX BUILDING
- NEW RECTORY





PROPOSED PARISH CENTER

Overall Dimensions: 128'-10" (width) x 96'-0" (depth)

Room Details:

- KITCHEN:** 12,795 SF (Proposed Plan) / 10,730 SF (Previous Plan)
- STORAGE:** 13'-10" x 50'-0"
- PARISH LIFE CENTER:** 6530 SF, 71'-8" x 94'-4"
- STAGE:** 15'-15" x 9'-1"
- SEATING FOR 368 PEOPLE:** 71'-8" x 94'-4"

Other Dimensions:

- Top Section: 30'-8", 72'-6", 20'-8"
- Left Section: 25'-11", 14'-4", 90'-5", 50'-0"
- Right Section: 20'-0", 52'-0", 20'-0"
- Bottom Section: 8'-11", 25'-6", 15'-10", 9'-1", 25'-4"



MAIN LEVEL HURLEY CENTER



PROPOSED PARISH CENTER WEST ELEVATION

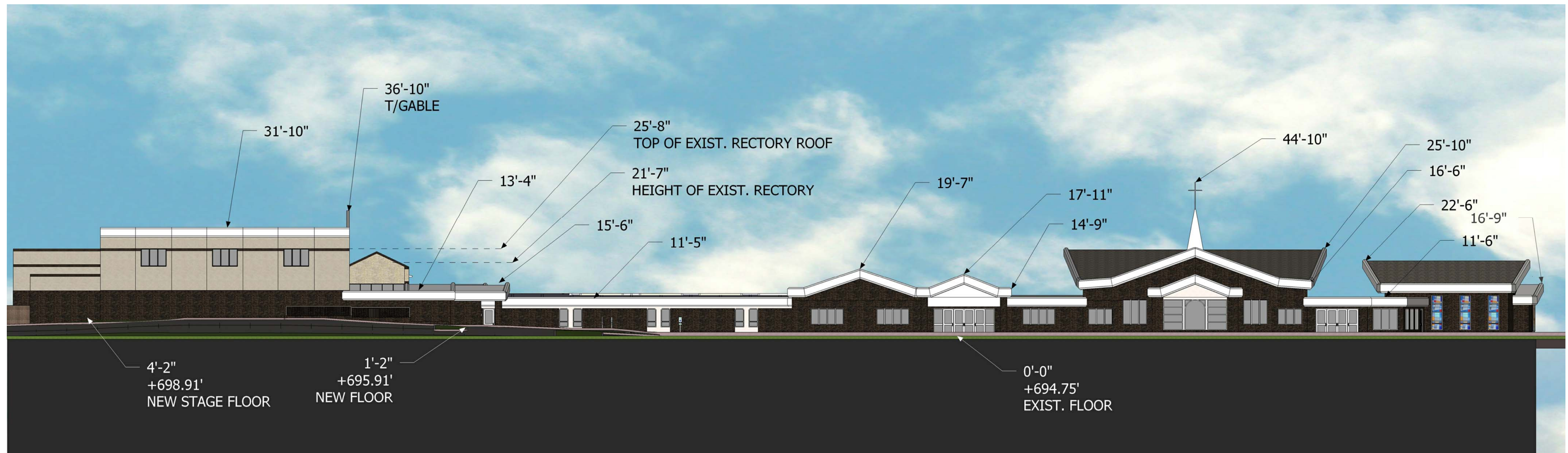


PROPOSED PARISH CENTER NORTHWEST ELEVATION

PARISH CENTER - WEST AND NORTHWEST ELEVATIONS

ST. EDNA CATHOLIC CHURCH

2525 N. ARLINGTON HEIGHTS RD
ARLINGTON HEIGHTS, IL 60004



PROPOSED PARISH CENTER NORTH ELEVATION



PROPOSED PARISH CENTER NORTHEAST ELEVATION



CHAPEL NORTHWEST PERSPECTIVE



CHAPEL WEST ELEVATION

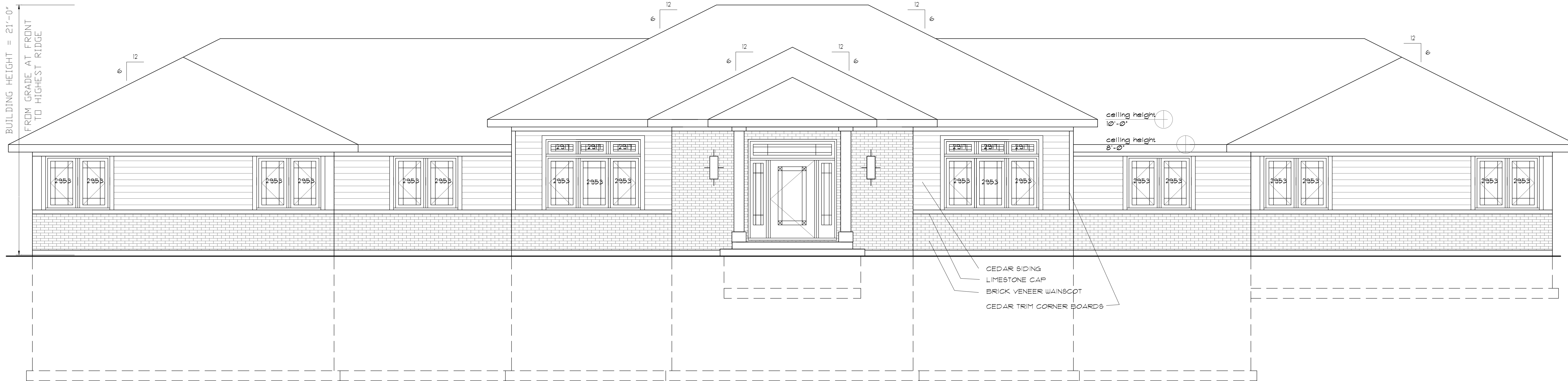
ADDRESS NOTE:

A PERMANENT ADDRESS TO BE APPLIED TO BUILDING ELEVATION AND BE VISIBLE FROM STREET
LETTERS TO BE NO LESS THEN 5" HIGH

EXTERIOR DOOR LOCK NOTE:

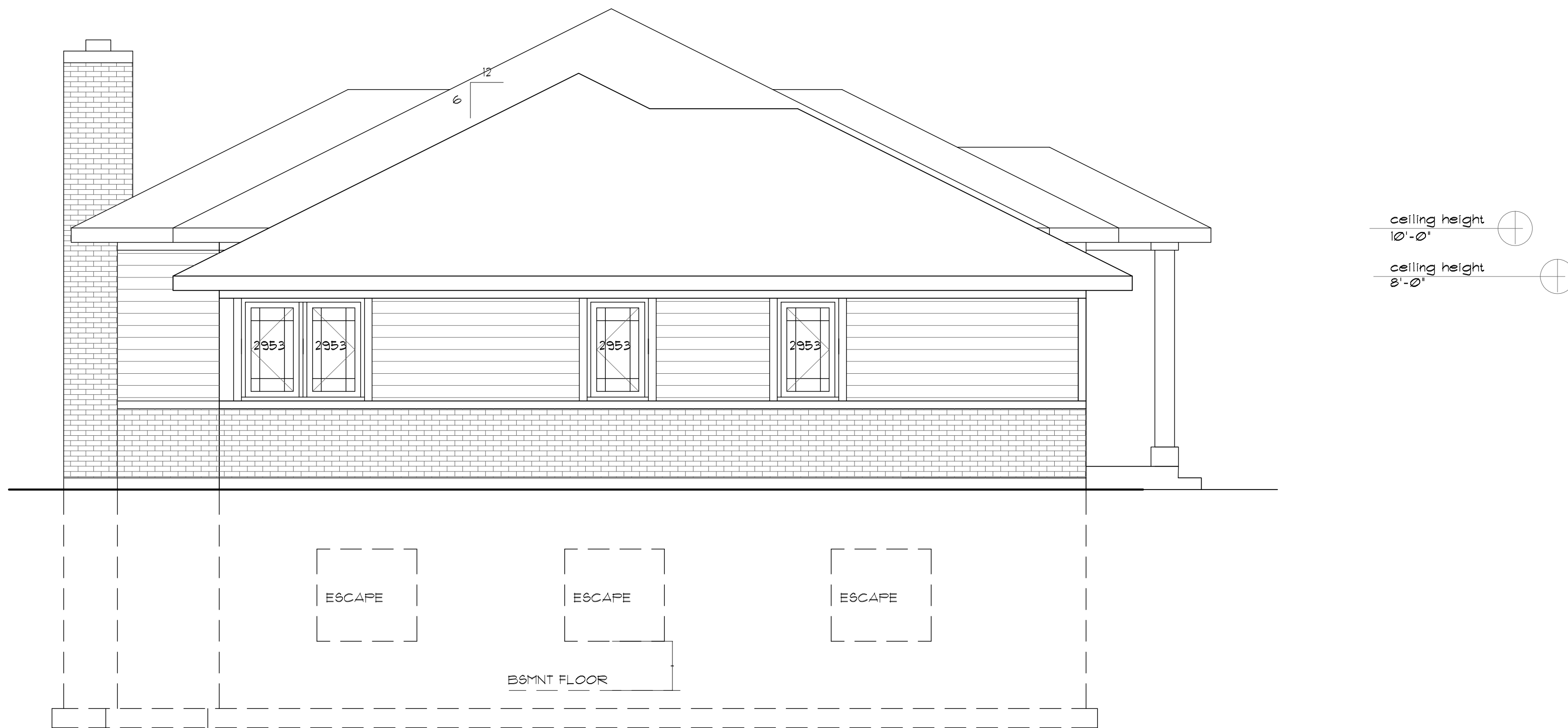
ALL EXTERIOR DOORS RTO BE FITTED WITH SEPARATE 1" THROW DEADBOLT LOCATED A MIN. OF 6" FROM LOCK SET
PROVIDE SECURITY STRIKE PLATE AT ALL EXTERIOR DOORS

THE SAINT EDNA CATHOLIC CHURCH
NEW RECTORY
2525 N. Arlington Heights Rd.
ARLINGTON HEIGHTS ILLINOIS



FRONT ELEVATION

1/4" = 1'-0"



LEFT SIDE ELEVATION

1/4" = 1'-0"

IMPORTANT BRICK AND STONE SILL NOTICE

IN ORDER TO PREVENT LATTER BINDING PROBLEMS AFTER WOOD SHRINKAGE HAS OCCURRED, PROVIDE 3/8" OF AN INCH OF CLEARANCE BETWEEN BRICK OR STONE SILL AND BOTTOM OF ANY WINDOW OR DOOR BEING INSTALLED DIRECTLY ABOVE. TO FILL GAP BEING CREATED, PROVIDE A HEAVY BEAD OF RESILIENT, NON-HARDENING CAULK THE ENTIRE WIDTH OF DOOR OR WINDOW UNIT. NO CONTACT BETWEEN THE BRICK OR STONE SILL AND FRAME OF THE WINDOW SHALL BE ALLOWED.

STANDARD ELEVATION NOTES

- SELF SEALING PREMIUM LAMINATED ASPHALT SHINGLES
- CONTINUOUS SHINGLE ROLL RIDGE VENT OVER SLOTTED PLYWOOD RIDGE
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 1" X 8" CEDAR WOOD FASCIA
- 3/8" CEDAR SOFFIT WITH 2" CONTINUOUS SOFFIT VENT
- PARTIAL BRICK VENEER
- PARTIAL CEDAR SIDING
- SHEET METAL FLASHING AT ALL ROOF TO WALL INTERSECTIONS
- SHEET METAL FLASHING AT ALL ROOFING TO CHIMNEY INTERSECTIONS
- SHEET METAL FLASHING AT ALL ROOF TO SKYLIGHT INTERSECTIONS

WINDOW INFORMATION

ALL PRIME WINDOWS ON THE JOB SHALL BE

- | | |
|--|---|
| ☐ ANDERSON | ☒ FELLA |
| ☐ MARVIN | ☐ EAGLE |
| ☐ WEATHERSHIELD | ☐ SEMCO |
| ☐ OTHER | |

ALL PATIO DOOR UNITS ON THE JOB SHALL BE

- | | |
|--|---|
| ☐ ANDERSON | ☒ FELLA |
| ☐ MARVIN | ☐ EAGLE |
| ☐ WEATHERSHIELD | ☐ SEMCO |
| ☐ OTHER | |

FINISH AND COLOR OF PRIME WINDOWS TO BE

- | | |
|--|---|
| ☐ PRIMED WOOD | ☐ WHITE |
| ☐ VINYL CLAD | ☒ TERRATONE |
| ☐ ALUMINUM CLAD | ☐ BROWN |
| ☐ OTHER | |

GLAZING PACKAGE SHALL BE (SEE TEMPERED GLASS NOTE BELOW)

- | | |
|--|--|
| ☐ SINGLE GLAZED | ☐ NORMAL GLASS |
| ☐ DOUBLE GLAZED | ☒ INSULATED GLASS |
| ☐ TRIPLE GLAZED | ☐ TINTED GLASS / APPLIED FILM |

WINDOW MUTTONS SHALL BE

- | |
|--|
| ☒ SNAP - IN OVER THE GLASS |
| ☐ CONTAINED BETWEEN THE GLASS |
| ☐ GLUED TO INSIDE AND OUTSIDE FACE OF GLASS |
| ☐ TRUE DIVIDED LIGHTS |
| ☐ NOT PROVIDED |

WINDOW SIZES SHOWN ARE BASED UPON

- | |
|---|
| ☐ GLASS SIZE |
| ☒ UNIT DIMENSIONS |
| ☐ MANUFACTURERS NOMENCLATURE |
| ☐ SASH SIZE |
| ☐ ROUGH OPENINGS |

WINDOW ACCESSORIES TO BE PROVIDED

- | | |
|---|---|
| ☒ SCREENS | ☐ FACTORY - APPLIED BRICK MOLD |
| ☐ MINI - BLINDS | ☐ CARPENTER - APPLIED BRICK MOLD |
| ☐ PLEATED SHADES | ☐ EXTERIOR STORM PANELS |
| ☐ FACTORY MULLS | ☐ STRUCTURAL MULLS |
| ☐ CUSTOM HARDWARE | |

NOTE:

1/4" TEMPERED INSUL GLASS MUST BE PROVIDED IN THE FOLLOWING LOCATIONS
ALL FIXED AND OPERABLE PANELS OF PATIO PATIO DOORS (USE 5/8" TEMP. MIN.)
ALL STORM DOORS
ALL WINDOWS WITHIN 5 FEET FROM BATHTUB OR SHOWER
ALL WINDOWS GREATER THAN 9 SQ. FEET IN AREA
THAT COME WITHIN 18 INCHES FROM FINISHED FLOOR
ALL WINDOWS WITHIN 17" OF DOORS
ADJACENT TO TUBS
SHOWER AND TUB DOORS
GLAZING TO FOLLOW R 208 OF CABO

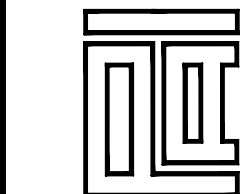
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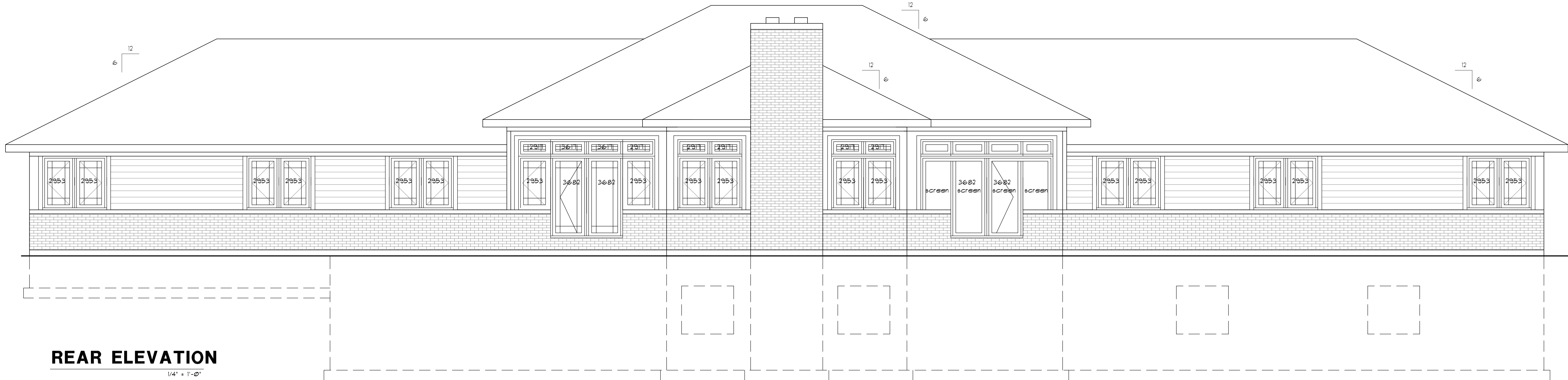
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THE SAINT EDNA CATHOLIC CHURCH
NEW RECTORY
2525 N. Arlington Heights Rd.
ARLINGTON HEIGHTS ILLINOIS

SHEET NO.

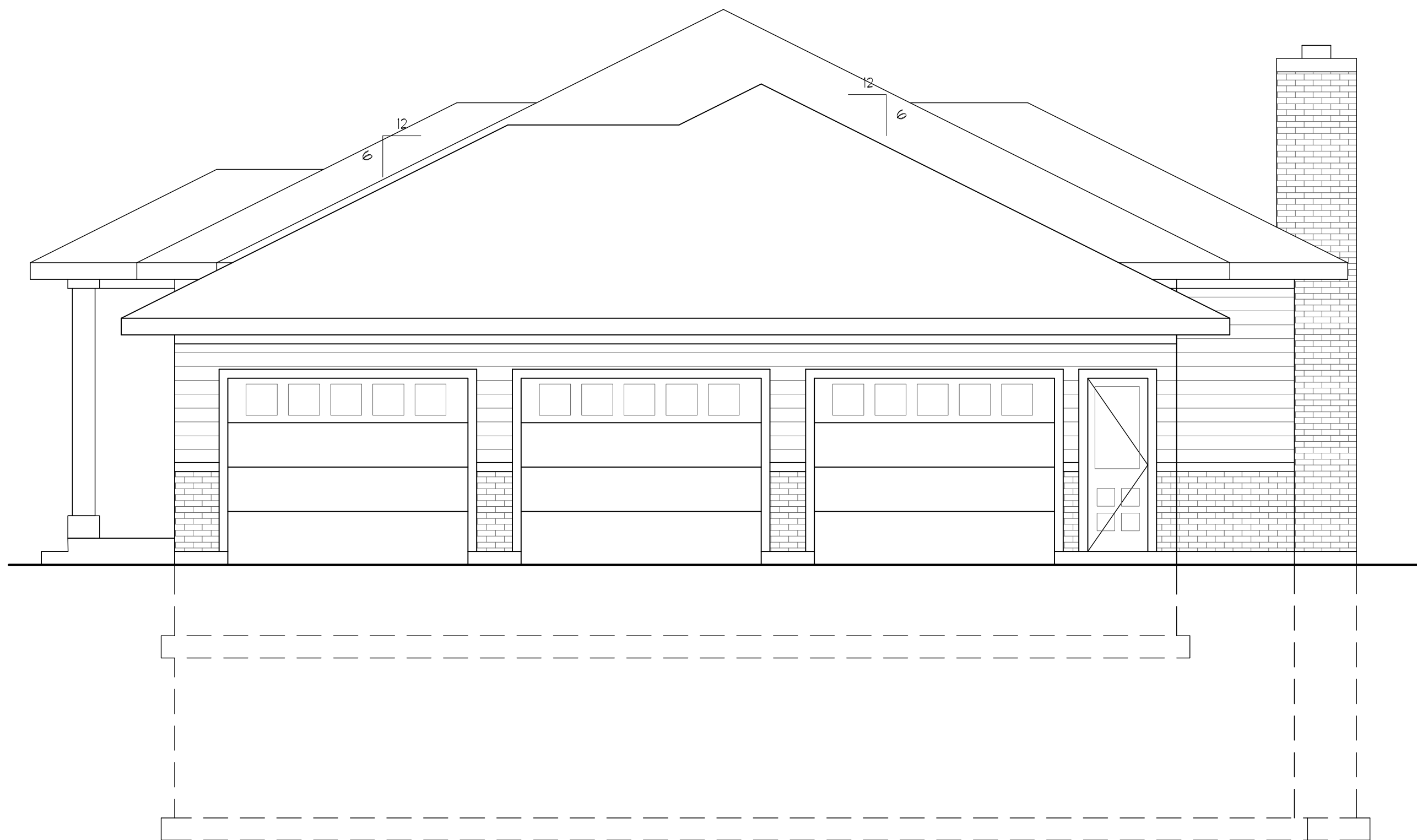
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SHEET 1 OF 4



REAR ELEVATION

1/4" = 1'-0"



SIDE ELEVATION

1/4" = 1'-0"

STANDARD ELEVATION NOTES

- SELF SEALING PREMIUM LAMINATED ASPHALT SHINGLES
- CONTINUOUS SHINGLE ROLL RIDGE VENT OVER SLOTTED PLYWOOD RIDGE
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 1" X 8" CEDAR WOOD FASCIA
- 3/8" CEDAR SOFFIT WITH 2" CONTINUOUS SOFFIT VENT
- PARTIAL BRICK VENEER
- PARTIAL CEDAR SIDING
- SHEET METAL FLASHING AT ALL ROOF TO WALL INTERSECTIONS
- SHEET METAL FLASHING AT ALL ROOFING TO CHIMNEY INTERSECTIONS
- SHEET METAL FLASHING AT ALL ROOF TO SKYLIGHT INTERSECTIONS

OVERHEAD GARAGE DOORS
EMBOSSED PANEL STEEL (WITH INSULATION)

CHIMNEY CAP INFORMATION

- CAP
- ☒ POURED IN PLACE CONCRETE
 - ☐ PRE CAST CONCRETE
 - ☐ MORTAR WASH ONLY
- CHIMNEY POTS
- ☐ SUPERIOR CLAY CORPORATION
 - ☒ LOGAN CLAY PRODUCTS (5/8" THICK 12" X 12")
 - ☐ GLADDING MCBEAN
 - ☐ EXPOSED FLUE TILE ONLY (4" MIN.)
- ACCESSORIES
- ☐ CUSTOM - MADE METAL SHROUD
 - ☒ FIELD - BUILT MASONRY SHROUD
 - ☐ SCREENED METAL SPARK ARRESTOR
 - ☐ TOP-SEALING SOLID DAMPER
 - ☐ COMBINATION ARRESTOR / DAMPER
 - ☒ ROLL TOP FLUE COVER

NOTE:
PROVIDE 1" MIN. SLOPE FROM FLUE TO EDGE OF CHIMNEY TO ASSURE WATER RUN - OFF.
CAP TO BE HELD TIGHT TO FLUE ALL AROUND TO PREVENT ENTRANCE OF WATER INTO
CHIMNEY FROM ABOVE. MASON TO PROVIDE CONTINUOUS BEAD OF SILICONE SEALANT
AROUND ALL FLUES. PRIOR TO POURING CAP, MASON SHALL VERIFY THAT THE CHIMNEY
TOP IS AT LEAST TWO (2) FEET ABOVE THE NEAREST ROOF LINE (10) FEET AWAY.

BEDROOM WINDOW ESCAPE

ALL BEDROOM WINDOWS TO HAVE MIN. 20" WIDE BY 24" HIGH ESCAPE CLEARANCE
9" LLS 44" ABOVE FLOOR MAX.
NET CLEAR OPENING NOT LESS THEN 6 SF.

ELEVATIONS

THE SAINT EDNA CATHOLIC CHURCH
NEW RECTORY
2525 N. Arlington Heights Rd.
ARLINGTON HEIGHTS
ILLINOIS

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SHEET 2 OF 4

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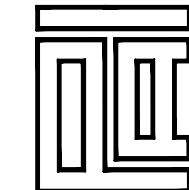
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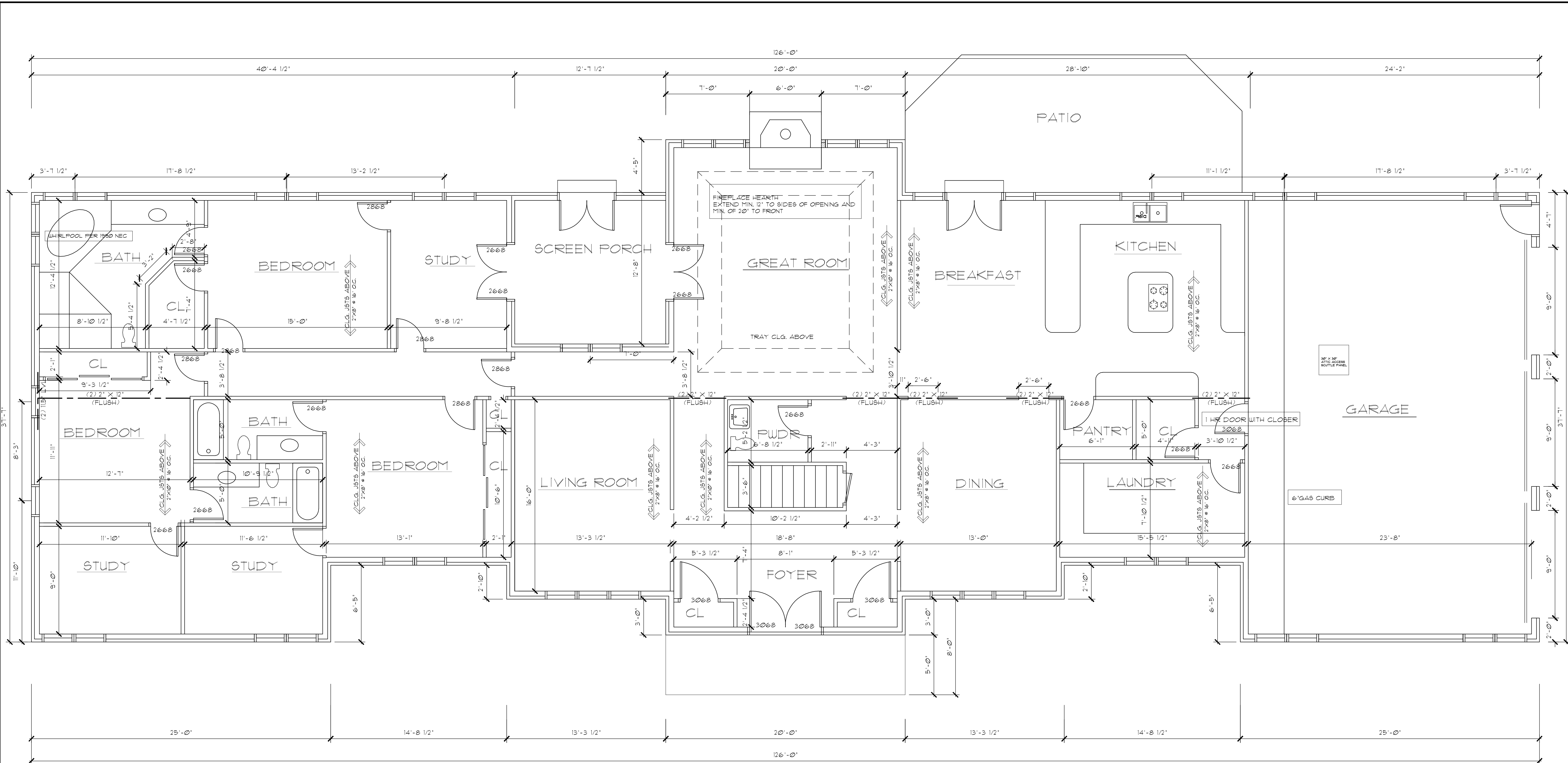
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FIRST FLOOR PLAN

1/4" = 1'-0"

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SHEET 4 OF 4



PROPOSED NORTHEAST PERSPECTIVE

PROPOSED EAST PERSPECTIVE

OVERALL CAMPUS PERSPECTIVE

September 20, 2013

Jna
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PROPOSED NORTHWEST PERSPECTIVE



PROPOSED WEST PERSPECTIVE



PROPOSED NORTHEAST PERSPECTIVE



PROPOSED EAST PERSPECTIVE