



Village of Arlington Heights
Plat and Subdivision Committee
Commissions Room 2nd Floor
Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
November 18, 2015
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. St. Edna's Catholic Church - 2525 N. Arlington Heights Rd. - T1517
PUD Amendment
- B. Lexington Homes - 900 W. Campbell St. - T1518
15 Lot Subdivision
- C. Northwest Gastroenterologists - 1415 S. Arlington Heights Rd. - T1519
PUD Amendment

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: St. Edna's Catholic Church - 2525 N. Arlington Heights Rd. - T1517

Department: Planning & Community Development

Requested Action

Amendment to PUD Ordinance 02-005 and Ordinance 13-072 to allow the construction of a parish center, rectory, chapel and other interior and site improvements.

Variation Required

A variation from Chapter 28, Section 11.4, Schedule of Required Parking, to allow a reduction to the minimum number of required parking stalls from 642 to 376 spaces.

Recommendation

On November 3, 2015, the Staff Development Committee reviewed the Petitioner's request and is generally supportive of the proposed PUD amendment, subject to all site development issues, including those listed below, being addressed.

1. Provide a written justification for each variation based upon the following hardship criteria:
 - The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and
 - The plight of the owner is due to unique circumstances; and § The variation, if granted, will not alter the essential character of the locality.
2. Provide a memo to update the 2013 traffic and parking study from a Certified Traffic Engineer, addressing any additional impacts of the proposed amendment on parking and traffic.
3. Provide fully dimensioned and to scale engineering plans, details and detention calculations.
4. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:**Description**

Staff Report

Project Narrative

Site Plan - Elevations - Floor Plans

Type

Board or Commission Report

Correspondence

Exhibits

STAFF DEVELOPMENT COMMITTEE REPORT

To: Plat and Subdivision Committee
Prepared By: Bill Enright, Deputy Director Planning and Community Development
Meeting Date: November 18, 2015
Date Prepared: November 12, 2015
Project Title: St. Edna's Catholic Church
Address: 2525 N. Arlington Heights Road

BACKGROUND INFORMATION:

Petitioner: Susan Maish
Address: Jaeger, Nickola and Associates
350 South Northwest Highway, Suite 106
Park Ridge, Illinois 60068

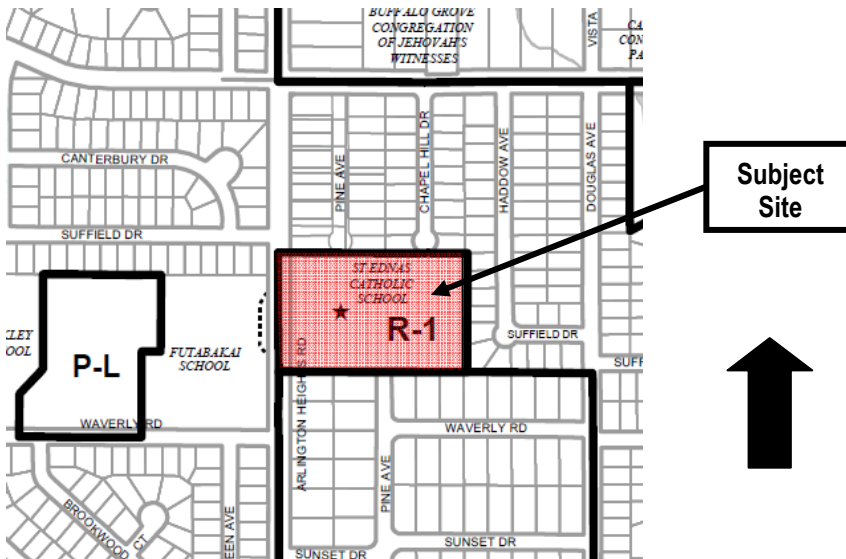
Existing Zoning: R-1, One Family Dwelling District

Requested Action:

- Amendment to PUD Ordinance 02-005 and Ordinance 13-072 to allow the construction of a parish center, rectory, chapel and other interior and site improvements.

Variations Required:

- A variation from Chapter 28, Section 11.4, Schedule of Required Parking, to allow a reduction to the minimum number of required parking stalls from 642 to 376 spaces.



ANALYSIS:

SURROUNDING LAND USES:

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	R-3, One Family Dwelling	Single Family Home	Single Family Detached
South	R-1, One Family Dwelling	Single Family Home	Single Family Detached
East	R-3, One Family Dwelling	Single Family Home	Single Family Detached
West	Schools, Parks & Other Public Places	Existing School	Schools

Background:

The subject site is 8.03 acres (349,787 square feet) and includes the 995 seat sanctuary, and the Doherty Center and Hurley Center totaling 50,209 square feet of building area. In 2013 the PUD was amended to allow for a new 10,800 sf Parish Center and remodeling of the Hurley and the Doherty Centers, a revised northeast detention area and new southwest detention area, and 25 new parking spaces to replace 17 existing spaces (net gain of 8). A variation of 228 spaces for parking to permit 362 spaces where 590 is required was approved. Since 2013, the former rectory building has been demolished to prepare for the new Parish Center, however the project did not move forward at that time due to funding.

St. Edna's is looking to move forward with modifications to the 2013 approvals, including a larger Parish Life Center, which would be approved for 10,800sf in 2013 with the new proposal at 12,795sf in the same location just north of the Hurley Center. The plans also call for a new 2,240sf, 104 seat chapel at the west end of the church, and a new 4,540 rectory at the northeast portion of the site. Modifications to the northeast detention will be required and the addition of a new southwest detention area. Additional parking for 46 cars is proposed to the north of the new Parish Life Center. Total required parking will be 642 spaces with 376 provided, a variation of 266.

The petitioner has provided a narrative of existing conditions, the 2013 approval and the new proposal, which is attached as part of the packet.

Operationally, St. Edna's has a congregation size of 2,928 families (8,994 persons) and an employment base of 17 employees (full and part time) and 2 priests. Although the facility does not have a private school, religious education for adults and children are held throughout the week. In addition, St. Edna's has several leadership programs (i.e. Ministries, Separation/Divorce, bereavement, family life, etc) that are held once or twice a month during the weekday evenings. Religious services are held Monday through Friday at 6:45 AM and 8:00 AM, Saturday at 5:00 PM, and Sunday at 7:30 AM, 9:30 AM, 11:30 AM, and 5:30 PM with a combined Saturday and Sunday average total attendance of 2,400 people.

Zoning & Comprehensive Plan

Churches and/or religious institutions are an allowed use within the R-1 district, which the property is zoned. In addition, the existing land use is consistent with the Village's Comprehensive Plan, which designates the subject site as Institutional. However, the proposed addition requires an amendment to the underlying PUD, as it constitutes a substantial change to the prior approval.

Neighborhood Meeting

The petitioner should hold a neighborhood meeting well in advance of the Plan Commission public hearing in order to provide information to the public and obtain feedback from residents early in the process.

Site Plan / Storm Water Management

The storm water detention that services the site, which was modified in 2001, will be modified to accommodate the proposed changes to the site and new MWRD requirements. The northeast detention area will need to be analyzed in order to determine if the size and depth will need modifications. A new southwest detention area is proposed near the front along Arlington Heights Road. As part of this PUD amendment, the petitioner shall provide final engineering plans indicating required detention calculations and specifics of the detention areas including grading, cross sections, and planting materials.

Traffic & Parking

Previously in 2013, the Petitioner provided a Traffic and Parking study prepared by Eriksson Engineering. The study assessed the existing roadway system characteristics and proposed site characteristics. With regard to the proposed Parish Center, the traffic study concluded that the additional construction will not increase the trip generation or parking demand at St. Edna's as the proposed Parish Center will not be used at the same time as other major church functions. Additionally, Eriksson Engineering prepared a parking survey of the existing parking lot and the lot across Arlington Heights Road (Futabakai School) which is used by the Church on a Sunday from 9 AM – Noon and a Tuesday from 4 PM – 6 PM. It should be noted that the hours of the Sunday counts included the two heaviest attended services, historically. The Peak Parking Demand was at 10:15 AM on Sunday, with a total of 309 parking stalls occupied, 11 of which were at the Futabakai School across Arlington Heights Road. The Study also noted that the Church currently hires the Police Department to direct traffic at all Sunday morning services.

According to Village Code, the total parking demand is based on the collective parking requirement for each of the different uses within the facility (Chapter 28, Section 11.2-6, Collective Provision). This parking methodology has been consistently applied to other similar projects. Please refer to the following table, which outlines the parking requirements for the building, including the new addition.

Building	Uses	# of Seats/ Square Footage	Parking Ratio	Required
Church	Nave	996 Seats	1 spaces/5 seats	199 spaces
	Choir	35 Seats	1 spaces/5 seats	7 spaces
	Narthex	130 Seats	1 spaces/5 seats	26 spaces
	Community Room	990 SF	30% of occupancy	20 spaces
Doherty	Multi-Purpose Rooms	5,342 SF	30% of occupancy	107 spaces
	Office	750 SF	1 space/ 300 SF	3 spaces
Hurley	Multi-Purpose Rooms	2,020 SF	30% of occupancy	40 spaces
	Office	3,750 SF	1 space/ 300 SF	13 spaces
	Youth Room	2,275 SF	30% of occupancy	46 spaces
Parish Center	Multi-Purpose Rooms	6,530 SF	30% of occupancy	131 spaces
	Platform/stage	1,335 SF	30% of occupancy	27 spaces
Chapel	Nave	104	1 space/5 seats	21
Rectory	Single Family	2	2 per dwelling unit	2
TOTAL REQUIRED				642 spaces
TOTAL PROVIDED				376 spaces
SURPLUS (DEFICIT)				(266) spaces

Since the proposal includes 376 parking spaces where 642 are required, the following variation is required:

- **A variation from Chapter 28, Section 11.4, Schedule of Required Parking, to allow a reduction to the minimum number of required parking stalls from 642 to 376 spaces.**

The 2013 traffic and parking study should be updated to reflect any changes to the traffic and parking impacts. This can simply include an update memorandum from a qualified engineer. Based on the 2013 study, the maximum parking demand on site was 298 autos during Sunday services (with an additional 11 autos across Arlington Heights Road at Futabakai School). This proposal includes adding 46 spaces to the north of the new Parish Life Center to replace 17 existing spaces for a net gain of 29 spaces. One question to be addressed in an updated parking study is whether or not this additional parking is needed.

Building

Design Commission review will be required for the new buildings. A preliminary meeting of the Design Commission has been scheduled for November 24, 2015. The architecture is similar to the previous proposal in 2013. The new rectory is a ranch style residence with suites for three priests. As required for all single family residences, one sprinkler head will be required near the furnace. Also the chapel may be required to be sprinklered.

Landscape & Tree Preservation

An updated tree preservation plan and landscape plan shall be provided. Ground mounted HVAC systems shall be screened with a combination of landscaping and a wood fence to help mitigate noise. Detention areas shall also be landscaped. In addition the new parking area shall be screened with landscaping to the north by a densely planted row of 36" Yews, and other ornamental shrubs such as forsythia and knockout roses and 6-8' tall evergreen trees. It should be noted that in 2001, there was a resident Petition presented to the Village asking that the Petitioner not be required to install a fence and/or dense landscaping along the perimeter of the property as what was required by Code. The petitioner shall obtain feedback from the residents regarding this issue as the new site plan proposes a rectory in the northeast portion of the site.

RECOMMENDATIONS:

On November 3, 2015, the Staff Development Committee reviewed the Petitioner's request and is **generally supportive** of the proposed PUD amendment, subject to all site development issues, including those listed below, being addressed.

1. Provide a written justification for each variation based upon the following hardship criteria:
 - **The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and**
 - **The plight of the owner is due to unique circumstances; and**
 - **The variation, if granted, will not alter the essential character of the locality.**
2. Provide a memo to update the 2013 traffic and parking study from a Certified Traffic Engineer, addressing any additional impacts of the proposed amendment on parking and traffic.
3. Provide fully dimensioned and to scale engineering plans, details and detention calculations.
4. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

____ November 10, 2015

Bill Enright, AICP

Deputy Director of Planning & Community Development

C: Randy Recklaus, Village Manager
All Department Heads



Date: October 8, 2015

To: Village of Arlington Heights,
33 South Arlington Heights Road
Arlington Heights, IL 60005

From: Susan Maish, ALA
Jaeger Nickola Kuhlman and Associates
350 South Northwest Hwy, Suite 106
Park Ridge, IL 60068

Re: St. Edna Catholic Church
2525 N. Arlington Heights Road
Arlington Heights, Illinois 60004

Subject: **PROJECT NARRATIVE FOR STAFF REVIEW- St. Edna Catholic Church**

St. Edna Catholic Parish is requesting a staff review for a new amendment to their existing PUD.

Background of St. Edna Catholic Church

St. Edna Catholic Parish is located at 2525 North Arlington Heights Road in an R-1 Zoning District. The existing 41,700 square foot building was built in three phases. In 1967 the one-story masonry church and religious education building (Doherty Center) was built. The administration wing (Hurley Center) was added in 1991 and in 2001 the narthex was added. In 1973, a 7,570 square foot rectory was also built onsite as a separate building.

In 2001 when the Narthex was being added, a PUD was completed to allow two buildings on one zoning lot. One variation was also approved:

1. A variation from Chapter 28, Section 5.3-4, Required Minimum Yards, to allow a reduction to the minimum side yard setback along the south property line from 50 to 34 feet.

On December 2, 2013, St. Edna Catholic Church received another approval from the Village Board to amend their existing PUD. The PUD amendment included a portion of the original master plan which contained the addition of a 10,800 sf Parish Center, the remodeling of the existing Doherty Center, the remodeling of the existing lower level Hurley Center, a revised northeast parking area, a revised northeast detention area, and a new southwest detention area. One variation was also approved:

1. A variation from Chapter 28, Section 11.4, Schedule of Required Parking, to allow the reduction to the minimum of required parking stalls from 590 to 362 spaces or a reduction of 228 spaces.

In September of 2013, the existing Rectory was demolished to prepare for the construction of the new Parish Center. The approved PUD Parish Center and site work were scheduled to begin construction in

the Spring of 2014. Since funding was not available, the project did not move forward. In 2015, the Parish took a second look at the approved plan and modifications were made.

Building Project Overview

The Revised Site plan which St. Edna is requesting approval includes an enlarged Parish Life Center, an enlarged northeast parking lot, the remodeling of the main level of the Doherty Center and the lower level of the Hurley Center, a new Chapel on the west side of the Church, a new Rectory in the northeast corner of the lot, a revised northeast detention area and a new southwest detention area. Phase 1 of this revised Master Plan would include the addition of the 12,800 square foot Parish Center, the revised parking and detention, and the Rectory.

Site

In 2001 the existing parking lot was enlarged and updated with landscaping and lighting. Currently there are 338 parking spaces on the main lot and 17 additional parking spaces in a small northeast lot. The 2013 approved PUD enlarged the northeast lot to 25 spaces. The site plan that is being proposed now will further enlarge the northeast parking lot to 46 spaces including a total of 376 parking spaces. The new parking lot will comply with all the Village of Arlington Heights requirements for lighting and landscaping. The new light fixtures will comply with all Village of Arlington Heights foot candles requirements. A new variance will be requested from Chapter 28, Section 11.4, Schedule of Required Parking, to allow the reduction to the minimum of required parking stalls from 643 to 376 spaces or a reduction of 267 spaces.

There is one existing detention area on site in the northeast corner of the lot. This detention area will be modified to accommodate new storm water requirements for the proposed buildings and parking addition. Given the additional impervious area and the new MWRD requirements, calculations will need to be created to determine the depth and extent of the northeast detention area and its coordination with the new rectory. A new detention area in the southwest corner of the lot will also be created to accommodate the additional storm water.

Parish Center

The new Parish Center will be used for all large scale Parish functions that are social in nature such as the Appreciation Dinner, Concerts, Theater Presentations, Movie Night, Pancake Breakfast, Youth Ministry, Fashion Shows, Puppet Ministry, Athletic Functions (Basketball, Volleyball, Badminton, etc.) St. Edna will not rent out any facilities while Mass is going on in the Church. The Parish Center will be supported by a stage, appropriate storage space for theater and athletic functions, and a stage lift to maintain accessibility. A future exterior patio is also planned. To limit the impact on the neighbors, the patio will be located just south of the proposed building between the existing and proposed building. The Parish Center will also be supported by its own accessible toilet facilities, a kitchen, and mechanical space.

The kitchen will be designed to comply with all Village of Arlington Heights requirements.

The proposed Parish Center will be a precast building designed to blend with both the 1967 construction and the 1991 addition. The west façade ties in with the existing Church and Doherty Center utilizing the dark brick, flat roof, and large white fascia. The larger volume continues the dark thin brick to a height of 12'-0". Above the thin brick is a painted buff color finish designed to blend with the existing Hurley Center (and the former Rectory). The overall height of the Parish Center Main Space has been raised 5'-0" from the last PUD approval to better accommodate athletics. A link will connect the new Parish Center to the

existing Hurley Center. The new link will abut the existing Hurley Center. The existing Hurley Center Kalwall roof will be removed and replaced with a new flat roof. Two canopies have been created: One which marks the entrance into the Parish Life Center and one which marks the main entrance of the Parish facilities.

Rectory

Both the remodeling of the existing Haddow House (located to the east of the St. Edna Property) and the creation of a new rectory were explored. It was determined that creating a rectory onsite was the best way to create an efficient living space for the priests of St. Edna. The proposed rectory is 4,540 square feet with overall dimensions of 126'-0" x 37'-7". It is designed as a one story building with a basement and a total building height of 21'-0". It contains suites for 3 priests.

Phasing

In order for the Parish to be able to maintain all their functions throughout the implementation of the Master Plan, the Parish Center needs to be constructed first. During the construction of the Parish Center, the large functions will continue to inhabit the Doherty Center. After the Parish Center is complete and funding is available, the Doherty Center will be remodeled into new meeting room space. No funds have been raised for this remodeling work at this time. The remaining phases of the project include the remodeling of the lower level of the Hurley Center into the new Youth Center and additional storage as Phase 3 and the creation of a new Chapel on the East side of the Church as Phase 4.

St. Edna General Information

Congregation: 2,928 families (approximately 8,994 persons)

<i>Business Office:</i>	Monday through Thursdays	8:30 am - 8:00 pm
	Friday	8:30 am - 5:00 pm
	Saturday	9:00 am – 5:00 pm
	Sundays	9:00 am - 1:00 pm

Employees: 17 employees (full-time and part-time)
2 Priests

<i>Mass Schedule:</i>	Monday through Friday	6:45 am; 8:00 am
	Saturday	5:00 pm
	Sunday	7:30am; 9:30 am; 11:30 am; and 5:30 pm

(total weekly Sat. pm/ Sunday Mass attendance = 2,400 average)

At the time of the last renovation the church had 7:00, 8:15, 9:30, 11:00 and 12:30 Masses on Sunday. After the last renovation, the church changed their schedule to allow two hours between each service. This eliminated any overlap in the parking lot. The church still utilizes police officers to direct traffic at all Sunday morning services.

Religious Education:

St. Edna does not have a school or a day care center and has no plans to offer either in the future. They only have religious education classes and sacramental preparation classes as listed following.

Kindergarten through Grade 6 (25 classes/ year--- 1/ week)

JAEGER NICKOLA KUHLMAN & ASSOCIATES, LTD., ARCHITECTS
350 S. Northwest Highway, Suite 106, Park Ridge, Illinois 60068
Ph: 847.692.6166 www.jnka-architects.com Fax: 847.692.2002

Tuesday 4:30 pm - 5:30 pm (Grades 1-3)
 Tuesdays 6:00 pm – 7:00 pm (Grades 1-7)
 Wednesdays 4:30 pm – 5:30 pm (Grades K-7)

Children in Kindergarten through Junior High attend one religious education class per week, approximately three times per month, September through March.

Grades 8 &9- Confirmation Preparation (24 classes over 2 years- Dates vary)

Sundays 4:00 pm - 5:15 pm

In addition to parish lay leadership groups (i.e. Pastoral Council, Stewardship Council, Finance Board), St. Edna has many groups in the Ministries of Social Outreach, Bereavement, Music/Liturgy, Family Life Social Life, Adult Formation/Spirituality, Stewardship, Separated & Divorced, AA/Al-Anon. Most groups meet once a month, a few on a weekly basis. Meeting times vary – mornings, afternoons, evenings – with an average attendance range from 6 to 20 people. Many groups do not meet for 2 – 3 months during the summer.

Drawings

I have included the following drawings for your review

Drawing Title	Date	Comments
Existing Site Plan	October 8, 2015	
Approved PUD Site Plan	November 7, 2013	Site Plan approved as a part of PC#13-020
Proposed Site Plan with Rectory	October 8, 2015	Newly Proposed Site Plan
Existing Floor Plans	October 8, 2015	
Approved PUD Floor Plan	November 7, 2013	Floor Plan approved as a part of PC#13-020
Proposed Floor Plan	October 8, 2015	Newly Proposed Floor Plan.
Parish Center- West Elevation	October 8, 2015	Top Image- Proposed Parish Center Bottom Image- Image approved as a part of PC#13-020.
Parish Center-Northwest Elev.	October 8, 2015	Top Image- Proposed Parish Center Bottom Image- Image approved as a part of PC#13-020.
Parish Center- Northeast Elev.	October 8, 2015	Top Image- Proposed Parish Center Bottom Image- Image approved as a part of PC#13-020.

Parish Center- North Elevation With Building Heights	October 8, 2015	Top Image- Proposed Parish Center Bottom Image- Image approved as a part of PC#13-020.
Proposed Chapel Elevations	October 8, 2015	Top Image- Proposed Chapel Bottom Image- Proposed Chapel
Rectory Elevations	September 31, 2015	
Rectory Elevations	September 31, 2015	
Rectory Main Level Floor Plan	September 31, 2015	
Rectory Roof Plan and Wall Section	September 31, 2015	



October 8, 2015

PRELIMINARY ZONING STUDY

PROJECT: St. Edna Catholic Church
2525 N. Arlington Heights Road
Arlington Heights, Illinois 60004

Zoning District: R-1 Planned Unit Development

Site Area: 370,120 square feet (8.5 Acres)
Minimum area – 20,000 sf

	Allowable	Existing	Complies	2013 PUD Approved	Complies	Proposed Site Plan	Complies
Minimum Lot Area	20,000 sf	370,120 sf	X		X		X
Minimum Lot Width	100 feet	500 feet	X		X		X
SETBACKS							
Front	40'-0"	190'-1"	X		X	148'-6" to Chapel	X
Side- South	50'-0"	34'-0" Variance approved in 2001		34'-0" to Church	X	34'-0" to Church; 69'-1" to Chapel	X
Side- North	50'-0"	308'-3" (Narthex Addition)	X	231'-3" (Parish Center)	X	50'-0" to Rectory; 231'-0" to Parish Center	X

	Allowable	Existing	Complies	2013 PUD Approved	Complies	Proposed Site Plan	Complies
Rear	30'-0"	156'-10" (Rectory) 145'-5" (Hurley Center)	X	156'-10" Parish Center	X	68'-6" to Rectory; 141'- 5" to Parish Center; 4'-0" closer than current Hurley Center	X
Parking	No requirement	175'-7"	X	163'-6"	X	105'-0"	X
Height From church floor (0'-0") Parish Center at (+1'-2")	45'-0" 75'-0" spires	25'-10" Church 44'-10" Spire	X	25'-8" top of wall 30'-8" top of gable	X	30'-8" top of wall 35'-8" top of gable; Rectory 21'-0"	X
Lot Coverage	30%	11.5%	X	14.4%	X	16.8%	X
FAR	30%	11.5%	X	14.4%	X	16.8%	X
Maximum Impervious Coverage	No requirement	200,800sf 54% Includes Former Rectory		217,200sf 59%		232,000 63%	
Parking Count	356			362		376	

Building Area:

Church/Doherty Center/Hurley: 41,700 sf
Garage: 890 sf
TOTAL: 42,590 sf

Lot Coverage Allowable:

30%

Allowable Floor Area

370,242 * .3= 111,072

Existing Lot Coverage:

42,590/370,242= 11.5%

2013 PUD Approved Lot Coverage:

Church/Doherty Center/Hurley:	41,700 sf
Parish Center:	10,800 sf
Garage:	890 sf
TOTAL:	53,390 sf

New Lot Coverage: $53,490/370,242 = 14.4\%$

New Proposed Lot Coverage with Rectory

Church/Doherty Center/Hurley:	41,700 sf
Parish Center:	12,795 sf
Chapel	2,240 sf
Garage:	890 sf
Rectory	4,540 sf
TOTAL:	62,165 sf

New Lot Coverage: $62,165/370,242 = 16.8\%$

Existing Floor Area:

Church/ Doherty/Hurley Main and office Level-	41,700 sf
Hurley Basement (N/A not half above grade)	
Rectory- Main Level	4,150 sf
Lower Level	1,845 sf
Upper Level	1,575 sf
Detached Garage	890 sf
TOTAL:	50,209 sf

Allowable Floor Area Ratio: 30%

Allowable Floor Area $370,242 * .3 = 111,072$

Actual Floor Area Ratio: $370,242/50,209 = 13.5\%$

PUD Approved Floor Area

New Lot Floor Area Ratio:

Church/Doherty Center/Hurley:	41,700 sf
Hurley Basement (N/A not half above grade)	
Parish Center:	10,800 sf
Garage:	890 sf
TOTAL:	53,390 sf

New Floor Area Ratio: 53,490/370,242 = 14.4%

New Proposed Floor Area with Rectory

New Lot Floor Area Ratio:

Church/Doherty Center/Hurley:	41,700 sf
Hurley Basement (N/A not half above grade)	
Parish Center:	12,795 sf
Chapel	2,240 sf
Rectory	4,540 sf
Garage:	890 sf
TOTAL:	62,165 sf

New Floor Area Ratio: 62,165/370,242 = 16.8%

Maximum Impervious Surface Coverage N/A

Maximum Height: 75 feet for spires
45 feet for main structures

Actual Heights (VIF)

Church	25'-10" top of gable
Church Spire	38'-4"
Doherty Center	12'-4" center of roof
Hurley Center-	23'-9" top of skylight
Parish Center	30'-8" from new floor slab
Parish Center Gable	35'-8"



ST. EDNA PARISH PARKING CALCULATIONS

10/8/2015

2525 N. Arlington Heights Road, Arlington Heights, IL 60004

2013 APPROVED PUD PLAN

		SF	Occ. Req'd	Occ.	Requirement	# of Spaces Req'd
Church	Nave			995	1 space/ 5 seats	199
	Choir			35	1 space/ 5 seats	7
	Narthex			130	1 space/ 5 seats	26
	Community Room	990	15 sf/p	66	30% of Occupancy	20
Doherty	Multi-Purpose Rooms	5342	15 sf/p	356	30% of Occupancy	107
	Office	750			1 space of 300 sf	3
Hurley	Office Area	3750			1 space of 300 sf	13
	Meeting Rooms	2020	15 sf/p	135	30% of Occupancy	40
	Youth Room	2225	15 sf/p	148	30% of Occupancy	44
Parish Center	Multi-Purpose Rooms (Main Space)	5295	15 sf/p	353	30% of Occupancy	106
	Multi-Purpose Rooms (Stage)	1229	15 sf/p	82	30% of Occupancy	25
TOTAL REQUIRED						590
						362
						228

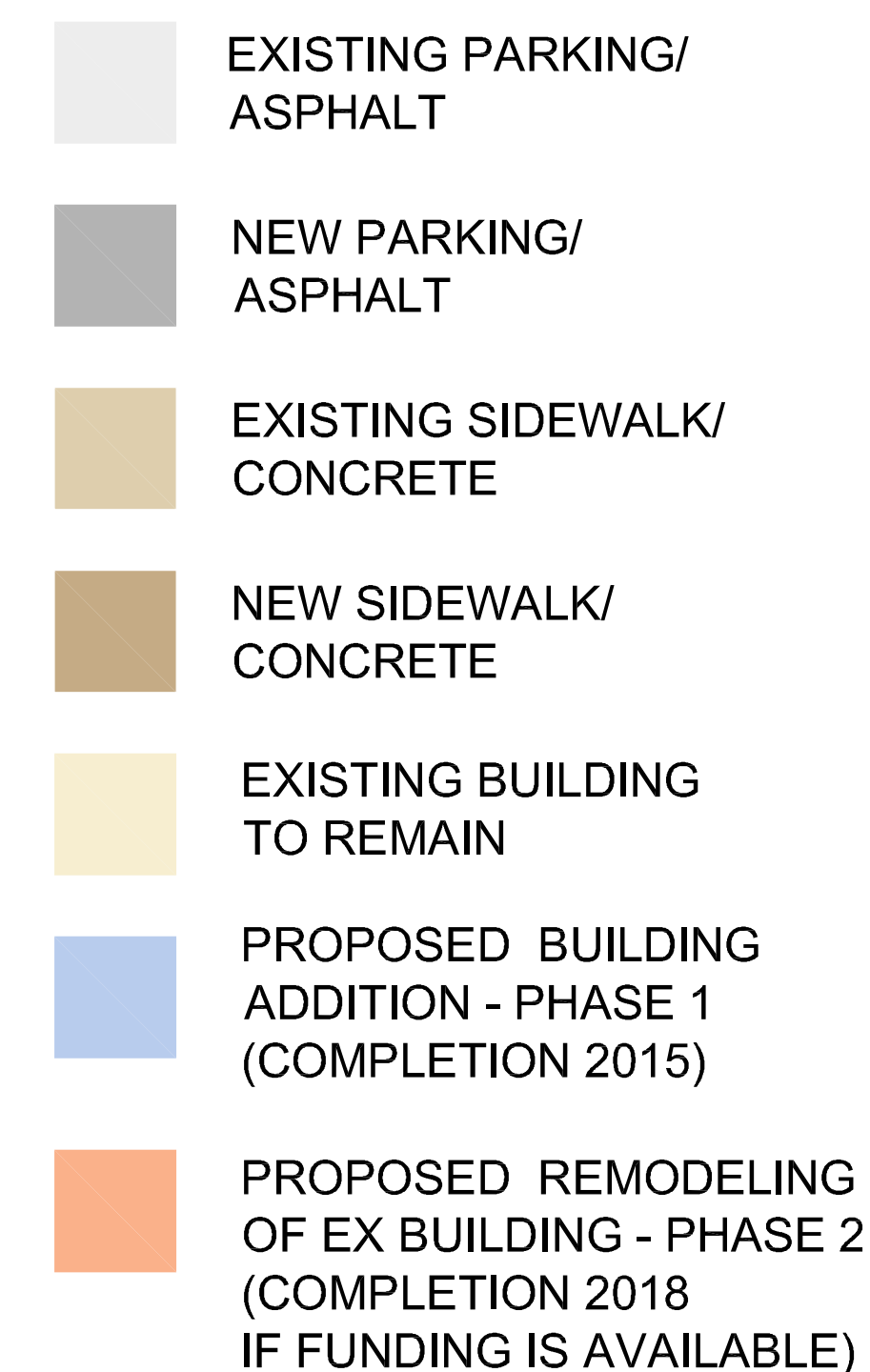
Parking Provided
Variance Required

PROPOSED REVISED SITE PLAN

		SF	Occ. Req'd	Occ.	Requirement	# of Spaces Req'd
Church	Nave			995	1 space/ 5 seats	199
	Choir			35	1 space/ 5 seats	7
	Narthex			130	1 space/ 5 seats	26
	Community Room	990	15 sf/p	66	30% of Occupancy	20
Doherty	Multi-Purpose Rooms	5342	15 sf/p	356	30% of Occupancy	107
	Office	750			1 space of 300 sf	3
Hurley	Office Area	3750			1 space of 300 sf	13
	Meeting Rooms	2020	15 sf/p	135	30% of Occupancy	40
	Youth Room	2275	15 sf/p	152	30% of Occupancy	46
Parish Center	Multi-Purpose Rooms (Main Space)	6530	15 sf/p	435	30% of Occupancy	131
	Multi-Purpose Rooms (Stage)	1335	15 sf/p	89	30% of Occupancy	27
Rectory	Dwelling Unit	3		3	1 per priest suite	3
Chapel	Chapel			104	1 space/5 seats	21
TOTAL REQUIRED						643
						376
						267

Parking Provided
Variance Required





ZONING DISTRICT	R-1 PLANNED UNIT DEVELOPMENT	
AREA		
EXISTING CHURCH/DOHERTY CENTER/ HURLEY CENTER	41,700 SF	
NEW PARISH CENTER	10,800 SF	
GARAGE	890 SF	

	REQUIRED	ACTUAL
SITE AREA	20,000 SF	370,242 SF
LOT WIDTH	100'-0"	500'-0"
SETBACKS		
FRONT	40'-0"	190'-1"
REAR	30'-0"	156'-10"
SIDE (N)	50'-0"	229'-5"
SIDE* (S)	34'-0"	34'-0"
LOT COVERAGE	30%	15.7%
F.A.R.	30%	15.7%
HEIGHT	45'-0"	30'-8"

* SIDE SETBACK MODIFIED AS A PART OF ORIGINAL PLAN.

	SF	Occup. Ret.	Occ.	Parking Requirement	Spaces Required
Church					
Nave			995	1 space/ 5 seats	195
Choir			35	1 space/ 5 seats	7
Narthex (Overflow)			130	1 space/ 5 seats	26
Community Room	990	15 sfp.	66	30% of occup.	20
Doherty Center					
Meeting Rooms- South	6,342	15 sfp.	356	30% of occup.	107
Offices	750			1 space/ 300 sf	3
Hurley Center					
Office area	3750			1 space/ 300 sf	13
Meeting Rooms	2020	15 sfp.	135	30% of occup.	40
Youth Room	2,225	15 sfp	148	30% of occup.	44
New Parish Center					
Multi-purpose	6,295	15 sfp	353	30% of occup.	105
Multi-purpose	1,229	15 sfp	82	30% of occup.	25

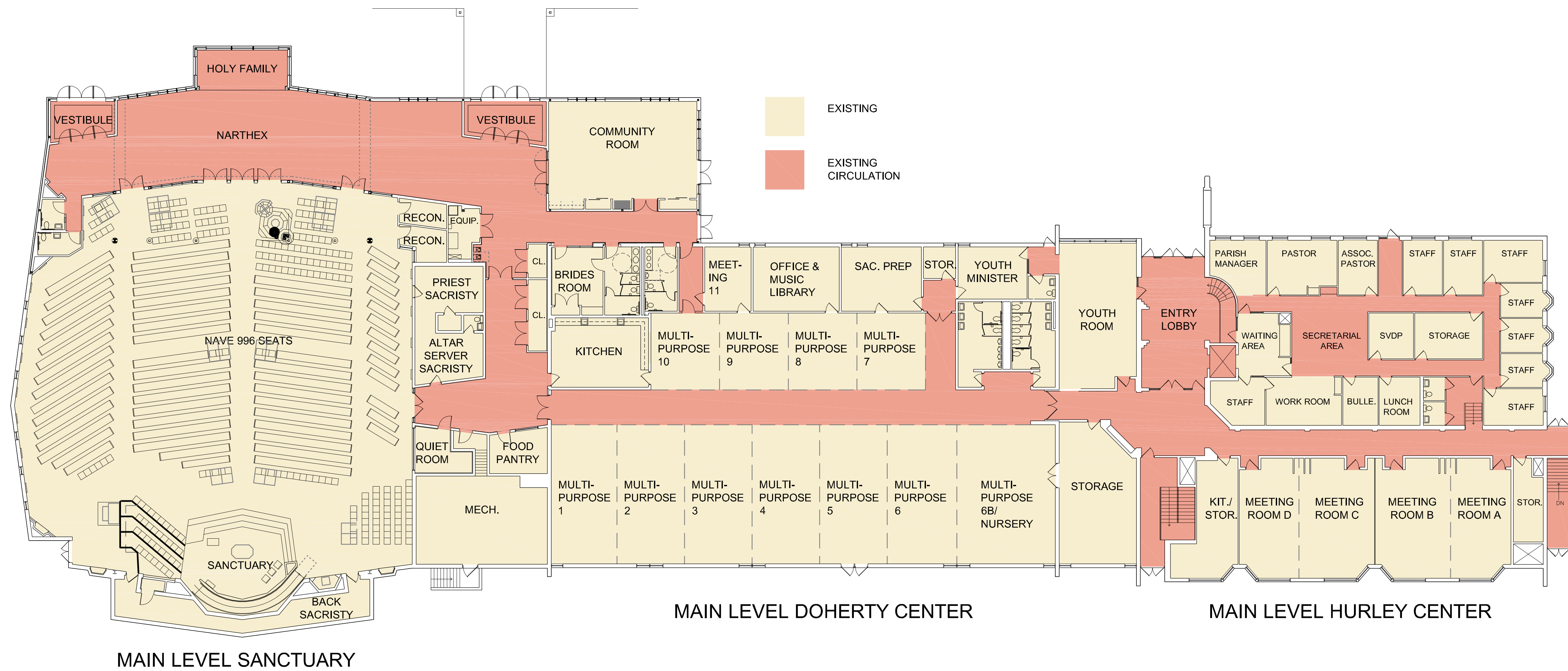
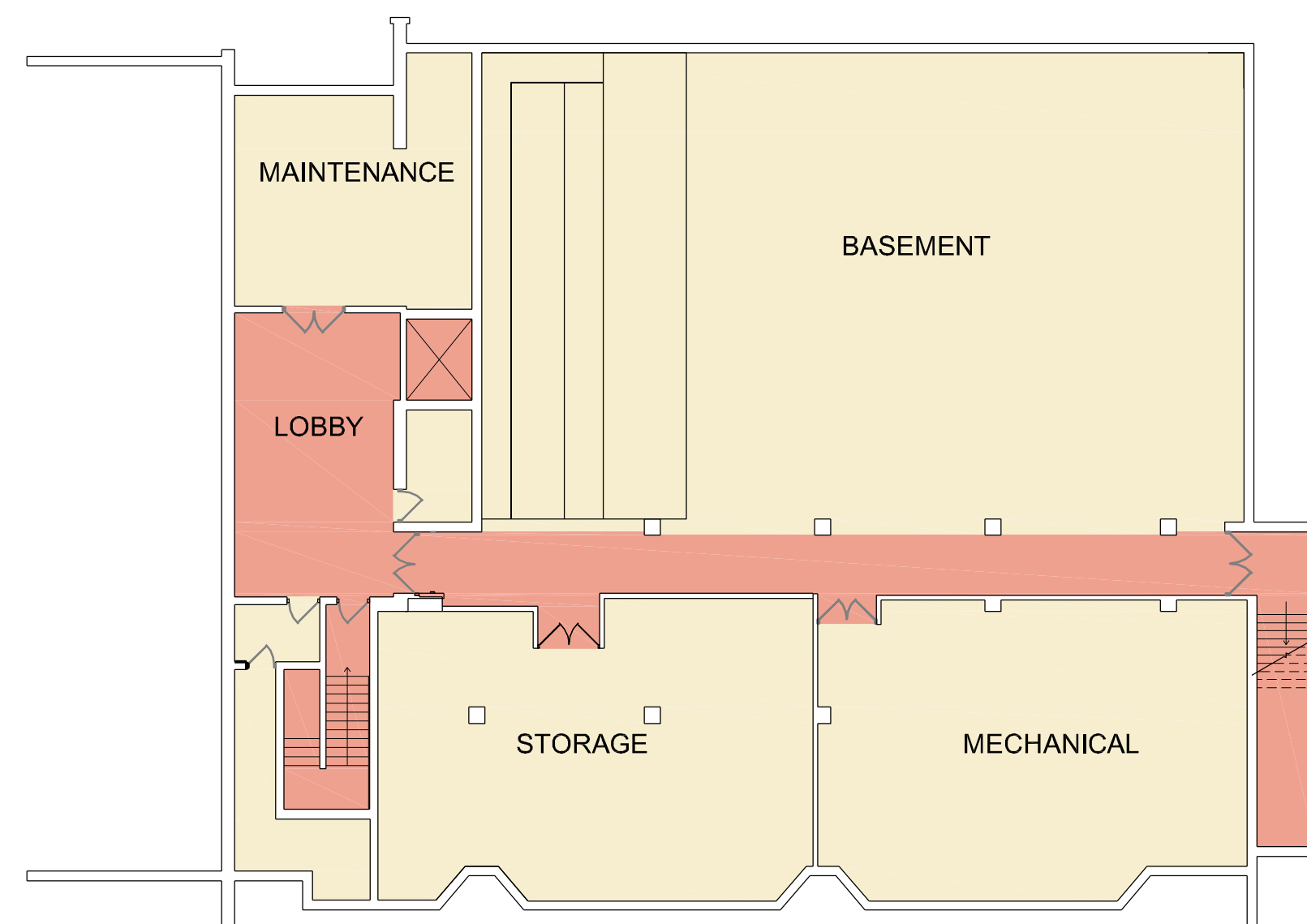
Required Parking Spaces	590
Parking Spaces provided	362
Variance Requested	228

0 30' 60'

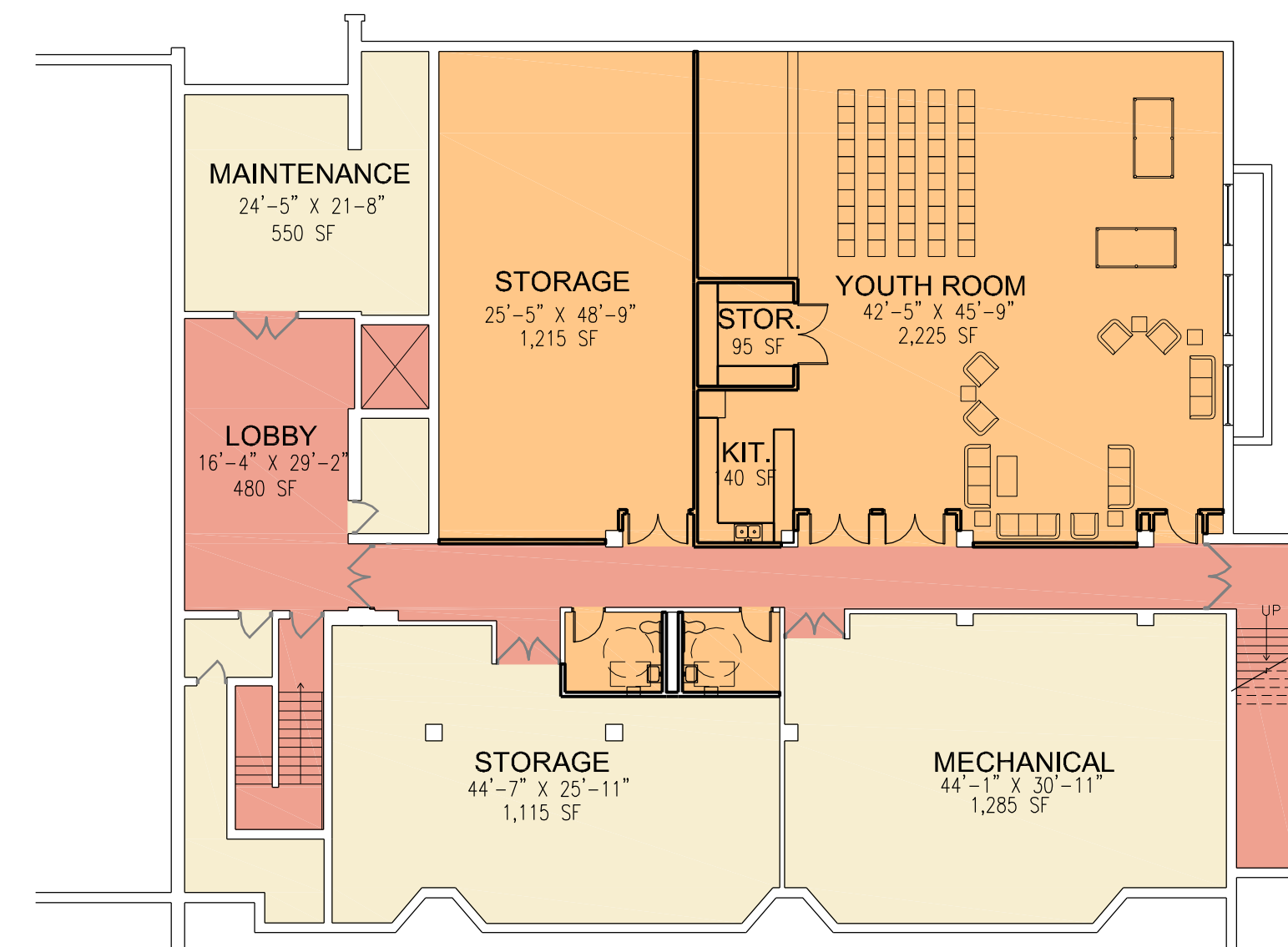
November 7, 2013



- EXISTING PARKING/
ASPHALT
- NEW PARKING/
ASPHALT
- EXISTING SIDEWALK/
CONCRETE
- NEW SIDEWALK/
CONCRETE
- EXISTING BUILDING
- PROPOSED BUILDING
ADDITION
- PROPOSED REMODELING
OF EX BUILDING
- NEW RECTORY



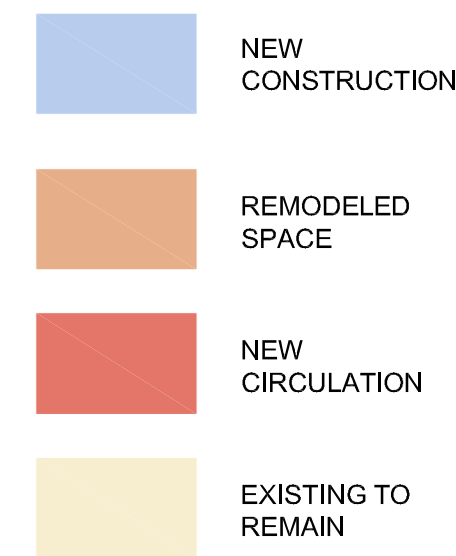
EXISTING FLOOR PLANS



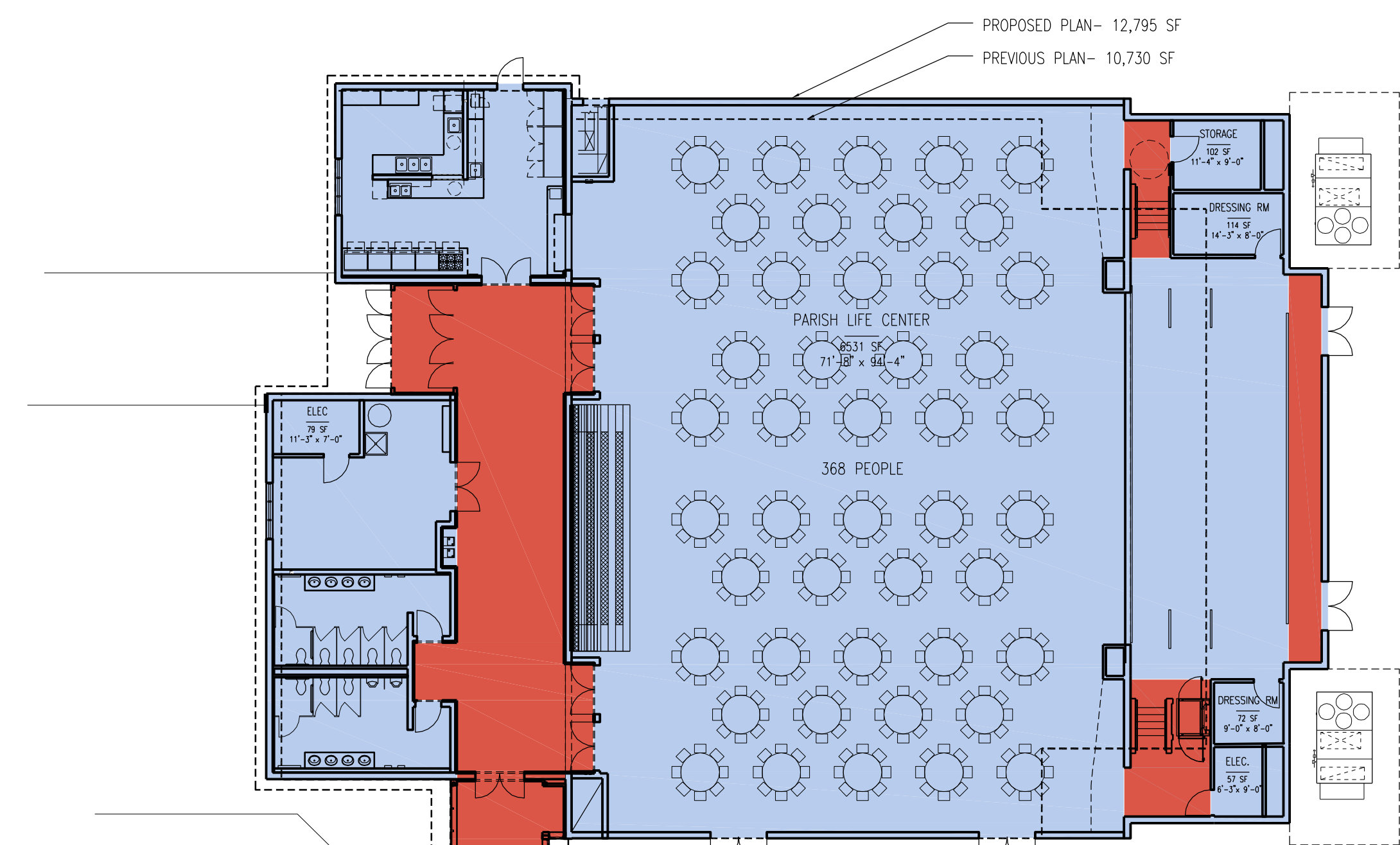
PROPOSED MASTER PLAN LOWER
LEVEL HURLEY CENTER

- EXISTING TO REMAIN
- EXISTING CIRCULATION
- NEW CIRCULATION
- PHASE 1- NEW CONSTRUCTION (COMPLETION 2015)
- PHASE 2- DOHERTY CENTER REMODELING (COMPLETION 2018 IF FUNDING IS AVAILABLE)





PROPOSED PARISH CENTER



MAIN LEVEL HURLEY CENTER



PROPOSED PARISH CENTER WEST ELEVATION



APPROVED PUD PARISH CENTER PC#13-020 WEST ELEVATION



PROPOSED PARISH CENTER NORTHWEST ELEVATION



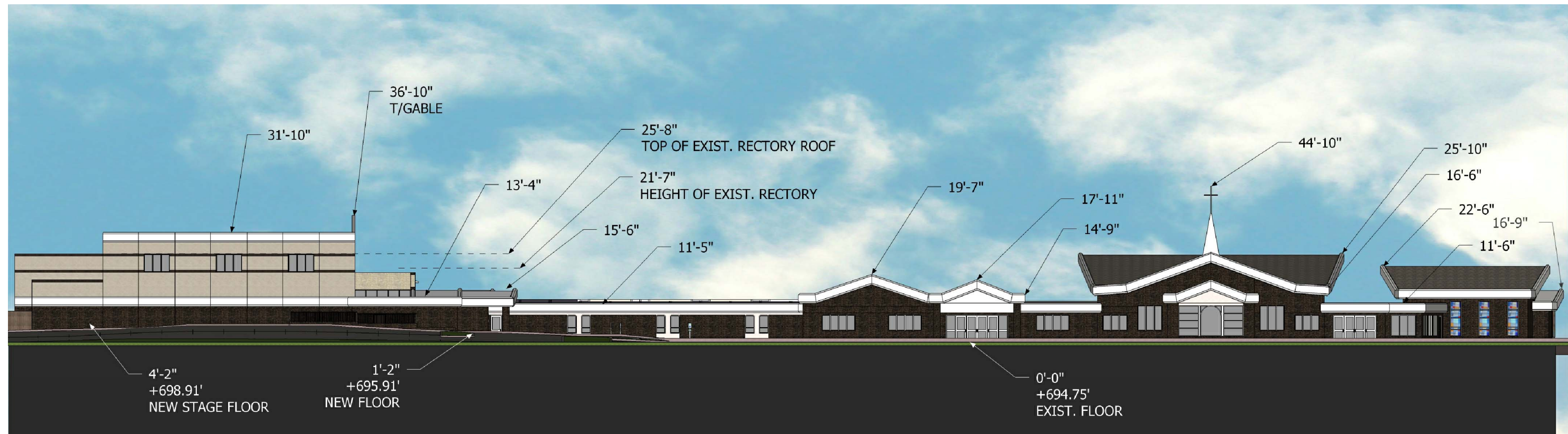
APPROVED PUD PARISH CENTER PC #13-020 NORTHWEST ELEVATION



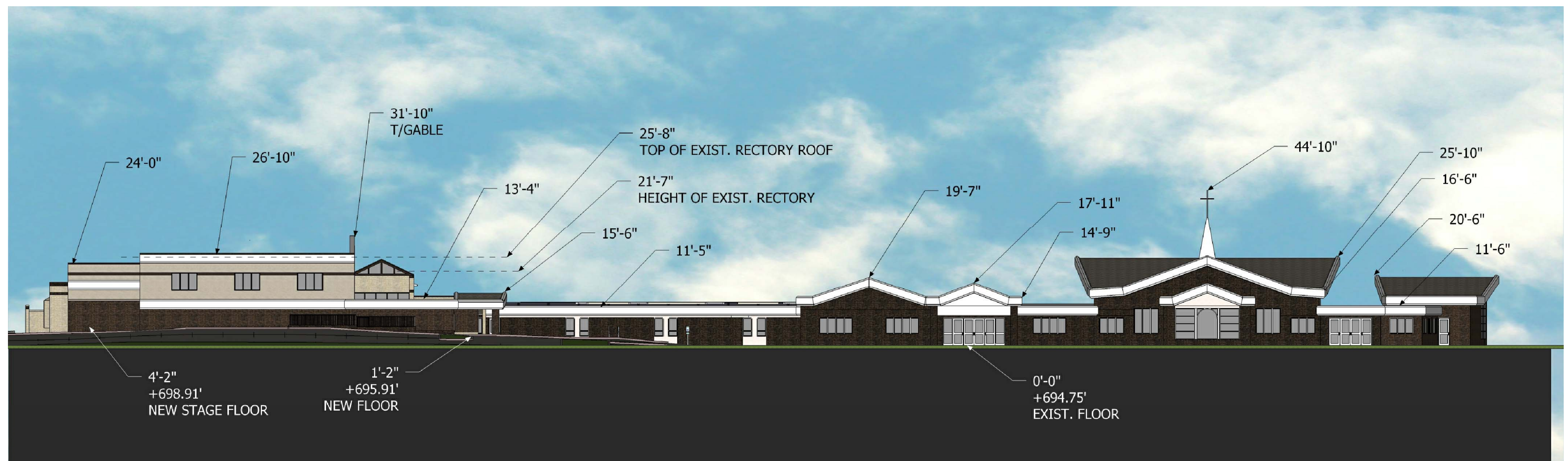
PROPOSED PARISH CENTER NORTHEAST ELEVATION



APPROVED PUD PARISH CENTER PC#13-020 NORTHEAST ELEVATION



PROPOSED PARISH CENTER NORTH ELEVATION



APPROVED PUD PARISH CENTER PC #13-020 NORTH ELEVATION



CHAPEL NORTHWEST PERSPECTIVE



CHAPEL WEST ELEVATION

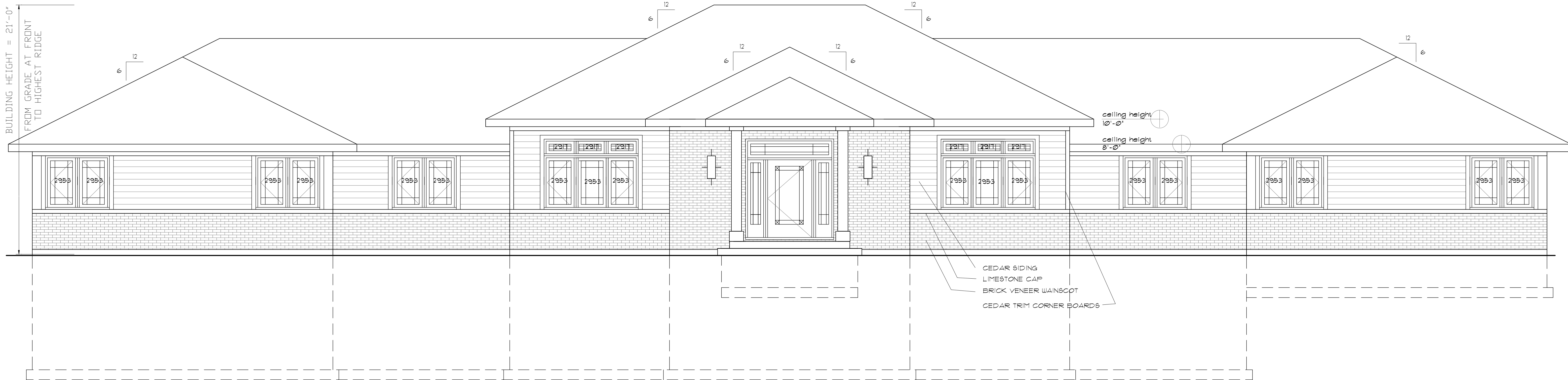
ADDRESS NOTE:

A PERMANENT ADDRESS TO BE APPLIED TO BUILDING ELEVATION AND BE VISIBLE FROM STREET
LETTERS TO BE NO LESS THEN 5" HIGH

EXTERIOR DOOR LOCK NOTE:

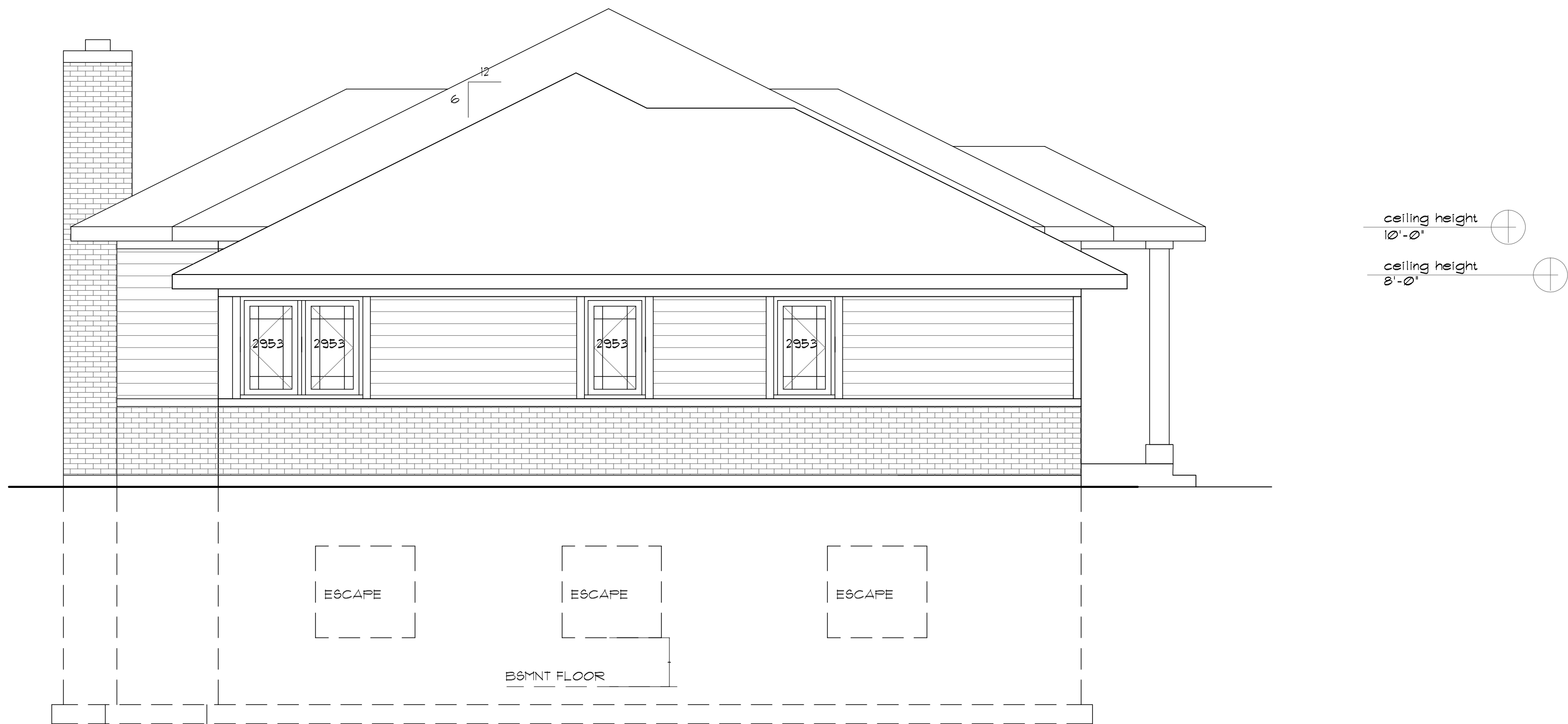
ALL EXTERIOR DOORS RTO BE FITTED WITH SEPARATE 1" THROW DEADBOLT LOCATED A MIN. OF 6" FROM LOCK SET
PROVIDE SECURITY STRIKE PLATE AT ALL EXTERIOR DOORS

THE SAINT EDNA CATHOLIC CHURCH
NEW RECTORY
2525 N. Arlington Heights Rd.
ARLINGTON HEIGHTS ILLINOIS



FRONT ELEVATION

1/4" = 1'-0"



LEFT SIDE ELEVATION

1/4" = 1'-0"

IMPORTANT BRICK AND STONE SILL NOTICE

IN ORDER TO PREVENT LATTER BINDING PROBLEMS AFTER WOOD SHRINKAGE HAS OCCURRED, PROVIDE 3/8" OF AN INCH OF CLEARANCE BETWEEN BRICK OR STONE SILL6 AND BOTTOM OF ANY WINDOW OR DOOR BEING INSTALLED DIRECTLY ABOVE. TO FILL GAP BEING CREATED, PROVIDE A HEAVY BEAD OF RESILIENT, NON-HARDENING CAULK THE ENTIRE WIDTH OF DOOR OR WINDOW UNIT. NO CONTACT BETWEEN THE BRICK OR STONE SILL AND FRAME OF THE WINDOW SHALL BE ALLOWED.

STANDARD ELEVATION NOTES

- SELF SEALING PREMIUM LAMINATED ASPHALT SHINGLES
- CONTINUOUS SHINGLE ROLL RIDGE VENT OVER SLOTTED PLYWOOD RIDGE
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 1" X 8" CEDAR WOOD FASCIA
- 3/8" CEDAR SOFFIT WITH 2" CONTINUOUS SOFFIT VENT
- PARTIAL BRICK VENEER
- PARTIAL CEDAR SIDING
- SHEET METAL FLASHING AT ALL ROOF TO WALL INTERSECTIONS
- SHEET METAL FLASHING AT ALL ROOFING TO CHIMNEY INTERSECTIONS
- SHEET METAL FLASHING AT ALL ROOF TO SKYLIGHT INTERSECTIONS

WINDOW INFORMATION

ALL PRIME WINDOWS ON THE JOB SHALL BE

- | | |
|--|---|
| ☐ ANDERSON | ☒ FELLA |
| ☐ MARVIN | ☐ EAGLE |
| ☐ WEATHERSHIELD | ☐ SEMCO |
| ☐ OTHER | |

ALL PATIO DOOR UNITS ON THE JOB SHALL BE

- | | |
|--|---|
| ☐ ANDERSON | ☒ FELLA |
| ☐ MARVIN | ☐ EAGLE |
| ☐ WEATHERSHIELD | ☐ SEMCO |
| ☐ OTHER | |

FINISH AND COLOR OF PRIME WINDOWS TO BE

- | | |
|--|---|
| ☐ PRIMED WOOD | ☐ WHITE |
| ☐ VINYL CLAD | ☒ TERRATONE |
| ☐ ALUMINUM CLAD | ☐ BROWN |
| ☐ OTHER | |

GLAZING PACKAGE SHALL BE (SEE TEMPERED GLASS NOTE BELOW)

- | | |
|--|--|
| ☐ SINGLE GLAZED | ☐ NORMAL GLASS |
| ☐ DOUBLE GLAZED | ☒ INSULATED GLASS |
| ☐ TRIPLE GLAZED | ☐ TINTED GLASS / APPLIED FILM |

WINDOW MUTTONS SHALL BE

- | |
|--|
| ☒ SNAP - IN OVER THE GLASS |
| ☐ CONTAINED BETWEEN THE GLASS |
| ☐ GLUED TO INSIDE AND OUTSIDE FACE OF GLASS |
| ☐ TRUE DIVIDED LIGHTS |
| ☐ NOT PROVIDED |

WINDOW SIZES SHOWN ARE BASED UPON

- | |
|---|
| ☐ GLASS SIZE |
| ☒ UNIT DIMENSIONS |
| ☐ MANUFACTURERS NOMENCLATURE |
| ☐ SASH SIZE |
| ☐ ROUGH OPENINGS |

WINDOW ACCESSORIES TO BE PROVIDED

- | | |
|---|---|
| ☒ SCREENS | ☐ FACTORY - APPLIED BRICK MOLD |
| ☐ MINI - BLINDS | ☐ CARPENTER - APPLIED BRICK MOLD |
| ☐ PLEATED SHADES | ☐ EXTERIOR STORM PANELS |
| ☐ FACTORY MULLS | ☐ STRUCTURAL MULLS |
| ☐ CUSTOM HARDWARE | |

NOTE:

1/4" TEMPERED INSUL GLASS MUST BE PROVIDED IN THE FOLLOWING LOCATIONS
ALL FIXED AND OPERABLE PANELS OF PATIO PATIO DOORS (USE 5/8" TEMP. MIN.)
ALL STORM DOORS
ALL WINDOWS WITHIN 5 FEET FROM BATHTUB OR SHOWER
ALL WINDOWS GREATER THAN 9 SQ. FEET IN AREA
THAT COME WITHIN 18 INCHES FROM FINISHED FLOOR
ALL WINDOWS WITHIN 17" OF DOORS
ADJACENT TO TUBS
SHOWER AND TUB DOORS
GLAZING TO FOLLOW R 208 OF CABO

ISSUE DATES:

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75 BLUE JAY LANE, HAWTHORN WOODS, ILLINOIS 60067
TELEPHONE 84550407
FAX 84550407

JOB NO.

DESIGN BY:

CHECKED BY:

APPROVED

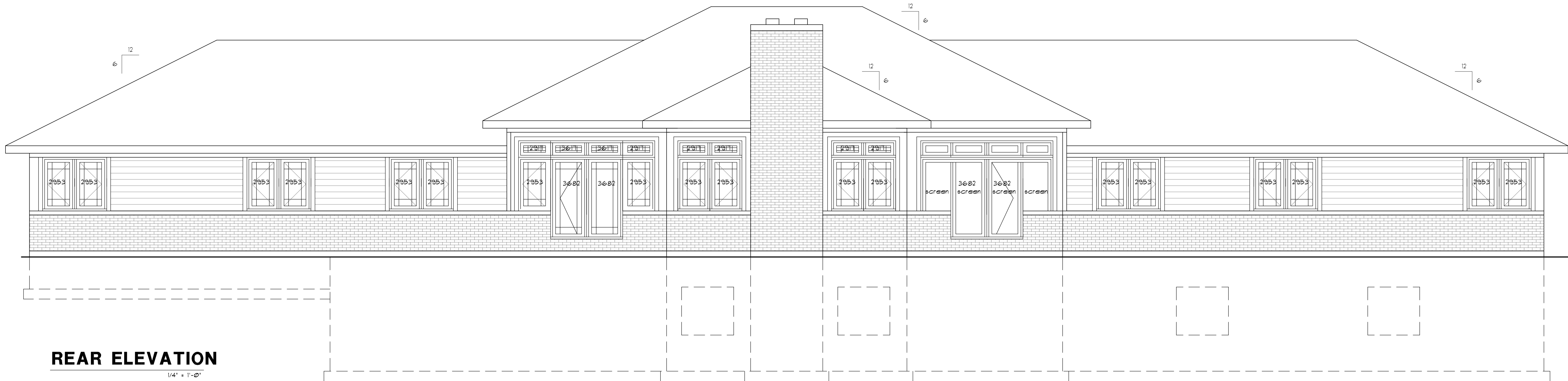
ELEVATIONS

THE SAINT EDNA CATHOLIC CHURCH
NEW RECTORY
2525 N. Arlington Heights Rd.
ARLINGTON HEIGHTS ILLINOIS

SHEET NO.

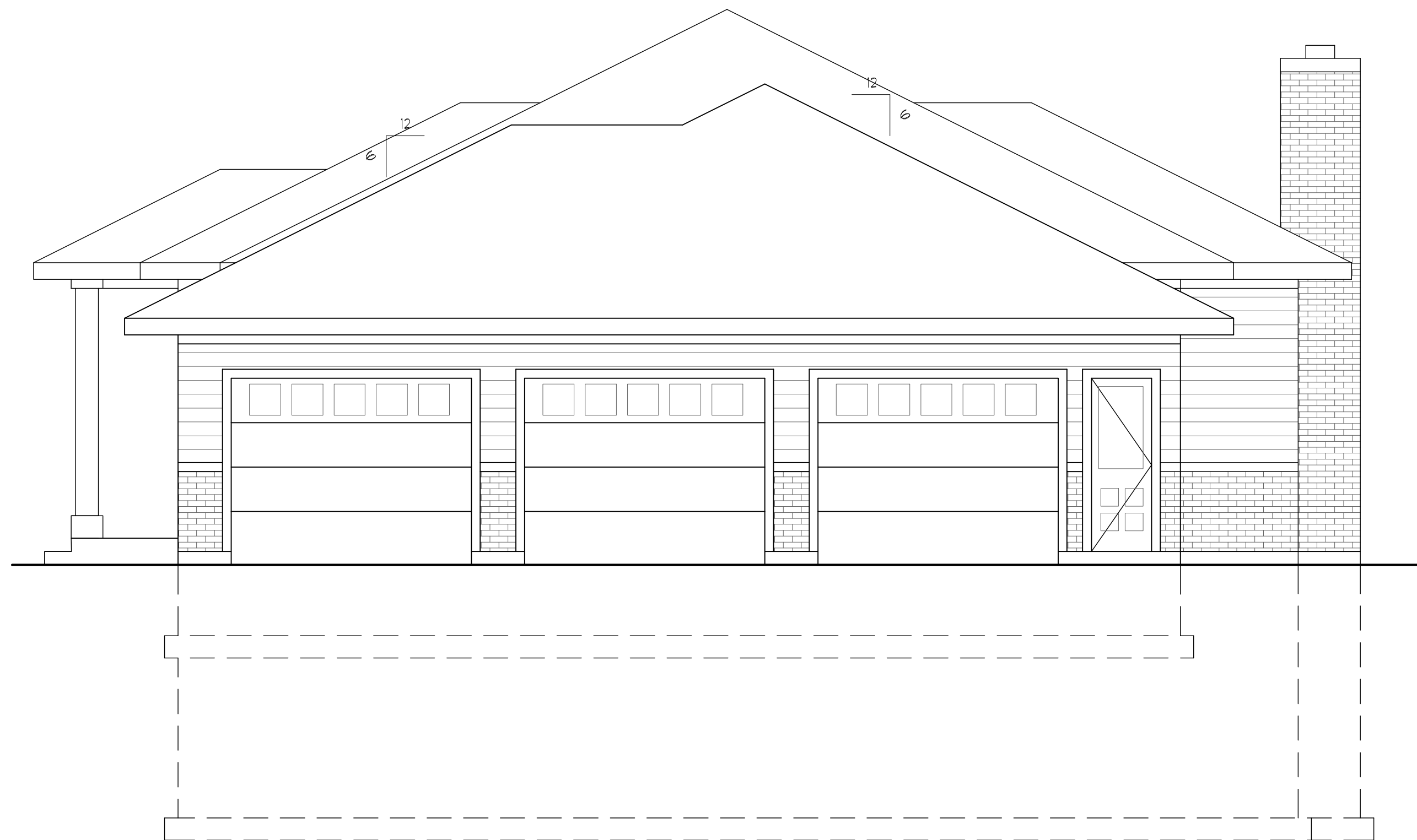
A-1

SHEET 1 OF 4



REAR ELEVATION

1/4" = 1'-0"



SIDE ELEVATION

1/4" = 1'-0"

STANDARD ELEVATION NOTES

- SELF SEALING PREMIUM LAMINATED ASPHALT SHINGLES
- CONTINUOUS SHINGLE ROLL RIDGE VENT OVER SLOTTED PLYWOOD RIDGE
- ALUMINUM GUTTERS AND DOWN SPOUTS
- 1" X 8" CEDAR WOOD FASCIA
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- SHEET METAL FLASHING AT ALL ROOFING TO CHIMNEY INTERSECTIONS
- SHEET METAL FLASHING AT ALL ROOF TO SKYLIGHT INTERSECTIONS

OVERHEAD GARAGE DOORS
EMBOSSED PANEL STEEL (WITH INSULATION)

CHIMNEY CAP INFORMATION

- CAP
- ☒ POURED IN PLACE CONCRETE
 - ☐ PRE CAST CONCRETE
 - ☐ MORTAR WASH ONLY
- CHIMNEY POTS
- ☐ SUPERIOR CLAY CORPORATION
 - ☒ LOGAN CLAY PRODUCTS (5/8" THICK 12" X 12")
 - ☐ GLADDING MCBEAN
 - ☐ EXPOSED FLUE TILE ONLY (4" MIN.)
- ACCESSORIES
- ☐ CUSTOM - MADE METAL SHROUD
 - ☒ FIELD - BUILT MASONRY SHROUD
 - ☐ SCREENED METAL SPARK ARRESTOR
 - ☐ TOP-SEALING SOLID DAMPER
 - ☐ COMBINATION ARRESTOR / DAMPER
 - ☒ ROLL TOP FLUE COVER

NOTE:
PROVIDE 1" MIN. SLOPE FROM FLUE TO EDGE OF CHIMNEY TO ASSURE WATER RUN - OFF.
CAP TO BE HELD TIGHT TO FLUE ALL AROUND TO PREVENT ENTRANCE OF WATER INTO
CHIMNEY FROM ABOVE. MASON TO PROVIDE CONTINUOUS BEAD OF SILICONE SEALANT
AROUND ALL FLUES. PRIOR TO POURING CAP, MASON SHALL VERIFY THAT THE CHIMNEY
TOP IS AT LEAST TWO (2) FEET ABOVE THE NEAREST ROOF LINE (10) FEET AWAY.

BEDROOM WINDOW ESCAPE

ALL BEDROOM WINDOWS TO HAVE MIN. 20" WIDE BY 24" HIGH ESCAPE CLEARANCE
9"LLS 44" ABOVE FLOOR MAX.
NET CLEAR OPENING NOT LESS THEN 6 SF.

ELEVATIONS

THE SAINT EDNA CATHOLIC CHURCH
NEW RECTORY
2525 N. Arlington Heights Rd.
ARLINGTON HEIGHTS
ILLINOIS

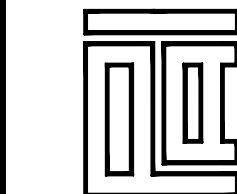
SHEET NO.

A-2

SHEET 2 OF 4

JOB NO.

DESIGN BY: PJP
CHECKED BY: PJP
APPROVED: PJP



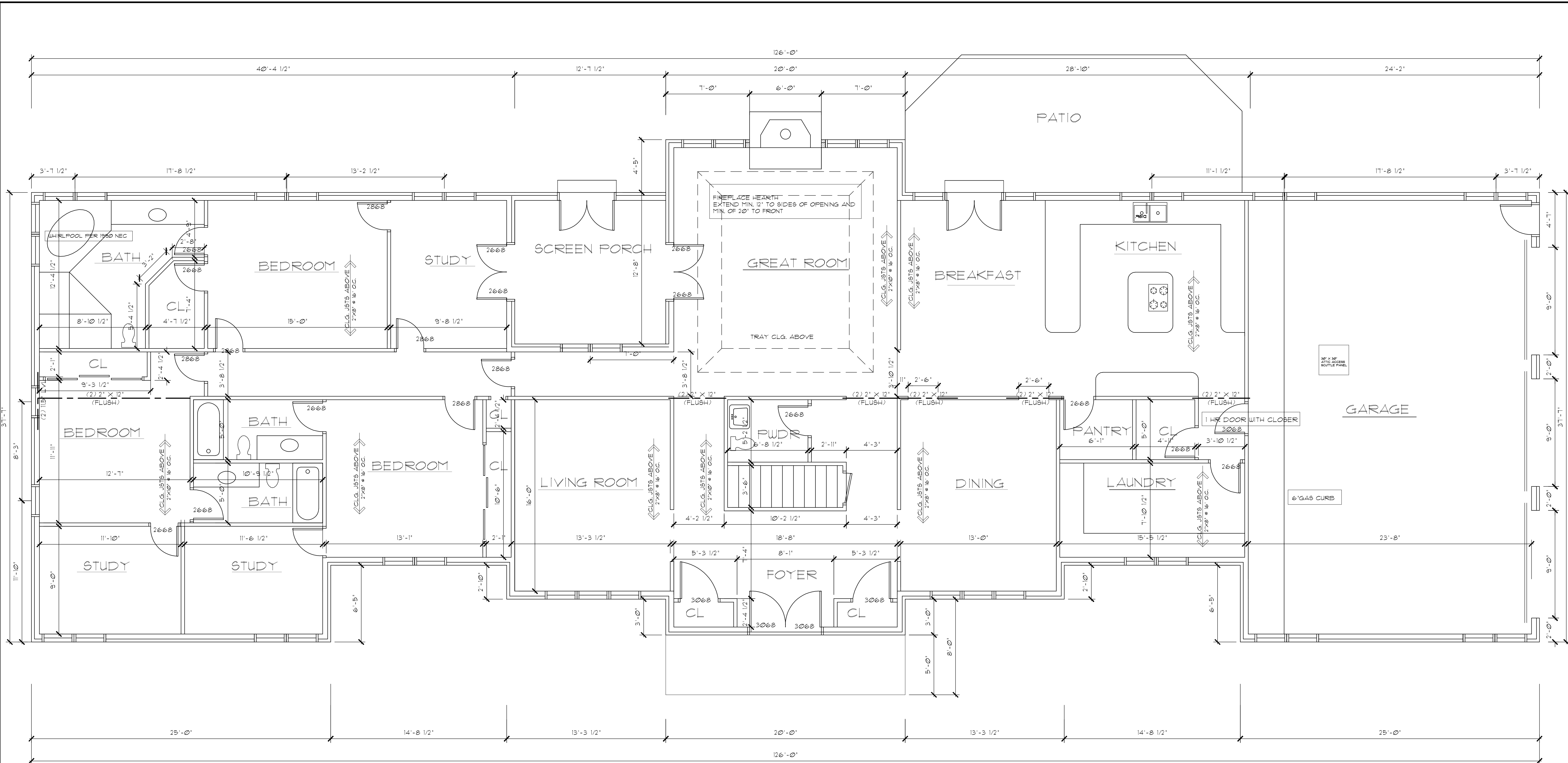
PSENKA ARCHITECTS Inc.
ARCHITECTURE • PLANNING • DESIGN • BUILD
75 BLUE JAY LANE, HAWTHORN WOODS, ILLINOIS 60067
TEL: 847.550.0077 FAX: 847.550.0077

ISSUE DATES:

DATE	REMARKS
09-21-09	ISSUED FOR PERMIT

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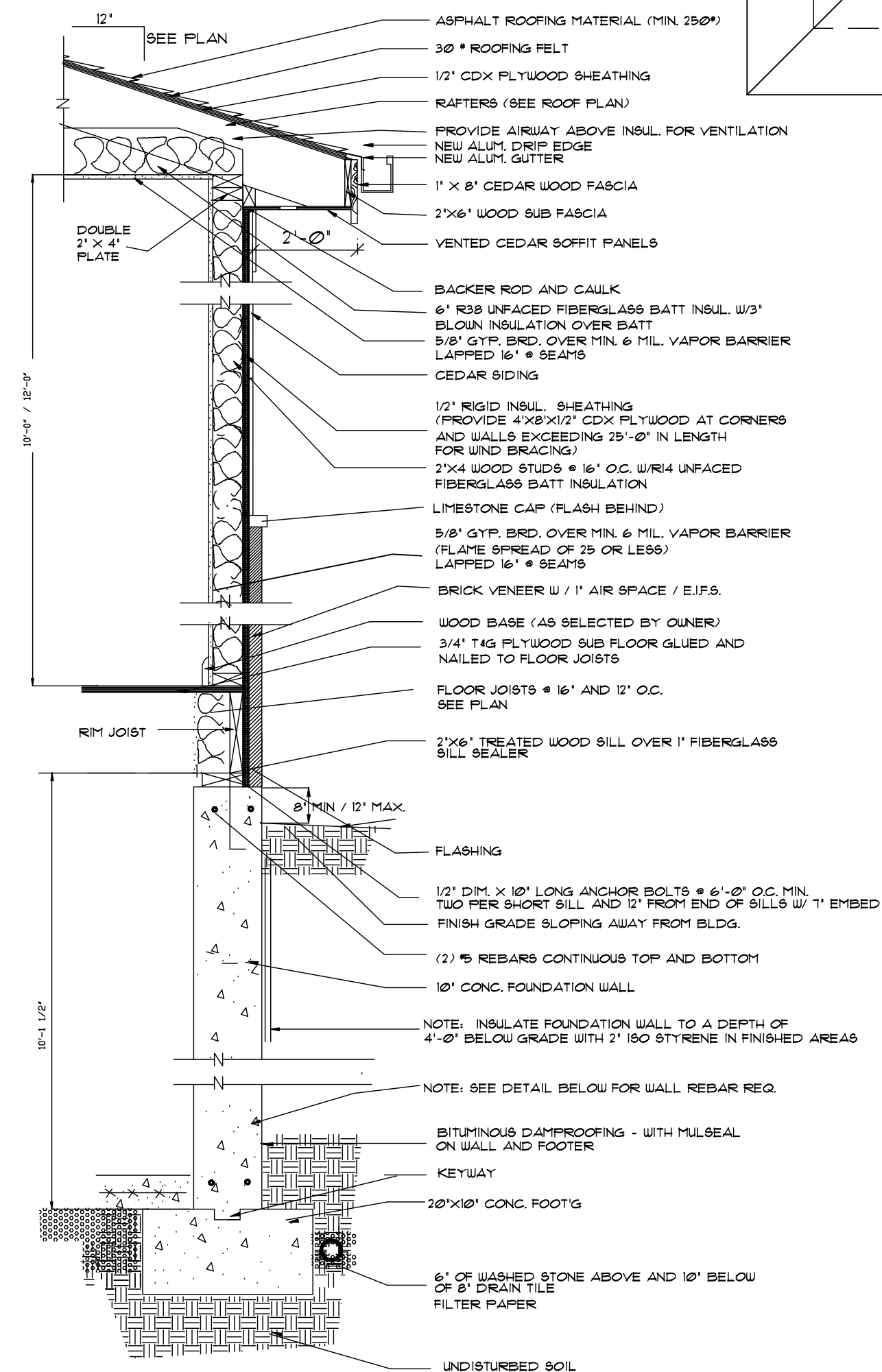
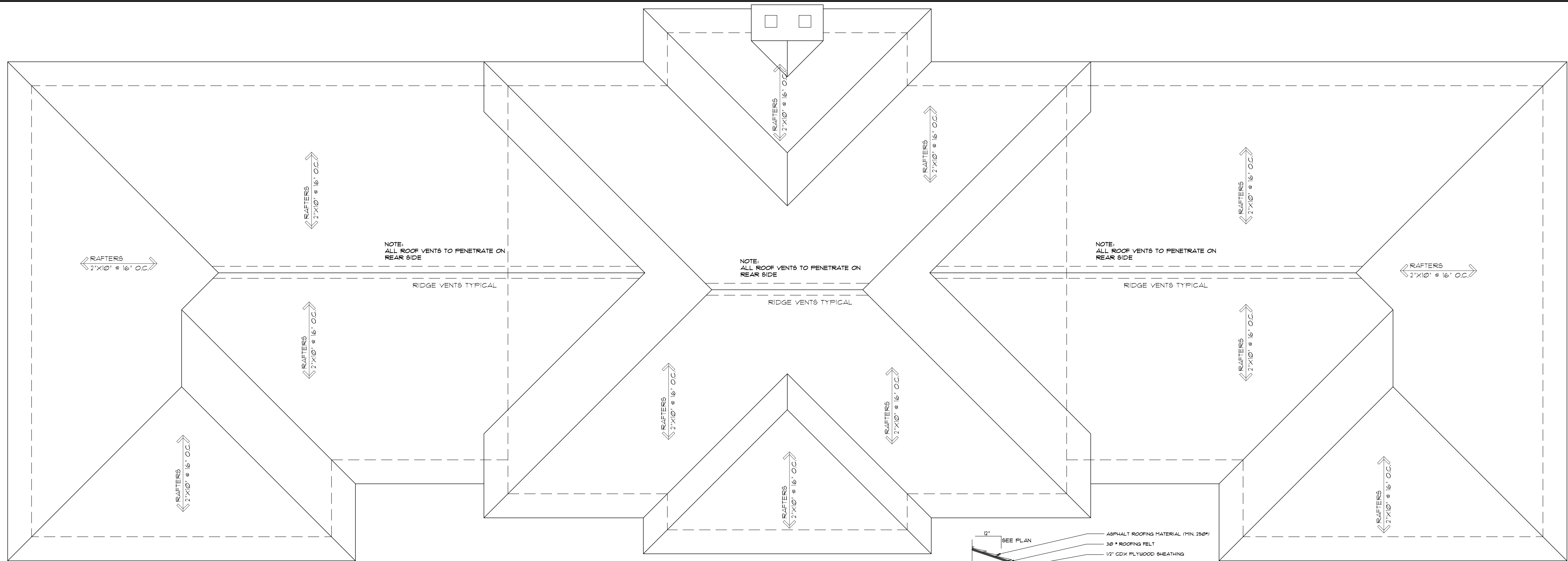
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FIRST FLOOR PLAN

1/4" = 1'-0"

JOB NO.	FLOOR PLAN	SHEET NO.	PSENKA ARCHITECTS Inc.		DATE	ISSUED FOR PERMIT	REMARKS	
			ARCHITECTURE • PLANNING • DESIGN • BUILD	75 BLUE JAY LANE, HAWTHORN WOODS, ILLINOIS 60067 TEL: 847.590.0472 FAX: 847.590.0472				
THE SAINT EDNA CATHOLIC CHURCH NEW RECTORY 2525 N. Arlington Heights Rd. ARLINGTON HEIGHTS ILLINOIS			PSENKA ARCHITECTS Inc.		COPYRIGHT			ISSUE DATES:
PSENKA ARCHITECTS Inc.		PSENKA ARCHITECTS Inc.		PSENKA ARCHITECTS Inc.		PSENKA ARCHITECTS Inc.		

$$1/4'' = 1' - \emptyset''$$
$$1/4'' = 1' - \textcircled{0}''$$


AA WALL SECTION

NOTE: PROVIDE ALUMINUM GUTTERS
AND DOWNSPOUTS W/12"X24" CONC.
SPLASH BLKS. (NOT SHOWN)

A-4	SHEET NO.	ROOF PLAN / DETAILS		 PSENA ARCHITECTS Inc. ARCHITECTURE • PLANNING • DESIGN • BUILD 75 BLUE JAY LANE, HAWTHORN WOODS, ILLINOIS 60047 TEL: 847-3004472 FAX: 847-3004472	THE DRAWING SPECIFICATIONS AND THE PERMIT REQUIREMENTS HAVE BEEN REVIEWED FOR THIS PROJECT AND THE PROJECT IS IN COMPLIANCE WITH THE CITY OF CHICAGO REQUIREMENTS. THE PROJECT IS IN COMPLIANCE WITH THE CITY OF CHICAGO REQUIREMENTS. THE PROJECT IS IN COMPLIANCE WITH THE CITY OF CHICAGO REQUIREMENTS.	DATE 07/31/93	REMARKS ISSUED FOR PERMIT
		DRAIN BY: P-AP					
		CHECKED BY: P-AP					
		APPROVED P-AP					
THE SAINT EDNA CATHOLIC CHURCH NEW RECTORY 2325 N. Arlington Heights Rd. ARLINGTON HEIGHTS ILLINOIS		JOB NO.					



Item: Lexington Homes - 900 W. Campbell St. - T1518

Department: Planning & Community Development

Requested Action

Preliminary Plat of Subdivision to re-subdivide 18 parcels into 15 single family lots and one lot for detention.

Variations Identified

None.

Recommendation

On September 22, 2015 the Staff Development Committee met to discuss the proposal and is generally supportive subject to addressing the following issues:

1. A tree preservation plan shall be submitted that preserves as many quality trees as feasible, including those along the Kaspar Avenue right of way.
2. The developer shall work with the Village and evaluate options for detention including open and underground detention.
3. The developer shall pay a one time up front fee for each lot for detention maintenance.
4. Kennicott Avenue shall be fully improved including the dedication of the additional 33 feet of land for the west half of the right of way, which is necessary for a full street between Campbell Street and Sigwalt Street.
5. Land Contribution fees shall be paid for Parks, Schools and Library per Chapter 29 of the Municipal Code.
6. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:

Description	Type
-------------	------

Staff Report	Board or Commission Report
Location Map	Exhibits
Conceptual Plan of Subdivision	Exhibits
Elevations - Floor Plans	Exhibits
Village Board Early Review Minutes 10-19-15	Minutes

STAFF DEVELOPMENT COMMITTEE REPORT

To: Plat and Subdivision Committee
Prepared By: Bill Enright, Deputy Director Planning and Community Development
Meeting Date: November 18, 2015
Date Prepared: November 12, 2015
Project Title: Lexington Homes
Address: 909 W. Campbell Street

BACKGROUND INFORMATION

Petitioner: Bill Rotolo
 Lexington Homes
Address: 1731 North Marcey Street, Suite 200
 Chicago, IL 60614

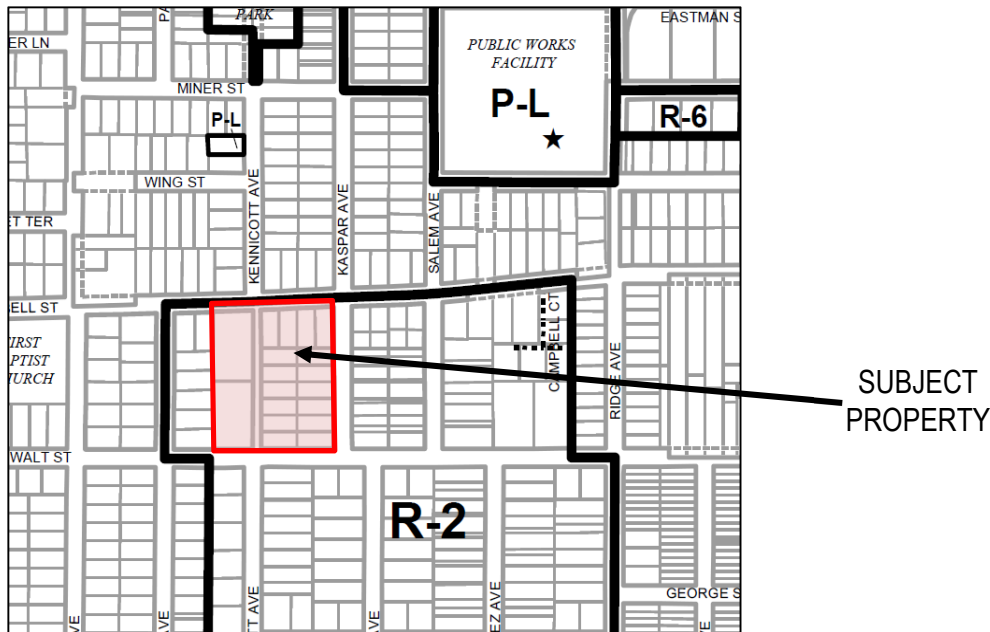
Existing Zoning: R-2, One Family Dwelling District

Requested Action:

- Preliminary Plat of Subdivision to re-subdivide 18 parcels into 15 single family lots and one lot for detention.

Variations Identified:

- None.

**Surrounding Properties**

Direction	Zoning	Existing Use	Comprehensive Plan
North	R-3, One Family Residential	Single Family Homes	Single Family Detached
South	R-2, One Family Residential	Single Family Homes	Single Family Detached – Estate 2
East	R-2, One Family Residential	Single Family Homes	Single Family Detached – Estate 2
West	R-2, One Family Residential	Single Family Homes	Single Family Detached – Estate 2

Project Summary

The property is commonly known as 909 W. Campbell and the site consists of 18 platted parcels, 16 of which do not currently meet the minimum R-2 standards. The subject site is approximately 4.69 acres and is bounded by Campbell Street to the North, Sigwalt Street to the South, Kaspar Avenue to the East and the unimproved and partial right of way of Kennicott Avenue to the West as well as the two parcels which abut the west side of the unimproved Kennicott Avenue right of way. The property is mostly vacant except for one house at 929 W Campbell.

The proposed action, if approved, would allow the Petitioner to subdivide the property into 15 single family lots and a detention basin. As required by the Village's Subdivision Ordinance, a Plat of Subdivision must be reviewed by the Plan Commission and approved by the Village Board. Staff evaluated the relationship between the proposed lots and the applicable Zoning and Subdivision regulations.

Table 1: Subdivision Analysis

Zoning Requirements	Minimum Lot Size (SF)		Minimum Lot Width		Front Yard setback	Side yard setback Interiors	Rear yard setback	Corner exterior side yard setback
Required:								
Typical R-2 Lot	Corner	Interior	Corner	Interior	25'	10 % of lot width (minimum 7 FT)	30'	10' or average**
	10,000	10,000	90'	75'				
Lot 1 (corner)	11,497		103		25	10.3	30	28**
Lot 2		10,604		95	25	9.5	30	NA
Lot 3		10,604		95	25	9.5	30	NA
Lot 4		10,604		95	25	9.5	30	NA
Lot 5 (corner)	11,670		104		25	10.4	30	25**
Lot 6		10,043		76	25	7.6	30	NA
Lot 7		10,043		76	25	7.6	30	Na
Lot 8		10,043		76	25	7.6	30	Na
Lot 9		10,043		76	25	7.6	30	Na
Lot 10 (corner	11,893		90		25	9.0	30	28**
Lot 11 (corner	13,479		102		25	10.2	30	28**
Lot 12		10,043		76	25	7.6	30	Na
Lot 13		10,043		76	25	7.6	30	Na
Lot 14		10,043		76	25	7.6	30	Na
Lot 15		10,043		76	25	7.6	30	Na
Outlot (corner)	27,216*		103		NA	NA	NA	Na

*Requires 100 feet lot width

** To be field verified, based on average setbacks of developed parcels on block

Additionally, Section 29-307, Residential Lot Standards, within the Subdivision Control Regulations spells out the required minimum lot area and lot widths for residential lots. All lots meet the minimum requirements.

Zoning and Comprehensive Plan

As shown in Table 1, the proposed subdivision, meets the minimum lot size standards outlined in the R-2 district. The average lot size of the lots on the east side of Kaspar Avenue between Campbell Street and Sigwalt Avenue is 85.3 feet lot width and 11,276 square feet in area. The average lot size of the lots on the north side of Campbell Avenue between Kennicott Avenue and Kaspar Avenue is 66.17 feet lot width and 9,654 square feet in area. Lot sizes of the 15 residential lots proposed with this subdivision range from 76 feet to 104 feet in width and 10,043 to 13,479 square feet in area. The proposed lots are consistent with the existing lots in the area.

Table 2: Lot Comparison with Surrounding Properties

Ave. Lot Size on north side of Campbell Ave (between Kennicott and Kaspar Avenues)		Ave. Lot Size on east side of Kaspar Ave (between Campbell Street and Sigwalt Ave.)	
Width	Area	Width	Area
66.17'	9,654	85.3'	11,276

Previous Proposal

A previous developer submitted a petition of a portion of the site which was tabled by the Village Board in December 2014 as the Board wanted a more comprehensive approach to development that included more land and the full construction of Kennicott Avenue between Campbell Street and Sigwalt Street. This proposal addresses these issue as it is comprehensive in approach and provides for the full Kennicott extension. Also discussed was the location and type of detention. The petitioner is evaluating both an at grade open detention basin and an underground detention vault. The concept plans at this point indicate an open detention basin along Sigwalt Street from Kaspar Avenue to the new extension of Kennicott Avenue.

Early Review

The Village Board reviewed this project on a conceptual basis on October 19, 2015. The minutes of that meeting are attached.

Public Improvements

The subdivision plat includes the full extension of Kennicott Avenue from Campbell Street to Sigwalt Street. This will include full improvements such as curb and gutter, sidewalks and lighting, requiring the dedication of 33 feet of land for the west half of the right of way, which is currently 33 feet wide. In addition, the developer is proposing a detention basin at the south end of the site along Sigwalt Street. The developer is also evaluating an option for underground detention instead. As with the recent Christina Court subdivision, the Village will require a one-time, up-front fee for detention maintenance for each platted lot.

Per Chapter 29, Section 29-501, sidewalks located within public areas are required to be provided as part of the subdivision. There is an existing sidewalk along Campbell Street, which is required to be relocated 1 foot off the right-of-way. A 5-foot wide sidewalk is required along Kaspar Avenue. There are six mature silver maples in the right-of-way along Kaspar Avenue along the frontage of this property, which shall be preserved. This may require an easement for a portion of the sidewalk.

Traffic & Parking Related Issues

According to the Village's Subdivision Control Regulations and Zoning Ordinance, a traffic study is required for residential developments that have at least 100 dwelling units or more. Since the petitioner is only proposing a 16-lot development, a formal traffic study by a certified Traffic Engineer is not required.

Landscape and Tree Preservation related issues

A tree survey and preservation plan shall be required. Previously on the smaller site Staff had identified 42 trees that could be preserved on the subject property. The petitioner shall work with the Village towards preserving as many trees as feasible on the site therefore site engineering should take into account existing trees that may be desirable to save.

Design Review

Design review is required for each new home. An administrative review will determine if the homes require review of the Design Commission. The developer is proposing several styles of homes which are attached to this packet.

Recommendation

On September 22, 2015 the Staff Development Committee met to discuss the proposal and is generally supportive subject to addressing the following issues:

1. A tree preservation plan shall be submitted that preserves as many quality trees as feasible, including those along the Kaspar Avenue right of way.
2. The developer shall work with the Village and evaluate options for detention including open and underground detention.
3. The developer shall pay a one time up front fee for each lot for detention maintenance.

4. Kennicott Avenue shall be fully improved including the dedication of the additional 33 feet of land for the west half of the right of way, which is necessary for a full street between Campbell Street and Sigwalt Street.
5. Land Contribution fees shall be paid for Parks, Schools and Library per Chapter 29 of the Municipal Code.
6. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

_____, November 12, 2015

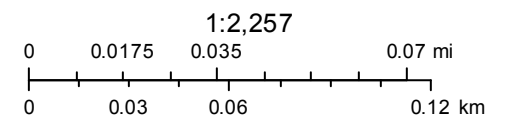
Bill Enright, Deputy Director of Planning and Community Development

C: Randy Recklaus, Village Manager
All Department Heads

Lexington Homes



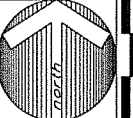
November 9, 2015





SITE DATA

	ACRES	PERCENT	
TOTAL SIZE	4.69	100.00	MINIMUM LOT SIZE.....10,000 S.F.
AREA IN R.O.W.	0.37	7.89	AVERAGE LOT SIZE.....10,744 S.F.
AREA IN DETENTION	0.62	13.22	MINIMUM LOT WIDTH.....75 FT INTERIOR; 90 FT CORNER
AREA IN LOTS	3.70	78.89	YARDS
			FRONT.....25 FT
TOTAL NUMBER OF LOTS...15			SIDE EXTERIOR.....10 FT
GROSS SITE DENSITY.....3.20 D.U./AC			SIDE INTERIOR.....10% L.W.
			REAR.....30 FT



Job # 1315
Date 09-14-15
Scale 1"=100'

0 50 100 200 300

Revisions

LEXINGTON HOMES
1731 NORTH MARCEY
SUITE 200
CHICAGO IL. 60614

SITE PLAN
CAMPBELL STREET
ARLINGTON HEIGHTS IL.

JEN LAND LLC
LAND PLANNING DESIGN CONSULTATION
P.O. BOX 4397 • OAK PARK, IL 60304
P/F 708.848.4350 • www.jenland.com



Front Elevation: Railroad Depot Style
SCALE: 3/8" = 1'-0"



Front Elevation: Farmhouse
SCALE: 3/8" = 1'-0"



Front Elevation: Craftsman
SCALE: 3/8" = 1'-0"

Plan 1 - Character Elevations

Arlington Heights Single Family
 Arlington Heights, IL

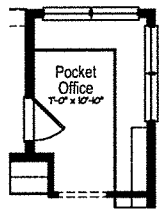
Lexington Homes

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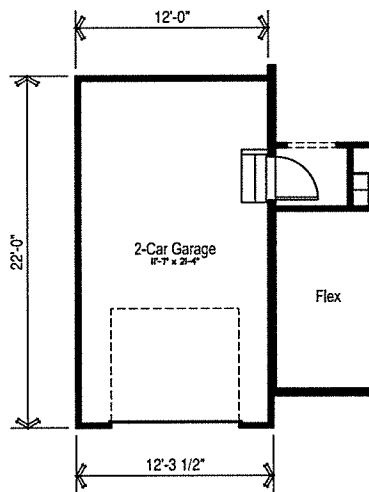
10-28-2015
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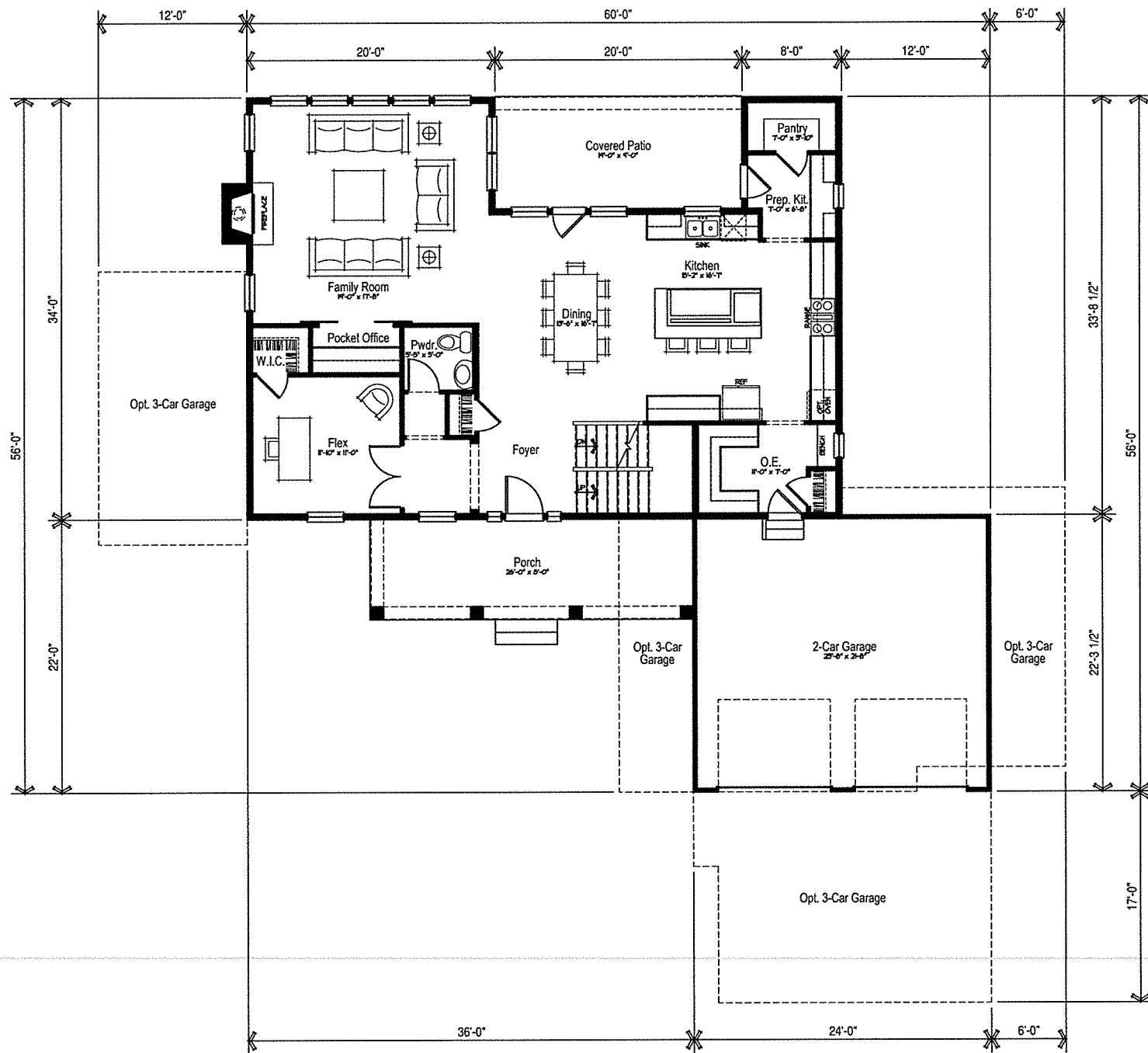
Opt. Pkt. Office

SCALE: 3/8" = 1'-0"



Opt. 3-Car Garage - 1

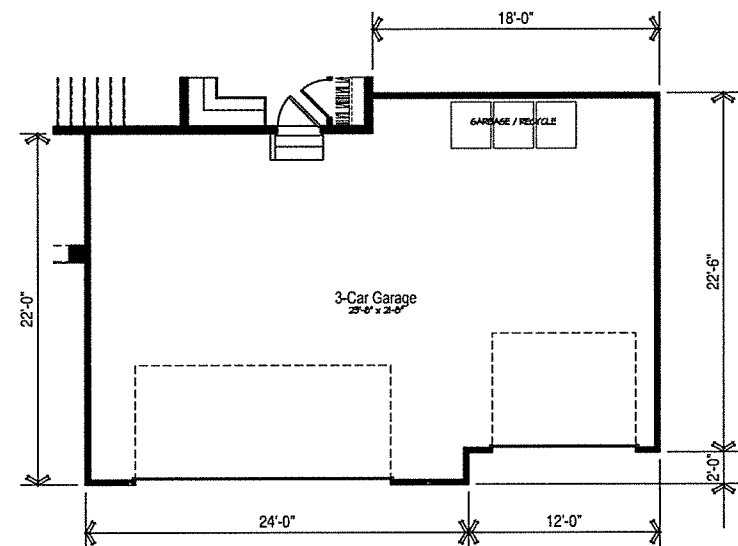
SCALE: 3/8" = 1'-0"



**1452 SF / 1983 GSF
Main Floor Plan**

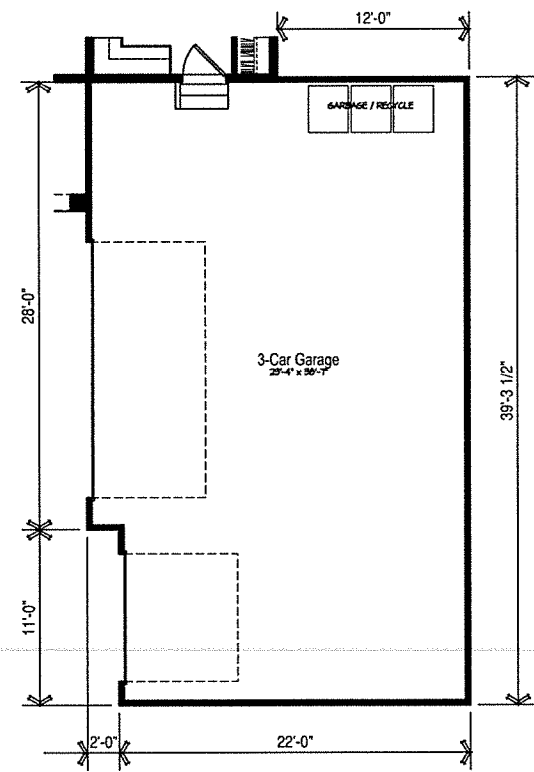
SCALE: 3/8" = 1'-0"

Plan 1
2,987 SF / 3,615 GSF
Lot Coverage - 2,372 SF



Opt. 3-Car Garage - 3

SCALE: 3/8" = 1'-0"



Opt. 3-Car Garage - 2

SCALE: 3/8" = 1'-0"

Lexington Homes

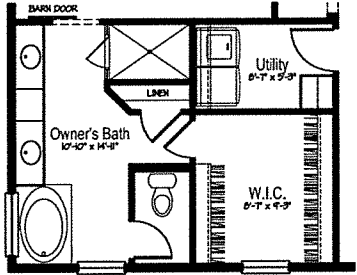
bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan floor plan changes, etc.).

Arlington Heights Single Family
Arlington Heights, IL

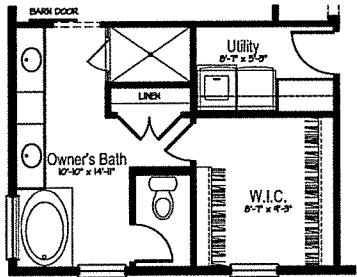
10-26-2015
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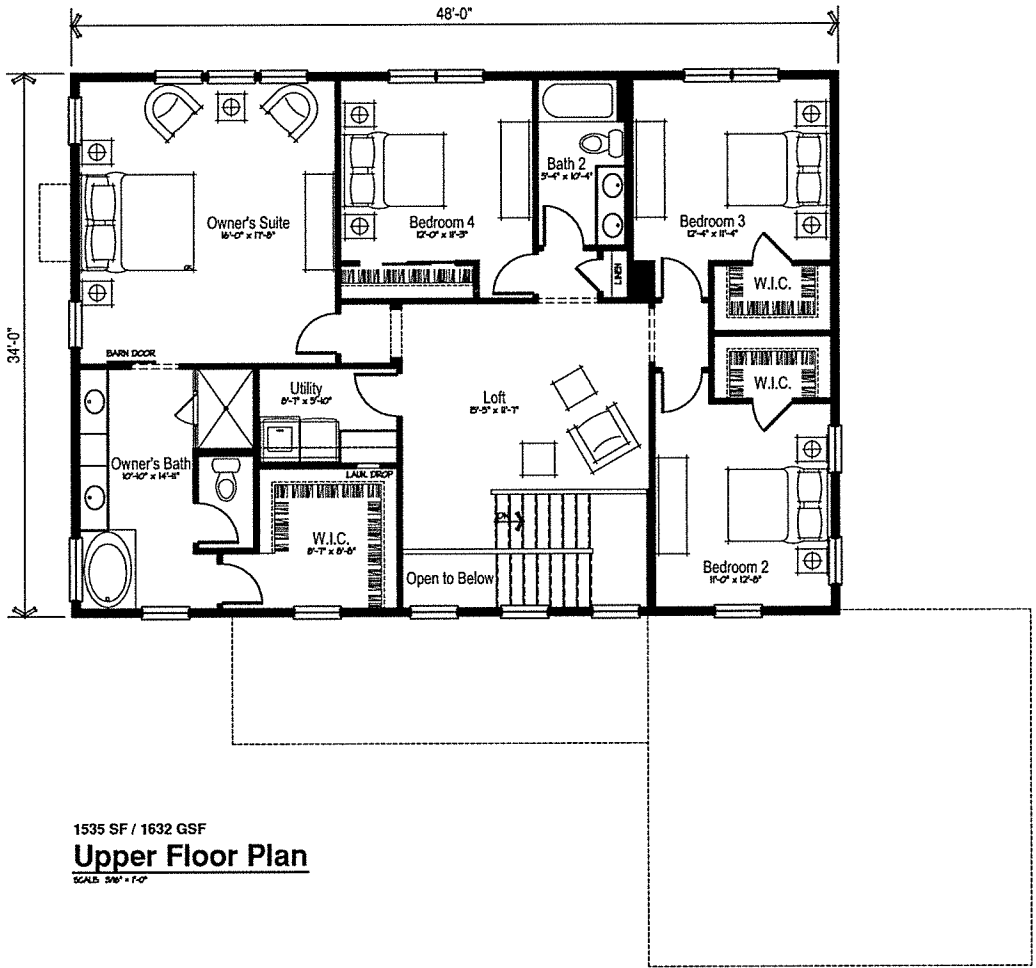
Opt. Owner's Bath - 2

SCALE: 3/16" = 1'-0"



Opt. Owner's Bath

SCALE: 3/16" = 1'-0"



1535 SF / 1632 GSF
Upper Floor Plan

SCALE: 3/16" = 1'-0"

Plan 1
2,987 SF / 3,615 GSF
Lot Coverage - 2,372 SF

Arlington Heights Single Family
Arlington Heights, IL





Front Elevation: Lake House

SCALE: 3/4" = 1'-0"



Front Elevation: Modern Prairie

SCALE: 3/4" = 1'-0"



Front Elevation: Classic

SCALE: 3/4" = 1'-0"

Plan 2 - Character Elevations

Arlington Heights Single Family
Arlington Heights, IL

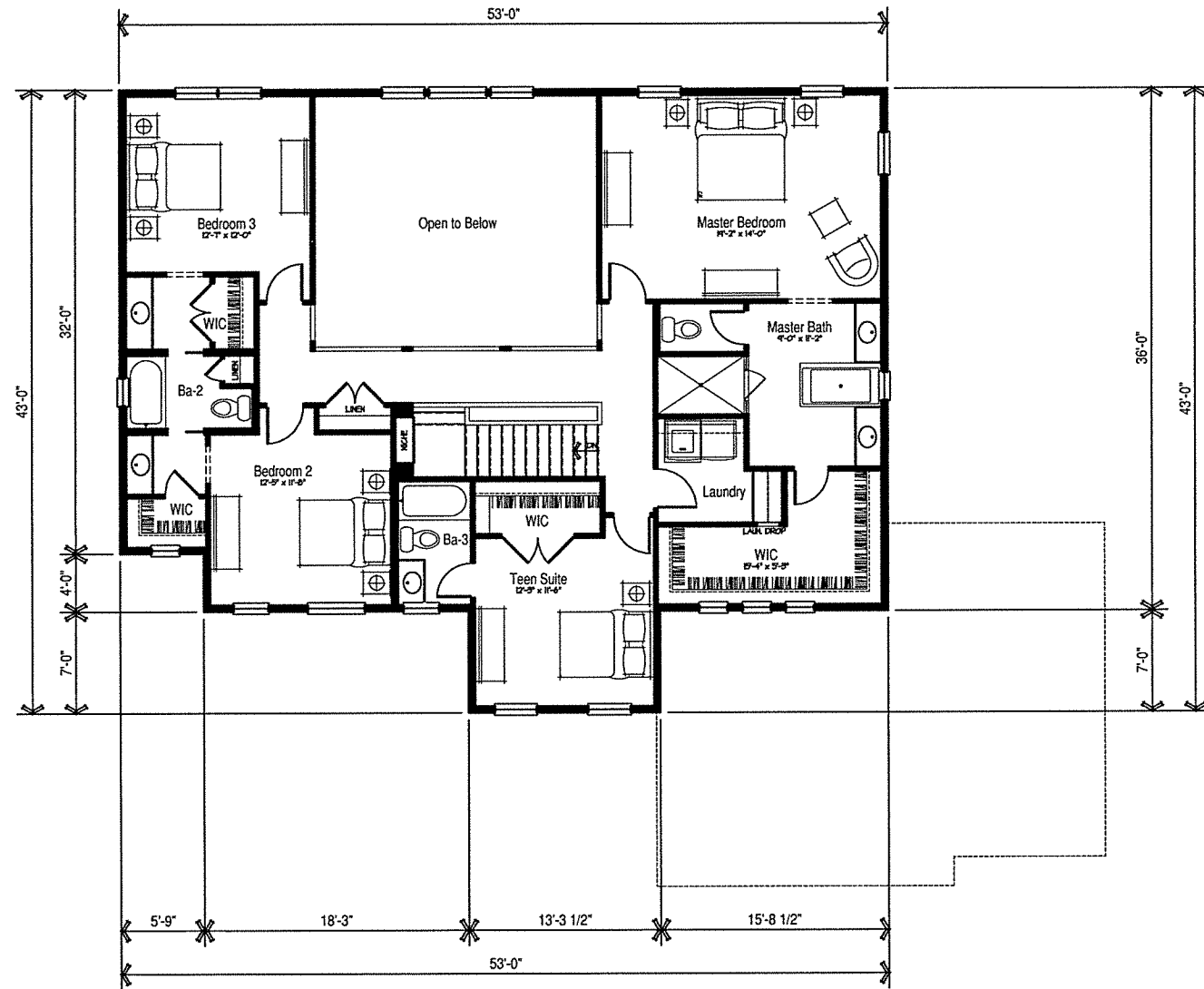
Lexington Homes

bsbdesign.com

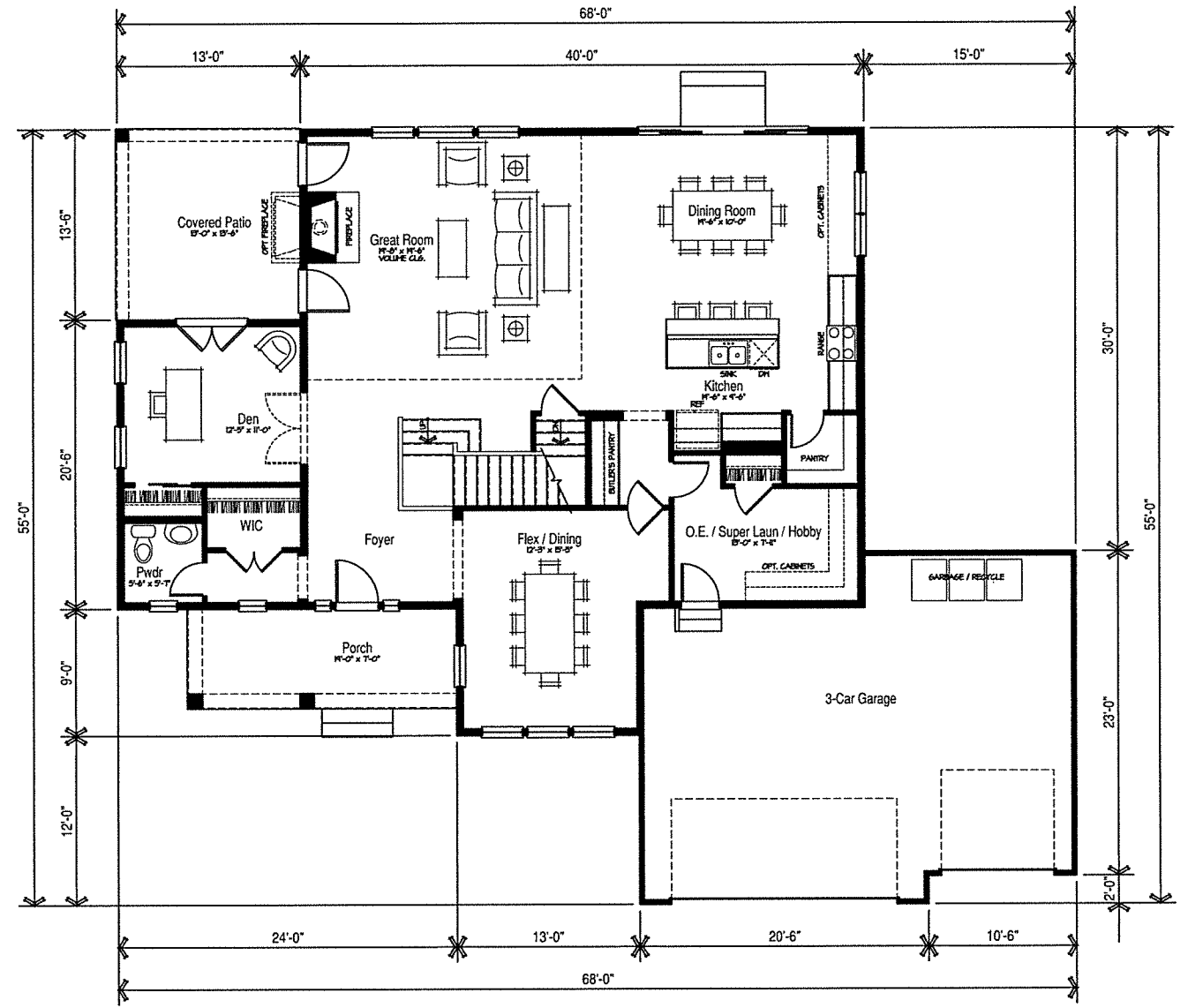
The drawings presented are indicative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, and potential price changes, etc.).

10-28-2015
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1564 SF / 1978 GSF
Upper Floor Plan
 SCALE: 3/8" = 1'-0"



1746 SF / 2433 GSF
Main Floor Plan
 SCALE: 3/8" = 1'-0"

Plan 2
3,310 SF / 4,411 GSF
Lot Coverage - 2,742 SF

Arlington Heights Single Family
 Arlington Heights, IL

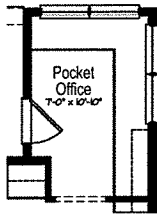
Lexington Homes

bsbdesign.com

The drawings presented are a conceptual view of character and design intent only, and are subject to change. Please refer to the final design documents (p.l.s., application permits, and all other design requirements) for the final plan and specifications.

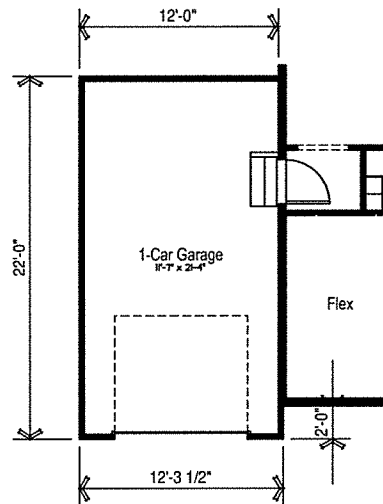
10-26-2015
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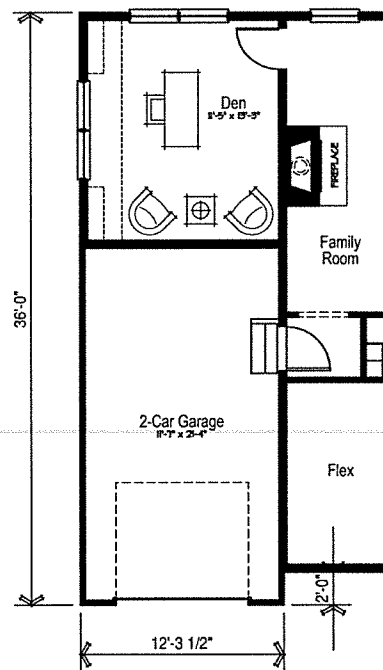
Opt. Pkt. Office

SCALE: 3/8" = 1'-0"



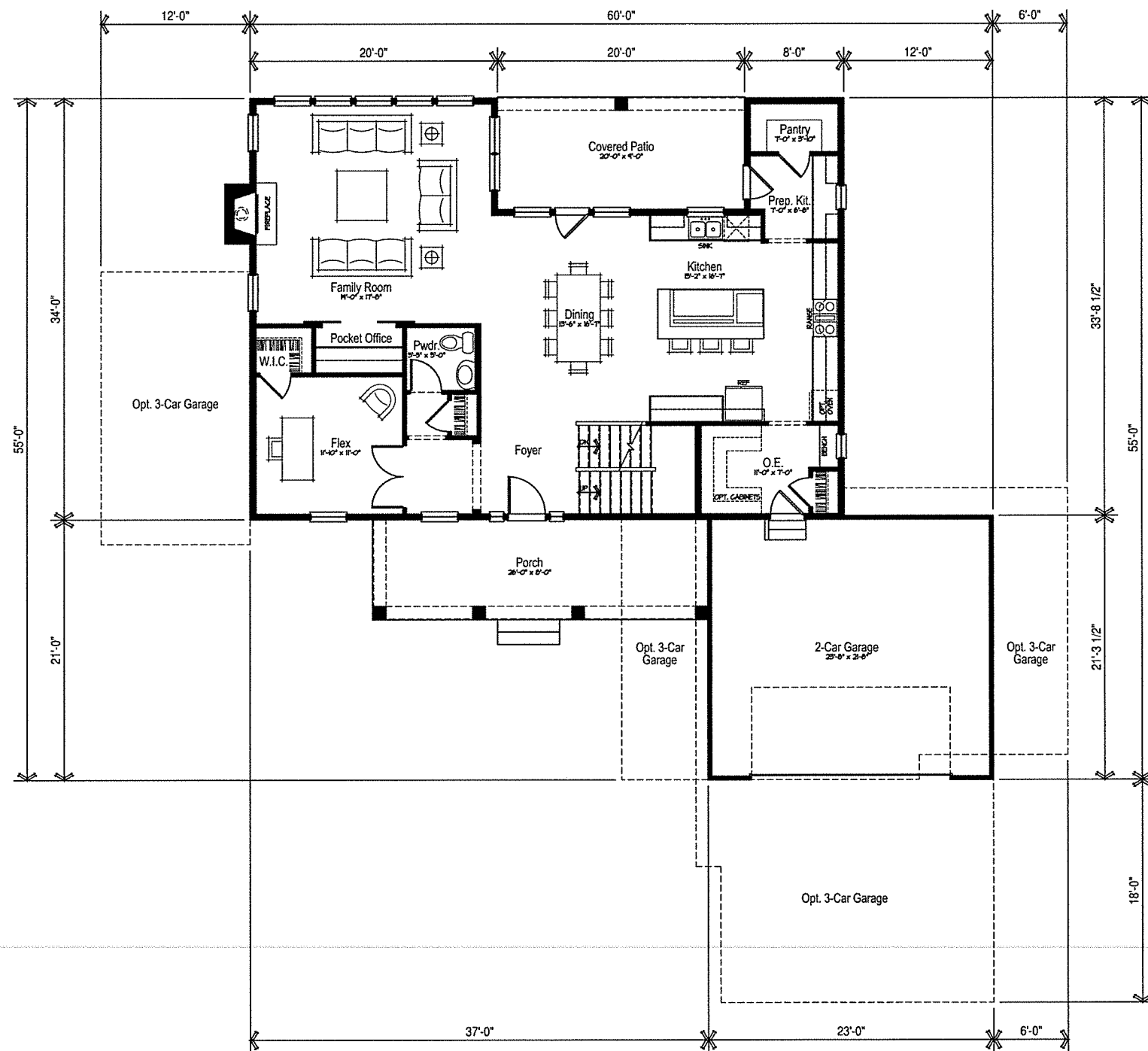
Opt. Split 3-Car Garage

SCALE: 3/8" = 1'-0"



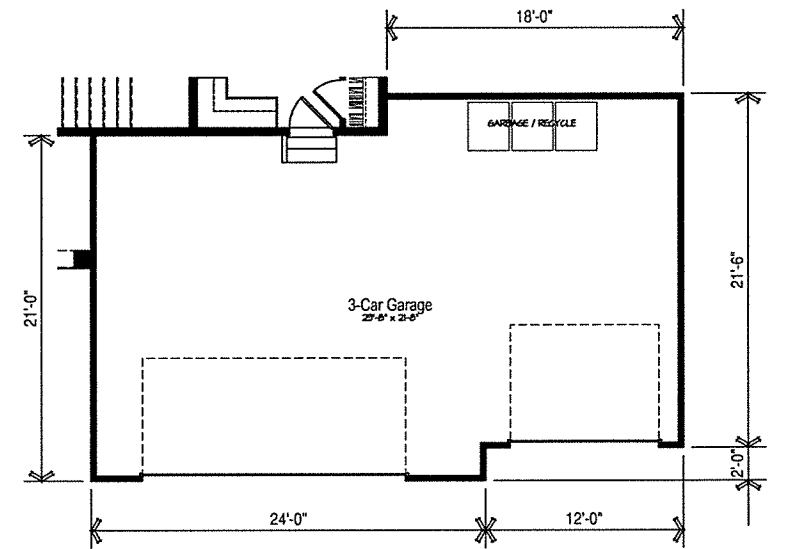
Opt. Split 3-Car Garage w/ Opt. Den

SCALE: 3/8" = 1'-0"



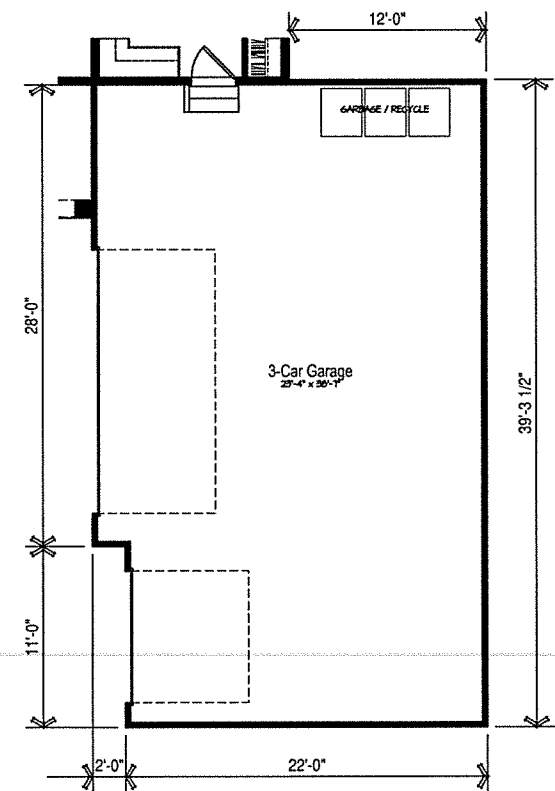
Main Floor Plan

SCALE: 3/8" = 1'-0"



Opt. 3-Car Garage

SCALE: 3/8" = 1'-0"



Opt. Sideload 3-Car Garage

SCALE: 3/8" = 1'-0"

Plan 1 - 2,987 SF / 3,571 GSF

Arlington Heights Single Family

Arlington Heights, IL

Lexington Homes

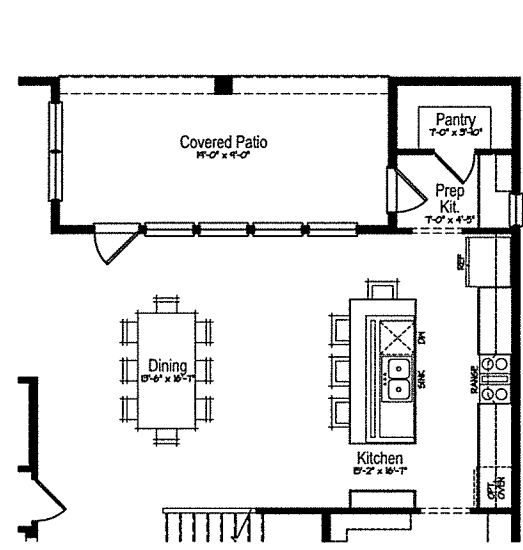
bsbdesign.com

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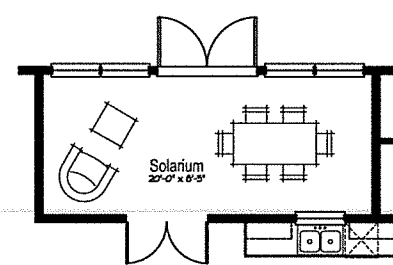
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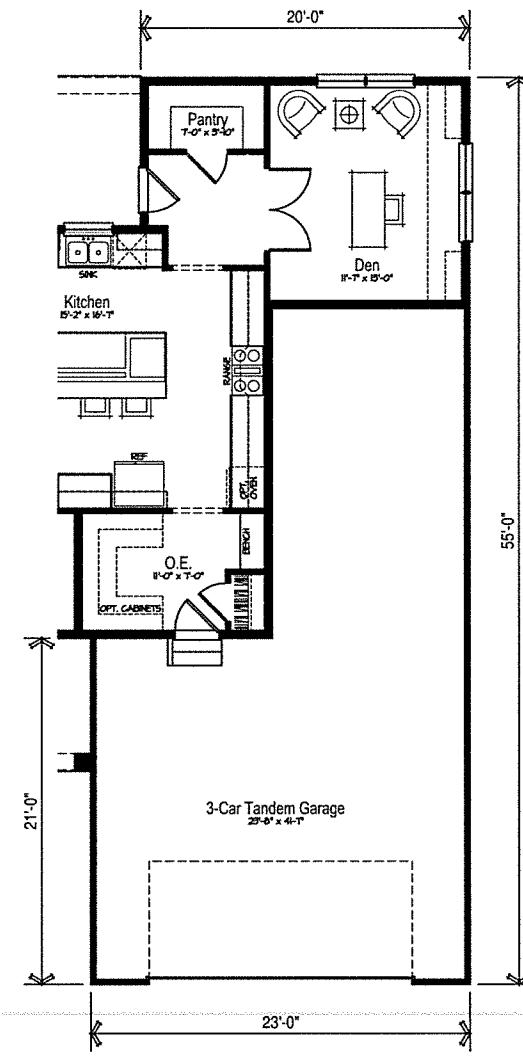




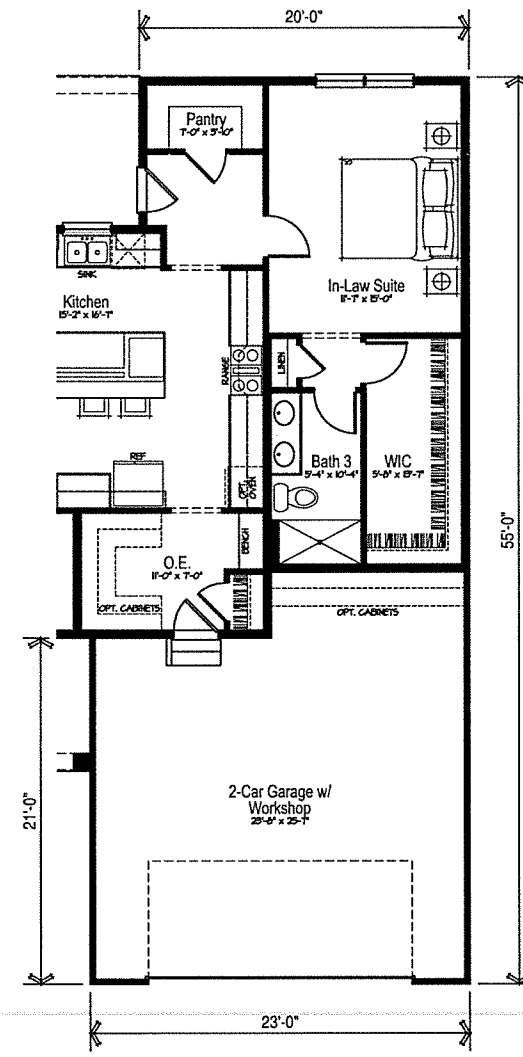
Opt. Alternate Kitchen
SCALE: 3/8" = 1'-0"



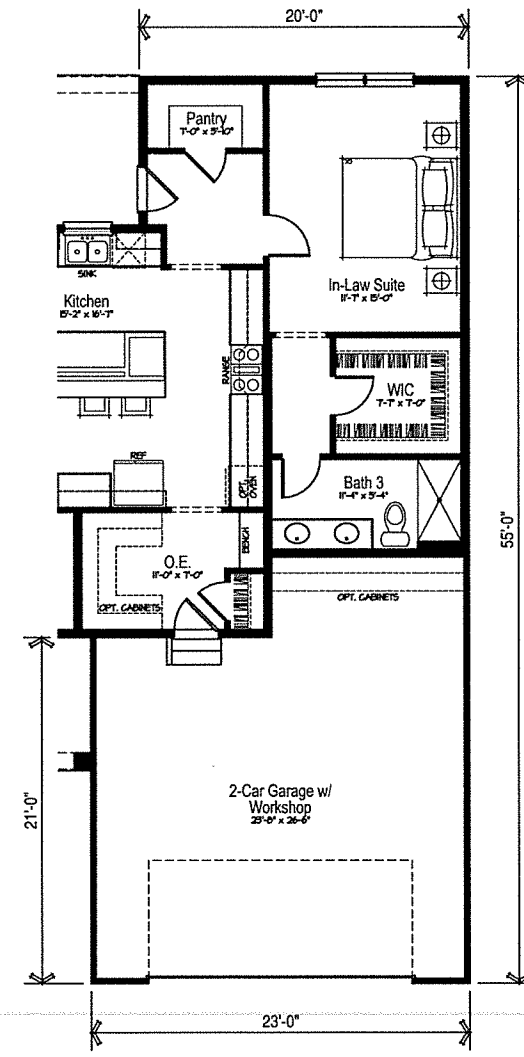
**+180 SF
Opt. Solarium**
SCALE: 3/8" = 1'-0"



**+168 SF / +237 GSF
Opt. Tandem 3-Car
Garage w/ Opt. Den**
SCALE: 3/8" = 1'-0"



**+360 SF / +45 GSF
Opt. In-Law Suite**
SCALE: 3/8" = 1'-0"



**+350 SF / +55 GSF
Alt. Opt. In-Law Suite**
SCALE: 3/8" = 1'-0"

Plan 1 - 2,987 SF / 3,571 GSF

Arlington Heights Single Family
Arlington Heights, IL

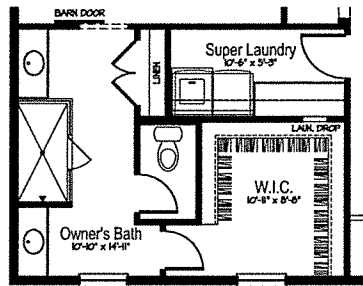
Lexington Homes

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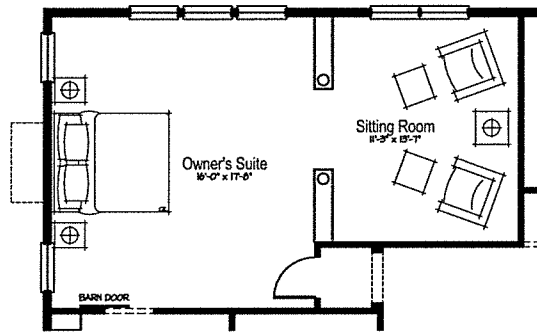
This drawing represents the preliminary design of the project and is not intended to be used for construction. It is subject to change based upon final design considerations and applicable building codes. All dimensions are approximate and may vary without notice.

10-28-2015
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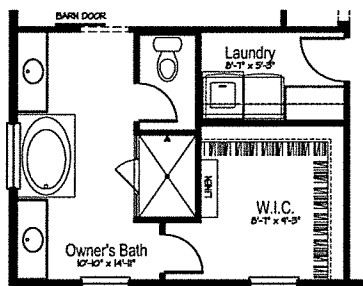




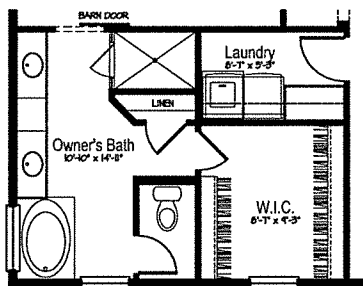
Alt. Owner's Bath - 4
SCALE: 3/8" = 1'-0"



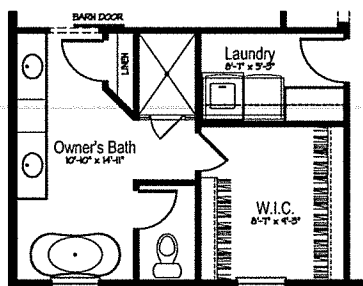
Opt. Sitting Room
SCALE: 3/8" = 1'-0"



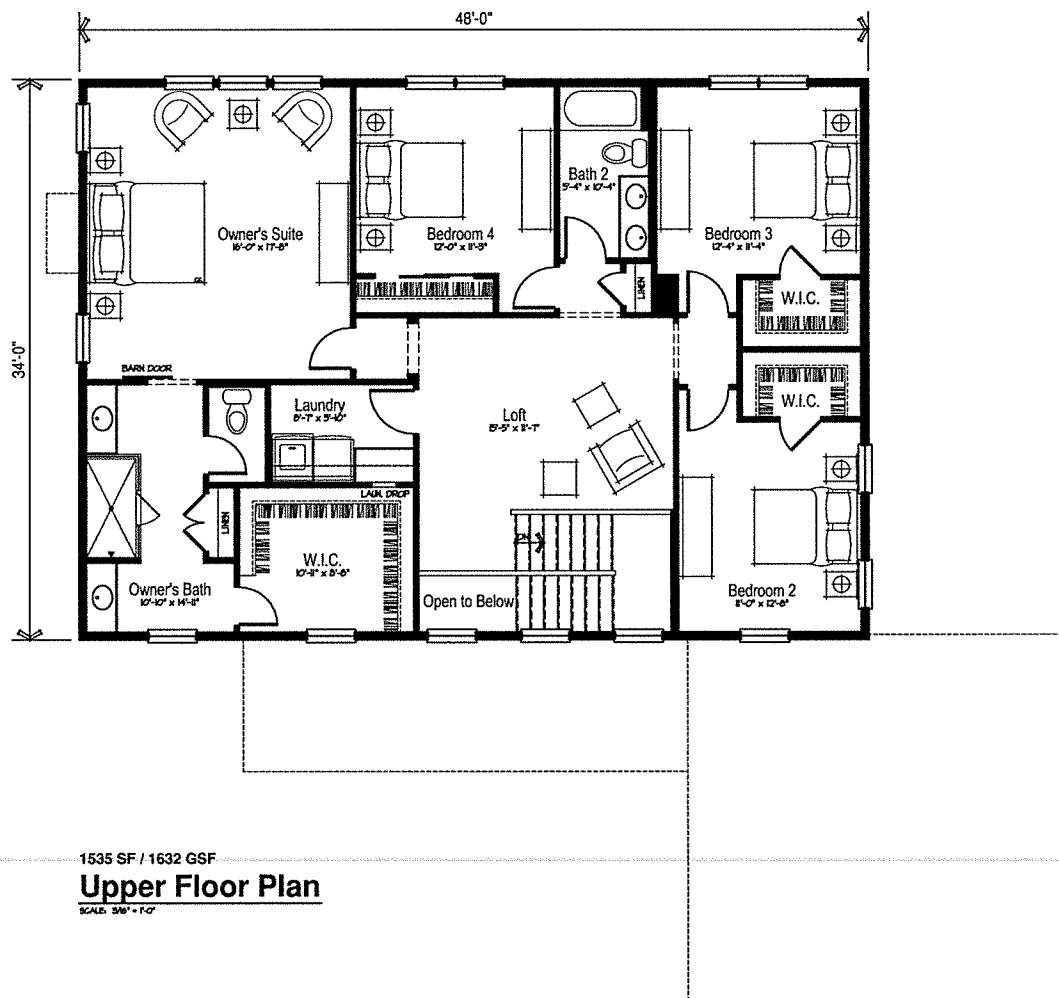
Alt. Owner's Bath - 3
SCALE: 3/8" = 1'-0"



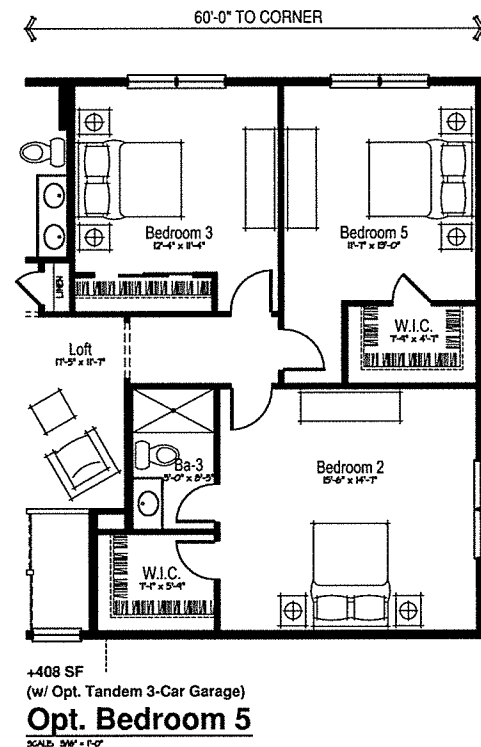
Alt. Owner's Bath - 2
SCALE: 3/8" = 1'-0"



Alt. Owner's Bath
SCALE: 3/8" = 1'-0"



1535 SF / 1632 GSF
Upper Floor Plan
SCALE: 3/8" = 1'-0"

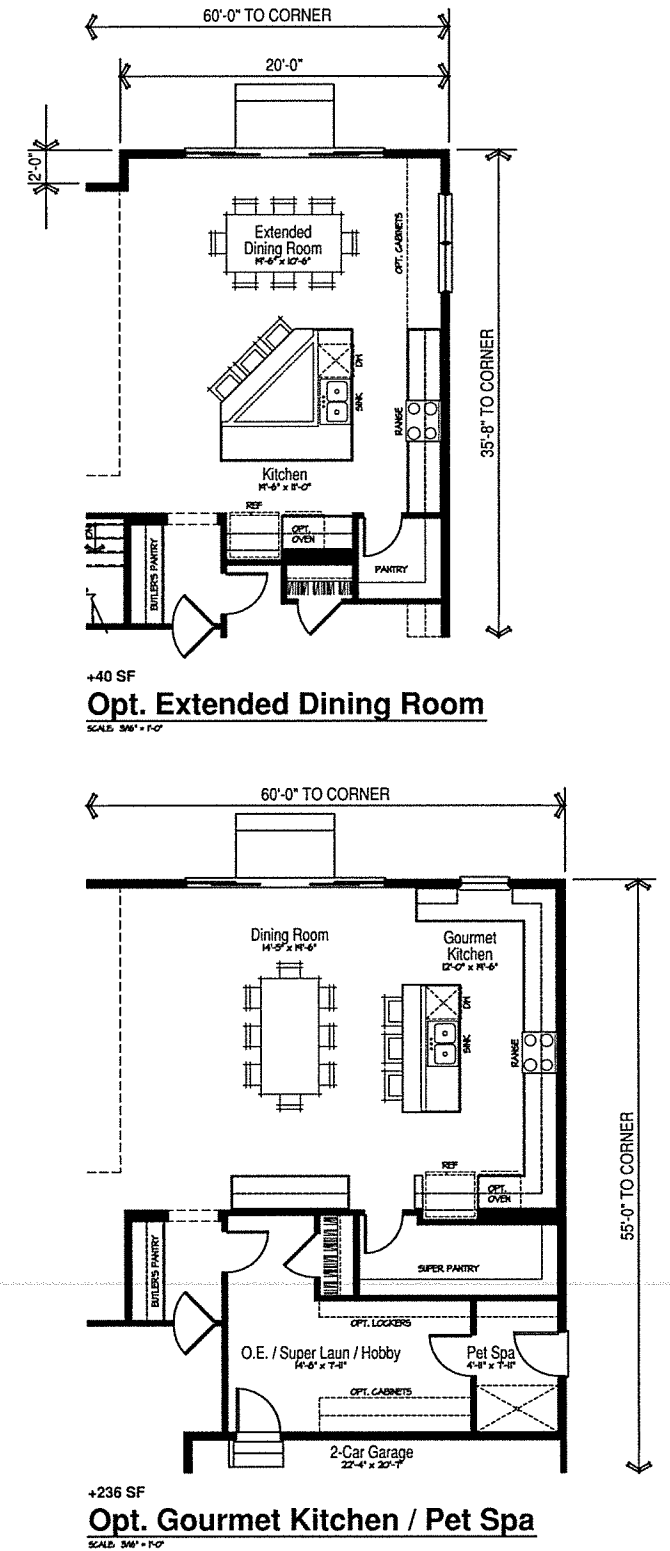
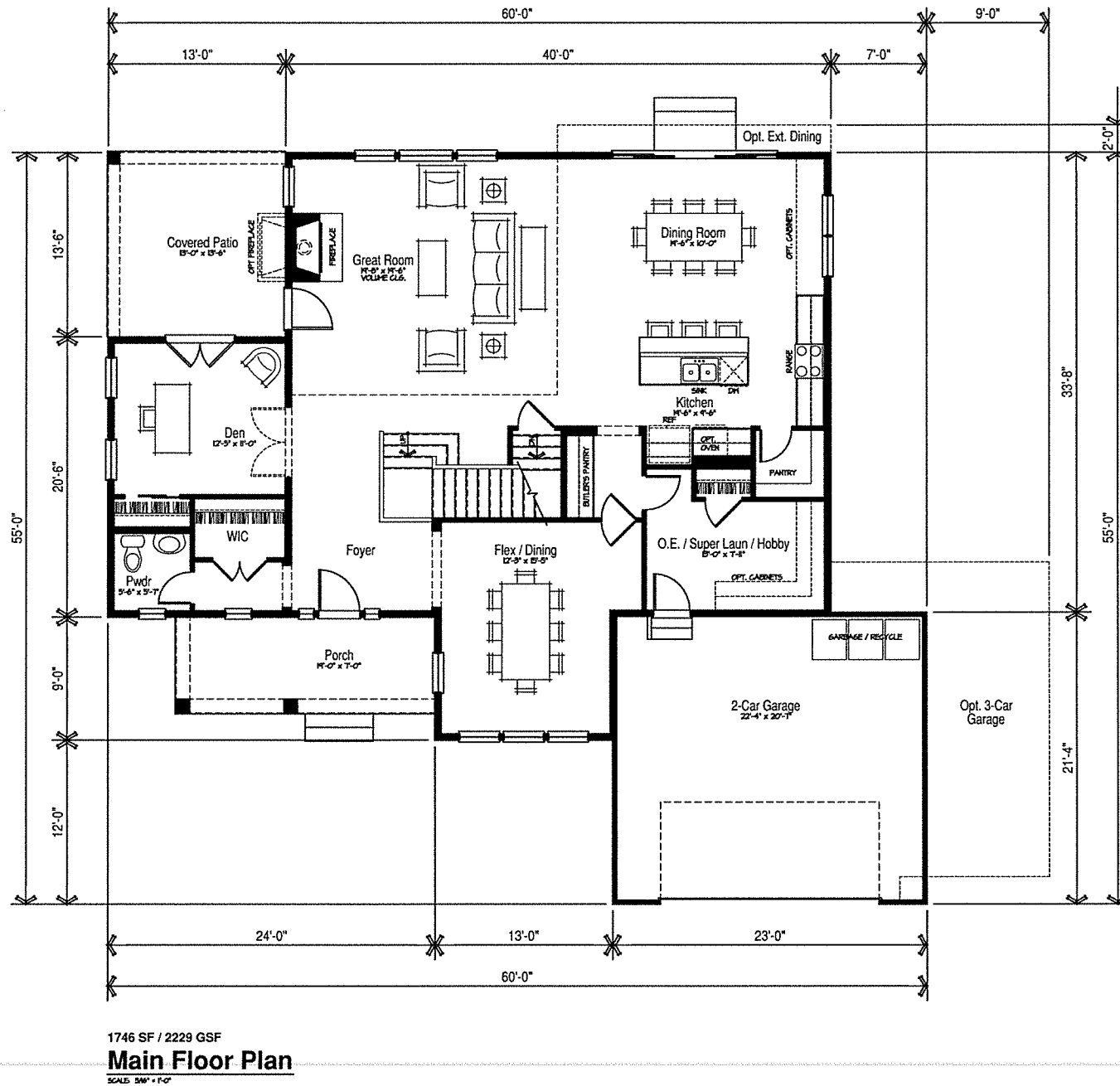
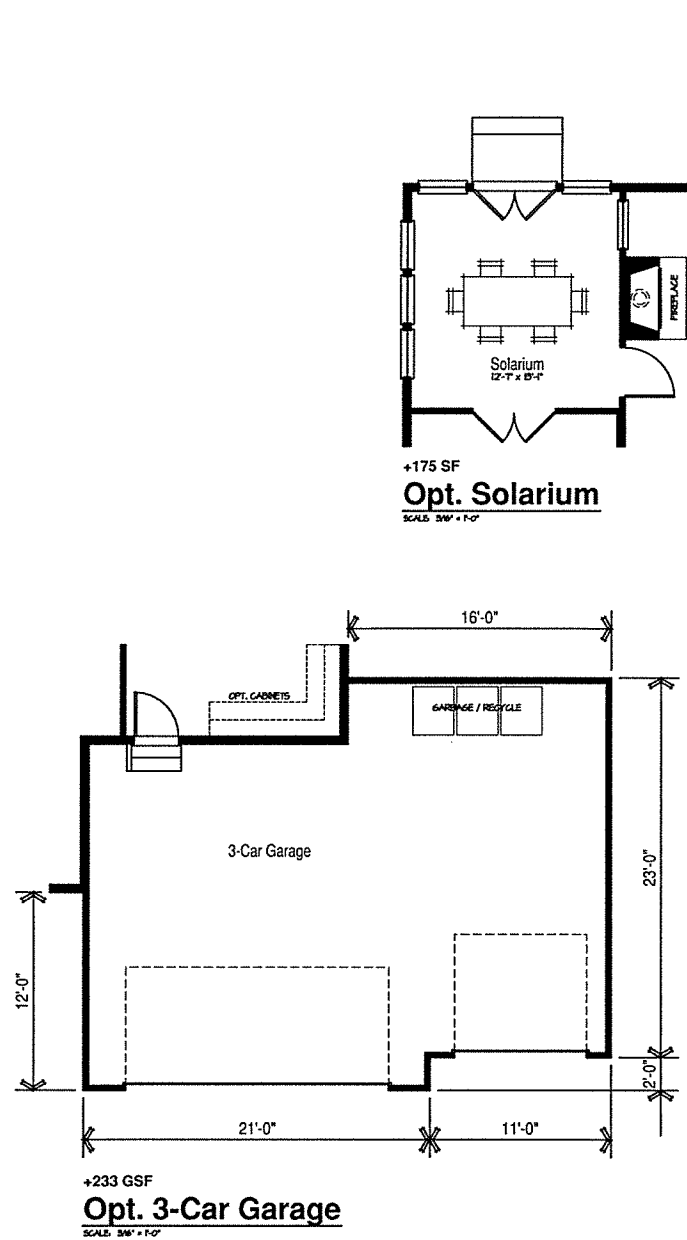


+408 SF
(w/ Opt. Tandem 3-Car Garage)
Opt. Bedroom 5
SCALE: 3/8" = 1'-0"

Plan 1 - 2,987 SF / 3,571 GSF

Arlington Heights Single Family

Arlington Heights, IL



Plan 2 - 3,325 SF / 4,207 GSF

Arlington Heights Single Family
Arlington Heights, IL

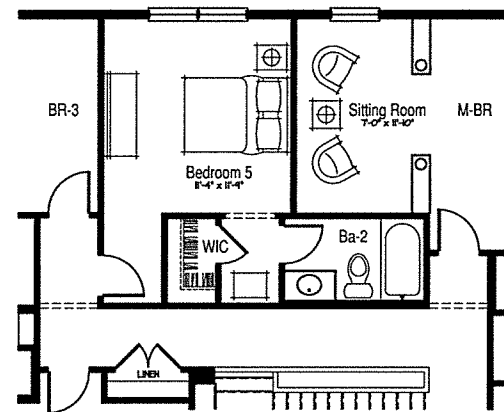
Lexington Homes

bsbdesign.com

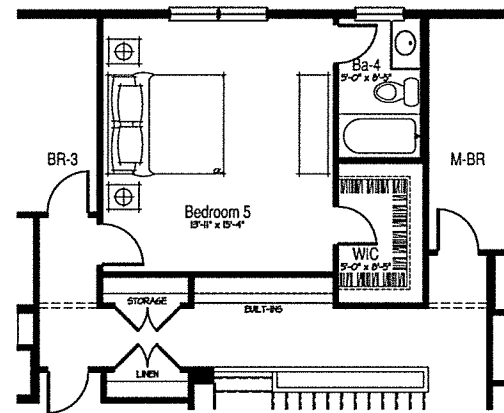
The drawings represent a conceptual illustration of the proposed design and are not to be used for construction. All dimensions are approximate and subject to change without notice. All dimensions are approximate and subject to change without notice. All dimensions are approximate and subject to change without notice.

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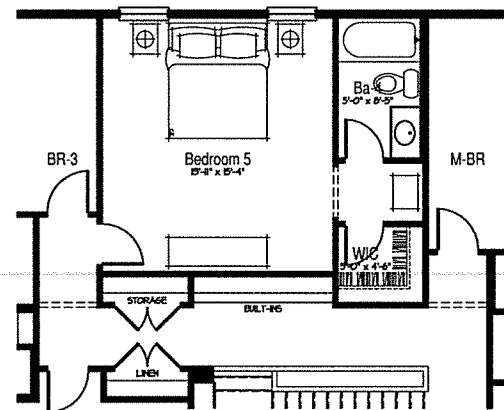




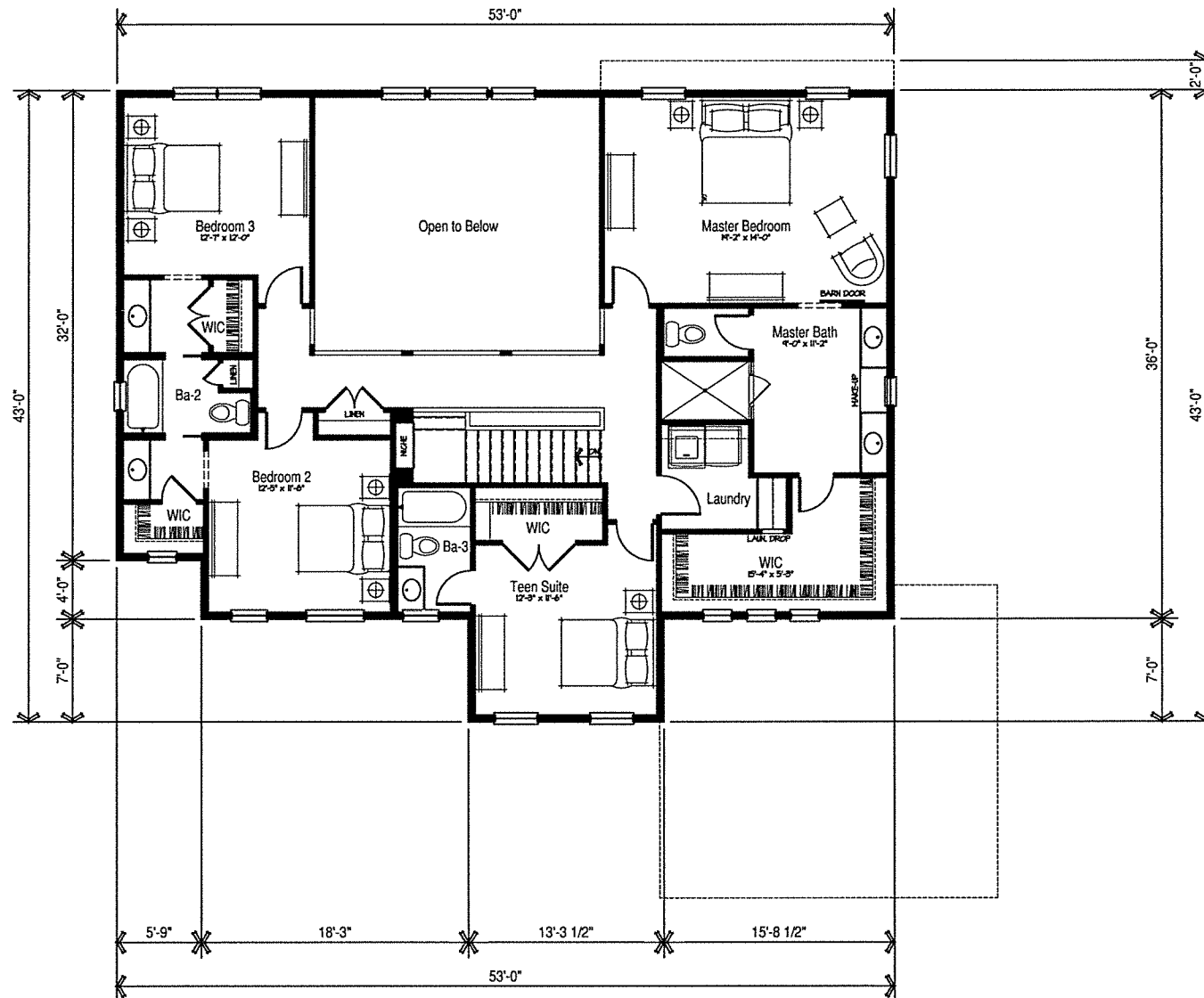
+337 SF
**Opt. Bedroom 5 w/
M-Br Sitting Room**
SCALE: 3/8" = 1'-0"



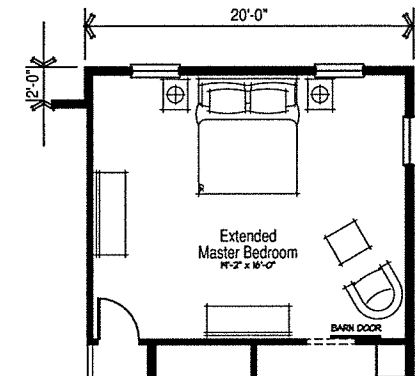
+337 SF
Opt. Bedroom 5 - Alt. Bath
SCALE: 3/8" = 1'-0"



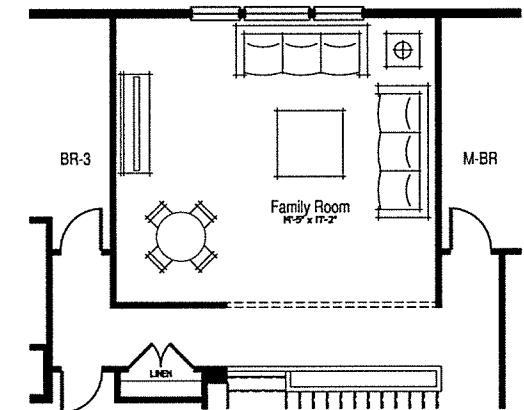
+337 SF
Opt. Bedroom 5
SCALE: 3/8" = 1'-0"



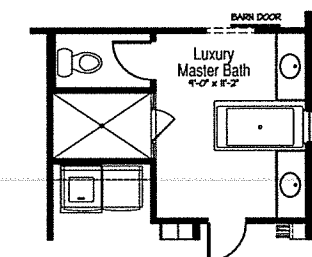
1579 SF / 1978 GSF
Upper Floor Plan
SCALE: 3/8" = 1'-0"



+40 SF
Opt. Extended Master Bedroom
SCALE: 3/8" = 1'-0"



+337 SF
Opt. Family Room
SCALE: 3/8" = 1'-0"



Opt. Luxury Master Bath
SCALE: 3/8" = 1'-0"



**President and Board of Trustees
Village of Arlington Heights
Board Room
Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
October 19, 2015
8:00 PM**

VIDEO III. ROLL CALL OF MEMBERS

Trustees Scaletta and Farwell were absent.

Also in attendance were: Randy Recklaus, Tom Kuehne, Robin Ward, Charles Perkins, Diana Mikula, Scott Shirley, Mark Burkland and Becky Hume.

VIDEO IV. APPROVAL OF MINUTES

VIDEO	A.	Committee of the Whole 09/15/2015	Approved
-------	----	-----------------------------------	----------

Trustee Mike Sidor moved to approve. Trustee Bert Rosenberg Seconded the Motion.

The Motion: Passed

Ayes: Glasgow, Hayes, LaBedz, Rosenberg, Sidor, Tinaglia

Abstain: Blackwood

Absent: Farwell, Scaletta

VIDEO XVI. REPORT OF THE VILLAGE MANAGER**VIDEO A. Lexington Homes - 900 W. Campbell St. - Early Review**

President Hayes said Early Review does not give approval, but is intended to give projects thoughts from the Board on a preliminary proposal.

Bill Rotolo of Lexington homes said they are proposing a simple subdivision of 15 lots. There is one detention basin on the south east corner of the property. They will be putting in a new street as an extension of an existing street. All the lots meet the minimum zoning requirements. They will build single family homes with approximately 3,300 square feet in the \$600,000-\$750,000 price range. They are working on the preliminary and final subdivision process now.

Ron Adams, the project engineer, said they will be introducing new utilities for the Kennicott lots. The other lots will use existing utilities on Kaspar. The water detention is according to the Village's requirements. This detention basin will be turned over to the Village as a public facility.

Trustee Glasgow asked if underground detention was considered. Mr. Perkins said the MWRD has new criteria which encourages more open detention areas. Some underground vaults exist and it may be available for this location but staff does not know as there are no official plans. The detention is at the low point of the site and consistent with one of the options looked at in February. A fee would be developed to be paid to the Village if detention remains above ground. Trustee Glasgow said he liked this proposal better than the earlier proposal as it is using the land better.

Trustee Tingalia asked if the detention would be a wet or a dry grass bottom. Mr. Adams said it would be a dry bottom, similar to Christina Court. They did receive their MWRD permit yesterday. It is not mowable. There will be native plantings and generally be dry, but the MWRD now mandates volume control that is subject to infiltration. Plantings must allow the first inch of water to soak into the ground. Underground vaults make it difficult to achieve the new filtration requirement. This region has a lot of clay which doesn't infiltrate well. The deep rooted plants break through the clay to allow infiltration. Trustee Tinaglia said this is way better than the previous plan. He said he had angst with owning and maintaining a wet bottom basin. He would rather see a central underground storage system that runs along the easement of the properties with some bio-swales. If there was a way to fix this and satisfy the MWRD requirements it would be a home run.

Trustee Sidor asked the developer to make sure when the property is regraded that the homes to the west are not negatively affected. Mr. Adams said the entire site will drain to the detention center.

VIDEO **XVII** **ADJOURNMENT**

Trustee Thomas Glasgow moved to adjourn at 10:16 p.m. Trustee Mike Sidor Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Glasgow, Hayes, LaBedz, Sidor, Tinaglia

Absent: Farwell, Scaletta, Rosenberg



Item: Northwest Gastroenterologists - 1415 S. Arlington Heights Rd. - T1519

Department: Planning & Community Development

Requested Action:

- Amendment to Ordinances 77-005 and 95-055 to amend the PUD to allow a 1,612 square foot expansion for a medical office.

Variations Required:

- None.

ATTACHMENTS:

Description

Staff Report
Site Plan - Floor Plan
Survey
Aerial

Type

Board or Commission Report
Exhibits
Exhibits
Exhibits

STAFF DEVELOPMENT COMMITTEE REPORT

To: Plat and Subdivision Committee
Prepared By: Bill Enright, Deputy Director Planning and Community Development
Meeting Date: November 18, 2015
Date Prepared: November 12, 2015
Project Title: Northwest Gastroenterologists
Address: 1415 S. Arlington Heights Road

BACKGROUND INFORMATION:

Petitioner: Sam Salahi
Address: Architectural Planning & Services
 123 W. Front Street, Suite 202
 Wheaton, IL 60187

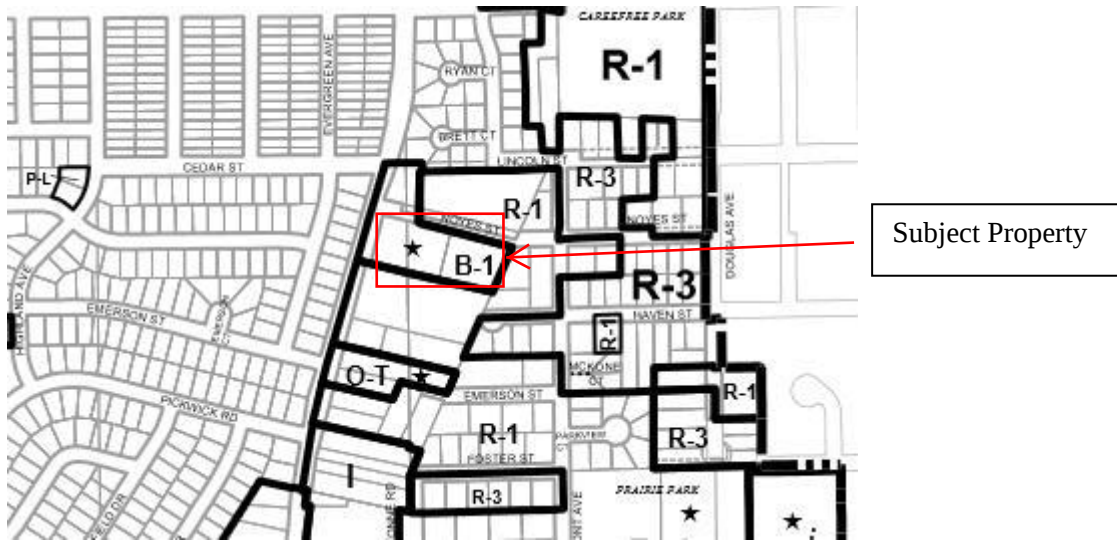
Existing Zoning: B-1 Business District Limited Retail, Planned Unit Development

Requested Action:

- Amendment to Ordinances 77-005 and 95-055 to amend the PUD to allow a 1,612 square foot expansion for a medical office.

Variations Required:

- None.

**ANALYSIS:****SURROUNDING LAND USES:**

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	R-1, One Family Dwelling	IDOT Salt Dome	Single Family Detached
South	R-1, One Family Dwelling	Vacant	Offices Only
East	R-1, One Family Dwelling	Single Family Home	Single Family Detached
West	R-3, One Family Dwelling	Single Family Homes	Single Family Detached

Background:

The subject site consists of two platted lots: Lot 1 is 65,922 sf (1.5 acres) and includes the medical office building and related parking. Lot 2 is vacant and is 54,608 sf (1.3 acres). In 1995, the parcel was subdivided in Ordinance 95-055, which included the following conditions: #2: "Lot 2 will hold the detention for Lot 1"; and #3: "A perpetual easement for cross access, public utilities and drainage shall be provided between Lot 1 and Lot 2. Any alteration of this easement must be approved by the Village." Condition #3, with respect to the cross access and drainage easement, was never implemented by the property owner, thus as a condition of this project, the easement must be drafted for Village review and recorded with the County Recorder of Deeds.

The petitioner is proposing a 1,612 sf addition to the existing 8,370 sf medical office building. The addition is at the rear, east side of the building and will result in the loss of 27 parking spaces at the east parking area. The parking required for the building (with the new addition) is 50 spaces. The site currently includes 102 spaces, but with the loss of 27, the parking will be reduced to 75. Thus parking meets code as a medical office, however staff recommends that the petitioner include parking counts over a few days to determine the peak demand for the property.

Zoning & Comprehensive Plan

The property is zoned B-1 which permits medical offices. The site is subject to a Planned Unit Development therefore an amendment to the PUD is required given the 19% increase in floor area and elimination of 27 parking spaces.

Site Plan

A cross access easement shall be depicted on the site plan. In addition, there should be one accessible parking space in the parking area nearest the new rear entrance. All plans shall include dimensions of drive aisles, parking spaces, etc.

Traffic & Parking

The petitioner shall submit parking counts for a three day period during the peak business hours including a Saturday in order to determine if the parking needs will be met with the loss of 27 spaces. A traffic study is not required by code.

Building

Administrative design review will be required for the new addition, therefore a Design Review application shall be submitted prior to obtaining a building permit.

Landscape & Tree Preservation

Staff will review the site to determine if all required landscaping is present. Any missing landscaping shall be installed with this project.

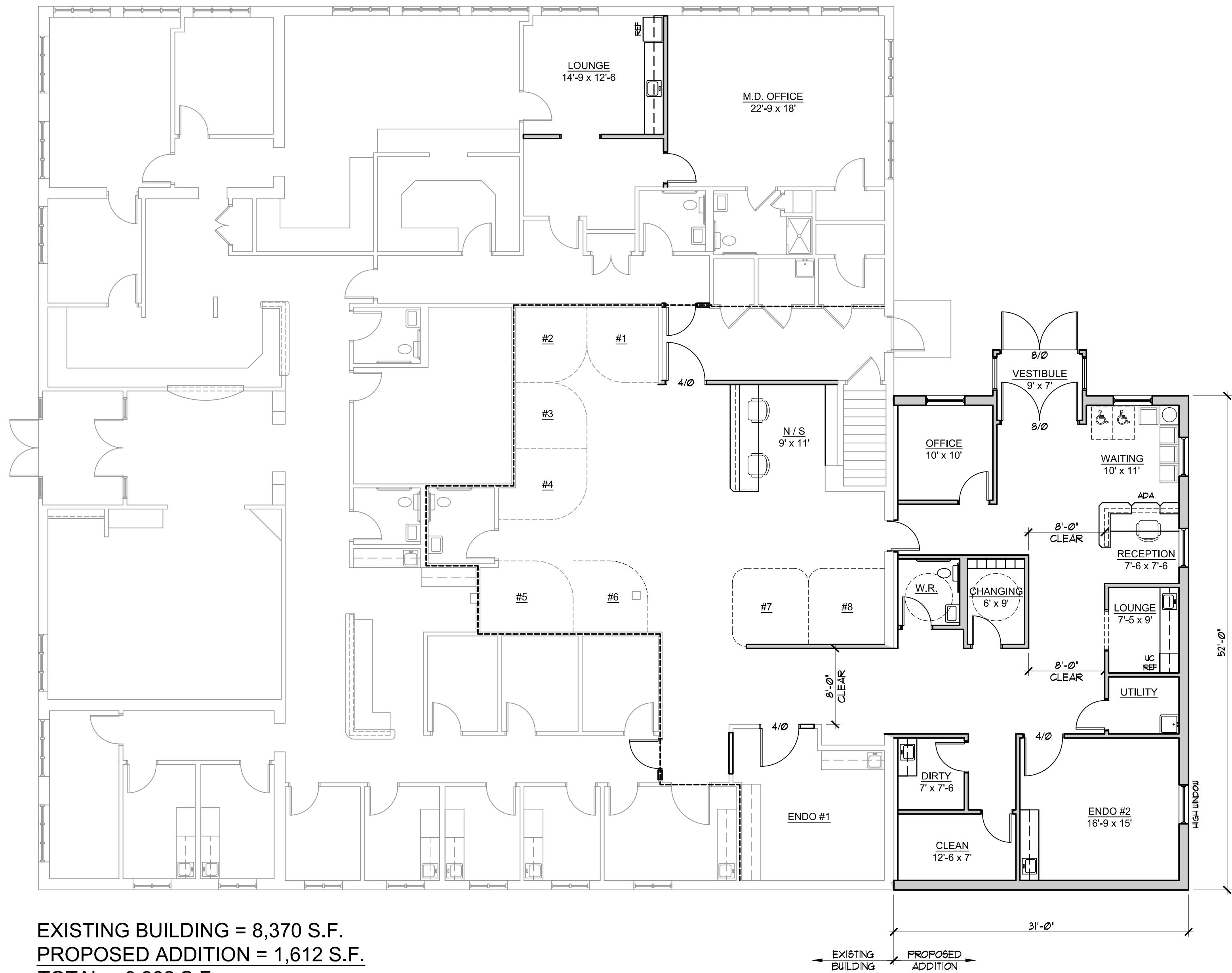
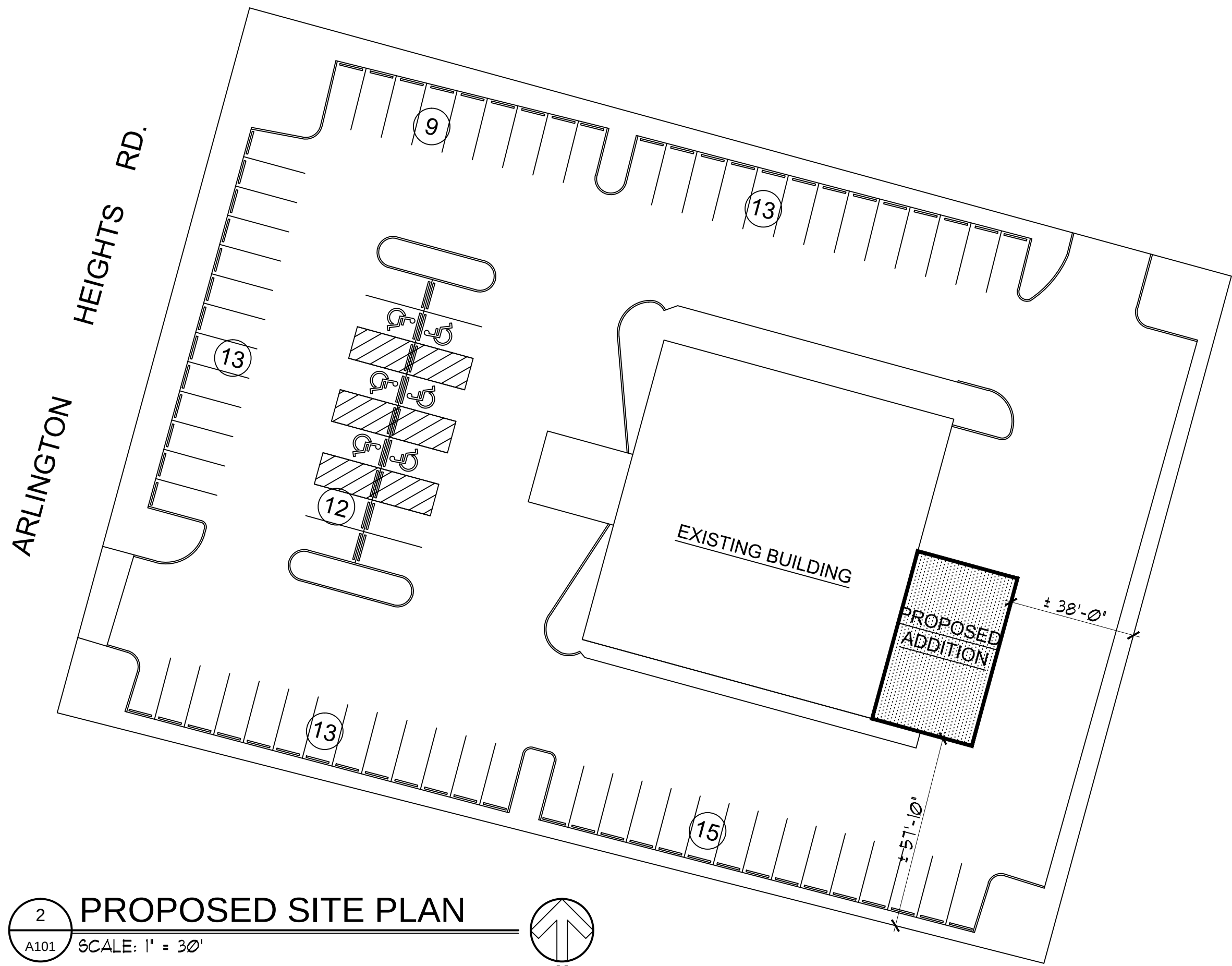
RECOMMENDATION:

On November 3, 2015, the Staff Development Committee reviewed the Petitioner's request and is **supportive** of the proposed PUD amendment, subject to all site development issues, including those listed below, being addressed.

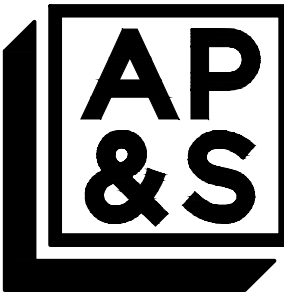
1. Provide a cross access and drainage easement as previously required in Ordinance 95-055.
2. A parking study shall be provided over a three day period including Saturday, during peak office hours.
3. Submittal of a Design Review Application.
4. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

_____, November 12, 2015
Bill Enright, Deputy Director of Planning & Community Development

C: Randy Recklaus, Village Manager
All Department Heads



1 PROPOSED FLOOR PLAN
A101 SCALE: 1/8" = 1'-0"



ARCHITECTURAL PLANNING & SERVICES, LTD.
123 W. Front St. Suite 202
Wheaton, Illinois 60187
TEL: 630-665-0355
FAX: 630-665-3022
www.APSarchitects.com

CONSULTANTS

PROJECT

ADDITION AND REMODELING FOR:
NORTHWEST GASTROENTEROLOGISTS
1415 S. ARLINGTON HEIGHTS RD.
ARLINGTON HEIGHTS, ILLINOIS

STAMP

MARK	DATE	DESCRIPTION
	4/2/15	ISSUED FOR REVIEW
	5/22/15	ISSUED FOR REVIEW
	10/8/15	ISSUED FOR REVIEW

PROJECT NO: 15-021

DRAWN BY: MTC

CHK'D BY: SHS

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SHEET TITLE

PROPOSED PLAN

A101

SHEET OF

- Plat of Survey -

O'BRIEN LAND SURVEYING, INC.

PROFESSIONAL LAND SURVEYORS

24836 NIPPERSINK RD. ROUND LAKE.

ILLINOIS 60073

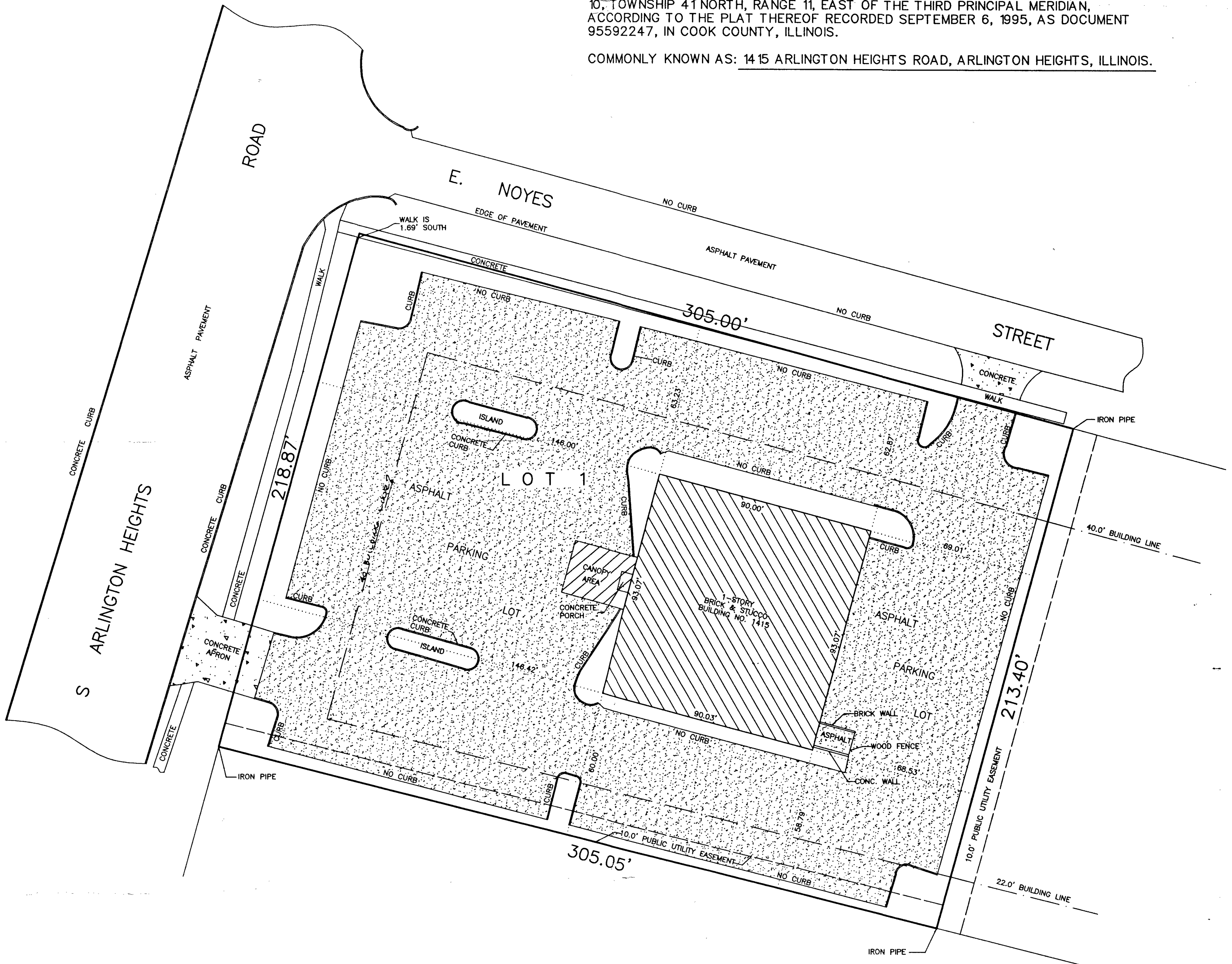
PHONE: 847-740-1200 FAX: 847-740-1279

ORDER NO. 01-030166
ORDERED BY: NWG Partners, LLC

ROUND LAKE, March 29, 2001
FOR: _____

LOT 1 IN CAPOREALE'S SUBDIVISION OF PART OF THE NORTHEAST $\frac{1}{4}$ OF THE SOUTHEAST $\frac{1}{4}$ OF SECTION 9 AND PART OF THE NORTHWEST $\frac{1}{4}$ OF THE SOUTHWEST $\frac{1}{4}$ OF SECTION 10, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 6, 1995, AS DOCUMENT 95592247, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 1415 ARLINGTON HEIGHTS ROAD, ARLINGTON HEIGHTS, ILLINOIS.



SCALE: 1" = 30 FEET
TOP OF PLAT IS NORTH

ROUND LAKE, March 29, 2001
STATE OF ILLINOIS
COUNTY OF LAKE S.S.

This is to certify that I have surveyed the above described property according to the Official Record, and that the above plat correctly represents said survey.

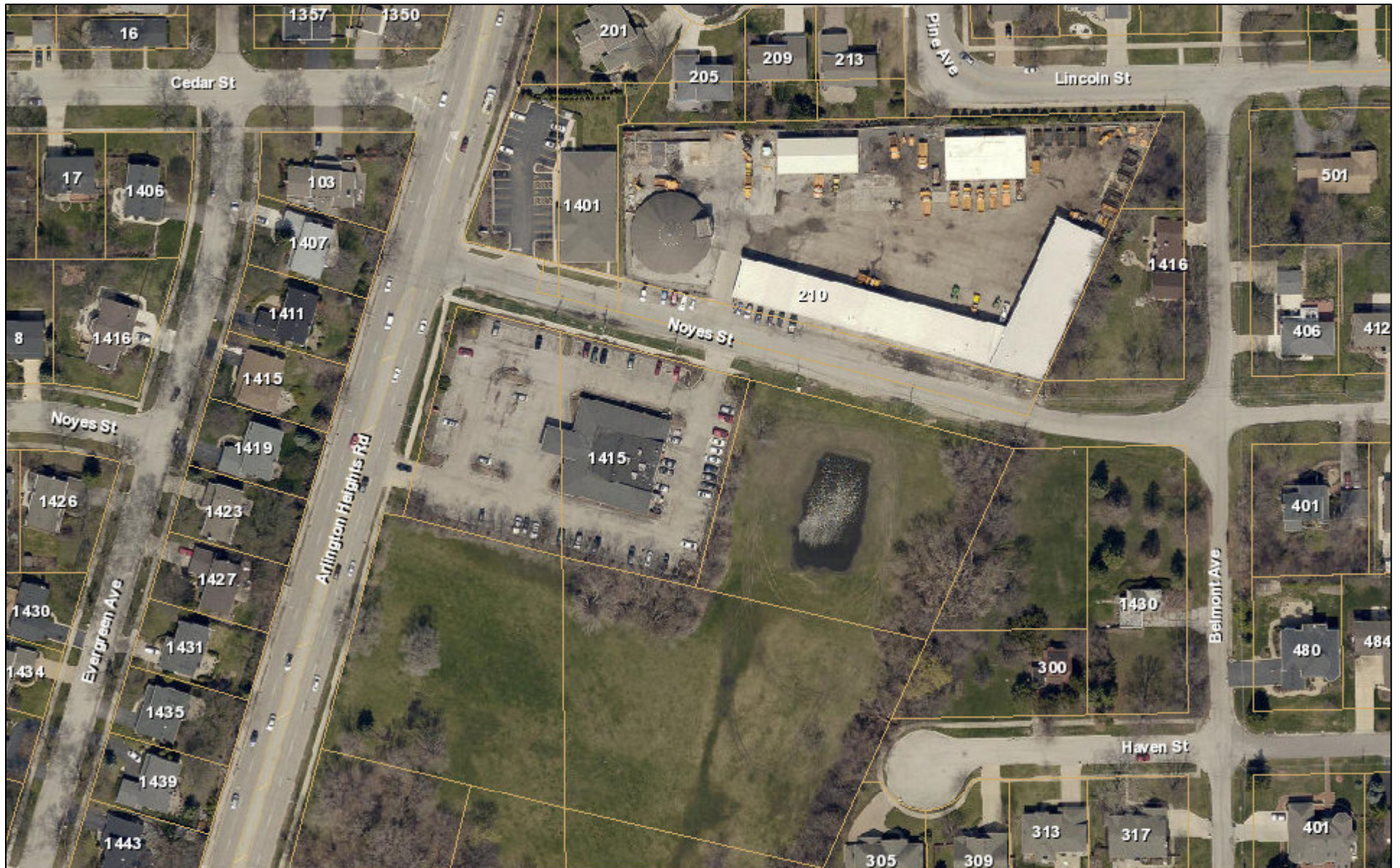
BY: Steven W. O'Brien

Steven W. O'Brien
Illinois Professional Land Surveyor
No. 35-2644

Compare all points and report any difference at once.
This survey has been made in connection with a mortgage loan transaction or Real Estate transfer, and is not to be used for any other purpose. Building lines and easements are shown only where they are so recorded in the maps. Refer to your deed or abstract. Dimensions shown are in feet and decimal parts thereof. No dimension is to be assumed by scaling.



Aerial



November 12, 2015

