Agenda
Village of Arlington Heights
Zoning Board of Appeals
Buechner Room, 1st Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
November 14, 2016
7:00 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

A. 215 W. Miner St. - 10/10/16
B. 1409 E. Eastman St. - 10/10/16

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

A. Johann Residence - 103 N. Pine Ave.
B. Jaworksi Residence - 7 S. Regency Dr. East
C. Constertina Residence - 3917 N. Proctor Circle
D. Denisiuk Residence - 2211 N. Champlain St.
E. Mongoven Residence - 3921 N. Proctor Circle
F. O'Malley Residence - 523 S. Belmont Ave.
G. 909 W. Campbell St. Subdivision

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.

Item: 215 W. Miner St. - 10/10/16

Department: Planning & Community Development

Approval of Minutes & Findings from 10/10/16 hearing

ATTACHMENTS:

Description	**Type**
Minutes 10/10/16 - Goedke House	Minutes
Findings 10/10/16 - Goedke House	Minutes

DRAFT

ZONING BOARD
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OF APPEALS

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

RE: GOEDKE HOUSE - 215 WEST MINER STREET

REPORT OF PROCEEDINGS had before the Village of Arlington Heights Zoning Board of Appeals taken at the Arlington Heights Village Hall, 33 South Arlington Heights Road, 1st Floor Beuchner Room, Arlington Heights, Illinois on the 10th day of October, 2016 at the hour of 7:09 p.m.

MEMBERS PRESENT:

JOSEPH GEISEL, Acting Chairman
TOM DRAKE
TOM SCHWINGBECK
DAVID DIVITO

ALSO PRESENT:

DEREK MACH, Village Planner

ACTING CHAIRMAN GEISEL: Thank you, everybody, for waiting. We have four so we have a quorum. Roll call.

MR. MACH: Chairman Petrillo.

(No response.)

MR. MACH: Mr. Divito.

MR. DIVITO: Here.

MR. MACH: Mr. Drake.

MR. DRAKE: Here.

MR. MACH: Mr. Geisel.

ACTING CHAIRMAN GEISEL: Here.

MR. MACH: Mr. Schwingbeck.

MR. SCHWINGBECK: Here.

MR. MACH: Mr. Selbka.

(No response.)

MR. MACH: Mr. Siavelis.

(No response.)

ACTING CHAIRMAN GEISEL: I'll call the Zoning Board meeting to order. The next item is the pledge of allegiance.

(Pledge of allegiance.)

ACTING CHAIRMAN GEISEL: So, there are three primary criteria that need to be met for an approval, for your petition to be presented. The standards are that the property in question cannot yield a reasonable return if permitted to be used only in the conditions allowed under the regulations in that zone; that the plight of the owner is due to unique circumstances; and that the variation if granted will not alter the essential character of the neighborhood. Those are the three primary criteria that you have to meet while making your presentation.

So, the first order of business is to approve the minutes from last meeting. Anybody have any changes? Everybody got a chance to read them? Approval?

MR. DIVITO: I'll move to approve.

MR. DRAKE: Second.

MR. MACH: All in favor.

ACTING CHAIRMAN GEISEL: Pardon?

MR. MACH: All in favor.

ACTING CHAIRMAN GEISEL: All in favor, okay, say aye.

(Chorus of ayes.)

ACTING CHAIRMAN GEISEL: Okay, so the first order of business tonight is the Goedke House, 215 West Miner.

Just a quick reminder, since there's only four of us here tonight, if you choose, you could present on an alternate night when there are more people available, because you have to get all four of us as Board members to vote for an approval. So, if you choose, you can withdraw the petition this evening and you can re-present.

MR. WEBER: No, I think we're ready tonight. So, my name is Bruce Weber, I'm an architect with Globetrotters Engineering. We're the architects and engineer for the renovation project of Goedke House which is a senior residence building.

ACTING CHAIRMAN GEISEL: So, forgive me just real quick, did you sign

in?

MR. WEBER: Oh, I did not.

ACTING CHAIRMAN GEISEL: If you're going to present, and then I'll swear both of you in.

MR. WEBER: Okay, sorry.

(Pause.)

ACTING CHAIRMAN GEISEL: So, please state your name and address.

MR. WEBER: Bruce Weber, 2220 Jenks Street, Evanston, Illinois.

ACTING CHAIRMAN GEISEL: Please raise your right hand.

(Witness sworn.)

ACTING CHAIRMAN GEISEL: Your name, ma'am?

MS. HUSHAW: Alesia Hushaw. Alesia Hushaw. You want my home address or my business?

ACTING CHAIRMAN GEISEL: Whatever you choose to give.

MS. HUSHAW: Okay, my business is 175 West Jackson Boulevard, Chicago, Illinois, Suite 350. I'm with the Housing Authority of Cook County.

(Witness sworn.)

ACTING CHAIRMAN GEISEL: Sorry, please proceed.

MR. WEBER: No problem.

MS. HUSHAW: Sorry about that.

MR. WEBER: So, it's a senior housing facility. It's a major renovation where we're upgrading, doing all the units, upgrading the life safety systems, as well as the public spaces. It's a major renovation.

Part of that renovation is changing the emergency generator, up-sizing it to suit the needs with the increased fire safety protection systems as well as some of the other spaces that weren't previously connected. To that end, we put a new generator outside the building. We have, I think as we've indicated they poured the pad for we were unaware that there was an issue until after the pad had been poured.

It turns out that there was a variance required, I hope a relatively small variance in that there are two aspects of it that we're looking for. One is the setback, and what we had tried to do as design architects is keep the generator as far from the residence to the west as possible. So, to that end we moved it up fairly close to the sidewalk, but with the idea of screening it from the sidewalk. But again, to keep it as far from the residence as possible. In doing that, it exceeds the required setback by 2.9 feet and we can't really push the unit back without pushing it back beyond where the pad is set now because of the clearances inside.

The second aspect of the variance that we're asking for is for the square footage. There is a 300 square-foot limit with the unit that we have and the clearances required around it for servicing, we exceed that by 46 feet. We have, it's a fairly tall unit and there is a reason for that. But we have increased the height of the wall from what we had initially drawn to be to go over the top of the unit. It's a brick surround that will match the brick of the building. Actually it's a pretty good match, usually quite often in these things they're not particularly good, but this is a very good match of the brick of the building. The gate access to it will be a decorative gate with a solid back.

The reason for the height is one of the things I want to mention. For this, if it's a 300 KVA unit, for this unit, the next size down for something that's a little

shorter has a larger footprint, but it's also louder, right. So, the taller unit, they have some additional sound baffling within the unit and the goal there is to keep that as low as possible.

The other thing I'd like to say is the existing unit within the building is a diesel unit, but the whole wall that's required for ventilation makes it fairly open to the outside. It's an older unit and it's noisy. I think this unit is actually going to be a little quieter, especially with the brick around it, totally surrounding it.

So, those are the two primary things that we're looking for in the variance and some of the reasoning behind it.

ACTING CHAIRMAN GEISEL: These get tested fairly regularly?

MR. WEBER: They do. They get tested once a month. It's a relatively short, I'm sorry, once a week. It's a short test, about 15 minutes. The Housing Authority will certainly work with any neighbors to set up the timing of that. It's an automatic, it's a test that's automatically done. You can set the timer for any time that you want to do it. So, if it's preferable for the neighbors to do it at 10:30 on Tuesday morning, that can be arranged easily.

ACTING CHAIRMAN GEISEL: Did anybody actually consult with the adjacent neighbors prior to any of this work?

MR. WEBER: No, not prior to this work. We went through the standard process, meeting with the town officials here and the permitting official. We had a meeting with them prior to submittal for a permit. Then we had several meetings as we were permitting the building. None of those I think mandated a talk with the neighbors.

I think the Housing Authority does have relations with the neighbors. The building manager talks to the neighbors fairly frequently. But as architects, we did not present to the neighbors prior to this.

ACTING CHAIRMAN GEISEL: Anybody else have any questions?

MR. DRAKE: Is this public housing?

MS. HUSHAW: Yes, it is.

MR. DRAKE: It is, okay. Are there any safety issues? Are there exits in that area where the generator are that would impact first responders or any of those kind of things with that footprint with the pad and the higher generator?

MR. WEBER: No, there are not. There is an exit on the west side. It actually exits out to the north though, and there is a patio to the east of the generator, but again, and a door to the east of that patio. That is an exit but it's a good 50 feet away from that so there are no safety concerns with this.

MR. SCHWINGBECK: So --

MR. DIVITO: What is -- go ahead.

MR. SCHWINGBECK: So, you answered kind of the one question as the old generator was inside.

MR. WEBER: Yes.

MR. SCHWINGBECK: I did go by there today and obviously the pad and the new generators are already in place. There was no thought process of putting it up on the roof? I mean it just seems like it's right by that beautiful outdoor area where the guests convene.

MR. WEBER: Right.

MR. SCHWINGBECK: And the next-door neighbor, and the only thing

between the generator and their driveway is a tree. I went across the street just to get kind of the site plan of that generator.

MR. WEBER: Sure.

MR. SCHWINGBECK: How high is that brick wall going to be?

MR. WEBER: It's going to be 10 feet, so it will be about a foot over the top of the generator. Like I said, there was a desire to match the brick with the building which there is a very good match. If you looked at the building, I don't know, we've rebuilt the parapet and it's indistinguishable. You cannot see anything there I think with that same brick.

MR. SCHWINGBECK: Could you have put it on the roof?

MR. WEBER: No, these are very heavy pieces of equipment. Actually I shouldn't say no, you can do anything. But it would require structural reinforcing in the roof and they are very heavy pieces of equipment. It wasn't really structurally feasible.

MR. SCHWINGBECK: Or put it where the old one was?

MR. WEBER: Again, it's a much larger piece of equipment. It wouldn't fit with the floor to floor within the building. It's a more sizeable thing but it's also got its own surround, whereas the existing generator does not. It's just sort of an open machine essentially.

ACTING CHAIRMAN GEISEL: Does the existing one, is that the vent that we see behind the unit? Is that where that's located?

MR. WEBER: Yes. Yes, that is.

ACTING CHAIRMAN GEISEL: So, it's in the --

MR. WEBER: And now the switchgear is right there as well. So, it's obviously a new switchgear but it will go in roughly the same spot.

ACTING CHAIRMAN GEISEL: So, you're somewhat limited from the site of having to put it somewhere near here for access to the existing equipment?

MR. WEBER: Absolutely, yes.

MR. DRAKE: What is the time table, it's a bit of an eyesore right now and I realize everything is all torn up, so that's fine.

MR. WEBER: Yes.

MR. DRAKE: What's the time table for having all of this done if we approve the variance?

MS. HUSHAW: We need to have everything done before the end of this year. We need to have all the units completed before the end of November and then have all the work completed before the end of December.

MR. WEBER: The GC is waiting for the go ahead. He is waiting to go with it. Beyond the pad, the foundations for the wall are poured and that's actually more significant than the pad. They step up because it grades out there. So, the masons have finished up I believe the parapet wall, they had very little bit to do last week, I'm assuming they've completed that. So, they're ready to go with it as soon as possible. In fact, in their mind the sooner the better.

MR. SCHWINGBECK: If it doesn't get approved, are you able to use the old unit?

MR. WEBER: No. It's not properly sized. It's at the end of its serviceable life.

MR. SCHWINGBECK: So, if it doesn't get approved, what's the other

option?

MR. WEBER: We have to go back to the drawing board, so we'd have to find another place for it.

MR. DIVITO: Have any other locations been thought of for this?

MR. WEBER: So, because of the proximity of the switchgear and the difficulty and the tightness of the site generally, not really. There was some talk very early on about locating it on the Miner Street side, but there were also issues with that, and it's usually expensive to route all the wiring and switches and everything to go back. You'd have to basically move it around the building, all the way around the building.

MR. DIVITO: Trudge it down the end, yes.

MR. WEBER: Yes. We're trying to make the best of the situation basically I think with the brick walls and the decorative gate and all sorts of things to cover it up. Like I said, we got the quietest unit for its size that we could find.

ACTING CHAIRMAN GEISEL: Any additional questions by the Board? If you'll permit, I'd like to see if anybody from the audience has anything.

MR. WEBER: Sure.

MS. RUBINO: I have a question.

ACTING CHAIRMAN GEISEL: Excuse me, if you're going to, please come up and sign in.

MS. RUBINO: Yes, sorry.

ACTING CHAIRMAN GEISEL: Thank you. So, your name and address please?

MS. RUBINO: Toni Rubino, 355 West Miner.

(Witness sworn.)

ACTING CHAIRMAN GEISEL: Okay, thank you.

MS. RUBINO: I was, we drove by on Wing Street today because there is a large building over there that also has a generator in the back. When power goes out and that generator goes on, we can hear it on Miner Street. My concern is it will be pretty much right behind us, this generator. So, my question is, is it possible to have two smaller units within that space that it occupies right now rather than a huge --

MR. WEBER: No, they don't decrease in size that much. So, it's a 300 KVA unit. To get two 150 KVA units, you'd probably be taking about three-foot off of one side or four-foot off of one side. The width is almost the same on these, it might decrease about a foot. But it's not a substantial difference in size to go to two smaller units.

MS. RUBINO: But if you, okay, let's say you were to purchase a newer version of the unit that you have right now in that space?

MR. WEBER: This is brand new. Oh, the --

MS. RUBINO: No, in the old space?

MR. WEBER: Yes.

MS. RUBINO: Is it possible to upgrade and get a newer model and keep within that space inside the building?

MR. WEBER: That's a diesel unit, so there's a large tank. To get a gas-fired which these are which are clean and quieter, they tend to be somewhat larger because they don't have the, well, they tend to be larger now than what they were before where they were more or less, like I was saying, open machines. The interior space I don't know is practical because of the height of the ceilings and the size of the space. It's fairly tight back

there now. I'm not sure that we could put anything that would get us close to the size that we need there.

MS. RUBINO: So, you're putting new electronics within the building, everything new, and what is there now does not accommodate all of these new things that you've put into the building?

MR. WEBER: The space for the generator I think isn't large enough to put in a generator the size that we need, or two small generators the size that we need.

MS. RUBINO: Right. So, I'm saying you've upgraded something within the building that does not allow for this little smaller unit?

MR. WEBER: Oh, yes, absolutely. Absolutely, that's right.

MS. RUBINO: Okay, okay.

ACTING CHAIRMAN GEISEL: Does anybody else have any questions?

MS. SEXTON: I do.

ACTING CHAIRMAN GEISEL: Please come up and sign in.

MR. MACH: Did you want the video?

MS. SEXTON: Yes, in just a moment, okay? Thank you.

(Pause.)

MS. SEXTON: Thank you, dear.

ACTING CHAIRMAN GEISEL: Name and address please.

MS. SEXTON: My name is Lucia Sexton and I live at 312 West Miner Street in Arlington Heights.

(Witness sworn.)

ACTING CHAIRMAN GEISEL: Okay.

MS. SEXTON: Okay, all right. I live right next door, and I've lived in that house for 27 years. It's a very old home and actually that home was there long before the buildings across the street, next to us, and behind us. I've been paying taxes, high taxes in Arlington for 27 years, raised children that went through the public school system here. I'm employed by District 25 and I'm active in the community.

So, it's interesting because the last time that I was before the Zoning Board was 20 years ago and we wanted to put an addition to our family room which is right in front of our property. But of course because of the zoning, you can't have any property that sticks out farther than the front, you guys know, but the houses that are along the block. So, having a family room, our family room was only nine-and-a-half feet wide, so we couldn't do that option, so we went and asked for a variance so we could demolish our one-car garage and put a two-car garage in the back and then put a family room in the back of our property. We wanted to make sure that we could fit two cars in front of the garage also.

So, we asked for a variance and that included me having to hand-deliver 200 letters because of the Miner condos. All we wanted to do was set back our garage two feet so we could get enough space to put the family room, and the architect had that in the drawings. Well, we were turned down because the building behind us, the condo behind us was concerned that they weren't able to properly maintain the brick fence that borders our property and then behind that is their parking lot and then their building. Also, this two-car garage that we wanted to add on butted up to the Goedke House parking lot which is a wooden fence that separates our property in the back which has been propped up by two by fours for the past three years by the way, it's not our fence, and this

brick fence. So, we even had masons come out to determine if they could maintain this property, this fence or the brick fence, and they said yes, we could, but we still were denied.

So, anyway, that was my last experience in front of the Zoning Board. But I was checking all the petition and, number one, when you first started construction at the beginning of the summer, you know, I was awakened one morning to jackhammers and all this noise and it has continued throughout the summer. So, I'm like, well, what is going on here? So, I went and asked the manager next door at the Goedke House, and she said, well, we're redoing all the units and blah-blah-blah-blah-blah. For years I've complained about the generator that you have already within the building, and you will hear that on this video.

So, she didn't know, she said, well, they have meetings every Wednesday but I'm not included. So, then I saw this pad being poured. I'm like, oh, my gosh, now it's happening, what are they putting here. You know, it's a lovely courtyard out there, and as I sit in my family room because we couldn't add the family room to the back, we never did put on the addition, you know, I can see the commuters come down and kind of gives me a sense of an urban feel but still being able to live on the suburbs. So, I called the Village and I asked why is this pad being poured, what is happening? I got, oh, we'll check into it.

Well, I never got a call back from the Village. I called the Housing Authority of Cook County. I said what is this going on? I obviously talked to no one that knew anything about it and was not able to give me any information. Then I called, let's see, who did I call? I called the mayor of Arlington Heights, said what is going on here, what is happening? Why is this huge generator out in our front yard. He said I'll check into it.

So, here we are. I haven't heard anything from anybody. Then I looked and I got the public notice, I saw that and I'm like great, I'll have a chance to express myself. So, I'm looking at this petition here and, you know, it states that you have to have, there are three things that you need to state to make your case, and one of them is that it would be a hardship if the variance weren't granted because the generator would be under-sized and not meet the requirements. I understand that. This is a financial hardship for me because I feel the value of my property is going down.

Next, it said I state the following unique circumstances. Moving the generator in its enclosure farther north would bring it closer to the closest neighbor. Now, correct me if I'm wrong, but it didn't seem like that wasn't any concern. You didn't have a concern for the neighbor when you started this, the neighbor being myself. You never once asked me if I would, you know, this is what we're going to do, what are your feelings about it, is this going to create a problem for you. Your old generator created terrible problems, it was an earsore, it was deafening. But you know, nothing was done about that, but now we have this huge generator that's right outside my family room. As I sit in my couch, I am looking at this particular generator, and then I understand it's going to be bigger. I can't even see the courtyard anymore, and I'm worried about not only is it an eyesore, it's an earsore, and I'm worried about our financial loss when we go and try to sell the house.

So, now, and then another thing it says, that the variation if granted will not alter the essential character of the locality. Well, I think that's a matter of opinion.

Anybody, like this is my husband in the back here, you know, we have heard people, you know, since I'm sitting right there and I see people, commuters go by, they look by and they look and go, oh, my, gosh, look at that huge structure there, I bet those people are really upset that they're living in this house, you know, because this has all of a sudden popped out in our backyard.

Now, I understand this is your rear of the building. But this is my front yard, so I don't understand, number one, how you can set something like that so far in front of our property and not consult me. Why you didn't think about putting it in the northeast side of your property, there is a much bigger space there instead of a courtyard which I know it's the opposite end and I'm sure that's a financial problem for you, but why wasn't that considered? Because that's adjacent to a parking lot.

So, in the meantime, you know, here's another thing, too. I'm looking at this Zoning Board of Appeals and it said the generator of this permit was approved and issued in error by Staff. So, it looks like it shouldn't have happened in the first place. Then if I go further down, I've highlighted, and it shall be located so not to be visible from any public streets. Well, I think that Wing Street is a public street, so this seems very visible to me. So, that's all I have. But I would just like to show you a YouTube that I sent Derek, and he was kind enough to display it for me. So, this is what I've been living with for a few years and this is what I've lived with or we have, my husband and I, this summer.

(Video clip played.)

MS. SEXTON: Thank you for your time.

MR. WEBER: Thank you. So, some of the things that we did I think will actually help. Right now it's a massive piece of machinery that you're looking at. I think once we put the walls up and the landscaping, we saved that tree intentionally, and we're also going to be putting landscaping around it, some fairly tall shrubs. We can certainly, you know, get your opinion as well I think. If you want like arborvitae that will cover the whole wall or you want low shrubs or just ivy, those sorts of things, whatever, the planting things around it will help soften it as well.

I understand it is a big, a large thing, but we are doing what we can to sort of soften it. The view from the gate that's required for access to service the thing will be a decorative metal gate with a solid backing. So, you won't see the --

MS. SEXTON: I saw the plans.

MR. WEBER: Yes. So --

MS. SEXTON: If you could make it invisible and silent, that would be wonderful.

MR. WEBER: There are many things in my profession I'd like to make invisible and I wish I could, but we can't obviously. We've done what we can to certainly mitigate the sound. The unit itself will be quieter than the existing unit and it's surrounded by masonry which is, mass is what you want when you want to stop sound. So, again we can talk to you and ask, you know, if it gets approved what sort of plantings and things like that would be best around it. I think it will look much better with the walls.

MS. SEXTON: It's still obstructing my view and I just don't agree with it.

MS. HUSHAW: Well, we apologize for not coming to you and asking for your opinion about it when we first did it. But we looked at it as this was like the best spot for it. We apologize for not bringing it --

MS. SEXTON: This was the most, financially for you that's actually the best option, right?

MS. HUSHAW: Correct.

MS. SEXTON: But it's not for me.

MS. HUSHAW: I mean we understand that, and we're going to try to do the best we can to eliminate that. It won't be as loud as the current one is right now.

MS. SEXTON: Thank you.

ACTING CHAIRMAN GEISEL: You know, one of the things that does come to note, your house is immediately adjacent to other homes along your block and there was another house next door that would be basically in the same spot as this is. I'm not saying that what's transpired so far is the right way to have gone about this. I'm just suggesting had a home been constructed there, you'd be looking at a brick wall potentially with, you know, with a home.

MS. SEXTON: But why would a home have been extended on that far beyond our property line?

ACTING CHAIRMAN GEISEL: Well, because what they're asking for, and maybe since you haven't seen this, perhaps here, why don't you just come take a look?

MS. SEXTON: Well, is it what's on the, yes, I saw this.

ACTING CHAIRMAN GEISEL: Yes, so this is where --

MS. SEXTON: I thought that --

ACTING CHAIRMAN GEISEL: So, it would have to be farther back.

MS. SEXTON: Right.

ACTING CHAIRMAN GEISEL: Yes. But I'm just saying that there --

MS. SEXTON: But if there was a house here, if you're talking about this being a house, it wouldn't --

ACTING CHAIRMAN GEISEL: No, I'm saying up here like adjacent to yours, that's all I meant.

MS. SEXTON: Okay, all right.

ACTING CHAIRMAN GEISEL: That's all.

MS. SEXTON: Because, so if this weren't built then, would that mean that I could extend my family room out? Because it would be closer to the street because this now breaks the --

ACTING CHAIRMAN GEISEL: The variance that they are seeking, you can see where they're at, this is at a 10-foot mark here. According to the measurements that were taken, it should have been a 13. So, it's a difference of three feet.

MS. SEXTON: Okay, even something this size, this is not like a little shed or a little storage shed.

ACTING CHAIRMAN GEISEL: I don't disagree, don't disagree. What I'm trying to just simply convey is what the specific variances that they're asking for, what they are. I don't, I get that, too, and I understand their circumstances. But I just want to make sure that we're not trying to make this worse than it is.

MS. SEXTON: I know.

ACTING CHAIRMAN GEISEL: But just, you know, what they're asking for.

MS. SEXTON: Well, yes.

ACTING CHAIRMAN GEISEL: Okay, all right.

MS. SEXTON: Okay, thank you.

MR. DRAKE: How many residents are in the building right now?

MS. HUSHAW: It's 110.

MR. DRAKE: Is that max or what would it be at max?

MS. HUSHAW: Yes.

MR. DRAKE: 110.

MR. WEBER: Actually there aren't that --

MS. HUSHAW: What we did was, a majority of the tenants stayed, we just probably had about 15 tenants move out and everybody else stayed. Now we just have to fill back up that 15.

MR. DRAKE: So, you're around 100 right now?

MS. HUSHAW: Yes, we have a few left that are going to be completed before the end of this month, and some that's going to be completed in November. But majority of them, everything has to be done before November.

MR. DIVITO: Have you looked at the idea of actually turning it sideways and actually putting it longways along Wing Street, not having to then come into the setback at all? Based off the drawings I'm seeing, if you just turn it good, it should be able to fit, it's within your property, have less sight line from the neighbor's family room and still be able to fit it within all setbacks.

MR. WEBER: We did not look at that at this point. One of the issues with that would have been that the, because the site grades down towards Wing Street, that the foundation at that, and again it's something you can screen if you rotate it, but the foundation wall will be up fairly high because you have to build a platform basically to put it there. That would be probably a difference of about two feet I think. But in honesty, we did not look at rotating that. At this point, it would be difficult. As I said before, everything is possible, but it would be difficult at this point.

MR. DIVITO: I'm just trying to find, I mean the slab is poured.

MR. WEBER: Right.

MR. DIVITO: And the equipment is located there, I understand that. But that would be all the way down in there. I'm not asking to completely remove it and move it to a different spot because of the trenching cost, the additional cabling and all. I'm just trying to find a reasonable alternative that we're still allowed a decent investment preservation in this.

MR. WEBER: Yes, I'm not sure, and obviously like I said anything could be. But also fairly, because of the nature of the foundation, it's fairly expensive to do. I'm not sure that's going to increase the views substantially. In fact, if you look at the location of the family, if that's the goal, because if you look at the location of the family room, you're looking out, you can be looking out at a fairly long thing than as opposed to where you still might have views out this way and this way. If this is rotated like that, then you're going to be looking into the long side of that I think if that's the concern.

MR. DIVITO: You make a point there, but at least it pulls that corner back in terms of a view corridor, you know, from the street.

MR. WEBER: Yes.

MR. DIVITO: For them when they exit their driveway.

MR. WEBER: Right.

MS. SEXTON: Could I ask a question? How far does it have to be from the building? Or can it be right adjacent to the building?

MR. WEBER: Because it's, so with this sort of generator, a natural gas generator, it can be within 10 feet of the building I believe.

MS. SEXTON: It has to be at least 10 feet away from the building?

MR. WEBER: I believe so. I'm not absolutely sure of that. I know with diesel it has to be much farther away, but I think with this I think it has to be 10 feet.

MS. SEXTON: Having it oblong instead of right out there would be a much better option.

MR. DIVITO: If you're going to continue, if you can just please come up.

MS. SEXTON: Oh, sure, I'm sorry.

ACTING CHAIRMAN GEISEL: Yes, please come up. Well, the other would be again more concrete work but sliding it back or sliding it north.

MR. WEBER: Yes, we would still need a variance for the size of the extra 46 square feet.

ACTING CHAIRMAN GEISEL: Understood, understood.

MR. WEBER: Right, right.

MR. DIVITO: Another comment.

ACTING CHAIRMAN GEISEL: Yes, please come up. Your name and address please?

MS. CHANG: Insook Chang, 355 West Miner Street, Unit 4A.

(Witness sworn.)

MS. CHANG: So, I live right next to the thing, so I hear a lot of noises with their construction that's going on and everything. I actually work from home two days a week and it's impossible because I use a lot of phone calls that I have to use. When I have phone calls, obviously I hear the construction noises.

So, noise has actually become a big issue for my side of the building because my bedroom is actually facing that particular building. So, I'm really sensitive to these noises because we're right next to the building and I think this gentleman mentioned that that building has some type of relationship with other building boards or something, but that's not true because my neighbor Toni Rubino is a board member of 355 West Miner Street. But we never knew about the construction or even this before. This is the first time we heard about this generator.

Also, the construction, we heard some rumors, there was no official mail or anything sent to the board because our board is very good with sharing the information with the people who live in the building. But we never actually heard about it officially, so actually that was actually a real disappointment because it's like two or three days of construction, it's being going on I think July, until end of December, so it's like half of the year. So, summer is gone, it's autumn and we've been having a hard time in our building.

My actual question is, is there a way to actually measure the noises between the existing generator and what it's going to be like in the future? I think the gentleman mentioned about, you know, putting like bushes around and things were helpful.

ACTING CHAIRMAN GEISEL: That's more or less, I would say your concerns are construction related, and our Board --

MS. CHANG: No, I'm talking of the generator.

ACTING CHAIRMAN GEISEL: No, no, our Board --

MS. CHANG: I was talking about the generator.

ACTING CHAIRMAN GEISEL: But our Board is, the only two issues that we're really considering here are the setback and the size of the unit.

MS. CHANG: Yes, but my issue is the noises from the generator.

ACTING CHAIRMAN GEISEL: I understand, but that's not what our Board is necessarily, those aren't the issues that they're asking for in terms of a variance.

MS. CHANG: So, we cannot talk about the noises of the generator?

ACTING CHAIRMAN GEISEL: Well, that is a legitimate concern, I'm just not sure that our Board is the right forum for that question. It's zoning.

MR. DIVITO: It won't have any impact on the conversation.

MS. CHANG: The conversation?

MR. DIVITO: Yes. So, your concerns can be brought up to the Village, but our Board --

MS. CHANG: So, how should I bring this up then? The noises from the generator, if there is a way to measure between the old generator and what's going to be in the future?

MR. DIVITO: So, I guess the point of the old and new is irrelevant I guess to some point because we're talking about --

MS. CHANG: The zoning?

MR. DIVITO: Just the zoning of this.

MS. CHANG: Yes, okay.

ACTING CHAIRMAN GEISEL: I don't mean to not want to consider your question, but that question isn't one that we have jurisdiction over if you will. What he's testifying is that this new unit will be quieter than the diesel unit that's in the building.

MS. CHANG: But because the noises are like an issue in this neighborhood in Arlington Heights, so I think legitimately I wanted to bring it up because that's part of this whole thing, this generator. If the noises will be less or worse, I just wanted to know.

ACTING CHAIRMAN GEISEL: Well, they are testifying that it will be quieter than the existing.

MS. CHANG: Like how, do you know how quieter it will be? Is there a measurement you can present?

MR. WEBER: I don't.

MR. DIVITO: Do you have the technical specs of the --

MR. WEBER: I do have the technical specs from the generator. It's at 70 DB, but that's if the generator, like standing next to it. It's not at the property line and it doesn't have the masonry wall around it when you do that. The masonry wall, it's not the bushes which can help a little bit but not really very much frankly, it's the masonry that will deaden the sound.

MS. CHANG: So, 70 DB is the new generator, right? What's the old generator?

MR. WEBER: I don't know. I know that old diesel generators are louder than that, probably 80 plus. It's not a linear progression, it's sort of a geometric progression when you measure decibels. So, as you get higher on the scale, you get louder on that. If you're one decibel to three decibels, it's a relatively small move, but as you go up higher, it actually increases fairly substantially more quickly.

MS. CHANG: But technically, you're sure that the noises will be less than the old generator?

MR. WEBER: We can measure the existing next time and verify.

MS. CHANG: Can I make a suggestion?

MR. WEBER: Sure.

MS. CHANG: Maybe you should share that with the neighbors, because we've been really stressed out with the whole construction and this new generator. We are really sensitive right now.

MR. WEBER: Yes, sure.

MS. CHANG: So, maybe I think you should consider sharing your information with the neighbor buildings.

MR. WEBER: Okay, it's good to know.

MS. CHANG: Thank you, that's all.

ACTING CHAIRMAN GEISEL: Any other comments?

MR. DIVITO: Or any other questions.

ACTING CHAIRMAN GEISEL: Or questions. David, I think, you know, your suggestion --

MR. DIVITO: Do you want to close it down to Board review?

ACTING CHAIRMAN GEISEL: Yes, please.

MR. DIVITO: Okay.

ACTING CHAIRMAN GEISEL: Okay, your suggestion I think bears merit. I know it's an additional work now, but concrete, some foundation work, in the scheme of things that's fairly minimal while we're still doing work.

MR. DIVITO: That's kind of my point. I mean the idea that it doesn't seem like there were multiple sites decided amongst, we picked one and just went with it, poured the foundation and everything. So, a lot of those costs could have been avoided by just maybe looking at a few different alternatives, looking at the lines. You know, your point of pushing it back I think makes sense. I think turning it would make another.

Now, as far as the one variance request about the size of the building, I mean it's a generator, we have to cover it up. I think they're doing a very good job of trying to screen it and make it, I mean Wing Street is a busy street. We want to make it look as pretty as possible. Matching the brick and then shrubbery, those are all good things. So, I have much less of a hard time with the structure itself, just the location of it and if it can actually fit in the property without maybe affecting the setbacks at all.

ACTING CHAIRMAN GEISEL: That along with the screening on that of their property. You testified, forgive me if I could have you come back up, that the fence along this side is in disrepair? Is that --

MS. SEXTON: Yes, it's been falling over for, ever since I guess. Actually, yes, it's from here to here. You know, we have a deck out here. We spend our summers sitting out here. This generator is just, the old generator has just been incredibly loud. Yes, this has been propped up by two by fours for several years, and that's their fence.

ACTING CHAIRMAN GEISEL: I guess one of the questions at least for consideration was whether or not an extension of that fence line would have any additional impact in terms of screening.

MS. SEXTON: Can I sit down then?

ACTING CHAIRMAN GEISEL: Yes, thank you.

MS. SEXTON: Thank you.

ACTING CHAIRMAN GEISEL: The equipment is clearly necessary to

operate the building from a life safety standpoint. So, in that regard, it's necessary. Keeping in mind as well that the permit, that the variance that they are asking us for is a difference of three feet from the property line. Clearly, we all wish that there would have been an opportunity to have looked at this ahead of time and had more input prior to the physical construction.

At this point, it's more or less a matter of making the best of the circumstances. So, what I'm trying to filter through some of your comments so we as the Board might be able to make this a little bit more palatable given the fact that they do effectively have the right to put it there, the question is simply whether it's three feet forward or three feet backward. So, that's where I'm trying to gauge what would be of reasonable assistance to you under those circumstances.

MR. SCHWINGBECK: This size generator here, and Joe, correct me if I'm wrong, but it doesn't matter whether they turn it sideways, even if they flip this 90 degrees, they would need a variance?

MR. MACH: For the footprint.

MR. SCHWINGBECK: Yes.

MR. MACH: The 346 square feet, correct.

MR. SCHWINGBECK: Yes. I mean I just look at this, yes, when I look at this generator here and I drive by, you're talking about an enormous wall. I mean this is a 10-foot wall going round this thing right on Wing Street, and I'm looking at the next-door neighbor and I'm saying this generator I think when you're addressing the one issue about the character of the neighborhood, it's not only affecting the home, it's sitting right in the backyard of their own building. With the old generator being inside the property, it's the residents of this house that had to live with that and live with the noise which was contained and it was loud. Now it's outside, you could drive down the street and I think it does take away from the character of the neighborhood.

This is the type of generator you've got in an industrial park with major industry, a big building like this. Now, we've got residents that I'm concerned about sitting right next to our, we hear these little gas generators everyday in our neighborhood that are just hooked up for homes, they come on as you said once a week. They're loud for about 15 minutes. When they kick on during a storm, they're on for hours and hours on end. Even those little home generators are loud.

Now we're looking at a big industrial generator right next to somebody's property. I think not only does it take away from the property but I think somebody is going to really have a hard time wanting to buy that house in the future with that structure sitting right in their front lawn.

This isn't in a backyard. It's not in a parking lot. I understand there is an expense to moving it somewhere else. But I just look at the location that was picked. It's easy to put it there without a lot of thought for the house right next door.

When you're a business like this, sometimes that expense has to be laid out there to not affect a home right next door. That's what I got, I've got to be concerned about that.

ACTING CHAIRMAN GEISEL: Don't disagree, but the testimony was with the existing diesel, and I'm not, again not a proponent, because obviously that it's as loud or louder in the approximate same location.

MR. SCHWINGBECK: Is what they say.

ACTING CHAIRMAN GEISEL: Because it's interior --

MR. SCHWINGBECK: Inside the building, the one now.

ACTING CHAIRMAN GEISEL: Well, it's vented directly to the exterior.

MR. SCHWINGBECK: Right, right.

MR. DIVITO: So, I'm thinking it sounds like we're I think coming to an agreement that the location is an issue.

MR. SCHWINGBECK: Right.

MR. DIVITO: So, the variance for the setback I think is a negative?

MR. SCHWINGBECK: Well, the setback, the size and why at their expense it couldn't have been moved to an area of the property that wouldn't affect the homes.

MR. DIVITO: Okay.

MR. DRAKE: When I drove by, I've been over to look at the property around I guess 5:30, so really it's fresh in my mind, and when I drove up Wing Street, exclusive of the landscaping, the fencing, the wall, the other things you've been talking about, and I stopped and I looked at the generator. It really knocks you, in my opinion. I think it is intrusive. I think it truly detracts from the character of the neighborhood, the residents that are there.

These other issues about noise, as the Chairman said, you know, those are secondary issues to us. They're certainly things that affect everybody, affect the community. So, I'm stuck with where we're at right now in terms of feeling like I can support this. I need to hear some more creative solutions.

I like your suggestion, but I don't think that's really, it's a solution, it's not optimum. It's a good shot, it's a good try.

ACTING CHAIRMAN GEISEL: What were you suggesting an alternate would have been, on the north side?

MR. DIVITO: The parking lot and northeast side. Those are two ones immediately that I --

MS. CHANG: That's a building right next to me.

MS. SEXTON: That's our building.

MR. SCHWINGBECK: No, no, no.

MS. RUBINO: The other side?

MR. SCHWINGBECK: The other side, the northeast side.

MS. RUBINO: Where there's a business on the corner that looks like a house.

MR. SCHWINGBECK: Right.

MS. RUBINO: Perfect location.

ACTING CHAIRMAN GEISEL: Although it is adjacent to, I'm not sure what's in 205, is that another --

MR. DIVITO: Looks like another condominium.

ACTING CHAIRMAN GEISEL: Another residential?

AUDIENCE MEMBER: No.

ACTING CHAIRMAN GEISEL: Pardon?

AUDIENCE MEMBER: We're the first residents in --

MR. DIVITO: No, no, 205 Miner must be an apartment complex.

MS. RUBINO: Yes.

ACTING CHAIRMAN GEISEL: So, kind of kitty corner northeast of you, on

the other side, so actually on Miner. Because the building does a jog, so there's actually room on that potentially there as well. However, it's not adjacent to their switchgear, they would have to pipe it to the existing electrical room.

MR. SCHWINGBECK: There's other buildings in Downtown Arlington Heights than this neighborhood here that have generators. Because when the Village loses power, restaurants have lights, those generators are tucked away somewhere where you can't see them. I know it's an expense and probably a big one, but as I mentioned earlier you've got an entire roof. It might very well be a big expense to reinforce the room but you're up out of the way, or somewhere else on the property where, you know, you folks have to listen to the noise instead of a single family home right next door.

MS. HUSHAW: But they are going to still listen to it regardless of where you put it. Somebody is going to complain at any end.

MR. DIVITO: We can't have a dialogue from afar. It's either bring it up if we're going to continue dialogue for recording's sake, he needs people to be up in front.

MR. WEBER: Can we both come up then? Because I have a --

ACTING CHAIRMAN GEISEL: Sure.

MR. DRAKE: I'd like to make a comment. I think one of the, unfortunately one of the risks to the Petitioner tonight is because of the size of the Board needing all four votes for this to get through. If you don't get all four votes, you're back to the drawing board anyway and you're probably back to more expense and some kind of a plan B or C anyway. So, I'm kind of hoping that there is some win-win solution here that you can leave with tonight. It's better than getting, you know, three out of four votes or two out of four and then being no further ahead than you were.

MS. HUSHAW: I mean I understand that and I understand what you're saying. But if you look at it, anywhere we put, it's going to be impeding on someone there because you have people all around.

MR. SCHWINGBECK: From a noise standpoint.

MS. HUSHAW: Right.

MR. SCHWINGBECK: Right.

MS. HUSHAW: From a noise standpoint. So, if you're talking about trying to get rid of the noise, that's not going to happen because there's going to be some noise, there's going to be less than the noise that's there.

MR. SCHWINGBECK: I understand, I understand that.

MR. DIVITO: I think I'm less concerned with the noise factors than I am the physical obstruction that it's going to be on Wing Street.

MR. SCHWINGBECK: Right.

MR. DIVITO: Because I mean Wing Street is in the heart of our downtown area.

MR. WEBER: I think, honestly, that for us to move it to another location, 300 feet away, 400 feet away, is going to be so deleterious cost-wise that it won't happen. So, the alternative for us would be, because we're investing $8 million, I'm sorry, my client is investing $8 million in this project. To add another $500,000-$600,000 to trench that, relocate it and everything else is probably not going to happen. What we'd be looking at I think alternatively is for some sort of compliance without the variance. In my mind, what that is, is that we would extend the pad to the back another five feet. When you push the unit to the back five feet and then instead of making it, and this will sound silly but I haven't

looked at the numbers of doing this, but instead of making it a double-width brick wall, two widths of brick, we could go one, and that's going to give us an extra almost six inches all around it which is going to come very close to the 46 square feet that we need that way.

The other alternative to that is to provide, instead of the five feet on the back end of it and making a masonry wall, if we put that whole back end as a gate that can be opened up, then we can push the unit back that three feet and pick up that three feet that way, which is going to give us the variance, or it's going to negate the requirement for a variance.

Those are, that's just what's occurring to me now. But to add, at this point in the project, and I understand that it didn't go as it should have gone, but not because of anything on our behalf, we met with the Village early on, we went through the entire permitting process and met with them several times, so it wasn't that we didn't do our due diligence. But to change this now would extend the project date which has consequences. It's a life safety issue which is another thing, and it's tremendously expensive to locate it over here and route everything this way and back in.

So, because of those things, we would do whatever we need to do to make it compliant without the variance I guess is what I'm saying and suggesting. I'm trying to be, it's not like we're willing to not entertain other ideas of rotation or pushing it back or doing whatever. But I don't know that realistically there is a budget, because it's not like we can go to the bank and say, hey, can you give us another half million dollars for this, right? That's not a possibility. Because of that, we'll have to do what we can do with the least expense I guess.

Rotating it, I wrote on the back of my notes here, rotating it I'm guessing is probably about a $40,000 pad because these foundations are substantial, the pad is substantial and all that stuff. So, it's not without cost really this way. We're trying to be good citizens.

MR. SCHWINGBECK: Yes, it's unfortunate it got this far, and $40,000 is not a little bit of money.

MR. WEBER: Right. No, I understand.

MR. SCHWINGBECK: But having it where it's at, you're looking at a single family home, I don't know who would want to buy a house there, with all this going on.

MR. WEBER: I understand.

MR. SCHWINGBECK: So, it could be a lot more money for that neighborhood.

MR. WEBER: I think actually once the construction is done, once the plantings are in and the wall is up, it will actually sort of disappear. I mean it won't disappear like you were talking about disappearing, but right now you're looking at an industrial size piece of equipment. That's not what you're going to be looking at in two or three years. You're going to be looking at an ivy wall or a fully planted wall, brick wall, and it just isn't going to look as bad as it does right now I think.

In terms of the fences falling over, by the way we are replacing that as a part of this work. I know that's not really the issue but that's something that came up so I wanted to let you know.

ACTING CHAIRMAN GEISEL: So, your alternatives that you've indicated, you have to do some cost savings to achieve it, but obviously you could value engineer this sufficiently to --

MR. WEBER: I think so, I think so. I don't know that it's a better solution for anybody, but I think that we probably can do that, yes.

ACTING CHAIRMAN GEISEL: The ultimate result is that it's effectively in the same place, a couple of feet over?

MR. WEBER: A couple of feet back with, instead of a masonry back wall, a gated back wall.

MS. SEXTON: So, what would that do to the sound? You had said that masonry --

MR. WEBER: Yes, so what we'd probably do to mitigate any sort of sound on that is on the back side of the gate, we can put some sound insulation panels or pad blankets, the gate being, you know, the gate closest to the building. What I've envisioned, again I mean I have to talk to my engineers, I'm an architect not an electrical engineer, but I'm guessing that that's what would be done, and then to help the sound we would do something like that. I don't think the sound blankets are as effective as masonry frankly. But they do do one thing, they stop reverberation; but in terms of just keeping the sound in, essentially mass is what you want.

ACTING CHAIRMAN GEISEL: So, part of your immediate consideration, was it moving it north or rotating it?

MR. WEBER: My thought is if we're looking at just trying to avoid a zoning issue, that we would just push it back, we would extend, actually we might not even need to extend at the back end, given what I said about the gating, we just have to put in the gates there and would just push the unit back.

ACTING CHAIRMAN GEISEL: Slide it back?

MR. WEBER: Yes.

MR. SCHWINGBECK: To the --

MR. WEBER: To the desired length. Then if we shorten it on the back side, we'll probably pick up what we need for that 46 feet. I mean it's only, you need three feet there, and if we pull it in a little on the sides, I'm sure we can pick that up.

ACTING CHAIRMAN GEISEL: So, you'd basically have a little bit of existing pad out in front.

MR. WEBER: Yes, or we cut that back, you know, that's not, you know.

MR. DRAKE: So, if they would not be seeking the variance procedurally, are they in effect withdrawing the petition? Is that, from a parliamentary standpoint, is that what we'd be facing?

MR. MACH: The Zoning Board should take action on two, the variance requested for --

MR. DIVITO: Right. So, and the considerations you were doing, talking about the two layers of brick --

MR. WEBER: Brick, yes.

MR. DIVITO: I think that's a value add because there is some dampening, sound dampening qualities that are going to come out of that. So, that's why I'm still kind of okay with the size of the structure, it's just the location of it that I'm still struggling with.

MR. SCHWINGBECK: Right.

MR. DIVITO: So, you're full within your rights to actually do what you were talking about with the relocation of the gates and everything like that. So, at that point, we would be acting on both variances.

MR. SCHWINGBECK: Well, if they pull it back, that mitigates the setback issue.

MR. DIVITO: The requirement there.

MR. SCHWINGBECK: They still have the size of the unit.

MR. DIVITO: We would still take action on it during our vote on it, and then they would have the ability to address that.

MR. SCHWINGBECK: Yes, I struggle with you. This is really detracting from the neighborhood and that's a --

MR. DIVITO: Yes. But again, if they were to pull it back within the setback, then it's a moot point.

ACTING CHAIRMAN GEISEL: The three feet, and size down the unit, then neither of the two variances they're asking for are required and they're permitted to proceed.

MR. SCHWINGBECK: Right.

MR. DIVITO: So, I'd rather try and make the neighbors, you know, give them something out of this by giving them the actual dampening.

MR. SCHWINGBECK: Right.

MR. DIVITO: Then you know, the setback itself, you know, still try to preserve some of the sight lines on that street.

MR. SCHWINGBECK: Right.

MR. DRAKE: I have a question for Derek. The Staff comments were no objections and no comments. Is there any reason why they didn't flag any of these things? Or is that not their charge or responsibility? I mean I looked at what the Staff says on these comments as well to help guide me in my thinking.

MR. DIVITO: Sure, but that's from an engineering standpoint.

MR. MACH: Yes, engineering. We didn't anticipate any comments unless it was drainage related.

MR. DRAKE: Okay.

MR. DIVITO: So, is there any other discussion point or do we want to, sorry, I'm about to take your spot.

ACTING CHAIRMAN GEISEL: No, we're --

MS. SEXTON: So, could I ask another question? So, you're deciding as though if you don't approve of this, then he can just go ahead, you can just go ahead and set it back 2.9 feet, keeping the same oblong structure and just setting it back and then making the actual enclosed structure less dampening? That's if it's not approved? Is that --

MR. WEBER: Well, so I prefer the second layer of brick anyway, I mean that it's a better structure that way. So, the first thing we would do is look at opening out the back end so that we can pull those walls, at the back end, the north end of it, so we can pull those walls in and see if we can get enough room that way. That would be my preference is to look at that.

MS. SEXTON: Okay, but not turning it oblong, not turning it so the long end goes against the side of the Goedke House?

MR. WEBER: So, the issue with that is going to be, I think if you look at the drawings there, besides the added expense of the new foundation slab --

MS. SEXTON: Right, you said $40,000 or so.

MR. WEBER: Roughly. That's just again, that's just, you know --

MS. SEXTON: That's the number that you pulled but --

MR. WEBER: Right. But there's also going to be an issue with the patio. You're going to run into the patio. So, we'd have to --

MS. SEXTON: How?

MR. WEBER: We'd have to pull out.

MS. SEXTON: So, it would be here. It would be here instead of, it would be here?

MR. WEBER: So, we'd put it over here, right. So, you're going to, right.

MS. SEXTON: So, how would that really affect the, maybe it's just a small part of it but at least you could, you know, have it over here. It wouldn't be sticking out this way. I don't know how far would it, how far would the edge of this go? How far would that go?

MR. WEBER: What I'm talking about or what I'm suggesting --

MS. SEXTON: If you turned it and going this way?

MR. DIVITO: Should we rein this in? Because this is solution crafting. If we were to deny it, then it goes into solution crafting, not within our jurisdiction as the Board.

MS. SEXTON: Okay.

MR. DIVITO: I think that's a great dialogue that you guys are having, and I hope that you continue that to work as neighbors. But as far as this Board, it's not going to help us to get to a decision. So, I don't mean to cut you off.

MS. SEXTON: Well, you had mentioned that.

ACTING CHAIRMAN GEISEL: No, but I think you asked a legitimate question to the extent that if it's lodged back, just understanding what the result is.

MR. DIVITO: For us, I'm struggling to see like he would not even have to present that.

ACTING CHAIRMAN GEISEL: True, true. Simple question on her part.

MS. SEXTON: I mean my concern is if they hadn't, you hadn't been concerned about our property to begin with, you know, how is this going to change?

MR. WEBER: It won't change substantially from the design that's there. But I don't know that I would say we weren't concerned; the idea again was to push it so that it was far away from your property as possible. That's why we moved it farther.

MS. SEXTON: But you're obstructing my view. That was, you know, you're putting it right in front of my family room. I sit right there and I look over there and I can't see the courtyard. I can just see this big old ugly still generator.

MR. DRAKE: I have a comment if it can help. I think any time somebody in the neighborhood pours $8 million into the neighborhood, I think that's good for the neighborhood. We've had one resident after another coming here wanting to spend money to enhance their property. You know, time and time again we felt that was good for the community, and I do feel what you're doing is good for the community, an upgraded building, better generator, more safety for the residents, trying to make a structure look like it fits with the neighborhood as well as you can. I give you credit for it and it's public money, and I think you're trying to be good stewards of that.

MR. WEBER: Thank you.

ACTING CHAIRMAN GEISEL: All right. Is there any other comment? Thank you. Does anybody want to make a motion?

MR. DIVITO: This is a tough one for sure. So, I think where my head is that I am, forgive me but the first motion was for the setback, the second one was the size of the structure. So, I motion to approve the size of the structure, I motion to deny the setback.

ACTING CHAIRMAN GEISEL: I would support that to be honest under the circumstances.

MR. MACH: Acting Chairman --

MR. DRAKE: Yes, I'll second the motion. The Chairman should --

ACTING CHAIRMAN GEISEL: Right. I said support.

MR. SCHWINGBECK: So, the motion is to deny the setback, make them move it totally in compliance.

MR. DIVITO: Come up with a new solution, and it sounds like the logical one is to set it back farther but there could be additional conversation to it. So, as far as tonight's concern is, not having it extended.

MR. SCHWINGBECK: But approving the size.

MR. DIVITO: Just for the simple fact of just adding some additional sound dampening.

MR. DRAKE: We should vote, I've already seconded.

ACTING CHAIRMAN GEISEL: Okay.

MR. MACH: Mr. Divito.

MR. DIVITO: Yes.

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Schwingbeck.

MR. SCHWINGBECK: Yes.

MR. MACH: Acting Chairman Geisel.

ACTING CHAIRMAN GEISEL: Yes. Thank you. This is never easy.

MR. WEBER: Thanks.

(Whereupon, at 8:21 p.m., the public hearing on the above-mentioned petition was adjourned.)

ZONING BOARD OF APPEALS
VILLAGE OF ARLINGTON HEIGHTS

FINDINGS
October 10, 2016

PETITIONER: Goedke House

ADDRESS OF PROPERTY: 215 W. Miner St.

VARIATION: 6.6-5.1, 6.5-7

A 2.9' variance to allow a generator unit with a rear yard setback of 10.3' from the south property line instead of the minimum required 13.2'; A 46 square foot variance to allow an accessory structure to be 346 square feet instead of the maximum allowed 300 square feet.

The petitioner explained that as part of a major renovation they are upgrading the generator to meet current needs. The petitioner explained that as part of the overall facility renovation project for 215 W. Miner Street, a building permit was submitted along with plans for a new generator. The petitioner explained that the generator portion of the permit was approved and at a later date they were informed that the permit was issued in error by staff. The petitioner explained that because the permit was approved, the concrete pad and the generator have been installed. The petitioner testified that the screen walls have not been installed.

Per Chapter 28, Section 6.6-5.1 Table of Permitted Obstructions, generators are required to be set back a minimum distance of 10% of the lot width from the rear (south) property line. The lot width is 132 feet; therefore, a 13.2 foot minimum setback is required. The generator setback is 10.3 feet, which does not comply with code. The petitioner explained that they are seeking a variation to allow a 10.3 foot generator setback, where 13.2 feet is required. In addition, pursuant to Chapter 28, Section 6.5-7.b, the maximum size for the generator enclosure is 300 square feet. The petitioner explained that the size of the generator enclosure is 345.6 square feet, which does not comply with code.

The petitioner testified that the additional 46 square feet will allow for thicker walls and help mitigate noise emitted from the generator. The neighbor to the west spoke in opposition of the generator. The neighbor explained that it impedes her sight lines and that the generator is very loud.

The Zoning Board agreed that they are in support of the additional 46 square feet since it will help mitigate the noise and that they do not support the setback variance.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance for an additional 46 square feet for an accessory structure, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioner is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. The Zoning Board of Appeals did not find that the petitioner established the necessary elements for granting the setback variance. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Divito and seconded by Mr. Drake. Thereafter, the Board voted 4-0 to <u>APPROVE</u> the variance request for a 46 square foot variance to allow an accessory structure to be 346 square feet instead of the maximum allowed 300 square feet, and <u>DENY</u> the variance request for a 2.9' variance to allow a generator unit with a rear yard setback of 10.3' from the south property line instead of the minimum required 13.2'.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 4-0 to grant the 46 square foot variance as requested, and to deny the 2.9' setback variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

You are hereby notified that this ruling is subject to appeal to the Circuit Court of Cook County, under the Administrative Review Law. Such appeal must be filed within thirty-five (35) days of the date of receipt of this decision.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Joseph Geisel, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights

Item: 1409 E. Eastman St. - 10/10/16

Department: Planning & Community Development

Approval of Minutes & Findings from 10/10/16 hearing.

ATTACHMENTS:

Description	**Type**
Minutes 10/10/16 - Stukenberg	Minutes
Findings 10/10/16 - Stukenberg	Minutes

DRAFT

ZONING BOARD
_____
_____
_____

OF APPEALS

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

RE: STUKENBERG RESIDENCE - 1409 EAST EASTMAN STREET

REPORT OF PROCEEDINGS had before the Village of Arlington Heights Zoning Board of Appeals taken at the Arlington Heights Village Hall, 33 South Arlington Heights Road, 1st Floor Beuchner Room, Arlington Heights, Illinois on the 10th day of October, 2016 at the hour of 8:21 p.m.

MEMBERS PRESENT:

JOSEPH GEISEL, Acting Chairman
TOM DRAKE
TOM SCHWINGBECK
DAVID DIVITO

ALSO PRESENT:

DEREK MACH, Village Planner

ACTING CHAIRMAN GEISEL: The next matter up is Stukenberg Residence. You getting signed in?

MR. BUDZIK: Yes.

ACTING CHAIRMAN GEISEL: All right, your name and address please?

MR. BUDZIK: Thom Budzik, 211 South Maple Lane, Prospect Heights.

(Witness sworn.)

ACTING CHAIRMAN GEISEL: Please proceed.

MR. BUDZIK: Good evening, Board members. As I stated, my name is Thom Budzik. This is normally where I'd introduce the homeowners of my project. They unfortunately had a pre-scheduled family vacation, so they were not able to be here today. But I will be presenting on their behalf.

They have included a letter stating their motivations for the variance. That should be included in the packet. I think Derek was able to get that out to you.

We're here today to seek a variance to reduce the side yard setback from seven feet to 4.6 feet in order to build a side addition for an existing single family home. I just wanted to go through a brief description of the project and then touch on the criteria for the variance.

So, Matt and Maureen Stukenberg, the homeowners, purchased the home in 2012. Over four years, they've made various improvements to the home, both exterior and interior. With the addition of another child, they're looking to expand their home and be able to try and stay in a community that they've come to love.

So, they came to us with a few different items that they wanted to achieve with their home addition. First and foremost was of course another bedroom, in this case a master suite. They wanted some additional living space for their home and they wanted to also address one of the nagging issues with their current home which is to have an attached garage as opposed to their current detached garage.

We looked at a variety of solutions. The homeowners first asked us to see if there is some way that they can actually attach the existing detached garage to their home and potentially put up the second floor addition. We advised them against that for a variety of reasons, including some structural concerns with the existing garage.

We also looked at potentially doing an addition that was basically entirely above the existing footprint of the home. We found that those were very invasive to the existing home on which they've already spent substantial money in remodeling. But at the same time, it would kind of take away from the character of the home. Oddly enough, they do actually like the split level, they do actually like some of the character of it and they tried to enhance it as much as possible with their renovations so far.

So, our solution is essentially to have a two-car detached, a two-car, I'm sorry, attached garage on the side of the house with the entrance actually in between the garage and the existing home. The master suite is situated above it, the garage addition and then the additional family space, the family room, living room and office spaces are off to the back. Part of the motivation to kind of put that entrance in between the garage and the house was to also make for a more functional floor plan. If you've ever been to these homes, you'll note that the front part of the house is very awkwardly shaped. You kind of come in and the space is very poorly defined. By moving the entrance to the middle of the house, it actually allows us to turn that front space into just kind of one formal dining room space as opposed to this kind of mish-mash of spaces.

With regards to the variance, we've basically tried to minimize the impact on that side yard addition as much as possible. We basically have enough room for that front entrance. I believe it's, excuse me, I believe it's four feet wide and 21 feet for the

interior garage width. It's sufficient for two family cars. It's only the garage that actually sticks into the side yard setback. We've pushed the office which is behind the garage so that it complies with the side yard setback, and we've also pushed the master suite addition so it complies with the side yard setback. In addition to complying with the setback, I think it provides for some aesthetic advantages to the home as well.

So, that's basically how we've come to this solution. A couple of other items, the existing detached garage is legal nonconforming. It actually encroaches farther into the side yard setback. It's three-foot seven inches into the side yard setback as opposed to we're only going in two-foot five inches, and it's also much deeper so actually the total encroachment is significantly more than what we're proposing.

I do also have letters from the neighbors, specifically the neighbor to the west, the one that would be impacted by this. That's basically a letter stating that they're in support of the variance as well.

In terms of the specific criteria, without granting the variance, it would not be able to accommodate their goal of having a more efficient floor plan, minimizing the impact to the existing home, and getting the two-car garage they feel they need to stay in this community. The unique circumstances are really a situation of the existing home. They obviously had no say on how it's situated or in the construction of the original detached garage. In terms of matching the character of the locality, they've gone to great lengths to try to do things to the home that preserves the aesthetic of the home, trying not to transform a split level into something that it really shouldn't be. We're trying to build on that with the addition, come up with a solution that actually builds on the aesthetic of the existing home.

So, with that, I'd be happy to answer any questions.

ACTING CHAIRMAN GEISEL: Quite frankly, I didn't have a lot of questions here with the variance that you're asking for, given that it's an actual reduction of the existing.

MR. DIVITO: Wish we had more of those.

ACTING CHAIRMAN GEISEL: Less would be more, yes.

MR. DIVITO: Yes, I, too, I looked through this and it looks fine. It looks very reasonable and a very nicely put request.

MR. DRAKE: I would agree, and I think that when it's done it will be the nicest home in that block.

MR. BUDZIK: I hope so.

MR. DRAKE: I really spent some time looking at the other houses as well as the plans and the footprint, and I like what you're doing. I'm in favor.

MR. SCHWINGBECK: Can I just ask about the comment?

MR. MACH: Sure, okay.

MR. SCHWINGBECK: By Charlie. He has indicated in here that the garage size is not code compliant?

MR. MACH: That, well, yes, I mean it must be code compliant. I'm not sure if that's going to impact the side yard variation request, but it must meet building codes --

MR. SCHWINGBECK: He was saying here the garage size is not code compliant, 21-foot four inches minimum depth required. Garage home wall must be five feet from property line unless fire rated.

MR. MACH: I think that was the depth where it would impact the side yard setback, that it must meet the depth required dimension.

MR. SCHWINGBECK: Right.

MR. BUDZIK: I'm sorry, I didn't get those comments. What were those?

MR. MACH: You should have received those. They're, I'll get you a copy though.

ACTING CHAIRMAN GEISEL: You're welcome to mine.

MR. SCHWINGBECK: So, I wasn't sure if he was talking about with the way you designed the new garage, that it's not code compliant to 21 feet four inches depth. I'm assuming they want him to go farther back into the property, not on the side yard setback but farther back?

MR. MACH: Correct, that's my understanding.

MR. BUDZIK: Okay, yes. So, our current garage depth is 21 feet. If we were to comply with the 21-foot four, I would ask that we would basically extend the garage back four more inches to accommodate that. In terms of fire proofing that wall, fire rating that wall, that's fine. That's not an issue.

MR. SCHWINGBECK: But I don't think this would affect the side yard setback. I think that the way you're designing it was still --

MR. BUDZIK: Well, I think the five-foot requirement, basically they're going to want us to put exterior gyp sheathing on that side.

MR. SCHWINGBECK: Right.

MR. BUDZIK: Which is fine, we can do it.

MR. MACH: So, the garage is meeting the minimum width per building code?

MR. BUDZIK: We would just have to adjust and instead of the garage being 22-foot five inches, it will end up being 22-foot nine inches to get that four extra. We're at 21 feet right now, so we'll just have to expand that out an extra four inches.

MR. MACH: Okay, but it won't impact the variation request?

MR. BUDZIK: It's not going to increase the variance request. It's just going to make it deeper, that's right.

MR. DIVITO: Are you going to run into ratio concerns at that point?

MR. BUDZIK: No, we're well under I think on the other zone requirements.

MR. DIVITO: So, yes, that request by Design is --

ACTING CHAIRMAN GEISEL: Yes, I saw that but I didn't think it had an impact on the exterior envelope. At this point, let's see if anybody else has a comment please.

MR. EASLEY: You want one at a time or both?

ACTING CHAIRMAN GEISEL: You're both welcome to come up and sign in.

MRS. EASLEY: We've already signed in. I'm Renee Easley at 304 North Drury Lane, and this is my husband Dave Easley.

MR. EASLEY: David Easley.

(Witnesses sworn.)

MRS. EASLEY: We are directly northeast of Matt and Maureen's property. We came here tonight to just express our support for the remodel and also request that the variance be granted. We share the same sensibility of kind of preserving the mid century style split level houses that are in our neighborhood. We're excited about their willingness to go to this and stay in the neighborhood, very close people whom we all love and are together. So, we are basically here tonight just to show our support and ask for your consideration of the variance.

MR. EASLEY: Well, we still have the best looking house in there.

MR. DRAKE: I'm going to drive by your house sometime to get --

MR. EASLEY: You got it.

MR. SCHWINGBECK: We'll put a little sticky note on your door.
MR. EASLEY: We object to that comment though.
MR. DRAKE: I take it back. One of the nicest looking.
ACTING CHAIRMAN GEISEL: Okay, thank you. Let's close it down to Board discussion.
MR. DIVITO: Straightforward simple request.
ACTING CHAIRMAN GEISEL: Anybody care to make a motion?
MR. SCHWINGBECK: Make a motion that we approve the project as submitted.
MR. DRAKE: I'll second.
MR. MACH: Mr. Divito.
MR. DIVITO: Yes.
MR. MACH: Mr. Drake.
MR. DRAKE: Yes.
MR. MACH: Mr. Schwingbeck.
MR. SCHWINGBECK: Yes.
MR. MACH: Acting Chairman Geisel.
ACTING CHAIRMAN GEISEL: Yes. Approved. Thank you for coming out with your neighbors. Motion to adjourn?
MR. DRAKE: Do we have some of the old business or is that, do we need to discuss old business, the Molecular?
ACTING CHAIRMAN GEISEL: Thank you, good night.
MR. MACH: As noted in your packet, Molecular Design has asked to place the project on hold. So, if they do come forward in the future, they'll need to re-notify. That will be posted on the agenda, but I just wanted to make sure the Zoning Board is aware at the last meeting they made a motion to continue to this meeting per the Petitioner's request. But now they're asking that it be placed on hold.
ACTING CHAIRMAN GEISEL: Thank you, I saw it on the notes. So, the meeting is adjourned. Thank you.

(Whereupon, at 8:35 p.m., the public hearing on the above-mentioned petition was adjourned.)

ZONING BOARD OF APPEALS
VILLAGE OF ARLINGTON HEIGHTS

FINDINGS
October 10, 2016

PETITIONER: Stukenberg Residence

ADDRESS OF PROPERTY: 1409 E. Eastman St.

VARIATION: 5.1-3.6, 5.4

A 2.4' variance to allow an addition with a side yard setback of 4.6' from the west property line instead of the minimum 7.0' and an additional 1.0' for the eave.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they would like to construct a two car attached garage to the existing home. The petitioner explained that the proposed attached garage is encroaching into the side yard setback. The petitioner testified that the variance would allow for a more efficient floor plan, minimize the impact to the existing home, and allow for the two-car attached garage. The petitioner also testified that a nonconforming detached garage would be removed as part of the project. The petitioner explained that the existing detached garage is located in the side yard where detached garages are only permitted in the rear yard. The petitioner explained that they have designed the home so that it preserves the aesthetic of the home and that they are trying to maintain the character of the split level.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Schwingbeck and seconded by Mr. Drake. Thereafter, the Board voted 4-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 4-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Joseph Geisel, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights

Item: Johann Residence - 103 N. Pine Ave.

Department: Planning & Community Development

REQUEST

A 15.5 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new home with an exterior side yard setback of 15.0 feet from the south property line instead of the minimum 30.5 feet and an additional 1.3 feet for the eave.

ATTACHMENTS:

Description	Type
Staff Report	Board or Commission Report
Department Comments	Correspondence
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: November 14, 2016
Date Prepared: November 9, 2016
Project Title: Johann Residence
Address: 103 N. Pine Ave.

Background Information

Petition Number: ZBA #16-049
Petitioner: Dustin Bucalo / Designers & Builders Development Inc.
Address: 300 Old Mill Rd.
Barrington IL 60010
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

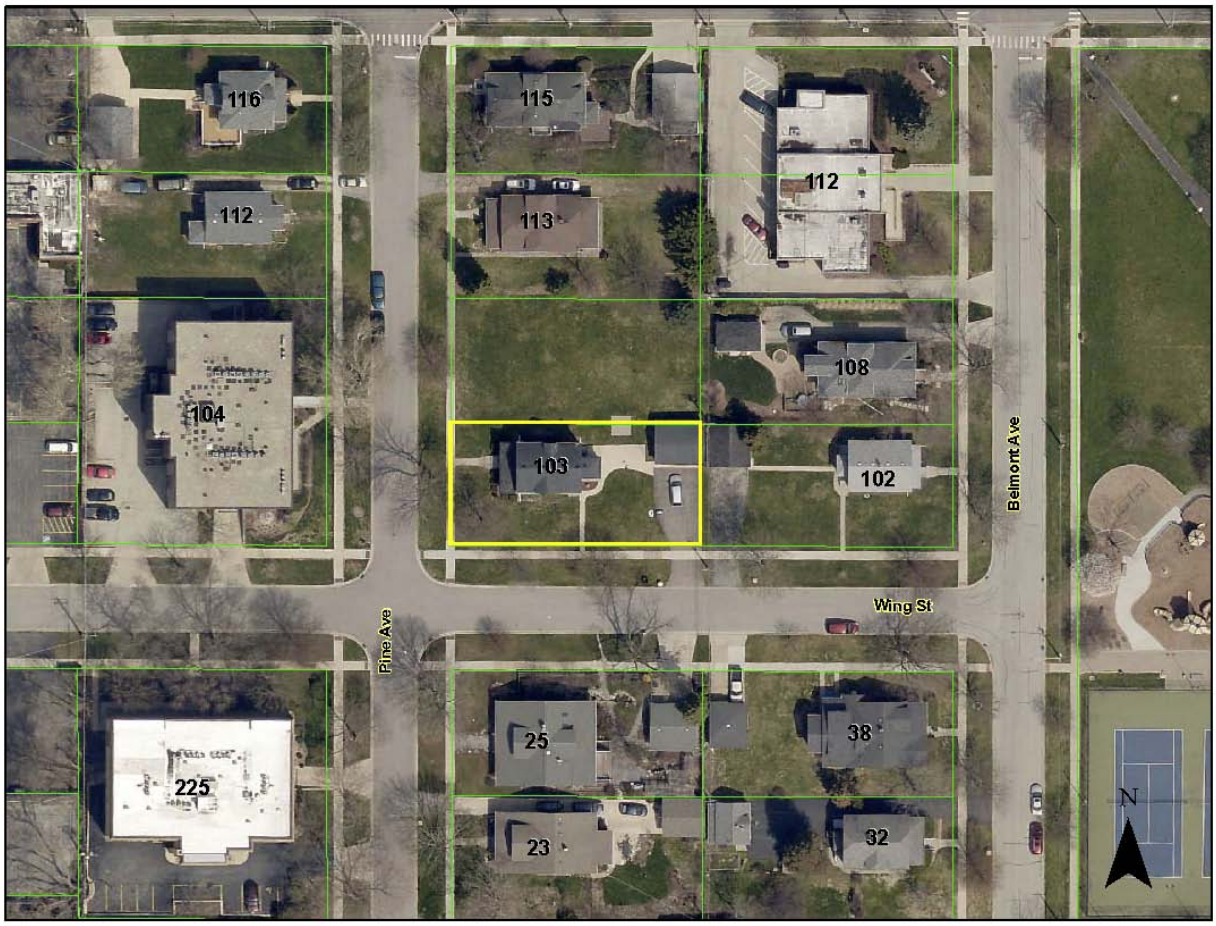
The petitioner is proposing to construct a new home. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 8,712 square feet and a lot width of 66.0 feet. The proposed residence will have approximately 3,738 square feet. The proposed new house is encroaching into the required exterior side yard setback. Therefore, petitioner requests the following variation:

- A 15.5 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new home with an exterior side yard setback of 15.0 feet from the south property line instead of the minimum 30.5 feet and an additional 1.3 feet for the eave.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

Item	Provided	Dated	Remarks
1. Notification Affidavit	✓	10/24/16	
2. List of Property Owners Within 250 feet of Subject Property	✓	10/24/16	
3. Letter that was Mailed	✓	10/24/16	
4. Photographs of Sign on Property	✓	10/24/16	

Photographs of Existing Structure

ZBA# 15-049
103 N Pine Ave- ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering

Submitted: October 27, 2016
Completed: October 31, 2016

The proposed ZBA application indicates that the petitioner is seeking:

A 15 ft variance to allow a new home with an exterior side yard setback of 15 ft from the south property line instead of the minimum 30 ft and an additional 1 ft for the eave.

The Engineering Department has no objection to the proposed variance for the new SFR.

With the petitioner be required to remove the existing garage that is referenced in the petition?

Village of Arlington Heights
Building Services Department

Interoffice Memorandum

To:	**Derek Mach, Zoning Board of Appeals Liaison**
From:	**Deb Pierce, Plan Reviewer, Building Services Department**
Project Name:	**Johann Residence**
Project Address:	**103 N Pine Ave**
ZBA #:	**16-049**
Date:	**October 27, 2016**

Derek:

I have reviewed the request to reduce the side yard setback to 15 feet and do not have any objections to the variance.

RECEIVED
OCT 28 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Johann Residence

Project Address: 103 N. Pine Ave.

ZBA #: 16-049

ZBA Hearing Date: November 14, 2016

To:	Jim Massarelli, Director of Engineering Charley Craig, Building Services
C:	Bill Enright, Deputy Director of Planning and Community Development Steve Hautzinger, Design Planner
From:	Derek Mach, Zoning Board of Appeals Liaison
Transmitted On:	October 27, 2016

- **A 15.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new home with an exterior side yard setback of 15.0 feet from the south property line instead of the minimum 30.0 feet and an additional 1.0 feet for the eave.**

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

THIS PROJECT IS SCHEDULED FOR DESIGN COMMISSION REVIEW ON TUESDAY, NOV. 15. STAFF HAS NO OBJECTIONS TO THE PROPOSED DESIGN.

- STEVE HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Friday, November 4, 2016.

PETITION

NOW COMES the Petitioner Dustin Bucalo on behalf of Robert Johann being the owner of the property commonly known as: 103 North Pine Avenue and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.6, Chapter 28, of the Arlington Heights Municipal Code, in order to: change the exterior side yard setback from the average of the frontage to 15 feet.

I hereby state that the following hardship would exist if the variation were not granted: The existing setback allows a home no wider than 29 feet to be built on this lot and forces it to be located in the North - East corner. This limits the possibility of building a desirable home on this site.

I hereby state the following unique circumstances exist:

The existing garage is built over the property line of an adjacent lot rendering the adjacent lot not build able unless the existing home is taken down. If the adjacent home is removed and the variance granted the two lots will provide the opportunity to build two new homes.

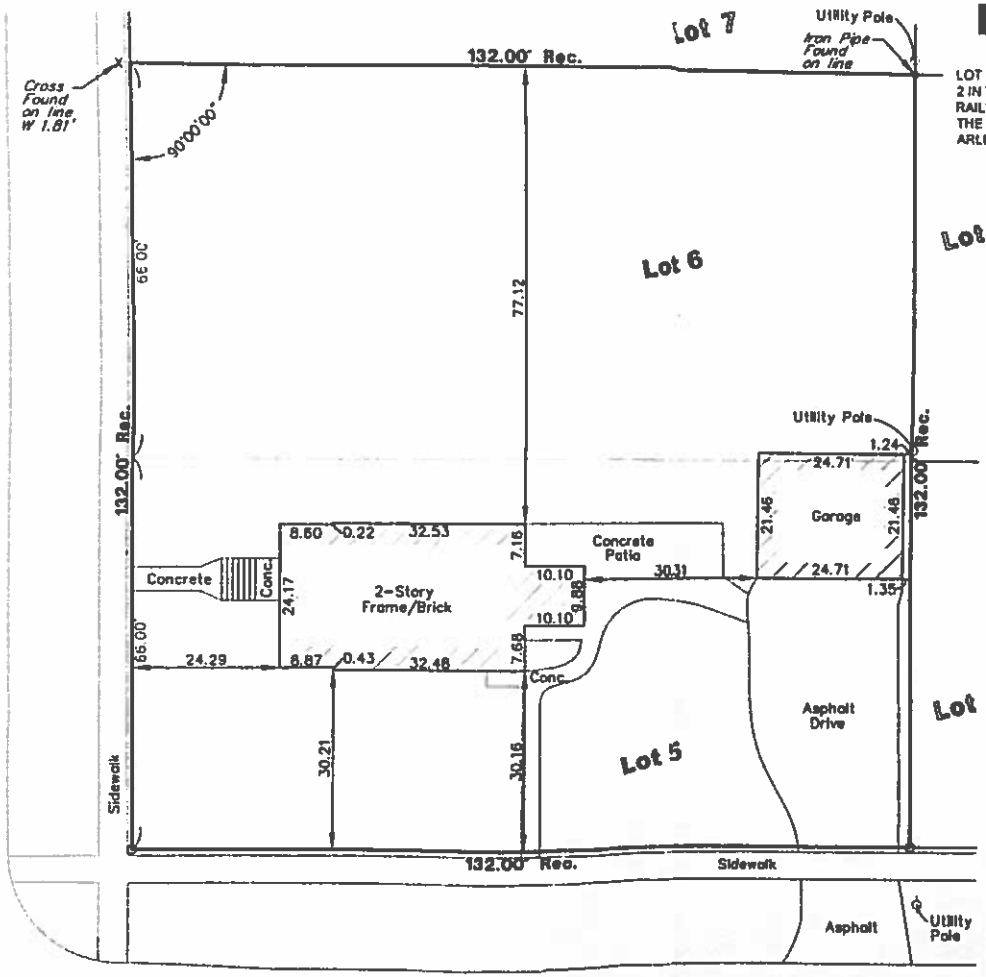
I hereby state that the variation, if granted, will not alter the essential character of the locality because:

The houses on the North end of the block currently have setbacks similar to the variance we wish to have approved.

Signed: Robert Johann Date: 9/26/16

PLAT OF SURVEY

LOT 5 AND 6 IN BLOCK 6 IN GEORGE W. DUNTON'S ADDITION NUMBER 2 IN THE EAST 1/2 OF THE SOUTH WEST 1/4 (LYING NORTH OF RAILWAY) OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN SITUATED IN THE VILLAGE OF ARLINGTON HEIGHTS, COUNTY OF COOK, STATE OF ILLINOIS.



Legend:

O-Set 3/4" Iron Pipe

Surveyor Notes:

1. Field Work Completed on 07-28-06
2. Prepared for Robert Johnson, for real estate transaction.
3. Site Address: 103 North Pine Avenue, Arlington Heights, IL 60067
4. Pin No.: 03-29-337-003 & 03-29-337-004
5. The easements shown hereon are provided from the use of the recorded subdivision plat.
6. This plat was prepared without the aid of a title commitment. Refer to a current title commitment for any building lines or easements not shown on this plat.
7. Compare deed description and site conditions with the data given on this plat and report any discrepancies to the surveyor at once.

STATE OF ILLINOIS)
) SS
COUNTY OF COOK)

WE, LAND SURVEYING SERVICES, INC. DO HEREBY STATE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT REPRESENTS THE CONDITIONS FOUND AT THE TIME OF SAID SURVEY.

GIVEN UNDER MY HAND AND SEAL, THIS 31ST DAY OF JULY, A.D. 2006, IN PALATINE, ILLINOIS

GLORIA JEAN KOTER AS AGENT FOR LAND SURVEYING SERVICES, INC.

ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 3525
License Expiration Date 11-30-06

This professional service conforms to the current Illinois minimum standards for a boundary survey.

STATE OF ILLINOIS GLORIA JEAN KOTER 035-003323 PROFESSIONAL LAND SURVEYOR

Drawing Revisions		
Date	Drawn	Checked
	BS	GJK

Field Work Completed:	07-28-06
Scale: 1" = 20'	Date 07-31-06

Site Address:
103 North Pine Avenue
Arlington Heights, Illinois

Land Surveying Services Inc.
19 S Bothwell St., Suite 210, Palatine, IL 60067
PH: (847) 991-7700 FAX: (847) 991-7707
Professional Design Firm License No. 184-003632

Job Number: LS061382

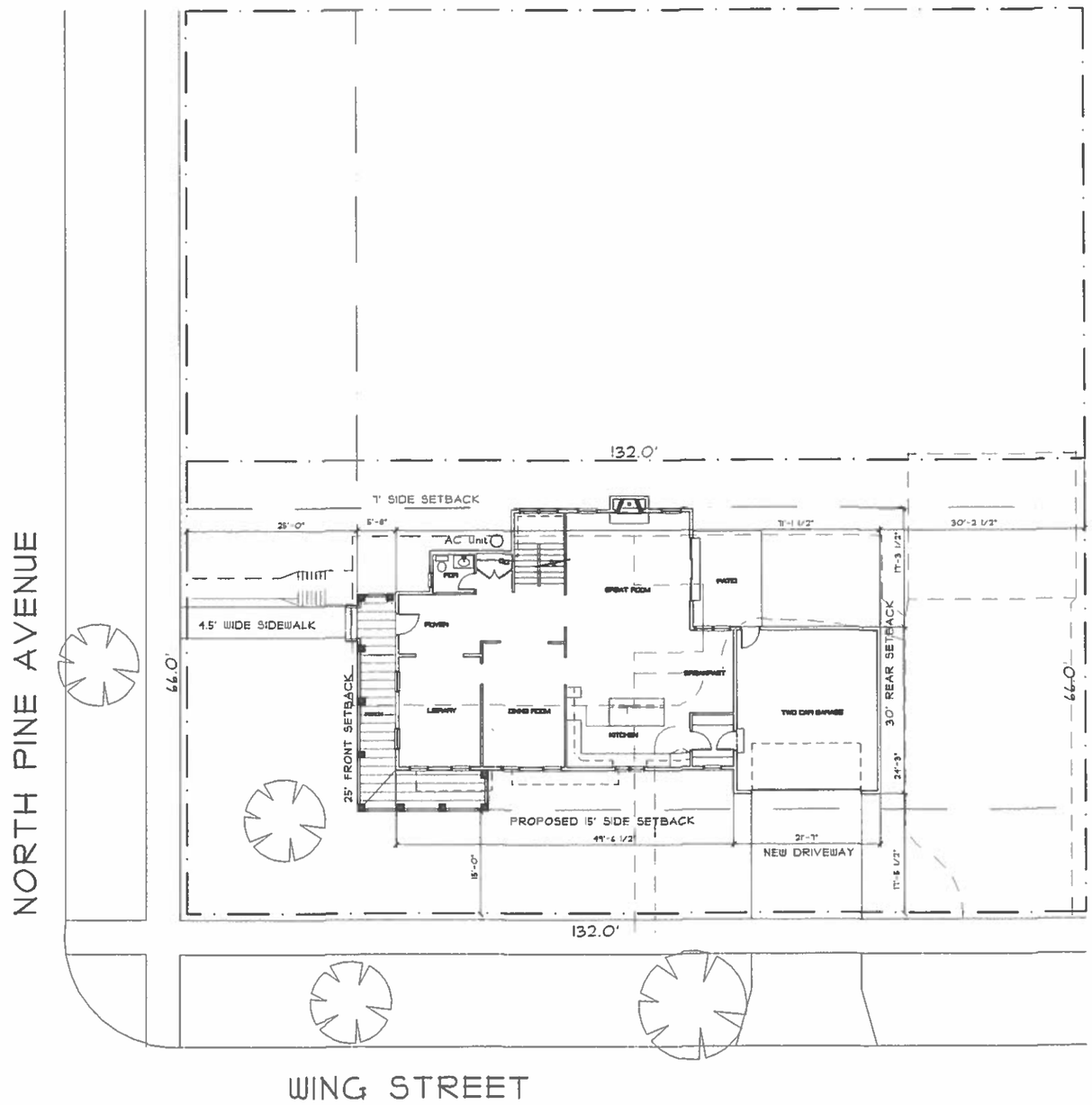
Sheet Name: PLAT OF SURVEY

Sheet Number: SURVEY

RECEIVED
SEP 30 2016
PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT

A NEW RESIDENCE BY DESIGNERS & BUILDERS DEVEL.

103 N. PINE AVENUE
ARLINGTON HEIGHTS, ILLINOIS

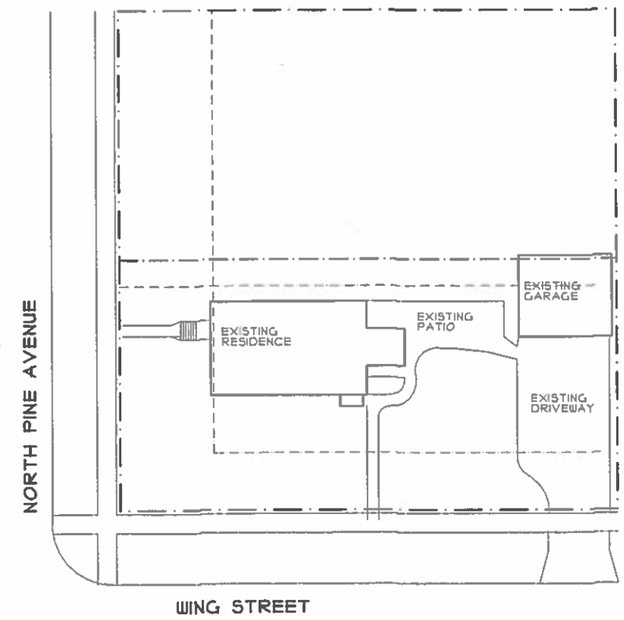


LOT SIZE = 8712 SQ. FT.
HOUSE + GARAGE FOOTPRINT = 2183.1 SQ. FT.
PROPOSED DRIVEWAY = 446 SQ. FT.
PROPOSED SIDEWALK = 111 SQ. FT.
FRONT PORCH = 254.7 SQ. FT.
PATIO =140 SQ. FT.
TOTAL IMPERVIOUS = 3134.8 SQ. FT.

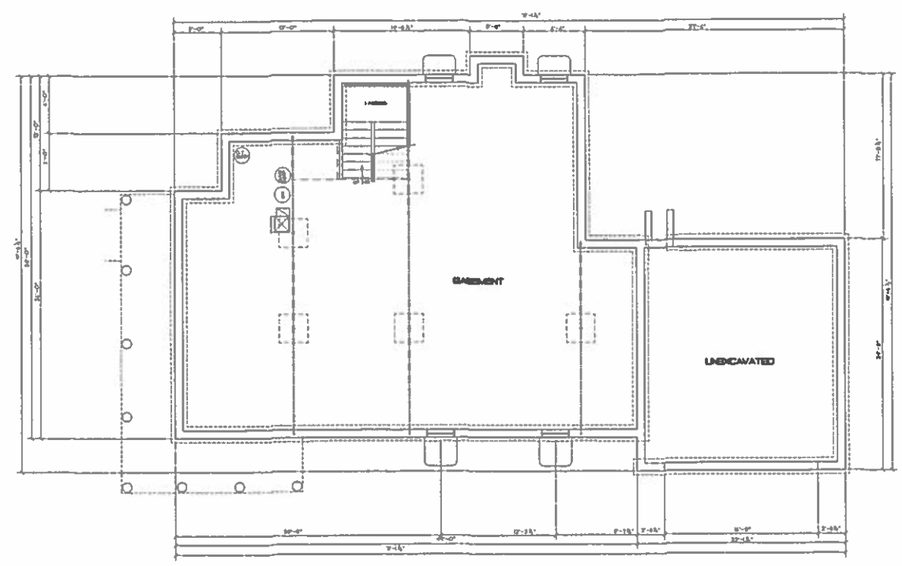
PROPOSED SITE PLAN
SCALE: 1" = 20'-0"

ARLINGTON HTS. CODES & AMENDMENTS:

SINGLE FAMILY INTERNATIONAL RESIDENTIAL CODE 2009 (708) 799-2300
BUILDING AMENDMENTS FOUND IN ARL. HTS. CHAPTER 23
PLUMBING STATE OF ILLINOIS PLUMBING CODE 2004
AMENDMENTS FOUND IN ARL. HTS. CHAPTER 24
MECHANICAL INTERNATIONAL MECHANICAL CODE 2009 (708) 799-2300
AMENDMENTS FOUND IN ARL. HTS. CHAPTER 23
ELECTRICAL NATIONAL ELECTRICAL CODE 2005 (NEC) AMENDMENTS 12-21-98
CHAPTER 25 (AH MUNICIPAL CODE)
IECC ENERGY CODE 2012 w/ AMENDMENTS (2007 ASHRAE 90.1



EXISTING SITE PLAN
SCALE 1" = 40'-0"



BASEMENT / FOUNDATION PLAN
SCALE 1/16" = 1'-0"

A NEW RESIDENCE BY
DESIGNERS & BUILDERS DEVEL
103 N. PINE AVENUE
ARLINGTON HTS., ILLINOIS

Dennis Bucolo (847) 322-4093

DATE | REVISION

ARKITEKS UNLIMITED, LTD
300 N. 11th St.
Wheeling,
Illinois
60090
email: arkteks@comcast.net
voice: (847) 215-9214
fax: (847)215-0894
www.arkteks.com

DATE OF ISSUE 9/27/16
JOB NUMBER: SF3PINED
DRAWN CHECKED: TPM : SPK

SHEET A-1 OF 5

SPECIFICATIONS:

1 GENERAL INFORMATION

A. Contractors shall carry workman's liability and property damage insurance, and shall include in their bids all federal, state and local taxes.
B. Contractors shall procure all local and state permits and must comply with all governing ordinances together with the local building codes. Owner shall reimburse permit fees to the contractors.
C. Contractors shall verify all dimensions on the job and shall be responsible for same. Report any and all discrepancies to the architect before proceeding with work of any nature.
D. Each contractor shall remove all his own rubbish at once before it accumulates and shall leave premises broom clean upon completion of work.
E. Contractors shall provide all necessary protection and adhere to safety precautions during the construction period. all work shall be installed in strict accordance with manufacturer's specifications and recommendations.
F. Any additional diagrams, layouts, information, etc. pertaining to plumbing, HVAC, and electrical necessary for obtaining permits shall be submitted by the respective contractors.
G. When applicable, contractors shall submit paper sepia of shop drawings to architect for final approval before proceeding with fabrication of work. All work started and/or completed before said final approval shall be at the respective contractor's risk and expense. Failure of contractors to provide shop drawings shall render said contractor liable for all detrimental occurances caused by discrepancies between actual construction and the intent of the architect's drawings. Their shall be no backcharges.
H. All information found in these notes, is intended for general use. Utilization of applicable notes is required by all contractors.

2 EXCAVATION AND BACKFILL:

A. Excavate as required to install all foundations and footings. Extend excavation a minimum of 6" into virgin or compacted soil, having the required bearing capacity. All soil and fill under slabs, under and around inside of foundation walls shall be compacted by approved methods in 8" layers so that the compacted soil has a density of 95% of the optimum when tested. Maintain minimum soil pressure of 3000# per sq.ft. under slabs and foundation walls.
B. Subsequent to final acceptance, redeposit clean topsoil in areas designated by the general contractor for earth sculptures.
C. All fill and topsoil shall be removed under slabs and pavements. Excess topsoil material shall be used for landscaping. Excess excavation and spoils shall be hauled away.
D. Provide all shoring and sheathing and bracing necessary to prevent cave-in of excavation or damage to existing structures or adjoining site. When appropriate, issue any notices to owners of adjoining property which may be required. Furnish copies of such notices to owner and architect.
E. Do not backfill against wall longer than 10' until first floor is in place.

3. CONCRETE

A. Concrete materials, aggregates and reinforcing shall conform to the latest edition of the A.C.I. code. Concrete shall have a minimum compressive strength of 3000 psi @ 28 days. Reinforcing shall have covering as follows: Concrete deposited against soil: 3" ; concrete exposed to weather: 2" ; concrete in other places: 1 1/2" .
B. Footings and foundations shall be poured on dry soil free from frost and shall be protected from frost.
C. All interior concrete slabs to have trowel finish with a maximum tolerance of 1/4" in 8'-0". All exterior slabs shall have broom finish.
D. Welded wire fabric, as shown on the plans, shall be placed 2" form top of slabs and lapped 6" at the edges and 12" at the end of strips.
E. Include in this contract all patios, porches and walks.
F. Provide openings and sleeves in foundation walls as required for mechanical and plumbing. Verify size and location with respective contractors.
G. Contractor shall take all precautions to protect the concrete from freezing during cold weather. No admixtures will be used without architect approval.

4. CARPENTRY:

A. All wardrobe, entry, dressing and walk-in closets, as indicated on floor plans, shall have a minimum of one shelf and one rod (support at mid or third points as required).
B. All linen closets shall have 5 adjustable shelves and all utility closets shall have 2 adjustable shelves and 2 wall hooks.
C. All lumber shall be kiln-dried having a moisture content of 15% maximum.
D. All doors and frames may be pre-hung. Style: _____ Finish: _____
E. Provide double studs at both sides of any opening exceeding 2'-6" in a bearing wall. Provide 4x posts as noted on floor plans.
F. All wall thickness dimensions shown are actual size of structural elements only except for masonry dimensions which are nominal.
G. Carpenter shall verify all rough openings with specific manufacturers selected prior to actual framing for openings.
Windows: PELLA _____ Glass: TINT, LOW "E" Screens: YES Grilles: YES
I. Header specifications: E=1,700,000 min. psi. Fb=1350 psi. min. (bearing walls) Fv=75 psi. min. (Hemlock-fir or equal)
J. All headers at exterior walls to be (2) 2x12's unless otherwise noted and (2) 2x10's at interior walls unless otherwise noted.
K. Joist and rafter specifications: E=1,400,000 min. psi. Fb=1150 psi. min. Fv= 75 psi. min. Hemlock-fir or equal
L. All interior non-bearing walls to have 2x4's at 16" o.c.
M. Firestop all draft spaces with 2x blocking or mud-in or thermafiber.
N. TrussJoists shall be furnished and installed in strict accordance with manufacturer's specifications and hole cutting requirements.

O. All joists bearing onto flush headers shall be supported by joist hangers.
P. Carpenter shall do all necessary cutting, patching, framing and headering in lumber for other trades.
Q. Carpenter shall install all windows, doors (either wood or metal), cabinets and all hardware items and bathroom accessories installed in drywall.
R. Seal tight around all openings in exterior walls with insulating foam and caulk or approved equal.
S. Studs may be pre-drilled with 1" hole approximately 14" from stud bottom.
T. Use corrosion resistant fastener at exterior siding and trim.
U. Provide spring metal weatherstripping around doors and windows if not furnished as part of the unit.
V. All finish interior trim to be: _____ Exterior trim: _____

5. DRYWALL & INSULATION

A. Provide drywall & insulation shown in "Typical Construction Assemblies"
B. Provide all corner beads, trim, attachments, anchors, etc.
C. All drywall to be placed horizontally and double nail or screw at edges.
D. Provide vapor barrier under drywall at all exterior walls and ceilings on warm side if insulation is not Kraft or foil-faced.
E. Tape and smooth drywall joints and nails in 3 coats for paint-ready surface

7. PAINTING

A. Drywall surfaces to be painted shall receive a minimum of one coat primer and one coat flat white or latex enamel for rooms prone to wetness.
B. Paint all exposed steel inside and outside of building with two coats of rust-inhibitive paint.
C. Paint all exposed sheet metal flashing the color of surrounding material.
D. Finish all bare wood surfaces with a high quality stain free from blemishes

8. ELECTRICAL:

A. Electrical contractor shall do his work in accordance with the rules and regulations of the governing electrical code and the requirements of the electrical company.
B. Electrical contractor shall coordinate his work with all other related work and trades in terms of final connections of motors, switches, pumps, etc.
C. Provide wire from water meter to remote reader at exterior.
D. All duplex receptacles shall be groundable type.
E. Provide and hook-up all exhaust fans. Ductwork by heating contractor.
F. Electrical contractor shall review mechanical contractor's drawings for items to be included in their bid.
G. Verify location of all ceiling fixtures with owner prior to installation.
H. Provide ground-fault circuit protection for outlets in bathrooms, next to kitchen sink and at exterior.

9. MECHANICAL (HVAC)

A. Size, furnish and install complete HVAC system capable of maintaining 70 degrees F. heat when outside temperature is (-) 10 degrees F. and cool to 15 degree temperature difference when outside temperature is 95 degrees F.
B. Insulate all ductwork in attic and crawlspace.
C. Provide all sheet metal, louvers, grilles, diffusers, wall vents, exhaust fans, flues, firestops, caps, screens, cleanouts, accessories, etc.
D. Verify if humidifier, air cleaner, fireplace, or special controls are req'd

10 PLUMBING

A. All plumbing work shall comply with all applicable codes. Provide water-saving devices and fixtures.
B. All waste and soil lines above grade to be PVC where permitted by code.
C. All interior water supply lines shall be type "L" copper (1/2"-1 1/4").
D. Plumbing contractor shall provide frost proof sill cocks where shown.
E. All plumbing vents shall terminate 12" above roof surface.
F. Plumber to wrap water lines with fiberglass blankets with foil face in all exterior walls and unheated spaces.
G. Stuff around piping through walls and floors with insulating foam after piping is installed.
H. Plumbing contractor shall provide and install condensate drain lines from heating/air conditioning units.
J. Submit price for fully automatic water softener with separate brine and storage tanks. Hose bibbs shall not be on softened water lines.
K. On gas piping, each gas appliance to have gas cocks for isolation. Furnish and install flexible gas pipe from stub out to each gas appliance and make final connection to each appliance.
L. Provide check valve(s) at sump pump(s).
M. Valve all fixtures, appliances and equipment.
O. Provide 12" air chambers at all fixtures and 24" air chambers at risers.

12. ROOFING & FLASHING

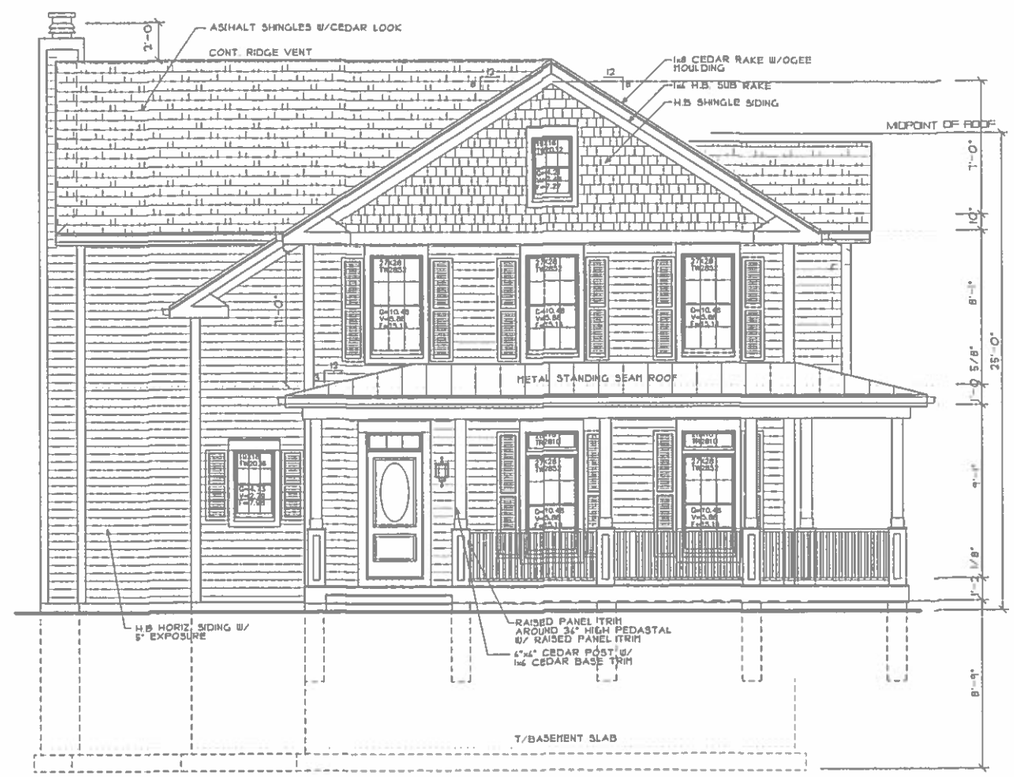
A. Provide flashing under shingles and siding at roof and exterior wall intersections. Flashing shall be 25 guage minimum galvanized sheet metal and shall extend 12" minimum each side of centerline.
B. Asphalt shingles to project minimum 1 1/2" beyond edge of roof sheathing.
C. Provide Ice & Water Shield for first 36" from gutter and 6' wide in valleys

14. MISCELLANEOUS

B. Provide 26 guage galvanized flashing at heads of all openings in exterior walls (unless protected by eave overhang), under window openings (where masonry veneer is used) and at the intersection of changes of exterior finish materials.
G. The following items shall be furnished complete, by the appropriate trades: Prefinished gutters and downspouts, finish grading and landscaping if required, basement escape windows and wells, smoke detectors, telephone and television prewiring, conduits, etc.

EAST ELEVATION

SCALE 1/4" = 1'-0"



WEST ELEVATION

Donna Buccle (847) 322-4093

A NEW RESIDENCE BY
DESIGNERS & BUILDERS DEVEL
103 N. PINE AVENUE
ARLINGTON HTS., ILLINOIS

DATE | REVISION

email: arkteks@comcast.net
Voice: (847) 215-9214
fax: (847)215-0894
www.arkteks.com

ARKTEKS UNLIMITED, LTD

300 N. 11th St.
Wheeling,
Illinois
60090

DATE OF ISSUE: 9/27/16

JOB NUMBER: SE3PINED

DRAWN CHECKED: TFM : SPK

SHEET A-4

NORTH ELEVATION

SCALE 1/4" = 1'-0"

SOUTH ELEVATION

A NEW RESIDENCE BY
DESIGNERS & BUILDERS DEVEL
103 N. PINE AVENUE
ARLINGTON HTS., ILLINOIS

Dennis Bucolo (847) 322-4069

DATE | REVISION

ARKTEKS UNLIMITED, LTD
300 N. 11th St.
Wheeling,
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60090
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Voice: (847) 215-9214
fax:(847)215-0894
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DATE OF ISSUE: 9/27/16

JOB NUMBER: SE3PINED

DRAWN CHECKED: TPM : SPK

SHEET A-5

Item: Jaworksi Residence - 7 S. Regency Dr. East

Department: Planning & Community Development

REQUEST

1. A 1 foot variance from Chapter 28, Section 6.13-3b (Location of Fences) to allow an increase to the maximum fence height from 5-feet to 6-feet, for a fence located along the rear property line.

ATTACHMENTS:

Description	Type
Staff Report	Board or Commission Report
Department Comments	Correspondence
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: November 14, 2016
Date Prepared: November 9, 2016
Project Title: Jaworski Residence
Address: 7 S. Regency Drive East

Background Information

Petition Number: ZBA #16-050
Petitioner: Michael Jaworski
Address: 7 S. Regency Drive East
Arlington Heights IL 60004
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

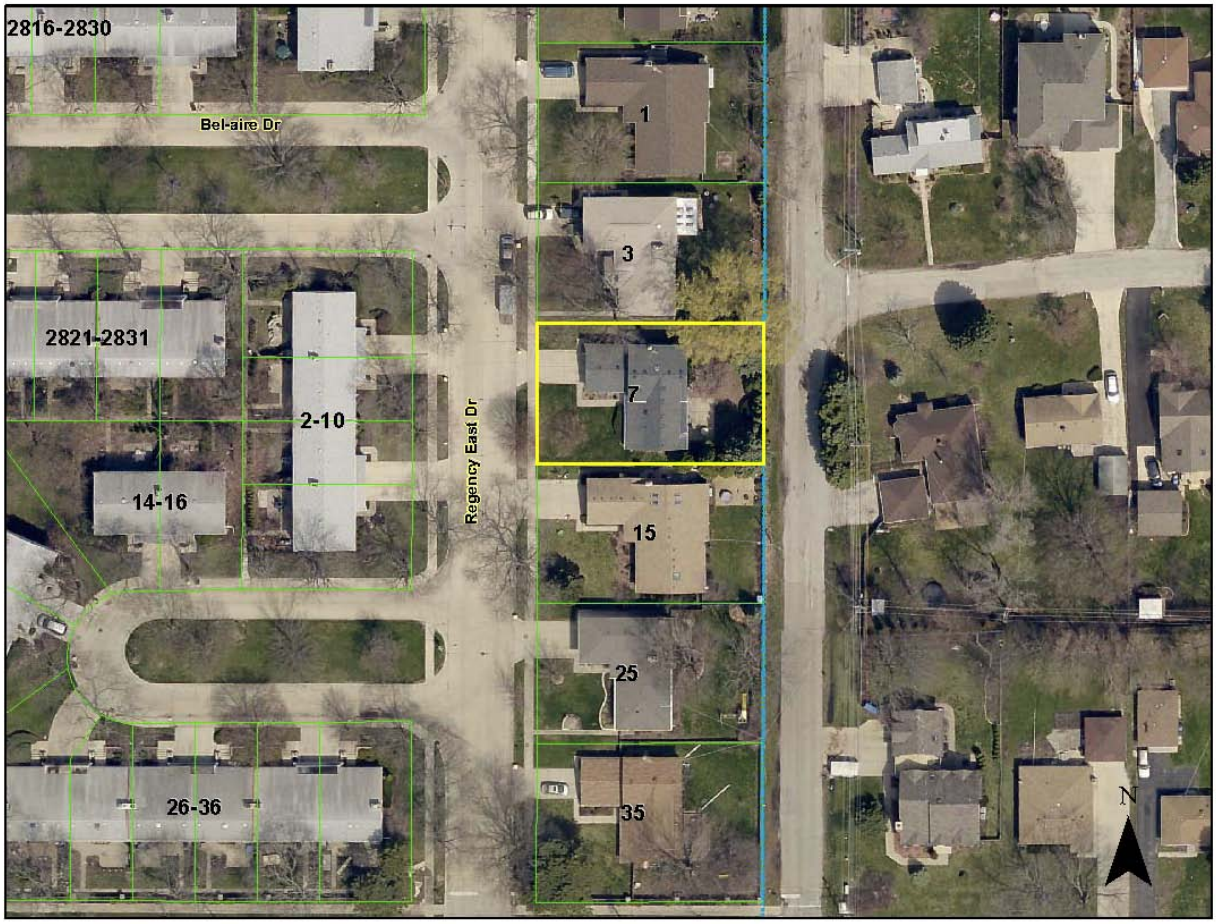
The petitioner proposes to construct a 6 foot high wood fence along the perimeter of the rear yard. Therefore, the petitioner requests the following variation:

- A 1 foot variance from Chapter 28, Section 6.13-3b (Location of Fences) to allow an increase to the maximum fence height from 5-feet to 6-feet, for a fence located along the rear property line.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

Item	Provided	Dated	Remarks
1. Notification Affidavit	✓	10/28/16	
2. List of Property Owners Within 250 feet of Subject Property	✓	10/28/16	
3. Letter that was Mailed	✓	10/28/16	
4. Photographs of Sign on Property	✓	10/28/16	

Photographs of Existing Structure

ZBA# 15-050
7 S Regency Dr E- ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering

994

Submitted: October 27, 2016
Completed: October 31, 2016

The proposed ZBA application indicates that the petitioner is seeking:

A 1 ft variance to allow an increase to the maximum fence height from 5 ft to 6 ft for a fence located along the perimeter of the rear yard.

NOTE: The petition is to replace an existing fence, and most of the homes on Regency Dr E have 6 ft tall fences in the rear yard along Forest Ave (Mt Prospect).

The Engineering Department has no objection to the proposed variance.

Village of Arlington Heights
Building Services Department

Interoffice Memorandum

To:	**Derek Mach, Zoning Board of Appeals Liaison**
From:	**Deb Pierce, Plan Reviewer, Building Services Department**
Project Name:	**Jaworski Residence**
Project Address:	**7 S Regency Drive West**
ZBA #:	**16-050**
Date:	**October 27, 2016**

Derek:

I have reviewed the request for a 1 foot variance to allow a 6 foot fence along the perimeter of the rear yard and have no objection to the variance.

The homeowner is responsible for repairing the fence if and when the utility companies need access to the public utility easement in his rear yard.

RECEIVED
OCT 28 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Jaworski Residence

Project Address: 7 S. Regency Drive West

ZBA #: 16-050

ZBA Hearing Date: November 14, 2016

To:	Jim Massarelli, Director of Engineering Charley Craig, Building Services
C:	Bill Enright, Deputy Director of Planning and Community Development Steve Hautzinger, Design Planner
From:	Derek Mach, Zoning Board of Appeals Liaison
Transmitted On:	October 27, 2016

- **A 1 foot variance from Chapter 28, Section 6.13-3b (Location of Fences) to allow an increase to the maximum fence height from 5-feet to 6-feet, for a fence located along the perimeter of the rear yard.**

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

No Comments. – Steve Hautzinger Design Planner

Please review, comment, and return to me no later than Friday, November 4, 2016.

RECEIVED
OCT 05 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PETITION

NOW COMES the Petitioner(s) Michael and Malgorzata Jaworski being the owners of the property commonly know as:

7 South Regency Drive East, Arlington Heights, Illinois, 60004
and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Sections 6.13-3, Chapter 28, of the Arlington Heights Municipal Code, in order to:
construct and install a 6 foot tall wood fence where and existing 5 foot fence is required.

I hereby state that the following hardship would exist if the variation were not granted:

Security: Due to the fact that Forest Avenue (Mount Prospect, Illinois) is approximately less than 10 feet from my existing fence/property line, people can easily look into my backyard (note: there is no sidewalk for Forest Ave. and the street is at a slightly higher grade than my property) and into my residence which has numerous windows along the east side of the home. This can be very uncomfortable for visitors, as well as family members, as people walk by and look into our large picture windows and patio doors. Also, a 5 foot fence does not provide a secure area for young children to play in a backyard. A person can easily reach over a 5 foot fence and remove a child from the backyard, especially being so close to a road that has a very high volume of traffic. Also, a 5 foot fence is easier for a child to climb over the fence and walk out onto Forest Avenue, where the speed limit is 25 MPH and there are no stop signs or traffic control devices along the entire length of Forest Avenue (approximately three blocks long). The only traffic control device on Forest Avenue is a stop sign at the end of the street at Kensington.
Nuisance: In 2010, the Village of Mount Prospect conducted a traffic survey and recommended that the speed limit throughout the village residential streets be increased by 5 MPH. Forest Avenue was then increased from 20 MPH to 25 MPH. The Village of Mount Prospect has also recommended northwest bound traffic on Rand Rd. be allowed to turn left into the Prospect Meadows neighborhood, which would only cause an increase in traffic. According to the Village of Mount Prospect, the residences of Prospect Meadows have voiced their concerns about the amount of traffic in their neighborhood. Lots of cars use Forest Avenue as a cut thru from Rand Road to Kensington and from Kensington to Rand Road. The speed limit is 25 MPH on Forest and the Mount Prospect Police Department is always writing speeding tickets. Because there are no stop signs on Forest Avenue, except for the Kensington intersection, I have seen vehicles speed up and down the street. When Prospect High School is in session, there is a big concern with the students racing up and down Forest Avenue and again using Forest Avenue as a cut thru to avoid the intersection at Rand/Elmhurst/Kensington, despite the traffic control devices placed on Rand Rd. prohibiting turns into the Prospect Meadows neighborhood.

Also, at night, cars going westbound on Oriole Lane at Forest have their headlights shine into the windows of our homes because of the low fence line. A 6 foot fence would add to the privacy and security of my home.

I hereby state that the following unique circumstance exist:

Of the 17 homes in Regent Park that border Forest Avenue, 13 have existing 6 foot tall wood fences. If I am allowed to construct a 6 foot tall fence, that would bring the total of 14 out of 17 homes with 6 foot tall fences. The other 3 homes have shrubs that are approximately 10-14 feet tall in front of their fences obstructing their fence line from public view. As of 2005, there were three homes on Regency Drive East (11, 21, and 31 N. Regency Drive East) that were allowed to construct a 6 foot fence after their requests for variations were approved by the Zoning Board of Appeals on September 12, 2005. If allowed to construct a 6 foot tall fence, the fence line for the backyard of the homes along Regency Drive East would be consistent and be esthetically pleasing to the boundary of Arlington Heights and Mount Prospect.

I hereby state that the variation, if granted, will not alter the essential character of the locality because:

The fences along the area are predominantly already 6 foot tall. Being able to construct a 6 foot tall fence would make the area's fence line "flow" and give it a better appearance. To have a row of fences at 6 foot, drop down to 5 feet would take away from the esthetic appearance of the area. The improvements I wish to have done will only add to the beauty of Arlington Heights.

Signed: _____ Date: _____

Petitioner(s)

570 E. NORTHWEST HWY
DES PLAINES, ILLINOIS 60016
(847) 699-0018

R. W. STANLEY & ASSOCIATES
ILLINOIS PROFESSIONAL LAND SURVEYOR

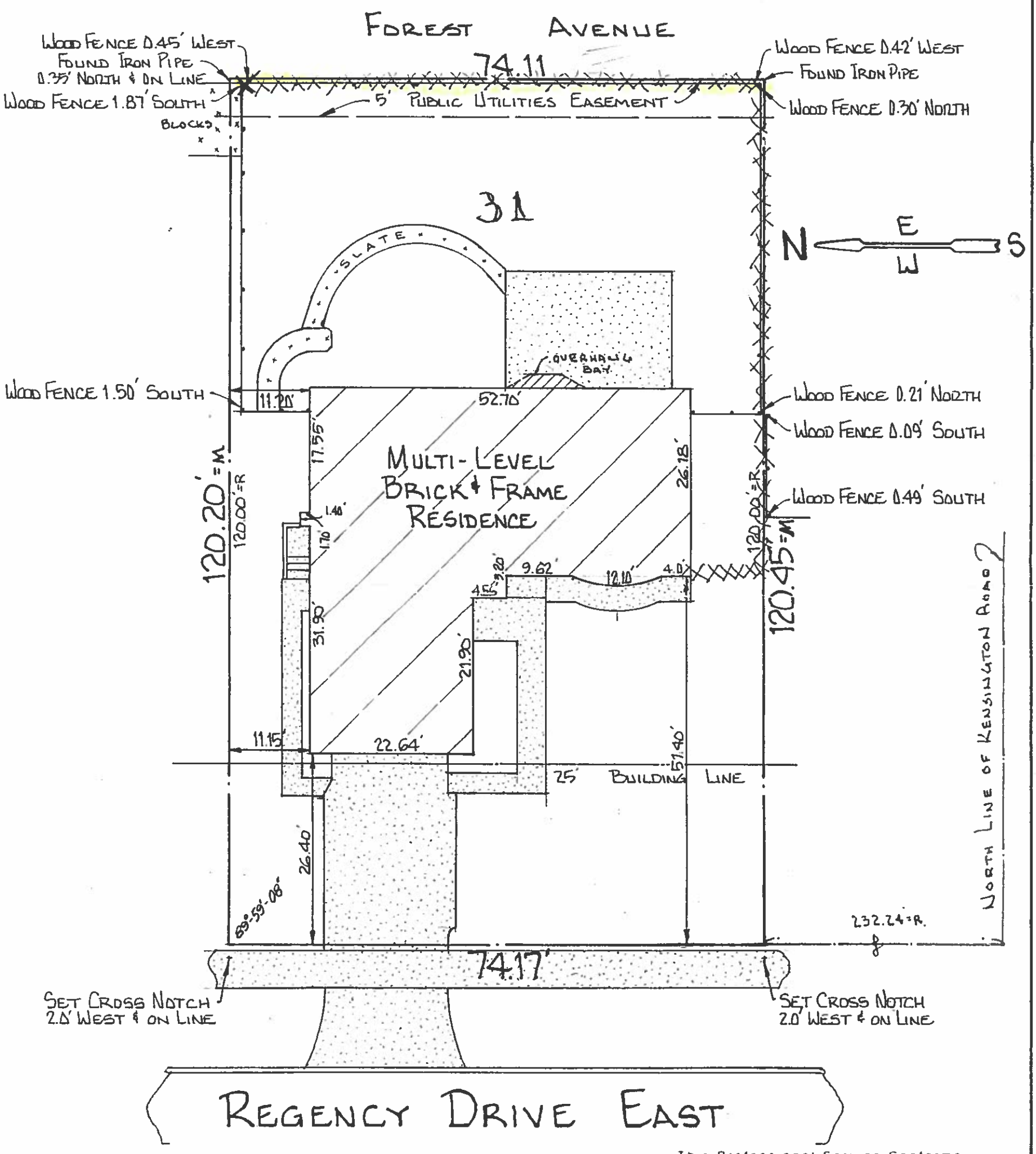
FAX LINE (847) 699-0018

RECEIVED
OCT 05 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PLAT OF SURVEY

LOT 31 IN REGENT PARK UNIT TWO, BEING A SUBDIVISION OF THE SOUTH ONE-HALF (1/2) OF THE SOUTHEAST ONE-QUARTER (1/4) LYING EAST OF THE EAST LINE OF REGENT PARK UNIT ONE, A SUBDIVISION REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS ON JANUARY 16, 1964 AS DOCUMENT NUMBER 2131431, ALL IN SECTION 28, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAT OF SAID REGENT PARK UNIT TWO REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS ON JULY 29, 1964 AS DOCUMENT NUMBER 2163179.

MORE COMMONLY KNOWN AS: 7 SOUTH REGENCY DRIVE EAST, ARLINGTON HEIGHTS, ILLINOIS



This Professional Service Conforms
To the current Illinois minimum Standards
For a Boundary Survey

Scale 1 inch equals 15 feet
Ordered by THOMAS BUCARO, ATTY.
Order number 15-1392

Note
Compare the description on this plat with your deed, abstract, or certificate of title, also compare all points before building by same and report any difference at once. For building line and other restrictions not shown hereon, refer to your abstract, deed, contract, or zoning ordinance.

PROFESSIONAL LAND SURVEYOR
RONALD W. STANLEY
2728
DES PLAINES
ILLINOIS
STATE OF ILLINOIS

State of Illinois)
County of Cook) S.S.

I, Ronald W. Stanley, hereby certify that the above described property has been surveyed under my supervision and that the plat hereon drawn is a correct representation of said survey.

Dimensions are shown in feet and decimal parts thereof and are corrected to a temperature of 62° Fahrenheit.

Des Plaines, Illinois DECEMBER 21, 2015

Illinois Professional Land Surveyor No. 2728

License expires 11-30-16

ALPHAGRAPHICS

BOARD ON BOARD

Cedar
2x4
RUNNERS
4x4 POSTS
1x6 Brds

Item: Constertina Residence - 3917 N. Proctor Circle

Department: Planning & Community Development

REQUEST

1. A 1 foot variance from Chapter 28, Section 6.13-3b (Location of Fences) to allow an increase to the maximum fence height from 5-feet to 6-feet, for a fence located along the perimeter of the rear yard.

2. A variation from Chapter 28, Section 6.13-3b (Location of Fences) to allow a solid fence along the rear and side property line where only a semi-open or open fence is permitted.

ATTACHMENTS:

Description	Type
Staff Report	Board or Commission Report
Department Comments	Correspondence
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: November 14, 2016
Date Prepared: November 9, 2016
Project Title: Constertina Residence
Address: 3917 N. Proctor Circle

Background Information

Petition Number: ZBA #16-051
Petitioner: Cynthia Constertina
Address: 3917 N. Proctor Circle
Arlington Heights IL 60004
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

The petitioner proposes to construct a 6 foot high solid wood fence along the perimeter of the rear yard. Therefore, the petitioner requests the following variations:

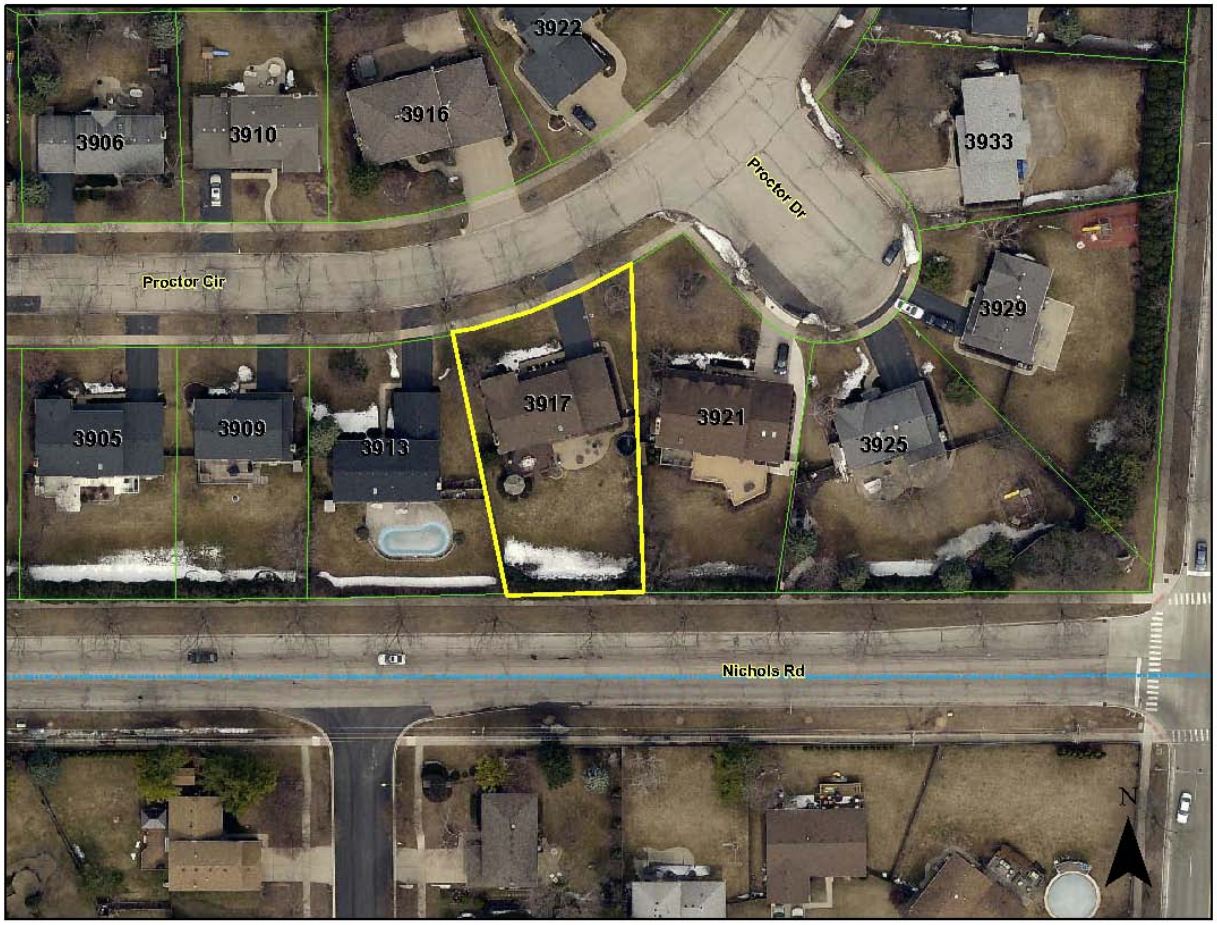
- A 1 foot variance from Chapter 28, Section 6.13-3b (Location of Fences) to allow an increase to the maximum fence height from 5-feet to 6-feet, for a fence located along the perimeter of the rear yard.
- A variation from Chapter 28, Section 6.13-3b (Location of Fences) to allow a solid fence along the rear and side property line where only a semi-open or open fence is permitted.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Petition – ZBA#16-051
PIN:03-06-215-016

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

Item	Provided	Dated	Remarks
1. Notification Affidavit	✓	10/27/16	
2. List of Property Owners Within 250 feet of Subject Property	✓	10/27/16	
3. Letter that was Mailed	✓	10/27/16	
4. Photographs of Sign on Property	✓	10/27/16	

Photographs of Existing Structure

ZBA# 15-051
3917 N Proctor Circle- ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering JJM

Submitted: October 27, 2016
Completed: October 31, 2016

The proposed ZBA application indicates that the petitioner is seeking:

A 1 ft variance to allow an increase to the maximum fence height from 5 ft to 6 ft for a fence located along the perimeter of the rear yard; and to allow a solid fence along with rear property line where only a semi-open or open fence is permitted.

NOTE: The proposed variance is to replace the existing 6 ft fence that backs up to Nichols Rd.

The Engineering Department has no objection to the proposed variations.

Village of Arlington Heights
Building Services Department

Interoffice Memorandum

To:	**Derek Mach, Zoning Board of Appeals Liaison**
From:	**Deb Pierce, Plan Reviewer, Building Services Department**
Project Name:	**Constertina Residence**
Project Address:	**3917 N Proctor Circle**
ZBA #:	**16-051**
Date:	**October 27, 2016**

Derek:

I have reviewed the request for a 1 foot variance to allow a 6 foot fence along the perimeter of the rear yard and have no objection to the variance.

I have reviewed the request for a solid privacy fence and have no objection to the variance.

The homeowner is responsible for repairing the fence if and when the utility companies need access to the easement in the rear yard.

RECEIVED
OCT 28 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Constertina Residence

Project Address: 3917 N. Proctor Circle

ZBA #: 16-051

ZBA Hearing Date: November 14, 2016

To:	Jim Massarelli, Director of Engineering Charley Craig, Building Services
C:	Bill Enright, Deputy Director of Planning and Community Development Steve Hautzinger, Design Planner
From:	Derek Mach, Zoning Board of Appeals Liaison
Transmitted On:	October 27, 2016

- **A 1 foot variance from Chapter 28, Section 6.13-3b (Location of Fences) to allow an increase to the maximum fence height from 5-feet to 6-feet, for a fence located along the perimeter of the rear yard.**

- **A variation from Chapter 28, Section 6.13-3b (Location of Fences) to allow a solid fence along the rear property line where only a semi-open or open fence is permitted.**

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

No Comments. - Steve Hautzinger, Design Planner

Please review, comment, and return to me no later than Friday, November 4, 2016

PETITION

NOW COMES the Petitioner Cynthia Constertina being the owner of the property commonly known as: 3917 N. Proctor Circle, Arlington Heights, Illinois, 60004 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 6.13, Chapter 28, of the Arlington Heights Municipal Code, in order to:

Replace the existing 6' fence across the back of the lot (which backs up to Nichols Road) with a new 6' privacy fence. Our current fence is 25+ years old and starting to come down.

I hereby state that the following hardship would exist if the variation were not granted:

Nichols Road is a busier street that stretches from Buffalo Grove Road to beyond Wilke Road. Many cars travel this street at higher speeds and we also see and hear traffic from police cars pulling vehicles over, emergency vehicles entering the neighborhood (as this is the main entry point to several neighborhoods) and many children going to and from school.

I hereby state that the variation, if granted, will not alter the essential character of the locality because:

All of the fences are currently at 6'. We are trying to replace ours at the same height to keep the uniformity with the homes in Terramere Neighborhood that back up to Nichols Road.

Signed

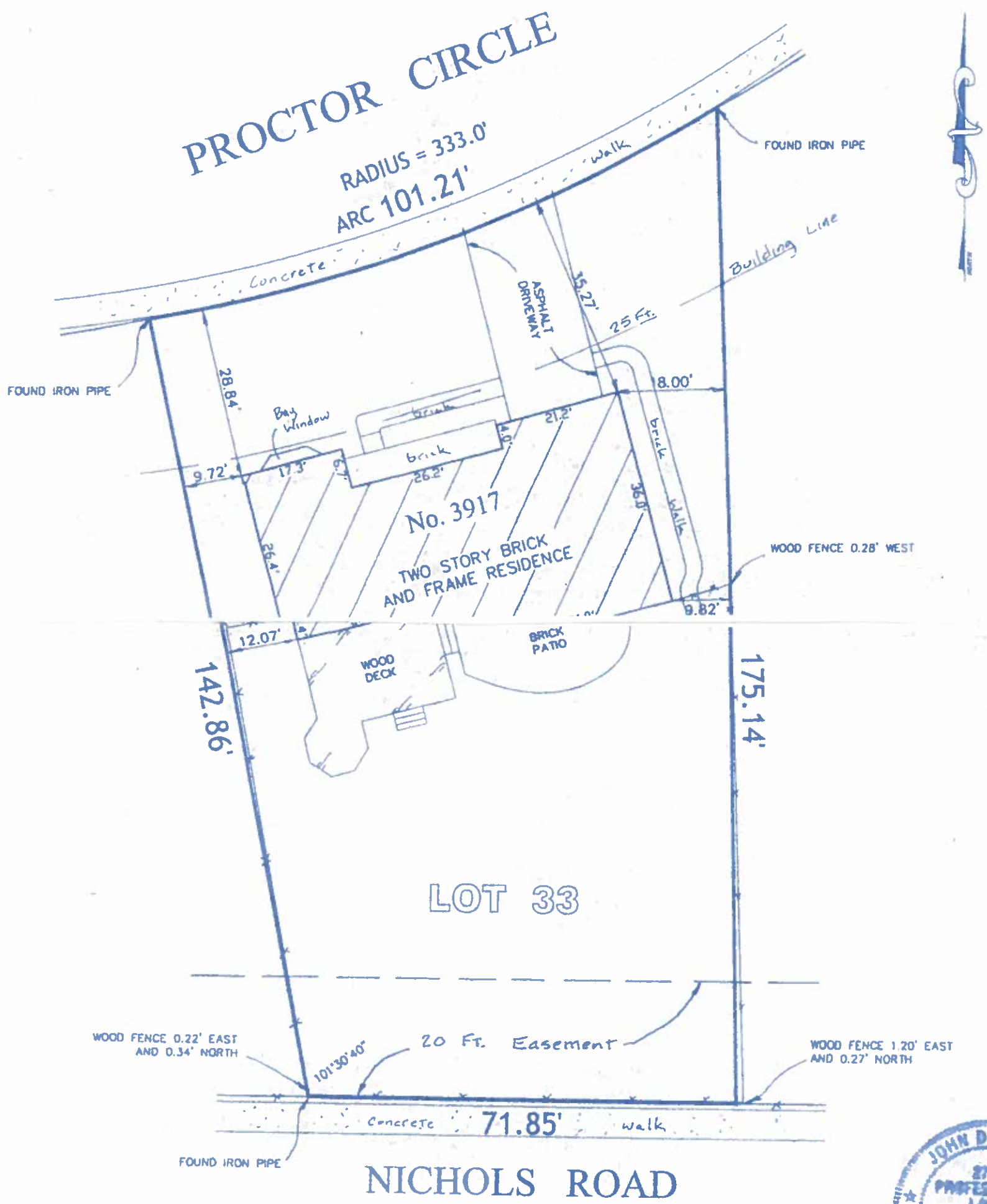
Cynthia Constertina Date: 10 / 17 / 16

Petitioner

PLAT OF SURVEY

LOT 33 IN TERRAMERE OF ARLINGTON HEIGHTS UNIT 9, BEING A SUBDIVISION IN THE NORTH HALF OF FRACTIONAL SECTION 6, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 15, 1984 AS DOCUMENT 27338195, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 3917 PROCTOR CIRCLE, ARLINGTON HEIGHTS, IL 60004



JOHN D. FALENI 2799 PROFESSIONAL LAND SURVEYOR STATE OF ILLINOIS PARK RIDGE, ILLINOIS

ORDER NO: 25206

DATE: JUNE 28, 2005

SCALE: 1" = 20'

ORDERED BY: JESS E. FORREST

State of Illinois
County of Cook

I, John D. Faleni, certify that the above described property has been surveyed, under my supervision, according to the official record and that plat correctly represents said survey. All distances are in feet and decimals thereof.
I hereby further certify that unless otherwise shown, the buildings on the parcel are within property lines and the adjoining visible improvements do not encroach on the above described property.

John D. Faleni

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2799
MY LICENSE EXPIRES: 11/30/2006

"THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY"

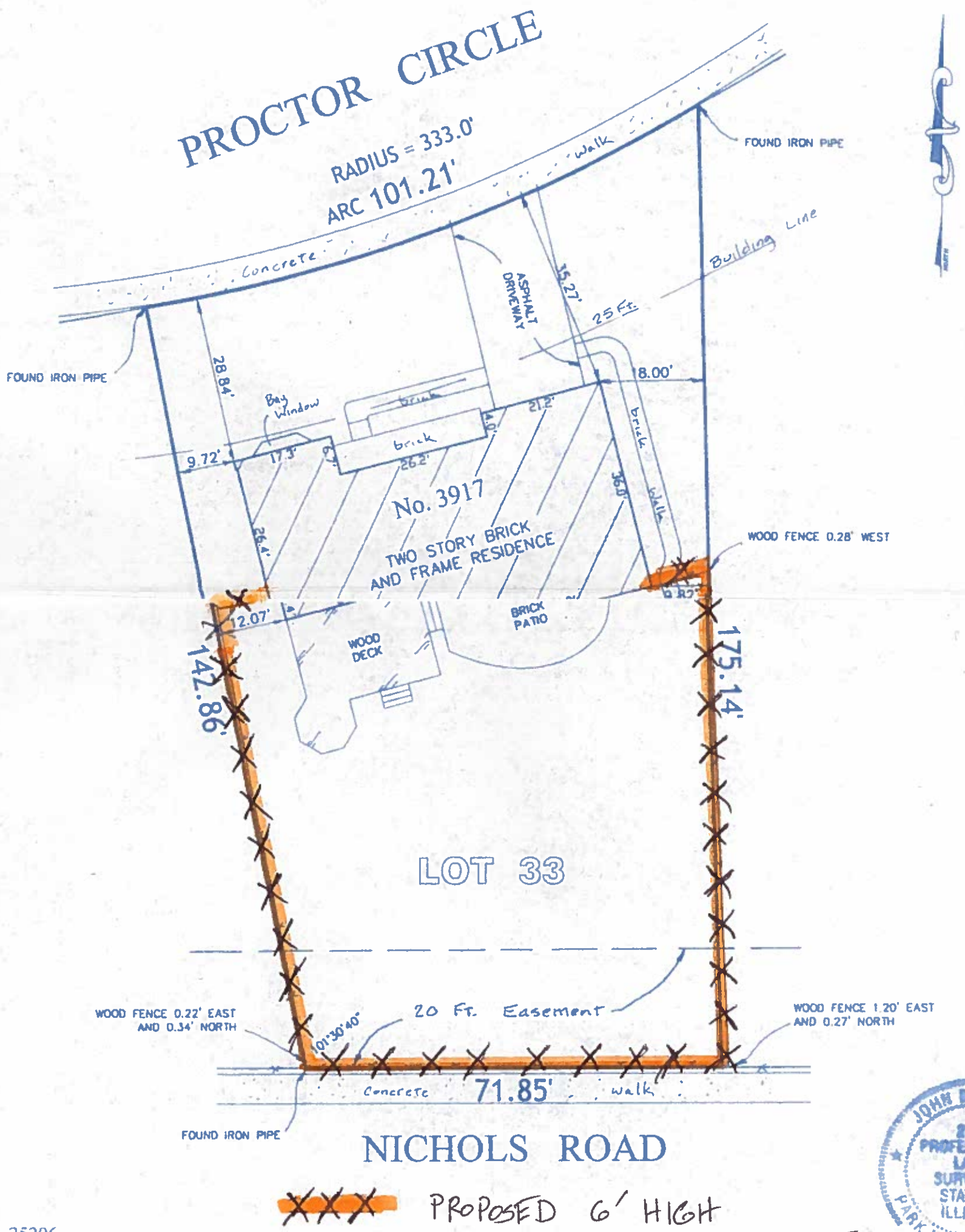
COMPARE THE DESCRIPTION OF THIS PLAT WITH DEED
REFER TO TITLE POLICY FOR ITEMS OF RECORD NOT SHOWN ABOVE

LANDMARK SURVEY, INC.
306 WEST HIGGINS ROAD
PARK RIDGE, ILLINOIS 60068
(847) 692-4567
(847) 692-4421 FAX

PLAT OF SURVEY

LOT 33 IN TERRAMERE OF ARLINGTON HEIGHTS UNIT 9, BEING A SUBDIVISION IN THE NORTH HALF OF FRACTIONAL SECTION 6, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 15, 1984 AS DOCUMENT 27338195, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 3917 PROCTOR CIRCLE, ARLINGTON HEIGHTS, IL 60004



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LANDMARK SURVEY, INC.
306 WEST HIGGINS ROAD
PARK RIDGE, ILLINOIS 60068
(847) 692-4567
(847) 692-4421 FAX

Item: Denisiuk Residence - 2211 N. Champlain St.

Department: Planning & Community Development

REQUEST

A 2.9 foot variation from Chapter 28, Section 6.5-2 to allow a pergola with a side yard setback of .01 feet from the west property line where a minimum of 3.0 feet is required.

ATTACHMENTS:

Description	Type
Staff Report	Board or Commission Report
Department Comments	Correspondence
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: November 14, 2016
Date Prepared: November 9, 2016
Project Title: Denisiuk Residence
Address: 2211 N. Champlain St.

Background Information

Petition Number: ZBA #16-052
Petitioner: Tomasz Denisiuk
Address: 2211 N. Champlain St.
Arlington Heights IL 60004
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

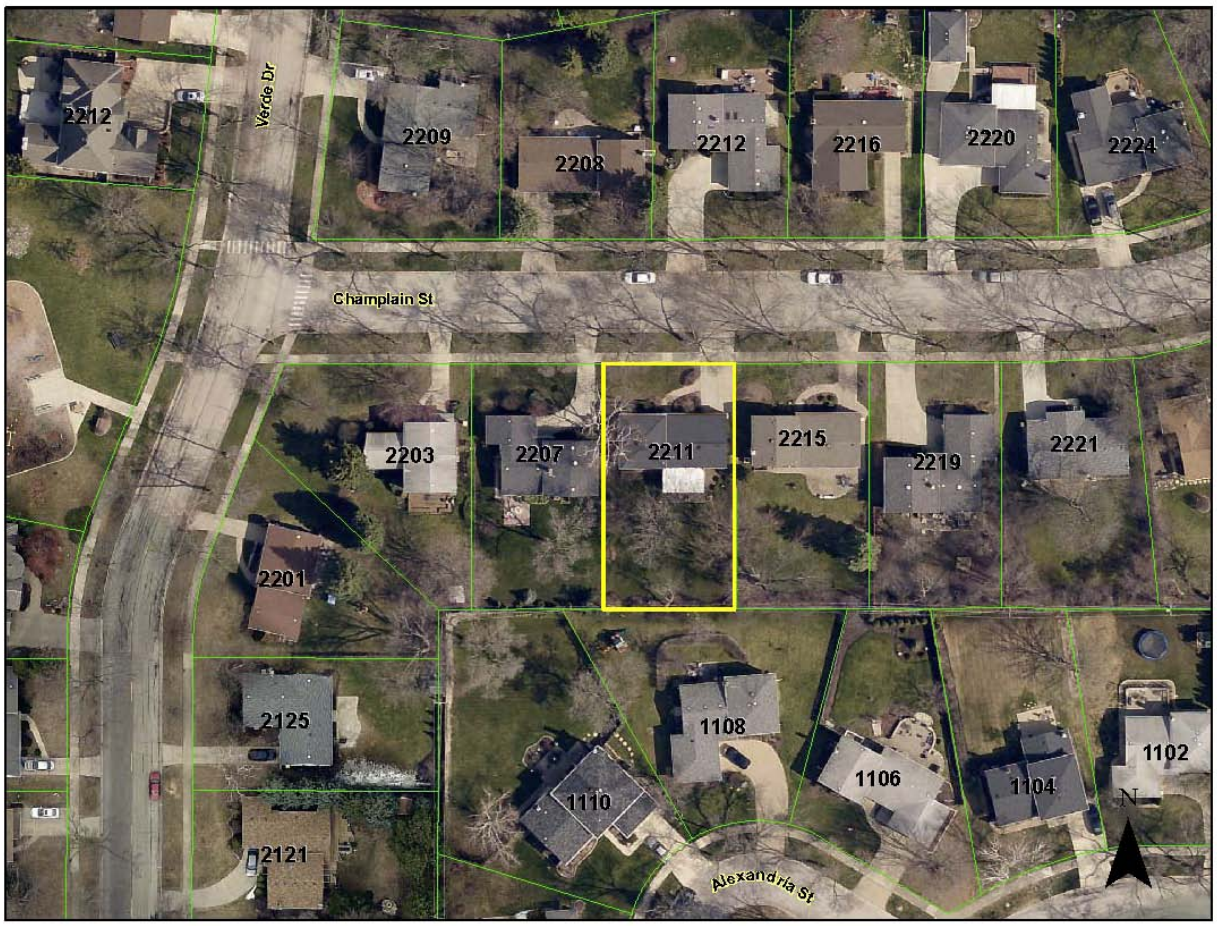
The petitioner has built a structure along the side property line adjacent to their patio. The structure has been evaluated and could be interpreted as either an accessory structure or a fence. If it was defined as a fence, the maximum height permitted is five feet and the structure is approximately eight feet high. If it is defined as an accessory structure, such as a trellis, the structure would have to be setback three feet from the side property line. The variance was advertised as an accessory structure that is encroaching into the required side yard setback. Previously comparable structures meeting the required three foot setback from the side property line have been administratively approved since they were meeting code. If the structure is determined to be an accessory structure, the following variation is required:

- A 2.9 foot variation from Chapter 28, Section 6.5-2 to allow a pergola with a side yard setback of 0.1 feet from the west property line where a minimum of 3.0 feet is required.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

Item	Provided	Dated	Remarks
1. Notification Affidavit	✓	10/27/16	
2. List of Property Owners Within 250 feet of Subject Property	✓	10/27/16	
3. Letter that was Mailed	✓	10/27/16	
4. Photographs of Sign on Property	✓	10/27/16	

Photographs of Existing Structure

ZBA# 15-052
2211 N Champlain St- ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering JJM

Submitted: October 27, 2016
Completed: October 31, 2016

The proposed ZBA application indicates that the petitioner is seeking:

A 2 ft variance to allow a pergola with a side yard setback of 1 ft from the west property line where a minimum of 3 ft is required.

There are existing drainage service requests for the rear properties on W Alexandria Dr.

NOTE: The variance is for an existing structure. WAS A PERMIT OBTAINED?

The Engineering Department is NOT IN FAVOR of any structures located along the side yard due to possible issues with impeding drainage.

Village of Arlington Heights
Building Services Department

Interoffice Memorandum

To:	**Derek Mach, Zoning Board of Appeals Liaison**
From:	**Deb Pierce, Plan Reviewer, Building Services Department**
Project Name:	**Denisiuk Residence**
Project Address:	**2211 N Champlain St**
ZBA #:	**16-052**
Date:	**October 27, 2016**

Derek:

I have reviewed the request for the 2 foot variance to allow a pergola with a side yard setback of 1 feet and offer the following comments:

1. The pergola and brick patio were constructed without a permit.
2. The initial visit by an inspector found the patio and pergola completed. The inspector directed the homeowner, on two separate occasions to obtain a permit for the work.
3. The application for the permit was received July 12, 2016.
4. Zoning rejected the application due to the setback of the pergola located 12 inches from the lot line.

Therefore, I recommend the appeal be denied, and the pergola reconstructed at the proper setback of 3 feet.

RECEIVED
OCT 28 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Denisiuk Residence

Project Address: 2211 N. Champlain St.

ZBA #: 16-052

ZBA Hearing Date: November 14, 2016

To:	Jim Massarelli, Director of Engineering Charley Craig, Building Services
C:	Bill Enright, Deputy Director of Planning and Community Development Steve Hautzinger, Design Planner
From:	Derek Mach, Zoning Board of Appeals Liaison
Transmitted On:	October 27, 2016

- **A 2.0 foot variation from Chapter 28, Section 6.5-2 to allow a pergola with a side yard setback of 1.0 feet from the west property line where a minimum of 3.0 feet is required.**

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

No Comments. – Steve Hautzinger, Design Planner

Please review, comment, and return to me no later than Friday, November 4, 2016.

Petition

Now comes the Petitioner Tomasz Denisiuk

Being the owner of the property commonly known as
2211 N Champlain St Arlington Heights Il 60004

And appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a variation from Section 12.1c, Chapter 28, of the Arlington Heights Municipal Code in order to:

To maintain the existing newly constructed pergola

I hereby state that the following hardship would exist if the variation were not granted:

It would be mostly additional cost of material and labor if required to demolish and re-erect the structure again. Additionally, the petitioner would have to also endure the additional cost of removing the existing brick pavers from the patio

I hereby state that the variation, if granted will not alter the essential character of the locality because:

The newly constructed structure is hardly visible from street and has no adverse impact on the adjacent properties and the whole neighborhood as such.

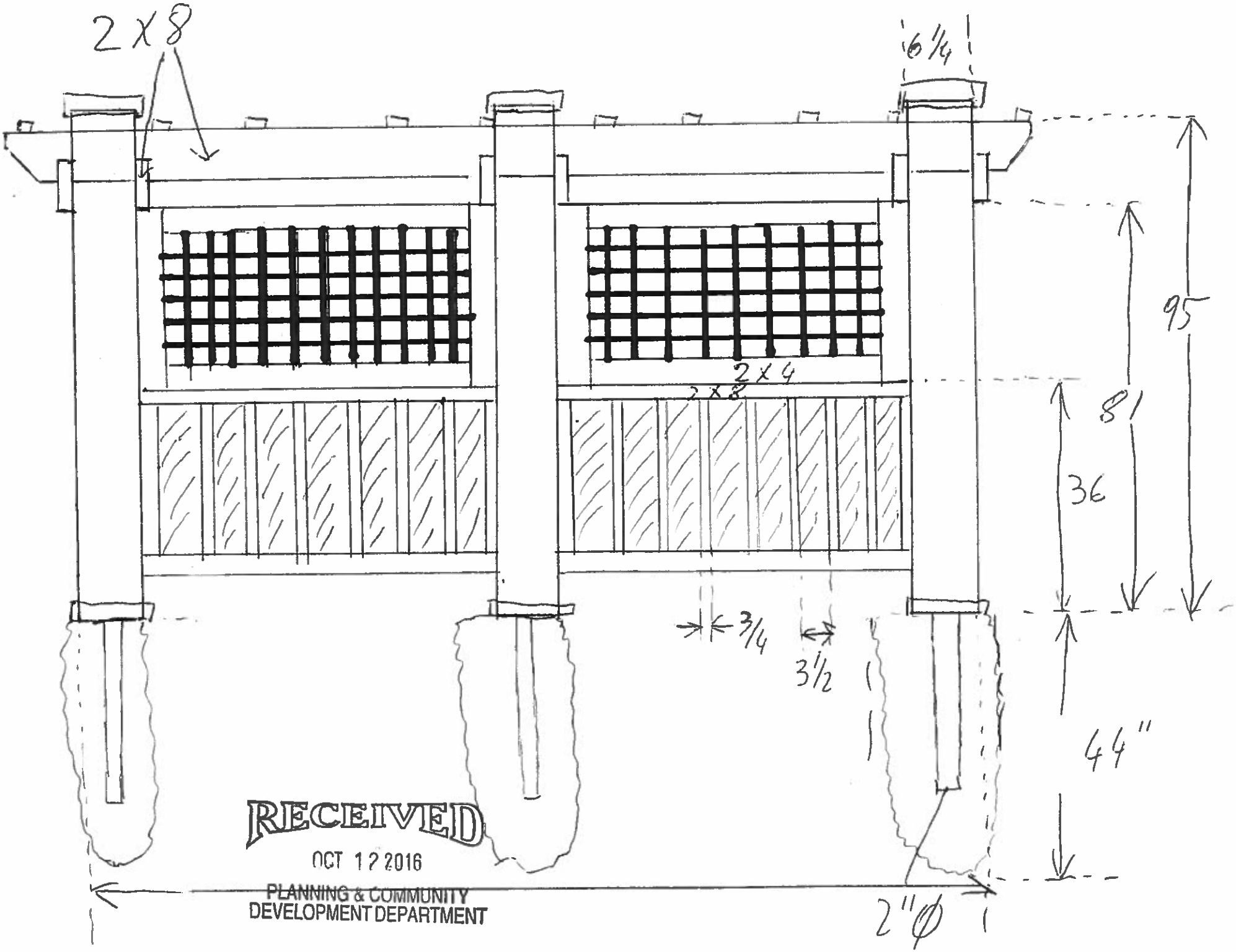
Signed Tomasz Denisiuk

Date

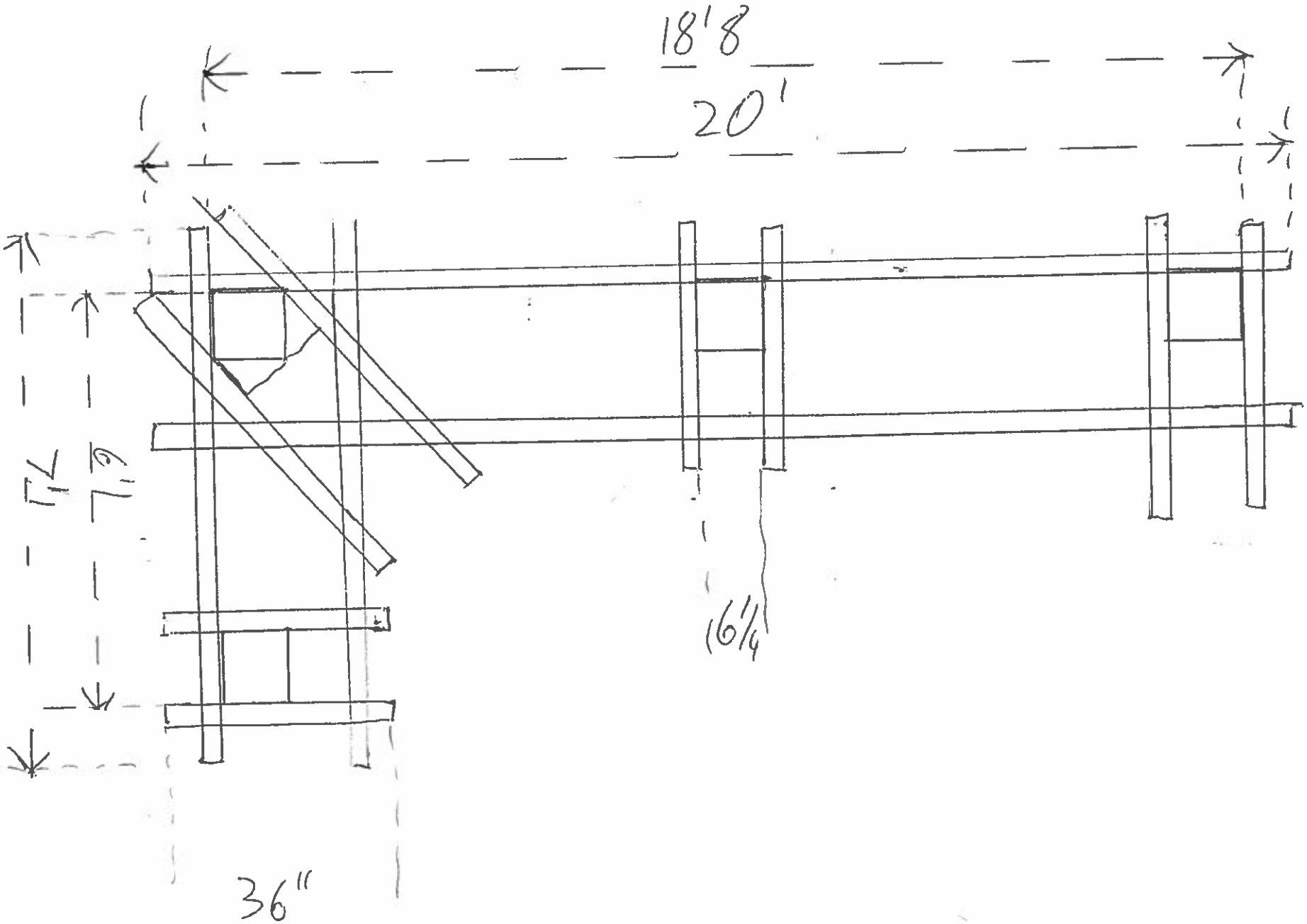
Tomasz Denisiuk

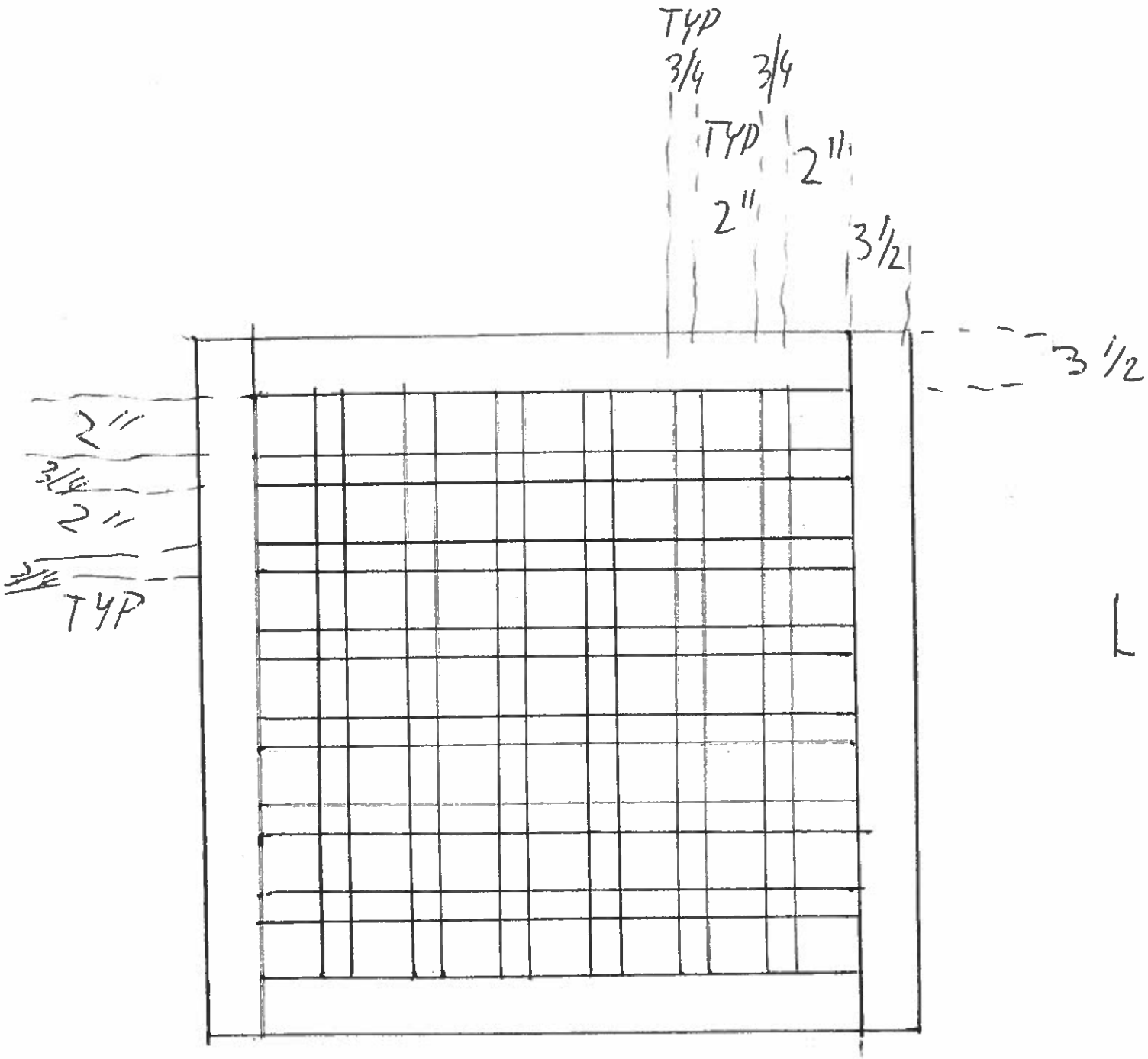
10-11-2016

RECEIVED
OCT 12 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



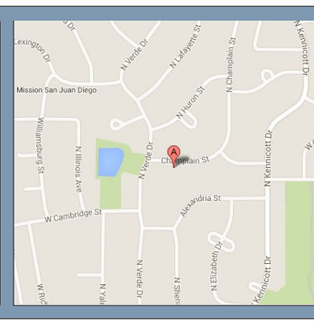
RECEIVED
OCT 12 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT


18'8
20'
7'9
16¼
36"



LATTICE

EXACTA
ILLINOIS SURVEYORS, INC.



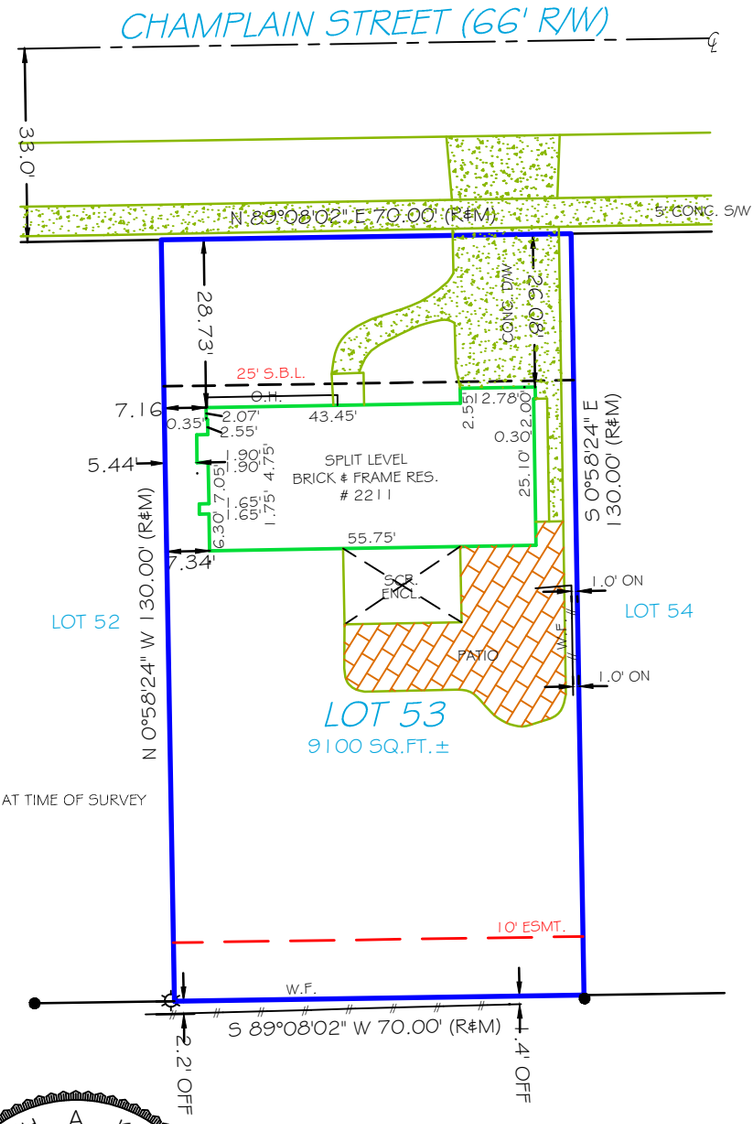
PROPERTY ADDRESS: 2211 CHAMPLAIN STREET ARLINGTON HEIGHTS, ILLINOIS 60004

SURVEY NUMBER: 1610.3985

FIELD WORK DATE: 11/1/2016 REVISION DATE(S): (REV.0 11/4/2016)

16103985
BOUNDARY SURVEY
COOK COUNTY

LOT 53, GREENBRIAR IN THE VILLAGE GREEN UNIT NO. 2, BEING A SUBDIVISION OF PART OF THE E1/2 OF THE SW1/4 AND PART OF THE E1/2 OF THE NW1/4 OF SECTION 18, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE 3RD P.M., ACCORDING TO THE RECORDED PLAT THEREOF RECORDED JANUARY 26, 1952, AS DOCUMENT 18386088, COOK COUNTY, ILLINOIS.



PROPERTY WAS SNOW COVERED AT TIME OF SURVEY

STATE OF ILLINOIS
COUNTY OF GRUNDY } SS

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS 4th DAY OF NOVEMBER, 2016 AT 316 E. JACKSON STREET IN MORRIS, IL 60450.

Kenneth Kennedy

ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3403
LICENSE EXPIRES 11/30/2018
EXACTA LAND SURVEYORS LB# 5763

KENNETH A. KENNEDY
035-003403
PROFESSIONAL
LAND SURVEYOR
MORRIS, IL
STATE OF ILLINOIS

30 0 15 30
GRAPHIC SCALE (In Feet)
1 inch = 30' ft.

THE ABOVE SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE NUMBER IN THE BOTTOM RIGHT CORNER.

POINTS OF INTEREST
NONE VISIBLE

CLIENT NUMBER:

DATE: 11/4/2016

BUYER:

SELLER:

CERTIFIED TO: .

Exacta Proudly Supports
THE cara PROGRAM
transforming lives...
www.thecaraprogram.org
Since 1991, The Cara Program has placed more than 4,600 motivated adults into more than 6,600 quality jobs, catalyzing the same number of families to stop the transfer of poverty from one generation to the next.

EXACTA
ILLINOIS SURVEYORS, INC.
LB# 184005763
www.exactachicago.com
P: (773) 305-4010 • F: (773) 305-4011
316 East Jackson Street, Morris, IL 60450

REPORT OF SURVEY 1610.3985

LEGAL DESCRIPTION:

LOT 53, GREENBRIAR IN THE VILLAGE GREEN UNIT NO. 2, BEING A SUBDIVISION OF PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 AND PART OF THE EAST 1/2 OF THE NORTHWWEST 1/4 OF SECTION 18, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE 3RD PRINCIPAL MERIDIAN, ACCORDING TO THE RECORDED PLAT THEREOF RECORDED JANUARY 26, 1952, AS DOCUMENT 18386088, COOK COUNTY, ILLINOIS.

JOB SPECIFIC SURVEYOR NOTES:

SURVEYOR BEARINGS ARE USED FOR ANGULAR REFERENCE AND ARE USED TO SHOW ANGULAR RELATIONSHIPS OF LINES ONLY AND ARE NOT RELATED OR ORIENTATED TO TRUE OR MAGNETIC NORTH. BEARINGS ARE SHOWN AS SURVEYOR BEARINGS, AND WHEN SHOWN AS MATCHING THOSE ON THE SUBDIVISION PLATS ON WHICH THIS SURVEY IS BASED, THEY ARE TO BE DEEMED NO MORE ACCURATE AS THE DETERMINATION OF A NORTH ORIENTATION MADE ON AND FOR THOSE ORIGINAL SUBDIVISION PLATS. NORTH 0 DEGREES EAST IS ASSUMED AND UPON PREPARATION OF THIS PLAT, THE RESULTING BEARING BETWEEN FOUND POINTS AS SHOWN ON THIS SURVEY IS THE BASIS OF SAID SURVEYOR BEARINGS AS DEFINED AND REQUIRED TO BE NOTED BY ILLINOIS ADMINISTATIVE CODE TITLE 68, CHAPTER 12, SUBCHAPTER b, PART 1270, SECTION 1270.56, PARAGRAPH b, SUBPARAGRAPH 6, ITEM K.

GENERAL SURVEYOR NOTES:

1. The Legal Description used to perform this survey was supplied by others. The survey does not determine or imply ownership.
2. This survey only shows improvements found above ground. Underground footings, utilities and encroachments are not located on this survey map.
3. If there is a septic tank, well or drain field on this survey, the location of such items was shown to us by others and are not verified.
4. This survey is exclusively for the use of the parties to whom it is certified.
5. Any additions or deletions to this 2 page survey document are strictly prohibited.
6. Dimensions are in feet and decimals thereof.
7. Due to varying construction standards, house dimensions are approximate.
8. Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain such data was performed at www.fema.gov.
9. All pins marked as set are 5/8 diameter, 18" iron rebar.
10. An examination of the abstract of title was not performed by the signing surveyor to determine which instruments, if any, are affecting this property.
11. Points of Interest (POI's) are selected above-ground improvements which may be in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor. These POI's may not represent all items of interest to the viewer.
12. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
13. The information contained on this survey has been performed exclusively, and is the sole responsibility, of Exacta Surveyors. Additional logo or references to third party firms are for informational purposes only.
14. House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity.

LEGEND:

SURVEYOR'S LEGEND

LINETYPES: (UNLESS OTHERWISE NOTED)

- BOUNDARY LINE
- STRUCTURE
- CENTERLINE
- CHAIN-LINK or WIRE FENCE
- EASEMENT
- EDGE OF WATER
- IRON FENCE
- OVERHEAD LINES (OHL)
- SURVEY TIE LINE
- WALL OR PARTY WALL
- WOOD FENCE
- VINYL FENCE

SURFACE TYPES: (UNLESS OTHERWISE NOTED)

- ASPHALT
- BRICK or TILE
- CONCRETE
- COVERED AREA
- WATER
- WOOD

SYMBOLS: (UNLESS OTHERWISE NOTED)

- BENCH MARK
- CENTERLINE
- CENTRAL ANGLE or DELTA
- COMMON OWNERSHIP
- CONTROL POINT
- CONCRETE MONUMENT
- CATCH BASIN
- ELEVATION
- FIRE HYDRANT
- FND OR SET MONUMENT
- GUYWIRE OR ANCHOR
- MANHOLE
- TREE
- UTILITY OR LIGHT POLE
- WELL

A/C	AIR CONDITIONING
B.R.	BEARING REFERENCE
B.C.	BLOCK CORNER
B.F.P.	BACKFLOW PREVENTOR
BLK.	BLOCK
BLDG.	BUILDING
BM	BENCHMARK
B.R.L.	BUILDING RESTRICTION LINE
BSMT.	BASEMENT
BW	BAYBOX WINDOW
(C)	CALCULATED
C	CURVE
CATV	CABLE TV. RISER
C.B.	CONCRETE BLOCK
CHIM.	CHIMNEY
C.L.F.	CHAIN LINK FENCE
C.O.	CLEAN OUT
CONC.	CONCRETE
COR.	CORNER
CSW	CONCRETE SIDEWALK
C.V.G.	CONCRETE VALLEY GUTTER
C/L	CENTER LINE
C/P	COVERED PORCH
C/S	CONCRETE SLAB
(D)	DEED
D.F.	DRAIN FIELD
D/W	DRIVEWAY
ELEV.	ELEVATION
ENCL.	ENCLOSURE
ENT.	ENTRANCE
EM	ELECTRIC METER
E.O.P.	EDGE OF PAVEMENT
E.O.W.	EDGE OF WATER
EUB	ELECTRIC UTILITY BOX
(F)	FIELD
FCM	FND. CONCRETE MONUMENT
F/DH	FOUND DRILL HOLE
F.F.	FINISHED FLOOR
FIP	FOUND IRON PIPE
FIPC	FOUND IRON PIPE & CAP
FIR	FOUND IRON ROD
FIRC	FOUND IRON ROD & CAP
FN	FOUND NAIL
FN&D	FOUND NAIL & DISC
FND.	FOUND
FPKN	FOUND PARKER-KALON NAIL
FPKN&D	FOUND PK NAIL & DISK
FRRSPK	FOUND RAILROAD SPIKE
GAR.	GARAGE
GM	GAS METER

ID.	IDENTIFICATION
ILL.	ILLEGIBLE
INST.	INSTRUMENT
INT.	INTERSECTION
L	LENGTH
LB#	LICENSE # - BUSINESS
LS#	LICENSE # - SURVEYOR
(M)	MEASURED
M.B.	MAP BOOK
M.E.S.	MITERED END SECTION
M.F.	METAL FENCE
N.R.	NON RADIAL
N.T.S.	NOT TO SCALE
O.C.S.	ON CONCRETE SLAB
O.G.	ON GROUND
OFF	OUTSIDE OF SUBJECT PARCEL
OH.	OVERHANG
OHL	OVERHEAD LINES
ON	INSIDE OF SUBJECT PARCEL
O.R.B.	OFFICIAL RECORD BOOK
O.R.V.	OFFICIAL RECORD VOLUME
O/A	OVERALL
O/S	OFFSET
(P)	PLAT
P.B.	PLAT BOOK
P.C.	POINT OF CURVATURE
P.C.C.	POINT OF COMPOUND CURVATURE
P.C.P.	PERMANENT CONTROL POINT
P/E	POOL EQUIPMENT
PG.	PAGE
P.I.	POINT OF INTERSECTION
PLS	PROFESSIONAL LAND SURVEYOR
PLT	PLANTER
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
P.P.	PINCHED PIPE
P.R.C.	POINT OF REVERSE CURVATURE
P.R.M.	PERMANENT REFERENCE MONUMENT
PSM	PROFESSIONAL SURVEYOR AND MAPPER
P.T.	POINT OF TANGENCY
R	RADIUS or RADIAL
(R)	RECORD
RGE.	RANGE
RES.	RESIDENCE
R/W	RIGHT OF WAY
(S)	SURVEY
S.B.L.	SETBACK LINE
S.C.L.	SURVEY CLOSURE LINE
SCR.	SCREEN

SEC.	SECTION
SEP.	SEPTIC TANK
SEW.	SEWER
S/GD	SET GLUE DISC
SIRC	SET IRON ROD & CAP
SN&D	SET NAIL & DISC
SQ.FT.	SQUARE FEET
STY.	STORY
S.T.L.	SURVEY TIE LINE
SV	SEWER VALVE
S/W	SIDEWALK
S.W.	SEAWALL
TBM	TEMPORARY BENCHMARK
TEL.	TELEPHONE FACILITIES
T.O.B.	TOP OF BANK
TWP.	TOWNSHIP
TX	TRANSFORMER
TYP.	TYPICAL
U.R.	UTILITY RISER
W/C	WITNESS CORNER
W/F	WATER FILTER
W.F.	WOODEN FENCE
WM	WATER METER/VALVE BOX
WV	WATER VALVE
V.F.	VINYL FENCE
A.E.	ACCESS EASEMENT
AN.E.	ANCHOR EASEMENT
C.M.E.	CANAL MAINTENANCE ESMT.
C.U.E.	COUNTY UTILITY ESMT.
D.E.	DRAINAGE EASEMENT
D.U.E.	DRAINAGE AND UTILITY ESMT.
ESMT.	EASEMENT
I.E./E.E.	INGRESS/EGRESS ESMT.
IRR.E.	IRRIGATION EASEMENT
L.A.E.	LIMITED ACCESS ESMT.
L.B.E.	LANDSCAPE BUFFER ESMT.
L.E.	LANDSCAPE ESMT.
L.M.E.	LAKE OR LANDSCAPE MAINTENANCE EASEMENT
M.E.	MAINTENENCE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
R.O.E.	ROOF OVERHANG ESMT.
S.W.E.	SIDEWALK EASEMENT
S.W.M.E.	STORM WATER MANAGEMENT ESMT.
T.U.E.	TECHNOLOGICAL UTILITY ESMT.
U.E.	UTILITY EASEMENT

ELECTRONIC SIGNATURE:

In order to "Electronically Sign" all of the PDFs sent by STARS, you must use a hash calculator. A free online hash calculator is available at http://www.fileformat.info/tool/md5sum.htm. To Electronically Sign any survey PDF: 1. Save the PDF onto your computer. 2. Use the online tool at http://www.fileformat.info/tool/md5sum.htm to browse for the saved PDF on your computer. 3. Select the Hash Method as SHA. 4. Click Submit. Your PDF is electronically signed if all of the characters in the SHA-1 code submitted by STARS matches the code which is produced by the hash calculator. If they match exactly, your PDF is electronically signed. If the codes do not match exactly, your PDF is not authentic.

PRINTING INSTRUCTIONS:

1. While viewing the survey in Adobe Reader, select the "Print" button under the "File" tab.
2. Select a printer with legal sized paper.
3. Under "Print Range", click select the "All" toggle.
4. Under the "Page Handling" section, select the number of copies that you would like to print.
5. Under the "Page Scaling" selection drop down menu, select "None."
6. Uncheck the "Auto Rotate and Center" checkbox.
7. Check the "Choose Paper size by PDF" checkbox.
8. Click OK to print.

TO PRINT IN BLACK + WHITE:

1. In the main print screen, choose "Properties".
2. Choose "Quality" from the options.
3. Change from "Auto Color" or "Full Color" to "Gray Scale".

OFFER VALID ONLY FOR THE BUYERS LISTED ON THE FIRST PAGE OF THIS SURVEY:

EXACTA

25% off

(UP TO$500)

FUTURE SURVEYING SERVICES ON THIS PROPERTY*

*Offer valid for fence stakeouts and additions to the existing structures only.

Offer valid only for the buyer as listed on the first page of this survey. Total discount not to exceed $500. Coupon expires 2 years from the date of issuance.

EXACTA Exacta Illinois Surveyors, Inc.

www.exactachicago.com
P: (773) 305-4010 • F: (773) 305-4011
316 East Jackson Street, Morris, IL 60450

Item: Mongoven Residence - 3921 N. Proctor Circle

Department: Planning & Community Development

REQUEST

1. A 1 foot variance from Chapter 28, Section 6.13-3b (Location of Fences) to allow an increase to the maximum fence height from 5-feet to 6-feet, for a fence located along the rear and side (west) property line in the rear yard.

2. A variation from Chapter 28, Section 6.13-3b (Location of Fences) to allow a solid fence along the rear and side (west) property line where only a semi-open or open fence is permitted.

ATTACHMENTS:

Description	Type
Staff Report	Board or Commission Report
Department Comments	Correspondence
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: November 14, 2016
Date Prepared: November 9, 2016
Project Title: Mongoven Residence
Address: 3921 N. Proctor Circle

Background Information

Petition Number: ZBA #16-053
Petitioner: Larry Mongoven
Address: 3921 N. Proctor Circle
Arlington Heights IL 60004
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

The petitioner proposes to construct a 6 foot high solid wood fence along the rear property line and the side (west) property line in the rear yard. Therefore, the petitioner requests the following variations:

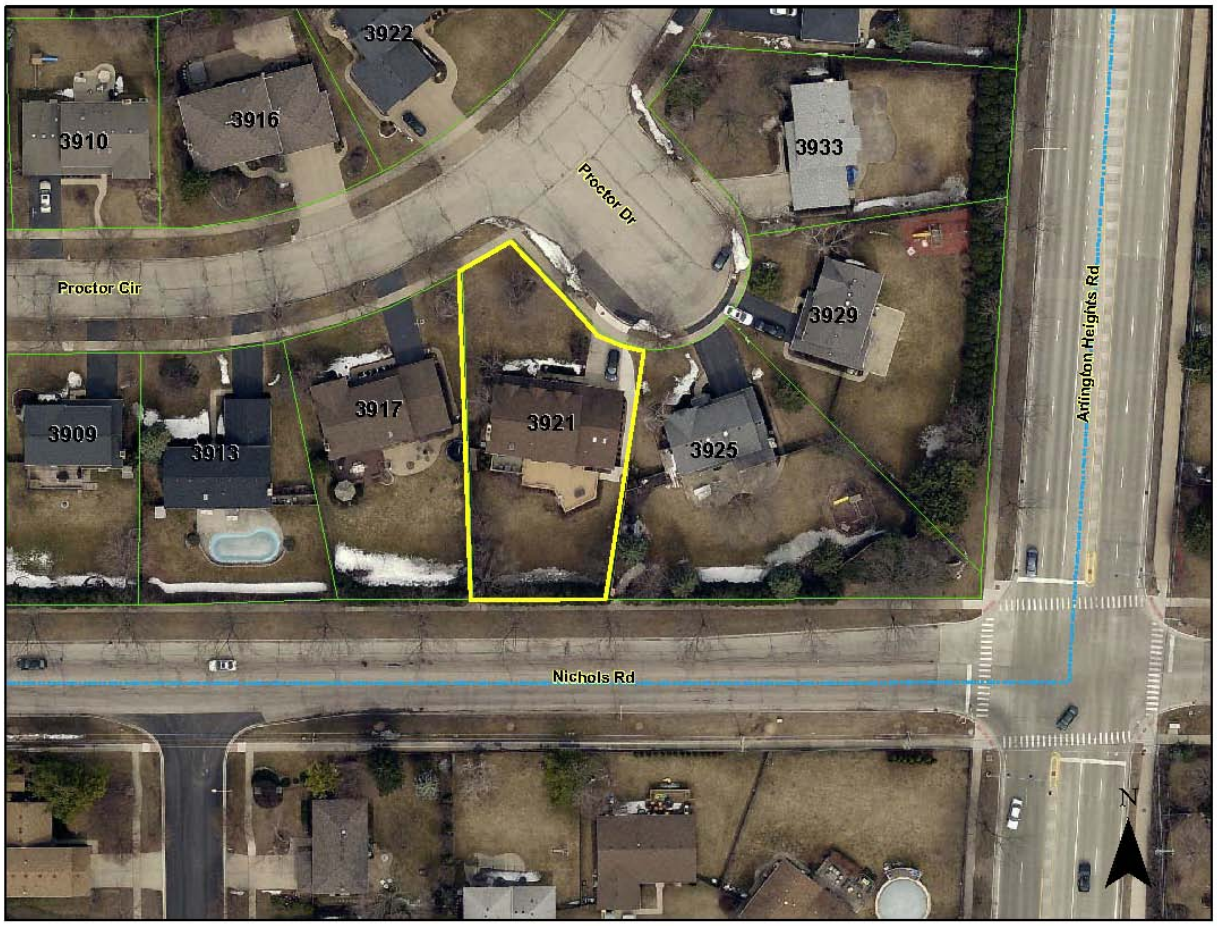
- A 1 foot variance from Chapter 28, Section 6.13-3b (Location of Fences) to allow an increase to the maximum fence height from 5-feet to 6-feet, for a fence located along the rear and side (west) property line in the rear yard.

- A variation from Chapter 28, Section 6.13-3b (Location of Fences) to allow a solid fence along the rear and side (west) property line where only a semi-open or open fence is permitted.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

Item	Provided	Dated	Remarks
1. Notification Affidavit	✓	10/28/16	
2. List of Property Owners Within 250 feet of Subject Property	✓	10/28/16	
3. Letter that was Mailed	✓	10/28/16	
4. Photographs of Sign on Property	✓	10/28/16	

Photographs of Existing Structure

ZBA# 15-053
3921 N Proctor Circle- ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering JJM

Submitted: October 27, 2016
Completed: October 31, 2016

The proposed ZBA application indicates that the petitioner is seeking:

A 1 ft variance to allow an increase to the maximum fence height from 5 ft to 6 ft for a fence located along the perimeter of the rear yard; and to allow a solid fence along with rear property line where only a semi-open or open fence is permitted.

NOTE: The proposed variance is to replace the existing 6 ft fence that backs up to Nichols Rd.

The Engineering Department has no objection to the proposed variations.

Village of Arlington Heights
Building Services Department

Interoffice Memorandum

To:	**Derek Mach, Zoning Board of Appeals Liaison**
From:	**Deb Pierce, Plan Reviewer, Building Services Department**
Project Name:	**Mongoven Residence**
Project Address:	**3921 N Proctor Circle**
ZBA #:	**16-053**
Date:	**October 27, 2016**

Derek:

I have reviewed the request for a 1 foot variance to allow a 6 foot fence, as well as the request to allow a solid fence rather than the semi-open or open fence, along the perimeter of the rear yard and have no objection to the variances.

The homeowner is responsible for repairing the fence if and when the utility companies need access to the public utility easement in his rear yard.

RECEIVED
OCT 28 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Mongoven Residence

Project Address: 3921 N. Proctor Circle

ZBA #: 16-053

ZBA Hearing Date: November 14, 2016

To:	Jim Massarelli, Director of Engineering Charley Craig, Building Services
C:	Bill Enright, Deputy Director of Planning and Community Development Steve Hautzinger, Design Planner
From:	Derek Mach, Zoning Board of Appeals Liaison
Transmitted On:	October 27, 2016

- **A 1 foot variance from Chapter 28, Section 6.13-3b (Location of Fences) to allow an increase to the maximum fence height from 5-feet to 6-feet, for a fence located along the perimeter of the rear yard.**

- **A variation from Chapter 28, Section 6.13-3b (Location of Fences) to allow a solid fence along the rear property line where only a semi-open or open fence is permitted.**

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

NO COMMENTS. - STEVE HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Friday, November 4, 2016.

PETITION

NOW COMES the Petitioner Lawrence Mongoven being the owner of the property commonly known as: 3921 N. Proctor Circle, Arlington Heights, Illinois, 60004 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 6.13, Chapter 28, of the Arlington Heights Municipal Code, in order to:

Replace the existing 6' fence across the back of the lot (which backs up to Nichols Road) with a new 6' privacy fence. Our current fence is 25+ years old and starting to come down. And, replace the existing 6' fence along the side of the house between 3921 and 3917 N. Proctor.

I hereby state that the following hardship would exist if the variation were not granted:

Nichols Road is a busier street (see attached vehicle inventory) that stretches from Buffalo Grove Road to beyond Wilke Road. Many cars travel this street at higher speeds and we also see and hear traffic from police cars pulling vehicles over, emergency vehicles entering the neighborhood (as this is the main entry point to several neighborhoods) and many children going to and from school.

I hereby state that the variation, if granted, will not alter the essential character of the locality because:

All of the fences are currently at 6'. We are trying to replace ours at the same height to keep the uniformity with the homes in Terramere Neighborhood that back up to Nichols Road. It has always had a consistent fence, and we are trying to keep that appealing presence.

Signed

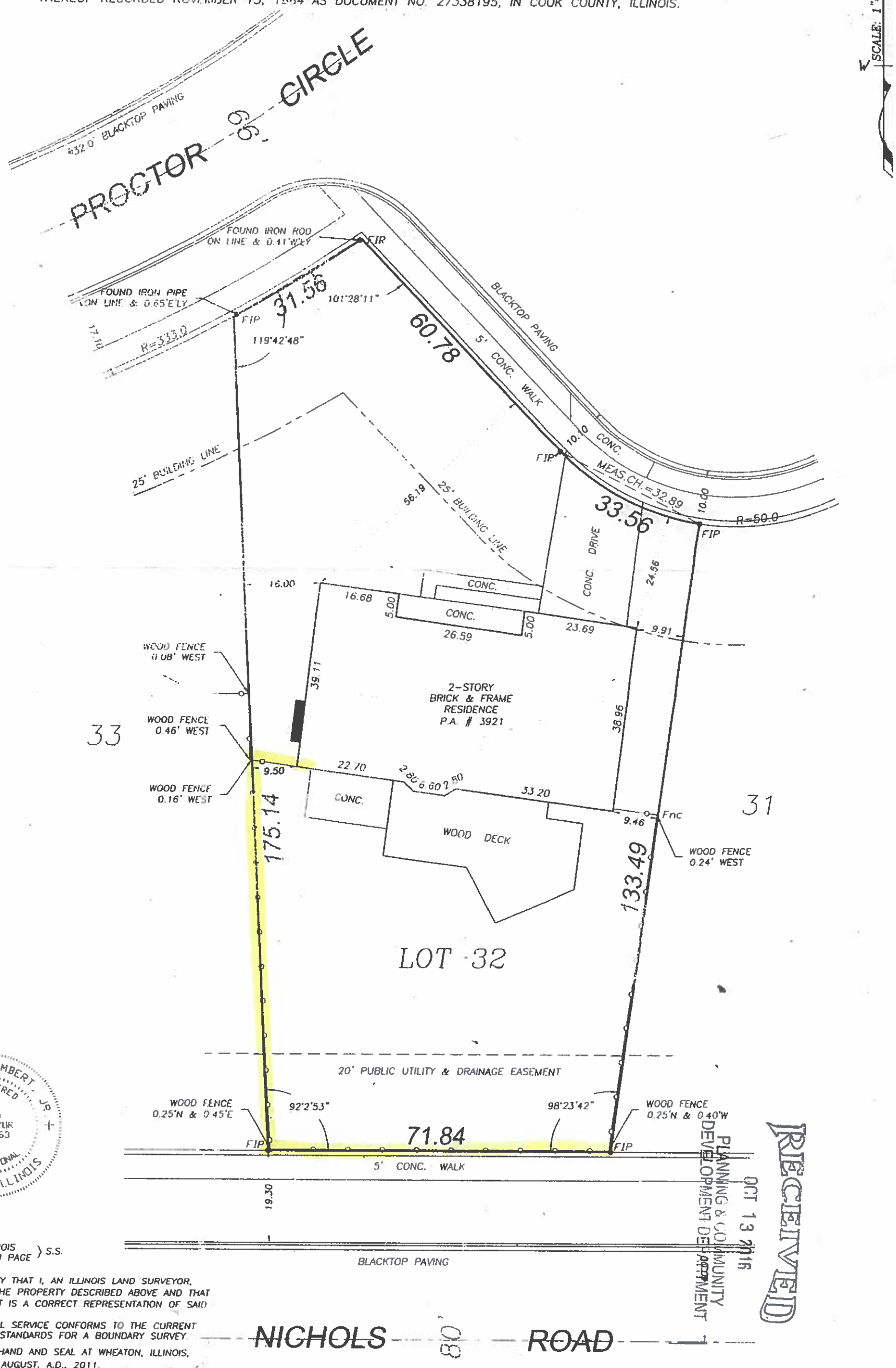
Lawrence J. Mongoven

Petitioner

Date: 10/15/16

PLAT OF SURVEY

LOT 32 IN TERRAMERE OF ARLINGTON HEIGHTS UNIT 9, BEING A SUBDIVISION IN THE NORTH 1/2 OF FRACTIONAL SECTION 6, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 15, 1984 AS DOCUMENT NO. 27338195, IN COOK COUNTY, ILLINOIS.



STATE OF ILLINOIS
COUNTY OF DU PAGE } S.S.

THIS IS TO CERTIFY THAT I, AN ILLINOIS LAND SURVEYOR, HAVE SURVEYED THE PROPERTY DESCRIBED ABOVE AND THAT THE ANNEXED PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

GIVEN UNDER MY HAND AND SEAL AT WHEATON, ILLINOIS, THIS 9TH DAY OF AUGUST, A.D., 2011.

ORDERED BY: OLDFIELD, FOX & SARNA ORDER NO. 11 G 042 FILE NO. 1103

SECTION FIVE

APPENDIX

TABLE 4. THOROUGHFARE INVENTORY

MAJOR ARTERIAL STREETS

STREET	TRAFFIC VOLUME 2010 ADT	CHARACTERISTICS (ROW/PVMT/LN)	REMARKS
Algonquin Road	[illegible]	[illegible]	Maintable median, intermittent sidewalks, important link to IL 53 and Ha per College
Arlington Heights Road	18,500 36,400	162/100/48/4	Undivided 4 lane pavement, primary north/south arterial within village, connection with Northwest Tollway (I-90)
Central Road	7,500 2,300	100/48/4	Undivided 4-lane pavement, intermittent sidewalks
~~Dundee Road~~	~~[illegible]~~	~~100/48/4~~	~~Current Illinois 83 terminus~~
Golf Road	32,[illegible] 41,400	100/48/4	Important route to Intermittent sidewalks
Lake Cook Road	[illegible]	[illegible]	Future Illinois 53 terminus, no sidewalks
Northwest Highway	[illegible]	[illegible]	Undivided 4 lane pavement, intermittent sidewalks, parallels C & NW Railroad, important diagonal link providing access to race track site, IL 53 and the [illegible]
Palatine Road	[illegible]	[illegible]	Roadway constructed to urban expressway standards, 4-lane divided roadway with 2-lane frontage roads and limited access
Rand Road	24,900 31,400	130/48/4	4 lane pavement with painted median, intermittent sidewalks, significant summer weekend and holiday traffic

NA Not Available
ADT Average Daily Traffic
ROW Right of Way (feet); PVMT - pavement width (feet)/LN-Number of traffic lanes

SECONDARY ARTERIAL STREETS

STREET	TRAFFIC VOLUME 2010 ADT	CHARACTERISTICS (ROW/PVMT/LN)	REMARKS
Arthur Avenue	[illegible]	50/39/2	Provides direct continuity for Busse & Dryden corridors, intermittent sidewalks
Buffalo Grove Road (Hintz to Dundee)	[illegible]	[illegible]	[illegible]
Camp McDonald	[illegible]	66/[illegible]/24/[illegible]/2	Intermittent sidewalk, curb and gutter improvements, variable pavement width, parking permitted along wider sections. Designated Secondary Arterial in Wheeling Plan
Davis (Arthur to Arthur Crossing)	[illegible]	66/40/2	Connects Arthur to Northwest Highway
Dryden Avenue (North of Northwest Highway)	NA	[illegible]/(12-39)/2	Undivided 3-lane pavement, sidewalk curb and gutter improvements, railroad crossing at Arthur Avenue and linkage with Windsor/Buffalo Grove Road will provide an alternative north south route through village
Euclid Avenue	[illegible]	66/20-26/2	Pavement width variable, sidewalk, curb and gutter improvement in segments provides regional linkage to race track site, Randhurst, Glenview Naval Air Station
Hintz Road	[illegible]	66 100 /24/2	Narrow 2-lane pavement, sidewalk, curb and gutter improvements in segments. Major street designation in Wheeling Plan
Kensington Road	[illegible]	[illegible]/100/20/2	Narrow 2 lane pavement, sidewalk, curb and gutter improvements in segments. Provides access to Mt. Prospect, Randhurst Mall. Similar designation in Mt. Prospect Plan

NA - Not Available
ADT Average Daily Traffic
ROW Right of Way (feet)/ PVMT pavement width (feet)/LN Number of traffic lanes

SECONDARY ARTERIAL STREETS

STREET	TRAFFIC VOLUME 2010 ADT	CHARACTERISTICS (ROW/PVMT/LN)	REMARKS
Kirchoff Road	[illegible]000-11,600	80/36/2	Designated Secondary Arterial in Rolling Meadows Plan
Schoenbeck Road	[illegible]	(83 100)34/2	Narrow 2 lane pavement, no curb and gutter improvement, few sidewalks. Similar designation in Wheeling Plan
Thomas Avenue (east of Arlington Heights Road)	1,450-2,800	140 60)/(22 37)/2	Undivided 2 lane pavement, sidewalk, curb and gutter improvements in segments Significant turn movement onto Arlington Heights Road. Similar designation in Wheeling Plan
Windsor Drive (Jane to Hintz)	NA	[illegible]	Variable pavement width, few curb and gutter improvements, Alignment with Dryden Avenue and Buffalo Grove Road Provides alternative north south route through Village
Wilke Road (Algonquin to Northwest Hwy.)	16,500-19,600	[illegible]/40/4	Undivided 4 lane pavement
Wilke Road (north of Northwest Highway)	5,900-11,300	95/22/2	Narrow, 2-lane pavement. No improvements. Interchange with Illinois Route 53 prevent Arterial Street Continuity

NA - Not Available
ADT - Average Daily Traffic
ROW - Right of Way (feet)/ PVMT - pavement width (feet)/LN Number of traffic lanes

DOWN OWN STREETS

STREET	TRAFFIC VOLUME 2010 ADT	CHARACTERISTICS (ROW/PVMT/LN	REMARKS
Campbell Street (Highland to Evergreen)	NA	Basic 2 lane traffic movement, undivided pavement, on street parking, all sidewalk curb and gutter improvements 4 way stop signs at most intersections (typical) All streets provide land access and service within the Village's Downtown and are characterized by increased pedestrian activity, commercial vehicle loading and high demand and turnover of parking space (typical)	Improvements to the downtown streets should be found in the Downtown Master Plan (typical)
Davis Street (Vail to Arlington Hts. Rd.)	NA		
Dunton Avenue (Sigwalt to Eastman)	1 250		
Eastman Street (Highland to Arlington Hts. Road)	NA		
Evergreen Street (Sigwalt to Eastman)	NA		
Highland Ave. (Sigwalt to Miner)	NA		
Minor Street (Northwest Highway to Arlington Heights Road)	NA		
Payton Run (Dunton to Evergreen)	NA		
Sigwalt Street (Highland to Arlington Hts. Rd.)	NA		
Vail Avenue (Sigwalt to St. James)	NA		
Wing Street (Evergreen to Arlington Hts. Rd., Highland to Vail)	NA		

Village of Arlington Heights

Engineering Department
847-368-5260
Traffic Volume Survey

Datasets:

Site:	**[WNicholsRd] Between N Arlington Heights Rd and N Kennicott Ave.**
Direction:	6 - West bound A>B, East bound B>A. **Lane:** 0
File:	607WNicholsRd27Jul2012.EC0 (Plus)
Identifier:	EB308GHQ MC56-L5 [MC55] (c)Microcom 19Oct04
Data type:	Axle sensors - Paired (Class/Speed/Count)

Profile:

Filter time: **9:24 Monday, July 23, 2012 => 16:22 Monday, July 30, 2012**

Column Legend:

0 [Time]	Locale time
1 [Total]	Number in time step
2 [Total]	Number in time step (AB)
3 [Total]	Number in time step (BA)

*** Monday, July 23, 2012**

Time	Total	Total West	Total East
9:00 AM	0	0	0
10:00 AM	0	0	0
11:00 AM	31	14	17
12:00 PM	0	0	0
1:00 PM	0	0	0
2:00 PM	102	52	50
3:00 PM	187	122	65
4:00 PM	202	138	64
5:00 PM	284	182	102
6:00 PM	243	157	86
7:00 PM	196	135	61
8:00 PM	134	83	51
9:00 PM	101	62	39
10:00 PM	53	29	24
11:00 PM	35	21	14
07-19	1049	665	384
06-22	1480	945	535
06-00	1568	995	573
00-00	1568	995	573

Peak step 17:00 (284) **AM Peak step** 11:00 (31) **PM Peak step** 17:00 (284)

*** Tuesday, July 24, 2012**

Time	Total	Total West	Total East
12:00 AM	12	6	6
1:00 AM	8	6	2
2:00 AM	8	5	3
3:00 AM	2	1	1

4:00 AM	7	3	4
5:00 AM	37	16	21
6:00 AM	81	27	54
7:00 AM	173	56	117
8:00 AM	193	79	114
9:00 AM	138	62	76
10:00 AM	127	66	61
11:00 AM	164	89	75
12:00 PM	165	95	70
1:00 PM	150	82	68
2:00 PM	129	64	65
3:00 PM	161	100	61
4:00 PM	222	147	75
5:00 PM	281	167	114
6:00 PM	249	145	104
7:00 PM	196	121	75
8:00 PM	119	62	57
9:00 PM	121	81	40
10:00 PM	64	35	29
11:00 PM	46	19	27
07-19	**2152**	**1152**	**1000**
06-22	**2669**	**1443**	**1226**
06-00	**2779**	**1497**	**1282**
00-00	**2853**	**1534**	**1319**

Peak step 17:00 (281) **AM Peak step** 8:00 (193) **PM Peak step** 17:00 (281)

*** Wednesday, July 25, 2012**

Time	Total	Total West	Total East
12:00 AM	13	9	4
1:00 AM	9	7	2
2:00 AM	7	4	3
3:00 AM	3	2	1
4:00 AM	10	5	5
5:00 AM	16	5	11
6:00 AM	94	29	65
7:00 AM	178	59	119
8:00 AM	174	48	126
9:00 AM	109	49	60
10:00 AM	127	60	67
11:00 AM	166	79	87
12:00 PM	136	70	66
1:00 PM	141	74	67
2:00 PM	151	96	55
3:00 PM	156	96	60
4:00 PM	216	134	82
5:00 PM	299	201	98
6:00 PM	248	158	90
7:00 PM	195	128	67
8:00 PM	132	71	61
9:00 PM	102	56	46
10:00 PM	77	43	34
11:00 PM	39	19	20
07-19	**2101**	**1124**	**977**
06-22	**2624**	**1408**	**1216**
06-00	**2740**	**1470**	**1270**
00-00	**2798**	**1502**	**1296**

Peak step 17:00 (299) **AM Peak step** 7:00 (178) **PM Peak step** 17:00 (299)

*** Thursday, July 26, 2012**

Time	Total	Total West	Total East
12:00 AM	28	15	13
1:00 AM	9	6	3
2:00 AM	16	6	10
3:00 AM	3	2	1
4:00 AM	10	4	6

5:00 AM	25	6	19
6:00 AM	83	32	51
7:00 AM	194	65	129
8:00 AM	174	56	118
9:00 AM	133	57	76
10:00 AM	132	60	72
11:00 AM	173	81	92
12:00 PM	188	89	99
1:00 PM	158	75	83
2:00 PM	184	94	90
3:00 PM	180	102	78
4:00 PM	231	134	97
5:00 PM	282	164	118
6:00 PM	211	116	95
7:00 PM	163	89	74
8:00 PM	154	90	64
9:00 PM	106	64	42
10:00 PM	80	42	38
11:00 PM	43	26	17
07-19	**2240**	**1093**	**1147**
06-22	**2746**	**1368**	**1378**
06-00	**2869**	**1436**	**1433**
00-00	**2960**	**1475**	**1485**

Peak step 17:00 (282) **AM Peak step** 7:00 (194) **PM Peak step** 17:00 (282)

*** Friday, July 27, 2012**

Time	Total	Total West	Total East
12:00 AM	18	11	7
1:00 AM	10	6	4
2:00 AM	8	4	4
3:00 AM	8	3	5
4:00 AM	5	3	2
5:00 AM	23	8	15
6:00 AM	85	29	56
7:00 AM	152	53	99
8:00 AM	156	48	108
9:00 AM	140	66	74
10:00 AM	174	84	90
11:00 AM	182	80	102
12:00 PM	169	83	86
1:00 PM	121	65	56
07-19	**1094**	**479**	**615**
06-22	**1179**	**508**	**671**
06-00	**1179**	**508**	**671**
00-00	**1251**	**543**	**708**

Peak step 11:00 (182) **AM Peak step** 11:00 (182) **PM Peak step** 12:00 (169)

*** Grand Total**

Time	Total	Total West	Total East
--	11430	6049	5381

In profile: Vehicles = 11430 / 11606 (98.48%)

Item: O'Malley Residence - 523 S. Belmont Ave.

Department: Planning & Community Development

REQUEST

1. A 5.8 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a front yard setback of 19.2 feet from the southeast property line instead of the minimum 25.0 feet.

2. A 2 foot height variance from Chapter 28, Section 6.13-3 to allow a 5 foot tall open fence in the front yard where 3 feet is the maximum height.

3. A variance from Chapter 28, Section 6.5-2 to allow an accessory structure (fire pit) in the front yard where it is only permitted in the rear yard.

ATTACHMENTS:

Description	Type
Staff Report	Board or Commission Report
Department Comments	Correspondence
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: November 14, 2016
Date Prepared: November 9, 2016
Project Title: O'Malley Residence
Address: 523 S. Belmont Ave.

Background Information

Petition Number: ZBA #16-054
Petitioner: Keith Ginnodo
Address: Kingsley/Ginnodo Architects
33 N. Hickory Ave.
Arlington Heights IL 60004
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

The subject site, which is legally described as Lots 197, 198, and the south half of Lot 199 of the Scarsdale Subdivision, is zoned R-3, One Family Dwelling and has a total land area of 27,758 square feet (0.64 acres). The property is a corner lot (Belmont Avenue and Mayfair Road), with 250.72 feet of frontage along Belmont Avenue and 187.82 feet along Mayfair Road. There is an existing single family home that is two stories tall and approximately 6,690 square feet in floor area.

The existing home faces Belmont Avenue; however, Mayfair is the front yard since it is the shorter dimension. According to Chapter 28, Section 3.2-220 a front yard is defined as; *"A yard extending across the full width of the zoning lot and lying between the lot line which fronts on a street and the nearest line of the principal building. On a corner lot, the smaller of the two dimensions adjacent to a street shall be considered the front yard".* Since the frontage along Mayfair Road is shorter than the frontage along Belmont Avenue, Mayfair is the front yard.

Yard Designations

Yard	
Front	South property line (Mayfair Road)
Rear	North property line
Side-Interior	East property line
Side-Exterior	West property line (Belmont Avenue)

The petitioner is proposing a new enclosed porch along the Mayfair frontage. Based on the information provided, the existing home and proposed porch addition will comply with all applicable R-3 district standards (see table below) except that the proposed porch is encroaching into the required front yard setback.

Zoning Analysis

District Standard	Allowed	Provided	Comply
Front Yard Setback (east)	25 feet	19.2	N
Rear Yard Setback (north)	30 feet	60	Y
Side-Interior (northeast)	20.8 feet	60	Y
Side-Exterior (west)	25 feet	25.5	Y
Building Lot Coverage	9,715 SF	5,378 SF	Y
FAR	11,541 SF	7,948 SF	Y
Impervious Surface Coverage	13,879 SF	11,691 SF	Y

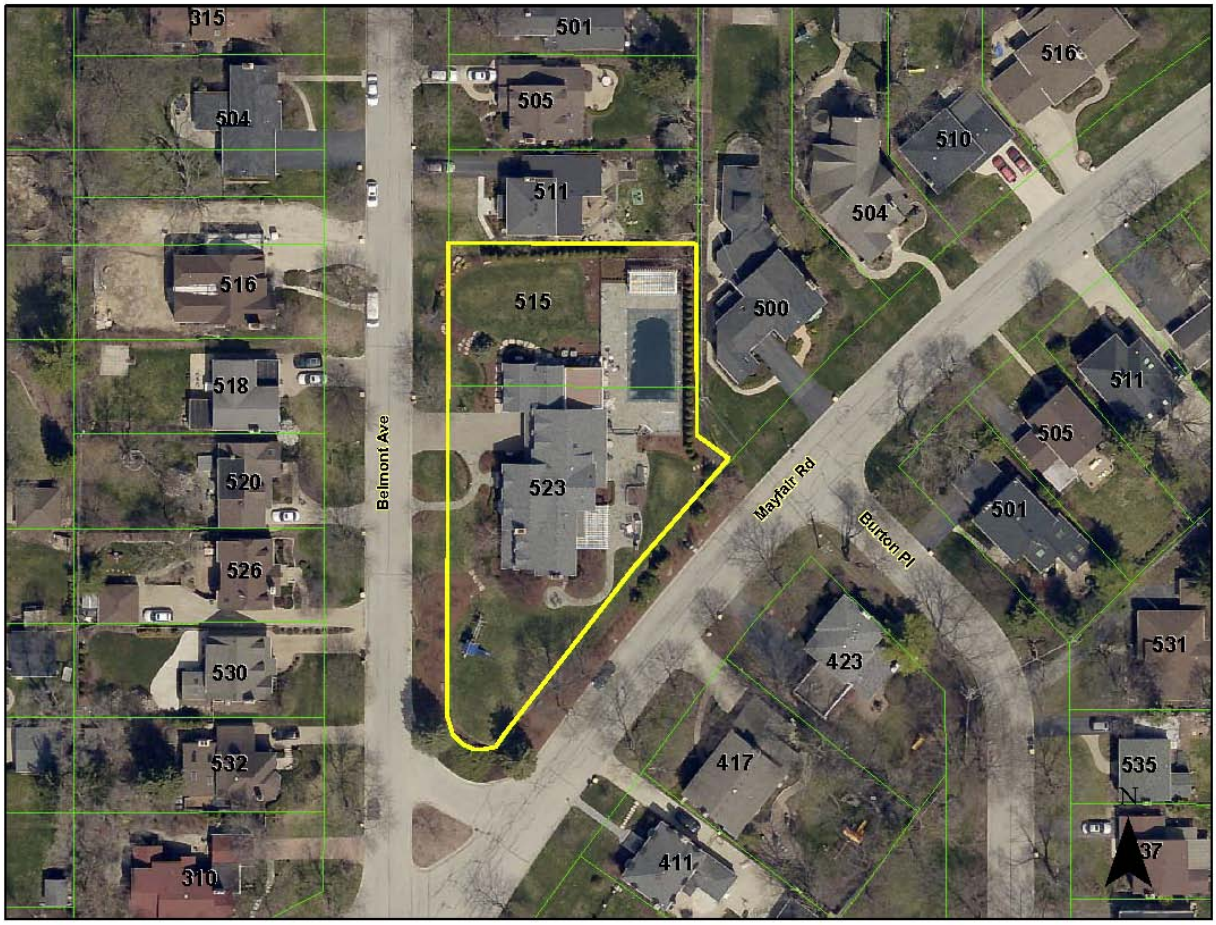
The proposed enclosed porch is setback 19.2 feet where a 25.0 foot setback is required. In addition, the petitioner is proposing a five foot high decorative metal fence in the front yard adjacent to the property line along Mayfair Road where the maximum height allowed is three feet. The petitioner is also proposing a fire pit in the side yard where it would only be permitted in the rear yard. Therefore the petitioner requests the following variations.

- A 5.8 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a front yard setback of 19.2 feet from the southeast property line instead of the minimum 25.0 feet.
- A 2 foot height variance from Chapter 28, Section 6.13-3 to allow a 5 foot tall open fence in the front yard where 3 feet is the maximum height.
- A variance from Chapter 28, Section 6.5-2 to allow an accessory structure (fire pit) in the side yard where it is only permitted in the rear yard.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

Item	Provided	Dated	Remarks
1. Notification Affidavit	✓	10/28/16	
2. List of Property Owners Within 250 feet of Subject Property	✓	10/28/16	
3. Letter that was Mailed	✓	10/28/16	
4. Photographs of Sign on Property	✓	10/28/16	

Photographs of Existing Structure

Petition – ZBA#16-054
PIN:03-32-134-017

ZBA# 16-054
523 S. Belmont Avenue - ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering JJM

Submitted: October 27, 2016
Completed: October 31, 2016

The proposed ZBA application indicates that the petitioner is seeking:

A 5.8 ft variance to allow an addition with a front yard setback of 19.2 ft from the SE property line instead of the minimum 25 ft; a 2 ft height variance to allow a 5 ft tall open fence in the front yard where 3 ft is the maximum height; and a variance to allow an accessory structure (fire pit) in the front yard where it is only permitted in the rear yard.

The Engineering Department has no objection to the proposed variance for the addition with a 19.2 ft setback from the SE property line.

Village of Arlington Heights
Building Services Department

Interoffice Memorandum

To:	**Derek Mach, Zoning Board of Appeals Liaison**
From:	**Deb Pierce, Plan Reviewer, Building Services Department**
Project Name:	**O'Malley Residence**
Project Address:	**523 S Belmont Ave**
ZBA #:	**16-054**
Date:	**October 27, 2016**

Derek:

I have reviewed the following requests for the variances:

1. A 5.8 foot variance to allow an addition with a front yard setback of 19.2 feet rather than the required 25.0 feet;
2. A 2 foot height variance to allow a 5 foot tall open fence in the front yard where 3 feet is the maximum height;
3. A variance to allow a fire pit in the front yard where it is only permitted in the rear yard;

and offer the following comments:

1. No objection to the variance.
2. Petition does not indicate the reasoning for the increase in fence height in the front yard.
3. Petition does not indicate the reasoning for the request to allow a fire pit in the front yard, however, I offer the following comments: Fire pits, depending on the type of fuel to be used (wood or natural gas), have varying separation requirements from combustible structures, including structures on neighboring properties. The main purpose of a fire pit is for entertaining family and friends on cooler evenings and therefore the location best suited would be the rear yard.

RECEIVED
OCT 28 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: O'Malley Residence

Project Address: 523 S. Belmont Ave.

ZBA #: 16-054

ZBA Hearing Date: November 14, 2016

To:	Jim Massarelli, Director of Engineering Charley Craig, Building Services
C:	Bill Enright, Deputy Director of Planning and Community Development Steve Hautzinger, Design Planner
From:	Derek Mach, Zoning Board of Appeals Liaison
Transmitted On:	October 27, 2016

- **A 5.8 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a front yard setback of 19.2 feet from the southeast property line instead of the minimum 25.0 feet.**
- **A 2 foot height variance from Chapter 28, Section 6.13-3 to allow a 5 foot tall open fence in the front yard where 3 feet is the maximum height.**
- **A variance from Chapter 28, Section 6.5-2 to allow an accessory structure (fire pit) in the front yard where it is only permitted in the rear yard.**

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

A DESIGN COMMISSION APPLICATION IS REQUIRED TO BE

Please review, comment, and return to me no later than Friday, November 4, 2016.

SUBMITTED FOR REVIEW. THE PETITIONER SHOULD CONSIDER REVISING THE DESIGN TO HAVE A FLAT ROOF WITH WHITE RAILING TO BETTER FIT WITH THE CHARACTER OF THE HOUSE AND NEIGHBORHOOD.

-STEVE HAUTZINGER, DESIGN PLANNER

October 27, 2016

PETITION

523 South Belmont Avenue, Arlington Heights, Illinois 60005

NOW COMES the Petitioner Taylor and Paulette O'Malley being the owner of the property commonly known as: 523 South Belmont Avenue, Arlington Heights, Illinois 60005 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variance from the Arlington Heights Municipal Code, Chapter 28 Zoning Regulations, Section 5.1-3.6 (Required Minimum Yards) in order to build a one story enclosed porch with a front yard setback of 19.2', Section 6.13-3 to allow a 5 foot open fence in the front yard, and Section 6.5-2 to allow an accessory structure (fire pit) in the front yard.

I hereby state that the following hardship would exist if the variation were not granted: The enclosed porch would result in a truncated form or angled wall and a non-conforming roof line. The original home and all the subsequent additions have all followed the traditional forms of a brick farm house. The design intent is to incorporate a new enclosed porch that is sympathetic in materials and form.

I hereby state that the following unique circumstances exist: The enclosed porch will be located in what is perceived as the rear yard of the home. The majority of the porch will fully adhere to the zoning guidelines, with only 54 SF that will encroach into what it considered the front yard.

I hereby state that the variation, if granted, will not alter the essential character of the locality. The enclosed porch replaces the existing pergola/dining patio and therefore does not add to the impervious surfaces on the property. The size and scale of the porch is appropriate for the existing home and the other surrounding homes. This portion of the yard and home is heavily screened from the public street.

Signed: (petitioner) T J O'Malley date: 10.28.16

Paulette A. O'Malley

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PLAT OF SURVEY

BY

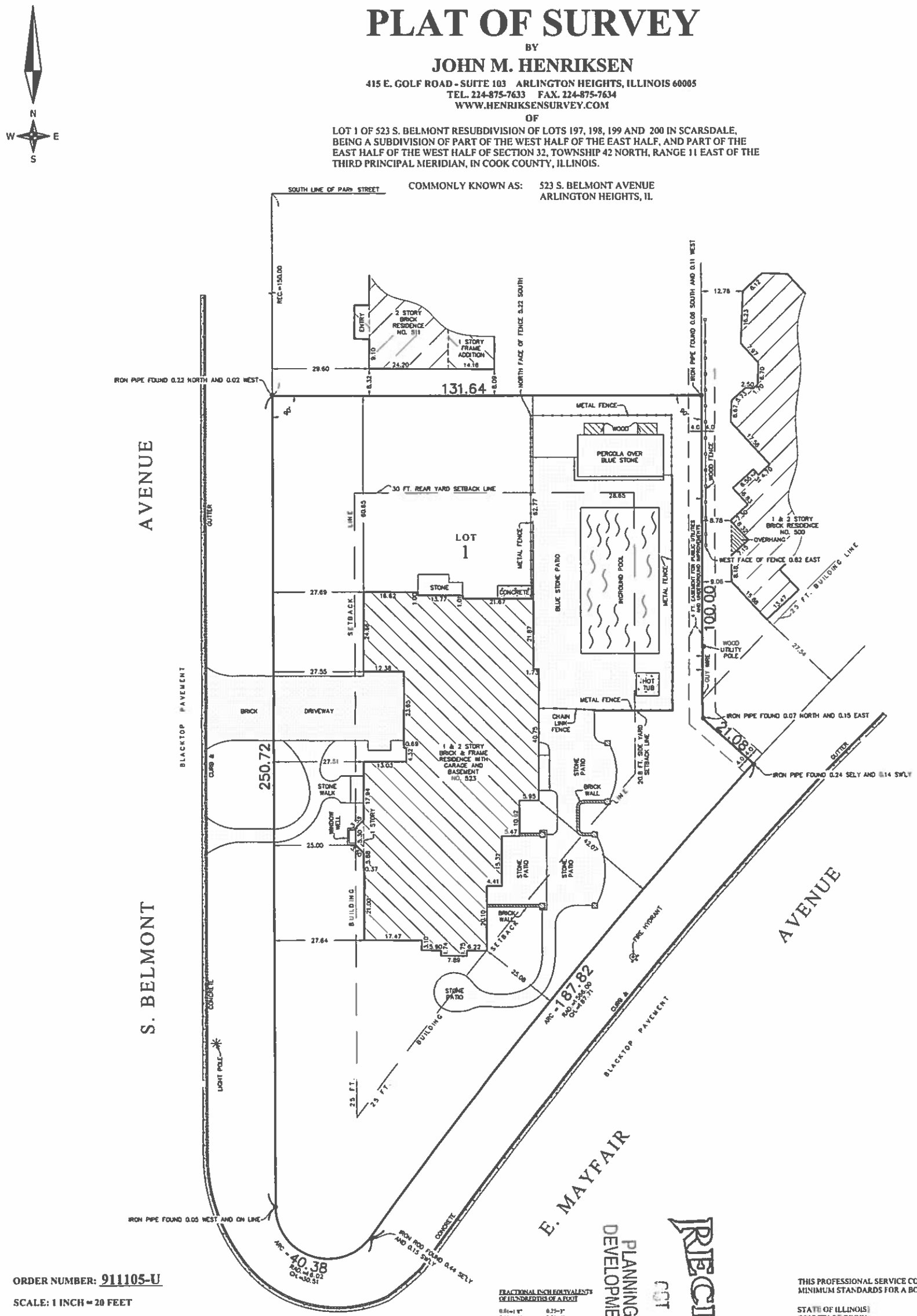
JOHN M. HENRIKSEN

415 E. GOLF ROAD - SUITE 103 ARLINGTON HEIGHTS, ILLINOIS 60005
TEL. 224-875-7633 FAX. 224-875-7634
WWW.HENRIKSENSURVEY.COM

OF

LOT 1 OF 523 S. BELMONT RESUBDIVISION OF LOTS 197, 198, 199 AND 200 IN SCARSDALE, BEING A SUBDIVISION OF PART OF THE WEST HALF OF THE EAST HALF, AND PART OF THE EAST HALF OF THE WEST HALF OF SECTION 32, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 523 S. BELMONT AVENUE
ARLINGTON HEIGHTS, IL



ORDER NUMBER: 911105-U

SCALE: 1 INCH = 20 FEET

ORDERED BY: *TAYLOR O'MALLEY*

BUILDING LINES AND EASEMENTS, IF ANY, SHOWN HEREON ARE BUILDING LINES AND EASEMENTS AS SHOWN ON THE RECORDED SUBDIVISION PLAT. CONSULT LOCAL AUTHORITIES FOR BUILDING LINES ESTABLISHED BY LOCAL ORDINANCES.

PLEASE CHECK LEGAL DESCRIPTION WITH DEED.

COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DISCREPANCY IMMEDIATELY.

DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING.

FRACTIONAL INCH EQUIVALENTS OF HUNDREDTHS OF A FOOT

0.01=0.1"	0.25=3"
0.02=0.2"	0.33=4"
0.03=0.4"	0.37=4-1/2"
0.04=0.5"	0.38=4-1/2"
0.05=0.6"	0.42=5"
0.06=0.7"	0.50=6"
0.07=0.8"	0.58=7"
0.08=1"	0.62=7-1/2"
0.09=1.1"	0.63=7-1/2"
0.10=1.2"	0.67=8"
0.11=1.3"	0.75=9"
0.12=1.4"	0.83=10"
0.13=1.5"	0.87=10-1/2"
0.14=1.7"	0.88=10-1/2"
0.15=1.8"	0.92=11"
0.16=1.9"	1.00=12"
0.17=2"	

RECEIVED
OCT 14 2016
PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

STATE OF ILLINOIS}
COUNTY OF COOK}

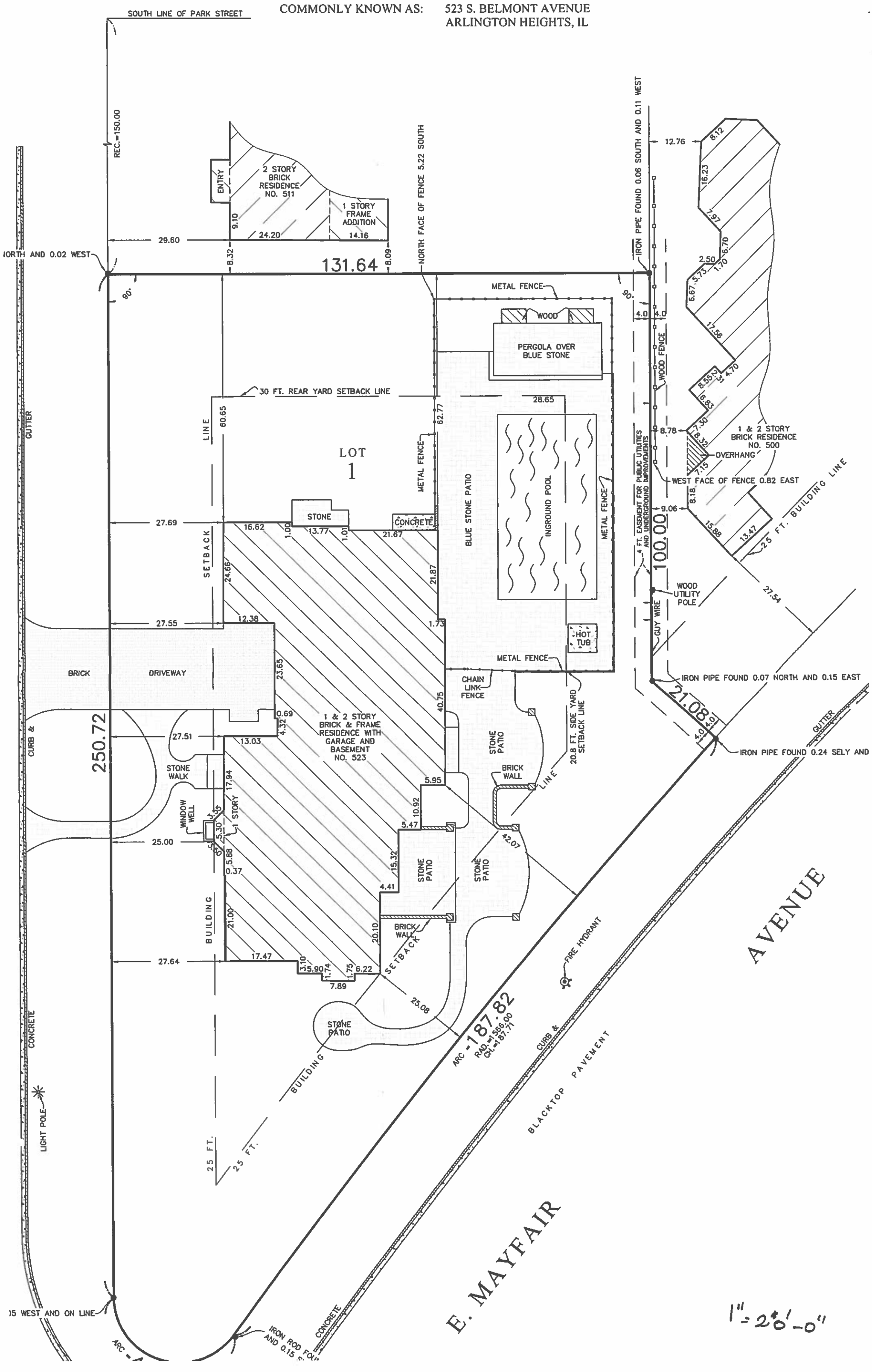
I, JOHN M. HENRIKSEN, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. DIMENSIONS ARE SHOWN IN FEET DECIMAL PARTS THEREOF.

ARLINGTON HEIGHTS, ILLINOIS SEPTEMBER 27, 2016.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2668
LICENSE EXPIRES NOVEMBER 30, 2016.

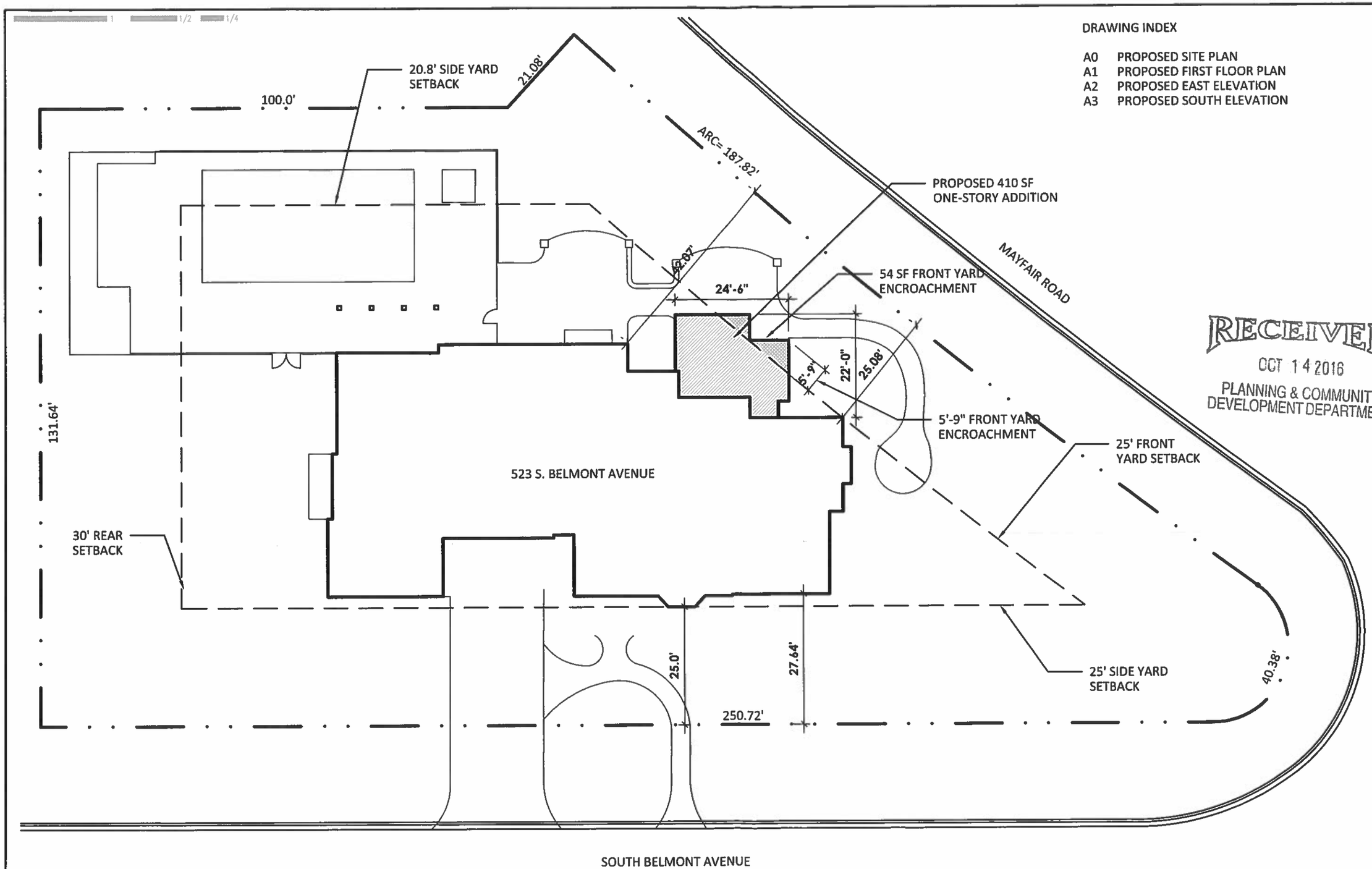
N.T.S.

COMMONLY KNOWN AS: 523 S. BELMONT AVENUE
ARLINGTON HEIGHTS, IL



DRAWING INDEX

A0	PROPOSED SITE PLAN
A1	PROPOSED FIRST FLOOR PLAN
A2	PROPOSED EAST ELEVATION
A3	PROPOSED SOUTH ELEVATION



1 PROPOSED SITE PLAN
1" = 20'-0"

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OCT 14 2016
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KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV, ARLINGTON HTS, IL 60004
9.21.16
© KINGSLEY + GINNODO ARCHITECTS

A0

TAYLOR & PAULETTE O'MALLEY

523 SOUTH BELMONT AVE., ARLINGTON HTS., IL 60005

N:\O'Malley\Drawings\O'Malley DESIGN.dwg, 10/14/2016 2:59:59 PM, Adobe PDF

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DEVELOPMENT DEPARTMENT

A2 O'MALLEY/KGA 10/7/16
1/4" = 1'0" ~~EAST~~ ELEVATION

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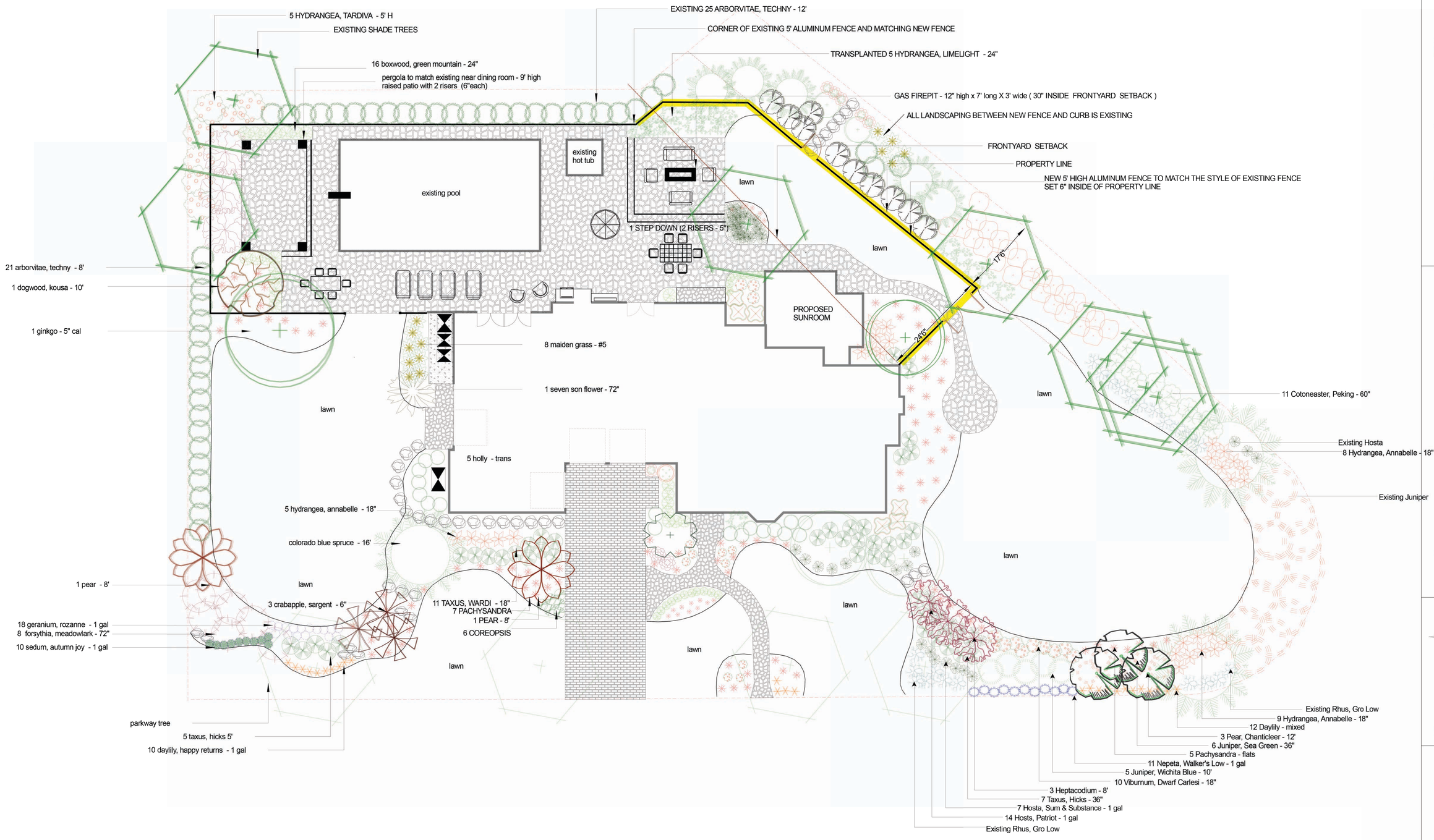
DEVELOPMENT DEPARTMENT

A3 O'Malley/KGA 10/7/16
1/4" = 1'-0" SOUTH ELEVATION



Landscape Design by: John Fitzgerald

Landscape Plan: O'MALLEY LANDSCAPE

Scale: 1" = 10'

Revision #:

Date: 11/1/2016

Item: 909 W. Campbell St. Subdivision

Department: Planning & Community Development

REQUEST

A variation from Chapter 28, Section 28-6.4 to allow the same floor plans to be built directly next to each other, or directly across the street, with no more than two of the same floor plans in a row (the exterior elevations shall comply with the monotony requirements).

ATTACHMENTS:

Description	Type
Staff Report	Board or Commission Report
Department Comments	Correspondence
Supporting Documents	Exhibits

PIN:
03-30-308-002, 03-30-308-004, 03-30-420-001, 03-30-420-002, 03-30-420-003, 03-30-420-004, 03-30-420-005, 03-30-420-006, 03-30-420-007, 03-30-420-008, 03-30-420-009, 03-30-420-010, 03-30-420-011, 03-30-420-012, 03-30-420-013, 03-30-420-014, 03-30-420-015, 03-30-420-016

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: November 14, 2016
Date Prepared: November 9, 2016
Project Title: 909 W. Campbell St. Subdivision
Address: 909 W. Campbell St.

Background Information
Petition Number: ZBA #16-055
Petitioner: William Rotolo / Lexington Homes
Address: 1731 N. Marcey St., Suite 201
Chicago, IL 60614
Existing Zoning: R-2, Single-Family District

Requested Action/Background Information

The property is commonly known as 900 W. Campbell Street and the subject site is approximately 4.69 acres. The property is bounded by Campbell Street to the north, Sigwalt Street to the south, Kaspar Avenue to the east and residential to the west.

Earlier this year, the petitioner received approval to subdivide the property into 15 single family lots and one additional lot for a detention basin. The petitioner is proposing three different floor plans. Each of the three floor plans includes three different front elevation options, A, B, C, and each exterior elevation option has different levels of exterior material treatments to create further variety.

- Floor Plan 210 includes three different exterior elevation options as illustrated in Plans 210(A), 210(B), and 210(C).
- Floor Plan 220 includes three different exterior elevation options as illustrated in Plans 220(A), 220(B), and 220(C).
- Floor Plan 230 includes three different exterior elevation options as illustrated in Plans 230(A), 230(B), and 230(C).

Village code requires new houses to comply with the following monotony requirement per Chapter 28, Section 28-6.4.

> Section 28-6.4 "*No contractor or builder shall construct two or more buildings of like exterior design on the same side of any street unless such buildings are separated by two or more buildings or building sites, or a combination thereof, of completely dissimilar design. Buildings of like exterior design may not be erected directly across the street from each other.*
>
> *All buildings shall be considered to be of "like exterior design" unless they have substantially different floor plans, elevations, and are substantially different in exterior appearance in the opinion of the Code Official."*

The petitioner is seeking a variance to allow the same floor plans next to each other (no more than two in a row), but the elevations must comply with the two lot separation requirement. Each floor plan has three basic elevation designs, A, B, & C which are considered to be substantially different and will be allowed to be built side by side. However, pursuant to the monotony code, elevations of the same design with different colors or materials (such as A.1, A.2, A.3, & A.4) are considered to be of "like exterior design" and will not be allowed side by side.
The variation request is as follows:

PIN:
03-30-308-002, 03-30-308-004, 03-30-420-001, 03-30-420-002, 03-30-420-003, 03-30-420-004, 03-30-420-005, 03-30-420-006, 03-30-420-007, 03-30-420-008, 03-30-420-009, 03-30-420-010, 03-30-420-011, 03-30-420-012, 03-30-420-013, 03-30-420-014, 03-30-420-015, 03-30-420-016

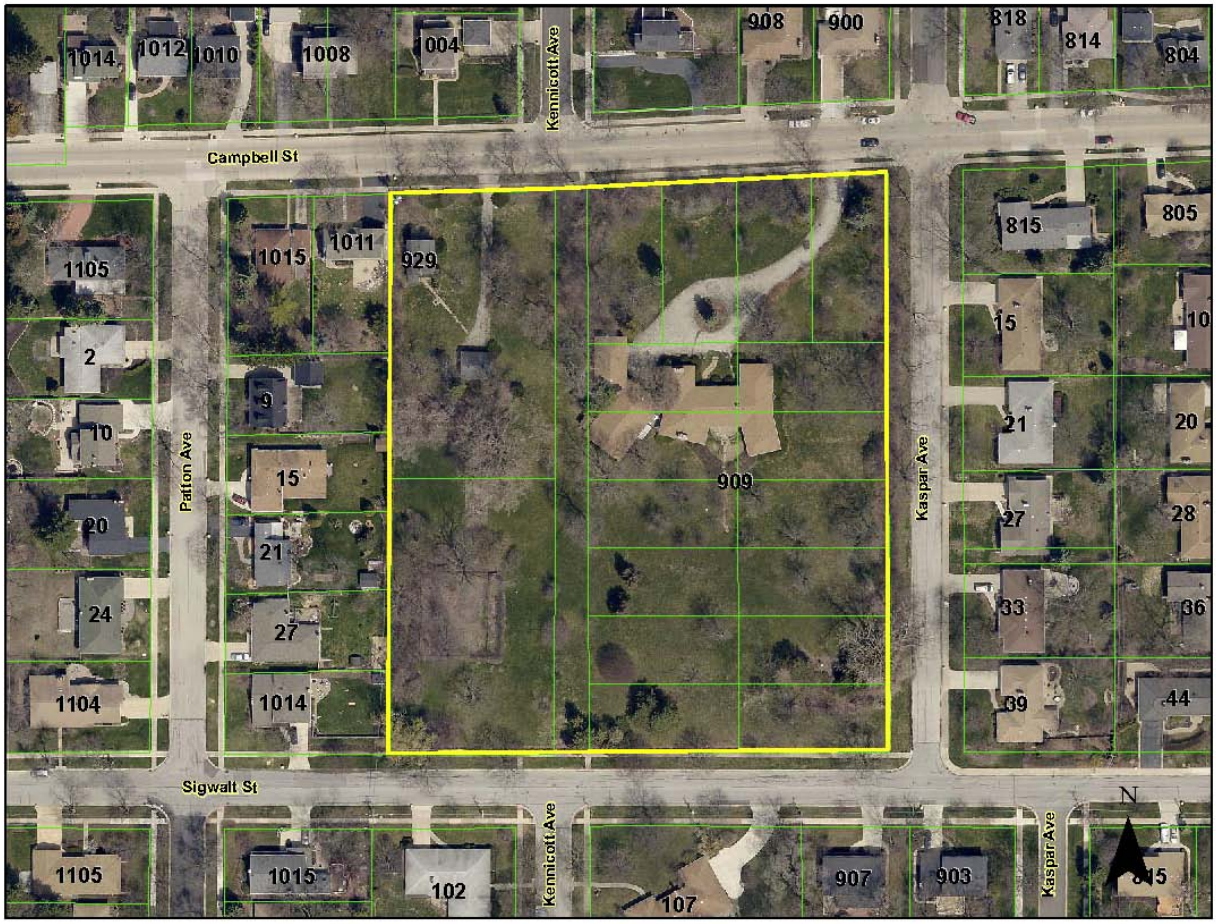
A variation from Chapter 28, Section 28-6.4 to allow the same floor plans to be built directly next to each other, or directly across the street, with no more than two of the same floor plans in a row (the exterior elevations shall comply with the monotony requirements).

The plans and elevations were approved by the Design Commission on June 14, 2016 at which time the Design Commission stated that they are not opposed to this variation request. If the Zoning Board is supportive of the variation request, a condition needs to be included that requires the exterior elevations to comply with the two lot separation monotony requirement.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



PIN:
03-30-308-002, 03-30-308-004, 03-30-420-001, 03-30-420-002, 03-30-420-003, 03-30-420-004, 03-30-420-005, 03-30-420-006, 03-30-420-007, 03-30-420-008, 03-30-420-009, 03-30-420-010, 03-30-420-011, 03-30-420-012, 03-30-420-013, 03-30-420-014, 03-30-420-015, 03-30-420-016

Items Required to be Submitted 15 Days Prior to Public Hearing

Item	Provided	Dated	Remarks
1. Notification Affidavit	✓	10/27/16	
2. List of Property Owners Within 250 feet of Subject Property	✓	10/27/16	
3. Letter that was Mailed	✓	10/27/16	
4. Photographs of Sign on Property	✓	10/27/16	

Photographs of Existing Area

ZBA# 15-055
909 W Campbell St - ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering JJM

Submitted: October 27, 2016
Completed: October 31, 2016

The proposed ZBA application indicates that the petitioner is seeking:

A variance to allow the same floor plans to be built directly next to each other, or directly across the street, with no more than two of the same floor plans in a row (the exterior elevations shall comply with the monotony requirements).

The Engineering Department has NO COMMENT on the proposed variance.

Village of Arlington Heights
Building Services Department

Interoffice Memorandum

To:	**Derek Mach, Zoning Board of Appeals Liaison**
From:	**Deb Pierce, Plan Reviewer, Building Services Department**
Project Name:	**909 W Campbell St Subdivision**
Project Address:	**909 W Campbell St**
ZBA #:	**16-055**
Date:	**October 27, 2016**

Derek:

I have reviewed the request for the variance to allow the same floor plans to be built directly next to each other, or directly across the street, with no more than two of the same floor plan in a row, and have no objection to the variance.

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OCT 28 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: 909 W. Campbell St. Subdivision

Project Address: 909 W. Campbell St.

ZBA #: 16-055

ZBA Hearing Date: November 14, 2016

To:	Jim Massarelli, Director of Engineering Charley Craig, Building Services
C:	Bill Enright, Deputy Director of Planning and Community Development Steve Hautzinger, Design Planner
From:	Derek Mach, Zoning Board of Appeals Liaison
Transmitted On:	October 27, 2016

- **A variation from Chapter 28, Section 28-6.4 to allow the same floor plans to be built directly next to each other, or directly across the street, with no more than two of the same floor plans in a row (the exterior elevations shall comply with the monotony requirements).**

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

THIS PROJECT RECEIVED DESIGN COMMISSION APPROVAL

Please review, comment, and return to me no later than Friday, November 4, 2016.

ON 6/14/16. THE PETITIONER IS COMPLYING WITH ALL DESIGN COMMISSION REQUIREMENTS, AND THE DESIGN COMMISSION DOES NOT OBJECT TO THIS VARIATION REQUEST. SEE DESIGN COMMISSION MEETING MINUTES ATTACHED.

-STEVE HAUTZINGER, DESIGN PLANNER

APPROVED

MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
JUNE 14, 2016

Chair Eckhardt called the meeting to order at 6:30 p.m.

Members Present:	Ted Eckhardt, Chair John Fitzgerald Jonathan Kubow
Members Absent:	Alan Bombick Anthony Fasolo
Also Present:	Anthony Izzo, Anthony James Builders for *2 N. Phelps Ave.* Tony VanDijk, Emerald Homes for *415 & 503 N. Gibbons Ave.* Tom Meyer, Lexington Homes for *Lexington Towne Subdivision* Chris Russo, ALA Architects for *Lexington Towne Subdivision* James Cazares representing *Ivy Hotel* Steve Hautzinger, Staff Liaison

REVIEW OF MEETING MINUTES FROM MAY 24, 2016

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE MEETING MINUTES OF MAY 24, 2016. ALL WERE IN FAVOR. THE MOTION CARRIED.

Chair Eckhardt explained that with only 3 of the 5 commissioners here tonight, projects must be unanimously approved; however, petitioners have the option to continue their project to the next meeting if they choose.

ITEM 4. SINGLE-FAMILY NEW REVIEW

DC#16-056 – Lexington Towne Subdivision – 909 & 929 W. Campbell St.

Mr. Tom Meyer, representing *Lexington Homes*, and **Mr. Chris Russo**, representing *ALA Architects*, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. Lexington Towne is a proposed 16 lot subdivision that will include 15 new single family homes and one lot for storm water detention. Two floor plans are being proposed with multiple front elevation options, as well as an optional third car garage bay. The petitioner is seeking approval for the general architectural designs and exterior material packages for the single-family residences, and if the Design Commission concurs, then each individual lot will be submitted and reviewed for administrative approval by Staff as the plans, options, and material package for each lot are selected and finalized. The Lexington Towne Subdivision was recommended for approval by the Plan Commission on May 11, 2016, and is pending final review/approval by the Village Board.

The subject property is comprised of two existing single family properties totaling 204,296 sf or 4.69 acres. The proposed subdivision will include the extension of Kennicott Avenue through the existing site from Campbell Street to Sigwalt Street. The proposed single family lots do comply with the R-2 zoning requirements for minimum lot area (10,000 sf) and width (90' corner, 75' interior).

The existing site is heavily wooded and will be partially cleared to accommodate the proposed development. However, numerous existing mature trees are planned to be preserved, primarily in the parkways along Kaspar, Campbell, and Sigwalt. In addition to the preserved trees, 144 replacement trees will be provided within the development as either parkway trees, trees around the detention basin, or trees installed as part of the landscape package included with each lot. The petitioner is proposing to provide landscaping for each new home including sod in the front yards, seed in the back yards, and foundation planting bed along the front of each home. A variety of trees, shrubs, and perennials are recommended to be provided at each home to create a diverse appearance throughout the development.

Village code requires new houses to comply with the monotony requirement per Chapter 28, Section 28-6.4, which **Mr. Hautzinger** read for reference. For new subdivisions with multiple homes, it is recommended that at least four different floor plans be provided to comply with the monotony requirement, and to allow for flexibility within the development. In this case, the petitioner is only proposing two different floor plans, which does not comply with code. Each of the two plans includes changes to the front portion of the floor plan to generate different exterior massing on the front of the home, and each floor plan option has different exterior material treatments to create further variety.

Floor Plan #1 includes three different exterior elevation options as illustrated in Plans 210(A), 220(B), and 310(C).
Floor Plan #2 includes three different exterior elevation options as illustrated in Plans 410(D), 420(E), and 510(F).

Staff recommends that the petitioner provide at least one, preferably two, additional house designs with substantially different floor plans and exterior elevations in order to comply with the monotony code.

Mr. Hautzinger explained that the surrounding neighborhood consists of a mix of single story and two story homes with predominantly front loading two car garages. The proposed house designs are a traditional style with pitched roofs and traditional detailing and front loading garages, and they will fit in well with the context of the neighborhood. Overall, the elevations are nicely designed with good proportions, balanced compositions, and varied detailing including various brackets, bay windows, and covered porches. The only elevation that does not fit in well is Plan 510(F1-F4). Elevations F1-F4 includes a two-story entry portico that looks out of balance on the facade, and looks out of place with the rest of the traditional designs. Per Staff's encouragement, the petitioner has provided an additional elevation, F5, which includes a full front porch and flat facade instead of the two story portico. Elevation F5

looks very nice and fits in very well with the rest of the proposed designs much better than elevations F1-F4. It is recommended that elevations F1-F4 be replaced with variations of F5, similar to the other five elevation options, A thru E.

In regards to the side and rear elevations, the petitioner has indicated on the plans that, "Details and materials shown on alternate front elevations will carry around side and back elevations. Selected masonry will terminate at logical transition points, inside corners or window lines." Staff will review each individual house for compliance with this requirement at the time of the individual Design Commission submittal.

Mr. Hautzinger explained that the petitioner is proposing a variety of exterior materials including 16 vinyl siding colors, 7 aluminum gutter/trim colors, 5 dimensional asphalt shingle colors, 10 brick colors, and 5 stone colors. White vinyl windows will be standard on all of the houses. The exterior materials for each individual home will be selected by the customer and builder, and submitted for Staff review. Overall, there is a wide range of colors and materials proposed, which will create nice variety throughout the development.

Because of the issue of monotony, Staff recommends the Design Commission require revisions and then re-review the project. **Mr. Hautzinger** explained that adding a third floor plan design to the group of homes will allow the petitioner to comply with monotony; however, due to the two site separation requirement, it will result in a lack of flexibility in selecting the house for each site, forcing an A,B,C rhythm on the street. Adding a fourth floor plan design is encouraged to allow for more flexibility in selecting the house design for each site.

Chair Eckhardt asked if there was any public comment on the project and there was no response from the audience.

Chair Eckhardt asked how a determination was made to locate the detention basin on Sigwalt, and why only two different floor plans were being proposed. **Mr. Meyer** replied that they had a number of meetings with Staff and Engineering about the detention basin, and it was determined that the proposed location would work best. He also explained that the two floor plans being proposed are fresh designs that they have not used in other communities. The designs meet today's lifestyle and also include a number of different interior plan options such as filling in an interior volume space that converts to an additional bedroom or in-law suite, and a 3-car garage option. They want to be as efficient as possible.

Mr. Meyer reviewed the elevations, floor plans and materials being proposed. He said that they understand the monotony code and realize that each home will be reviewed and approved individually; however, they took a master approach to offer flexible floor plans to buyers, and they want buyers to be involved in the selection of the elevation, floor plan and materials.

Commissioner Fitzgerald wanted to see one more floor plan offered; he felt the two floor plans being proposed were extremely similar, and that everything would feel the same and be the same. He liked the different options being offered to buyers to add details, as well as the colors being proposed, and he suggested adding more colors if possible. He agreed with Staff's concerns about the stuck-on appearance of the 2-story entry portico on Plan 510(F1-F4), and liked the alternate design (F5) provided by the petitioner. He felt the subdivision was starting to look like a high-end condo development; extremely neutral with the same feel. He also wanted to see more variation in the front landscaping, with each lot to be approved by Staff.

Commissioner Kubow said that he felt differently than Commissioner Fitzgerald. When he first looked at the plans and elevations he was a little nervous; however, he liked them a lot more after seeing the streetscape renderings presented tonight. His overall concern is more of a global concern; what if all of the buyers choose the cost effective option, or what if they start to choose the same color palette? He wanted to ensure that this would not happen by individually reviewing each new home. In general, he liked the designs and colors being proposed for the new subdivision, and he asked the petitioner if they had a third floor plan available. **Mr. Meyer** replied that a third floor plan was not yet developed, although it could certainly be done; however, he was hoping for approval tonight to treat

the floor plans as 6 stand-alone plans, and then add a seventh floor plan. He was concerned that developing a third floor plan and not counting the currently proposed floor plans as 6 floor plans instead of 2, could result with the A, B, C rhythm mentioned earlier. **Commissioner Kubow** also agreed with Staff concerns about the two-story entry portico on Plan 510, and preference for the alternate (F5) elevation provided. **Commissioner Kubow** also commented that all of the garage doors look the same, and more variety should be required.

Chair Eckhardt agreed that the garage doors all look the same and need differentiation. He also felt the overall exterior color palettes for the homes were very beige and very predictable, and he wanted to see a little variety and some brighter colors. **Mr. Meyer** replied that they are not opposed to adding additional colors, which he felt buyers would want, but they do not want to offer a color that really stands out and looks like a mistake because color is part of the streetscape. **Chair Eckhardt** also stated that he was not opposed to the floor plans being the same and felt the petitioner was successful in changing the elevations enough that they do not look like the same floor plan. He also agreed with the concerns about the front entry portico on Plan 510, and preferred the alternate design presented. **Mr. Meyer** said that they were not opposed to the suggestions being made; however, they are trying to be as efficient as possible on the 15 homes. **Chair Eckhardt** further stated that the commissioners typically do not like the front of a home to look different than the sides and rear of the home.

Mr. Fitzgerald asked Staff if there were any other similar developments that were given a variation from the monotony code. **Mr. Hautzinger** referenced the Arlington Market development located north of Mariano's that included 3 different floor plans with 4 elevations each, which received a variation from the monotony code to allow the same floor plan to be located directly next to each other or directly across the street from each other; however, the exterior elevations were required to comply with the 2-lot separation. Buyers ended up preferring one floor plan over the other two, which resulted in the same model being built repeatedly on the same street, and the repetition of this is visible. **Mr. Hautzinger** commented that if a similar monotony variation were granted for this project, then it should include a restriction that no more than two of the same floor plans are allowed in a row to prevent the repetition that occurred at Arlington Market. **Commissioner Fitzgerald** was unsure what a variation would mean when the Village has no control over which model will be bought more than another. **Mr. Hautzinger** said that if the monotony code is enforced then it will force the models to be separated from each other regardless of what buyers may want, but the petitioner would need to offer a minimum of 4 floor plans to avoid the repetition pattern of A,B,C, A,B,C, A,B,C down the street.

Commissioner Fitzgerald was uncomfortable with a variation of the monotony code. **Chair Eckhardt** reiterated that he felt the floor plans being proposed were different enough. **Mr. Meyer** said that they would like the commissioners' support of the master plan being presented tonight, and did not want to undo all of the work they have done; however, he did not know the logistics of the next step since only 3 of the 5 commissioners were here tonight. Their desire is to go with the two floor plans being presented tonight, with all of the different elevations proposed. **Mr. Hautzinger** clarified that, as has been done with similar subdivisions in the past, the petitioner is seeking overall approval for all of the designs and materials with one formal review with the Design Commission tonight, and then each individual home would be submitted to Staff for an administrative review and approval for compliance with the approved plans and any conditions that the Design Commission may require. **Chair Eckhardt** did not have an issue with that, although he thought that the petitioner would return for a formal review for each home. He felt the commissioners should discuss this because this is a very significant development in the Village. **Mr. Hautzinger** referenced both Arlington Market and Christina Court as similar recent subdivision projects that were reviewed in this same manner.

Commissioner Fitzgerald felt there was no hardship for a variation and he was concerned about setting a precedent if a variance was approved. **Commissioner Kubow** was concerned about a variation when the floor plan is driven by the buyer, and he referred to the Arlington Market project where buyers bought one model more than the others, and that model was repeated 6 or 7 times in a row. Although, he liked streetscape renderings presented tonight with the variation of elevations. **Mr. Hautzinger** reiterated the option for a partial variation to the monotony code; restricting no more than two of the same floor plans to be built in a row. **Mr. Meyer** asked how they could work

together on that and **Mr. Hautzinger** asked if the petitioner would be building two model homes to allow buyers to experience both floor plan options. **Mr. Meyer** was not opposed to the suggestion which he would take back for review.

Chair Eckhardt reiterated that the commissioners do not want the homes to look alike. The project does not comply with the monotony code because there are only 2 floor plans; however, the Design Commission was not the entity to grant a variation. He was concerned about not reviewing each individual home and felt that perhaps the first 3 or 4 homes should come back for formal review. He added that he did not support a variation for monotony and asked the other commissioners how they felt. **Commissioner Fitzgerald and Commissioner Kubow** also did not support a variation for monotony.

Mr. Meyer said their intention was to present what they have, gather support, and try to work together. **Mr. Russo** asked if there was a way for the commissioners to remove the floor plan separation requirement from their review and give support for the character and feel of the development, to help the petitioner if they decide to seek a variation from the monotony code. **Chair Eckhardt** felt that the commissioners already did so with their previous comments. **Mr. Meyer** said that they have no problem trying to meet a happy boundary some place with looking at the floor plans; however, they have spent a lot of time and effort on the livability of the two floor plans being presented tonight, and felt they were almost there.

Mr. Hautzinger said that it appeared as though the petitioner did not have the support of at least 1 of the 3 commissioners here tonight who feels that there should be an additional floor plan added to the series for diversity. He recommended a requirement that the petitioner provide another floor plan that has 3 exterior elevations for a total of 3 floor plans and 9 exterior elevations, which would comply with monotony. **Mr. Meyer** said that they could develop a restriction list that would restrict a specific floor plan to a specific lot because of monotony issues, but having some ability for relief from the monotony requirement would help them.

Commissioner Fitzgerald said that he would support adding a third floor plan, to be approved by Staff, which would allow the petitioner to move forward, as well as have each individual home come back to the Design Commission for review. **Commissioner Kubow** felt it was not necessary to see each individual home. **Chair Eckhardt** could support the requirement for a third floor plan with elevations, and the possibility of individual homes coming back to the Design Commission only if Staff has any concerns about them. He felt the motion tonight should clearly state that the Design Commission supports and wishes to maintain the monotony code as written and that it be enforced by Staff review, to the extent that the petitioner has the option to seek a variance. **Mr. Hautzinger** asked the commissioners for their thoughts regarding the option for monotony relief to allow the same floor plan to be directly next to each other, but with no more than two in a row. This would require a variation; however, it would provide some flexibility from the A,B,C, A, B,C pattern. The commissioners had no problem with this suggestion since a third floor plan was being required.

After further discussion of the recommendations in the Staff report, along with the comments made by the commissioners tonight, the following motion was made:

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE GENERAL ARCHITECTURAL DESIGNS AND MATERIAL PACKAGES FOR THE SINGLE-FAMILY HOMES FOR THE *LEXINGTON TOWNE SUBDIVISION* LOCATED AT 909 & 929 W. CAMPBELL STREET. THIS APPROVAL IS BASED ON COMPLIANCE WITH THE PLANS DATED 5/12/16 AND RECEIVED 5/27/16, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT TO PROVIDE ONE ADDITONAL HOUSE DESIGN WITH A SUBSTANTIALLY DIFFERENT FLOOR PLAN AND THREE EXTERIOR ELEVATION OPTIONS TO COMPLY WITH THE MONOTONY CODE, TO BE APPROVED BY STAFF.
2. A RECOMMENDATION TO PROVIDE A FOURTH FLOOR PLAN TO ALLOW FLEXIBILITY WITHIN THE DEVELOPMENT.
3. THE DESIGN COMMISSION IS NOT OPPOSED TO A VARIATION FROM THE MONOTONY CODE REQUIREMENT TO ALLOW THE SAME FLOOR PLAN TO BE LOCATED DIRECTLY NEXT TO EACH OTHER, OR DIRECTLY ACROSS THE STREET, WITH NO MORE THAN TWO OF THE SAME FLOOR PLAN IN A ROW, BUT THE ELEVATIONS MUST COMPLY WITH THE MONOTONY REQUIREMENT.
4. A REQUIREMENT THAT THE PETITIONER SEEK FINAL DESIGN REVIEW APPROVAL FOR EACH INDIVIDUAL HOME THROUGH THE ADMINISTRATIVE APPROVAL PROCESS.
5. A REQUIREMENT TO PROVIDE A VARIETY OF TREES, SHRUBS, AND PERENNIALS AT EACH HOME TO CREATE A DIVERSE APPEARANCE THROUGHOUT THE DEVELOPMENT, TO BE APPROVED BY STAFF.
6. A REQUIREMENT THAT ELEVATIONS F1-F4 BE REPLACED WITH VARIATIONS OF F5, SIMILAR TO THE OTHER FIVE ELEVATION OPTIONS, A THRU E, TO BE APPROVED BY STAFF.
7. A REQUIREMENT THAT DETAILS AND MATERIALS SHOWN ON THE ALTERNATE FRONT ELEVATIONS WILL CARRY AROUND THE SIDE AND BACK ELEVATIONS, AND SELECTED MASONRY WILL TERMINATE AT LOGICAL TRANSITION POINTS, INSIDE CORNERS, OR WINDOW LINES, TO BE APPROVED BY STAFF.
8. A REQUIREMENT TO PROVIDE A VARIETY OF GARAGE DOOR STYLES, TO BE APPROVED BY STAFF.
9. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILTY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
10. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.

FITZGERALD, AYE; KUBOW, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

PETITION

The following petition form shall be followed when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet)

PETITION

NOW COMES the Petitioner Lexington Homes

being the owner of the property commonly know as: LEXINGTON TOWNE SUBDIVISION

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 6.4, Chapter 28, of the Arlington Heights Municipal Code, in order to ALLOW THE SAME FLOOR PLAN TO BE BUILT NEXT TO EACH OTHER OR DIRECTLY ACROSS THE STREET.

I hereby state the following hardship would exist if the variation were not granted:

This is a small subdivision with (15) lots. Our program is to offer (3) base plans with a variety of interior and exterior options. The base plans will vary in square footage to allow for different layouts and price points. Without relief from the floor plan requirement the subdivision will not be able to offer a variety of choices to potential buyers. Lots will become predetermined, which could be detrimental to the success of the subdivision.

I hereby state that the following unique circumstances exist:

The size of this subdivision creates a unique circumstance. This subdivision is very small, consisting of (15) lots with only (5) houses in a row. As a result, it is very difficult to follow the same floor plan requirements that are in place for large developments.

I hereby state that the variation, if granted, will not alter the essential character of the locality because:

If granted the variance it will not alter the essential character of the locality because we are not asking for any relief from the exterior elevation requirements. We feel that it is important to offer options within the design because it gives more selections to potential buyers and allows for more variety within the streetscape. To achieve this we have developed significantly more exterior elevations than are required. Each plan will have (3) completely different elevation choices providing (12) unique elevations in lieu of the required (3). In addition, we are offering a variety of detail packages for each design. We have worked with both the Design Commission and Staff and have received their approval based on the design book that was submitted.

Signed: _____ Date: 10-14-16

Petitioner

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OCT 14 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

FINAL PLAT OF

LEXINGTON TOWNE AT ARLINGTON HEIGHTS

BEING A RESUBDIVISION OF LOTS 1 AND 8 IN CAMPBELL AVENUE ADDITION TO ARLINGTON HEIGHTS, BEING A SUBDIVISION OF PARTS OF SECTIONS 30 AND 31, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN,
— TOGETHER WITH —
LOTS 241, 242, 243, 244, 245, 246, 247, 248, 293, 294, 295, 296, 297, 298, 299 AND 300 IN ARLINGTON MANOR, BEING A SUBDIVISION OF PART OF THE SOUTHEAST ¼ OF SECTION 30, AND ALL OF THE WEST ½ OF THE NORTHEAST ¼ OF SECTION 31, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ALL IN COOK COUNTY, ILLINOIS.

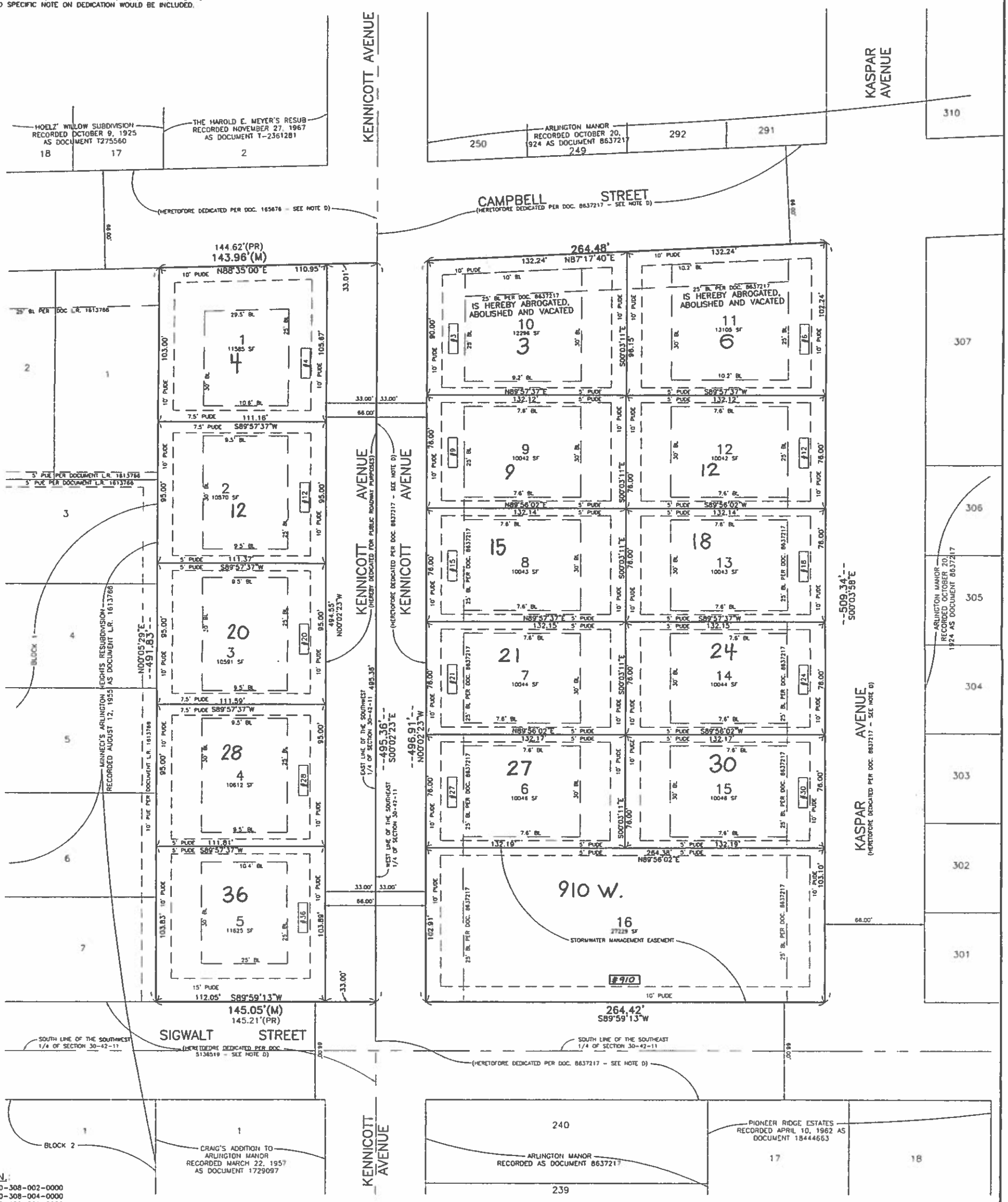
LEGEND

BL = BUILDING LINE
(M) = MEASURED
(PR) = PREVIOUSLY RECORDED
PUDE = PUBLIC UTILITY AND DRAINAGE EASEMENT
#XXX = STREET ADDRESS

NORTH

GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

NOTE D:
STREET DEDICATIONS ARE SHOWN PER RECORDED PLAT OF SUBDIVISION. THE RECORD PLAT OF SUBDIVISIONS DO NOT SPECIFICALLY LABEL OF NOTE THE DEDICATION OF THE ROADWAY. A NORMAL STANDARD OF PRACTICE AT THE TIME OF RECORDING, WAS TO SHOW THE ROADWAY AND THE WIDTH. NO SPECIFIC NOTE ON DEDICATION WOULD BE INCLUDED.



P.I.N.:
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03-30-308-004-0000
03-30-420-001-0000
03-30-420-002-0000
03-30-420-003-0000
03-30-420-004-0000
03-30-420-005-0000
03-30-420-006-0000
03-30-420-007-0000
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03-30-420-009-0000
03-30-420-010-0000
03-30-420-011-0000
03-30-420-012-0000
03-30-420-013-0000
03-30-420-014-0000
03-30-420-015-0000
03-30-420-016-0000

NOTE: NO PERMANENT STRUCTURES, INCLUDING BUT NOT LIMITED TO SHEDS, PLAYSETS, AND POOLS ARE ALLOWED WITHIN THE REAR PUBLIC UTILITY AND DRAINAGE EASEMENT.

ANY FENCES INSTALLED N THE REAR PUBLIC UTILITY AND DRAINAGE EASEMENT ARE SUBJECT TO REMOVAL BY THE VILLAGE IN CASE OF REPAIR OF UTILITIES OR DRAINAGE. REPLACE OF THE FENCE WILL AT THE OWNERS EXPENSE.

NOTE:
IRON PIPES TO BE SET AT PROPERTY CORNERS AND CONCRETE MONUMENTS TO BE SET AS SHOWN.

AREA SUMMARY

LOTS 1–16	187,963 SQ. FT. OR	4.3150 ACRES
DEDICATION	16,333 SQ. FT. OR	0.3750 ACRES
KENNICOTT AVENUE		
TOTAL	204,296 SQ. FT. OR	4.6900 ACRES

BUILDING LINE NOTE:
ALL BUILDING LINES SHOWN HEREON ARE HEREBY CREATED, EXCEPT THOSE NOTED WITH RECORDING INFORMATION.

BASIS OF BEARINGS:
BEARINGS BASED ON STATE PLANE COORDINATES.

REVISION: JUNE 17, 2016 (LOT 16 EASEMENTS)
REVISION: JUNE 15, 2016 (VILLAGE COMMENTS - ROUND 4)
DATE: APRIL 15, 2016
ORDER NO: 160331
PROJ. NO: 2101
FOR: LEXINGTON HOMES
PROJ. NAME: LEXINGTON TOWNE AT ARLINGTON HEIGHTS
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Professional Design Firm Registration #184-002793.

SHEET 2 OF 3

PREPARED BY:
TFW SURVEYING & MAPPING
LAND SURVEYING · TOPOGRAPHIC MAPPING · CONSTRUCTION LAYOUT
886 EAST BELVIDERE ROAD · SUITE 413 · GRAYSLAKE, ILLINOIS 60030
847-548-6600 FAX 548-6699
tfw@tfwsurvey.com www.tfwsurvey.com

DATE	CHECKED BY	REVISION

Return to: Box 111
Village of Arlington Heights
33 S. Arl. Hts. Rd., Arl. Hts. IL 60005

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PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT

R16-027 328

FINAL PLAT OF

LEXINGTON TOWNE AT ARLINGTON HEIGHTS

BEING A RESUBDIVISION OF LOTS 1 AND 8 IN CAMPBELL AVENUE ADDITION TO ARLINGTON HEIGHTS, BEING A SUBDIVISION OF PARTS OF SECTIONS 30 AND 31, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN,

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NORTH

GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

P.I.N.:
03-30-308-002-0000
03-30-308-004-0000
03-30-420-001-0000
03-30-420-002-0000
03-30-420-003-0000
03-30-420-004-0000
03-30-420-005-0000
03-30-420-006-0000
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03-30-420-012-0000
03-30-420-013-0000
03-30-420-014-0000
03-30-420-015-0000
03-30-420-016-0000

RETURN PLAT TO:
VILLAGE OF ARLINGTON HEIGHTS
PLANNING & COMMUNITY DEVELOPEMENT
33 S. ARLINGTON HEIGHTS ROAD
ARLINGTON HEIGHTS, IL 60005

OWNER/DEVELOPER:
LEXINGTON HOMES
1731 N. MARCEY ST., STE. 200
CHICAGO, IL 60614

SEND TAX BILL TO:
LEXINGTON HOMES
1731 N. MARCEY ST., STE. 200
CHICAGO, IL 60614

AREA SUMMARY

PARCEL 1	36,154	SQ. FT.	OR	0.8300 ACRES
PARCEL 2	63,477	SQ. FT.	OR	1.4572 ACRES
PARCEL 3	35,162	SQ. FT.	OR	0.8072 ACRES
PARCEL 4	69,503	SQ. FT.	OR	1.5956 ACRES
TOTAL	204,296	SQ. FT.	OR	4.6900 ACRES

BASIS OF BEARINGS:
BEARINGS BASED ON STATE PLANE COORDINATES.

REVISION: JUNE 17, 2016 (LOT 16 EASEMENTS)
REVISION: JUNE 15, 2016 (VILLAGE COMMENTS - ROUND 4)
DATE: APRIL 15, 2016
ORDER NO: 168231
PROJ. NO: 2401
FOR: LEXINGTON HOMES
PROJ. NAME: LEXINGTON TOWNE AT ARLINGTON HEIGHTS
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Professional Design Firm Registration #184-002793.

SHEET 1 OF 3

PREPARED BY:
TFW SURVEYING & MAPPING
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888 EAST BELVIDERE ROAD · SUITE 413 · GRAYSLAKE, ILLINOIS 60030
847-548-6600 FAX 548-6699
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Return to: Box 111
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R16-027 528

LEXINGTON TOWNE
ARLINGTON HEIGHTS, IL

210 PLANS & ELEVATIONS

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

08-05-16
08-10-16
08-12-16
08-19-16

LEXINGTON #210
ALA ARCHITECTS #15236

FRONT ELEVATION
210-A.1

FRONT ELEVATION
210-A.2

FRONT ELEVATION
210-A.3

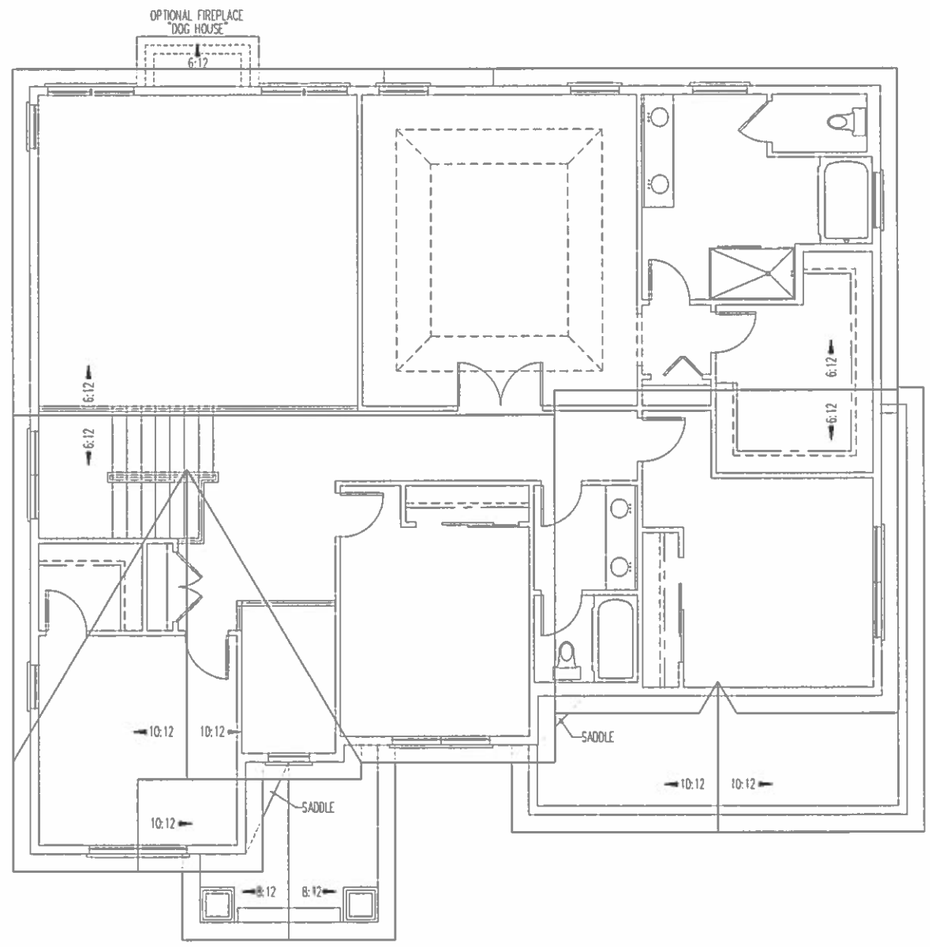
FRONT ELEVATION
210-A.4

FRONT ELEVATION
210-A.1

REAR ELEVATION
210-A.1

LEFT SIDE ELEVATION
210-A.1

RIGHT SIDE ELEVATION
210-A.1



ROOF PLAN

PLAN 210

5

PLAN 210 (B'S)- ALTERNATE ELEVATIONS

NOTE:
DETAILS & MATERIALS SHOWN ON ALTERNATE FRONT ELEVATIONS WILL CARRY AROUND SIDE & BACK ELEVATIONS. SELECTED MASONRY WILL TERMINATE AT LOGICAL TRANSITION POINTS, INSIDE CORNERS OR WINDOW LINES.

FRONT ELEVATION
210-B.1

FRONT ELEVATION
210-B.2

FRONT ELEVATION
210-B.3

FRONT ELEVATION
210-B.4

PLAN 210 (C'S)- ALTERNATE ELEVATIONS

NOTE:
DETAILS & MATERIALS SHOWN ON ALTERNATE FRONT ELEVATIONS WILL CARRY AROUND SIDE & BACK ELEVATIONS. SELECTED MASONRY WILL TERMINATE AT LOGICAL TRANSITION POINTS, INSIDE CORNERS OR WINDOW LINES.

FRONT ELEVATION
210-C.1

FRONT ELEVATION
210-C.2

FRONT ELEVATION
210-C.3

FRONT ELEVATION
210-C.4

LEXINGTON TOWNE
ARLINGTON HEIGHTS, IL

220 PLANS & ELEVATIONS

08-05-16
08-10-16
08-12-16
08-19-16
LEXINGTON #220
ALA ARCHITECTS #15237

FRONT ELEVATION
220-A.1

FRONT ELEVATION
220-A.2

FRONT ELEVATION
220-A.3

FRONT ELEVATION
220-A.4

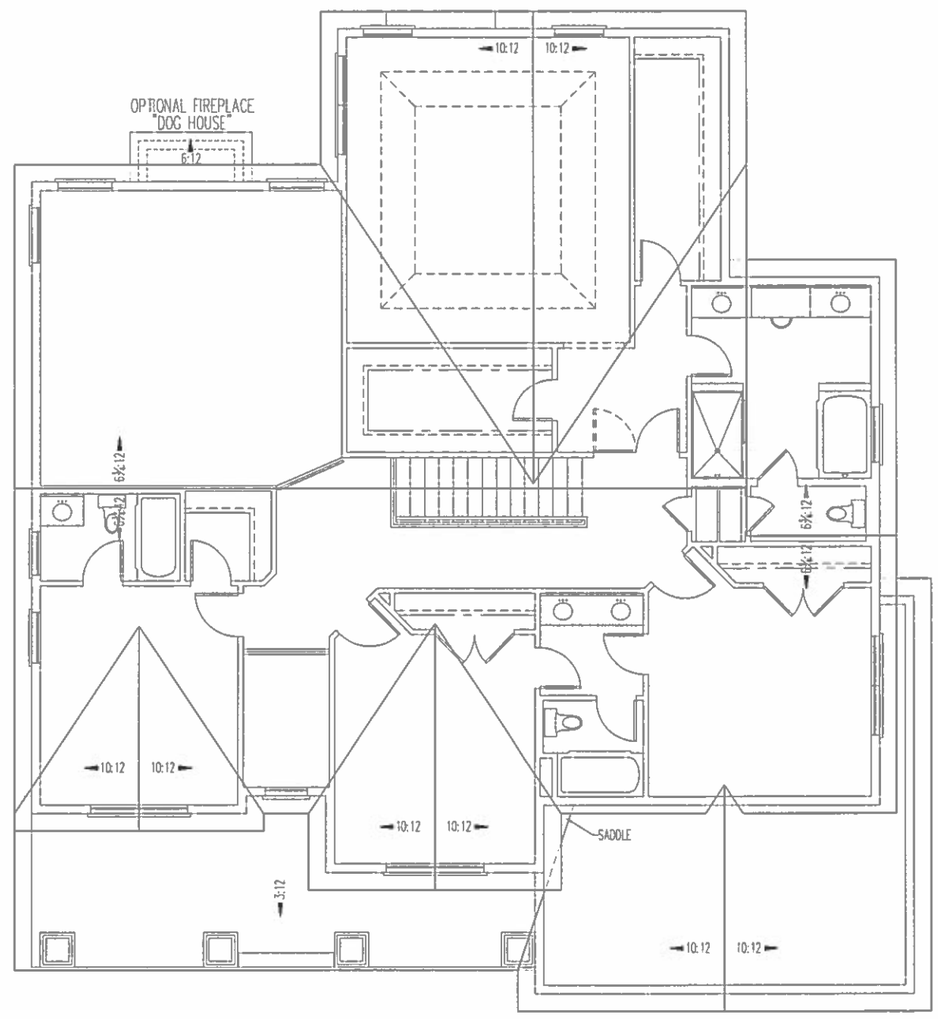
FRONT ELEVATION
220-A.1

REAR ELEVATION
220-A.1

LEFT SIDE ELEVATION
220-A.1

RIGHT SIDE ELEVATION
220-A.1

PLAN 220



ROOF PLAN

PLAN 220

PLAN 220 (B'S)- ALTERNATE ELEVATIONS

NOTE:
DETAILS & MATERIALS SHOWN ON ALTERNATE FRONT ELEVATIONS WILL CARRY AROUND SIDE & BACK ELEVATIONS. SELECTED MASONRY WILL TERMINATE AT LOGICAL TRANSITION POINTS, INSIDE CORNERS OR WINDOW LINES.

FRONT ELEVATION
220-B.1

FRONT ELEVATION
220-B.2

FRONT ELEVATION
220-B.3

FRONT ELEVATION
220-B.4

PLAN 220 (C'S)- ALTERNATE ELEVATIONS

NOTE:
DETAILS & MATERIALS SHOWN ON ALTERNATE FRONT ELEVATIONS WILL CARRY AROUND SIDE & BACK ELEVATIONS. SELECTED MASONRY WILL TERMINATE AT LOGICAL TRANSITION POINTS, INSIDE CORNERS OR WINDOW LINES.

FRONT ELEVATION
220-C.1

FRONT ELEVATION
220-C.2

FRONT ELEVATION
220-C.3

FRONT ELEVATION
220-C.4

LEXINGTON TOWNE
ARLINGTON HEIGHTS, IL

230 PLANS & ELEVATIONS

08-05-16
08-10-16
08-12-16
08-19-16
LEXINGTON #230
ALA ARCHITECTS #16147

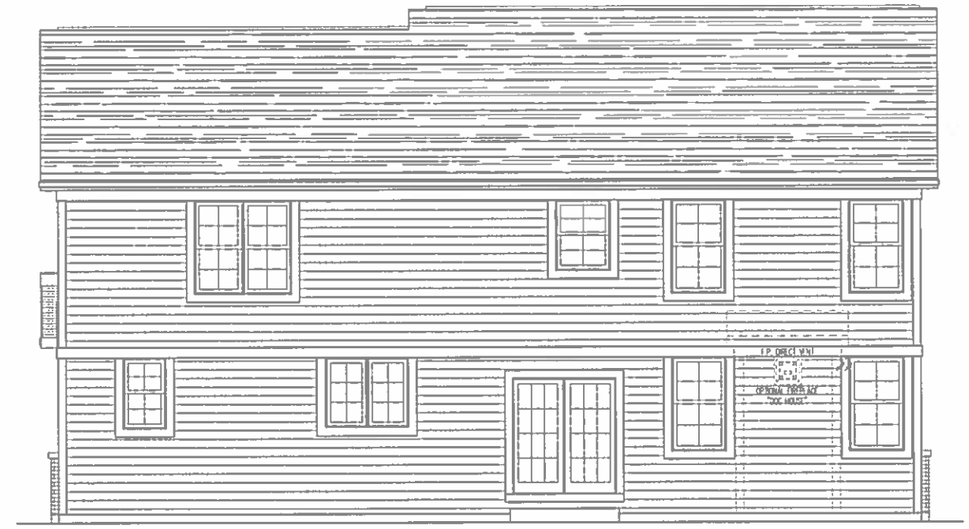
FRONT ELEVATION
230-A.1

FRONT ELEVATION
230-A.2

FRONT ELEVATION
230-A.3

FRONT ELEVATION
220-A.4

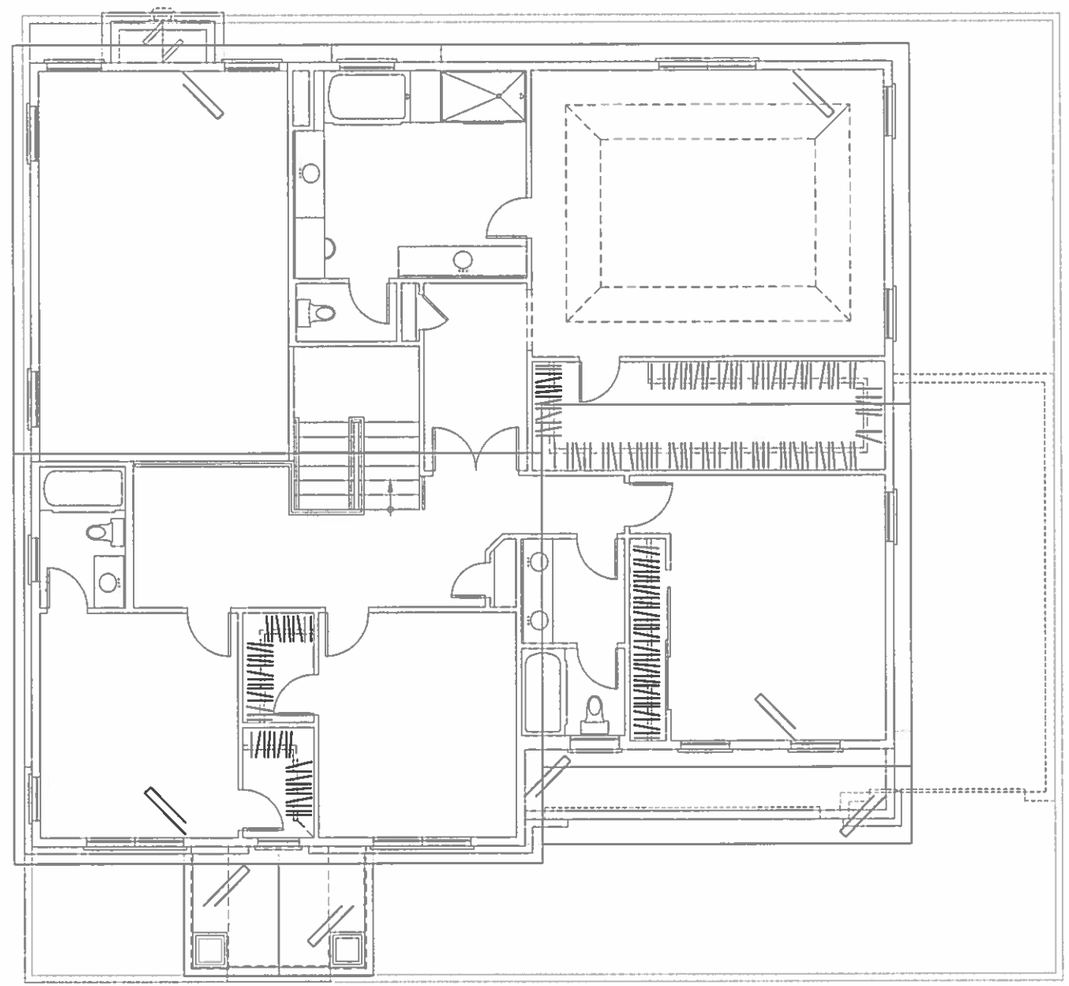
FRONT ELEVATION
230-A.1



REAR ELEVATION
230-A.1

LEFT SIDE ELEVATION
230-A.1

RIGHT SIDE ELEVATION
230-A.1



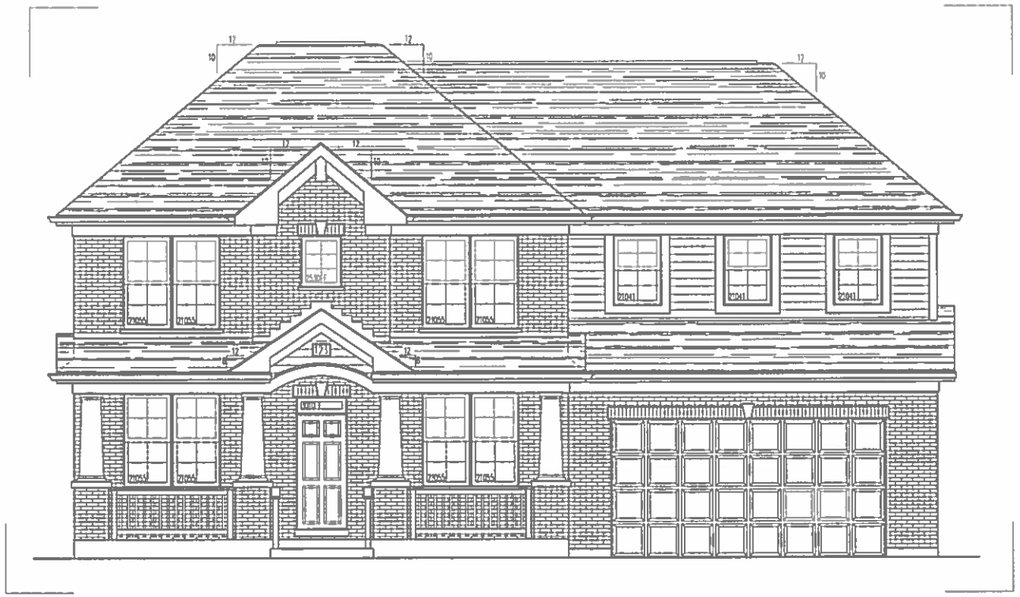
ROOF PLAN

PLAN 230

PLAN 230 (B'S)- ALTERNATE ELEVATIONS

NOTE:
DETAILS & MATERIALS SHOWN ON ALTERNATE FRONT ELEVATIONS WILL CARRY AROUND SIDE & BACK ELEVATIONS. SELECTED MASONRY WILL TERMINATE AT LOGICAL TRANSITION POINTS, INSIDE CORNERS OR WINDOW LINES.

FRONT ELEVATION
230-B.1



FRONT ELEVATION
230-B.2

FRONT ELEVATION
230-B.3

FRONT ELEVATION
230-B.4

PLAN 230 (C'S)- ALTERNATE ELEVATIONS

FRONT ELEVATION
230-C.1

FRONT ELEVATION
230-C.2

FRONT ELEVATION
230-C.3

FRONT ELEVATION
230-C.4