



Agenda
Village of Arlington Heights
Zoning Board of Appeals
Buechner Room, 1st Floor
Arlington Heights Village Hall, 33 S. Arlington Heights Rd.
November 13, 2023
7:00 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. 919 S. Vail Ave. - 10/16/23
- B. 636 S. McKinley Ave. - 10/16/23
- C. 13 S. Ridge Ave. - 10/16/23
- D. 121 S. Dunton Ave. - 10/16/23

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. 1220 N. Harvard Ave. - ZBA#23-034
- B. 905 N. Mitchell Ave. - ZBA#23-039
- C. 1903 N. Spruce Terrace - ZBA#23-040

VII. OTHER BUSINESS

- A. Public Comment

VIII. PUBLIC COMMENT

IX. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Erin Mercado, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, emercado@vah.com or (847)368-5793.



**Zoning Board of Appeals
11/13/2023**

Item: 919 S. Vail Ave. - 10/16/23

Department: Planning & Community Development Department

ATTACHMENTS:

Description	Type
919 S Vail Ave - Findings 10/16/23	Minutes
919 S Vail Ave - Minutes 10/16/23	Minutes

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS OCTOBER 16, 2023

PETITIONER: Featherstone Residence

ADDRESS OF PROPERTY: 919 S. Vail Ave.

VARIATION: 5.1-3.3b, 5.1-3.3a, 6.6-5, 5.1-3.5 (Required Minimum Yards, Permitted Obstructions, Maximum Building Lot Coverage)

A 4.0-foot variation to allow an addition with a side yard setback of 3.0 feet instead of the required 7.0 feet and an additional 1.0 feet for the eave; A 2.5-foot variation to allow a front porch with front yard setback of 27.5 feet instead of the required 30.0 feet and an additional 1.0 feet for the eave; A variance to allow two air conditioning units in the required side yard setback along the north property line; A 64 square-foot variation to allow building lot coverage of 3,300 square-feet where 3,236 is the maximum allowed by code.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that the primary variance request is for a three-foot setback for the attached garage. The petitioner testified that the existing garage is currently setback three-feet setback and as part of the project, the length of the setback would move forward on the lot.

The petitioner explained that the second setback variance is for the front porch. The petitioner explained that the variance is necessary due to the offset of the walls at the front of the house. The petitioner further explained that they are requesting a variance for the air conditioning units. The petitioner testified that the homeowner has discussed the placement of the units with the neighbor. The petitioner testified that there is also a small building lot coverage variance. The petitioner explained that the home is a ranch which is creating the need for the building lot coverage variance. The petitioner testified that the home meets the required Floor Area Ratio and Impervious Surface Coverage.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Selbka and seconded by Mr. Lanaghan. Thereafter, the Board voted 6-0 to approve the variance request with the first variance request conditioned on the request of the Engineering Department which requires the existing sidewalk to be removed and not allowed to be replaced in the future. The existing grading and proposed grading plan must be submitted for permit, and the proposed grading plan must include cross sections along the north property line.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance with a condition regarding the .

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Peter Siavelis, Chair
Zoning Board of Appeals
Village of Arlington Heights

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 919 SOUTH VAIL AVENUE - ZBA #23-031

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 16th day of October, 2023 at the hour of
7:00 p.m.

MEMBERS PRESENT:

PETER SIAVELIS, Chairman
TOM DRAKE
JEFFREY LANAGHAN
JOSEPH SELBKA
FRANK PORTERA
MICHAEL O'CONNOR

ALSO PRESENT:

DEREK MACH, Development Planner

CHAIRPERSON SIAVELIS: Okay, everyone, we're going to call this meeting to order. Welcome to tonight's October 16th meeting of the Village of Arlington Heights Zoning Board of Appeals.

Derek, let's do roll.

MR. MACH: Chairman Siavelis.

CHAIRPERSON SIAVELIS: Here.

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Here.

MR. MACH: Mr. Geisel -- I'm sorry, Mr. Jaffe.

(No response.)

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Here.

MR. MACH: Mr. Selbka.

COMMISSIONER SELBKA: Here.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Here.

MR. MACH: Mr. O'Connor.

COMMISSIONER O'CONNOR: Here.

CHAIRPERSON SIAVELIS: All right, folks, the next item is the Pledge of Allegiance. The flag is right there. Hats off, please.

(Pledge of Allegiance recited.)

CHAIRPERSON SIAVELIS: Great. Okay, next item is the approval of minutes from the September meeting.

Have the Board members had an opportunity to review those draft meeting minutes? If yes, are there any corrections or edits thereto?

(No response.)

CHAIRPERSON SIAVELIS: Okay, hearing none, is there a motion to approve the draft minutes?

COMMISSIONER DRAKE: So moved.

COMMISSIONER SELBKA: Second.

COMMISSIONER LANAGHAN: Second.

CHAIRPERSON SIAVELIS: All in favor?

(Chorus of ayes.)

CHAIRPERSON SIAVELIS: Any opposed?

(No response.)

CHAIRPERSON SIAVELIS: Hearing none, the motion carries.

All right, let's move over to the next item of business, folks, and it's the procedures for tonight's meeting, the hearing procedures, just some housekeeping and ground rules we've got to go through. For those of you who've been here before, it will sound familiar. For those of you who haven't, they're not that many and they're pretty straight-forward.

So, first of all, if there are less than six members present, you as a petitioner have an option to continue the meeting to the next meeting which would be in November, because it takes four affirmative votes to approve a variance, regardless of the number of Board members in attendance. Okay, so there are six of us here, and actually that condition doesn't arise, right, because there's not less than six, but keep in mind that it

does take four affirmative votes to approve a variance. If your variance is denied or your petition is denied, a petitioner cannot reapply for that same variance for an entire year, so there is a preclusive effect. Keep that in mind when you're talking to us and we're evaluating your particular variances sought.

We will have a Staff presentation provided by Derek which is essentially an overview of the project and the details of the variance.

There are four elements necessary to establish in order for the Board to be able to grant a particular variance. They are as follows:

1. That the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property;
2. That the plight of the owner is due to unique circumstances which may include the length of time the subject property has been vacant as zoned;
3. That the proposed variation is in harmony with the spirit and intent of Chapter 28 of the Village's Code; and
4. That the variance requested is the minimum variance necessary to allow reasonable use of the property.

Keep in mind also that a variation shall be permitted only if the evidence, in the judgment of this Board of Appeals, sustains each of the four elements enumerated. Also keep in mind that it is your burden as petitioner to touch on and evaluate and establish each of the four elements. It is not the Board's responsibility and obligation to pull these details out of you such that you can address these elements. It is your responsibility. These elements are in the papers that you submitted so you should be fully aware of them.

Okay, with that in mind, Derek, let's go to the first -- oh, actually, let me read a notice.

There was a bit of a confusion as to what items will be addressed today as new business, and there is a bit of a conflict. So, in the event, if anyone here in the audience is here for the petition for 1220 North Harvard Avenue, that petition will not be heard this evening. That petitioner is required to re-notify and work with the Village for a future ZBA hearing date. Again, 1220 North Harvard, that will not be heard tonight. So, if you are here for that, you are free to go, you don't have to wait and listen for the entirety.

Okay, with that in mind, let's move to the first petition, ZBA Petition #23-031, 919 South Vail Avenue.

Derek, overview, please.

MR. MACH: Thank you.

The Petitioner is proposing to construct two separate additions to the existing single-story home. The front addition includes an expansion to the attached garage and is encroaching four feet into the required side yard setback. The Petitioner is also proposing a front porch that is encroaching into the required front yard setback. In addition, the two air conditioning units are encroaching in the required side yard setback, and the Petitioner is requesting a variance for building lot coverage.

Therefore, they're requesting:

- A four-foot variation from Chapter 28, Section 5.1-3.3b to allow an addition with a side yard setback of three feet instead of the required seven feet and an additional one foot for the eave;
- A 2.5-foot variance from Chapter 28, Section 5.1-3.3a to allow a front porch with a

front yard setback of 27.5 feet instead of the required 30 feet and an additional one foot for the eave;

- A variance from Chapter 28, Section 6.6-5 to allow two air conditioning units in the required side yard setback along the north property line; and
- A 64 square-foot variance from Chapter 28, Section 5.1-3.5 to allow building lot coverage of 3,300 square feet where 3,236 square feet is the maximum allowed by code. Thank you.

CHAIRPERSON SIAVELIS: Great. Thanks, Derek.

Okay, Bob, have you signed in?

MR. FLUBACKER: Yes.

CHAIRPERSON SIAVELIS: Ma'am, have you signed in?

MS. FEATHERSTONE: Yes.

CHAIRPERSON SIAVELIS: Okay, are you both speaking tonight?

MS. FEATHERSTONE: Bob is.

CHAIRPERSON SIAVELIS: Okay, Bob, raise your right hand.

(Witness sworn.)

CHAIRPERSON SIAVELIS: Great, you have the floor.

MR. FLUBACKER: The project we're presenting tonight, the primary request is for a three-foot setback on an attached garage. The unique circumstance here is this garage exists already with a three-foot setback, and we are basically matching the setback of the existing garage, the length of the setback and the three-foot setback, just moving it forward on the lot. There is a, so if you look at the existing survey, there's the same encroachment into the setback in the existing garage, we're just moving it forward.

There is a comment by the Engineering Department that they are not in favor of the variation and it has to do with grading between the two houses. The irony is the grading on our lot is almost level. We've shot the grades and at the lot line there is a four-inch variation from the very front of the lot to the very back of the lot. All of the pitch and swale and everything that exists there is on the adjacent neighbor's property, and technically we're not able to change those grades on that adjacent property. But my client knows that property owner very well and would be more than happy to work with them to try to reduce the grade at the side of the garage, blend the grade between the two houses. They are planning on doing some construction work to that house as well.

The odd circumstance in this particular case, and I have some photographs that I can show you if you're interested, but the house to the north is actually about a foot lower than our project is. So, we'll have to do some manipulating of the --

CHAIRPERSON SIAVELIS: You mean it's a foot lower essentially?

MR. FLUBACKER: Yes, the top foundation is about a foot lower. The dynamic that we have to worry about is that if I drop the grade to below their foundation to get water away from the house, it's below any of the grade of the surrounding neighborhood and will create a pond basically. There isn't an outflow for the water to get out. So, that's why I'm saying we'll probably work with the neighbor and try to create some sort of drainage system, if you will, there. We'll obviously have to work with Engineering when we go in for permit on this, but we're well aware of the situation there and we certainly don't want to make it any worse.

CHAIRPERSON SIAVELIS: Okay, Bob, so you're speaking essentially in regards to the comments from the Engineering Department, right? You've seen these,

right?

MR. FLUBACKER: Yes.

CHAIRPERSON SIAVELIS: Okay, so I believe you were focusing essentially on point one there?

MR. FLUBACKER: Yes.

CHAIRPERSON SIAVELIS: Okay, and I saw there's two aspects in that point. One was the grading, right, it's that Petitioner should note that an existing and proposing grading plan will be required when submitting for a permit, right, and it sounds like you're in agreement with that?

MR. FLUBACKER: Yes.

CHAIRPERSON SIAVELIS: Okay, and then the sentence above that, if the variation is allowed, the existing sidewalk should be removed and not allowed to be replaced in the future. Okay, and I noticed in the site plan -- Derek, can you back out? There you go.

Can you speak to that point about the existing sidewalk?

MR. FLUBACKER: We really don't have an intent to put a sidewalk back there, so that's a non-issue.

CHAIRPERSON SIAVELIS: Okay, so you'll conform and comply with what Engineering requests there?

MR. FLUBACKER: Yes.

CHAIRPERSON SIAVELIS: Okay.

MR. FLUBACKER: The second setback has to do with a front porch that we're adding to the front of the house. The reason for the request has to do with kind of an odd offset of the walls of the front of the house. The front to the right of the house is basically at the front setback and then it jogs back to the front door. Our proposal is to have a porch that stands proud of the house and is of the proportion that works with the width of the existing home. So, that's why it's the dimensions that it is and the encroachment that it is.

The third variation has to do with air conditioning units. There is a very unique circumstance in the backyard with where the patio and hot tub and things like that exist today. The air conditioning units anywhere in the back are troublesome in the particular configuration here. We're proposing them on the north side of the house which is at the setback. My client has talked to the neighbor who has no objection to them. In fact, I think there's a letter in your packet from the neighbor.

Then the final variation is one that I've complained about to you guys before, that the lot coverage doesn't really work well with ranches. It's very easy to do a ranch that's well under the FAR but still needs a variation for lot coverage.

CHAIRPERSON SIAVELIS: Right, that's a dichotomy in the regulations, right?

MR. FLUBACKER: Right, right. We're 64 square feet over that lot coverage, so it's a pretty minor request for a variation.

CHAIRPERSON SIAVELIS: As you mentioned, there's a note in the file, right, from a neighbor who's in support?

MR. FLUBACKER: Yes.

CHAIRPERSON SIAVELIS: And where is that neighbor located?

MR. FLUBACKER: Directly to the north. So, they'd be obviously the most

affected, and they're the ones that has the drainage issue to the north.

CHAIRPERSON SIAVELIS: Okay, how many folks live in the house, Bob?

MR. FLUBACKER: One.

CHAIRPERSON SIAVELIS: Okay, and for how long has the resident lived there approximately?

MS. FEATHERSTONE: About 25 plus years.

CHAIRPERSON SIAVELIS: Okay, and Bob, why does that size house need two units, AC units?

MR. FLUBACKER: Because of the square footage of the house, we're zoning in two, the bedroom suite and the main living space.

CHAIRPERSON SIAVELIS: Okay, fair enough. Any negative feedback, Bob, from the neighbors that you're aware of?

MR. FLUBACKER: No, and I believe Sherri has also talked to the neighbor to the south.

MS. FEATHERSTONE: Yes, they're fine as well.

CHAIRPERSON SIAVELIS: I don't have any other questions.

The other Board members, if you have questions, any items you want to raise?

COMMISSIONER LANAGHAN: So, the existing house has been there for 25 plus years, is that correct?

MS. FEATHERSTONE: Oh, it's been, no, it's a 1951 build.

COMMISSIONER LANAGHAN: Much longer than that.

CHAIRPERSON SIAVELIS: Okay, so hold on a second, if you're going to speak, we've got to swear in. That way the record is really clear.

MR. FLUBACKER: And make sure you tell the truth.

CHAIRPERSON SIAVELIS: Well, yes.

(Witness sworn.)

CHAIRPERSON SIAVELIS: Okay, go ahead, you can answer.

MS. FEATHERSTONE: 1951 it was built.

COMMISSIONER LANAGHAN: Okay, thank you very much. So, the whole time it's been non-conforming as far as the setback goes?

MS. FEATHERSTONE: Yes.

COMMISSIONER LANAGHAN: Or the setback changed sometime between 1956 and present day, is that kind of the --

MR. FLUBACKER: This goes back to kind of the evolution of the zoning ordinance. I can't tell you exactly when that garage was built, but up until 2001 I think it was, the zoning ordinance allowed an attached garage to go three-foot from the lot line.

COMMISSIONER LANAGHAN: Got you.

MR. FLUBACKER: So, this was conforming when it was built.

COMMISSIONER LANAGHAN: At the time.

MR. FLUBACKER: The ordinance has actually changed to make it non-conforming.

COMMISSIONER LANAGHAN: Okay.

CHAIRPERSON SIAVELIS: Any other questions from Board members?

(No response.)

CHAIRPERSON SIAVELIS: Okay, Bob, take a seat next.

MR. FLUBACKER: Thank you.

CHAIRPERSON SIAVELIS: All right, this is the point in the proceeding where we allow the audience to ask any, or raise any comments actually in regards to this petition and this petition only. If there are none, that's fine, no big deal. We'll move on.

(No response.)

CHAIRPERSON SIAVELIS: So, seeing nobody raised their hand or approached the podium, we will conclude that there are no comments from the audience on this particular petition.

So, Bob, you don't need to respond to non-existing comments.

MR. FLUBACKER: I'm in favor of all those comments.

CHAIRPERSON SIAVELIS: Yes, don't talk yourself out of a victory, Bob, right.

All right, so we can move to deliberations. I can start.

This seems very reasonable to me. The proposed addition and then the side yard area issue, right, the setback issue seems logical. The testimony from Mr. Flubacker on behalf of the owner is I think entirely accurate and reasonable, and I think it dramatically helps that they are in agreement with and in compliance with the Engineering Department's requests. They have support from the neighbor directly adjacent to the north and have an agreement to work with them as well.

So, I'm in favor of it for all those reasons.

Anybody else?

COMMISSIONER SELBKA: As long as the one variance is conditioned on the request of the Engineering Department, I'm fine with it.

CHAIRPERSON SIAVELIS: As to point one in the Engineering report?

COMMISSIONER SELBKA: Right, yes.

CHAIRPERSON SIAVELIS: Okay, so if you want to move that with that, that's totally fine, in my view. We'll see how it votes.

COMMISSIONER SELBKA: Sure.

CHAIRPERSON SIAVELIS: Anybody else?

(No response.)

CHAIRPERSON SIAVELIS: Okay, do we have a motion?

COMMISSIONER SELBKA: Motion to approve the variance, and as to point one, with the condition set by the Engineering Department.

CHAIRPERSON SIAVELIS: As it applies to the first variance sought?

COMMISSIONER SELBKA: Yes, the first variance request.

CHAIRPERSON SIAVELIS: Derek, does he need to restate since I interjected?

Sorry, Joe.

MR. MACH: Yes, and if you could include the actual conditions.

COMMISSIONER SELBKA: All right.

CHAIRPERSON SIAVELIS: Can he just, for clarity's sake so he doesn't have to read the whole thing because it's pretty lengthy, can he essentially say point one as raised by Briget Schwab in the Engineering Department in her report?

MR. MACH: If you can just read it.

COMMISSIONER SELBKA: All right, let me --

CHAIRPERSON SIAVELIS: Here it is. Do we have a motion?

COMMISSIONER SELBKA: **Motion to approve, with the first variance request conditioned on the request of the Engineering Department which requires the existing sidewalk to be removed and not allowed to be replaced in the future. The existing grading and proposed grading plan must be submitted for permit, and the proposed grading plan must include cross sections along the north property line.**

CHAIRPERSON SIAVELIS: Do we have a second?

COMMISSIONER LANAGHAN: You got it all? Okay, second.

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. MACH: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. MACH: Chairman Siavelis.

CHAIRPERSON SIAVELIS: Yes.

Congratulations, Petitioner.

MR. FLUBACKER: Thank you very much.

CHAIRPERSON SIAVELIS: Petition granted, all four variances granted.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:20 p.m.)



**Zoning Board of Appeals
11/13/2023**

Item: 636 S. McKinley Ave. - 10/16/23

Department: Planning & Community Development Department

ATTACHMENTS:

Description	Type
636 S. McKinley Ave. - Findings 10/16/23	Minutes
636 S. McKinley Ave. - Minutes 10/16/23	Minutes

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS OCTOBER 16, 2023

PETITIONER: McKenna Residence
ADDRESS OF PROPERTY: 636 S. McKinley Ave.
VARIATION: 5.1-3.3b (Required Minimum Yards)

A 1.5-foot variation to allow an addition with a front yard setback of 23.5 feet instead of the required 25.0 feet.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that the home is a split-level front to back which creates a challenging situation for expanding the home. The petitioner testified that the approach for the expansion uses the existing foundation at the front of the house and cantilevers an extra 1.5 feet into the required front yard setback. The petitioner testified that the Zoning Department interpreted the cantilever/projection as part of the building and not a bay. The petitioner explained that bay windows are allowed to project three feet into the required front yard setback.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Drake and seconded by Mr. Selbka. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Peter Siavelis, Chair
Zoning Board of Appeals
Village of Arlington Heights

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 636 SOUTH McKINLEY AVENUE - ZBA #23-035

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 16th day of October, 2023 at the hour of
7:00 p.m.

MEMBERS PRESENT:

PETER SIAVELIS, Chairman
TOM DRAKE
JEFFREY LANAGHAN
JOSEPH SELBKA
FRANK PORTERA
MICHAEL O'CONNOR

ALSO PRESENT:

DEREK MACH, Development Planner

CHAIRPERSON SIAVELIS: Okay, next item up for business is ZBA Petition #23-035, 636 South McKinley Avenue.

All right, Derek, and then back to Keith.

MR. MACH: Thank you.

The Petitioner is proposing an addition to the existing one-story residence. The proposed addition includes a second-story expansion above the existing home. Along the east property line, the proposed addition encroaches 1.5 feet into the required front yard setback.

Therefore, the Petitioner is requesting a 1.5-foot variation from Chapter 28, Section 5.1-3.3b to allow an addition with a front yard setback of 23.5 feet instead of the required 25 feet. Thank you.

CHAIRPERSON SIAVELIS: Thank you, Derek.

Keith, raise your right hand, please.

(Witness sworn.)

CHAIRPERSON SIAVELIS: Okay, and you've signed in, right?

MR. GINNODO: I have signed in, yes.

CHAIRPERSON SIAVELIS: All right, you've got the floor.

MR. GINNODO: Okay, so the client is here, Patrick McKenna. He'd been living in the house for about eight years and intends to stay. As you can tell by looking at the design, the building is a split-level front to back, and that plays into both aspects that I need to demonstrate.

The hardship aspect of it is that a split level, there aren't that many options in terms of adding on within the footprint. So, the approach here uses the existing foundation at the front of the house and then cantilevers an extra 1.5 feet into the front yard. So, that is an economy not only of structure but also of money in general, and that's really kind of the only way they can go forward and get the space that they need to get the extra bedroom in the house.

The way we had been approaching, that's a good one, stop on there, clear thinking. The way we were approaching the zoning ordinance was as if it was a bay window on the front of the house which is permitted to stick out three feet beyond the front yard lot line, or setback I'm sorry. This in fact is only 18 inches and doesn't project any further than the current eaves across the front of the house. So, we're virtually, you know, asking for very little in terms of the projection. The Zoning Department interpreted that as not a bay but a section of building, and as long as we can kind of get through this process and I can make myself understood, then we're all in good page.

The uniqueness of the project is that this is, on that side of the block, the only house like it. It has a detached garage and, as you go up and down, there's many different house types along that side of the street. It's single-family on that side, turn around to the other side it's multi-family and a few single-families in that area. Really, really great, quiet street, and what we're doing is basically not out of character with the design and variety of styles and types of building that are in the area.

I think that's all I need to say unless there's questions?

COMMISSIONER DRAKE: Yes, I have a couple, Keith. You said eight years in the home, the homeowner?

MR. GINNODO: Yes.

COMMISSIONER DRAKE: And how many residents live in the house?

MR. GINNODO: It's four.

COMMISSIONER DRAKE: Four, okay. What about feedback from the neighbors? Anything in terms of push-back or objections?

MR. GINNODO: No objections. The guy across the street basically said that's all you're asking for? That should be a no-brainer. Then one neighbor to the, north or south? South side, one is verbally in favor of it.

COMMISSIONER DRAKE: Good.

CHAIRPERSON SIAVELIS: Any opposition?

MR. GINNODO: Not that we've heard. One other aspect to this is both Patrick and his wife Kara do a lot of their work from the home. So, they need a dedicated space for an office.

COMMISSIONER DRAKE: Anything else you want to add that either we haven't asked or hasn't been addressed?

MR. GINNODO: No, I can't think of anything.

COMMISSIONER DRAKE: Great, that's all I have.

CHAIRPERSON SIAVELIS: That's it, Tom?

COMMISSIONER DRAKE: That's it, that's all I have.

CHAIRPERSON SIAVELIS: Okay, take a seat, Keith, just for a second here.

Are there any comments from the audience in regards to this petition and this petition only?

Come on up, sir. All right, let's do this, let's identify yourself first.

MR. HAMEETMAN: My name is Bob, last name is Hameetman, that's H-a-m-e-e-t-m-a-n. I own the house at 632 McKinley immediately north.

I have been in my house at 632 since 1984. I've been a resident of Arlington Heights since 1974. I raised my two boys in my house and actually one of them might move back.

I don't really have, I'm not here to object to the variance, but I do have comments, okay. One of my first comments is, you know, they're required to send out this letter about the notice, but there's nothing in there that describes the project. I should add that I'm a retired mechanical engineer. I worked on nuclear power plants, so I did see a lot of constructions, okay. Probably, you know, nothing person but the last thing I want to do is live next to a construction site.

So, I do have some concerns and maybe some of them are overplayed from, you know, the type of construction I used to see.

CHAIRPERSON SIAVELIS: What's your address again, sir? Let me interrupt you for a second.

MR. HAMEETMAN: Pardon? 632, it's right above the, yes, right there, okay. It's a four-bedroom Colonial.

So, I will say that Cleveland Street to the west of us, the houses on the east side of Cleveland are three-foot higher in elevation than the houses on the west side of McKinley. So, there's this three-foot drop, and as I understand it, the way that the subdivision was laid out, there was a plan for drainage between the houses, okay. So, when I bought my house, I bought it from the gentleman that built the house in 1968, and at the closing he put his arm around me and said you can do whatever you want to this

house but don't mess with the swale.

So, there's a swale between our house and 636, and I will say my neighbors have been wonderful, okay. You know, the first thing I said to them was please don't change the swale. When there's a storm, I have pictures if you want to see it, there's literally a river between 636 and 632 out to McKinley Street because the drainage pattern was to go between the houses.

The problem is, like 626, the house north of me, the woman was planting flowers in the swale and then she's surprised when her basement starts flooding. A lot of the drainage patterns have been interrupted in my opinion and, you know, the house kind of behind me, 631 on Cleveland --

CHAIRPERSON SIAVELIS: Let me interrupt you for a second here because we need to keep our comments like really well-focused on the particular plan and the variance being sought, so --

MR. HAMEETMAN: Okay, so --

CHAIRPERSON SIAVELIS: Hold on one second. Have you had an opportunity to look at the plans that Petitioner submitted in regards to --

MR. HAMEETMAN: No, that's one of my comments was I think when they send these letters out, they should have either an isometric drawing, a prospectus drawing, something that shows what, I have no idea. Nobody talked to me, and all I heard was that they're going to be put a second-floor bedroom on, okay. You know, I didn't see how or where or what elevation or anything. So, part of my comment was --

COMMISSIONER SELBKA: Those packets are actually available on the website.

CHAIRPERSON SIAVELIS: Yes.

MR. HAMEETMAN: Okay, I didn't know that.

CHAIRPERSON SIAVELIS: It's just for future reference.

MR. HAMEETMAN: Yes.

CHAIRPERSON SIAVELIS: Given what you've seen today and the materials that are on the screen and what Mr. Ginnodo said, Keith, who we informally call Keith because he's here a lot, okay, is there anything that he said in particular with regard to the narrow variance sought that gives you angst or concern? If yes, then elaborate.

MR. HAMEETMAN: No, it's getting to the end point, okay. My concern is where are they going to put material? Hopefully not on a swale. Where are they going to, you know, are they going to get a crane there? I don't think they need it but maybe they do. You know, so, my primary concern is to not do anything that's going to change the grading and drainage, okay. That's absolutely --

COMMISSIONER SELBKA: You know, what you have to do, sir, is if you see anything like that, you contact, well, first, the owner, but then the Building Department. There are regulations associated with the permitting.

MR. HAMEETMAN: Okay, yes, because --

CHAIRPERSON SIAVELIS: Right.

MR. HAMEETMAN: -- for the 40 years I've been in this house --

COMMISSIONER SELBKA: Sure.

MR. HAMEETMAN: -- and I can show you pictures --

CHAIRPERSON SIAVELIS: No, you don't want to do that because then we're going to take those pictures in, so you don't want that.

MR. HAMEETMAN: Again, I'll be --

CHAIRPERSON SIAVELIS: So, let me tell you something right now. We act in regard to the code, the zoning code, and what we do in the prior petition is we adopted and included comments from the Engineering Department, okay, in that petition for variances sought.

MR. HAMEETMAN: Okay.

CHAIRPERSON SIAVELIS: In this particular set of papers, the Engineering Department doesn't raise any concerns with regard to drainage or any aspects like that. That's why we didn't pick that up, okay. So, if that's a legitimate concern for you, you should talk to the homeowner, and then to the extent necessary, talk to the Village. Telling us about that is essentially, we won't take action on that because it's not in the papers provided to us by the Village and we really don't extend our purview out that far. Okay?

MR. HAMEETMAN: Okay, that's, you know, then my only other comment would have been getting more information when they send this letter out, because I had no, you know, and I didn't know I can go to the website.

CHAIRPERSON SIAVELIS: Yes, perhaps including a sentence in the letter in the future that says, you know, for more information see vah.gov, right?

MR. HAMEETMAN: Yes, I mean, you're right, I don't really have an objection to the variance. 18 inches, you know, I don't care as long as it doesn't affect --

CHAIRPERSON SIAVELIS: Yes, and he's not changing the footprint.

MR. HAMEETMAN: Yes. Yes.

CHAIRPERSON SIAVELIS: Okay? All right, awesome, thank you. Is that it?

MR. HAMEETMAN: Yes.

CHAIRPERSON SIAVELIS: Okay, Keith? I'm not sure what you want to rebut there, but I want to just clarify that you are not changing the footprint of the existing structure of the home, right?

MR. GINNODO: That's correct.

CHAIRPERSON SIAVELIS: Okay. All right, is there anything else that you want to address to Mr. Hameetan's -- how did you say it? How do you pronounce your last name?

MR. HAMEETMAN: Hameetman.

CHAIRPERSON SIAVELIS: Hameetman's, his comments?

MR. GINNODO: No, I understand the concern about drainage. We're not going anywhere near that property with --

MR. HAMEETMAN: Okay.

MR. GINNODO: -- except for siding, you know, but regular construction stuff.

MR. HAMEETMAN: Right.

MR. GINNODO: I don't think they're allowed to put the --

CHAIRPERSON SIAVELIS: Materials?

MR. GINNODO: The materials or the dumpster in that location anyway. My name will be on the sign in front of it, too, so you can call me.

MR. HAMEETMAN: Okay, well, that was one other question I had is who do I call when there's problem.

MR. GINNODO: First, call the Village, and if you can't get a hold of

someone, you can call me, yes.

MR. HAMEETMAN: Okay.

CHAIRPERSON SIAVELIS: All right. You good?

MR. GINNODO: All good, yes.

CHAIRPERSON SIAVELIS: Okay. All right, grab a seat, Keith.

All right, deliberations?

COMMISSIONER DRAKE: I'll start. We always appreciate it when a resident comes in and has a comment. I'm glad to hear you have no objections and now you know a little bit more about the project and people to get a hold of. So, thank you for coming in.

I thought when I read this, and I still do, this is a pretty straightforward and reasonable request. There are no objections from any of the three departments, Staff departments that advise us. There are no other objections from any residents, and it's I think a reasonable request. It's a nice project for the homeowner, so I would support it.

CHAIRPERSON SIAVELIS: Thank you.

Any other comments?

(No response.)

CHAIRPERSON SIAVELIS: If none, do we have a motion?

COMMISSIONER DRAKE: **I move approval of this petition.**

CHAIRPERSON SIAVELIS: Do we have a second?

COMMISSIONER LANAGHAN: Second.

COMMISSIONER SELBKA: Second.

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. MACH: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. MACH: Chairman Siavelis.

CHAIRPERSON SIAVELIS: Yes.

Congratulations, your variance has been granted.

MR. GINNODO: Thank you.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:36 p.m.)



Zoning Board of Appeals 11/13/2023

Item: 13 S. Ridge Ave. - 10/16/23

Department: Planning & Community Development Department

ATTACHMENTS:

Description	Type
13 S. Ridge Ave. - Findings 10/16/23	Minutes
13 S. Ridge Ave. - Minutes 10/16/23	Minutes

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS
OCTOBER 16, 2023

PETITIONER: Ennis Residence

ADDRESS OF PROPERTY: 13 S. Ridge Ave.

VARIATION: 5.1-3.3b (Required Minimum Yards) & 6.6-5 (Permitted Obstructions)

A 0.7-foot variation to allow an addition with a side yard setback of 4.3 feet instead of the required 5.0 feet and an additional 1.0 feet for the eave; A variation to allow two air conditioning compressor units in the required side yard setback along the south property line.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they are proposing a second story addition above the existing one-story portion of the home. The petitioner testified that the hardship is for an eight-inch variation to build the exterior wall above the existing first floor space. The petitioner explained that the plane of the siding is essentially the same except for the extension of the architectural detailing. The petitioner testified that the situation is already non-conforming and the variation that is being requested is located towards the rear of the house. The petitioner testified that the existing air conditioning compressor is located in the side yard and they are proposing a second unit in the same location. The petitioner further testified that they have discussed the variances with the neighbor.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Portera and seconded by Mr. Lanaghan. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Peter Siavelis, Chair
Zoning Board of Appeals
Village of Arlington Heights

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 13 SOUTH RIDGE AVENUE - ZBA #23-036

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 16th day of October, 2023 at the hour of
7:00 p.m.

MEMBERS PRESENT:

PETER SIAVELIS, Chairman
TOM DRAKE
JEFFREY LANAGHAN
JOSEPH SELBKA
FRANK PORTERA
MICHAEL O'CONNOR

ALSO PRESENT:

DEREK MACH, Development Planner

CHAIRPERSON SIAVELIS: Okay, let's move on to the next item of business, ZBA Petition #23-036, 13 South Ridge Avenue.

Derek, overview, please?

MR. MACH: Thank you.

The Petitioner is proposing an addition to the existing two-story residence. The proposed addition is in the rear of the home above a single-story portion of the home. Along the south property line, the proposed addition encroaches 0.7 foot into the required side yard setback. In addition, the air conditioning compressors are encroaching into the required side yard setback.

Therefore, they're requesting a 0.7-foot variation from Chapter 28, Section 5.1-3.3b to allow an addition with a side yard setback of 4.3 feet instead of the required five feet and an additional one foot for the eave, as well as a variance from Chapter 28, Section 6.6-5 to allow two air conditioning compressor units in the required side yard setback along the south property line. Thank you.

CHAIRPERSON SIAVELIS: Great. Thanks, Derek.

All right, Keith again, two in a row.

MR. GINNODO: Yes.

CHAIRPERSON SIAVELIS: All right, you're still under oath, just to remind you. Not that you are going to fib or not tell the truth, but it's still worth reminding you. So, go ahead.

MR. GINNODO: Okay, so same criteria that we are adhering to. Basically, the house is building over, a second story being built over an existing portion of the house that was probably added on in the 70s I'm guessing. The previous owner was kind of an interim, and the guy before that was 90 years old and lived there for quite some time, and basically the house has been built over existing foundation, again, to economy of means.

The hardship would be an eight-inch variation basically that we're asking for, to build the exterior wall above the existing first floor space, brings the structure inside, it's kind of a wall-proofing problem. Actually, it's the other side, Derek, if you could just, this one here, yes. The windows that are above the existing brick window, that's the portion of the house that's sticking within the side yard setback over an existing nonconforming situation.

CHAIRPERSON SIAVELIS: Towards us? Coming out of the --

MR. GINNODO: Towards us, yes.

CHAIRPERSON SIAVELIS: Yes, you're right, towards us, okay.

MR. GINNODO: Yes. So, the plane of the siding, we would claim the brick are essentially the same except for the extension of light detailing, architectural detailing. So, there you go. Uniquely, this is already a non-conforming situation by others from a long time ago, and the variation that we're asking for is towards the back of the house. It doesn't really impact the nature of the street in any way and, you know, it's really kind of a minor change to the context overall.

The character of the neighborhood again won't be disturbed at all because it's tucked back. You'll be able to see it from the street but it's farther back on the lot and not part of the street character and it's kind of in the similar architectural style. Rather than make the situation worse, the eaves of the addition in keeping with the existing style of the house are also not overhanging. There's like zero overhang, just enough to kind of give a little one-inch ventilation strip up into the attic area.

That's kind of it. Oh, the other one was the --

CHAIRPERSON SIAVELIS: Yes, the AC unit.

MR. GINNODO: AC units. Currently, they have an air conditioning unit on that side. We've spoken, and again, just to add another one for the addition, the neighbor to the south was supportive of it. He called the homeowner immediately, this guy's name is Joe Putz, P-u-t-z, and he's totally in support of this and it doesn't affect him in a negative manner.

CHAIRPERSON SIAVELIS: Okay, Frank?

COMMISSIONER PORTERA: Yes, I have a couple of questions. How long has the family lived in the house?

MR. GINNODO: About two years.

COMMISSIONER PORTERA: Okay, and how many people live in the house?

MR. GINNODO: There are four.

COMMISSIONER PORTERA: All right, and on one of the plans, it says a 0.47-foot encroachment and then on the petition it says 0.7-foot variation. So, which one is it, Derek? I just wanted to get it clear.

MR. MACH: Yes, it's 0.7.

MR. GINNODO: 0.7 foot, it's 8.4 inches.

COMMISSIONER PORTERA: That's okay, I can do the math. You said that you got the neighbor's response and he was in favor and no opposition other than that?

MR. GINNODO: Correct.

COMMISSIONER PORTERA: Did you see the comments from the Building Department, the four comments there?

MR. GINNODO: Yes. Yes, there's no difficulty at all in satisfying those.

COMMISSIONER PORTERA: Okay, that's all I have.

MR. GINNODO: Thank you.

CHAIRPERSON SIAVELIS: Any other comments from Board members? Questions?

(No response.)

CHAIRPERSON SIAVELIS: Okay, Keith, take a seat again.

Any comments from audience in regards to this particular petition?

(No response.)

CHAIRPERSON SIAVELIS: Okay, hearing none, no need to respond to none. Let's move to deliberation of the Board members.

Go ahead, Frank.

COMMISSIONER PORTERA: This is a reasonable request. All of the elements have been met, and I would be in favor of these two variances.

CHAIRPERSON SIAVELIS: Great, thank you.

Do we have a, well, are there any other comments by the way for deliberations?

(No response.)

CHAIRPERSON SIAVELIS: Okay, do we have a motion?

COMMISSIONER PORTERA: **Motion to approve this petition as presented.**

COMMISSIONER LANAGHAN: Second.

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. MACH: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. MACH: Chairman Siavelis.

CHAIRPERSON SIAVELIS: Yes.

Congratulations, variance granted.

MR. GINNODO: Thank you.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:36 p.m.)



**Zoning Board of Appeals
11/13/2023**

Item: 121 S. Dunton Ave. - 10/16/23

Department: Planning & Community Development Department

ATTACHMENTS:

Description	Type
121 S. Dunton Ave. - Findings 10/16/23	Minutes
121 S. Dunton Ave. - Minutes 10/16/23	Minutes

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS OCTOBER 16, 2023

PETITIONER: Nielsen Residence
ADDRESS OF PROPERTY: 121 S. Dunton Ave.
VARIATION: 5.1-6.2 (Minimum Lot Size) & 5.1-6.2 (Minimum Lot Width)

A variation to allow a lot with an area of 6,371 square feet to be buildable where 8,750 square feet is required; A variation to allow a lot with a width of 50 feet to be buildable where 70 feet is required.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they are proposing an addition to the existing two-story residence. The petitioner further explained that the subject site is zoned R-6 and the property has a total land area of 6,371 square feet and the lot width is 50 feet. The petitioner testified that the project requires approval from the Zoning Board of Appeals for a variation for lot width and size due to the existing 50' wide lot with 6,371 square feet not meeting the minimum required 70 foot width and 8,750 square feet. The petitioner testified that the project design does comply with all other zoning requirements.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Lanaghan and seconded by Mr. O'Connor. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Peter Siavelis, Chair
Zoning Board of Appeals
Village of Arlington Heights

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 121 SOUTH DUNTON AVENUE - ZBA #23-037

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 16th day of October, 2023 at the hour of
7:00 p.m.

MEMBERS PRESENT:

PETER SIAVELIS, Chairman
TOM DRAKE
JEFFREY LANAGHAN
JOSEPH SELBKA
FRANK PORTERA
MICHAEL O'CONNOR

ALSO PRESENT:

DEREK MACH, Development Planner

CHAIRPERSON SIAVELIS: Okay, next item of business is ZBA Petition #23-037, 121 South Dunton Avenue.

Derek?

MR. MACH: Thank you.

The Petitioner is proposing an addition to the existing two-story residence. The project does require approval by the Zoning Board of Appeals for a variation in lot width and size due to the existing 50-foot-wide lot with 6,731 square feet not meeting the minimum required 70 feet in width and 8,750 square feet. The project does comply with all other zoning requirements.

The Petitioner is requesting the following variations:

- A variation from Chapter 28, Section 5.1-6.2 to allow a lot with an area of 6,371 square feet to be buildable where 8,750 square feet is required, as well as
- A variation from Chapter 28, Section 5.1-6.2 to allow a lot with a width of 50 feet to be buildable where 70 feet is required. Thank you.

CHAIRPERSON SIAVELIS: Thank you, Derek.

All right, you've signed in, right?

MR. PURDOM: Yes, I have. Kevin Purdom from JRC Design Build.

CHAIRPERSON SIAVELIS: That's right, Kevin, raise your right hand.

(Witness sworn.)

CHAIRPERSON SIAVELIS: All right, please proceed.

MR. PURDOM: So, my client is here. They are doing an interior renovation where they're moving their stair from the middle of the house to the back of the house so that it's adjacent to the existing stair to the basement which is the only portion that is a one-story part of the house. So, in order to get to that second story, we're building up and adding a little portion just for where that stair is that goes into the new bedrooms.

CHAIRPERSON SIAVELIS: Like a winding area basically?

MR. PURDOM: Yes, just the stairs and the whole winding hall that goes to the existing hallway to the bedrooms. So, in order to build any kind of exterior work, the interior work, the permits are approved, they started work. But because we're doing exterior work, we need to get a variance because it's an existing non-conforming. The minimum lot width is already non-conforming, smaller than what's required for the R-6 zoning, again, with the square footage.

The character of the house, we're meeting all the code and zoning requirements. The only thing is that existing non-conforming. The style of the addition is the same siding, everything looks like it should be part of the house already.

Then it's in harmony with the spirit and intent of the chapter because all zoning again and code are being met. In order to build any kind of addition, we would need to seek this variance, and it's the minimum that we are asking for.

COMMISSIONER LANAGHAN: All right, so Kevin, I've got a couple of quick questions for you here.

MR. PURDOM: Sure.

COMMISSIONER LANAGHAN: From looking at the plat of survey, this is not the only lot on the street that has a 50-foot width; is that a correct statement?

MR. PURDOM: That's correct.

COMMISSIONER LANAGHAN: Okay, so certainly keeping in character, the property. How many people live in the house?

MR. NIELSEN: There's four.

COMMISSIONER LANAGHAN: Four, very good, thank you. And approximately how long have you been there?

MR. PURDOM: They moved in the house last year, '22.

COMMISSIONER LANAGHAN: Nice, and welcome to Arlington Heights.

MR. NIELSEN: Thank you.

COMMISSIONER LANAGHAN: Yes, I mean, it's an existing non-conforming lot. I have absolutely no issues with this so I'm going to stop asking questions right now. I'd be in favor for sure.

CHAIRPERSON SIAVELIS: Okay, sounds good. Any other comments or questions from Board members?

(No response.)

CHAIRPERSON SIAVELIS: Okay, any comments from the audience?

(No response.)

CHAIRPERSON SIAVELIS: All right, hearing none, Kevin, none to refute. Let's move to deliberations.

COMMISSIONER LANAGHAN: Yes, as I said, I mean, this is an existing non-conforming lot. Anybody to spend money and want to come to town, they'd have to do something here and would need the same variances. As I've pointed out, there are several along the street that have the same conditions, so we may be seeing them in the future at some point in time to which I'd be in favor of granting them. So, they're meeting everything else.

CHAIRPERSON SIAVELIS: Exactly, and this is a really reasonable ask.

COMMISSIONER LANAGHAN: Absolutely correct.

CHAIRPERSON SIAVELIS: Okay, any other comments?

(No response.)

CHAIRPERSON SIAVELIS: Do we have a motion?

COMMISSIONER LANAGHAN: **I move to approve the variances as requested.**

COMMISSIONER O'CONNOR: Second.

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. MACH: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. MACH: Chairman Siavelis.

CHAIRPERSON SIAVELIS: Yes.

Congratulations, variances granted. Your petition is granted.

MR. PURDOM: Thank you, gentlemen.

MR. NIELSEN: Thank you, guys.

CHAIRPERSON SIAVELIS: Okay, I think that's all the business we had

right now. No more public comment in general? Let's see.

Oh, yes, any public comment? Any comment from the public in general in regards to anything?

(No response.)

CHAIRPERSON SIAVELIS: None heard, let's move, I think that's the end of our business tonight. Do we have a motion to adjourn?

COMMISSIONER SELBKA: Motion to adjourn.

CHAIRPERSON SIAVELIS: All in favor?

(Chorus of ayes.)

CHAIRPERSON SIAVELIS: Any opposed?

COMMISSIONER LANAGHAN: Aren't you going to welcome Mike here?

CHAIRPERSON SIAVELIS: We'll welcome him afterward.

All right, hearing none, we are adjourned. Thank you, and welcome to our newest member.

COMMISSIONER LANAGHAN: Absolutely.

COMMISSIONER DRAKE: Welcome.

COMMISSIONER O'CONNOR: Thanks.

COMMISSIONER LANAGHAN: Welcome, Mike.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:44 p.m.)



Zoning Board of Appeals 11/13/2023

Item: 1220 N. Harvard Ave. - ZBA#23-034

Department: Planning & Community Development Department

REQUEST

- A 20.1-foot variation from Chapter 28, Section 5.1-1.3 (Required Minimum Yards) to allow an addition with a front yard setback of 29.0 feet instead of the required 49.1 feet and an additional 1.3 feet for the eave.
- A 5.2 foot variation from Chapter 28, Section 5.1-1.3c (Required Minimum Yards) to allow an addition with an exterior side yard setback of 27.3 feet instead of the required 32.5 feet and an additional 1.3 feet for the eave.

ATTACHMENTS:

Description

Supporting Documents

Type

Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: November 13, 2023
Date Prepared: November 7, 2023
Project Title: Ahuja Residence
Address: 1220 N. Harvard Ave.

Background Information

Petition Number: ZBA #23-034
Petitioner: Nick Marmitt – ALA Architects
Address: 2600 Behan Rd.
Crystal Lake, IL 60014

Existing Zoning: R-1 – Residential Single-Family District

Requested Action/Background Information

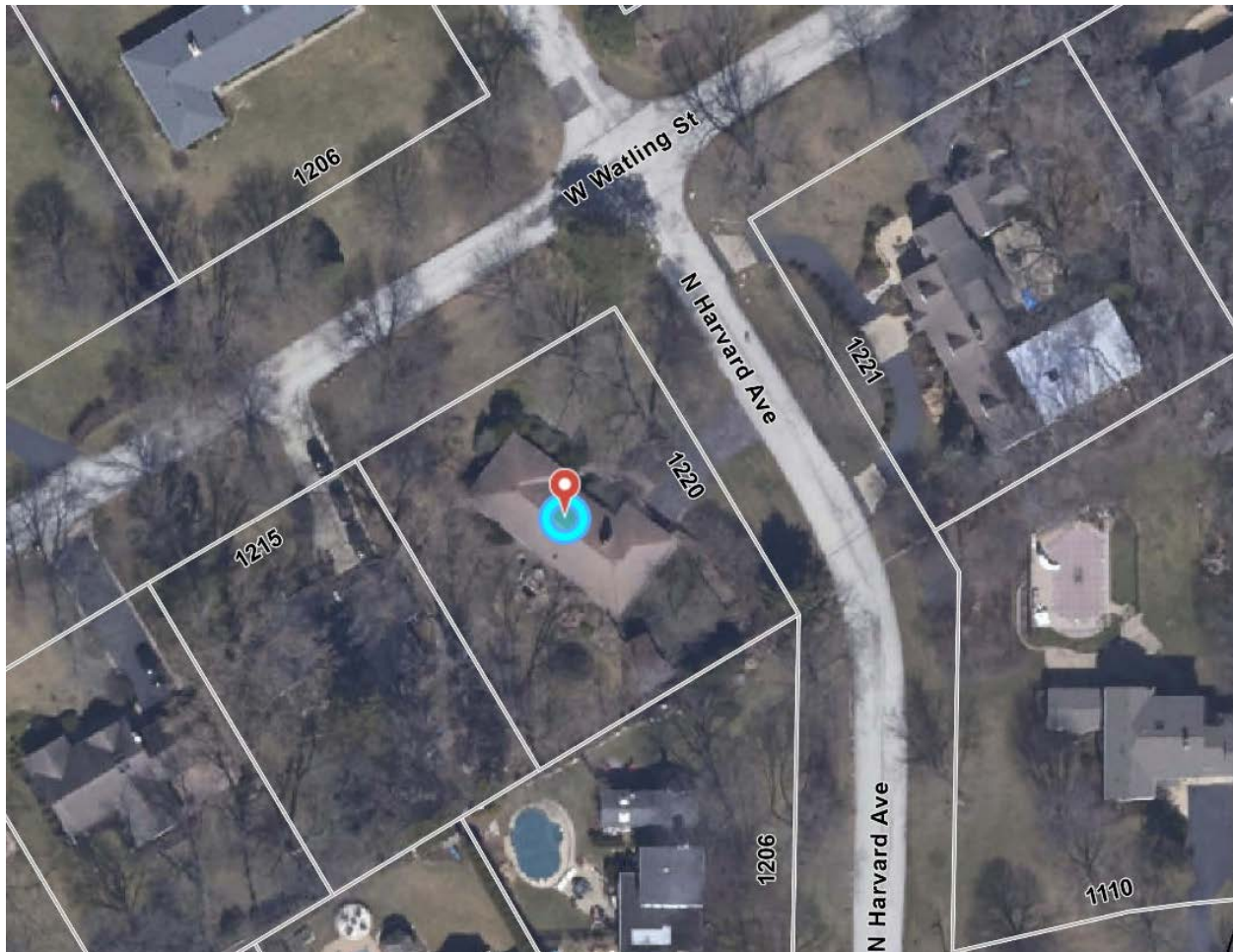
The petitioner is proposing an addition to the existing one story residence. The subject site is zoned R-1, One Family Dwelling District. The property has a total land area of 18,750 square feet and the proposed residence will have approximately 5,100 square feet. The existing footprint of the home is encroaching into the required front yard setback along Watling Street and the exterior side yard setback along Harvard Avenue. The petitioner is proposing a second story addition above the existing home; therefore, the expansion is encroaching into the front and exterior side yard setback. In addition, the petitioner is proposing a covered front porch and garage expansion that is encroaching into the required setback along Harvard Avenue. The project requires approval from the Zoning Board of Appeals to allow a 29.0-foot front yard setback along Watling Street, where 49.1 feet is required and to allow a 27.3-foot setback along Harvard Avenue where 32.5 feet is required. Therefore, petitioner requests the following variations:

- A 20.1-foot variation from Chapter 28, Section 5.1-1.3 (Required Minimum Yards) to allow an addition with a front yard setback of 29.0 feet instead of the required 49.1 feet and an additional 1.3 feet for the eave.
- A 5.2-foot variation from Chapter 28, Section 5.1-1.3c (Required Minimum Yards) to allow an addition with an exterior side yard setback of 27.3 feet instead of the required 32.5 feet and an additional 1.3 feet for the eave.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	10/26/23	
2. List of Property Owners Within 250 feet of Subject Property	✓	10/26/23	
3. Letter that was Mailed	✓	10/26/23	
4. Photographs of Sign on Property	✓	10/26/23	

Photographs of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Nusrat Jahan, Building & Life Safety Department

Project Name: Ahuja Residence

Project Address: 1220 N. Harvard Avenue

ZBA #: 23-034

Date: October 30, 2023

Derek:

We have reviewed the request for the following variance:

- **A 20.1-foot variation from Chapter 28, Section 5.1-1.3 (Required Minimum Yards) to allow an addition with a front yard setback of 29.0 feet instead of the required 49.1 feet and an additional 1.3 feet for the eave.**
- **A 5.2 foot variation from Chapter 28, Section 5.1-1.3c (Required Minimum Yards) to allow an addition with an exterior side yard (Harvard Ave.) setback of 27.3 feet instead of the required 32.5 feet and an additional 1.3 feet for the eave.**

and have no comments

Please see Engineering comments below:

1220 N Harvard – 23-034 -

1. Engineering has NO COMMENT on a 20.1-foot variation from Chapter 28, Section 5.1-1.3 (Required Minimum Yards) to allow an addition with a front yard setback of 29.0 feet instead of the required 49.1 feet and an additional 1.3 feet for the eave.
2. Engineering has NO OBJECTION to a 5.2 foot variation from Chapter 28, Section 5.1-1.3c (Required Minimum Yards) to allow an addition with an exterior side yard (Harvard Ave.) setback of 27.3 feet instead of the required 32.5 feet and an additional 1.3 feet for the eave.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Ahuja Residence

Project Address: 1220 N. Harvard Avenue

ZBA #: 23-034

ZBA Hearing Date: November 13, 2023

To: Mike Pagones, Village Engineer
Jorge Torres, Director of Building and Life Safety

C: Michael Lysicatos, Assistant Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Landscape Planner

Transmitted On: October 19, 2023

- A 20.1-foot variation from Chapter 28, Section 5.1-1.3 (Required Minimum Yards) to allow an addition with a front yard setback of 29.0 feet instead of the required 49.1 feet and an additional 1.3 feet for the eave.
- A 5.2 foot variation from Chapter 28, Section 5.1-1.3c (Required Minimum Yards) to allow an addition with an exterior side yard (Harvard Ave.) setback of 27.3 feet instead of the required 32.5 feet and an additional 1.3 feet for the eave.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

The proposed design is nicely done. Staff intends to administratively approve the design, pending the outcome of the ZBA review.

- Steve Hautzinger, Design Planner

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

SEE ATTACHED RESPONSE

NOW COMES the Petitioner 1.)

being the owner of the property commonly known as: 2.)

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 3.)

Chapter 28, of the Arlington Heights Municipal Code, in order to: 4.)

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): 5.)

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): 6.)

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): 7.)

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): 8.)

Signed: _____


Petitioner

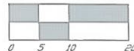
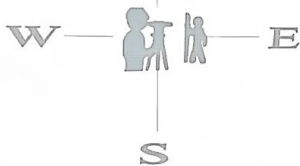
Date: 10/13/23

PETITION

1. Nick Marmitt of ALA Architects on behalf of the property owner Shaunak Ahuja.
2. 1220 N. Harvard Ave. Arlington Heights, IL 60004
3. Section 5.1-1.3
4. A variance is requested to change the current front yard setback offset from Watling St. (based on an average) from 48.8' to 29'-0". The northern most corner of the existing home is situated at 29'-0" from the property line along Watling St. in order to construct a second floor addition over the existing footprint of the home.
A variance is requested to change the current exterior side yard setback offset from N. Harvard Ave. (based on an average) from 32.5' to 27'-0". Requested setback would be the minimum to allow for the proposed 1 car garage addition, and subsequently allow for the proposed front porch addition as well.
5. No change in use is proposed. The proposed renovation/addition will maintain the character of the locality as this home will remain a single-family home.
6. There are several unique existing conditions prompting this variance request:
This residence was constructed in 1952, prior to the establishment of current zoning standards. When constructed in 1952, this home was built to meet the zoning codes and setbacks of that time.
This residence is located on a corner lot, which has stringent front & exterior side yard setbacks. This issue is compounded further by the house not being oriented orthogonally with the property boundaries. Together, these conditions prohibit the homeowner from constructing a second floor addition over a significant portion of their existing first floor.
7. The proposed variation is in harmony with the spirit and intent of the zoning requirements. Several neighboring houses have second floor additions or were originally constructed with a second floor. The proposed second floor addition would be constructed over the existing first floor footprint only and will not encroach any further toward Watling Street. In order to meet the needs of the homeowner and his family, the garage addition and front porch addition are proposed.
8. The requested front yard setback is the minimum variance necessary to provide the amount of living space necessary for the Ahuja family to grow & thrive in the community for years to come. Based on the needs of the Ahuja family, a second floor addition above the existing first floor is ideal to provide the space needed for the family, and achieves the space needs without expanding the homes footprint in a way that would create further conflict with setbacks and zoning codes.

The requested exterior side yard is the minimum necessary to provide a third car garage (adding to the existing 2 car garage).

North



1 IN. = 20 FT.
VERIFY SCALE
AGAINST THIS
GRAPHIC

BASIS OF BEARINGS IS ASSUMED

PLAT OF SURVEY

by
Michael J. Emmert Surveys, Inc.
of

Property located at: 1220 N. HARVARD AVENUE
Legally described as:

LOT 74 (EXCEPT THE WESTERLY 25 FEET THEREOF) IN SHERWOOD, A SUBDIVISION OF LOT 1 OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPT THE WEST 78 ACRES, MORE OR LESS AND EXCEPT THE SOUTH 25 FEET), IN COOK COUNTY, ILLINOIS.



LINE TABLE

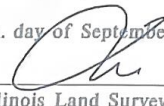
Line	Bearing	Distance	Measure
L1	N.54°13'02"E	125.00'	125.00'
L2	S.35°46'58"E	150.00'	150.00'
L3	S.54°13'02"W	125.00'	125.00'
L4	N.35°46'58"W	150.00'	150.00'

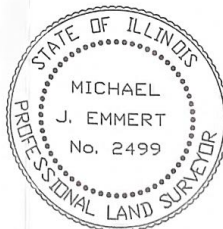
Survey ordered by: Drost, Gilbert, Andrew and Apicella

State of Illinois)
County of Du Page)

Michael J. Emmert Surveys, Inc., does hereby certify that we have surveyed the above described property and prepared the plat hereon drawn. The legal description shown hereon is provided by others. Refer to deed or title policy for building setbacks, easements and other restrictions which may exist. Dimensions not noted hereon shall not be assumed by scaling or otherwise. Compare all points before building and report any discrepancies. This professional service conforms to the current Illinois Minimum Standards for a Boundary Survey.
Date of field survey: September 27, 2022

Dated this 27th. day of September, 2022

By:  President
Professional Illinois Land Surveyor No. 2499
License expires on November 30, 2022
Professional Design Firm Land Surveyor Corporation No. 184.004811



A.C. - AIR CONDITIONER
W.M. - WATER METER
G.M. - GAS METER
T.I. - TELEPHONE INTERFACE
C.S. - CABLE SERVICE
E.M. - ELECTRIC METER

	1/8	1/4	3/8	1/2	5/8	3/4	7/8	
0 AND	.01	.02	.03	.04	.05	.06	.07	.08 = 1 INCH
1 AND	.09	.10	.11	.125	.14	.15	.16	.17 = 2 INCHES
2 AND	.18	.19	.20	.21	.22	.23	.24	.25 = 3 INCHES
3 AND	.26	.27	.28	.29	.30	.31	.32	.33 = 4 INCHES
4 AND	.34	.35	.36	.375	.39	.40	.41	.42 = 5 INCHES
5 AND	.43	.44	.45	.46	.47	.48	.49	.50 = 6 INCHES
6 AND	.51	.52	.53	.54	.55	.56	.57	.58 = 7 INCHES
7 AND	.59	.60	.61	.625	.64	.65	.66	.67 = 8 INCHES
8 AND	.68	.69	.70	.71	.72	.73	.74	.75 = 9 INCHES
9 AND	.76	.77	.78	.79	.80	.81	.82	.83 = 10 INCHES
10 AND	.84	.85	.86	.875	.89	.90	.91	.92 = 11 INCHES
11 AND	.93	.94	.95	.96	.97	.98	.99	1.0 = 1 FOOT

mike@mjesurveys.com
Michael J. Emmert Surveys, Inc.
185 East Vallette Street
Elmhurst, Illinois 60126
Office 630-516-0383

AHUJA RESIDENCE

1220 NORTH HARVARD AVENUE

ARLINGTON HEIGHTS, IL 60004

ARLINGTON HEIGHTS SPECIFIC NOTES:

NOTE: SOME NOTES LISTED IN THIS SECTION MAY NOT APPLY TO THIS SPECIFIC PROJECT DRAWING SET. ALL NOTES LISTED SHALL BE ACKNOWLEDGED WHETHER RELEVANT TO THIS PROJECT OR NOT.

NOTE: THE MAIN WAYS OF ELECTRICAL SERVICE DISCONNECT SHALL BE LOCATED WITHIN 5'-0" OF THE POINT WHERE SERVICE CONDUCTORS ENTER THE BUILDING AND/OR WITHIN 5'-0" OF THE METERING DEVICE.

NOTE: THE ELECTRIC PANEL SHALL NOT BE INSTALLED UNTIL ROOF SHEATHING IS INSTALLED.

NOTE: LABEL ALL CIRCUITS ON ELECTRIC PANEL DOOR & FIELD VERIFY LOCATION, LOCATE MIN. 5'-0" FROM SUMP PIT, PROVIDE MIN. 3/4" AIR SPACE BEHIND PANEL, PROVIDE 3/4" PLYWOOD BEHIND PANEL.

NOTE: PROVIDE ENERGY CERTIFICATE APPLIED IN OR ON ELECTRICAL PANEL.

NOTE: PROVIDE MIN. 30" X 36" WORKING CLEARANCE AT FURNACES, ELECTRICAL PANELS & DISCONNECT SWITCHES.

NOTE: VENT SUMP PIT INTO RADON PIPING IN BASEMENT.

NOTE: WATER & GAS PIPES FOR WATER HEATER TO BE BONDED TOGETHER.

NOTE: LOCATE FURNACE COMBUSTION AIR INTAKE, MIN. 10'-0" FROM WATER HEATER FLUE EXHAUST.

NOTE: THE EXCAVATING CONTRACTOR SHALL PROPERLY SHORE UP SURROUNDING GRADE TO PREVENT COLLAPSE.

NOTE: THE SOIL BEARING CAPACITY SHALL BE VERIFIED BY AN ILLINOIS LICENSED SOILS ENGINEER PRIOR TO POURING FOOTINGS. G.C. TO PROVIDE A COPY OF THE SOIL REPORT TO THE INSPECTOR AT THE TIME OF FOOTINGS INSPECTION.

NOTE: PROVIDE LOCAL DISCONNECT SWITCH FOR EACH FURNACE, DISHWASHER, AIR CONDITIONER & WATER HEATER.

NOTE: HVAC DUCTS TO BE SEALED WITH UL 181 LISTED TAPE OR APPROVED MASTIC.

NOTE: CONTRACTOR TO PROVIDE COPY OF ELECTRODYNAMICS LICENSE.

NOTE: PROVIDE CRAWL SPACE VENTILATION PER 2018 IRC SECTION R408.

NOTE: PROVIDE 1" GYP. BD. UNDER ALL STAIRCASES.

NOTE: BEAM POCKETS INTO FOUNDATION WALLS SHALL BE FULLY GROUTED.

NOTE: FIRE-BLOCKING FOR FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH F100.1.9. (SEE FIRE-BLOCKING NOTE ON SHEET A000.) WHEN THE ENCLOSING CHASE IS LOCATED ON AN OUTSIDE WALL, IT SHALL BE INSTALLED IN THE SAME MANNER AS THE ADJACENT WALL COMBUSTIBLE FRAMING WITHIN THE ENCLOSURE, EXCEPT THE SUPPORTING FLOOR CONSTRUCTION, SHALL BE COVERED WITH MIN. 5/8" DRYWALL, TAPED AND SEALED.

NOTE: FIREPLACE CHASES TO BE DRY-WALLED, TAPED & SEALED TO MATCH ADJACENT WALLS.

NOTE: DRYER EXHAUST DUCTS TO BE PERMANENTLY LABELED & SHOULD INDICATE CONCEALED LENGTH OF DRYER EXHAUST DUCT. LABEL TO BE LOCATED WITHIN 6' OF EXHAUST DUCT CONNECTION.

NOTE: FOR COMBUSTION AIR VENTS, PROVIDE UPPER VENTS @ 12" BELOW CEILING & LOWER VENTS @ 12" ABOVE FLOOR. SIZE OF VENTS TO BE ONE SQUARE INCH PER 1,000 BTU.

NOTE: EXPOSED STEEL BEAMS IN GARAGES SHALL BE COVERED WITH 3/4" TYPE C GYP. BD.

NOTE: EXPOSED STEEL BEAMS IN GARAGES SHALL BE WRAPPED WITH 2X4 FRAMING & 3/4" TYPE C GYP. BD.

NOTE: BASEMENT FOUNDATION WINDOW WELL JOINTS SHALL BE SEALED.

NOTE: WALLS ADJACENT TO UNFINISHED ATTICS TO BE INSULATED WITH MIN. R-21 INSULATION.

NOTE: PROVIDE CASKET & INSULATION TO MATCH ADJACENT ATTIC R-VALUE @ ALL ATTIC ACCESS SCUTES & PULL-DOWN STAIRS. PROVIDE 3/4" GYP. BD. & METAL ANGLE SUPPORT OF COVER AS REQUIRED @ ALL ATTIC ACCESS POINTS.

NOTE: FOR ATTIC FURNACE ROOMS, PROVIDE A CLEAR UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH FOR REMOVING THE FURNACE WITH CONTINUOUS SOLID FLOORING AT LEAST 24" IN WIDTH FROM FURNACE ROOM TO ATTIC ACCESS POINT.

ARLINGTON HEIGHTS SPECIFIC NOTES:

NOTE: SOME NOTES LISTED IN THIS SECTION MAY NOT APPLY TO THIS SPECIFIC PROJECT DRAWING SET. ALL NOTES LISTED SHALL BE ACKNOWLEDGED WHETHER RELEVANT TO THIS PROJECT OR NOT.

NOTE: WATER HEATERS SHALL BE MIN. 75 GAL. CAPACITY.

NOTE: PROVIDE ADDRESS BLOCK ON FRONT ELEVATION. ADDRESS NUMBERS SHALL BE MIN. 6" TALL ON OR ABOVE THE MAIN ENTRANCE, ON A CONTRASTING BACKGROUND, ON OR ABOVE MAIN ENTRY.

NOTE: ALL VAPOR BARRIER SEAMS SHALL BE SEALED W/ COMPATIBLE GUES.

NOTE: PROVIDE LABEL = "RADON REDUCTION SYSTEM" WHERE RADON PIPING IS EXPOSED & FACES THE ATTIC ACCESS OPENINGS.

NOTE: VAPOR BARRIER FOR RADON REDUCTION SYSTEMS TO BE MIN. 6 MIL THICK LAPPED 12" AND SEAMS SEALED WITH COMPATIBLE GUES.

NOTE: PROVIDE 3-WAY SWITCHES AT THE ENTRANCE/EXIT OF HALLWAYS FOR THE PURPOSE OF CONTROLLING LIGHT FIXTURES.

NOTE: PROVIDE 3-WAY SWITCHES AT ALL ROOMS WITH MORE THAN ONE ENTRANCE/EXIT.

NOTE: MINIMUM DIMENSIONS OF ANY OUTLET, SWITCH, JUNCTION, SPLICING, PULL BOX, ETC., SHALL BE 4" X 4" X 1 1/2".

NOTE: CIRCUITS FOR GENERAL LIGHTING SHALL NOT EXCEED 15 AMPS.

NOTE: FINISHED BASEMENTS REQUIRE A SEPARATE PERMIT BY VILLAGE.

NOTE: HOT WATER SYSTEMS FOR POTABLE WATER USE THAT EXCEED 50' OF SUPPLY PIPING SHALL BE INSTALLED WITH A HOT WATER RE-CIRCULATION SYSTEM. WHEN A GRAVITY SYSTEM IS NOT APPLICABLE, A PUMP & TIMER SHALL BE INSTALLED WITH FULL PORT BALL VALVES ON BOTH SIDES OF THE RE-CIRCULATION PUMP & TIMER. PROVIDE 1 1/2" WATER SERVICE, 1 1/2" WATER TAP & 1" WATER WATER.

NOTE: PROVIDE DOOR BELL WITH PUSH BUTTON @ FRONT DOOR.

NOTE: TEMP. CLASS GUE-LIGHTS @ EXTERIOR DOORS SHALL BE FULLY ETCHED & ETCHING SHALL BE VISIBLE AFTER INSTALLATION.

NOTE: WHERE INSTALLED IN AN UNCONDITIONED SPACE, ALL DUCTS SHALL BE SEALED WITH APPROVED TAPES OR SEALANTS. SUPPLY DUCTS IN ATTICS SHALL BE INSULATED WITH A MINIMUM OF R-8 DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION M100.3.1.

NOTE: PROVIDE BLOWER DOOR TEST REPORT, TO BE PERFORMED BY THIRD PARTY AGENCY AND SUBMITTED TO VILLAGE OF ARLINGTON HEIGHTS BUILDING DEPARTMENT PRIOR TO SCHEDULING OF FINAL INSPECTIONS.

NOTE: THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS). TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE THE BUILDING THERMAL ENVELOPE.

NOTE: OPENINGS IN GUARD RAILINGS SHALL NOT PERMIT THE PASSAGE OF A 4" DIA. SPHERE.

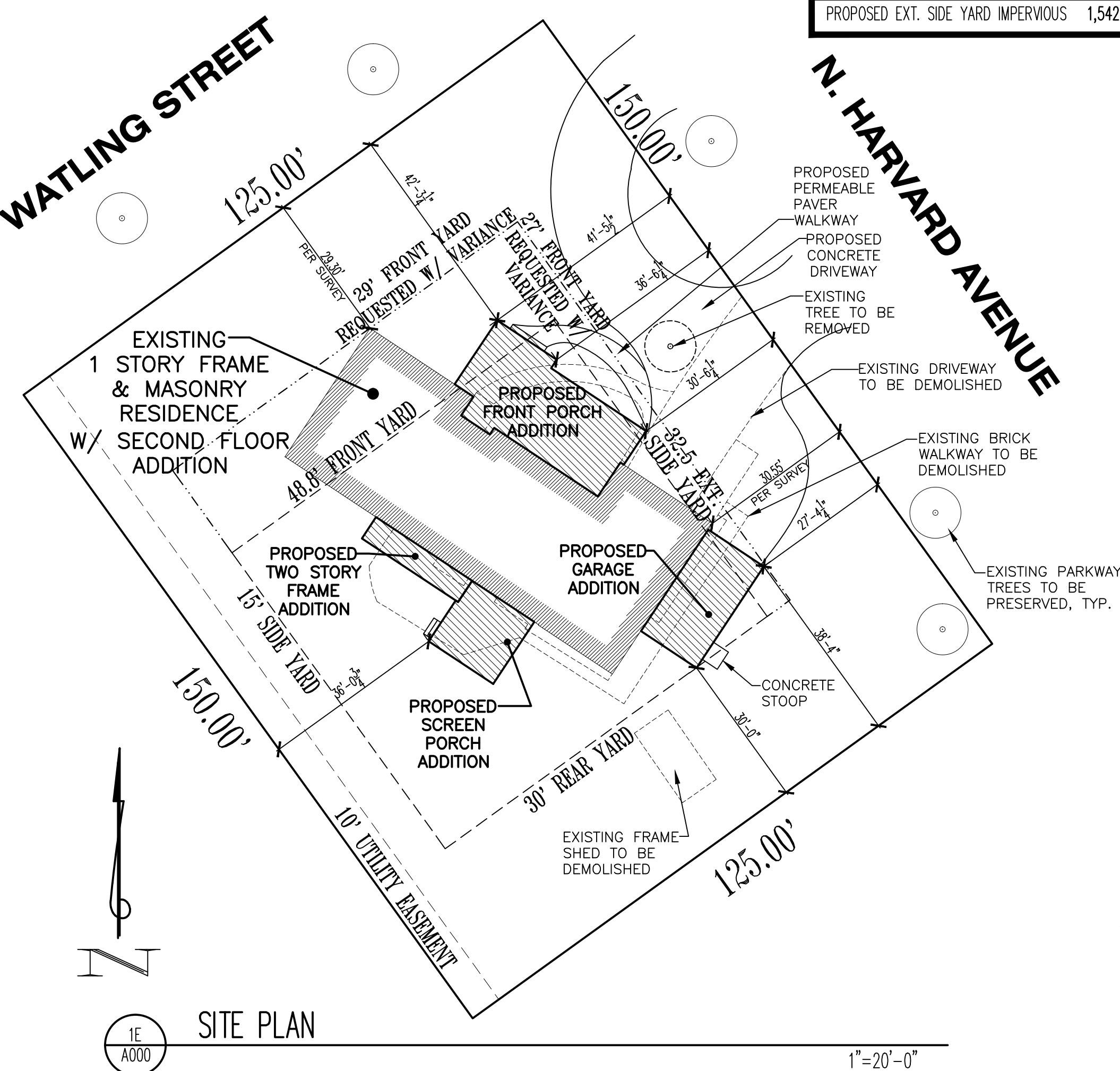
NOTE: FIRE PROTECTION OF FLOORS. FIRE ASSEMBLIES NOT REQUIRED ELSEWHERE TO BE FIRE-RESISTANCE RATED SHALL BE PROVIDED WITH A 3/4" GYPSUM WALLBOARD MEMBRANE, 8" WOOD STRUCTURAL PANEL MEMBRANE, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER, WITH EXCEPTIONS NOTED BELOW.

NOTE: PENETRATIONS OR OPENINGS FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING DEVICES, LUMINAIRES, WIRES, SPEAKERS, DRAINAGE, PIPING & SIMILAR OPENINGS OR OPENINGS WHERE COMPLIANT WITH THE FOLLOWING:

EXCEPTIONS:

1. FLOOR ASSEMBLIES DIRECTLY OVER AN AREA PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION P2904, NFPA 13D, OR OTHER APPROVED EQUIVALENT SPRINKLER SYSTEM.
2. FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A CRAWL SPACE NOT INTENDED FOR STORAGE OR FOR THE INSTALLATION OF FUEL-FIRED OR ELECTRIC POWERED HEATING APPLIANCES.
3. PORTIONS OF FLOOR ASSEMBLIES SHALL BE PERMITTED TO BE UNPROTECTED WHERE COMPLIANT WITH THE FOLLOWING:
 - A. THE AGGREGATE UNPROTECTED AREAS DO NOT EXCEED 80 SF PER STORY.
 - B. FIRE-LOOKING IN ACCORDANCE WITH SECTION R302.11.1 IS INSTALLED ALONG THE PERIMETER OF THE UNPROTECTED PORTION OF THE FLOOR ASSEMBLY.
 - C. WOOD FLOOR ASSEMBLIES USING DIMENSIONED LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR GREATER THAN 2 X 10 NOMINAL DIMENSION, OR OTHER APPROVED FLOOR ASSEMBLIES DEMONSTRATING EQUIVALENT FIRE PERFORMANCE.

AVERAGE FRONT YARD OF ADJACENT HOMES ON STREET		
FRONT YARD SETBACK DETERMINED BY AVERAGE OF NEIGHBORS ON STREET. FIELD MEASURED		
1220 N. HARVARD*	30.55'	
1206 N. HARVARD	34.50'	
AVERAGE EXTERIOR SIDE YARD (@ HARVARD)	32.5'	
1220 N. HARVARD*	29.30'	
1215 W. WATLING	47.8'	
1219 W. WATLING	48.7'	
1303 W. WATLING	49.9'	
1315 W. WATLING	52.7'	
1319 W. WATLING	64.9'	
AVERAGE FRONT YARD (@ WATLING)	48.8'	



ELEVATION NOTES

- * DO NOT SCALE ELEVATIONS, VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
- * WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP, RETAINING A COMMON EAVE DISTANCE
- * SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
- * IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS

WINDOW NOTES

- * ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET & INCHES TO BE MET WITHIN 2" OR EXCEEDED, DEPENDING ON MFG.
- EXAMPLE: 2555 = 2'-5" X 5'-5"
- EXAMPLE: 3068 = 3'-0" X 6'-8"
- EXAMPLE: 18080 = 18'-0" X 8'-0"
- TEMPERED GLASS = (1)
- DOOR OR WINDOW PANE SLIDES RIGHT = (2)
- FIXED WINDOW = (3)
- DOOR OR WINDOW PANE SLIDES LEFT = (4)
- EGRESS WINDOW = (5)
- EGRESS WINDOW BREAKDOWN =
MIN. CLEAR OPEN AREA OF 5.7 S.F.
MIN. CLEAR OPEN WIDTH OF 20"
MIN. CLEAR OPEN HEIGHT OF 24"
MAX. SILL HEIGHT OF 44"

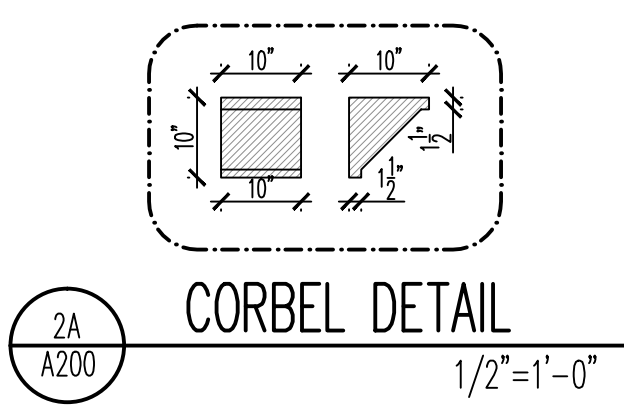
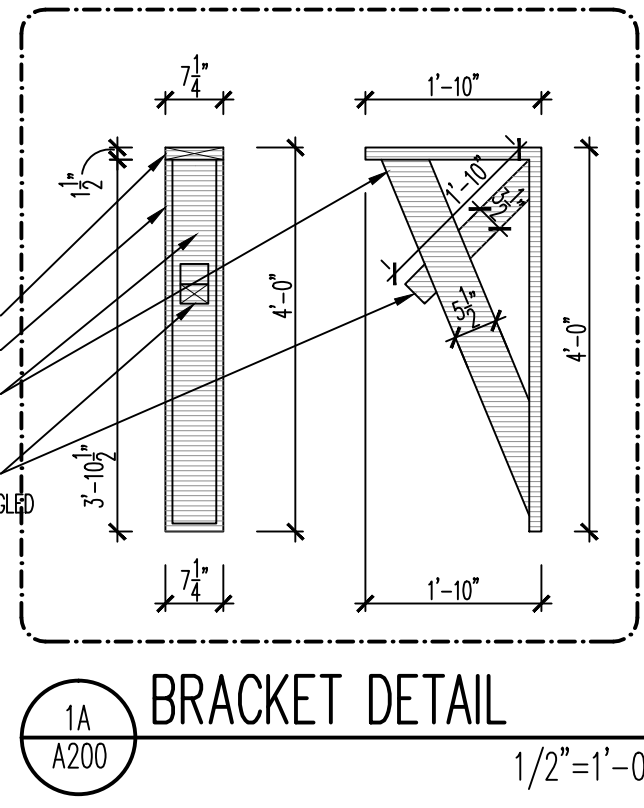
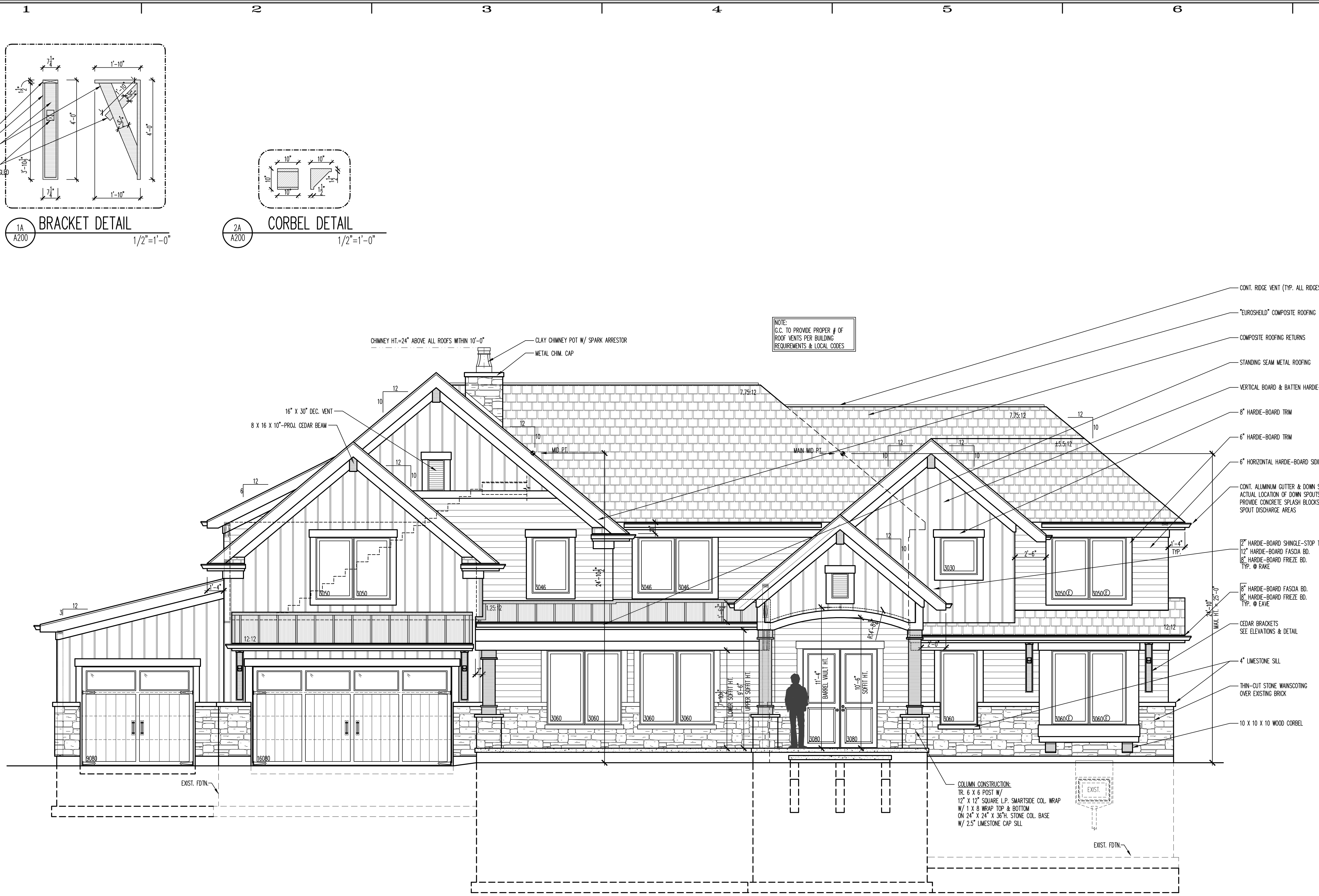
REMODELING & ADDITION NOTES

- * WHEN ALIGNING NEW ROOF PLANES WITH EXISTING, VERIFY EXISTING ROOF PITCH IN FIELD PRIOR TO PURCHASE OR ORDERING OF ROOFING STRUCTURAL AND FINISHING MATERIALS.
- * ALL NEW SIDING TO MATCH EXISTING UNLESS OTHERWISE NOTED. VERIFY WITH OWNER.
- * ALL NEW FASCIA, FRIZE AND SOFFITS TO MATCH EXISTING UNLESS OTHERWISE NOTED. VERIFY WITH OWNER.
- * VERIFY SIZE OF WINDOWS IN FIELD PRIOR TO PURCHASE.
- * ALL BEDROOMS MUST BE PROVIDED ONE EGRESS WINDOW SIZE TO MEET LOCAL CODE. VERIFY LOCATION WITH PLANS AND OWNER.

NOTE TO CONTRACTORS: **

ALL ARCHITECTURAL DESIGN ELEMENTS & DETAILS (ESPECIALLY COLUMN WRAPS) DEPICTED HAVE BEEN DESIGNED & PROPORTIONED CAREFULLY BY THE ARCHITECT. COLUMN WRAPS SHALL BE CONSTRUCTED TO THE SCALE SHOWN ON THE PLANS. THIS IS VITAL TO ACHIEVE PROPER PROPORTIONS FOR THE DESIGN OF THE EXTERIOR.

CONTRACTORS- IF YOU DETERMINE THE CONSTRUCTION OF CERTAIN ELEMENTS & DETAILS WILL BE REALIZED DIFFERENTLY THAN WE HAVE DESIGNED, PLEASE CONTACT US TO WORK THROUGH THE ISSUES THAT ARISE. WE WILL WORK WITH YOU TO REVISE OUR DESIGNED ELEMENTS SO THAT THEIR CONSTRUCTION CAN BE FEASIBLE & OUR DESIGN INTENT IS REALIZED TO CREATE THE BEST OUTCOME FOR OUR CLIENTS.



1E A200 FRONT ELEVATION 1/4"=1'-0"

AHUA RESIDENCE
1220 NORTH HARVARD AVENUE
ARLINGTON HEIGHTS, IL 60004

Architects & Planners, Inc.
IL Telephone: 615-788-9200 WI Telephone: 262-259-0021
2800 Belan Road at Rt. 176 98 W. Main St.
Crystal Lake, IL 60014 Lake Geneva, WI 53147
40 Crystal St. 1700 E. Racine Ave.
Cary, IL 60013 Waukegan, WI 53186

ALA

Job Number: 22406
Sheet Number: A200

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ELEVATION NOTES

- * DO NOT SCALE ELEVATIONS, VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
- * WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP, RETAINING A COMMON EAVE DISTANCE
- * SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
- * IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS

WINDOW NOTES

- * ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET & INCHES TO BE MET WITHIN 2" OR EXCEEDED, DEPENDING ON MFG.

EXAMPLE: 2555 = 2'-5" X 5'-5"

EXAMPLE: 3068 = 3'-0" X 6'-8"

EXAMPLE: 18080 = 18'-0" X 8'-0"

TEMPERED GLASS = (1)

FIXED WINDOW = (2)

EGRESS WINDOW = (3)

EGRESS WINDOW BREAKDOWN =

MIN. CLEAR OPEN AREA OF 5.7 S.F.

MIN. CLEAR OPEN WIDTH OF 20"

MIN. CLEAR OPEN HEIGHT OF 24"

MAX. SILL HEIGHT OF 44"

REMODELING & ADDITION NOTES

- * WHEN ALIGNING NEW ROOF PLANES WITH EXISTING, VERIFY EXISTING ROOF PITCH IN FIELD PRIOR TO PURCHASE OR ORDERING OF ROOFING STRUCTURAL AND FINISHING MATERIALS.

- * ALL NEW SIDING TO MATCH EXISTING UNLESS OTHERWISE NOTED. VERIFY WITH OWNER.

- * ALL NEW FASCIA, FRIZE AND SOFFITS TO MATCH EXISTING UNLESS OTHERWISE NOTED. VERIFY WITH OWNER.

- * VERIFY SIZE OF WINDOWS IN FIELD PRIOR TO PURCHASE.

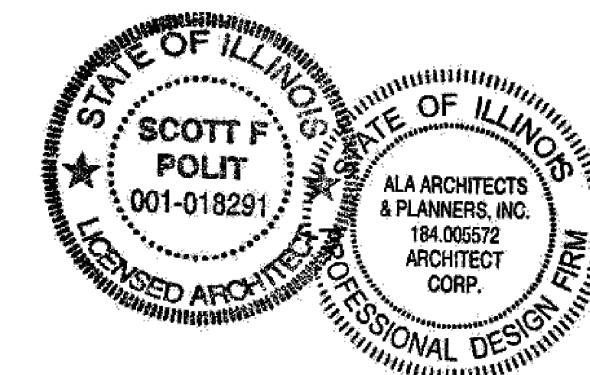
- * ALL BEDROOMS MUST BE PROVIDED ONE EGRESS WINDOW SIZE TO MEET LOCAL CODE. VERIFY LOCATION WITH PLANS AND OWNER.

NOTE TO CONTRACTORS: **
ALL ARCHITECTURAL DESIGN ELEMENTS & DETAILS (ESPECIALLY COLUMN WRAPS) DEPICTED HAVE BEEN DESIGNED & PROPORTIONED CAREFULLY BY THE ARCHITECT. COLUMN WRAPS SHALL BE CONSTRUCTED TO THE SCALE SHOWN ON THE PLANS. THIS IS VITAL TO ACHIEVE PROPER PROPORTIONS FOR THE DESIGN OF THE EXTERIOR.
CONTRACTORS- IF YOU DETERMINE THE CONSTRUCTION OF CERTAIN ELEMENTS & DETAILS WILL BE REALIZED DIFFERENTLY THAN WE HAVE DESIGNED, PLEASE CONTACT US TO WORK THROUGH THE ISSUES THAT ARISE. WE WILL WORK WITH YOU TO REVISE OUR DESIGNED ELEMENTS SO THAT THEIR CONSTRUCTION CAN BE FEASIBLE & OUR DESIGN INTENT IS REALIZED TO CREATE THE BEST OUTCOME FOR OUR CLIENTS.



REAR ELEVATION

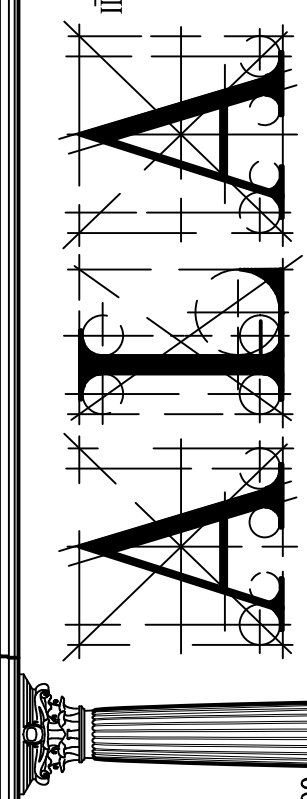
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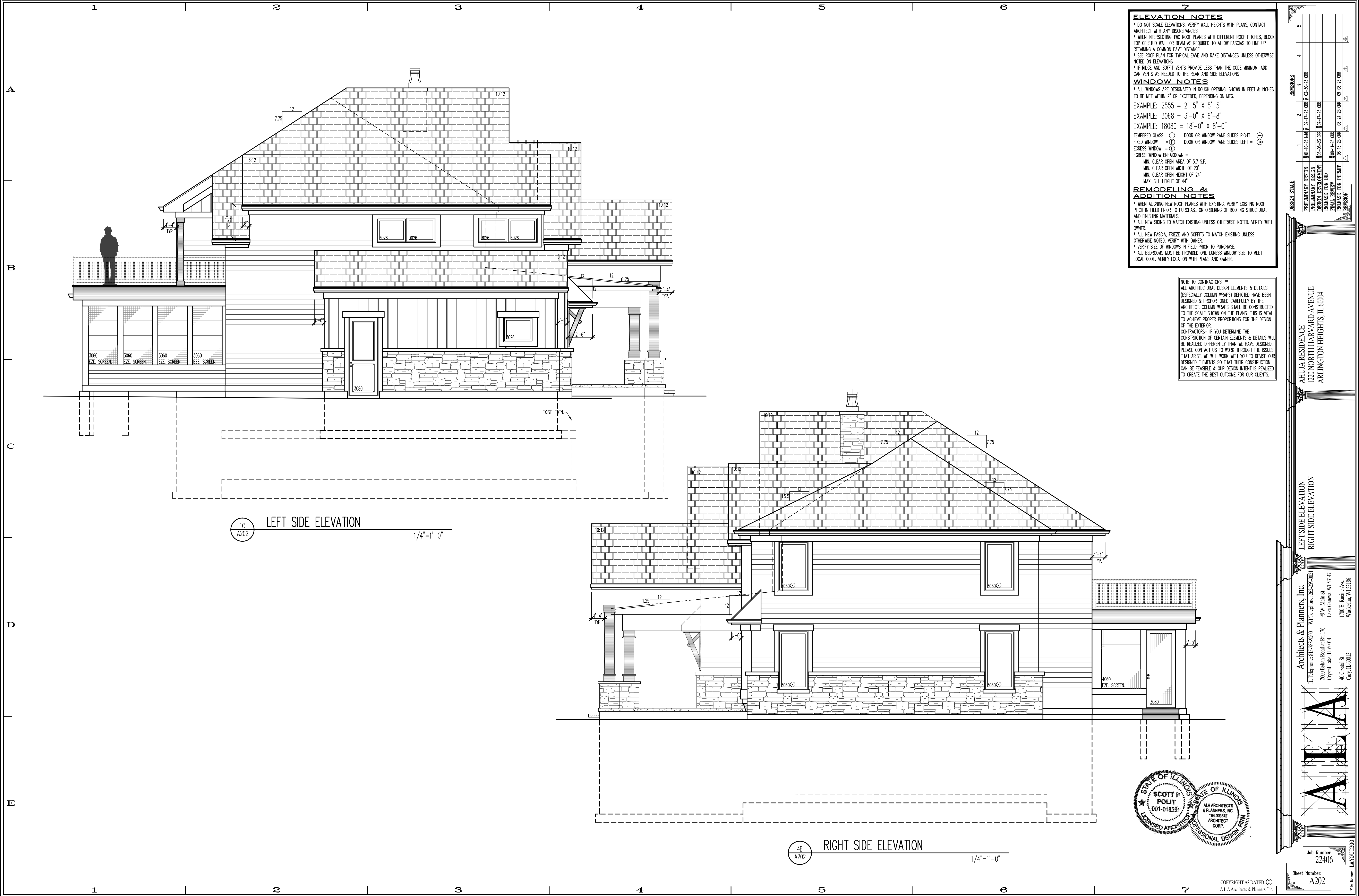
AHUIA RESIDENCE
1220 NORTH HARVARD AVENUE
ARLINGTON HEIGHTS, IL 60004

REAR ELEVATION

Architects & Planners, Inc.
IL Telephone: 630-588-9200 WI Telephone: 262-259-0021
2800 Belton Road at Rt. 176
Crystal Lake, IL 60014
98 W. Main St.
Lake Geneva, WI 53147
1700 E. Racine Ave.
Waukegan, WI 53186
40 Crystal St.
Cary, IL 60013



Job Number:
22406
Sheet Number:
A201
File Name: LAYOUT220



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WINDOW NOTES

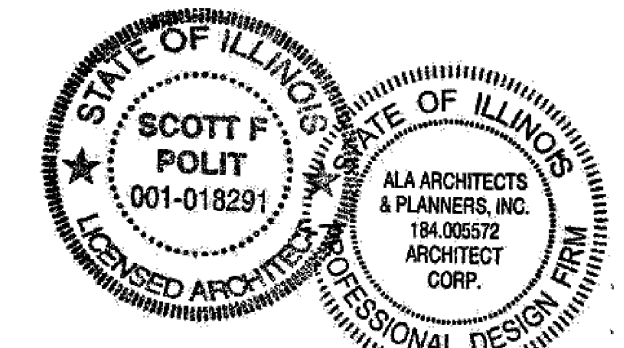
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MIN. CLEAR OPEN WIDTH OF 20"
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DESIGN STAGE

DESIGN STAGE	DATE	BY	REVISION
PRELIMINARY DESIGN	01-15-23	MM	01-15-23
PRELIMINARY DESIGN	03-17-23	MM	03-17-23
DESIGN DEVELOPMENT	05-02-23	MM	05-02-23
RELEASE FOR BID	07-17-23	MM	07-17-23
FINAL REVIEW	08-15-23	MM	08-15-23
RELEASE FOR PERMIT	08-24-23	MM	08-24-23
REVISION	09-08-23	MM	09-08-23

AHUA RESIDENCE
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ARLINGTON HEIGHTS, IL 60004

Architects & Planners, Inc.
IL Telephone: 630-578-9200 WI Telephone: 262-259-0021
2800 Belton Road at Rt. 176
Crystal Lake, IL 60014
40 Crystal St.
Cary, IL 60013

Job Number: 22406
Sheet Number: A202

ALA

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REVISIONS

NO.	DATE	REVISION
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CONTEXT ELEVATIONS

AHUIA RESIDENCE
1220 NORTH HARVARD AVENUE
ARLINGTON HEIGHTS, IL 60004

Architects & Planners, Inc.
IL Telephone: 815-788-9200 WI Telephone: 262-259-0021
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Crystal Lake, IL 60014
98 W. Main St.
Lake Geneva, WI 53147
1700 E. Racine Ave.
Waukegan, WI 53186
40 Crystal St.
Cary, IL 60013

Job Number: 22406
Sheet Number: A203
File Name: LA2027200

STATE OF ILLINOIS
SCOTT F. POLIT
001-018291
LICENSED ARCHITECT

STATE OF ILLINOIS
ALA ARCHITECTS & PLANNERS, INC.
184 CROSSING
ARCHITECT CORP.
PROFESSIONAL DESIGN FIRM

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DESIGN STAGE	REVISIONS				
	1	2	3	4	5
PRELIMINARY DESIGN	01-16-23 AM	02-17-23 OR	03-20-23 OR		
PRELIMINARY DESIGN					
DESIGN DEVELOPMENT	05-05-23 OR	07-27-23 OR			
RELEASE FOR BID					
FINAL REVIEW	08-11-23 OR				
RELEASE FOR PERMIT	09-16-23 OR				
REVISION	A	A	A	A	A

AHUJA RESIDENCE
1220 NORTH HARVARD AVENUE
ARLINGTON HEIGHTS, IL 60004

NEIGHBORHOOD PHOTO BOARD

Architects & Planners, Inc.

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2600 Belhan Road at Rt. 176
Crystal Lake, IL 60014
98 W. Main St.
Lake Geneva, WI 53147
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Job Number: 22406

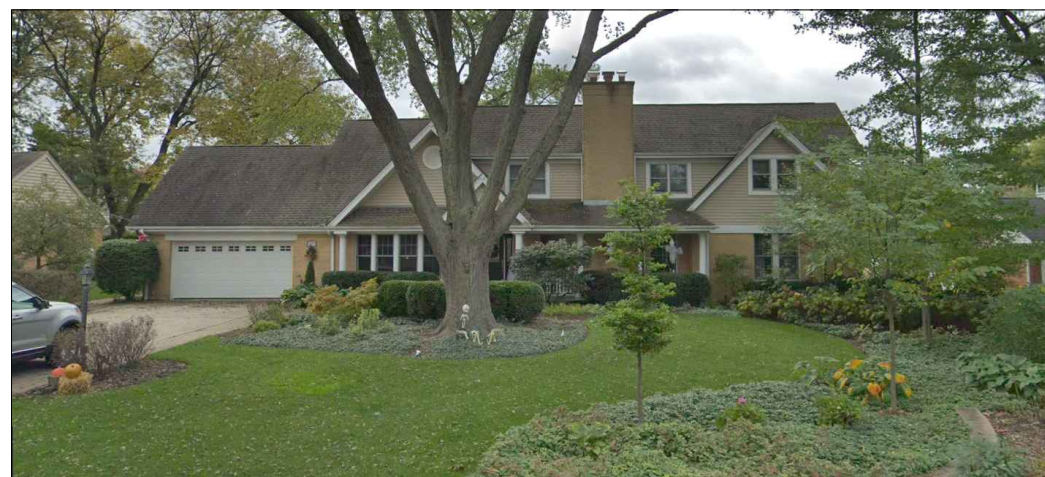
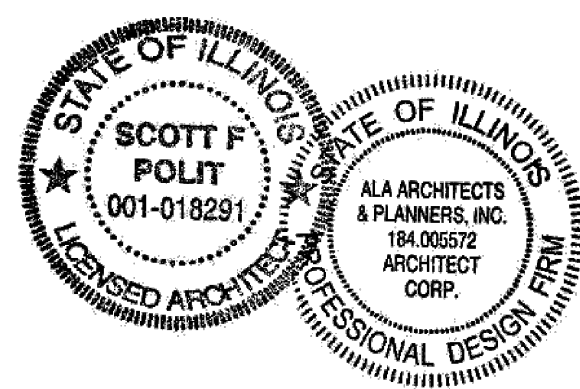
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NEIGHBORHOOD PHOTO BOARD

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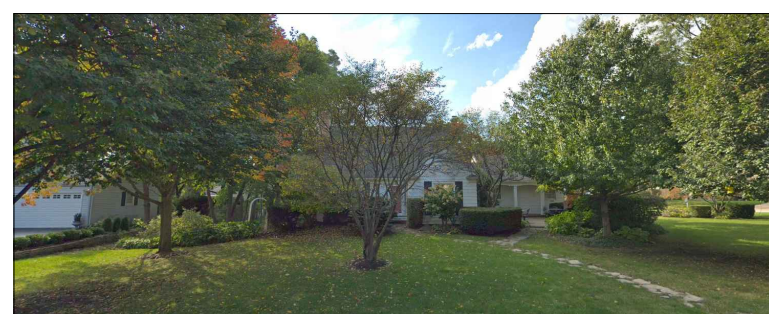
SUBJECT PROPERTY: 1220 N HARVARD



1206 N HARVARD



1130 N HARVARD



1144 N HARVARD



1122 W. WATLING



1206 W. WATLING



1221 N HARVARD



DESIGN STAGE	1	2	3	4	5
PRELIMINARY DESIGN	04-12-23 11:00	04-17-23 08:00	05-22-23 08:00		
PRELIMINARY DESIGN					
DESIGN DEVELOPMENT	05-02-23 08:00	07-17-23 08:00			
RELEASE FOR BID					
FINAL REVIEW	06-11-23 08:00	06-12-23 08:00	06-24-23 08:00	09-05-23 08:00	
REVISION					

Architects & Planners, Inc.
11 Telephone: 815-788-9200 WI Telephone: 262-259-4021
2600 Belton Road at Rt. 176 98 W. Main St. 53147
Crystal Lake, IL 60014 Lake Geneva, WI 53147
40 Crystal St. 1700 E. Racine Ave.
Cary, IL 60013 Waukegan, WI 53186

EXISTING ELEVATIONS

AHUIA RESIDENCE
1220 NORTH HARVARD AVENUE
ARLINGTON HEIGHTS, IL 60004

ALA

Job Number: 22406
Sheet Number: A205
File Name: LA2027200

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Zoning Board of Appeals 11/13/2023

Item: 905 N. Mitchell Ave. - ZBA#23-039

Department: Planning & Community Development Department

REQUEST

- A 2.0-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow a second story addition with a side yard setback of 5.5 feet instead of the required 7.5 feet and an additional 1.0 feet for the eave.
- A 2.4-foot variation from Chapter 28, Section 5.1-3.3c (Required Minimum Yards) to allow an addition with an exterior side yard setback of 29.9 feet instead of the required 32.3 feet and an additional 1.0 feet for the eave.

ATTACHMENTS:

Description

Supporting Documents

Type

Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: November 13, 2023
Date Prepared: November 8, 2023
Project Title: Malloy Residence
Address: 905 N. Mitchell Ave.

Background Information

Petition Number: ZBA #23-039
Petitioner: Sean Malloy
Address: 905 N. Mitchell Ave.
Arlington Heights IL 60004

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

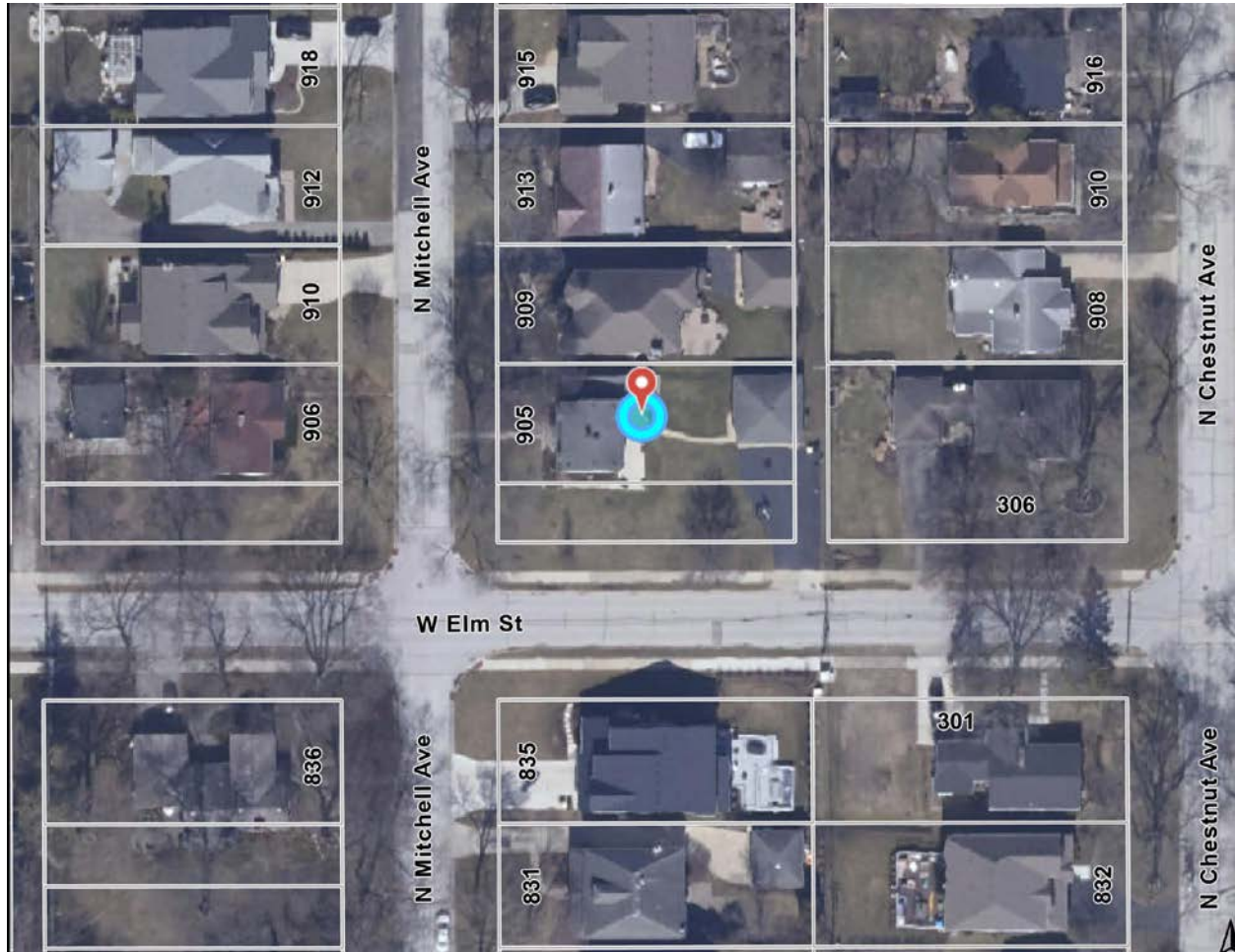
The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 9,375 square feet and the proposed residence with the addition will be approximately 3,164 square feet. The petitioner is proposing an addition which includes expanding the footprint in the rear of the home and expanding the second story. The proposed addition is encroaching into the required side yard setback and the exterior side yard setback. Therefore, the petitioner is requesting the following variations:

- A 2.0-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow a second story addition with a side yard setback of 5.5 feet instead of the required 7.5 feet and an additional 1.0 feet for the eave.
- A 2.4-foot variation from Chapter 28, Section 5.1-3.3c (Required Minimum Yards) to allow an addition with an exterior side yard setback of 29.9 feet instead of the required 32.3 feet and an additional 1.0 feet for the eave.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

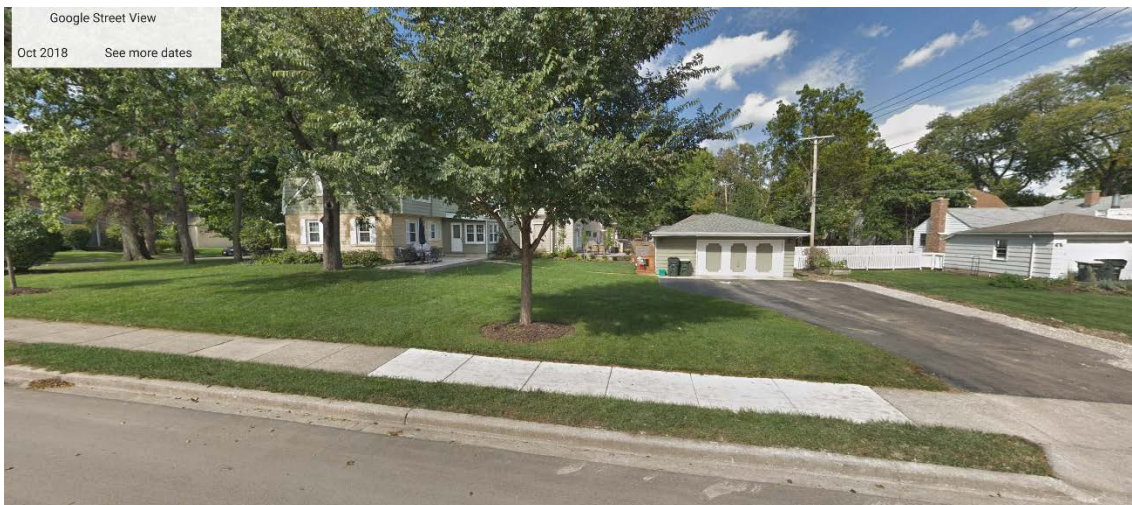
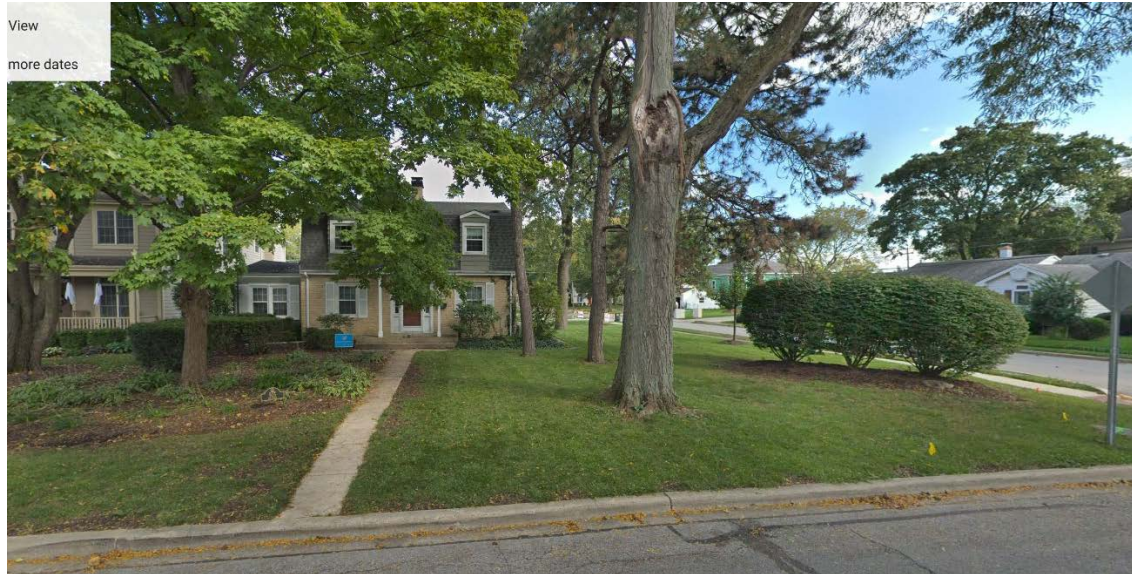
Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	10/13/23	
2. List of Property Owners Within 250 feet of Subject Property	✓	10/13/23	
3. Letter that was Mailed	✓	10/13/23	
4. Photographs of Sign on Property	✓	10/13/23	

Photographs of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Nusrat Jahan, Building & Life Safety Department

Project Name: Malloy Residence

Project Address: 905 N. Mitchell Avenue

ZBA #: 23-039

Date: October 30, 2023

Derek:

We have reviewed the request for the following variance:

- **A 2.0-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow a second story addition with a side yard setback of 5.5 feet instead of the required 7.5 feet and an additional 1.0 feet for the eave.**
- **A 2.4-foot variation from Chapter 28, Section 5.1-3.3c (Required Minimum Yards) to allow an addition with an exterior side yard setback of 29.9 feet instead of the required 32.3 feet and an additional 1.0 feet for the eave.**

and have the following comment:

1. The north part of the proposed addition eave soffit within 5 feet of the property line shall have a 1-hour fire-resistance rating or solid blocking between the top plate and the roof sheathing.
2. We have no comment for the second variance on the south side of the proposed addition.

Please see Engineering comments

905 N Mitchell Ave – 23-039 -

1. Engineering has NO OBJECTION to a 2.0-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow a second story addition with a side yard setback of 5.5 feet instead of the required 7.5 feet and an additional 1.0 feet for the eave. **Note: Even though this is the existing footprint of the home, an existing and proposed grading plan will be required with cross sections along the west property line at the time of permitting.**
2. Engineering has NO OBJECTION to a 2.4-foot variation from Chapter 28, Section 5.1-3.3c (Required Minimum Yards) to allow an addition with an exterior side yard setback of 29.9 feet instead of the required 32.3 feet and an additional 1.0 feet for the eave.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Malloy Residence

Project Address: 905 N. Mitchell Avenue

ZBA #: 23-039

ZBA Hearing Date: November 13, 2023

To: Mike Pagones, Village Engineer
Jorge Torres, Director of Building and Life Safety

C: Michael Lysicatos, Assistant Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Landscape Planner

Transmitted On: October 19, 2023

- A 2.0-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow a second story addition with a side yard setback of 5.5 feet instead of the required 7.5 feet and an additional 1.0 feet for the eave.
- A 2.4-foot variation from Chapter 28, Section 5.1-3.3c (Required Minimum Yards) to allow an addition with an exterior side yard setback of 29.9 feet instead of the required 32.3 feet and an additional 1.0 feet for the eave.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

The proposed design is nicely done. Staff intends to administratively approve the design, pending the outcome of the ZBA review.

- Steve Hautzinger, Design Planner

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner Sean Malloy

being the owner of the property commonly known as: 905 N. Mitchell Ave.

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 12.1

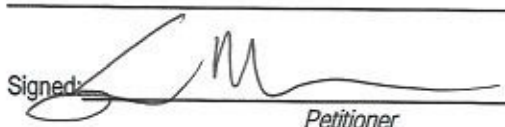
Chapter 28, of the Arlington Heights Municipal Code, in order to: Approve side yard setback variations
as follows: North: 2'-6" beyond required setback. South: 2'-5" beyond required setback

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): The side yard variations will not negatively impact adjacent properties or the neighborhood as a whole. The variations align with the existing structure and provide continuity between the existing house and the new addition, resulting in a "curb appeal" that fits within the character of the locality.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): The plight of the owner is impacted by the prohibitive and restrictive average setback on the South side of the property established by the front yard of 306 W. Elm St. Said property is approx. 150.5 ft. from subject property. The variation of 2'-5" is not detectable from Elm St., Mitchell Ave., or neighboring homes.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): The proposed variations align with the existing structure, and provides proportional massing of the structure as a whole. The proposed variations provide for a house that is in harmony with the neighborhood in both size, architectural style and form.

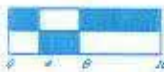
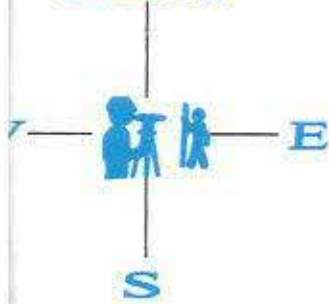
I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): The requested variance is the minimum necessary because the setback variations align with the existing structure, and do not create an unattractive or even noticeable encroachment into a required side yard. The plans have been approved by the Design Commission pending Zoning Board of Appeals approval. The new exterior of the subject property will fit in harmony with the neighborhood.

Signed: 

Petitioner

Date: 10/11/23

North



1 IN. = 16 FT.
VERIFY SCALE
AGAINST THIS
GRAPHIC

ALL BEARINGS ARE ASSUMED

PLAT OF SURVEY

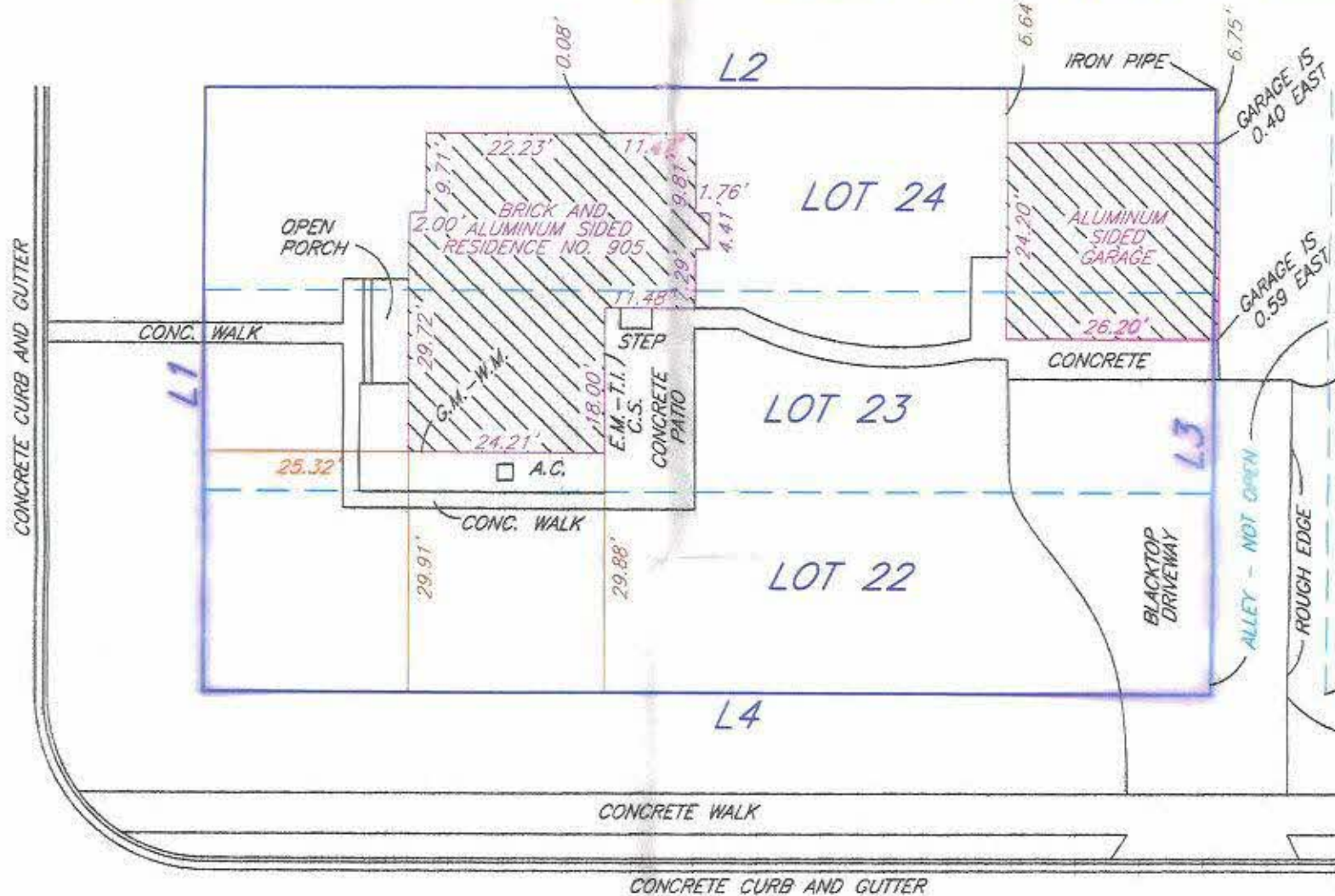
by
Michael J. Emmert Surveys, Inc.
of

Property located at: 905 N. MITCHELL AVENUE
Legally described as:

LOTS 22, LOT 23 AND LOT 24 IN BLOCK 12 IN MITCHELL'S ADDITION TO ARLINGTON HEIGHTS, BEING A SUBDIVISION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

LINE TABLE

Line	Bearing	Distance	Meas
L1	N.00°00'57"E.	75.00'	75.
L2	N.89°53'59"E.	125.00'	125.
L3	S.00°12'59"W.	75.00'	75.
L4	N.89°58'13"W.	125.00'	125.



AIR CONDITIONER
WATER METER
GAS METER
TELEPHONE INTERFACE
CABLE SERVICE
ELECTRIC METER

ordered by: John Kennedy

of Illinois)

ty of Du Page)

Michael J. Emmert Surveys, Inc., does hereby certify that we have surveyed the above described property and prepared the plat hereon drawn. The legal description shown hereon is based on the deed or title policy for building setbacks, easements or other restrictions which may exist. Dimensions not noted hereon shall not be assumed by scaling or otherwise. Compare all points before building and report any discrepancies. This professional survey conforms to the current Illinois Minimum Standards for a Boundary Survey. Date of field survey: June 9, 2014

of this 9th. day of June, 2014

President

Professional Illinois Land Surveyor No. 2499

License expires on November 30, 2014

Professional Design Firm Land Surveyor Corporation No. 184.004811

W. ELM STREET



	1/8	1/4	3/8	1/2	5/8	3/4	7/8	
0 AND	.01	.02	.03	.04	.05	.06	.07	.08
1 AND	.09	.10	.11	.12	.13	.14	.15	.16
2 AND	.18	.19	.20	.21	.22	.23	.24	.25
3 AND	.26	.27	.28	.29	.30	.31	.32	.33
4 AND	.34	.35	.36	.37	.38	.39	.40	.41
5 AND	.43	.44	.45	.46	.47	.48	.49	.50
6 AND	.51	.52	.53	.54	.55	.56	.57	.58
7 AND	.59	.60	.61	.62	.63	.64	.65	.66
8 AND	.68	.69	.70	.71	.72	.73	.74	.75
9 AND	.76	.77	.78	.79	.80	.81	.82	.83
10 AND	.84	.85	.86	.87	.88	.89	.90	.91
11 AND	.93	.94	.95	.96	.97	.98	.99	1.0

original plat is in c
Michael J. Emmert Surveys,
185 East Vallette Street
Elmhurst, Illinois 60126
Office 630-516-0383
Fax 630-516-0387

NORTH



1 IN. = 16 FT.
VERIFY SCALE
AGAINST THIS
GRAPHIC
IF OF BEARINGS IS ASSUMED

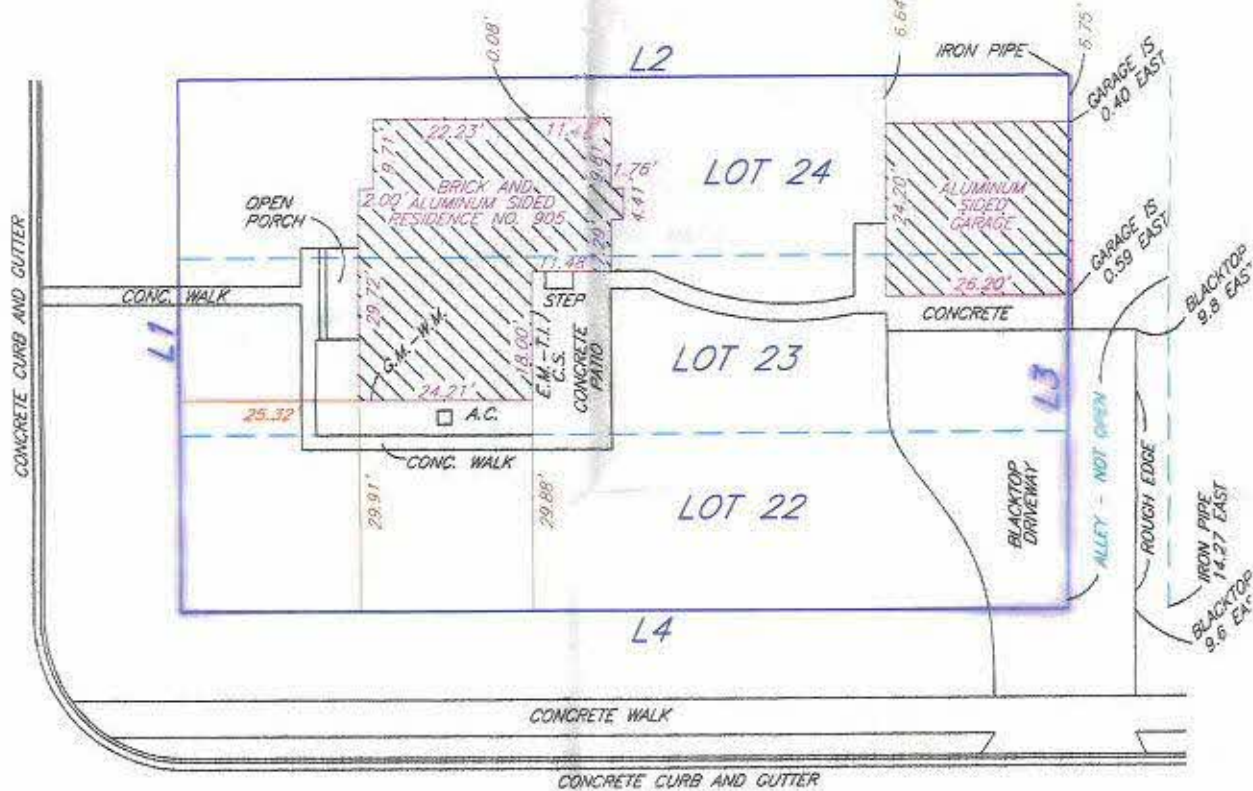
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L3	S.00°12'59"W	75.00'	75.30'
L4	N.89°58'13"W	125.00'	125.00'



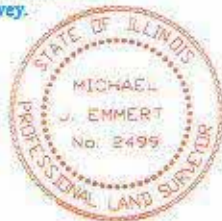
W. ELM STREET

- AIR CONDITIONER
WATER METER
GAS METER
ELECTRIC METER
CABLE SERVICE
ELECTRIC METER
by ordered by: John Kennedy

of Illinois)
ty of Du Page)
Michael J. Emmert Surveys, Inc. does hereby certify that we have surveyed the above
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Professional Illinois Land Surveyor No. 2499
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original plat is in color
Michael J. Emmert Surveys, Inc
185 East Vallette Street
Elmhurst, Illinois 60126
Office 630-516-0383
Fax 630-516-0387

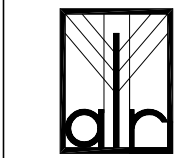
MALLOY RESIDENCE ADDITION - RENOVATION

905 N. MITCHELL AVE. ARLINGTON HTS., ILLINOIS

GENERAL NOTES

- DRAWING INDEX
A-0 SITE PLAN, NOTES & CODES
A-1 FOUNDATION PLANS SECTION
A-2 FIRST FLOOR PLANS
A-3 SECOND FLOOR PLANS
A-4 EXISTING ELEVATIONS
A-4.1 PROPOSED ELEVATIONS
A-5 ROOF PLAN
CE-1 CONCEPT ELEVATIONS

Issue	Date	Description



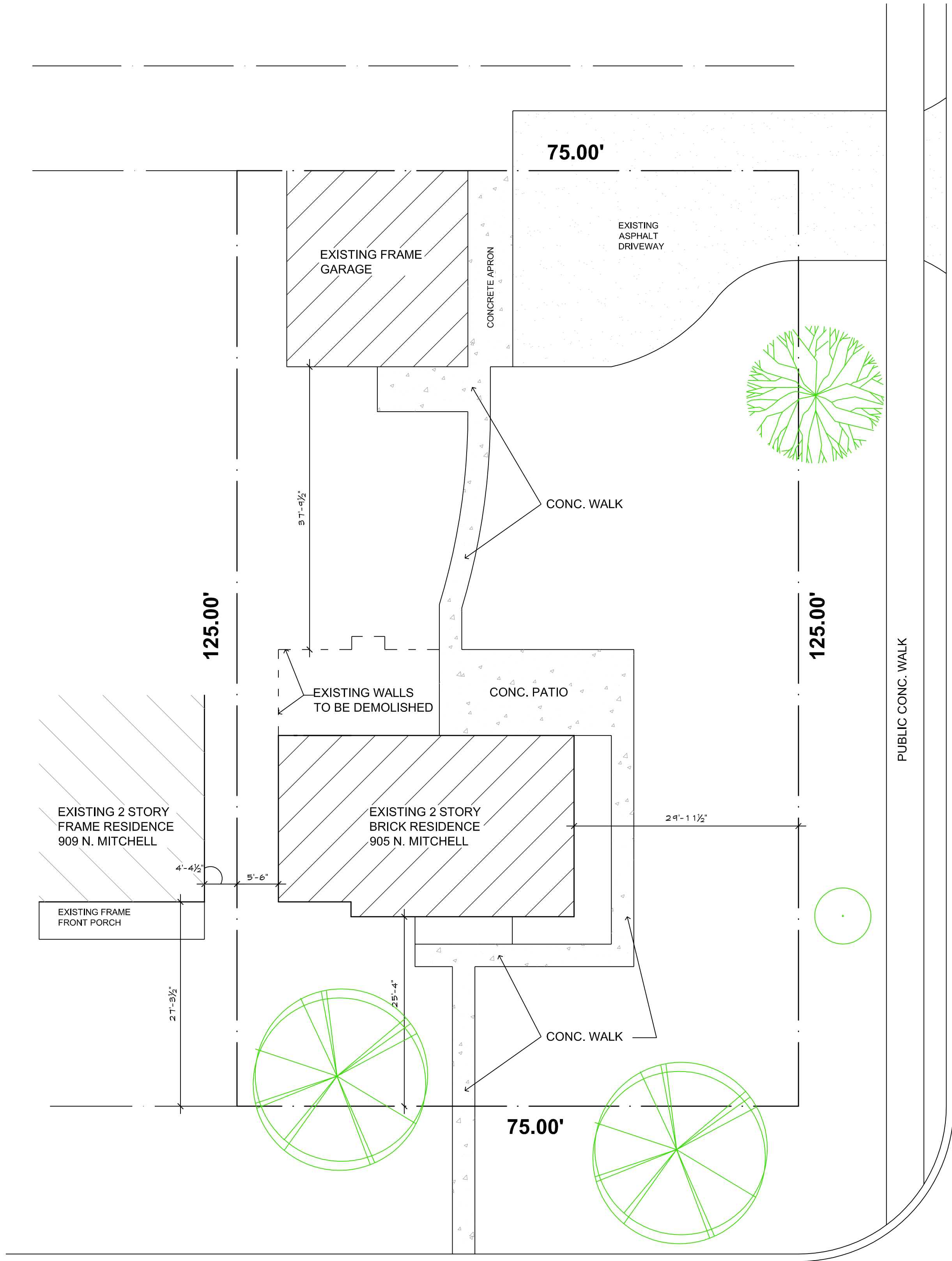
ALR
Assoc. Ltd.
1030 East Northwest Hwy.
Suite 200C
Mt. Prospect, Illinois 60056
Telephone: 847 788 1686
Facsimile: 847 788 1685

Architects | Designers

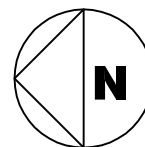
MALLOY RESIDENCE
905 N. MITCHELL AVE.
ARLINGTON HTS., ILLINOIS

SHEET TITLE
SITE PLAN, NOTES & CODES

Drawn LFR/RS	Project number	Sheet number
Date 9-5-23	Scale NOTED	A-0

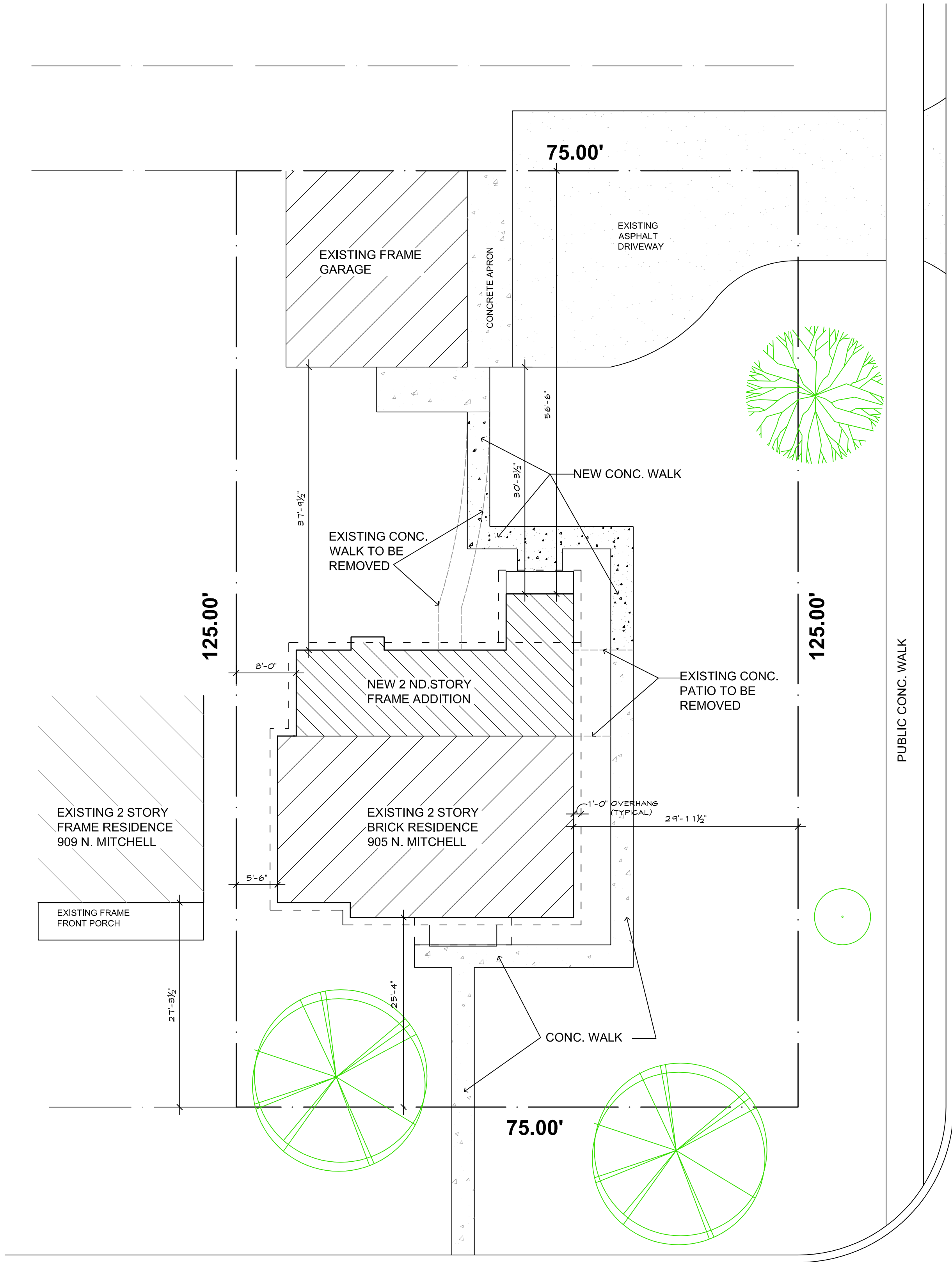


N. MITCHELL AVE.

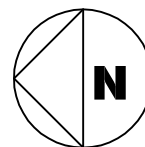


EXISTING SITE PLAN

SCALE: 1" = 10'-0"



N. MITCHELL AVE.

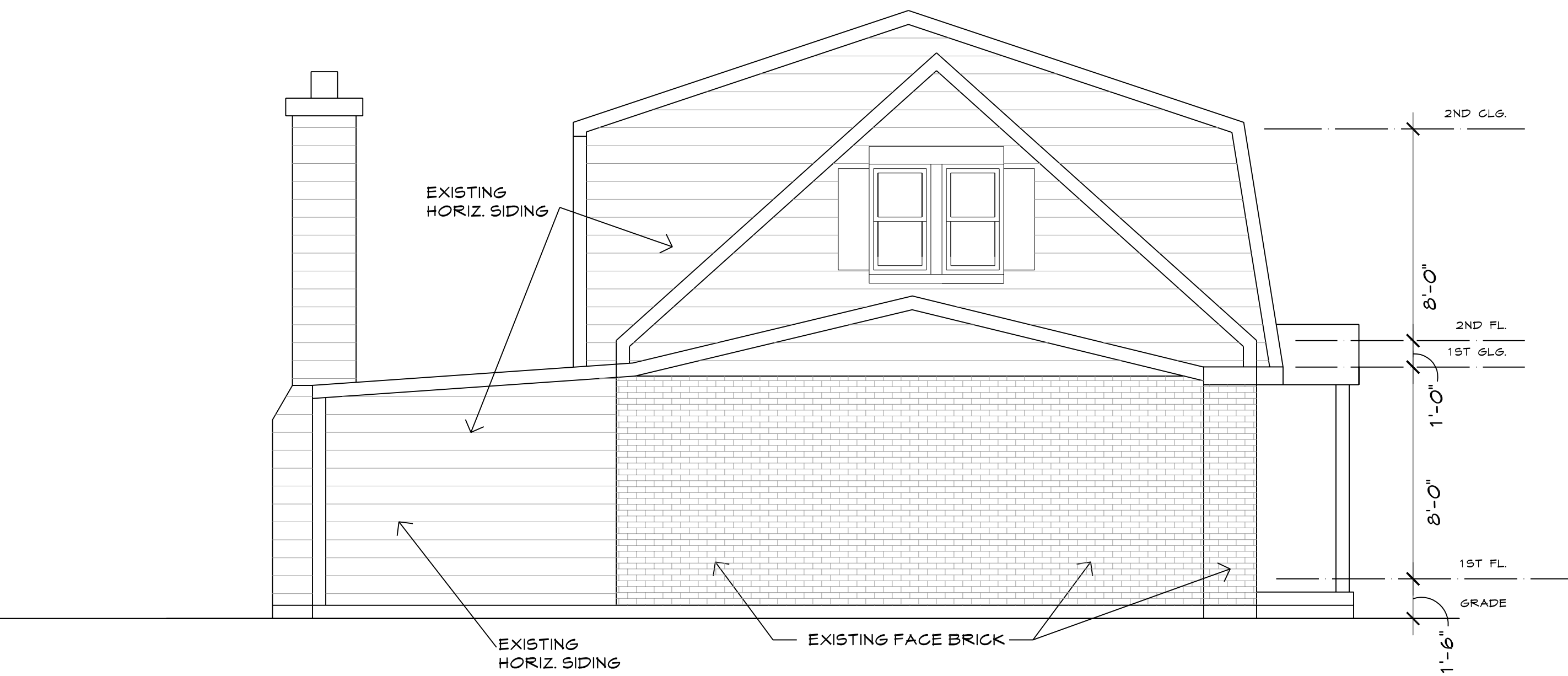


PROPOSED SITE PLAN

SCALE: 1" = 10'-0"



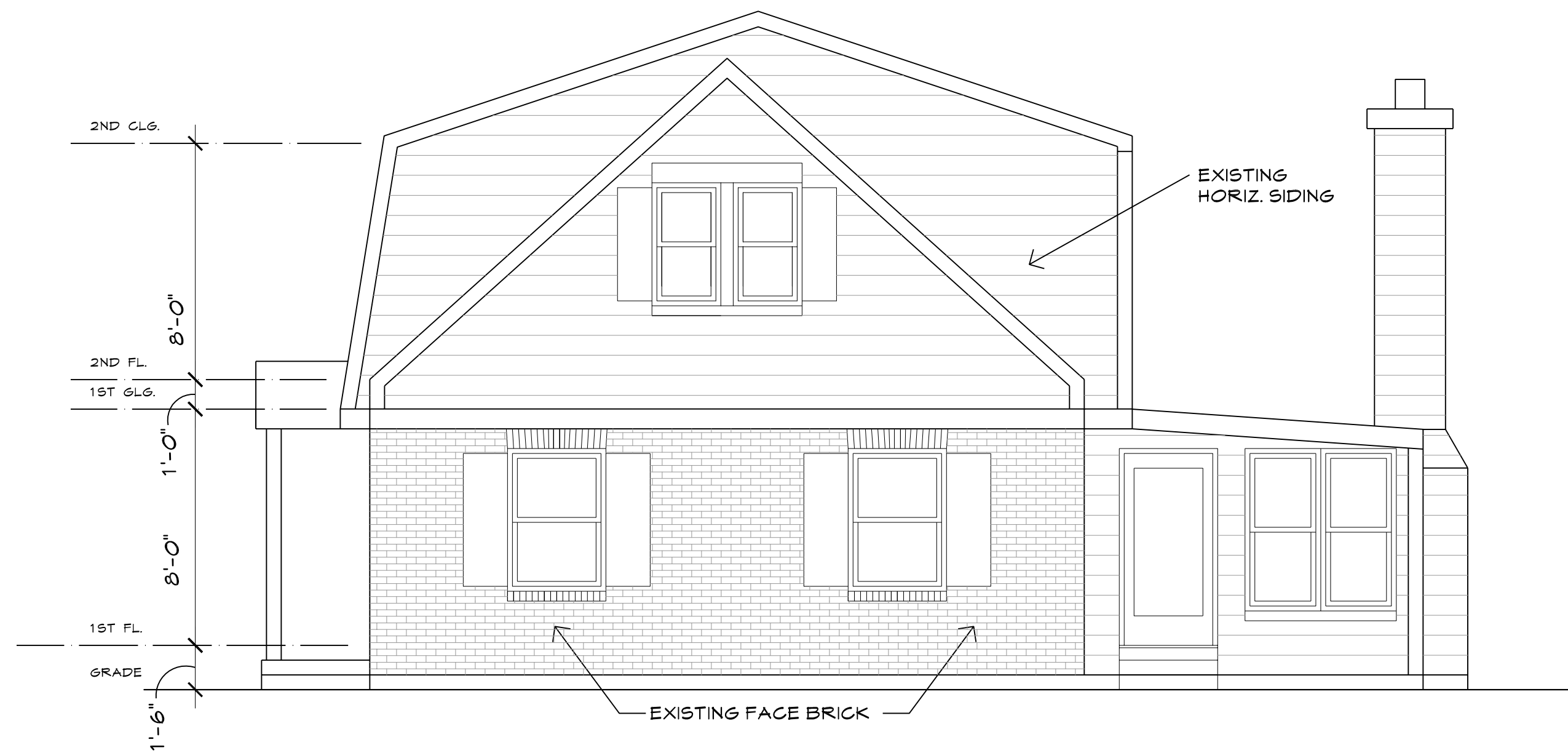
EAST ELEVATION
(EXISTING)



NORTH ELEVATION
(EXISTING)



WEST ELEVATION
(EXISTING)



SOUTH ELEVATION
(EXISTING)

GENERAL NOTES

Issue	Date	Description



ALR
Assoc. Ltd.

1030 East Northwest Hwy.
Suite 200C
Mt. Prospect, Illinois 60056

Telephone: 847 788 1686
Facsimile: 847 788 1685

Architects | Designers

MALLOY RESIDENCE
ADDITION-RENOVATION
905 N. MITCHELL
ARLINGTON HTS., IL.

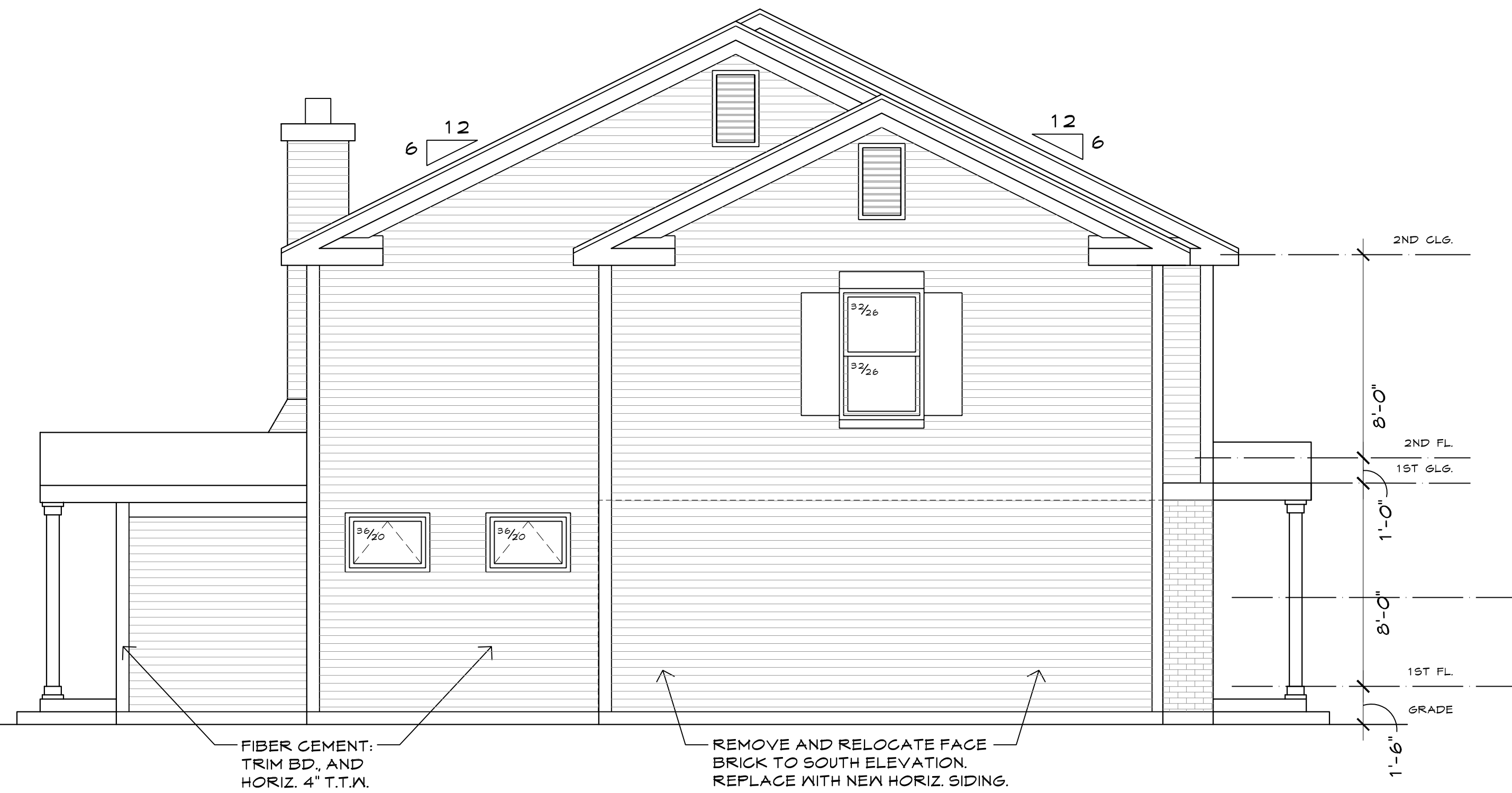
SHEET TITLE
EXISTING
ELEVATIONS

Drawn	Project number	Sheet number
LFR/RS		
Date	Scale	
9-5-23	1/4" = 1'-0"	

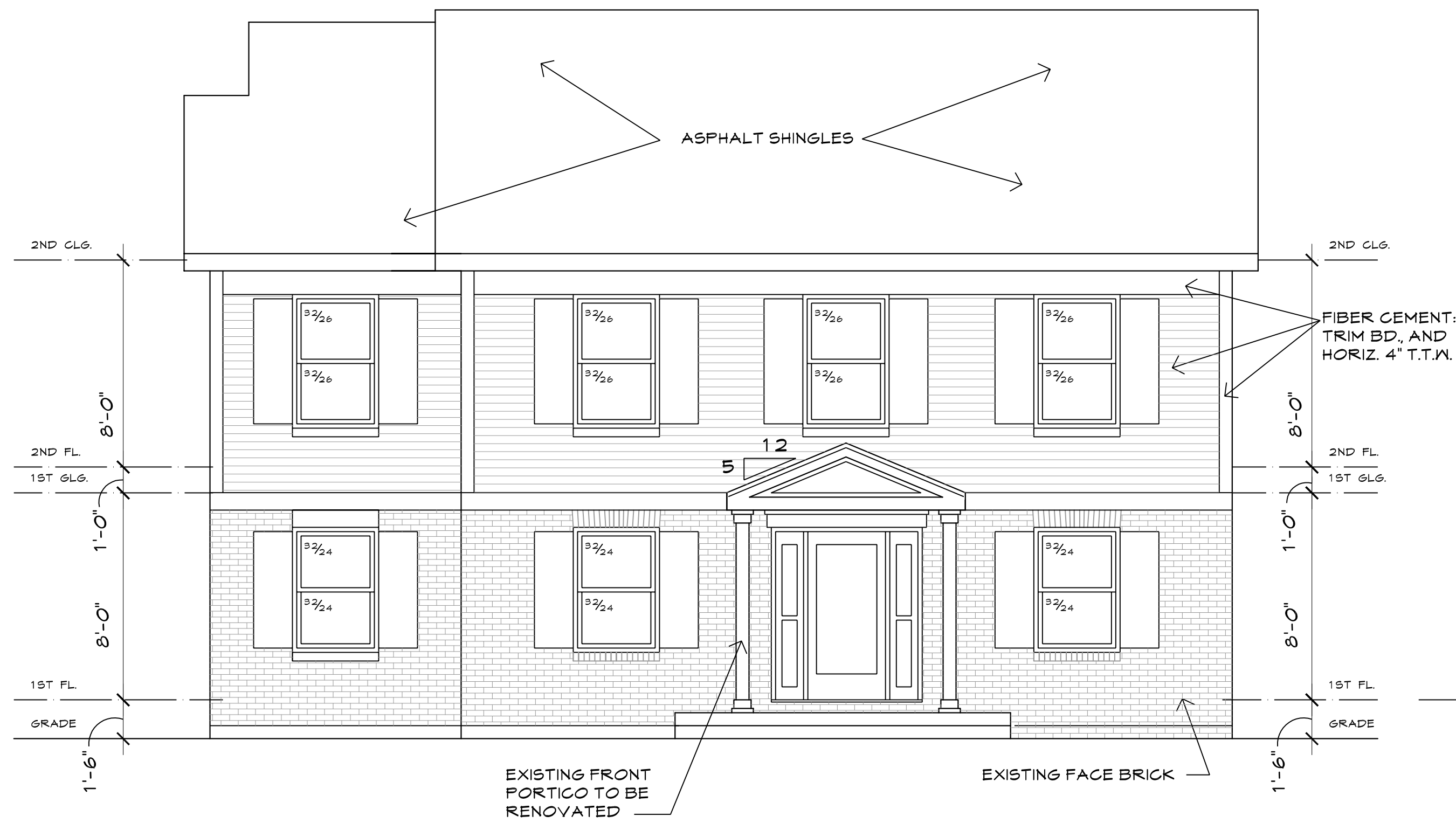
A-4



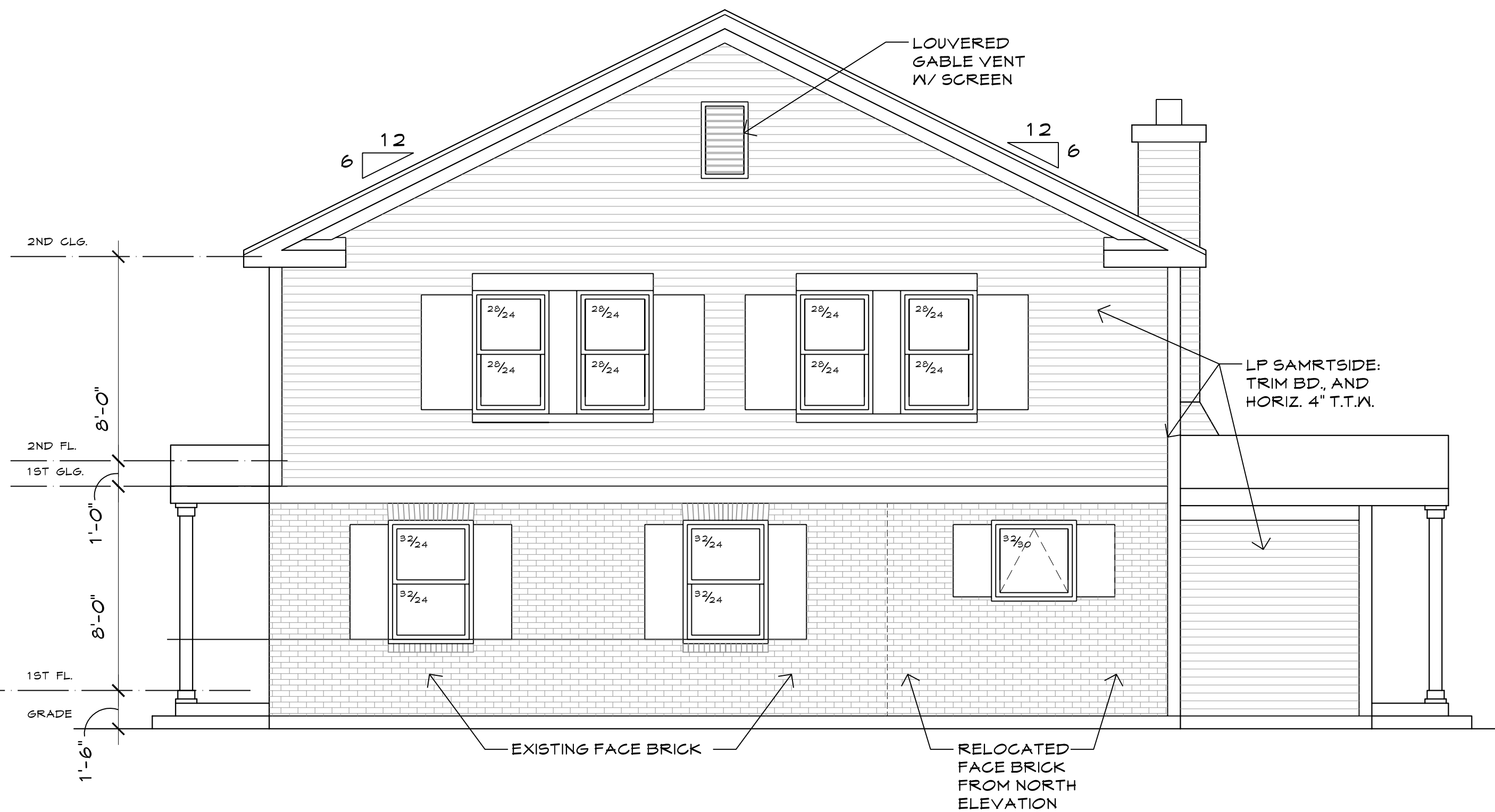
EAST ELEVATION



NORTH ELEVATION



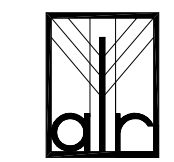
WEST ELEVATION



SOUTH ELEVATION

GENERAL NOTES

Issue	Date	Description



ALR
Assoc. Ltd.

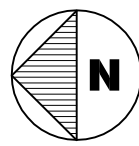
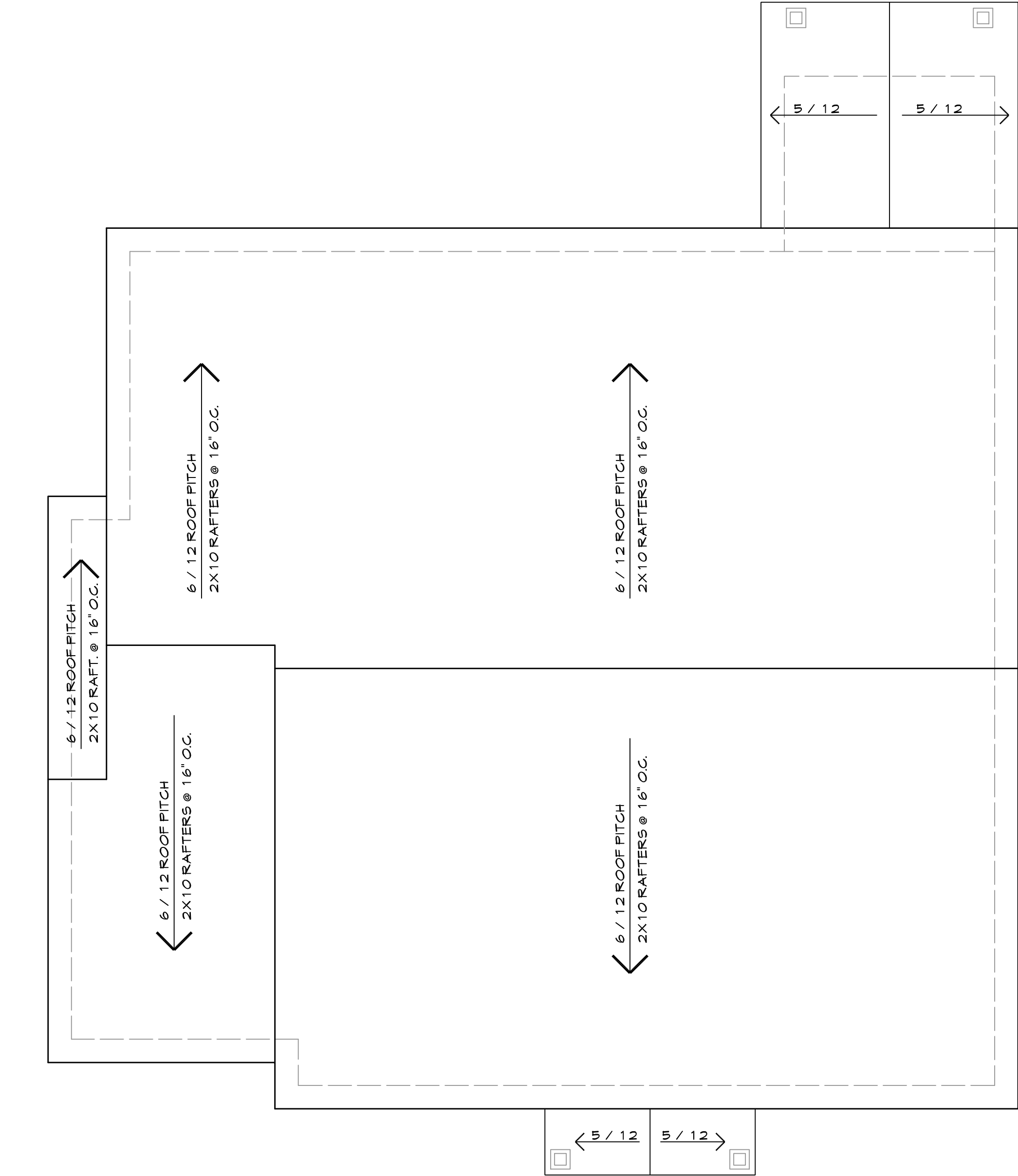
1030 East Northwest Hwy.
Suite 200C
Mt. Prospect, Illinois 60056
Telephone: 847 788 1686
Facsimile: 847 788 1685

Architects | Designers

**MALLOY RESIDENCE
ADDITION-RENOVATION
905 N. MITCHELL
ARLINGTON HTS., IL.**

**PROPOSED
ELEVATIONS**

Drawn LFR/RS	Project number	Sheet number
Date 9-5-23	Scale 1/4" = 1'-0"	A-4.1



PROPOSED ROOF PLAN

GENERAL NOTES

Issue	Date	Description



ALR
Assoc. Ltd.

1030 East Northwest Hwy.
Suite 200C
Mt. Prospect, Illinois 60056

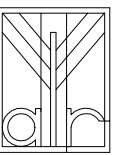
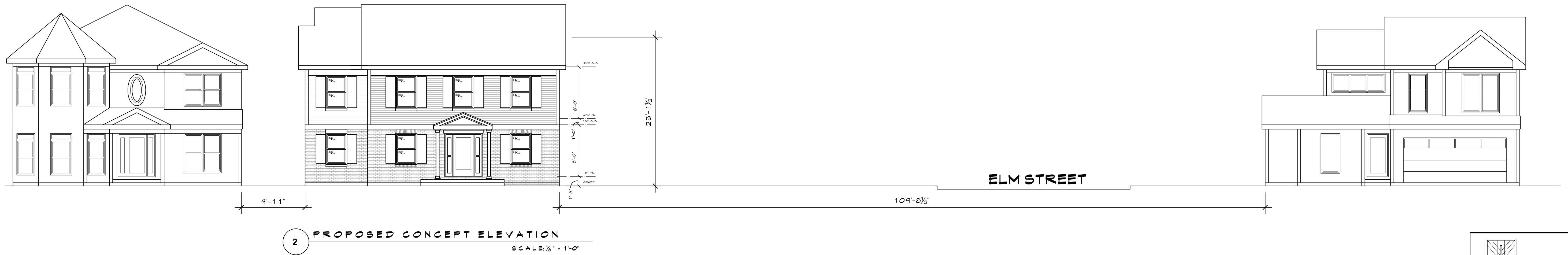
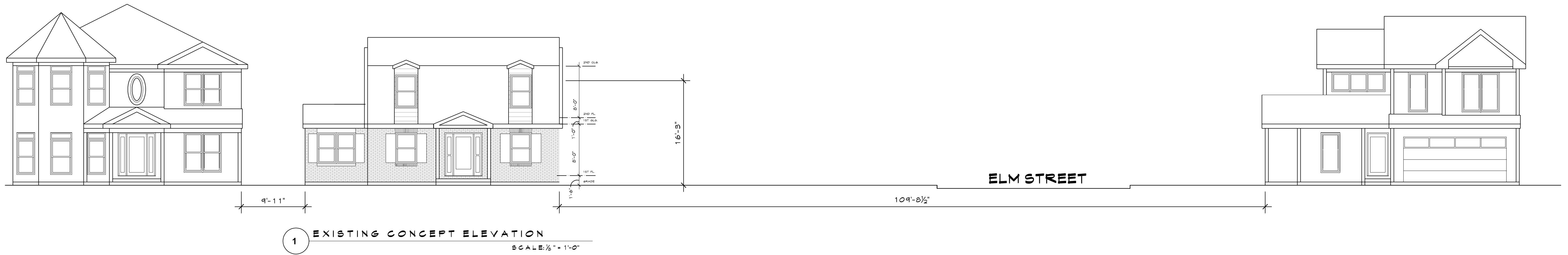
Telephone: 847 788 1686
Facsimile: 847 788 1685

Architects | Designers

MALLOY RESIDENCE
ADDITION-RENOVATION
905 N. MITCHELL
ARLINGTON HTS., IL.

SHEET TITLE
ROOF PLAN

Drawn LFR/RS	Project number	Sheet number
Date 9-5-23	Scale 1/4" = 1'-0"	A-5



ALR
Assoc. Ltd.

1030 East Northwest Hwy.
Suite 200C
Mt. Prospect, Illinois 60056
Telephone: 847 788 1686
Facsimile: 847 788 1685

Architects | Designers

MALLOY RESIDENCE
ADDITION-RENOVATION
905 N. MITCHELL
ARLINGTON HTS., IL.

SHEET TITLE
CONCEPT
ELEVATIONS

Drawn

LFR/RS

Date

9-5-23

Project number

Scale

1/8" = 1'-0"

Sheet number

CE-1



Zoning Board of Appeals 11/13/2023

Item: 1903 N. Spruce Terrace - ZBA#23-040

Department: Planning & Community Development Department

REQUEST

- A 17.5-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow a second story addition with a rear yard setback of 12.5 feet instead of the required 30.0 feet and an additional 1.0 feet for the eave.

ATTACHMENTS:

Description	Type
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: November 13, 2023
Date Prepared: November 7, 2023
Project Title: Glickley Residence
Address: 1903 N. Spruce Terrace

Background Information

Petition Number: ZBA #23-040
Petitioner: Kevin Purdom
Address: 1275 E. Davis Street
Arlington Heights IL 60005

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

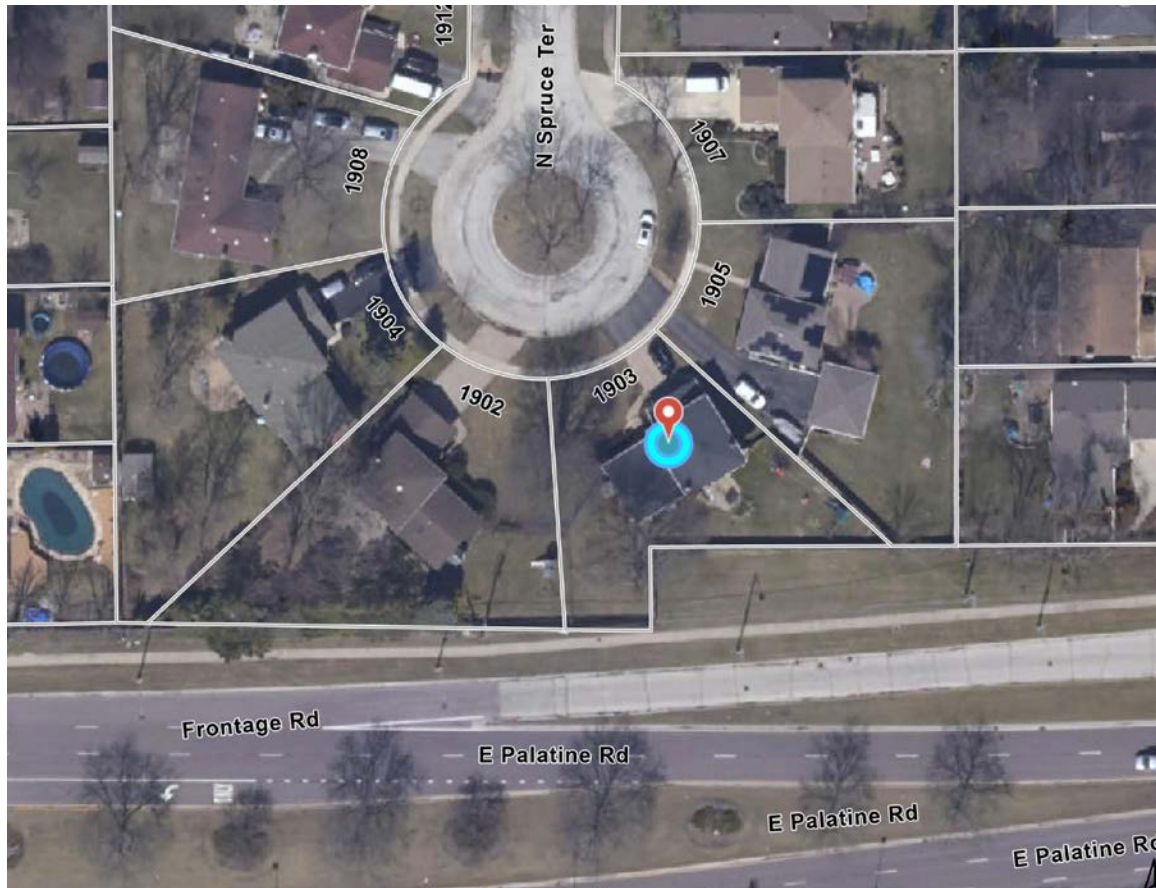
The petitioner is proposing an addition to the existing split-level residence. The proposed addition is above a single-story portion of the home. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 7,727 square feet and the proposed residence with the addition will be approximately 2,200 square feet. The proposed addition is encroaching into the required rear yard setback. A portion of the addition is within a utility easement and if the Zoning Board is supportive of the variance request, the homeowner will need to obtain releases from the utility companies that have rights to the easement. The petitioner is requesting the following variation:

- A 17.5-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow a second story addition with a rear yard setback of 12.5 feet instead of the required 30.0 feet and an additional 1.0 feet for the eave.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	10/19/23	
2. List of Property Owners Within 250 feet of Subject Property	✓	10/19/23	
3. Letter that was Mailed	✓	10/19/23	
4. Photographs of Sign on Property	✓	10/19/23	

Photographs of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Nusrat Jahan, Building & Life Safety Department

Project Name: Glickley Residence

Project Address: 1903 N Spruce Terrace

ZBA #: 23-040

Date: October 30, 2023

Derek:

We have reviewed the request for the following variance:

- **A 17.5-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow a second story addition with a rear yard setback of 12.5 feet instead of the required 30.0 feet and an additional 1.0 feet for the eave.**

and have no comments

Please see Engineering comments

1903 N Spruce Terrace – 23-040-

1. Engineering has NO OBJECTION to a 17.5-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow a second story addition with a rear yard setback of 12.5 feet instead of the required 30.0 feet and an additional 1.0 feet for the eave. The proposed 2nd story addition will be constructed over the existing footprint of the home.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Glickley Residence

Project Address: 1903 N. Spruce Terrace

ZBA #: 23-040

ZBA Hearing Date: November 13, 2023

To: Mike Pagones, Village Engineer
Jorge Torres, Director of Building and Life Safety

C: Michael Lysicatos, Assistant Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Landscape Planner

Transmitted On: October 19, 2023

- A 17.5-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow a second story addition with a rear yard setback of 12.5 feet instead of the required 30.0 feet and an additional 1.0 feet for the eave.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

The proposed design is nicely done. Staff intends to administratively approve the design, pending the outcome of the ZBA review.

- Steve Hautzinger, Design Planner

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner _____

being the owner of the property commonly know as: _____

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section _____

Chapter 28, of the Arlington Heights Municipal Code, in order to: _____

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): _____

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): _____

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): _____

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): _____

Signed:  _____
Petitioner

Date: _____



ANTON ADAMS
Illinois Professional Land Surveyor

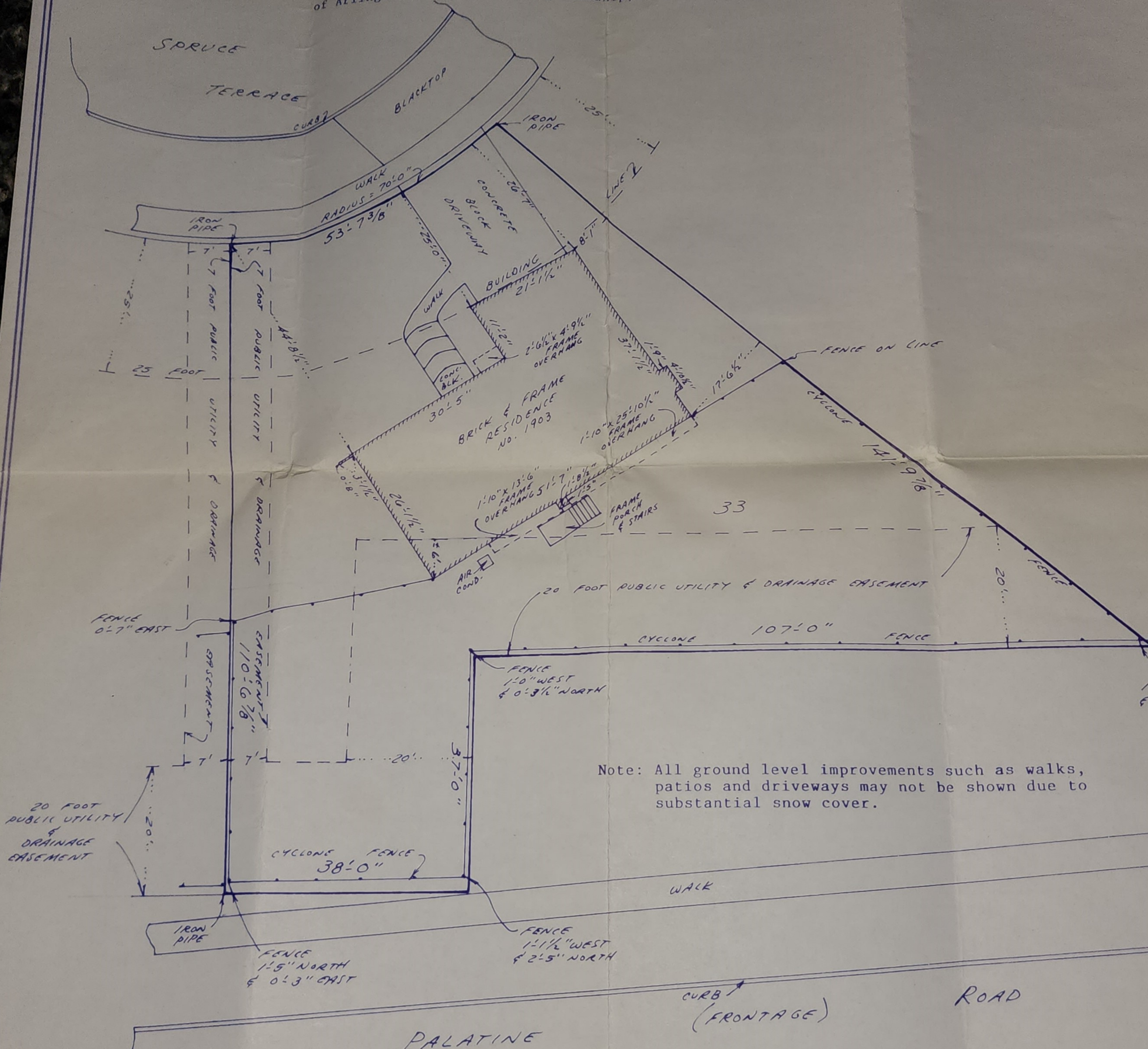
301 N. Wille Street
Mt. Prospect, IL 60056

(847) 255-3512

PLAT OF SURVEY

SCALE: 1 inch = 15 FEET

Lot 33 in Ivy Hill Subdivision Unit No. 1, being a Subdivision of part of the West 1/2 of the Southeast 1/4 of Section 17, Township 42 North, Range 11, East of the Third Principal Meridian, in the Village of Arlington Heights, Wheeling Township, in Cook County, Illinois.



Note: All ground level improvements such as walks, patios and driveways may not be shown due to substantial snow cover.

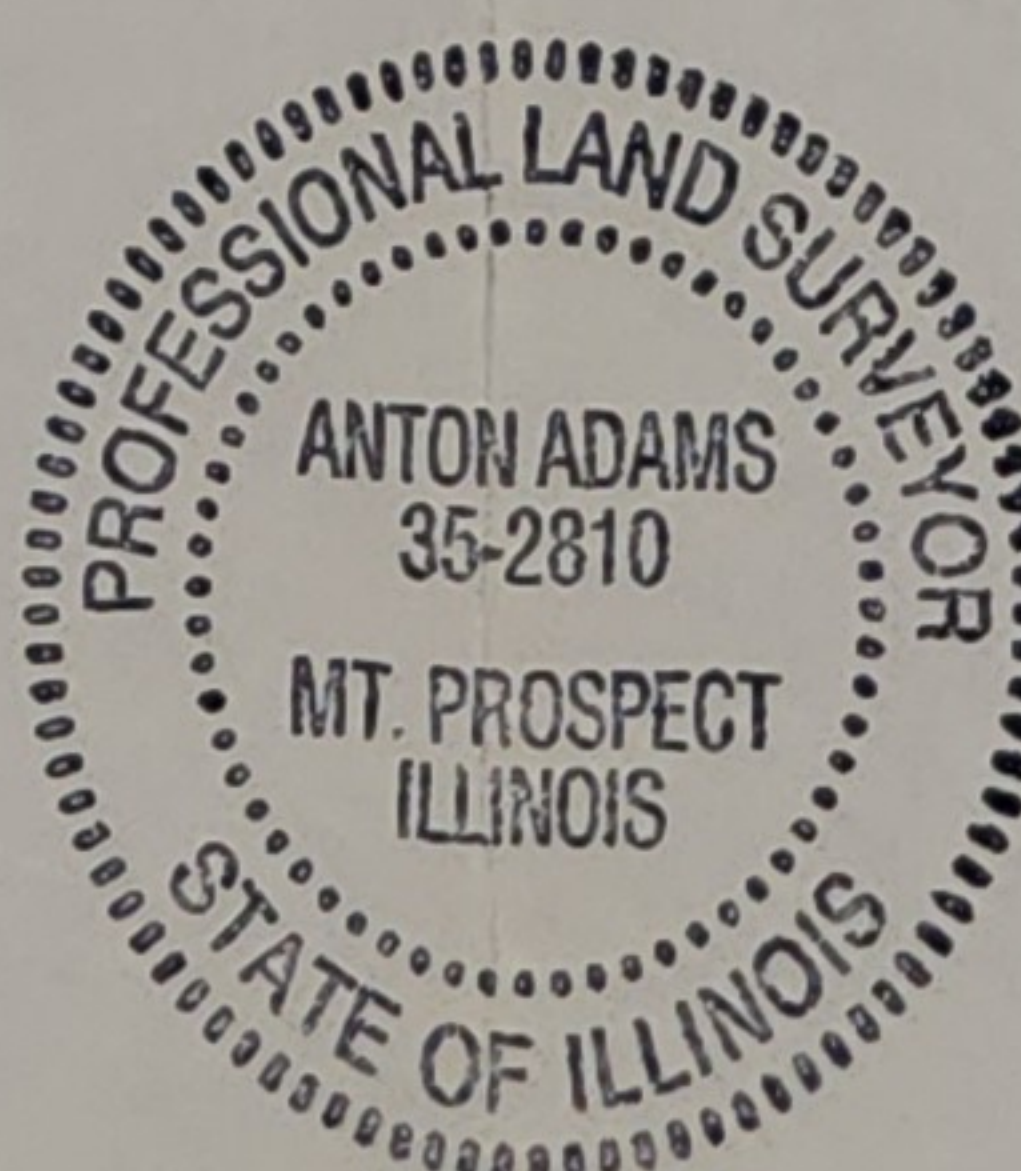
ORDER NUMBER: 47733
FIELD BOOK: 42-11-109 PAGE: 37
ORDERED BY: RYAN B. WERNER

STATE OF ILLINOIS)
COUNTY OF COOK) SS.

I, ANTON ADAMS, Illinois Professional Land Surveyor, that I have surveyed the property described above and that the plat is a correct representation thereof. This professional service complies with current Illinois minimum standards for a boundary survey.

MOUNT PROSPECT, ILLINOIS, FEBRUARY 4 A.D.

Anton Adams
Illinois Professional Land Surveyor
License #35-2810 expires 11/14



Compare legal description on this plat with deed or title policy. Compare all points before building by same and report any differences at once. Building lines and easements, if any, are shown as they appear on the recorded plat of subdivision, otherwise refer to deed, title policy or Zoning ordinances. Distances and angles shown may not be assumed by scaling.

PROJECT DATA

PROJECT LOCATION:	1903 N SPRUCE TERRACE
ZONING DISTRICT:	R-3
LOT AREA:	7,727 SF
PIN:	03-17-404-013-0000
MAX LOT COVERAGE:(35%)	2,704 SF
PROPOSED LOT COVERAGE:	1,922 SF
MAX FAR: .45	3,477 SF
PROPOSED FAR:	2,160 SF
MAX IMPERVIOUS COVERAGE (50%)	3,863 SF
PROPOSED IMPERVIOUS COVERAGE:	2,455 SF
MAX BUILDING HEIGHT:	25'-0"
PROPOSED BUILDING HEIGHT:	22'-2"
LOCATION AREAS:	
BASEMENT	406 SF
FIRST FLOOR	699 SF
SECOND FLOOR	763 SF
ADDITION	638 SF
GARAGE	460 SF
TOTAL SQUARE FOOTAGE:	2,100 SF

DESIGN CRITERIA

FLOOR	
SLEEPING ROOMS	40# LL - 10# DL
OTHER ROOMS	40# LL - 10# DL
VEH. GARAGES	50# LL - 10# DL
WALL	
	60# PLF OR ACTUAL LOAD
	20 PSF WIND 0'-20' HEIGHT
	25 PSF WIND 21'-29' HEIGHT
	30 PSF WIND 30' HEIGHT AND ABOVE
CEILING	
UNHAB W/O STOR	10# LL - 10# DL
UNHAB LIM STOR	20# LL - 10# DL
HAB W/ FIX STAIR	30# LL - 10# DL
WIND SPEED	
	115 MPH
	3 SECOND GUST
	& 89 NOMINAL
ROOF	
	30# LL (SNOW) - 10# DL (ALL SLOPES)
CATHEDRAL	
	30# LL - 15# DL (ALL SLOPES)
EXT DECK	
	40# LL - 10# DL
EXT BALCONY	
	40# LL - 10# DL
STAIRS	
	40# LL + 300#
	CONCENTRATED LOAD
GUARD & HANDRAILS	
	200# LL AT ANY DIRECTION
	APPLIED AT THE TOP
FROST DEPTH	
	42" (3'-6")
STRUCTURAL FRAMING LUMBER	
BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)	
GRADE #2 SPECIES SPF DOMESTIC OR CANADIAN BASE Fb 875	
SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM	
PRODUCT WITH THE CURRENT SIZE, Fb, AND E VALUES PER	
MANUFACTURER	
MANUFACTURER - TRUS-JOIST	
PRODUCT - LVL HEADERS & BEAMS MICRO-LAM	

APPLICABLE CODES

ALL WORK PERFORMED AND MATERIALS USED SHALL COMPLY WITH THE FOLLOWING:	
BUILDING CODE	2018 INTERNATIONAL RESIDENTIAL CODE WITH AMENDMENTS
MECHANICAL CODE	INTERNATIONAL MECHANICAL CODE, 2018
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
PLUMBING CODE	2014 ILLINOIS PLUMBING CODE WITH AMENDMENTS
ENERGY CODE	2018 ILLINOIS ENERGY CONSERVATION CODE WITH STATE AMENDMENTS
-ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES, AND REGULATIONS.	
-MANUFACTURERS' SPECIFICATIONS AND TRADE ASSOCIATIONS RECOMMENDATIONS.	
-ACCEPTED ENGINEERING AND CONSTRUCTION PRACTICES.	

PROJECT SCOPE OF WORK

PROPOSAL
THE PROPOSAL FOR THE FOLLOWING:

-OPTION 1: DESIGN BUILD A 680 SF 2ND FLOOR OVER THE LOWER LEVEL, ADDING A MASTER SUITE LAUNDRY AND OFFICE, REMODEL 1-BEDROOM TO CREATE THE STAIR MAY HAVE TO CUT INTO THE CABINET ABOVE THE FRIDGE.

ALTERNATE 1: MOVING FENCE PER DISCUSSION

ABBREVIATIONS

A.B.	ANCHOR BOLT	L.	LINEN
ABV	ABOVE	LAM.	LAMINATE
A.C.	AIR CONDITIONING	LAV.	LAVATORY
ACOUS.	ACOUSTIC	LL	LIVE LOAD
ADJ.	ADJUSTABLE	LP	LOW POINT
A.F.F.	ABOVE FINISH FLOOR	MAX.	MAXIMUM
ALUM.	ALUMINUM	MC	MEDICINE CABINET
ALT.	ALTERNATE	MECH	MECHANICAL
A.P.	ACCESS PANEL	MED	MEDIUM
APPROX.	APPROXIMATE	MIN	MINIMUM
ARCH.	ARCHITECTURAL	MISC	MISCELLANEOUS
@	AT	ML	MICROLAM
BD	BOARD	MO	MASONRY OPENING
BI	BUILT-IN	MRBL	MARBLE
BLDG	BUILDING	MTL	METAL
BOT.	BOTTOM	MW	MICROWAVE
B/	BOTTOM OF	NIC	NOT IN CONTRACT
BRG.	BEARING	NO	NUMBER
BRG. PL.	BEARING PLATE	NOM	NOMINAL
B.U.R.	BUILT UP ROOFING	NTS	NOT TO SCALE
CRPT	CARPET	O	OVEN
CABT	CABINET	OA	OVERALL
C.I.	CAST IRON	OC	ON CENTER
C.J.	CEILING JOISTS	OPP	OPPOSITE
C.J.T.	CONSTRUCTION JOINTS	OPT.	OPTIONAL
CL	CENTERLINE	PERF.	PERFORATED
CLG.	CEILING	PL	PLATE
CL.	CLOSET	P LAM	PLASTIC LAMINATE
C.M.U.	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
C. O	CASED OPENING	PSF	POUNDS PER SQUARE FOOT
COL.	COLUMN	PSI	POUNDS PER SQUARE INCH
CONC.	CONCRETE	PVC	POLYVINYLCHLORIDE
CONST.	CONSTRUCTION	QT	QUARRY TILE
CONT.	CONTINUOUS	R	RADIUS
C.T.	CERAMIC TILE	RD	ROOF DRAIN
C.W.	COLD WATER	R & S	ROD AND SHELF
DEMO.	DEMOLITION	REC	RECESSED
DIA.	DIAMETER	REF	REFRIGERATOR
DIAG.	DIAGONAL	REG	REGULAR
DIM.	DIMENSION	REINF	REINFORCE
DISP.	DISPOSAL	RM	ROOM
DIV.	DIVISION	RO	ROUGH OPENING
DL	DEAD LOAD	RR	ROOF RAFTERS
DN.	DOWN	SECT	SECTION
DWGS.	DRAWINGS	SHLV	SHELVES
D.S.	DOWNSPOUT	SHT	SHEET
D.W.	DISHWASHER	SHWR	SHOWER
EA.	EACH	SHTG	SHEATHING
EX.	EXISTING	SIM	SIMILAR
EIFS	EXTERIOR INSULATION FINISH SYSTEM	SL	SLIDING
EQ	EQUAL	SPEC	SPECIFICATION
EXP.	EXPANSION	SQ	SQUARE
ELECT.	ELECTRICAL	SF	SQUARE FOOT
ELEV.ELEVATION		SS	SANITARY SUMP
EQUIP.	EQUIPMENT	STD	STANDARD
EQUIV.	EQUIVALENT	STL	STEEL
E.W	EACH WAY	STOR	STORAGE
F	FURNACE	STRUCT	STRUCTURE
FD	FLOOR DRAIN	SUSP	SUSPENDED
FE	FIRE EXTINGUISHER	T & B	TOP AND BOTTOM
FF	FINISH FLOOR	T/	TOP OF
FIN.	FINISH	TEL	TELEPHONE
FIXT	FIXTURE	T & G	TONGUE AND GROOVE
FLR	FLOOR	THK	THICK
FLSHG	FLASHING	TJI	TRUST JOIST
FDN	FOUNDATION	TOP	TOP OF PLATE
FO	FACE OF	TV	TELEVISION
FS	FOOTING SUMP	TYP	TYPICAL
FTG	FOOTING	UC	UNDER COUNTER
FURN	FURNACE	UON	UNLESS OTHERWISE NOTED
GA	GAUGE	VCT	VINYL COMPOSITION TILE
GALV	GALVANIZED	VERT	VERTICAL
GFI	GROUND FAULT INTERRUPT	VIF	VERIFY IN FIELD
GLU-LAM	GLUE LAMINATED BEAM	W/	WITH
GYP.	GYPSUM	WC	WATER CLOSET
HD	HEAD	WIC	WALK IN CLOSET
HDR	HEADER	WDO	WOOD
HT	HEIGHT	WH	WINDOW
HM	HOLLOW METAL	W/O	WITHOUT
HORZ	HORIZONTAL	WP	WATERPROOF
HP	HIGH POINT	WT	WEIGHT
HTG	HEATING	WWF	WELDED
HVAC	HEATING VENTILATE AIR CONDITIONING		WIRE FABRIC
INT.	INTERIOR		

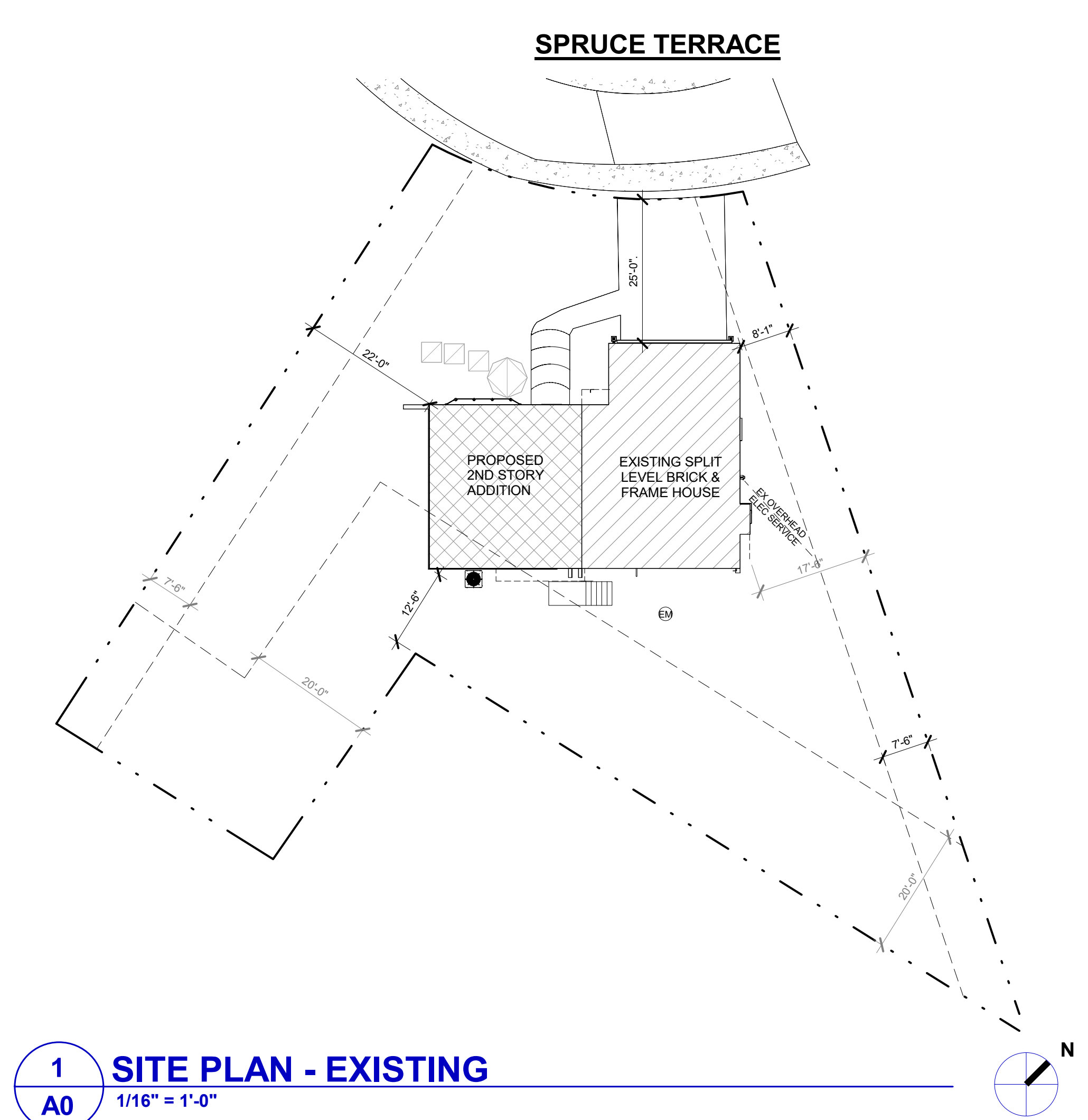
ADDITION TO THE GLICKLEY RESIDENCE

SITE PLAN NOTES

1. INFORMATION ON THIS DRAWING IS ACCUMULATED FROM EXISTING DOCUMENTATION AND MUST BE CONFIRMED BY THE CONTRACTOR AND COORDINATED WITH THE ARCHITECT PRIOR TO CONSTRUCTION. ARCHITECTURAL SITE PLAN IN FOR SCHEMATIC PURPOSES ONLY. SEE SITE ENGINEERING PLAN AND LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
2. VERIFY LOCATIONS OF ALL UTILITIES AND OTHER BUILDING SERVICES PRIOR TO EXCAVATION.
3. PROVIDE REQUIRED WORK TO ACCOMMODATE EXISTING UTILITIES OR OTHER BUILDING SERVICES.
4. PROTECT EXISTING LANDSCAPING DURING CONSTRUCTION, TO GREATEST EXTENT POSSIBLE.
5. PROVIDE TEMPORARY CONSTRUCTION/SECURITY FENCING AROUND ALL OPEN EXCAVATIONS; HEIGHT AS REQ'D BY LOCAL CODES.
6. VERIFY LOCATIONS OF ALL MATERIAL STOCKPILES AND DUMPSTERS WITH OWNER.
7. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCIES IN FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.
8. PLEASE NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
9. STATE LAW: BEFORE DIGGING, CALL JULIE (811 OR 1-800-892-0123) FOR LOCATION OF PUBLIC AND PRIVATE UTILITIES AT WORK SITE. 48 HOUR NOTICE IS REQUIRED.
10. THE HOUSE SHALL PASS A BLOWER DOOR TEST AND A COPY OF THE RESULTS SHALL BE PROVIDED TO THE BUILDING DEPARTMENT PRIOR TO SCHEDULING THE FINAL INSPECTIONS.
11. CONSTRUCTION DEBRIS AND REFUSE CONTAINMENT SHALL BE REQUIRED FOR ALL JOB SITES. CONTAINMENT SHALL OCCUR ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT & SHALL BE WITHIN A DUMPSTER, STRUCTURE, OR CONTAINER THAT CAN BE COVERED TO PREVENT WINDBLOWN DEBRIS. ALL SUCH DUMPSTERS, STRUCTURES, OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.
12. ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH NEW SOD ON 6" OF TOPSOIL. ALL SOD SHALL BE WATERED AS REQ'D TO SUSTAIN GROWTH.
13. ALL PARKWAY TREES SHALL HAVE A SNOW FENCE THAT EXTENDS TO THE DRAIN LINE. NO TRAFFIC SHALL GO OVER THE ROOT SYSTEM. SURFACE DRAINAGE TO BE DIVERTED FROM STRUCTURE SO AS NOT TO CREATE A HAZARD ON THIS OR ADJACENT PROPERTY. GRADE FROM FOUNDATION TO DROP A MINIMUM OF 6" IN 10'-0". PROVIDE SWALES OR DRAINS TO ENSURE DRAINAGE FROM STRUCTURE AND ADJACENT PROPERTY.
14. TOILET FACILITIES SHALL BE PROVIDED AT ALL JOB SITES PER ILLINOIS PLUMBING CODE. THIS WILL BE A CONDITION OF THE PERMIT.
15. PROVIDE AND MAINTAIN A 5'-0" HIGH FENCE ALONG THE FULL LENGTH OF INTERIOR SIDE YARDS UNTIL EXTERIOR CONSTRUCTION IS COMPLETE.
16. PROVIDE AND MAINTAIN A 5'-0" HIGH CONSTRUCTION FENCE DURING NON-WORKING HOURS THAT WILL ENCLOSE ALL OPEN EXCAVATIONS UNTIL FOUNDATION IS BACK-FILLED & FIRST FLOOR DECK IS COMPLETED.
17. ERECT PROTECTIVE SNOWFENCE PRIOR TO ANY CONSTRUCTION ACTIVITY. DO NOT STORE ANY EQUIPMENT OR MATERIALS WITHIN THE PROTECTION AREA. REMOVE THE PROTECTIVE SNOW FENCE ONLY AFTER CONSTRUCTION IS COMPLETE.
18. ALL TREES ARE TO BE PROTECTED DURING CONSTRUCTION WITH FENCING FOR EVERY 1" OF TREE DIAMETER. MAINTAIN 1'-0" DISTANCE AWAY FOR FENCING.
19. MAINTAIN EXISTING DRAINAGE PATTERNS. ANY DRAINAGE ISSUES THAT MAY ARISE FROM THE CONSTRUCTION ASSOCIATED WITH THIS PERMIT WILL BE ADDRESSED BY THE PERMITTEE.
20. RESTORE PARKWAY AND PAVEMENT TO PRE-CONSTRUCTION CONDITIONS.

ENERGY CODE COMPLIANCE NOTES

1. ENERGY CODE COMPLIANCE DESIGN BY PRESCRIPTIVE MEANS. CLIMATE ZONE : 5
MAX. GLAZING U-FACTOR: 0.30
ACTUAL U-FACTOR: 0.30
MIN. SKYLIGHT U-FACTOR: 0.55
ACTUAL SKYLIGHT U-FACTOR: 0.55
SHGC : N/R
MIN. CEILING R-VALUE: 49
ACTUAL CEILING R-VALUE: 49 (BLOWN)
MIN. FRAME WALL R-VALUE: 20 OR 13+5
ACTUAL WALL R-VALUE: 15 + 5 (BATT & RIGID)
MIN. FLOOR R-VALUE: 30
ACTUAL FLOOR R-VALUE: N/A
MIN. BASEMENT R-VALUE: 15/19
ACTUAL BASEMENT R-VALUE: 21
GC TO PROVIDE PERMANENT CERTIFICATE TO BE POSTED ADJACENT TO ELECTRICAL PANEL INDICATING INSULATION AND ENERGY VALUES FOR BUILDING INSULATION, FENESTRATION AND DUCT SYSTEMS. SPRAY FOAM BOX SILLS AND SILL PLATES, AND ADD R-15 HIGH DENSITY FRICTION FIT BATT INSULATION.
2. ALL PENETRATIONS THROUGH THERMAL ENVELOPE SHALL BE ADEQUATELY SEALED BY CAULK, GASKET, WEATHERSTRIPPING OR OTHER BARRIER MEANS PER 2018 IECC REQUIREMENTS. ALL WINDOWS AND EXTERIOR DOOR JAMBS ARE TO BE SEALED WITH LOW-EXPANSION FOAM. ALL BOTTOM PLATES ON EXTERIOR WALLS SHALL BE GLUED TO SUB-FLOOR.
3. ALL FIREPLACES SHALL HAVE GASKETED DOORS & OUTSIDE COMBUSTION AIR.
4. ALL RECESSED LIGHTING IN THERMAL ENVELOPE SHALL BE SEALED TO PREVENT AIR LEAKAGE. ALL RECESSED DOWNLIGHTING TO BE IC-RATED.
5. PROVIDE PROGRAMMABLE THERMOSTATS FOR EACH ZONE WITH SETBACK AND MANUAL OVERRIDE.
6. ALL DUCTWORK SHALL BE ADEQUATELY SEALED. ALL SUPPLY DUCTWORK IN UNCONDITIONED ATTIC TO HAVE R-8 INSULATION. ALL OTHER DUCTWORK TO HAVE R-6 INSULATION. HVAC CONTRACTOR SHALL PROVIDE EITHER POST-CONSTRUCTION OR ROUGH-IN TEST OF TOTAL AIR LEAKAGE FOR DUCT SYSTEMS.
7. ALL MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEG F OR BELOW 55 DEG F SHALL BE INSULATED TO A MINIMUM OF R-3. ALL HOT WATER LINES TO HAVE R-3 PIPE INSULATION & MANUAL SWITCH FOR RECIRC. PUMP.
8. ALL ACCESS HATCHES/DOORS TO UNCONDITIONED SPACE SHALL BE INSULATED & WEATHERSTRIPPED.
9. AT LEAST 90% OF ALL LIGHTING TO HAVE HIGH-EFFICACY BULBS.
10. FURNACE: +90% AFUE
WATER HEATER: +95% AFUE
A/C: 13+ SEER
SHGC: 0.27 OR BTR
11. WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE NO MORE THAN 0.3 CFM PER SF, AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SF.



1
A0 1/16" = 1'-0"

SITE SETBACKS (R-3)

	REQUIRED	PROPOSED
FRONTYARD	25'-0"	EX TO REMAIN
INTERIOR SIDEYARD 10% LOT WIDTH	7.5'	EX TO REMAIN
INTERIOR SIDEYARD 10% LOT WIDTH	7.5'	EX TO REMAIN
REARYARD	30'-0"	EX TO REMAIN MAY REQUIRE ZBA VARIANCE
HEIGHT - MEAN	MAX 25'-0"	22'-2"

SITE PLAN LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	EASEMENT LINE
— E —	ELECTRIC SERVICE
— G —	GAS SERVICE
— (— (—	STORM SEWER
— < — <	SANITARY SEWER
— W —	WATER SERVICE
— X —	FENCE

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD		WIND DESIGN		SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM		WINTER DESIGN TEMP	ICE BARRIER UNDER LAYMENT REQ.	FLOOD HAZARDS CHAPTER VILLAGE CODE	AIR FREEZING INDEX	MEAN ANNUAL TEMP	
SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WITHRNG	FROST LINE DEPTH	TERMITE					
25	115	NO	NO	b	SEVERE	42"	MOD -TG- HEAVY	-4	YES	NOV 6 2000	2000	47.6

SHEET INDEX - ARCHITECTURAL		
A0	COVER SHEET	1- 10/04/2023
A1	EXISTING DRAWINGS	1- 10/04/2023
A2	EX FIRST FLOOR AND BASEMENT	1- 10/04/2023
A3	FIRST FLOOR PLAN	1- 10/04/2023
A4	ROOF PLAN & STAIR DETAILS	1- 10/04/2023
A5	ELEVATIONS	1- 10/04/2023



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ARLINGTON HEIGHTS, IL 60004

DATE

1- 10/04/2023

ISSUE DATE

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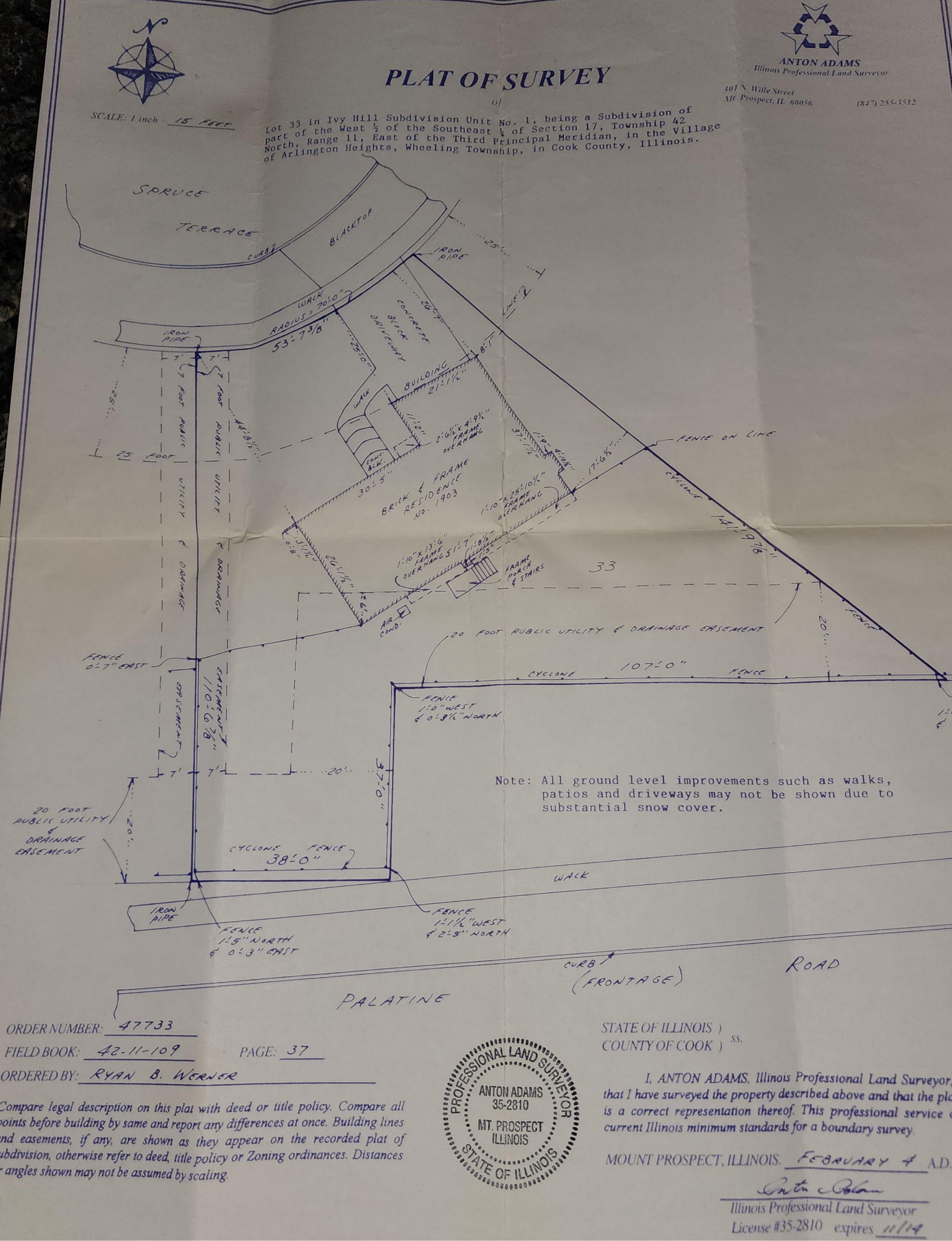
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SHEET TITLE
COVER SHEET

SHEET NUMBER

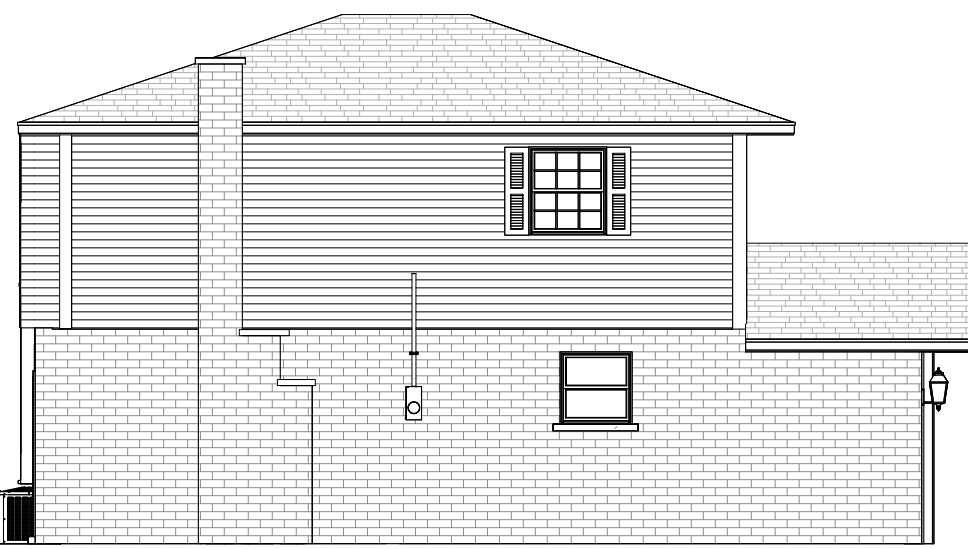
A0



PLAT OF SURVEY
NTS



1 NORTH ELEVATION - EXISTING
A1 1/8" = 1'-0"



2 EAST ELEVATION - EXISTING
A1 1/8" = 1'-0"



3 SOUTH ELEVATION - EXISTING
A1 1/8" = 1'-0"



4 WEST ELEVATION - EXISTING
A1 1/8" = 1'-0"



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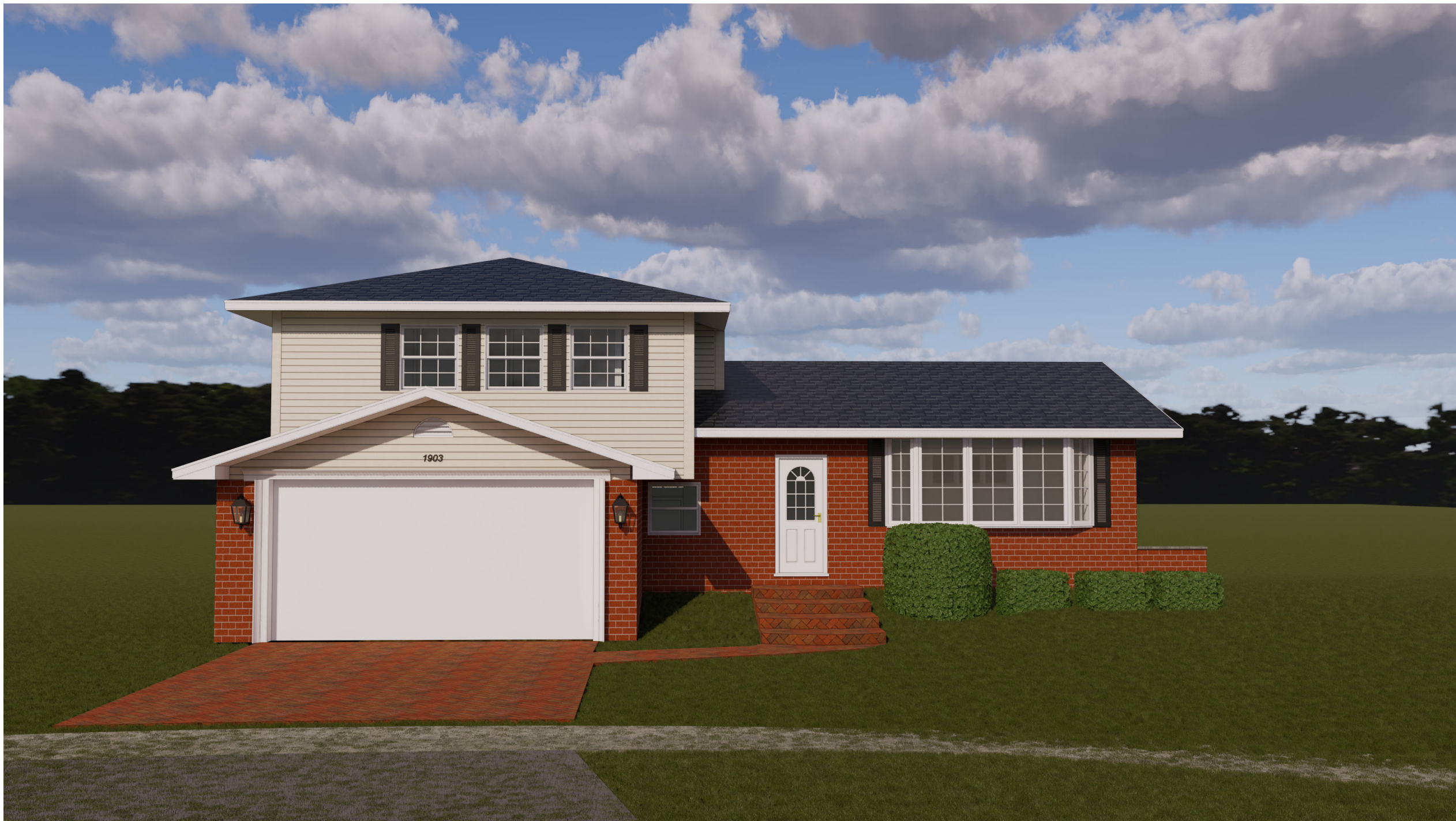
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SHEET TITLE
EXISTING DRAWINGS

SHEET NUMBER

A1



WALL LEGEND - SUB LEVEL				
LOCATION	U.L. NO.	FIRE RATING	CONSTRUCTION	DESCRIPTION
EXTERIOR (1)	---	---	=====	10" CONCRETE FOUNDATION WALL W/ 2 - #5 TOP MID & BOTTOM ON 20" X 10" CONCRETE FOOTING
EXTERIOR (2)	---	---	=====	12" TRENCH CONC. FOUNDATION WALL W/ 2 - #5 TOP & BOTTOM MIN. 42" BELOW GRADE
INTERIOR - 1	---	---	=====	2 X 4 WD STUDS @ 16" OC W/ 5/8" DRYWALL EACH FACE
INTERIOR - 2 (PLUMBING)	---	---	=====	2 X 6 WD STUDS @ 16" OC W/ 5/8" DRYWALL EACH FACE
INTERIOR - 3 (PERIMETER)	---	---	=====	FOUNDATION WALL W/ 2X4 STUD WALL @ 16" OC OFFSET 2" FROM FOUNDATION WALL TO ALLOW FOR R-21 CAVITY INSULATION + 5/8" DRYWALL (INT)
EXISTING WALLS	---	---	=====	
NEW CONSTRUCTION	---	---	=====	



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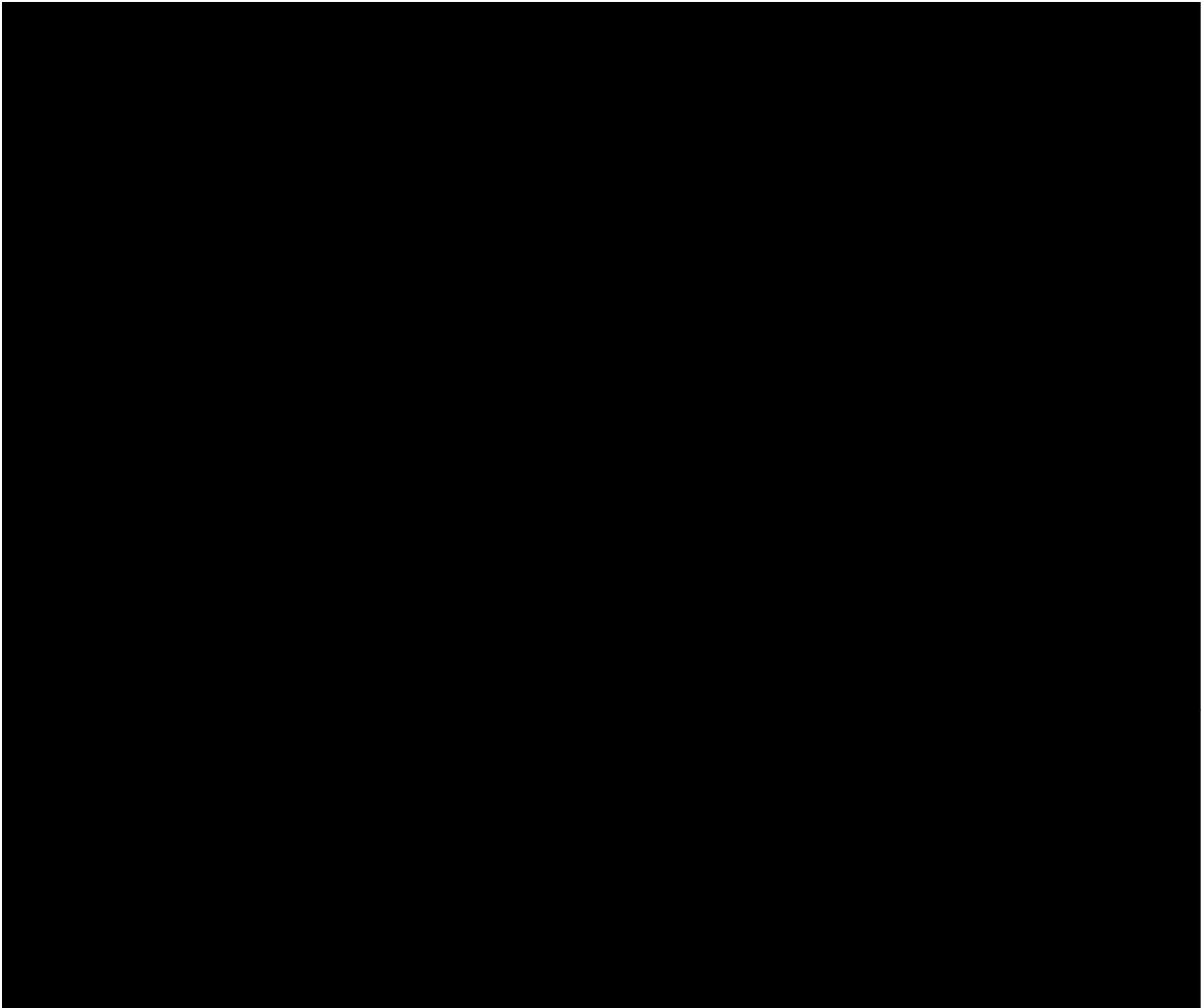
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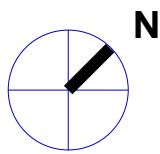
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SHEET TITLE

EX FIRST FLOOR AND BASEMENT

SHEET NUMBER

A2



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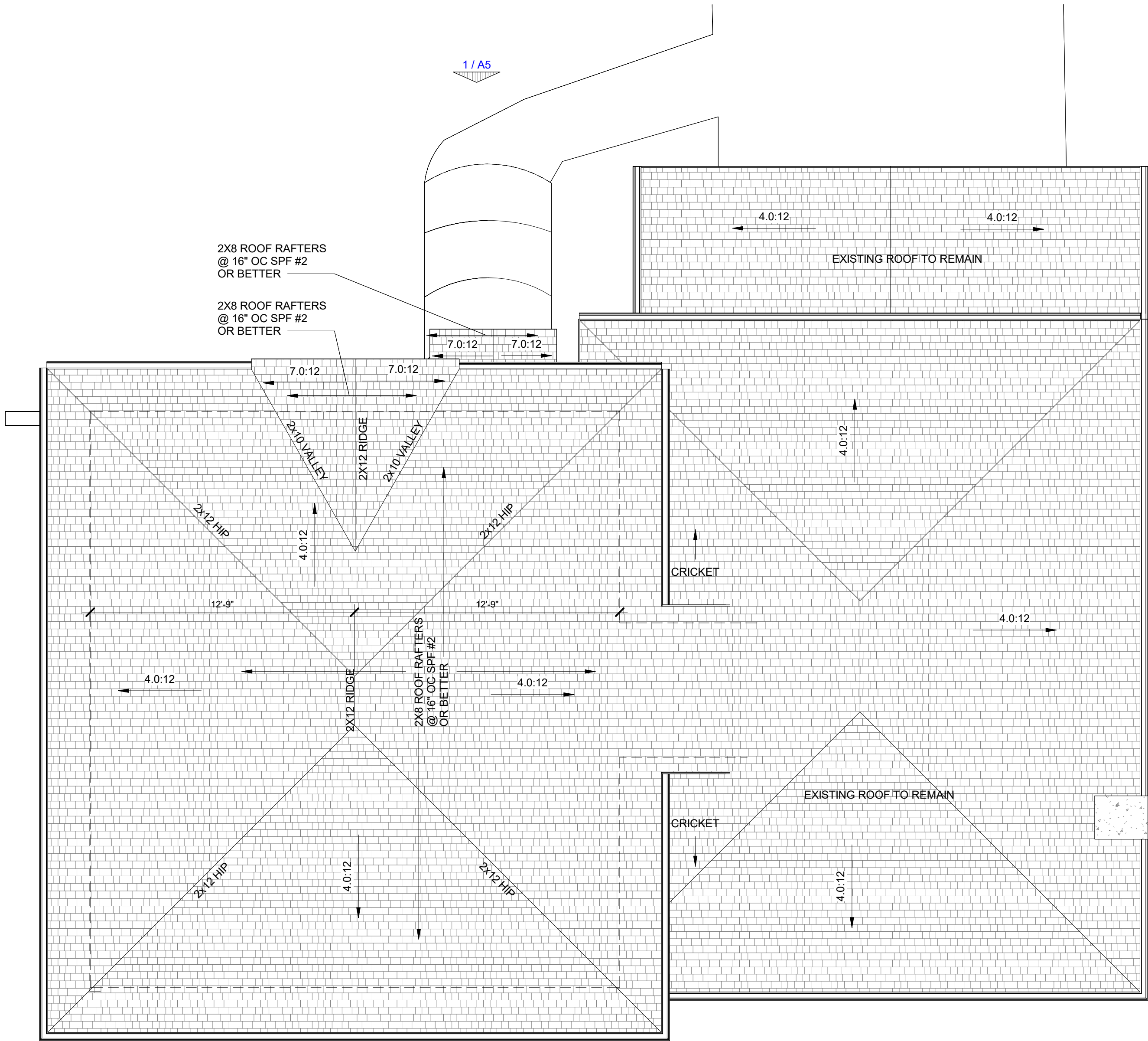
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NOTE:
ALL DOWNSPOUTS TO DRAIN AWAY
FROM HOUSE AND TOWARDS FRONT
OR BACK OF LOT TO AVOID DRAINAGE
ISSUES WITH NEIGHBORING LOTS

STAIR NOTES

THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE GREATEST TREAD RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

HANDRAIL TO BE 34" MIN. ABOVE TOP OF NOSING W/ BALUSTERS SPACED CLEAR OPENING LESS THAN 4".

ALL REQ'D HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF STAIRS W/ 2 OR MORE RISERS & THE ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.

HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL.

HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1 1/4" - 2" OR A NONCIRCULAR CROSS SECTION W/ PERIMETER DIMENSION OF AT LEAST 4" BUT NOT MORE THAN 6 1/4" & A LARGEST CROSS SECTION DIMENSION NOT EXCEEDING 2 1/4"; PROVIDE MIN. 1/8" RADIUS EDGES.

THE MINIMUM TREAD WIDTH IS TO BE NO LESS THAN 10" NOSING TO NOSING & THE MAXIMUM RISER HEIGHT NO MORE THAN 7 3/4" TO TOP OF NOSING.

PROVIDE NOSING NO LESS THAN 3/4" BUT NOT MORE THAN 1 1/4" THE GREATEST NOSING PROJECTION BY MORE THAN 3/8".

PROVIDE MIN. 6'-8" CLEAR HEADROOM.

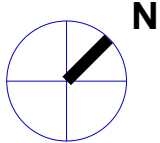
STAIRS W/ A TREAD DEPTH UNDER 11"
PROVIDE NOSING NO LESS THAN 3/4" BUT NOT MORE THAN 1 1/4" THE GREATEST NOSING PROJECTION BY MORE THAN 3/8".

RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE LEADING EDGE OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN THIRTY DEGREES (30) FROM THE VERTICAL.

R905.1.2 ICE BARRIERS

IN AREAS WHERE THERE HAS BEEN A HISTORY OF ICE FORMING ALONG THE EAVES CAUSING S BACKUP OF WATER AS DESIGNATED IN TABLE R301.2(1), AN ICE BARRIER SHALL BE INSTALLED FOR ASPHALT SHINGLES, METAL ROOF SHINGLES, MINERAL-SURFACED ROLL ROOFING, SLATE AND SLATE-TYPE SHINGLE, WOOD SHINGLES AND WOOD SHAKES. THE ICE BARRIER SHALL CONSIST OF NOT FEWER THAN TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER, OR A SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT NOT LESS THAN 24 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. ON ROOF SLOPES WITH SLOPE EQUAL TO OR GREATER THAN 8 UNITS VERTICAL IN 12 UNITS HORIZONTAL, THE ICE BARRIER SHALL ALSO BE APPLIED NOT LESS THAN 36 INCHES MEASURED ALONG THE ROOF SLOPE FROM THE EAVE EDGE OF THE BUILDING.

2
A4
ROOF PLAN
1/4" = 1'-0"



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SHEET TITLE

ROOF PLAN & STAIR DETAILS

SHEET NUMBER

A4

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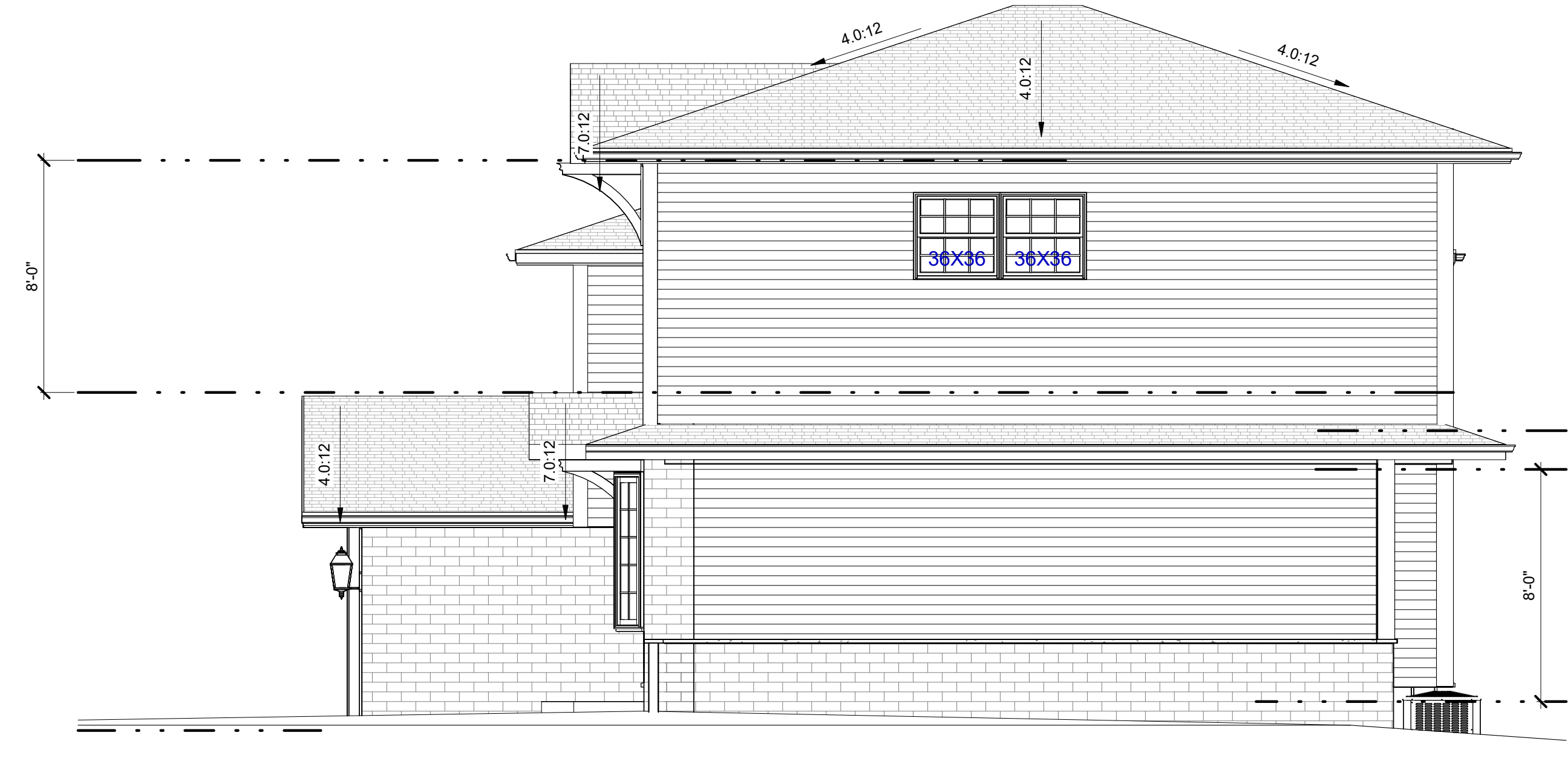
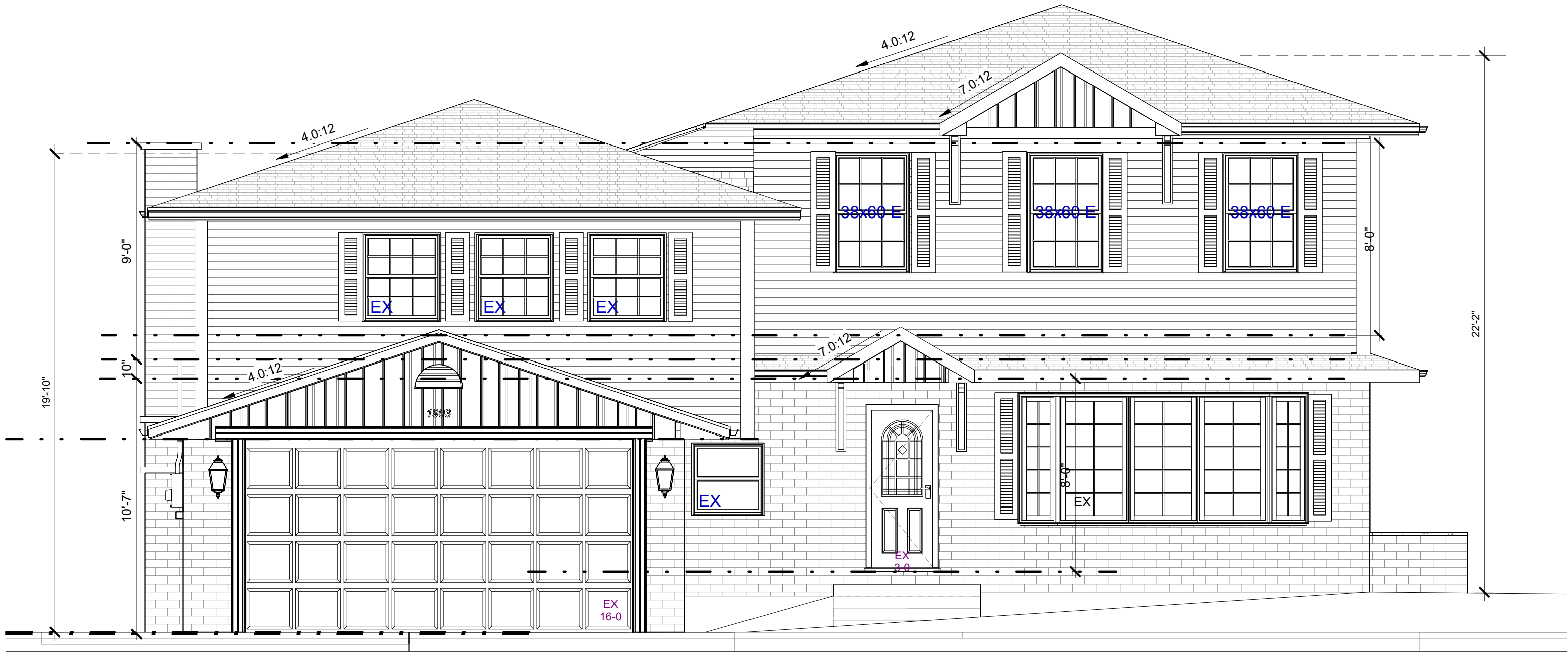
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1 NORTH ELEVATION - FRONT
A5 1/4" = 1'-0"

2 WEST ELEVATION - SIDE
A5 1/4" = 1'-0"



3 SOUTH ELEVATION - REAR
A5 1/4" = 1'-0"

4 EAST ELEVATION - SIDE
A5 1/4" = 1'-0"

ELEVATION MATERIALS

LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.		HATCH PATTERN	DESCRIPTION	MANUF.
SIDING (1)		HORIZ HARDPLANK LAP SIDING [BOOTHBAY BLUE OR SIMILAR]	HARDIE BOARD	TRIM AND FASCIA		TRIM [WHITE MATCH EX]	
SIDING (2)		VERTICAL BOARD & BATTEN [WHITE]	HARDIE BOARD	SOFFIT AND FASCIA		ALUMINUM - VENTED [WHITE TO MATCH EX]	
SIDING (3)		BRICK [EX TO REMAIN]		COLUMNS		NIC	
ROOFING (1)		ARCHITECTURAL ASPHALT SHINGLES [BLACK TO MATCH EX]	GAF HD OR SIMILAR	GUTTERS, DOWNSPOUTS		ALUMINUM [WHITE MATCH EX]	
DOORS		[EX]		WINDOWS		VINYL WHITE [MATCH EX]	

WINDOW NOTES:

- WINDOW SIZES : ROUGH OPENING TO BE VERIFIED IN FIELD W/ CHOSEN WINDOW MANUF. & CONTRACTOR PRIOR TO CONSTRUCTION
- GLASS SIZES TO BE FOLLOWED AS CLOSE AS POSSIBLE PER DIFFERENT MANUF.
- BEDROOM WINDOWS TO HAVE EGRESS HARDWARE & FOLLOW EGRESS REQUIREMENTS AS LABELED ON ELEVATIONS
- WINDOWS IN WHICH THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" ABOVE THE TOP OF THE FLOOR ARE REQUIRED TO BE TEMPERED.
- FIELD VERIFY EMERGENCY ESCAPE & RESCUE OPENINGS IN SLEEPING ROOMS
EGRESS WINDOW REQUIREMENTS
PROVIDE A NET CLEAR OPENING OF 5.7 SF OR GREATER, ACHIEVED BY SIMPLY OPENING THE WINDOW
PROVIDE A NET CLEAR OPENING OF 5.0 SF OR GREATER FOR GRADE LEVEL WINDOWS.
A MINIMUM CLEAR WIDTH OF 20"
A MINIMUM CLEAR HEIGHT OF 24"
A SILL HEIGHT OF LESS THAN 44" AFF
- ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.30
- ALL BATHROOM GLASS AND GLASS IN AREAS OF HAZARD SHALL BE SAFETY GLAZING, PERMANENTLY ETCHED, AND THE ETCHING SHALL BE VISIBLE AFTER INSTALLATION TO VERIFY COMPLIANCE. SECTION: IRC R308.4
E = EGRESS
F= FROSTED PRIVACY GLASS
- T= TEMPERED SAFETY GLASS
EX = EXISTING WINDOW TO REMAIN

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SHEET TITLE
ELEVATIONS

SHEET NUMBER



HARDIEBOARD HORIZONTAL SIDING
BOOTHBAY BLUE OR SIMILAR BLUE



EX BRICK TO REMAIN



GAF HD BLACK
MATCH EX.



TRIM/GABLES
ARCTIC WHITE HARDIE BOARD
BOARD AND BATTEN/TRIM

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PROPERTY TO LEFT 3
1911 N SPRUCE TERRACE



PROPERTY TO LEFT 2
1907 N SPRUCE TERRACE



PROPERTY TO LEFT 1
1905 N SPRUCE TERRACE

PROPERTY TO RIGHT 3
1908 N SPRUCE TERRACE

PROPERTY TO RIGHT 2
1904 N SPRUCE TERRACE

PROPERTY TO RIGHT 1
1902 N SPRUCE TERRACE

SUBJECT PROPERTY
1903 N SPRUCE TERRACE

N SPRUCE TERRACE



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SHEET TITLE

SURROUNDING PROPERTIES

SHEET NUMBER

DR2



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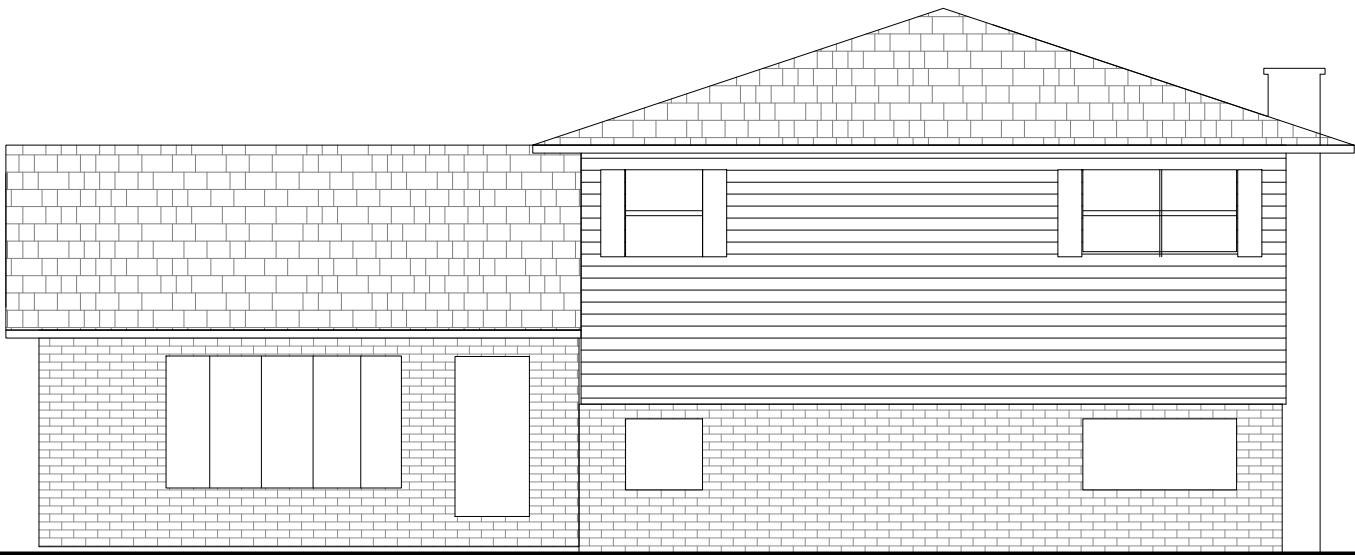
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SHEET TITLE
ELEVATION STUDIES & NOTES

SHEET NUMBER

DR3



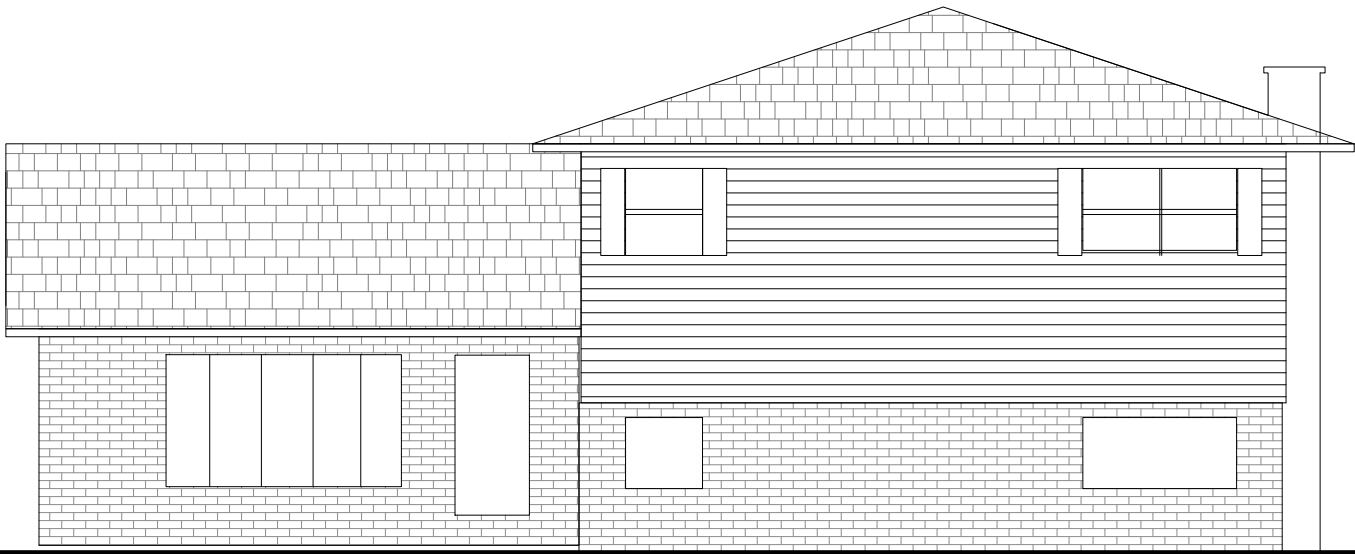
1905 N SPRUCE TERRACE
PROPERTY TO THE LEFT



1903 N SPRUCE TERRACE
SUBJECT PROPERTY



1902 N SPRUCE TERRACE
PROPERTY TO RIGHT



1905 N SPRUCE TERRACE
PROPERTY TO THE LEFT



1903 N SPRUCE TERRACE
SUBJECT PROPERTY



1902 N SPRUCE TERRACE
PROPERTY TO RIGHT