



Agenda
Village of Arlington Heights
Design Commission
Community Room, 3rd Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
November 13, 2018
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

A. Minutes - 10/23/18

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

A. DC#18-095 - 1719 N. Verde Ave. - SF/Teardown

B. DC#18-096 - 801 N. Forrest Ave. - SF/Teardown

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Minutes - 10/23/18

Department: Planning & Community Development

ATTACHMENTS:

Description

Minutes - 10/23/18

Type

Minutes

DRAFT

**MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
OCTOBER 23, 2018**

Chair Fitzgerald called the meeting to order at 6:30 p.m.

Members Present: John Fitzgerald, Chair
Kirsten Kingsley
Scott Seyer

Members Absent: Jonathan Kubow
Ted Eckhardt

Also Present: Joe Zivoli for *1141 S. Arlington Heights Rd.*
Steve Hautzinger, Staff Liaison

REVIEW OF MEETING MINUTES FROM SEPTEMBER 25, 2018

A MOTION WAS MADE BY COMMISSIONER KINGSLEY, SECONDED BY COMMISSIONER SEYER, TO APPROVE THE MEETING MINUTES OF SEPTEMBER 25, 2018. ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 1. COMMERCIAL REVIEW**DC#18-092 – 1141 S. Arlington Heights Rd.**

Joe Zivoli, was present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing exterior improvements to two existing multi-tenant retail buildings facing Arlington Heights Road. The scope of the project is a complete makeover of the front and side elevations including:

- Complete removal of the existing mansard canopy roof.
- Adding a new taller parapet wall with EIFS cornice. The wall will return down the side walls approximately 8 feet.
- Replacement of the existing dark brown brick with new red brick (the existing rock face stone will remain).
- Replacement of the existing dark bronze doors and windows with new clear anodized doors and floor-to-ceiling windows.

No site or landscaping improvements are being proposed.

With regards to the overall architectural design, this project will be a nice contribution towards realizing one of the Village's goals to improve the appearance along this section of Arlington Heights Road.

The existing building is generally in good condition, but the standing seam faux copper mansard canopy has a dated and unexciting appearance. The proposed design and materials will provide a brighter and fresher appearance that will enhance the properties' image. The petitioner has indicated his preference for keeping the design clean, simple, and modern, but the Design Commission should evaluate if the design could benefit from further design development, such as varying the height and profile of the cornice or incorporating decorative awnings or canopies above the storefronts or entry doors. Furthermore, the Design Commission should evaluate if the proposed design is too similar to the petitioner's recently completed project at 1005-1015 S. Arlington Heights Road.

It was noted that the drawings indicate a "continuous LED accent light strip", but the petitioner has clarified that this is an error and will not be part of the design. The drawings also indicate that all tenant wall signage will use white aluminum back-lit channel letters for a consistent signage appearance. In addition to wall signage, there are two existing ground signs on the site that were originally approved in 1994 that do not comply with current code requirements. The signs are dated with a dull appearance that does not complement the new building design. It is recommended that the petitioner consider replacement of the ground signs with new modern ground signage designed to complement and enhance the overall design of the property. All new signage is required to comply with the signage code, Chapter 30.

With regards to landscaping, there is an existing landscape bed along Arlington Heights Road that currently has only grass. Per Chapter 28, Section 6.15, all off-street parking areas are required to be screened along the public way. Such screening is generally accomplished with three-foot tall densely planted shrubs. It is recommended that the petitioner install drought and salt-tolerant deciduous shrubs and ornamental grasses in the existing planting bed. The plants are required to be limited to 18 inches in height within 12 feet of the driveways to avoid obstructing visibility, but shall be 36 inches elsewhere. Additionally, code requires shade trees within parking islands at the end of all parking rows. It is recommended that a four-inch caliper shade tree be planted in the existing parking island at the southwest corner of the site.

Staff recommends approval of the proposed exterior modifications, with the comments and recommendations as summarized in the Staff report.

Mr. Zivoli thanked Staff for the opportunity to be here tonight; however, he read the Staff report that states that the Planning Department approved the project. **Mr. Hautzinger** clarified that Staff is recommending approval of the project, but the Design Commission makes the final decision.

Mr. Zivoli explained that the front elevation does not clearly show that the windows are actually split, with 4-feet for each window. He presented a drawing of the south elevation, which shows what the sides of the two buildings in the middle and the building to the south will look like. The existing brick on the three side elevations will also be changed, and wrap around with the new red utility brick.

Mr. Hautzinger stated that wrapping the front parapet around the sides of the buildings to the depth of the existing windows was not part of the original submittal; it is a revision made in response to a suggestion previously made by Staff. He recommended the cornice not stop at the windows, but continue all the way to the end of the building. **Mr. Zivoli** disagreed with this suggestion because it would be too overwhelming with the ends of the two buildings being next to each other, and he presented photos of how that would look. He felt the design he presented tonight was classier.

Chair Fitzgerald asked about the LED light strip, the ground sign, and the plantings, as stated in the Staff report. **Mr. Zivoli** confirmed that the proposed design will not include a continuous LED accent light strip; the drawing was incorrect. He also said that the issues of signage and landscaping should not be related, and added that the signs were renovated this past summer and are now probably the best signage on Arlington Heights Road. The color red will complement with the red brick.

Chair Fitzgerald asked if there was any public comment on the project and there was no response from the audience.

Commissioner Kingsley liked the window glass coming down to the ground, but had concerns about possible safety issues from cars. **Mr. Hautzinger** clarified that there is a sidewalk and curb located between the building and the adjacent parking lot. **Commissioner Kingsley** was okay with the existing brick being changed; however, she suggested the color be slightly different than the building the petitioner recently completed at 1005-1015 S. Arlington Heights Road. She also felt the existing split face block on the lower portion of the building should be updated to a nicer material, and she preferred limestone versus cultured stone.

Commissioner Kingsley agreed with Staff's suggestion to incorporate awnings or canopies above the storefronts or entry doors, whether they are metal, fabric, or intermittent. She felt it could be really beneficial to this shopping center, and could help emphasize where the entry doors are on the front of the building, as well as allow signage to be placed higher on the building. She also wanted to see a cut sheet of the wall sconces shown on the elevation to ensure dark sky compliance. **Mr. Zivoli** stated that the light sconces would shine down and up, and are the same fixtures on the building at 1005-1015 S. Arlington Heights Road. **Commissioner Kingsley** also agreed with Staff's comments about the screening and landscaping. She pointed out the step down in the sidewalk at the north end of the building, and asked if the railing was being changed as well. **Mr. Zivoli** replied that the railing was painted black this summer, and would not be changed. In general, **Commissioner Kingsley** felt the proposed changes were fine, and although she was not a fan of the EIFS cornice, she wanted to see something added over the doors to see how that relates to the cornice.

Commissioner Seyer applauded the petitioner for making this extremely dated building better. He pointed out that although the full height wall being proposed for this building will be similar to the petitioner's other building to the north, where there is EIFS on that building, there will be thin set brick on this building. This building will have more brick than the other building, which is nicer than the EIFS. That being said, he concurred with Staff about bringing the heaviness of the cornice top all the way back on the sides of the building, rather than stepping it like a wedding cake. He liked the elevation that showed the extension of the top cornice to the back, even with the step above it, because if it was stepped twice and then mirrored, it would be more noticeable than the cleanliness of just having a straight aligned cornice. **Commissioner Seyer** was unsure if adding canopies would help or not, since there are no canopies there now, and he questioned if they would help or detract from the overall aesthetic within this block. He liked the idea of

the glass windows coming down to the ground, but was concerned about tenants covering up the bottom portion of the windows, as seen in the photo provided of the building to the north. Doing this de-values the purpose of bringing the glass down to the ground, and **Mr. Zivoli** said that this particular tenant was told not to do that in the windows.

Commissioner Seyer agreed with the suggestion to change the existing split-face block at the bottom portion of the building to a nicer material, something similar in color. Doing so would help to differentiate this building from the petitioner's other building at 1005-1015 S. Arlington Heights Road. He also commented that he preferred a darker anodized metal with the windows, although the color choice was up to the petitioner. Overall, he was supportive of the changes being proposed, with a few of the modifications discussed tonight, and he deferred to the other commissioners about whether or not to add canopies.

Chair Fitzgerald very much liked the direction the building was going in. Along the front of the building, he liked the shorter cornice at the top of the building, and seeing more of the brick; however, when turning the corner, he liked that the cornice option that continues all the way to the far side of the window. He was not in favor of the stair step cornice on the sides, which almost looks like a fake facade when it is cut shorter, as opposed to looking like an architectural detail on the window if it was brought all the way across. He was okay with the materials being proposed, and the window glass coming down to the ground. He really liked the idea of adding awnings of some sort, but was concerned that adding them to this building would make the similar building next door look unfinished.

Mr. Zivoli had concerns about the cost of replacing the existing split-face block on the front elevation, which meant removing it from the 3 sides of the building as well. This was one of the reasons why the block was being kept at the columns on the front elevation; so it ties in with the block on the sides of the building. He was not in favor of adding awnings on the front elevation, and would only take it as a recommendation and not a condition. He pointed out that this building will have thin brick at the top of the building, which is more costly than the EIFS on the building at 1005-1015 S. Arlington Heights Road, and signage for this building would be placed above the windows in the first level of utility brick, rather than higher up on the thin brick, to avoid maintenance issues. He sees a lot of buildings in the Village that do not have canopies, and added that canopies that face west will get wind damage and discolor over time. With regards to the concerns about the EIFS material for the cornice at the top of the building, **Mr. Zivoli** said that he had no choice but to use EIFS because it is lightweight. He also did a survey of what color to choose for the windows, and it resulted in a 50/50 split between bronze and silver. He chose silver to give contrast to the building and to be different from the bronze used on the other building to the north. **Mr. Zivoli** concluded that it would be against his will to put any awnings on this building.

Chair Fitzgerald asked for clarification of the existing material on the sides of the building. **Mr. Zivoli** said that the side elevations currently have brown brick with split-face block at the bottom. He is proposing to keep the split-face block on the sides of the building, as well as at the columns on the front elevation.

Commissioner Seyer said there were a lot of valid points made regarding the canopies. He felt there would be a variation in height across all three buildings because there is a lot of EIFS on the middle building, one building has more brick, one has more EIFS and soffit, and one is straight up. He agreed with Chair Fitzgerald's comments that adding canopies to this building might make the adjacent building look unfinished, and he felt very strongly that the cornice should be extended for a cleaner look.

Chair Fitzgerald was in support of continuing the cornice around the corner, and he was okay with keeping the existing split-face block on the building. He felt this was going to be a nice project.

Commissioner Kingsley said that she previously suggested replacing the split-face block, thinking it was new; however, she had no concerns with it if it is existing. She was glad to hear the petitioner's feelings about the canopies, and although she felt that canopies could help from a user's perspective, she could understand that the petitioner was trying to make this building a sister building of the other building.

Commissioner Seyer commented about the ground signs. He stated that based on the photos, the sign at the south end of the property is in poor condition and in dire need of repair. **Chair Fitzgerald** agreed. **Mr. Zivoli** said that he could take care of that.

Chair Fitzgerald asked if there is a code requirement for landscaping between the public sidewalk and the parking, and **Mr. Hautzinger** said that there is. **Mr. Zivoli** said that he would only accept the landscaping comments as recommendations, and **Chair Fitzgerald** clarified that the Design Commission decides whether it is a recommendation or not, and reiterated that the landscaping issue is a code requirement. **Mr. Zivoli** asked if he could work with Staff on this matter and the commissioners were okay with allowing Staff to approve the landscaping.

A MOTION WAS MADE BY COMMISSIONER KINGSLEY, SECONDED BY COMMISSIONER SEYER, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR EXTERIOR MODIFICATIONS AT 1141 S. ARLINGTON HEIGHTS ROAD. THIS APPROVAL IS SUBJECT TO COMPLIANCE WITH THE PLANS DATED 10/10/18 AND RECEIVED 10/9/18, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT THAT THE DESIGN DOES NOT INCLUDE ANY LED LIGHT STRIPS.
2. A REQUIREMENT THAT CUT SHEETS FOR THE SCONE LIGHT FIXTURES ON THE FRONT ELEVATION BE SUBMITTED FOR STAFF REVIEW, TO ENSURE COMPLIANCE WITH ARLINGTON HEIGHTS' GUIDELINES FOR NIGHT SKY AND GLARE.
3. A REQUIREMENT THAT CODE REQUIRED LANDSCAPE SCREENING IN THE FRONT PARKWAY BE INSTALLED, AS WELL AS A 4-INCH CALIPER SHADE TREE AT THE SOUTHWEST CORNER OF THE PROPERTY.
4. A REQUIREMENT THAT THE CORNICE BE EXTENDED TO THE END ON THE SIDE ELEVATIONS AS SHOWN IN 'EXHIBIT A' SUBMITTED TONIGHT.
5. A REQUIREMENT THAT THE TWO EXISTING MONUMENT SIGNS BE REPAIRED TO LOOK MORE IN KEEPING WITH THE BUILDING.
6. A RECOMMENDATION TO CONSIDER ADDING AWNINGS TO THE BUILDING.
7. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

**KINGSLEY, AYE; SEYER, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.**

Chair Fitzgerald summarized the motion for the petitioner. **Mr. Hautzinger** added that Staff will work with the petitioner on implementation of the requirements in the motion, although the petitioner has the option to appeal any of the Design Commission's requirements to the Village Board. **Mr. Zivoli** said that he wanted to put his energy toward the project, not fight it. He clarified that the light fixtures on the building are existing, and he would provide Staff with the cut sheets. **Chair Fitzgerald** reiterated that the proposed changes would be a major improvement to the building and he thanked the petitioner for his efforts.

ITEM 2. GENERAL MEETING

There was no discussion.

**A MOTION WAS MADE BY COMMISSIONER SEYER, SECONDED BY COMMISSIONER KINGSLEY, TO
ADJOURN THE MEETING AT 7:16 P.M. ALL WERE IN FAVOR. THE MOTION CARRIED.**

DRAFT



Item: DC#18-095 - 1719 N. Verde Ave. - SF/Teardown

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 1719 N. Verde Avenue. This recommendation is subject to compliance with the revised plans received on 11/1/18, and the following:

1. Revise the hipped roof to gable ends to help vary the appearance from the house to be built at 1711 N. Verde Avenue.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
3. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report
1719 N. Verde Ave. - Drawings &
Documents
1711 N. Verde Ave. - Exhibits FOR
REFERENCE ONLY

Type

Board or Commission Report
Exhibits
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 1719 N. Verde Ave.
Project Address: 1719 N. Verde Ave.
Prepared By: Steve Hautzinger

Date Prepared: November 8, 2018

PETITION INFORMATION:

DC Number: 18-095
Petitioner Name: Alan Leskiv
Petitioner Address: 1701 S. 1st Avenue
Maywood, IL 60153
Meeting Date: November 13, 2018

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines.

The petitioner is proposing to demolish an existing single-story residence and detached two-car garage to allow construction of a new two-story residence with an attached, three-car garage. The subject site is zoned R-E, One Family Dwelling District. The property has a total land area of 24,979 square feet and the proposed residence will be approximately 4,422 square feet. This project does comply with the R-E zoning requirements, as summarized below:

	ALLOWED	PROPOSED
Setbacks	Front: 50 feet Side: 10 feet Side: 10 feet Rear: 30 feet	Front: 50 feet Side: 10 feet Side: 20.8 feet Rear: 94 feet
Building Height	25 feet to the midpoint	25 feet to the midpoint
FAR	7,494 SF	4,422 SF
Building Lot Coverage	7,494 SF	2,794 SF
Impervious Surface Coverage Total	12,490 SF	5,042 SF

The subject property is located in an R-E zoning district, where the minimum lot size is 20,000 sf. The original homes in this neighborhood are predominantly smaller scale single-story homes. There have been numerous teardowns previously completed in this neighborhood, but there have only been two previous teardowns completed on this street. However, the Design Commission recently approved two additional teardowns on this street near the subject property.

Overall, the proposed design is very nicely done, with varying roof forms, nice materials and details. The overall massing of the house steps down in scale, and there is a comfortable amount of space between the adjacent homes. The only concern with the design is that it is coincidentally similar to the design for a new house two lots away at 1711 N. Verde, which was recently approved by the Design Commission on September 25, 2018. The Design Commission should evaluate whether the proposed designs are monotonous. Village Code requires designs of "like exterior design" to be separated by a minimum of two lots. The two designs do have different detailing and exterior materials, but it is recommended that the hipped roof on the proposed design be changed to gable ends to help vary the appearance.

RECOMMENDATION:

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 1719 N. Verde Avenue. This recommendation is subject to compliance with the revised plans received on 11/1/18, and the following:

1. Revise the hipped roof to gable ends to help vary the appearance from the house to be built at 1711 N. Verde Avenue.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any

other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

3. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

November 8, 2018

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

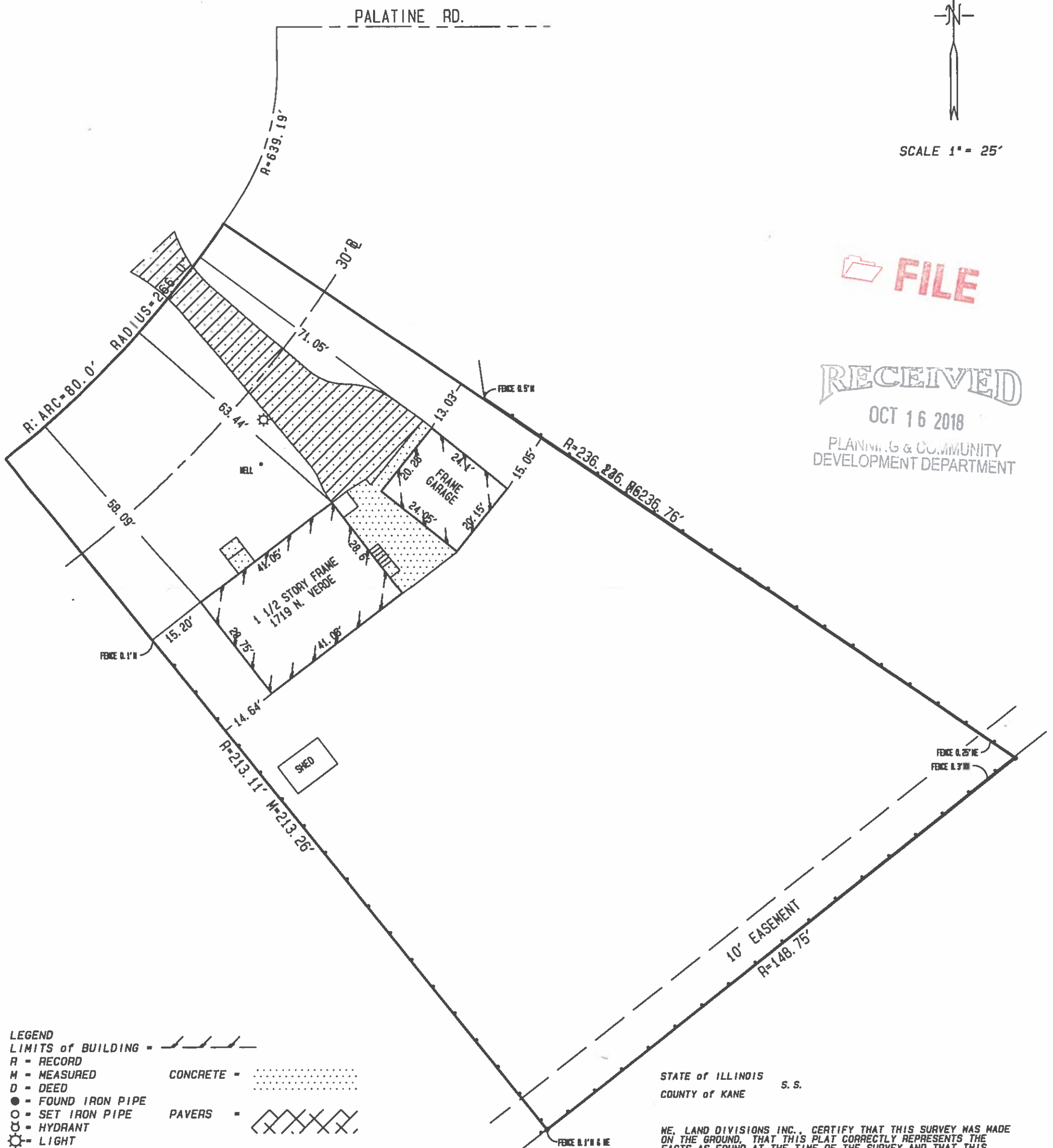
c: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 18-095

Order No. 1814293

SCALE 1" = 25'

 **FILE**

RECEIVED
OCT 16 2018
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



LEGEND

LIMITS of BUILDING = 

R = RECORD

M = MEASURED

D = DEED

● = FOUND IRON PIPE

○ = SET IRON PIPE

⊕ = HYDRANT

⊙ = LIGHT

CONCRETE = 

PAVERS = 

ASPHALT = 

STATE of ILLINOIS
COUNTY of KANE

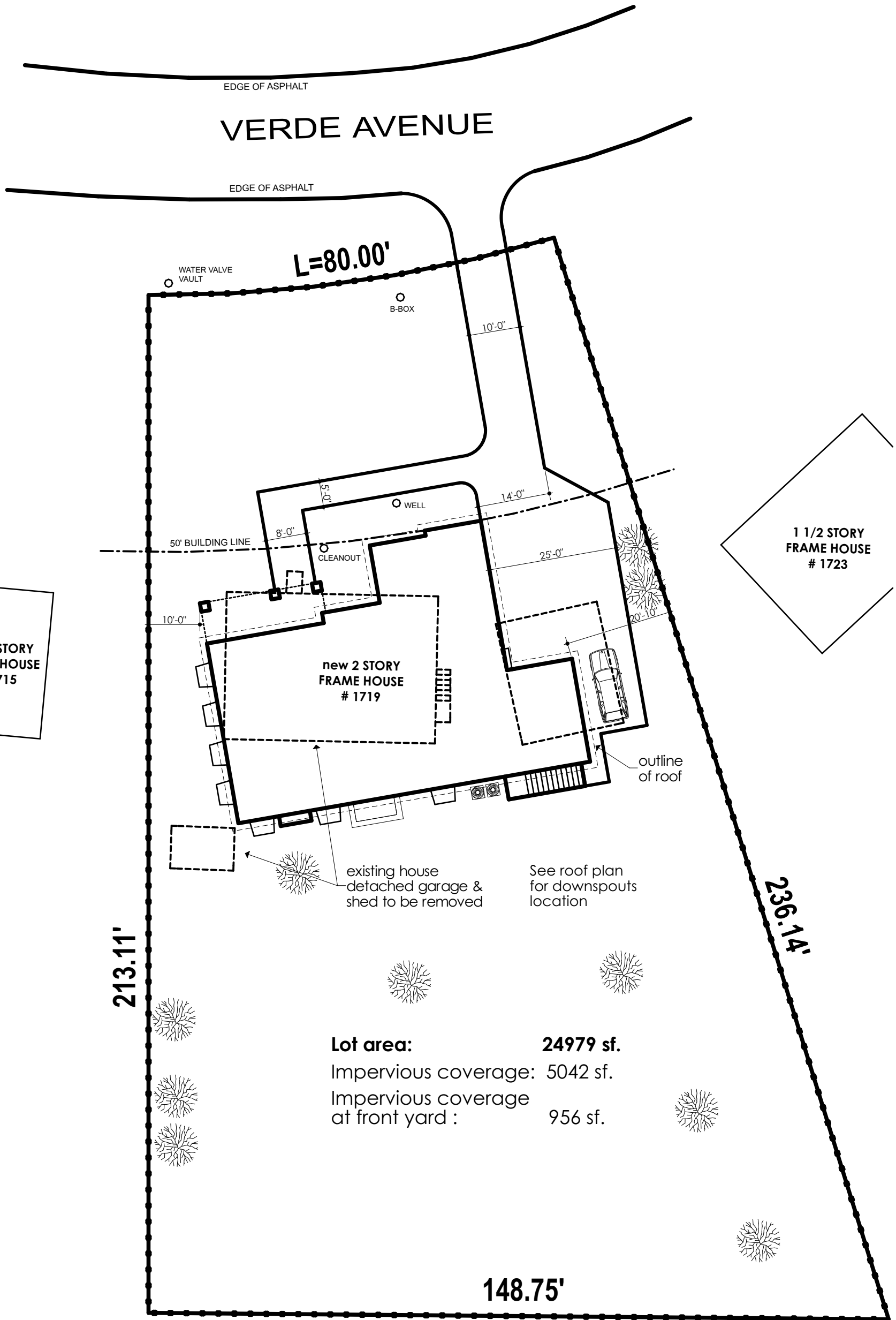
WE, LAND DIVISIONS INC., CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND, THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS AS FOUND AT THE TIME OF THE SURVEY AND THAT THIS PROFESSIONAL SERVICE REPRESENTS A TESTED OPINION OF THE BOUNDARY OF THE ABOVE CAPTIONED PROPERTY.
DATE OF SURVEY: JUNE 3, 2018.

LD LAND DIVISIONS, Inc.
Professional Surveying Services
P.O. Box 835
West Dundee, Illinois 60118
(847) 841-8305 (847) 551-9171
fax (841) 551-9193

A circular red ink seal. The outer ring contains the text "COURTNEY W. SHROPSHIRE" at the top and "WEST DUNDEE" at the bottom, separated by a small star on the left. The center of the seal contains the text "2783" at the top, followed by "PROFESSIONAL LAND SURVEYOR" and "STATE OF ILLINOIS" in three lines.

LICENSE NO. 2783 EXPIRES ON NOVEMBER 30, 2018.

THIS PLAT CONFORMS WITH THE CURRENT ILLINOIS PROFESSIONAL LAND SURVEYORS ASSOCIATION MINIMUM STANDARDS FOR A BOUNDARY SURVEY. BUILDING LINE RESTRICTIONS AND EASEMENTS SHOWN ARE THOSE IDENTIFIED ON THE RECORD SUBDIVISION PLAT, UNLESS OTHERWISE NOTED. REFER TO TITLE INSURANCE POLICY AND LOCAL ZONING ORDINANCES FOR RESTRICTIONS NOT SHOWN. COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT. IMMEDIATELY REPORT ANY DISCREPANCIES FOUND. ALL DISTANCES ARE IN FEET AND DECIMAL PARTS THEREOF. THIS PLAT HAS BEEN PREPARED FOR FRASE AND KLIMCHUK.



Architectural site plan

scale: 1" = 20'

SINGLE FAMILY RESIDENCE
1719 N. VERDE AVENUE ARLINGTON
HEIGHTS *** ILLINOIS

A



#1811
property to left 3



#1727
property to left 2



#1723
property to left 1



subject property



#1715
property to right 1



#1711
property to right 2



#1709
property to right 3

N. Verde ave



#1814
property across 3



#1810
property across 2

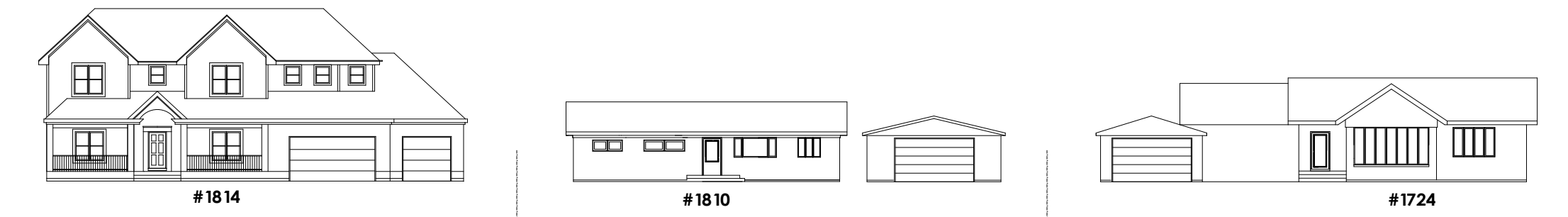
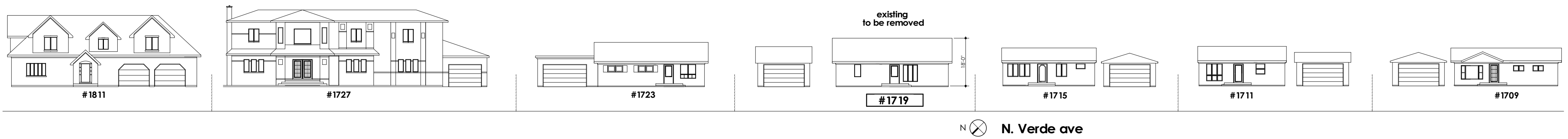


#1724
property across 1

Elevation study - proposed
context elevation

SINGLE FAMILY RESIDENCE
1719 N. VERDE AVENUE ARLINGTON
HEIGHTS *** ILLINOIS

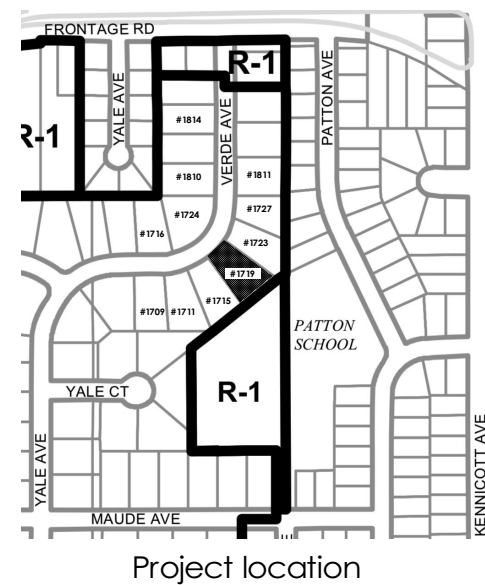
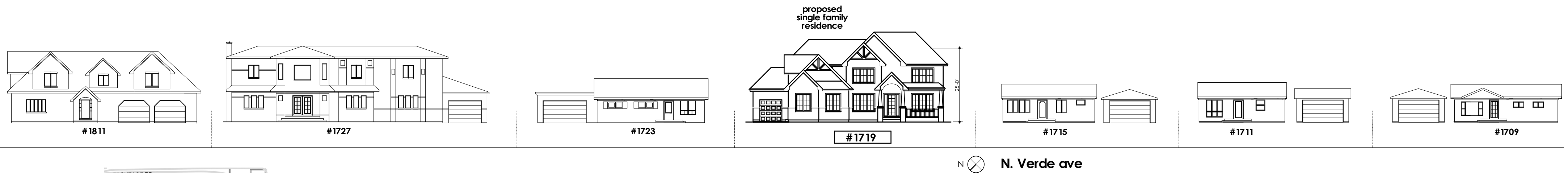
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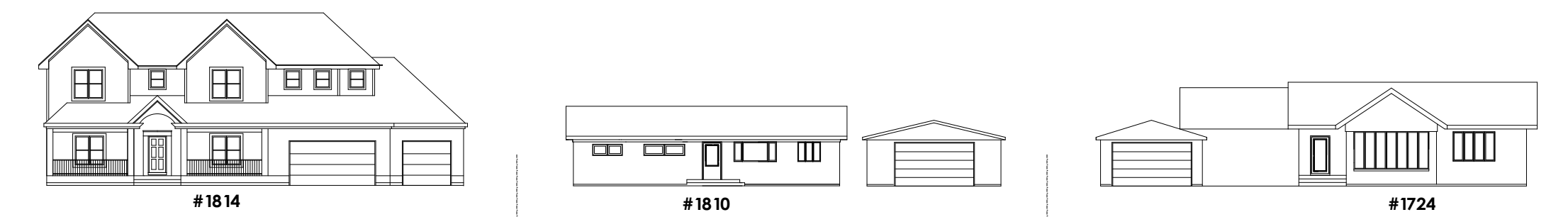
Elevation study - existing
context elevation

SINGLE FAMILY RESIDENCE
1719 N. VERDE ANENUE ARLINGTON
HEIGHTS *** ILLINOIS

G



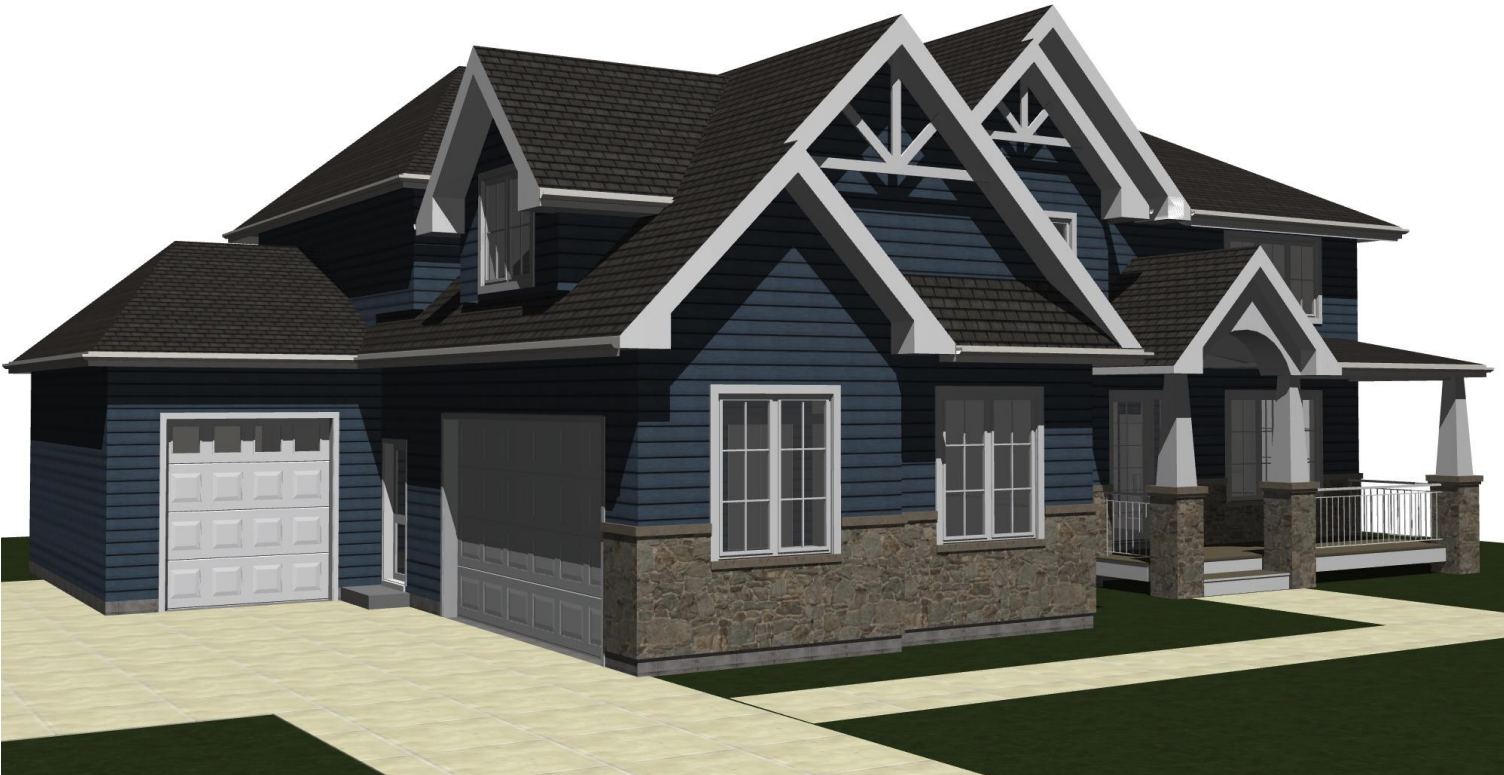
Project location



Elevation study - proposed
context elevation

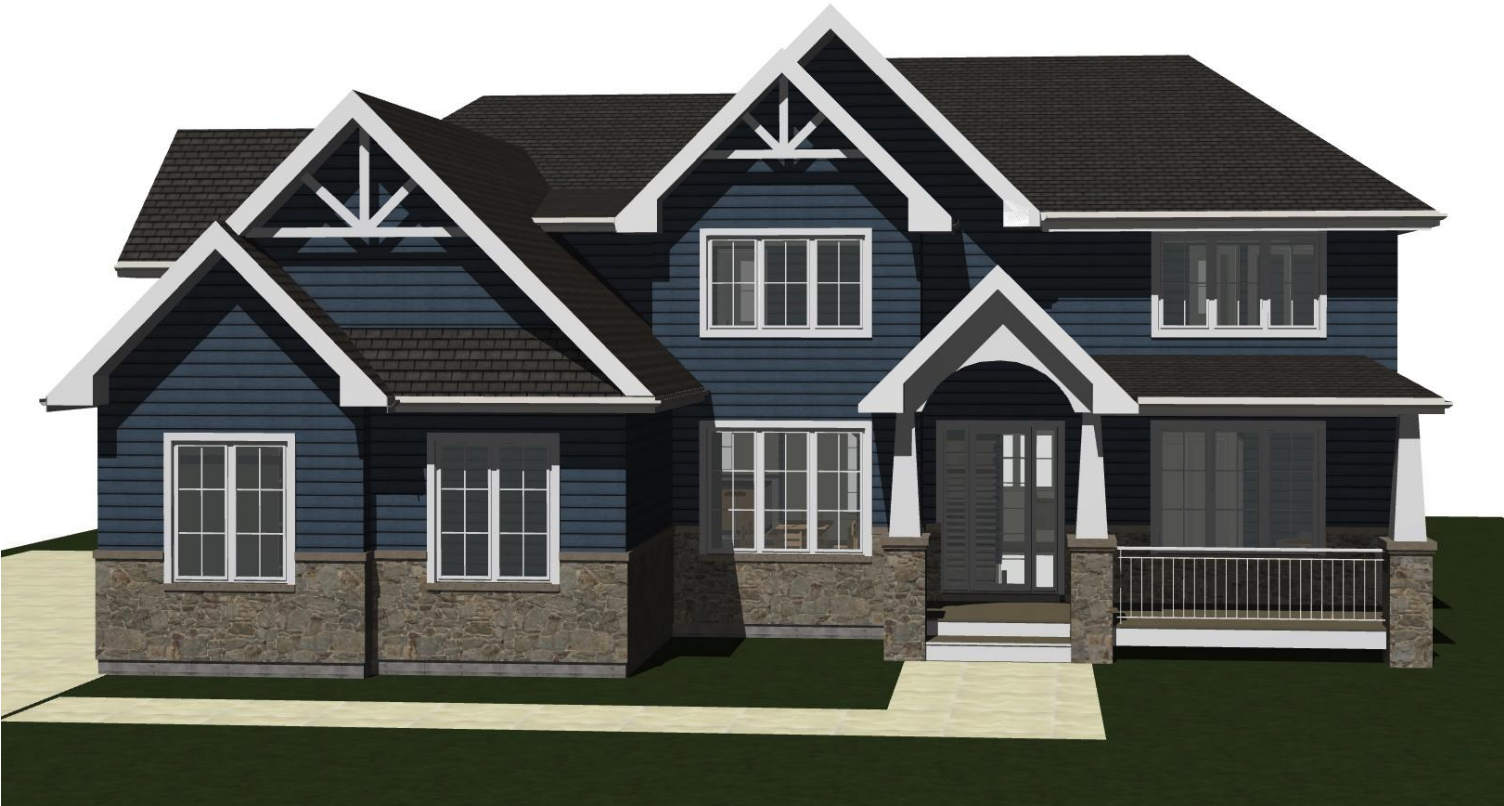
SINGLE FAMILY RESIDENCE
1719 N. VERDE ANENUE ARLINGTON
HEIGHTS *** ILLINOIS

G



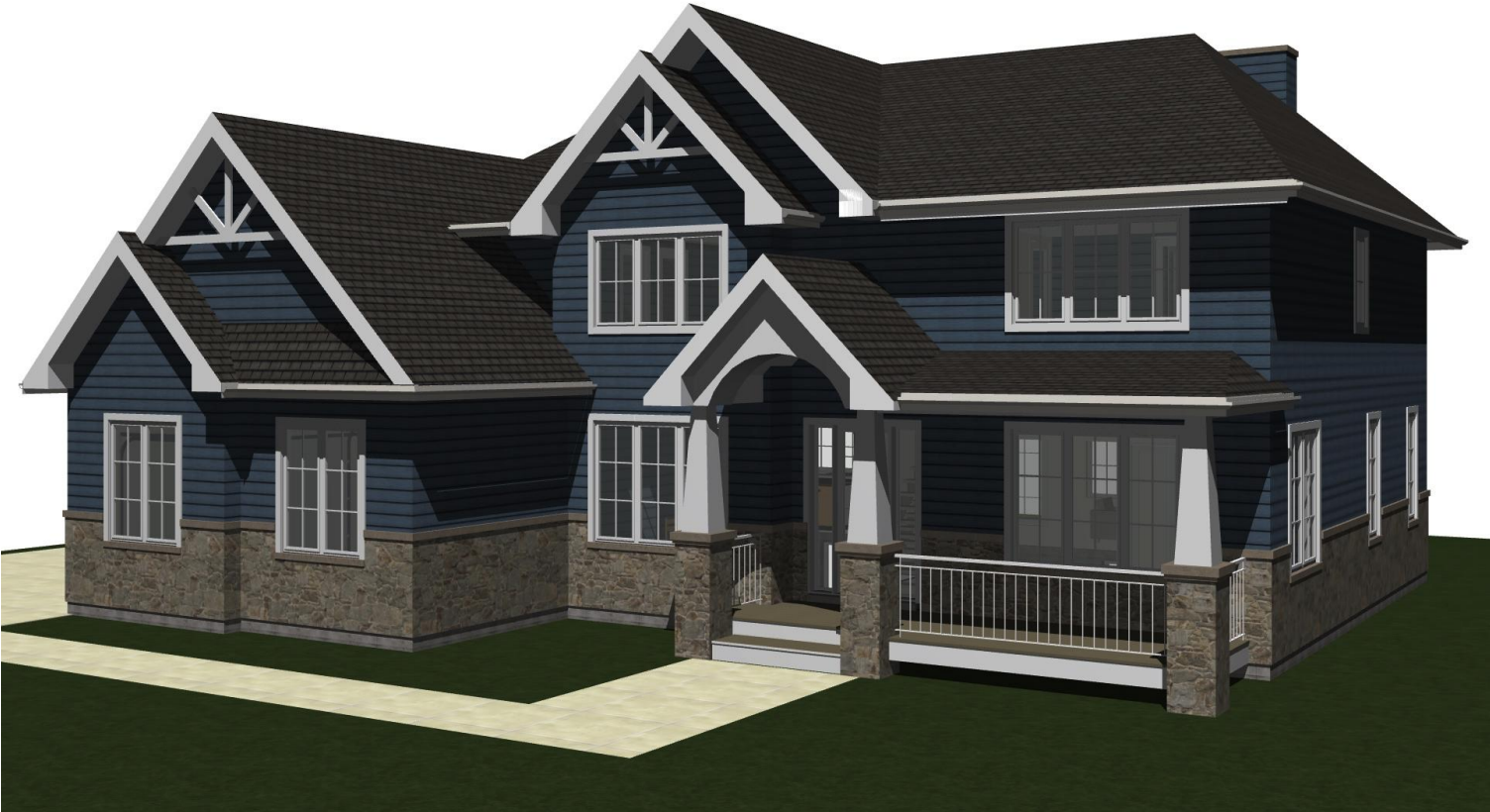
" CAMBRIDGE "

Charcoal Grey



" MAXITILE "

Biscayne Blue



" SPRINGBROOK "

Gray

subject property
proposed elevations

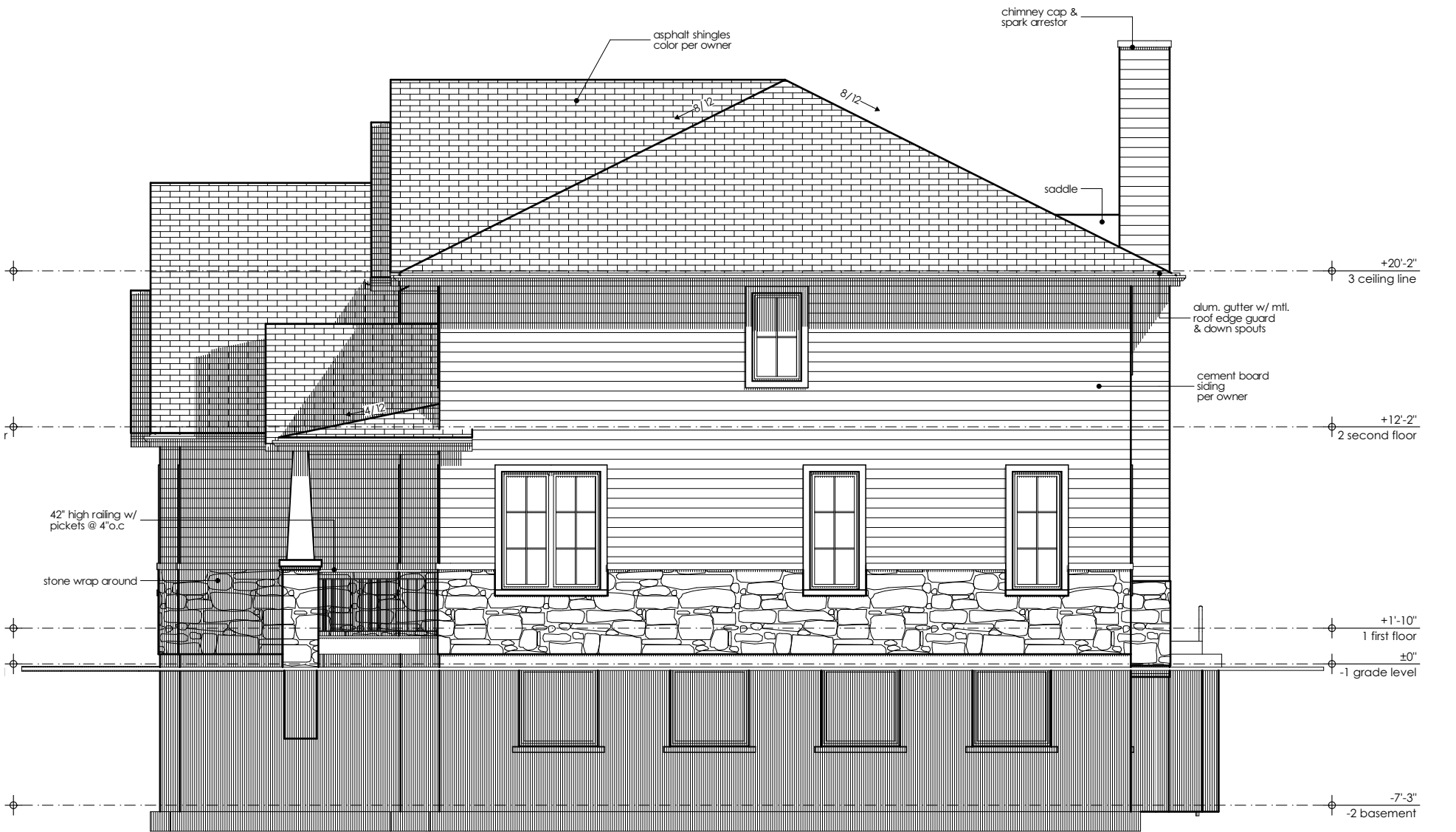
Material Schedule

Item	Material	Manufacturer	Color
Roof	Asphalt shingles	" CAMBRIDGE "	Charcoal Grey
Siding	Fiber cement	" MAXITILE "	Biscayne Blue
Gutters/ Trim/ Fascia	Aluminum	" ACM "	White
Windows	Wood/ Aluminum	" MARVIN "	White
Garage door	Aluminum	"SEARS Garage Solutions"	White
Stone	Limestone	" SPRINGBROOK "	Gray

SINGLE FAMILY RESIDENCE
1719 N. VERDE ANENUE ARLINGTON
HEIGHTS *** ILLINOIS



Rear elevation
scale:1/8" = 1'-0"



Right elevation
scale:1/8" = 1'-0"



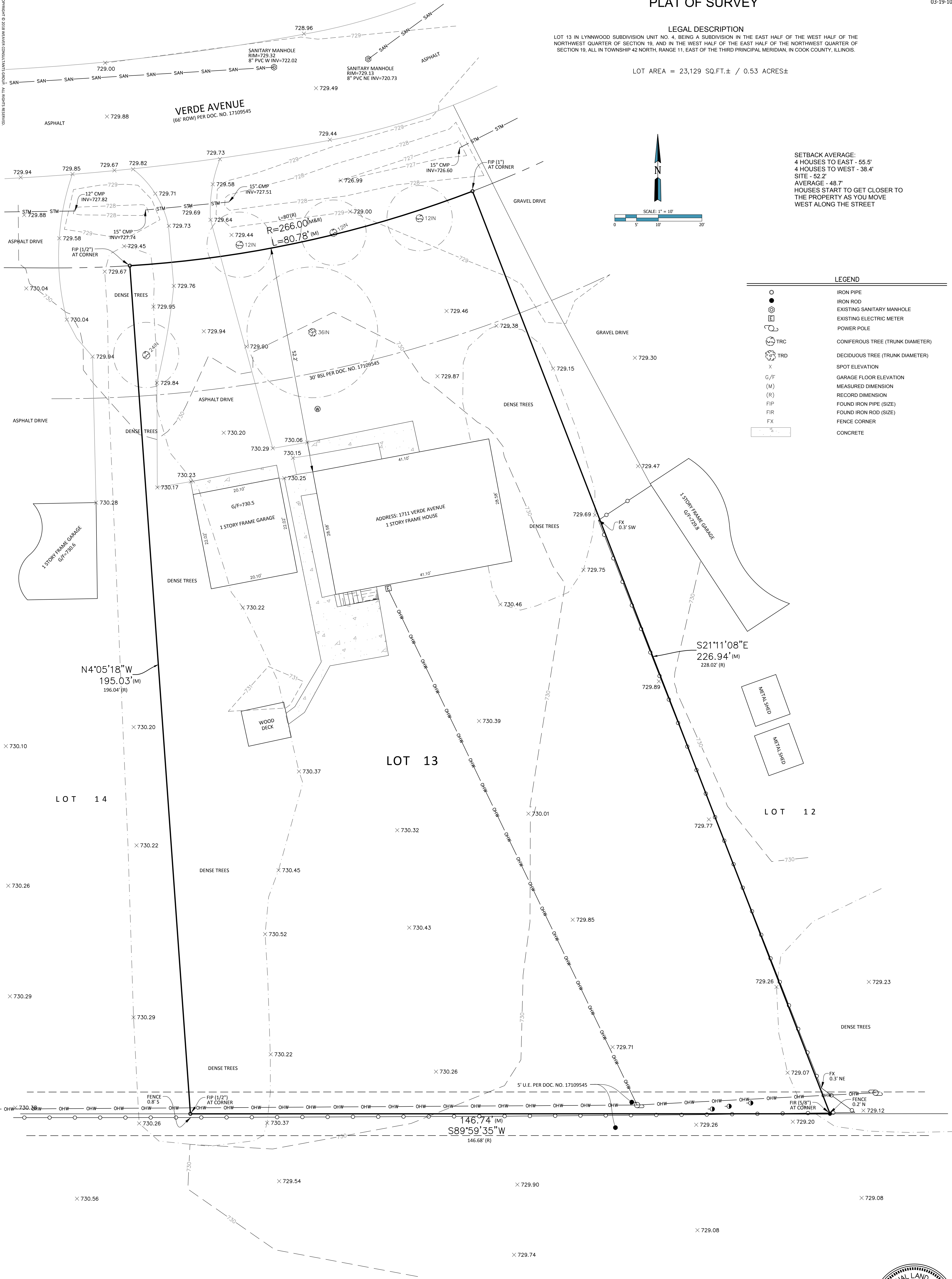
Left elevation
scale:1/8" = 1'-0"



Front elevation
scale:1/8" = 1'-0"

PLAT OF SURVEY

PIN
03-19-108-005



LEGAL DESCRIPTION
LOT 13 IN LYNNWOOD SUBDIVISION UNIT NO. 4, BEING A SUBDIVISION IN THE EAST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 19, AND IN THE WEST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, ALL IN TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

LOT AREA = 23,129 SQ.FT.± / 0.53 ACRES±

SETBACK AVERAGE:
4 HOUSES TO EAST - 55.5'
4 HOUSES TO WEST - 38.4'
SITE - 52.2'
AVERAGE - 48.7'
HOUSES START TO GET CLOSER TO
THE PROPERTY AS YOU MOVE
WEST ALONG THE STREET

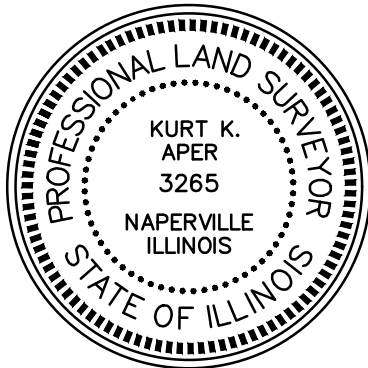
LEGEND	
	IRON PIPE
	IRON ROD
	EXISTING SANITARY MANHOLE
	EXISTING ELECTRIC METER
	POWER POLE
	CONIFEROUS TREE (TRUNK DIAMETER)
	DECIDUOUS TREE (TRUNK DIAMETER)
	SPOT ELEVATION
	GARAGE FLOOR ELEVATION
	MEASURED DIMENSION
	RECORD DIMENSION
	FOUND IRON PIPE (SIZE)
	FOUND IRON ROD (SIZE)
	FENCE CORNER
	CONCRETE

NOTES

1. THE BEARINGS SHOWN ON THIS PLAT ARE ASSUMED AND DISPLAY ANGULAR RELATIONSHIPS ONLY.
2. ENVIRONMENTAL AND SUBSURFACE CONDITIONS WERE NOT EXAMINED AS PART OF THIS SURVEY.
3. FOR SETBACK LINES, EASEMENTS AND BUILDING RESTRICTIONS NOT SHOWN HEREON, REFER TO YOUR ABSTRACT, DEED AND GUARANTEE POLICY AND LOCAL ORDINANCES.
4. SURVEY IS BASED UPON FIELD OBSERVATIONS MADE ON 07/12/2018.
5. COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCES AT ONCE.
6. NO STATEMENT IS MADE CONCERNING SUBSURFACE CONDITIONS, THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
7. THE PREMISES IS NOT IN AN AREA IDENTIFIED AS A SPECIAL FLOOD HAZARD AREA, AND LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DETERMINED BY THE FEDERAL INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NUMBER 17031C0201J WITH AN EFFECTIVE DATE OF AUGUST 19, 2008.
8. NO TITLE POLICY WAS PROVIDED FOR USE DURING THE PREPARATION OF THIS SURVEY.
9. NO SANITARY CLEANOUT WAS OBSERVED IN THE FIELD. SANITARY LINE TO BE VERIFIED IN FIELD BY CONTRACTOR. CLIENT HAS PROVIDED A SKETCH THAT SHOWS A SEPTIC FIELD IN THE REAR OF THE HOUSE, NO SEPTIC SYSTEM WAS OBSERVED IN THE FIELD.
10. NO WATER MAIN OR SERVICE LINE OBSERVED IN THE FIELD. A WELL WAS OBSERVED AND IS SHOWN HEREON.

	BOUNDARY
	EXISTING LOTS
	RIGHT OF WAY
	FENCE LINE (EX.)
	WATERMAIN (APPROX. LOCATION)(EX.)
	STORM LINE (EX.)
	SANITARY LINE (EX.)
	OVERHEAD WIRES (EX.)
	1' CONTOUR (EX.)
	5' CONTOUR (EX.)
	APPROXIMATE TREE DRIPLINE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS
I, KURT K. APER, A PROFESSIONAL LAND SURVEYOR, DO CERTIFY
THAT THIS DRAWING HAS BEEN PREPARED UNDER MY DIRECT
SUPERVISION ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS
THEREOF.
DATED THIS 16th DAY OF JULY, 2018.
Kurt K. APER
PROFESSIONAL LAND SURVEYOR NUMBER 3265.
LAND SURVEYOR LICENSE EXPIRES NOVEMBER 30, 2018.
DESIGN FIRM NUMBER 184004465
THIS SURVEY CONFORMS TO THE CURRENT ILLINOIS STANDARD
FOR A BOUNDARY SURVEY.



SITE PLAN

LEGAL DESCRIPTION

LOT 13 IN LYNNWOOD SUBDIVISION UNIT NO. 4, BEING A SUBDIVISION IN THE EAST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 19, AND IN THE WEST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, ALL IN TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

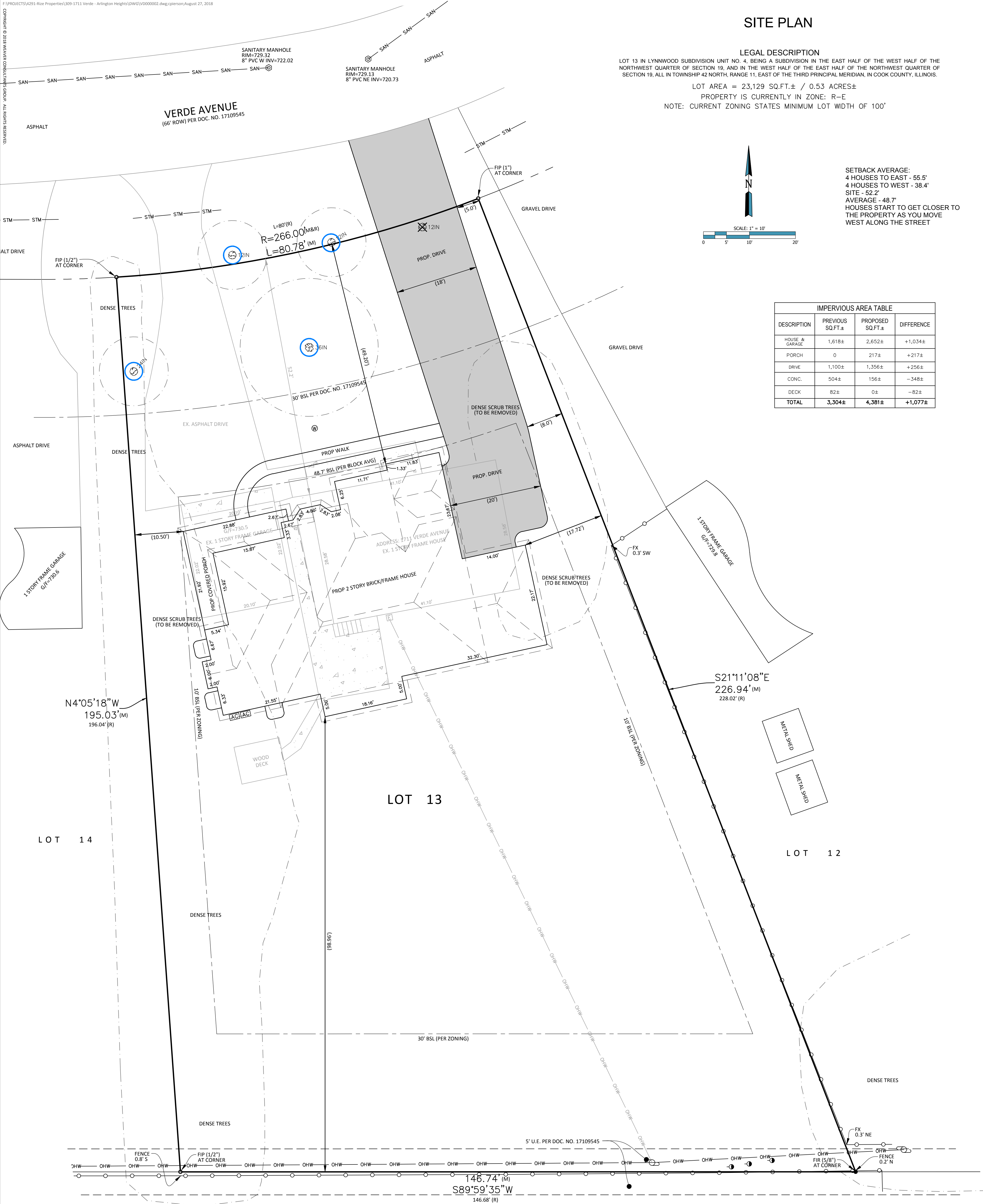
LOT AREA = 23,129 SQ.FT.± / 0.53 ACRES±

PROPERTY IS CURRENTLY IN ZONE: R-E

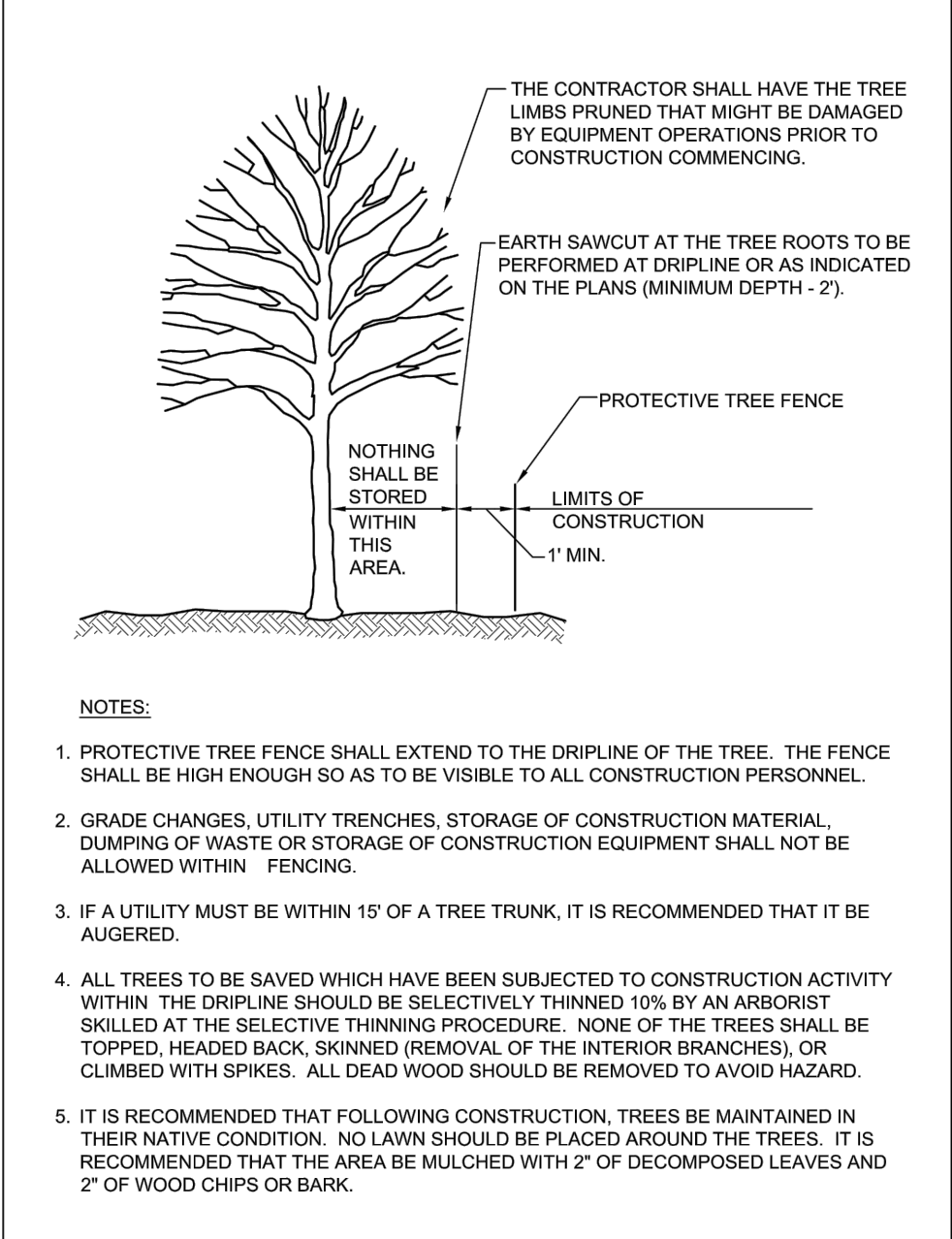
NOTE: CURRENT ZONING STATES MINIMUM LOT WIDTH OF 100'

SETBACK AVERAGE:
4 HOUSES TO EAST - 55.5'
4 HOUSES TO WEST - 38.4'
SITE - 52.2'
AVERAGE - 48.7'
HOUSES START TO GET CLOSER TO
THE PROPERTY AS YOU MOVE
WEST ALONG THE STREET

IMPERVIOUS AREA TABLE			
DESCRIPTION	PREVIOUS SQ.FT.±	PROPOSED SQ.FT.±	DIFFERENCE
HOUSE & GARAGE	1,618±	2,652±	+1,034±
PORCH	0	217±	+217±
DRIVE	1,100±	1,356±	+256±
CONC.	504±	156±	-348±
DECK	82±	0±	-82±
TOTAL	3,304±	4,381±	+1,077±



TREE PROTECTION DETAIL (N.T.S.)



GENERAL TREE PROTECTION NOTES:

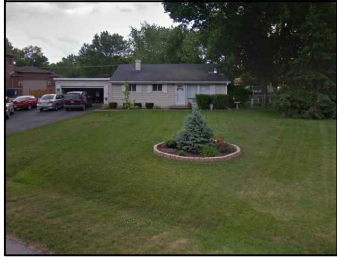
1. GRADING AND CONSTRUCTION EQUIPMENT IS PROHIBITED FROM ENCRoACHING ON THE DRIPLINE OF ANY TREE TO BE PRESERVED.
2. CRUSHED LIMESTONE, OR ANY OTHER MATERIAL WHICH MAY BE DETRIMENTAL TO TREES, SHALL NOT BE DISCARDED OR PLACED WITHIN THE DRIPLINE OF ANY TREES NOR SHALL MATERIAL BE LOCATED AT AN ELEVATION WHICH WOULD CONTRIBUTE RUNOFF OF SUCH MATERIAL TOWARD TREE(S).
3. MATERIALS OR VEHICLES SHALL NOT BE STORED, DRIVEN OR PARKED WITHIN THE DRIPLINE OF ANY TREES.
4. WOODEN LATH, SNOW FENCING, BRIGHTLY COLORED PLASTIC CONSTRUCTION FENCING OR OTHER ALTERNATIVE BARRIER APPROVED BY THE COMMISSIONER OF BUILDING AND ZONING SHALL BE INSTALLED AT THE PERIPHERY OF THE TREE'S DRIPLINE OR BEYOND. THE BARRIER SHALL BE A MINIMUM OF FORTY-EIGHT (48) INCHES IN HEIGHT AND MUST BE SECURELY ANCHORED TO FENCE POSTS A MINIMUM DISTANCE OF FIVE (5) FEET ON CENTER.
5. UTILITY LINES SHALL BE AUGERED TO PREVENT DAMAGE TO TREE ROOT SYSTEMS WHEN AN UNDERGROUND UTILITY LINE IS TO BE LOCATED WITHIN FIVE (5) FEET OF THE TRUNK OF A TREE DESIGNATED FOR PRESERVATION.
6. TREES TO BE PRESERVED WHICH HAVE BEEN SUBJECTED TO ACTIVITY WITHIN THE DRIPLINE SHOULD BE SELECTIVELY PRUNED OR THINNED TEN (10) PERCENT BY AN ARBORIST OR TREE SURGEON SKILLED AT THE SELECTIVE THINNING PROCEDURE. ALL DEAD WOOD SHALL BE REMOVED.
7. TREE REMOVAL - TO BE PERFORMED IN A SAFE MANNER TO PROTECT ADJOINING PROPERTY AND OTHER TREES TO BE PRESERVED. STUMPS TO BE GROUND OUT WHERE POSSIBLE. WORK TO IS RECOMMENDED TO BE PERFORMED IN ADVANCE OF ANY EXCAVATION OR DEMOLITION.
8. TREE PRUNING - PRUNING SHALL CONFORM TO ANSI A-300 STANDARDS. CROWN CLEAN (PRUNE OUT) DEADWOOD 1" IN DIAMETER AND LARGER ON ALL TREES. THIN BY 15% THE TREES THAT ARE DESIGNATED BY THE ARBORIST. CROWN RAISE WHERE REQUIRED FOR ACCESS. SCOPE OF WORK TO BE REVIEWED AT THE JOB SITE BRIEFING BY THE ARBORIST ON SITE WITH CREWS IN ADVANCE OF WORK. WORK TO IS RECOMMENDED TO BE PERFORMED IN ADVANCE OF ANY EXCAVATION OR DEMOLITION.
9. TREE PROTECTION FENCING AND ROOT PRUNING: TO BE INSTALLED BEFORE CONSTRUCTION AND AFTER TREE PRUNING AND REMOVALS. LOCATION WILL FOLLOW AT MINIMUM, THE LOCATION OF THE CRITICAL ROOT ZONE, OR ROOT PRUNED ROOTS. IN SOME AREAS IT WILL BE POSSIBLE TO BE LOCATED BEYOND THIS AREA. ALL FENCING WILL BE LOCATED WITHIN THE BOUNDARIES OF THIS PROPERTY. ALL EQUIPMENT FOR CONSTRUCTION/EXCAVATION SHALL BE LIMITED TO AREAS OUTSIDE THE PROTECTION FENCING. ROOT PRUNING WILL BE DESIGNATED BY THE ARBORIST. AD WILL BE MADE JUST OUT SIDE THE LOCATED OVERDRI.
10. FERTILIZATION AND WATERING: ALL TREES TO BE PRESERVED WILL BE FERTILIZED IN ADVANCE OF CONSTRUCTION. THE MATERIAL TO BE USED WILL BE ORGANIC HUMATES AND WILL BE APPLIED TWICE DURING THE GROWING SEASON. SUPPLEMENTAL WATERING WILL BE PERFORMED DURING THE CONSTRUCTION PROCESS IF NATURAL RAINFALL AMOUNTS FALL BELOW NORMAL.

- DURING CONSTRUCTION PROJECTS IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO MINIMIZE DAMAGE DONE TO TREE LIMBS, TREE TRUNKS AND TREE ROOTS DURING INDIVIDUAL CONSTRUCTION PROJECTS. TO ACCOMPLISH THIS, THE FOLLOWING PRACTICES SHALL BE REQUIRED:
1. SNOW FENCE: ALL TREES LOCATED WITHIN THE EQUIPMENT OPERATING AREA, OR OTHERWISE DESIGNATED FOR PRESERVATION ON A PARTICULAR CONSTRUCTION SITE, SHALL BE PROTECTED BY ERECTING A HIGHLY VISIBLE "SNOW FENCE" BARRIER APPROXIMATELY ALONG THE DRIPLINE OR EDGE OF THE TREE(S) ROOT SYSTEM. ALL "SNOW FENCE" SHALL BE REQUIRED TO BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY THAT COULD POSSIBLY DAMAGE THE TREE(S). REQUIRED "SNOW FENCE" SHALL BE INSTALLED BY SAID DEVELOPER/CONTRACTOR. THE "SNOW FENCE" SHALL BE INSTALLED HIGH ENOUGH SO AS TO BE VISIBLE TO ALL CONSTRUCTION PERSONNEL. ONCE IN PLACE THE FENCE BARRIER SHALL NOT BE MOVED OR TAKEN DOWN UNTIL THE COMPLETION OF CONSTRUCTION. GRADE CHANGES, UTILITY TRENCHES, DUMPING OF WASTE AND THE STORAGE OF CONSTRUCTION MATERIAL OR CONSTRUCTION EQUIPMENT SHALL NOT BE ALLOWED WITHIN THE REQUIRED SNOW FENCE BARRIER.
 2. AUGERING: IF A UTILITY MUST BE WITHIN THE DRIPLINE OF A TREE, IT SHALL BE REQUIRED TO BE AUGERED.
 3. PRE-CONSTRUCTION ROOT PRUNING: SHOULD IT BE NECESSARY TO EXCAVATE WITHIN THE DRIPLINE OF A TREE, WHERE IT IS NOT POSSIBLE TO AUGER, THE EARTH BETWEEN THE TREE AND THE EXCAVATION TRENCH SHALL BE SAWN OUT FOR A MINIMUM DEPTH OF TWO FEET AS NEAR TO THE INTENDED TRENCH AS POSSIBLE. THIS ROOT PRUNING SHALL BE DONE PRIOR TO ANY EXCAVATION ACTIVITY NEAR THE TREE(S). THIS REQUIREMENT IS INTENDED TO MINIMIZE THE EXCESSIVE TEARING OF ROOTS OFTEN DONE BY EXCAVATING EQUIPMENT.
 4. PRE-CONSTRUCTION PRUNING: ANY BRANCHES THAT MIGHT INTERFERE WITH THE ACTUAL CONSTRUCTION ACTIVITY SHOULD BE CAREFULLY TIED BACK, IF POSSIBLE, OR PROPERLY PRUNED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
 5. POST CONSTRUCTION PRUNING: ALL TREES TO BE PRESERVED WHICH HAVE BEEN SUBJECTED TO CONSTRUCTION ACTIVITY WITHIN THEIR DRIPLINE, SHOULD BE PRUNED TO PROMOTE HEALTH AND RECOVERY. POST OR PRE-CONSTRUCTION PRUNING CUTS SHALL BE MADE BY PROPERLY TRAINED PERSONNEL SKILLED IN ARBORICULTURE AND PROPERLY CERTIFIED.
 6. TREE WATERING: TREES DESIGNATED FOR PRESERVATION SHOULD BE ADEQUATELY WATERED BY DEVELOPER/CONTRACTOR DURING PERIODS OF DROUGHT.
 7. MULCH: IT IS RECOMMENDED THAT FOLLOWING CONSTRUCTION, TREES BE MAINTAINED IN THEIR NATIVE CONDITION, BY PLACING A NATURAL MULCH AROUND THE TREE ROOT AREA, COMPOSED OF TWO (2) INCHES OF DECOMPOSED LEAVES AND TWO (2) INCHES OF WOODCHIPS OR BARK.

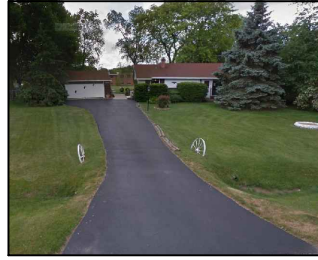
LEGEND

○	IRON PIPE
●	IRON ROD
⊕	EXISTING SANITARY MANHOLE
⊗	EXISTING ELECTRIC METER
⊙	POWER POLE
⊗ TRC	TREE TO BE REMOVED
⊗ TRC	TREE PROTECTION (NOT TO SCALE)
⊗ TRD	CONIFEROUS TREE (TRUNK DIAMETER)
×	DECIDUOUS TREE (TRUNK DIAMETER)
G/F	SPOT ELEVATION
(M)	GARAGE FLOOR ELEVATION
(R)	MEASURED DIMENSION
FIP	RECORD DIMENSION
FIR	FOUND IRON PIPE (SIZE)
FX	FOUND IRON ROD (SIZE)
FX	FENCE CORNER
FX	FENCE CORNER
FX	CONCRETE
---	BOUNDARY
---	EXISTING LOTS
---	RIGHT OF WAY
---	FENCE LINE (EX.)
---	WATERMAIN (APPROX. LOCATION)(EX.)
---	STORM LINE (APPROX. LOCATION)(EX.)
---	SANITARY LINE (EX.)
---	OVERHEAD WIRES (EX.)
---	APPROXIMATE TREE DRIPLINE

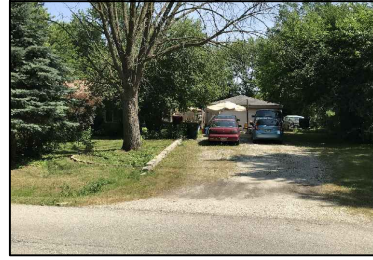
No.	DATE	REVISION DESCRIPTION



PROPERTY TO LEFT 3



PROPERTY TO LEFT 2



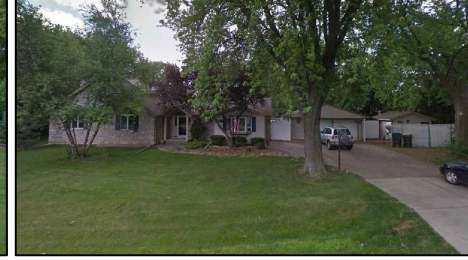
PROPERTY TO LEFT 1



SUBJECT PROPERTY
1711 VERDE AVE.



PROPERTY TO RIGHT 1



PROPERTY TO RIGHT 2



PROPERTY TO RIGHT 3

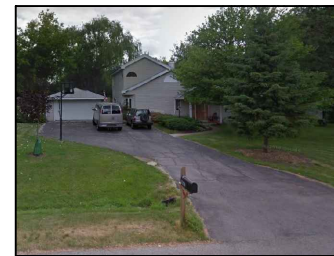
VERDE AVENUE, ARLINGTON HEIGHTS



PROPERTY ACCROSS 1



PROPERTY ACCROSS 2



PROPERTY ACCROSS 3



EXISTING CONTEXT ELEVATION



PROPOSED CONTEXT ELEVATION



FRONT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

REVISIONS

CUSTOM HOME FOR
RIZE PROPERTIES
1711 VERDE AVE.
ARLINGTON HEIGHTS, ILLINOIS

14334 Town Center Dr.
Homer Glen, Illinois 60491
Tel (708)301-6111
Fax (708)301-2503
E-mail wkolsonarc@aol.com

WKO LSON
ARCHITECTS
INC.

PRE-MEETING
ELEVATIONS

APP'D: WKO
CHECKED: WKO
DRAWN: SEBSF/HK
DATE: 7/3/16
PROJ NO: 318079
PREV NO: (318056)

SHEET NUMBER

OF 15



LEFT ELEVATION 1/4" = 1'-0"



RIGHT ELEVATION 1/4" = 1'-0"

REVISIONS

CUSTOM HOME FOR
RIZE PROPERTIES
1711 VERDE AVE.
ARLINGTON HEIGHTS, ILLINOIS

14334 Town Center Dr.
Homer Glen, Illinois 60491
Tel (708)301-6111
Fax (708)301-2503
E-mail wkolsonarc@aol.com

WKO
LSON
ARCHITECTS
INC.

PRE-MEETING
ELEVATIONS

APP'D: WKO
CHECKED: WKO
DRAWN: SEBSF/HK
DATE: 7/3/18
PROJ NO: 318079
PREV NO: (318056)

SHEET NUMBER

OF 15



1711 Verde

Siding: James Hardie – Rich Espresso
Roofing: Owens Corning – Driftwood
Trim: LP SmartTrim - White
Gutters/Downspouts: Aluminum – White
Stone: Buechel Stone FDL Country Squire

Material Schedule
1711 Verde
Arlington Heights

ITEM	MATERIAL	MANUFACTURER	COLOR
Roof	Asphalt Shingles	Owens Corning	Driftwood
Siding	Fiber Cement	James Hardie	Rich Espresso
Trim/Fasica	LP Smart Trim	LP	White
Stone	Stone	Buechel Stone	FDL Country Squire
Gutters	Aluminum	ACM	White
Windows	Vinyl	Pella	White
Garage Door	Steel	Clopay	White



Item: DC#18-096 - 801 N. Forrest Ave. - SF/Teardown

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission evaluate the proposed new single-family residence to be located at 801 N. Forrest Lane. This recommendation is based on the architectural plans dated 10/5/18 and received 10/22/18, revised site plan, exterior elevations, and material list dated and received 10/30/18, and the following:

1. Evaluate how the proposed modern design with somewhat commercial appearance fits with the character of the neighborhood.
2. Evaluate the garage massing and prominence.
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report
Drawings & Documents

Type

Board or Commission Report
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 801 N. Forrest Avenue
Project Address: 801 N. Forrest Avenue
Prepared By: Steve Hautzinger

Date Prepared: November 7, 2018

PETITION INFORMATION:

DC Number: 18-096
Petitioner Name: Tony Papanicholas
Petitioner Address: 801 N. Forrest Avenue
Arlington Heights, IL 60004

Meeting Date: November 13, 2018

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines.

The petitioner is proposing to demolish an existing two-story residence with an attached two-car garage and detached two-car garage to allow construction of a new single-story residence with an attached two-and-a-half-car garage. The subject site is zoned R-E, One Family Dwelling District. The property has a total land area of 29,760 square feet and the proposed residence will have approximately 8,350 square feet. The proposed design complies with the R-E zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 50 feet Side: 10 feet Side: 10 feet Rear: 30 feet	Front: 50 feet Side: 10 feet Side: 10 feet Rear: 111 feet
Building Height	25 feet to the midpoint	23.5 feet to the midpoint
FAR	8,928 SF	8,350 SF
Building Lot Coverage	8,928 SF	8,844 SF
Impervious Surface Coverage Total	14,880 SF	11,665 SF

This street consists of large lots, generally 100 feet wide x 297 feet deep on both sides of the street. There are numerous previous teardowns completed on this block, which are generally large scale, traditional style two-story homes.

The proposed design is distinctively modern with a flat roof, geometric massing, and modern exterior material selections. Per the Single-Family Design Guidelines, the Design Commission should evaluate how the proposed house fits with the character of the neighborhood. The context elevation exhibit illustrates that the scale of the house is not necessarily out of scale with the adjacent large homes, but the flat roof massing and large entrance canopy create a somewhat commercial appearance that may not be appropriate in this location surrounded by traditional homes with pitched roofs. Additionally, the garage mass on the front of the house is large and prominent. The 17-foot tall side garage wall with black siding may be too jarring to the streetscape and the neighboring home. The existing evergreen tree does help to soften the impact.

RECOMMENDATION:

It is recommended that the Design Commission **evaluate** the proposed new single-family residence to be located at 801 N. Forrest Lane. This recommendation is based on the architectural plans dated 10/5/18 and received 10/22/18, revised site plan, exterior elevations, and material list dated and received 10/30/18, and the following:

1. Evaluate how the proposed modern design with somewhat commercial appearance fits with the character of the neighborhood.
2. Evaluate the garage massing and prominence.

3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

November 8, 2018

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 18-096

BOUNDARY AND TOPOGRAPHIC SURVEY

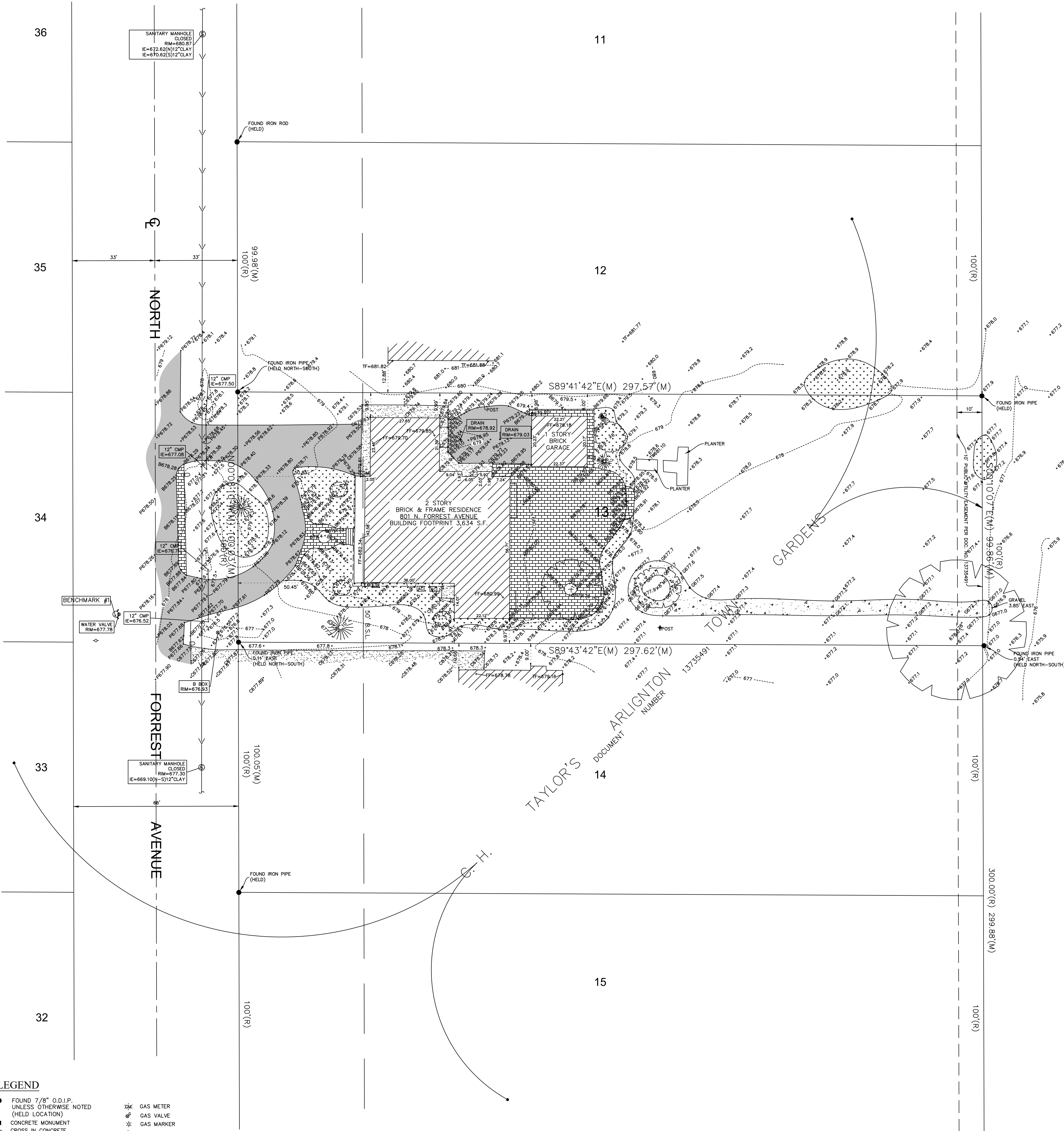
LEGAL DESCRIPTION

LOT 13 IN C. H. TAYLOR'S ARLINGTON TOWN GARDENS, BEING A SUBDIVISION OF THE WEST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 3RD, 1946 AS DOCUMENT NUMBER 13735491, IN COOK COUNTY, ILLINOIS.

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



LEGEND

- FOUND 7/8" O.D.I.P. UNLESS OTHERWISE NOTED (HELD LOCATION)
- CONCRETE MONUMENT
- ⊕ CROSS IN CONCRETE
- ⊙ MANHOLE
- ⊙ STORM STRUCTURE
- ⊙ SANITARY MANHOLE
- CLEANOUT
- FLARED END SECTION
- ⊠ TRANSFORMER PAD
- ⊙ ELECTRIC MANHOLE
- ⊠ ELECTRIC BOX
- ⊠ ELECTRIC PEDESTAL
- ⊠ ELECTRIC MARKER
- ⊠ ELECTRIC METER
- UTILITY POLE
- UTILITY POLE W/LIGHT
- UTILITY POLE W/TSF
- GUY POLE
- ⊕ OVERHEAD TRAFFIC SIGNAL
- ⊕ TRAFFIC SIGNAL MANHOLE
- ⊕ LIGHT
- ⊕ LIGHT POLE
- ⊕ HAND HOLE
- VALVE VAULT
- FIRE HYDRANT
- IRRIGATION CONTROL VALVE
- POST INDICATOR VALVE
- ⊕ SIAMASE WATER CONNECTION
- ⊕ WATER MARKER
- ⊕ WATER METER
- ⊕ VALVE BOX
- ⊕ B/BOX
- ⊕ TELEPHONE MANHOLE
- ⊕ TELEPHONE NETWORK INTERFACE
- ⊕ TELEPHONE MARKER
- ⊕ TELEPHONE PEDESTAL
- ⊕ CABLE TELEVISION PEDESTAL
- ⊕ GAS METER
- ⊕ GAS VALVE
- ⊕ GAS MARKER
- ⊕ DOWN SPOUT
- ⊕ BORING HOLE
- ⊕ MONITORING WELL
- ⊕ GATE POST
- ⊕ BOLLARD POLE
- ⊕ SIGN
- ⊕ FLAG POLE
- ⊕ MAILBOX
- ⊕ SANITARY SEWER
- ⊕ CONCRETE SURFACE
- ⊕ DEPRESSURE CURB
- ⊕ GRAVEL SURFACE
- ⊕ LANDSCAPE AREA
- ⊕ STONE SURFACE
- ⊕ DETECTABLE TACTILE
- ⊕ WARNING SURFACE
- ⊕ WOOD FENCE
- ⊕ CHAIN LINK FENCE
- ⊕ METAL FENCE
- ⊕ METAL GUARDRAIL
- ⊕ OVERHEAD TRAFFIC ARM
- ⊕ BITUMINOUS PAVEMENT
- ⊕ CONCRETE SURFACE
- ⊕ DEPRESSURE CURB
- ⊕ GRAVEL SURFACE
- ⊕ LANDSCAPE AREA
- ⊕ STONE SURFACE
- ⊕ DETECTABLE TACTILE
- ⊕ WARNING SURFACE
- ⊕ WOOD FENCE
- ⊕ CHAIN LINK FENCE
- ⊕ METAL FENCE
- ⊕ METAL GUARDRAIL
- ⊕ OVERHEAD TRAFFIC ARM

ABBREVIATIONS

- O.D.I.P. = OUTSIDE DIAMETER IRON PIPE
- TF = TOP OF FOUNDATION
- FF = FINISHED FLOOR
- FES = FLARED END SECTION
- VOP = VITRIFIED CLAY PIPE
- DIP = DUCTILE IRON PIPE
- PVC = POLYVINYL CHLORIDE
- RCP = REINFORCED CONCRETE PIPE
- CMP = CORRUGATED METAL PIPE
- (R) = RECORD BEARING OR DISTANCE
- (M) = MEASURED BEARING OR DISTANCE
- (C) = CALCULATED BEARING OR DISTANCE
- (D) = DEED BEARING OR DISTANCE
- A = ARC LENGTH
- R = RADIUS
- CH = CHORD
- CB = CHORD BEARING
- B.S.L. = BUILDING SETBACK LINE
- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- F.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT
- BC = BACK OF CURB
- BDC = BACK OF DEPRESSURE
- FL = FLOW LINE
- C = CONCRETE
- P = PAVEMENT
- G = GRAVEL
- EW = EDGE OF WALK
- TF = TOP OF WALL
- TF = TOP OF PIPE
- IE = INVERT ELEVATION
- PL = PROPERTY LINE
- DS = DOWN SPOUT
- S.F. = SQUARE FEET
- SL = SHORE LINE
- TSF = TRANSFORMER
- B = PAVERS

BENCHMARKS

- REFERENCE BENCHMARK:
NGS MONUMENT
DESIGNATION: LD022
P.O.C. 043999
- STEEL ROD IN SLEEVE, TO REACH FROM THE INTERSECTION OF US HIGHWAY 14 AND WILKE ROAD IN ROLLING MEADOWS, IL GO SOUTH ON WILKE ROAD FOR 2.1 KM TO NEW WILKE ROAD, CONTINUE SOUTH ON NEW WILKE ROAD FOR 0.5 KM TO THE STATION ON THE LEFT. THE STATION IS 59.1 FT EAST OF THE EDGE OF CURB OF NEW WILKE ROAD, 14.8 FT SOUTH OF THE OF THE BACK OF CURB OF THE SUNSET MEADOWS PARKING LOT AND 7.2 FT EAST OF THE EDGE OF PARK SIDEWALK.
- DATUM: NAVD83
ELEVATION = 680.73
- SITE BENCHMARKS:
SITE BENCHMARK #1
SOUTHWEST CORNER BOLT ON FIRE HYDRANT ON WEST SIDE OF FOREST AVE. OPPOSITE SOUTHWEST CORNER OF SITE.
ELEVATION = 679.50
SITE BENCHMARK #2
SOUTHWEST CORNER BOLT ON FIRE HYDRANT ON WEST SIDE OF FOREST AVE. NEXT FIRE HYDRANT SOUTH OF SITE BENCHMARK 1.
ELEVATION = 677.34

LINE LEGEND

- LIMITS OF LAND PER
- LEGAL DESCRIPTION
- ADJACENT LAND
- PARCEL LINE
- EASEMENT LINE
- CENTERLINE
- BUILDING SETBACK LINE
- SECTION LINE
- EXISTING CONTOUR

CERTIFICATION

STATE OF ILLINOIS)
COUNTY OF KANE) SS

THE ABOVE DESCRIBED PROPERTY WAS SURVEYED UNDER THE DIRECTION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR ON 05/19/2018. ALL DISTANCES SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.

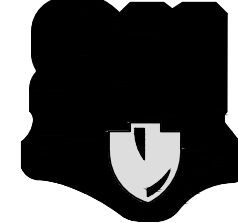
COMPASS SURVEYING LTD.
PROFESSIONAL DESIGN FIRM
LAND SURVEYOR CORPORATION NO. 184.022778
LICENSE EXPIRES 4/30/19

BY: _____ DATE: 06/04/2018

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3352
LICENSE EXPIRES 11/30/18

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.



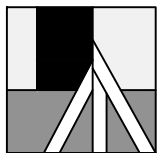
Know what's below.
Call before you dig.

PROJ. NO.: 180175

1 OF 1

SCALE: 1" = 20'

COMPASS
SURVEYING LTD.



ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING

2631 GINGER WOODS PARKWAY, STE. 100
AURORA, IL 60502
PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

PROJECT

801 N. Forrest Avenue
Arlington Heights, Illinois

CLIENT

Nicholas & Associates
1001 Techanville Drive
Mt. Prospect IL 60056

DATE: 05-21-18

PC JC

DRAWN BY: RHM

CHECKED BY: DF

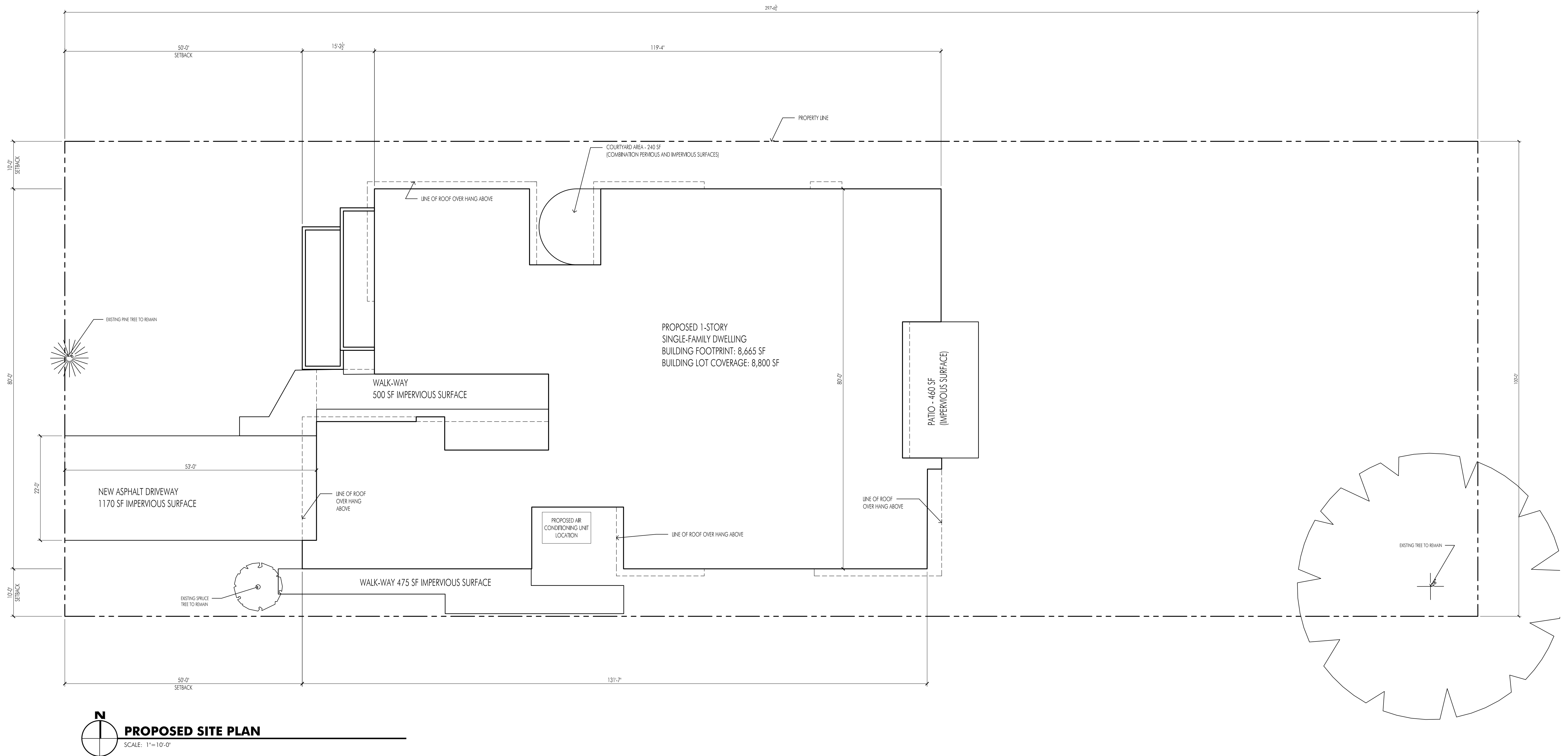
BOOK 529 PG 79

NO.

REVISIONS

DATE

BY





Property to Left 3
835 N Forrest Avenue



Property to Left 2
833 N Forrest Avenue



Property to Left 1
811 N Forrest Avenue



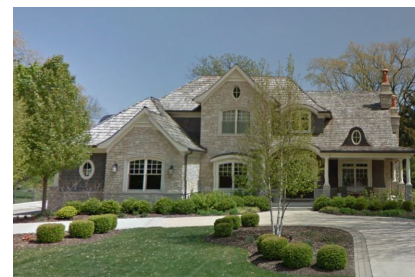
Subject Property
801 N Forrest Avenue



Property to Right 1
733 N Forrest Avenue



Property to Right 2
719 N Forrest Avenue



Property to Right 3
712 N Forrest Avenue

FORREST AVENUE



Property Across 1
800 N Forrest Avenue



Property Across 2
732 N Forrest Avenue

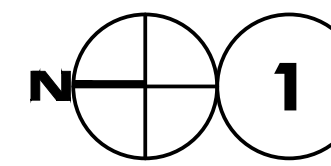


Property Across 3
722 N Forrest Avenue



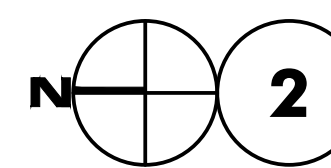
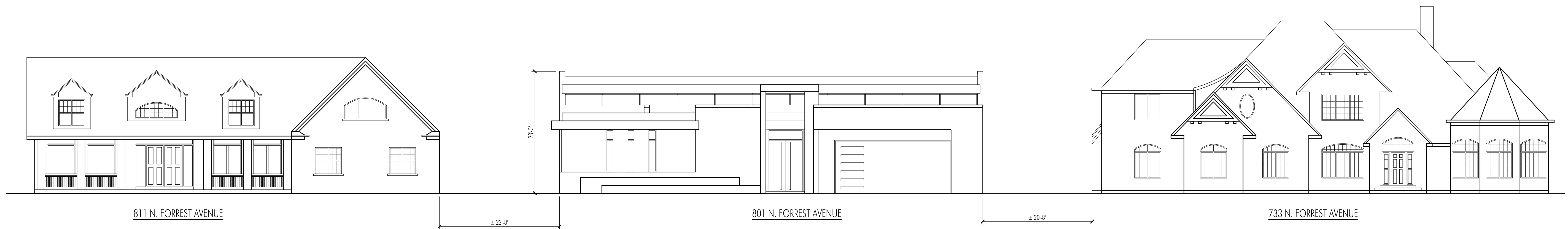
New Residence for Tony Papanicholas
801 N. Forrest Avenue
Project No. 18034

October 05, 2018



EXISTING CONTEXT ELEVATION

SCALE: 1"=10'-0"



PROPOSED CONTEXT ELEVATION

SCALE: 1"=10'-0"

view from northwest



New Residence for Tony Papanicholas
801 N. Forrest Avenue
Project No. 18034

October 05, 2018

forrest avenue elevation



New Residence for Tony Papanicholas

801 N. Forrest Avenue

Project No. 18034

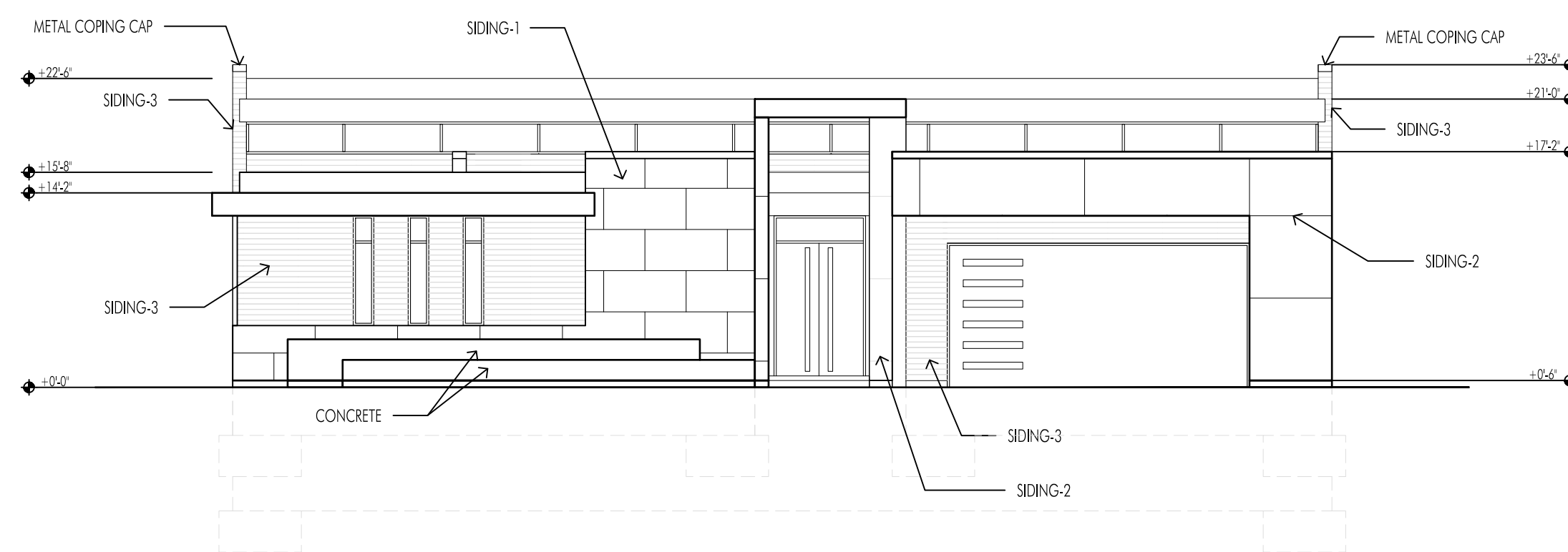
October 05, 2018

view from southwest

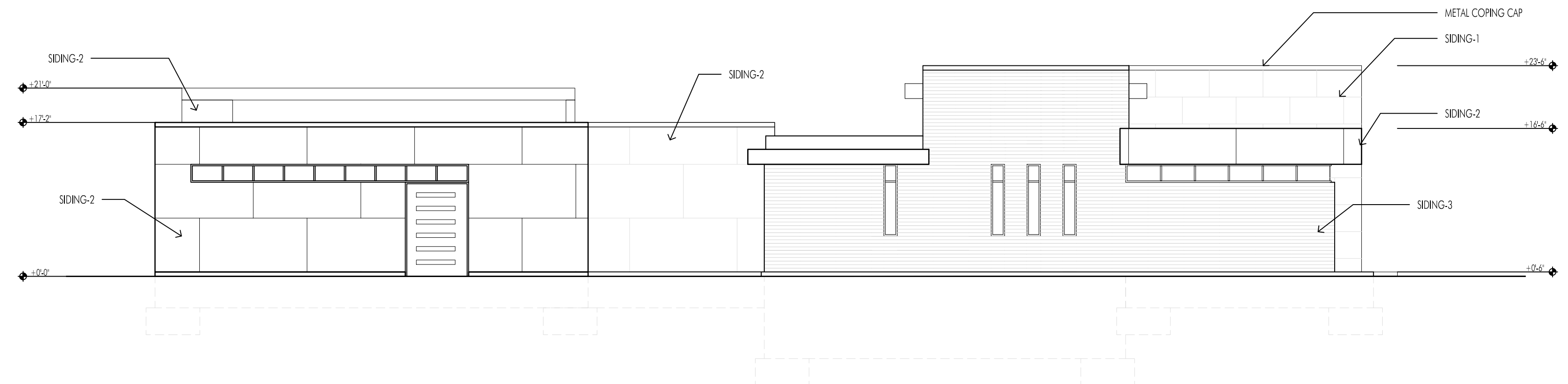


New Residence for Tony Papanicholas
801 N. Forrest Avenue
Project No. 18034

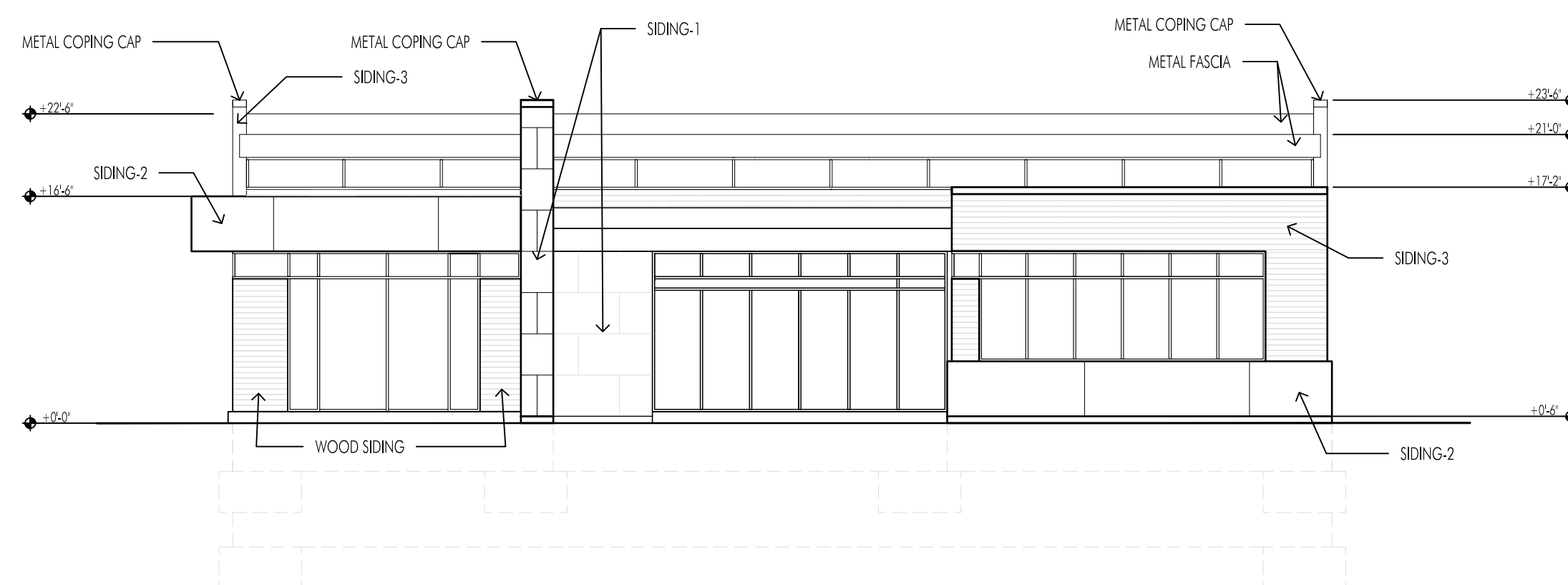
October 05, 2018



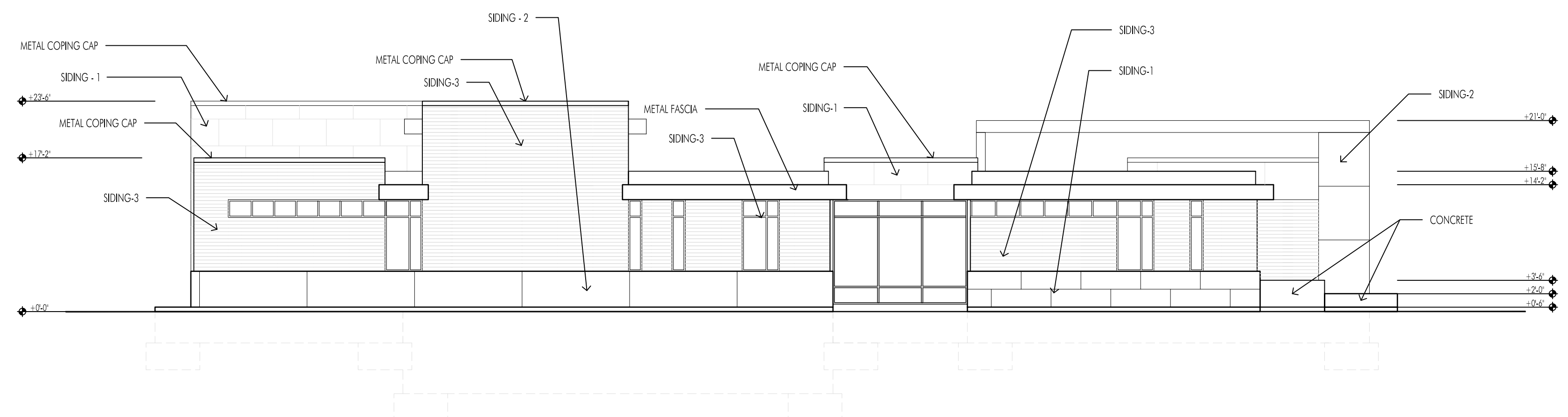
1 PROPOSED WEST ELEVATION
SCALE: 1"=10'-0"



2 PROPOSED SOUTH ELEVATION
SCALE: 1"=10'-0"



3 PROPOSED EAST ELEVATION
SCALE: 1"=10'-0"



4 PROPOSED NORTH ELEVATION
SCALE: 1"=10'-0"

New Residence for Tony Papanicholas
801 N. Forrest Avenue

MATERIAL SCHEDULE			
ITEM	MATERIAL	MANUFACTURER	COLOR
SIDING -1	FIBER CEMENT	NICHIHA	IndustrialBlock CONCRETE EPC601F
SIDING-2	FIBER CEMENT	SWISS PEARL	CARAT (BLACK OPAL 7020)
SIDING-3	WOOD (1X4 WESTERN RED CEDAR) FINE LINE TONGUE & GROOVE (3/16" GROOVE)	REAL CEDAR	NATURAL WOOD
WINDOWS	ALUMINUM	MARVIN	GLASS/BLACK
GARAGE DOOR	CANYON RIDGE® COLLECTION MODERN SERIES	CLOPAY	MAHOGONY
ROOF	EPDM	Johns Mansville	BLACK
TRIM/FASCIA	24 GA STEEL / ALUMINUM	PAC-CLAD	BLACK