



Village of Arlington Heights
Plan Commission
Board Room
Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
November 5, 2015
7:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

IV. PUBLIC HEARINGS

- A. 13 E. Miner St. Development - PC#15-013
Preliminary Planned Unit Development
- B. 608-614 N. Haddow Ave. - PC#15-022
Lot Consolidation

V. OTHER BUSINESS

VI. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: 13 E. Miner St. Development - PC#15-013

Department: Planning & Community Development

Requested Action

Preliminary Planned Unit Development for a 4-story residential building consisting of 12 residential dwelling units.

Variations Required

1. Land Use Variation from Section 28-5.5-3, Permitted Uses Table, Residential, to allow an Apartment Building or Multiple Family Dwellings.
2. Variation from Section 28-5.1-14.6 from the required combined side yard setback of 30 feet to allow 5.81 feet.
3. Variation from Section 28-5.1-14.6 from the required rear yard setback of 30-feet for residential uses located above the first floor to allow 5 feet.
4. Variation from Section 28-11.2-8 from the required two-way drive aisle width of 24 feet to allow 23.3 feet.
5. Variation from Section 28-11.2-8 from the required 9.0 foot parking stall width to allow one 8.0 foot wide parking stall.
6. Variation from Section 28-11.7, Schedule of Loading Requirements, to waive the required loading berth for the development.
7. Variation from Chapter 28, Section 6.12-1(3) Traffic Engineering Approval, to waive the requirement for a traffic study and parking analysis from a Certified Traffic Engineer.

Recommendation

The Staff Development Committee recommends approval of PC#15-013, a Preliminary Planned Unit Development for 13 E. Miner Street, and the following variations to Chapter 28:

1. Variation from Section 28-5.1-14.6 from the required combined side yard setback of 30 feet to allow 5.81 feet.

2. Variation from Section 28-5.1-14.6 from the required rear yard setback of 30-feet for residential uses located above the first floor to allow 5 feet.

3. Variation from Section 28-11.7, Schedule of Loading Requirements, to waive the required loading berth for the development.

Said recommendation is subject to the following conditions:

1. Final Planned Unit Development approval shall be required pursuant to Chapter 28, Section 28-9. All required documents, such as but not limited to Final Engineering plans and construction staging plans and timelines, shall be submitted for review and any additional items pursuant to conditions of the Preliminary Planned Unit Development .

2. The first floor garage shall be eliminated and replaced with commercial space approximately 40 feet in width along the Miner Street frontage and allow for at least 30 feet of depth.

3. The Village shall make available, and the building owner shall purchase, 14 residential permits in the North municipal garage on a monthly basis at the applicable monthly permit fee.

4. Residential units are approved as rental apartments. Converting residential units to condominiums shall require an amendment to the Planned Unit Development and compliance with the required parking standards.

5. One affordable housing unit shall be required as follows:

- One affordable unit shall be maintained as affordable in perpetuity under the Village's affordable rental housing guidelines.
- With the approval of the Village, the affordability requirements of another local, State or Federal affordable housing program which are consistent with the requirements of the Village's affordable rental housing guidelines, may be temporarily followed with respect to the unit but at all other times the requirements of the Village's affordable rental housing guidelines shall apply in perpetuity.
- The owner or the owner's designee shall be responsible for reporting to the Village on a quarterly basis in compliance with the affordable housing requirements utilizing a form prescribed by the Village of Arlington Heights.

6. Compliance with the conditions of the Design Commission motion dated October 27, 2015.

7. Prior to Final Planned Unit Development, the petitioner shall have signed agreements for relocation of all existing utilities that serve other adjacent buildings that traverse through the 13 E. Miner Street site.

8. Prior to Final Planned Unit Development, the petitioner shall submit a signed Plat of Easement for Com Ed and any other utility companies requiring said

easement.

9. Prior to Final Planned Unit Development, the petitioner must obtain an executed access easement for ingress and egress to the benefit of the 13 E. Miner Street development along the east side of the property located adjacent to the west. This easement shall be in perpetuity and shall be a minimum of 5 feet wide. In addition there shall be no obstructions within this easement, including such item as gates, fences, and refuse containers.

10. Prior to Final Planned Unit Development, the Petitioner shall pay a fee in lieu of on-site detention, pursuant to the standards established by the Village of Arlington Heights.

11. The petitioner shall provide a decorative swing gate to screen the Miner Street side of the Com Ed equipment located along the west side of the building.

12. The Petitioner shall work with the Village to develop an acceptable construction schedule including a development-phasing plan that includes the location of staging areas throughout the development. Any work within the right of way shall be scheduled to minimize disruption to other businesses and patrons of the downtown. All construction traffic shall be limited to pre-approved lanes and locations, to be determined by the Village.

13. Delivery/loading operations shall be restricted as follows: Retail stores, 7:00 AM to 3:00 PM, Monday through Saturday with no deliveries on Sunday; and the residential, 7:00 AM to 6:00 PM, Monday through Friday and 9:00 AM to 2:00 PM on Saturday with no deliveries on Sunday.

14. Pursuant to Section 29-401 of the Arlington Heights Municipal Code, the developer shall make cash contribution in lieu of land for school, park, and library districts.

15. Future tenants of the commercial space shall procure permits from the Village for employee parking in the public parking garage.

16. Compliance with all Federal, State and Village regulations and policies.

ATTACHMENTS:

Description	Type
Staff Report	Board or Commission Report
Legal Notification	Correspondence
Location Map	Exhibits
Plat & Sub Minutes	Minutes
DC Minutes 10-27-15 DRAFT	Minutes
DC Minutes 8-11-15	Minutes
Site Plan - Elevations - Floor Plans	Exhibits
Department Comments & Responses - Round 1	Correspondence

Department Comments & Responses -
Round 2
Rendering 10-27-15

Correspondence

Exhibits

STAFF DEVELOPMENT COMMITTEE REPORT

To: Plan Commission
Prepared By: Bill Enright, Deputy Director Planning and Community Development
Meeting Date: November 5, 2015
Date Prepared: October 29, 2015
Project Title: 13 E. Miner Street Development
Address: 13 E. Miner Street (vacant lot)

BACKGROUND INFORMATION

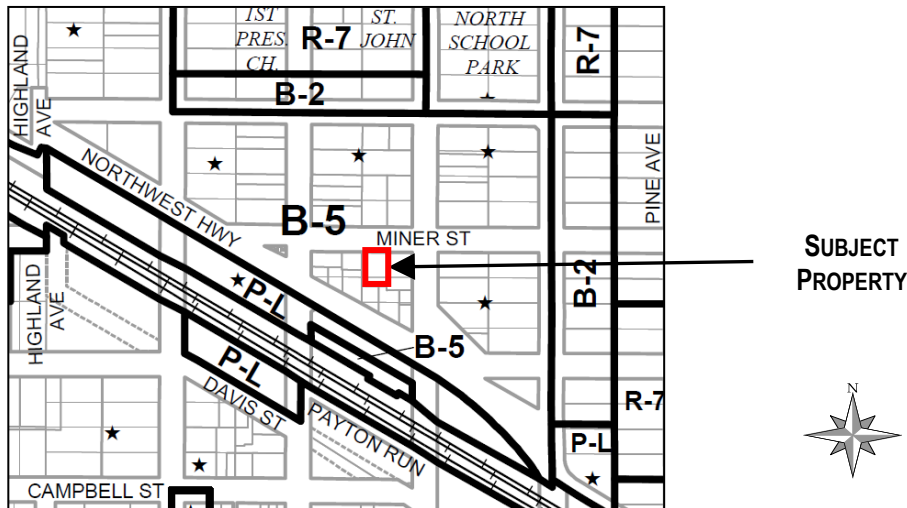
Petitioner: Frank Panzarino
Address: 7 E. Miner Street
 Arlington Heights, IL 60005
Existing Zoning: B-5, Downtown District

Requested Action:

- Preliminary Planned Unit Development for a 4-story residential building consisting of 12 residential dwelling units.

Variations Required:

- Land Use Variation from Section 28-5.5-3, Permitted Uses Table, Residential, to allow an Apartment Building or Multiple Family Dwellings;
- Variation from Section 28-5.1-14.6 from the required combined side yard setback of 30 feet to allow 5.81 feet;
- Variation from Section 28-5.1-14.6 from the required rear yard setback of 30-feet for residential uses located above the first floor to allow 5 feet;
- Variation from Section 28-11.2-8 from the required two-way drive aisle width of 24 feet to allow 23.3 feet;
- Variation from Section 28-11.2-8 from the required 9.0 foot parking stall width to allow one 8.0 foot wide parking stall;
- Variation from Section 28-11.7, Schedule of Loading Requirements, to waive the required loading berth for the development.
- Variation from Chapter 28, Section 6.12-1(3) *Traffic Engineering Approval*, to waive the requirement for a traffic study and parking analysis from a Certified Traffic Engineer.



Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	B-5, Downtown District	Bistro Chen	Mixed Use
South	B-5, Downtown District	Mixed use building	Mixed Use
East	B-5, Downtown District	Mixed use building	Mixed Use
West	B-5, Downtown District	Adam and Eve Salon	Mixed Use

Background

The subject site is approximately 0.14 acres (5,968 square feet) and zoned B-5, Downtown District. The proposed action, if approved, would allow the property owner to redevelop the vacant site with a residential development that includes 12 rental apartment units (6-one bedroom and 6-two bedroom) on floors two through four and parking with 7 spaces on the first floor. The petitioner has indicated that they may look to converting the rental units condominiums as a later date.

Plat and Subdivision Committee

The Plat and Subdivision Committee of the Plan Commission met on August 13, 2014 to discuss the project. The Committee was generally supportive of development. The Committee also requested that the petitioner submit a market study for the project, however to date the petitioner has not submitted a study but has been asked to address this issue at the public hearing as there will likely be questions on this topic. Staff does not believe a market study is necessary for 12 dwelling units, but has advised the petitioner that they need to address this topic at the public hearing. Currently the rental market in downtown is strong with the two major apartment complexes at 96% leased.

Housing Commission

The Housing Commission will meet on November 17, 2015 to discuss the proposed response to the Village's affordable housing guidelines. The petitioner has agreed to provide the required one affordable unit consistent with the Village's affordable housing guidelines. The one unit to be designated as affordable is a one bedroom unit.

Zoning & Comprehensive Plan

To proceed forward the Plan Commission must review and the Village Board must approve first a Preliminary Planned Unit Development (PUD), which is required for all new buildings that are 500 square feet or greater within the Downtown. In conjunction with the PUD request, several variations to the Village's Zoning Ordinance have been identified and will be discussed throughout this report. A written justification for each variation is required and shall be based upon the following criteria:

- **The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone.**
- **The plight of the owner is due to unique circumstances.**
- **The variation, if granted, will not alter the essential character of the locality.**

The petitioner has submitted a response to the variation criteria which is attached. Staff agrees with the setback variations as these are common in the downtown especially for infill developments.

The property is designated as 'Mixed Use' on the Village's Comprehensive Plan. A residential development with no commercial component would not be consistent with the Comprehensive Plan. The property lies within Block 334 as indicated in the Downtown Master Plan. The Plan recommends that the entire block be redeveloped in a unified and cohesive manner. As an infill development, the project must fit in with the surrounding properties in terms of scale and uses. The lack of commercial on the first level is a significant issue as the B-5 Downtown district permits mixed use development but does not permit residential only. Thus the following variation is needed for the proposed development:

- **A Land Use Variation from Section 28-5.5-3, Permitted Uses Table, Residential, to allow Apartment Building or Multiple Family Dwellings**

Staff cannot support this variation for the following reasons:

- Inconsistent with the 2007 Downtown Master Plan as described below;
- Residential only development is not permitted in the B-5 Downtown Zoning district;
- The proposed parking garage layout can only accommodate 7 of the required 14 parking spaces, resulting in minimal benefit to the development, coupled with the loss of 2 to 3 on street parking spaces due to the access drive;
- The Village recently added additional parking to the North municipal garage with restriping, therefore the required 14 parking spaces can be accommodated by the Village for the monthly fee assessed all residential permittees.
- First floor commercial space is an integral component of downtown development and the lack of commercial will create a gap in the continuity of commercial along Miner Street as depicted on the attached map.

2007 Downtown Master Plan

The Village updated its 1986 downtown master plan in 2007, which included a 19 member adhoc committee which included several Board and Commission members and citizens of the community. Several objectives were approved as part of the master plan which support the mixed use development concept:

Objective 1- Promote Diversity and Concentration of Use in the Downtown Core includes the following: ***“...The Village must continue the mixed use development approach in order to further build the downtown economy, while carefully managing traffic circulation and parking to ensure that these elements support downtown functions without dominating the urban setting or detracting from its pedestrian orientation.”***

Objective 2- Create a Quality Pedestrian Environment includes the following: ***“...Streetscape improvements, continuous ground level storefronts, parks, plazas, landscaping and focal points are all critical components to creating an image of an attractive, interesting and safe place.”***

Objective 8 – Facilitate Growth and Development of Selected Areas Including Establishing Guidelines for Redevelopment: ***“...It is important to look at each redevelopment opportunity individually and within the context of the downtown as a whole.”***

Providing commercial/retail space on the north side of the Downtown is necessary in order to maintain retail continuity as well as to expand the economic base of the Downtown. Further, it is important to eliminate a dead zone in the retail street fabric. Staff is not in agreement that this property is on the periphery, in fact it is in the middle of the north portion of downtown.

Existing Commercial Space

The north side of downtown, specifically the first floor commercial spaces, includes approximately 77,757, square feet and 42 storefront spaces. 37 of the 42 are occupied with tenant sizes ranging from as small as 450 sf to 6,600 sf. The 5 vacant spaces constitute 10,087 sf or 13%. The attached map indicates where the current vacancies are located and also where the existing first level commercial spaces exist (also included is the proposed Parkview space). Also attached is a chart of the tenant spaces on the north side of downtown.

If commercial is incorporated into the 13 E Miner development, the frontage that the garage utilizes is 40 feet wide along Miner St. The depth of the garage is approximately 75 feet. Staff would recommend that the full 40 foot frontage is commercial but then allow for flexibility for the depth so that the owner can adjust the depth to the needs of a prospective tenant. For example if the depth were 30 feet that would result in a 40 by 30 space totaling 1,200 sf. If the depth were increased to 35 feet, that would equate to 1,400 sf and so on. The remaining portion of the first level could then be allocated to storage for the building, which may allow for eliminating the partial basement for the project (which is allocated to storage and mechanicals). Having this flexibility in the space size would enhance leasing capabilities.

Building, Site Plan, and Landscaping

The following main key issues have been identified:

Building Design

The Design Commission met on October 27, 2015 and recommended approval of the architectural design. One of the conditions is if the Village Board requires first floor commercial, then the modified design for the first floor shall be submitted for re-review by the Design Commission.

The B-5 district permits a height of 90 feet with a maximum height limit of 140 feet if a development complies with the Downtown height bonus standards. The maximum building height is exclusive of elevator penthouses, stair heads and other mechanical equipment facilities. Based on the plans submitted, the proposed four-story building is 48 feet tall to the roof deck line and the parapet extends approximately another 6.5 feet to 54.5 feet. The building footprint/layout along the east side has been adjusted to allow for the building code required 5 foot setback for window openings. Overall this is a nice design and was received positively by the Design Commission.

Density

As shown in the table below, the proposed development has a total of 12 dwelling units (4 units per floor) with a bedroom mix of 6, one bedroom units and 6, two bedroom units. Based upon the bedroom mix the aforementioned proposal complies with the Village's density requirements, which allows up to 16 dwelling units (based on a 50% mix of 1 and 2 bedrooms) on 5,940 square feet of land area.

	Number of Units	Multiplier	Required Land Area
One Bedroom	6	300 SF/d.u.	1800 SF
Two Bedroom	6	400 SF/d.u.	2400 SF
Total Site Area Required	12		4200 SF
Total Site Area Provided			5,968 SF

Building Setbacks

Two variations for setbacks are requested, both of which staff supports. The petitioner has provided a response to the following variation criteria:

- **The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone.**
- **The plight of the owner is due to unique circumstances.**
- **The variation, if granted, will not alter the essential character of the locality.**

According to code there is no required front (north) yard setback as the code encourages buildings built to the sidewalk. With respect to the side (east and west) yard setback, Village Code requires all Downtown developments to provide either a single or a combined side yard setback that is not less than 30 feet or less than 30% of the average width of the lot, whichever is greater. Since the site's linear frontage along Miner Street is 66.31 feet, a 30 foot side yard(s) setback is required. The following variation has been identified:

- **A Variation from Section 28-5.1-14.6, Required minimum Yards, to allow a reduction from the required combined side yard setback of 30 feet to allow 5.81 feet;**

The plans include a 5.81 foot west yard setback and 0 feet east yard setback. Staff supports this variation as the building meets the required building code requirements and as an infill development, meeting the required setback would be excessively restrictive. It should be noted that ComEd is currently formally reviewing the 5 foot easement around the building. ComEd has verbally stated that they think this will be sufficient for providing their services. Staff is requiring that as part of Final PUD review, that the petitioner submit a Plat of Easement signed by ComEd and any other necessary utility companies. This will ensure what is required as it will take about 12 to 16 weeks for ComEd to review the plans for this development (petitioner submitted to ComEd the building plans September 24th).

Regarding the rear (south) yard setback, all Downtown developments are required to provide for residential uses located above the first floor, a yard not less than 30 feet. Pursuant to the concept site plan, said development has a 5 foot setback from the south property line, thereby resulting in the following variation:

- **A Variation from Section 28-5.1-14.6, Required Minimum Yards, from the required rear yard of 30-feet for residential uses located above the first floor to allow 5 feet;**

As an infill development, as long as building code requirements and utility easement requirements are met, staff does not object to this variation. As mentioned the building code requirements have been met. The required easement has been conceptually approved but still subject to ComEd review and approval.

The following other variations have also been identified:

- **Variation from Section 28-11.2-8 from the required two-way drive aisle width of 24 feet to allow 23.3 feet for the interior of the parking garage;**

Instead of the required 24 feet, an 23.3 feet drive aisle is proposed for portion of the interior parking garage. Staff is not in support of the garage as a use on the first floor, however this request is a minor variation.

In addition one parking space is 8 feet wide and does not meet the requirement. This too is a minor variation.

- **Variation from Section 28-11.2-8 from the required 9.0 foot parking stall width to allow one 8.0 foot wide parking stall;**

The following variation is requested for loading zones:

- **Variation from Section 28-11.7, Schedule of Loading Requirements, to waive the required loading berth for the development.**

The Staff Development Committee supports the aforementioned variation given the small number of dwelling units and the restrictive site size, which is not large enough to support an off site loading area. Even with commercial space on the first floor, if required, the number of deliveries will be minimal therefor the street will have to suffice for deliveries. However, consistent with what has been done with other developments in the Downtown, such as Metro Lofts and Metropolis, the Staff Development Committee would recommend that delivery/loading operations shall be restricted as follows: *Retail stores*, 7:00 AM to 3:00 PM, Monday through Saturday with no deliveries on Sunday; and the residential, 7:00 AM to 6:00 PM, Monday through Friday and 9:00 AM to 2:00 PM on Saturday with no deliveries on Sunday

Floor Area Ratio (FAR) and Building Lot Coverage

According to code, there is no FAR or Building Lot Coverage standard in the B-5 district. However, there are several issues with the site development that will need to be resolved prior to Final PUD approvals as described below.

Utilities

There are several Commonwealth Edison power poles along the west property line of the subject site. These existing overhead power lines provide service to the subject site as well as the surrounding properties. In conjunction with the proposed development, the Petitioner is planning to move the services to an area at the northwest corner of the property and provide an easement along the west, south and a portion of the east property. Also, the water and sanitary sewer services servicing 12 and 18 - 24 E. Northwest Highway traverse through this site (13 E. Miner) to Miner Street and would need to be relocated, as will utility connects for 15-19 E. Miner to the east.. A viable solution for all parties must be developed.

Storm Water Detention

The Petitioner shall pay a fee in lieu of on-site detention pursuant to the standards established by the Village of Arlington Heights. Paying a fee in lieu of on-site detention is typical of Downtown developments.

Ingress/Egress Easement

The Petitioner also owns the adjacent property to the west at 7 E. Miner Street (Adam and Eve Salon). This property has an ingress/egress easement along its east property line, which provides access to its rear service area, the upper level apartments, and Eddie's restaurant to the south. An additional easement must be established on the 7 E Miner Street property to the benefit of the 13 E Miner development to allow for the code required egress from the stairwells at the rear and on the west side of the proposed development. This easement must be unobstructed to allow for egress, especially emergency egress. Thus any trash toters must not interfere. It is advised that the Eddies trash containers are moved to the existing easement area in between Eddies and Adam and Eve Salon so that they are sufficiently out of the egress path.

Traffic and Parking Issues

With respect to parking, a total of 14 parking spaces are required by code (see table below). 7 parking spaces are provided. The remainder of the parking spaces would have to be provided for within the Village's parking garage. Since staff recommends commercial on the first floor, then all the required parking must be provided in the Village's North garage. The Village restriped the North garage roof and gained several spaces. In addition the Village has hired a consulting firm to evaluate expansion of the

garage. Employee parking for the commercial space will also need to be accommodated in the garage. Parking for patrons of the commercial space can be provided on-street and on the first level of the garage.

Proposed Miner Development			
	# of Dwelling Units	Parking Required	Parking Proposed
1 Bedroom Units	6 units	6 Spaces (1.00/unit)	7 Spaces
2 Bedroom Units	6 units	7.5 Spaces (1.25/unit)	
TOTAL		13.5 Spaces	

According to Chapter 28, Section 11.3-3, off site parking is permitted as long as the available parking for the commercial and residential uses are within 300 to 1,000 feet, respectively, of the use served. In addition, per Chapter 28, Section 11.5-8, the off-street parking requirements in the B-5 Downtown District may be met by the leasing of such spaces from the Village. Guest overnight parking permits would be accommodated within the Village's parking system downtown.

With respect to on street parking this block currently includes 6 spaces along the south side of Miner Street. If the garage is included 2 spaces would be removed for the access drive. If commercial is required, then one space can be added as the existing driveway to the former house on this property could be removed and one space added.

The petitioner is seeking a variation to waive the following requirement:

- **Variation from Chapter 28, Section 6.12-1(3) *Traffic Engineering Approval*, to waive the requirement for a traffic study and parking analysis from a Certified Traffic Engineer.**

Staff supports this variation given the small scale of this development relating to traffic and parking.

RECOMMENDATION

The Staff Development Committee recommends approval of PC#15-013, a Preliminary Planned Unit Development for 13 E. Miner Street, and the following variations to Chapter 28:

- Variation from Section 28-5.1-14.6 from the required combined side yard setback of 30 feet to allow 5.81 feet;
- Variation from Section 28-5.1-14.6 from the required rear yard setback of 30-feet for residential uses located above the first floor to allow 5 feet;
- Variation from Section 28-11.7, Schedule of Loading Requirements, to waive the required loading berth for the development;

Said recommendation is subject to the following conditions:

1. Final Planned Unit Development approval shall be required pursuant to Chapter 28, Section 28-9. All required documents, such as but not limited to Final Engineering plans and construction staging plans and timelines, shall be submitted for review and any additional items pursuant to conditions of the Preliminary Planned Unit Development .
2. The first floor garage shall be eliminated and replaced with commercial space approximately 40 feet in width along the Miner Street frontage and allow for at least 30 feet of depth.
3. The Village shall make available, and the building owner shall purchase, 14 residential permits in the North municipal garage on a monthly basis at the applicable monthly permit fee.
4. Residential units are approved as rental apartments. Converting residential units to condominiums shall require an amendment to the Planned Unit Development and compliance with the required parking standards.
5. One affordable housing unit shall be required as follows:
 - a. One affordable unit shall be maintained as affordable in perpetuity under the Village's affordable rental housing guidelines.
 - b. With the approval of the Village, the affordability requirements of another local, State or Federal affordable housing program which are consistent with the requirements of the Village's affordable rental housing guidelines, may be temporarily followed with respect to the unit but at all other times the requirements of the Village's affordable rental housing guidelines shall apply in perpetuity.

- c. The owner or the owner's designee shall be responsible for reporting to the Village on a quarterly basis in compliance with the affordable housing requirements utilizing a form prescribed by the Village of Arlington Heights.
6. Compliance with the conditions of the Design Commission motion dated October 27, 2015.
7. Prior to Final Planned Unit Development, the petitioner shall have signed agreements for relocation of all existing utilities that serve other adjacent buildings that traverse through the 13 E. Miner Street site.
8. Prior to Final Planned Unit Development, the petitioner shall submit a signed Plat of Easement for Com Ed and any other utility companies requiring said easement.
9. Prior to Final Planned Unit Development, the petitioner must obtain an executed access easement for ingress and egress to the benefit of the 13 E. Miner Street development along the east side of the property located adjacent to the west. This easement shall be in perpetuity and shall be a minimum of 5 feet wide. In addition there shall be no obstructions within this easement, including such item as gates, fences, and refuse containers.
10. Prior to Final Planned Unit Development, the Petitioner shall pay a fee in lieu of on-site detention, pursuant to the standards established by the Village of Arlington Heights.
11. The petitioner shall provide a decorative swing gate to screen the Miner Street side of the Com Ed equipment located along the west side of the building.
12. The Petitioner shall work with the Village to develop an acceptable construction schedule including a development-phasing plan that includes the location of staging areas throughout the development. Any work within the right of way shall be scheduled to minimize disruption to other businesses and patrons of the downtown. All construction traffic shall be limited to pre-approved lanes and locations, to be determined by the Village.
13. Delivery/loading operations shall be restricted as follows: *Retail stores*, 7:00 AM to 3:00 PM, Monday through Saturday with no deliveries on Sunday; and the residential, 7:00 AM to 6:00 PM, Monday through Friday and 9:00 AM to 2:00 PM on Saturday with no deliveries on Sunday.
14. Pursuant to Section 29-401 of the Arlington Heights Municipal Code, the developer shall make cash contribution in lieu of land for school, park, and library districts.
15. Future tenants of the commercial space shall procure permits from the Village for employee parking in the public parking garage.
16. Compliance with all Federal, State and Village regulations and policies.

_____, October 29, 2015

Bill Enright, AICP

Deputy Director of Planning and Community Development

C: *Randy Recklaus, Village Manager*
All Department Heads

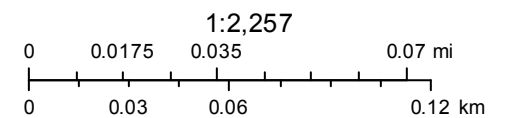
North Side Downtown



October 29, 2015

Commercial Frontages

Vacancy Location



#	Dir.	Street	Suite	SF	Tenant	Type	Vacant	SF Est.	Former Tenant	Side of Tracks
170	N	Arlington Heights		3,279	Gumrai Thai Restaurant	Restaurant				North
186	N	Arlington Heights		2,256	VACANT	Vacancy	x			North
200	N	Arlington Heights		2,850	Hancock Square Management Office	Office				North
208	N	Dunton		1,630	Hsu, Chris DDS	Service				North
210	N	Dunton		1,543	Hornack Home Improvement	Service				North
271	N	Dunton		1,327	Arlington Comfort Dental	Service				North
281	N	Dunton		1,345	The Exercise Coach	Service				North
291	N	Dunton		3,200	VACANT	Vacancy	x			North
104	N	Evergreen		1,000	Queen Nails	Service		x		North
108	N	Evergreen		750	Village Family Hair Care	Service		x		North
110	N	Evergreen		750	New Design Jewelers	Retail		x		North
112	N	Evergreen		650	Sree Sakthi Yoga	Service				North
114	N	Evergreen		850	Forgotten Times Limited	Retail				North
116	N	Evergreen		900	Amish Cabinet Company	Service				North
151	N	Evergreen		1,200	Hair With Us	Service				North
157	N	Evergreen		1,700	VACANT	Vacancy	x		Town & Country Realty	North
163	N	Evergreen		1,153	Evergreen Cleaners	Service				North
250	N	Evergreen		1,033	Mindful Kitchen	Restaurant				North
260	N	Evergreen		2,598	Thrown Elements Pottery	Service				North
6	E	Miner		3,500	Berkshire-Stark Real Estate - COMING SOON	Office				North
7	E	Miner		1,300	Adam & Eve Hair Design	Service				North
10	E	Miner		4,300	Bistro Chen	Restaurant				North
15	E	Miner		900	Moon Graphic Finishing	Retail				North
17	E	Miner		900	Vintage Déjà Vu	Retail				North
19	E	Miner		900	Ashford Gallery	Retail				North
24	E	Miner		3,217	Uptown Café	Restaurant				North
8	W	Miner		6,600	Javier's	Restaurant		x		North
4	E	Northwest Hwy		1,300	Village Grill of Arlington	Restaurant		x		North
8	E	Northwest Hwy	C	1,850	VACANT	Vacancy	x		Psychic Readings	North
8	E	Northwest Hwy	A	2,150	Arlington Coin & Cards	Retail				North
10	E	Northwest Hwy		4,900	Eddie's Restaurant	Restaurant				North
12	E	Northwest Hwy		1,100	A Video & Image Company	Office				North
14	E	Northwest Hwy		450	State Farm Insurance	Office		x		North
20	E	Northwest Hwy		1,800	Commuter Fitness	Service				North
26	E	Northwest Hwy		420	Traces of Heaven/Gift Bandit	Service				North
28	E	Northwest Hwy	A	900	Fiore' Espresso Café	Restaurant				North
102	E	Wing		3,220	The Barre Code - COMING SOON	Service			Fitness Advantage	North
114	E	Wing		1,081	VACANT	Vacancy	x		Subway	North
118	E	Wing		914	Currency Exchange	Service				North
126	E	Wing		958	The UPS Store	Service				North
130	E	Wing		1,010	Fannie May Candies	Retail				North
140	E	Wing		4,073	Egg Harbor Café	Restaurant				North

10,087	Vacant SF
77,757	Total SF (including vacancies)
12.97%	Total Vacancy Rate

Last Update:
 Added Berkshire-Stark Real Estate
 10/26/15

Type	SF	SF %	Units	Unit %	Avg. Space SF
Restaurant	29,602	38.07%	9	21.43%	3,289
Service	22,608	29.08%	17	40.48%	1,330
Retail	7,560	9.72%	7	16.67%	1,080
Office	7,900	10.16%	4	9.52%	1,975
Vacancy	10,087	12.97%	5	11.90%	2,017
TOTAL (including vacancies)	77,757	100.00%	42	100.00%	1,851

NOTICE OF
PUBLIC HEARING
NOTICE IS HEREBY
GIVEN THAT THE PLAN
COMMISSION OF THE
VILLAGE OF ARLINGTON
HEIGHTS WILL CONDUCT
A PUBLIC HEARING ON
THURSDAY, NOVEMBER
5, 2015, AT 7:30 P.M. in the
Municipal Building, 33
South Arlington Heights
Road, Arlington Heights, Il-
linois to consider Petition
No. 15-013, approval of a
Planned Unit Development
for a 4 floor, 12 unit residen-
tial building, said property
located at located at 13 E.
Milner Street, Arlington
Heights, IL, legally de-
scribed as:

The North ninety (90) feet of
the West one half (1/2) of
lots One (1) and Two (2)
(taken as a tract) in block
nineteen (19), in the Town of
Dunton, being a subdivision
of the West half (1/2) of the
South West quarter (1/4) of
Section 29, Township 42
North, Range 11 East of the
Third Principal Meridian,
in Cook County, Illinois.

As part of said request the
petitioner is requesting the
following variations from
the Municipal Code:

Land Use Variation from
Section 28-5.5-3, Permitted
Uses Table, Residential, to
allow Apartment Building
or Multiple Family Dwell-
ings;

Variation from Section 28-
5.1-14.6 from the required
combined side yard setback
of 30 feet to allow 5.81 feet;

Variation from Section 28-
5.1-14.6 from the required
rear yard of 30-feet for resi-
dential uses, located above
the first floor to allow 5 feet;

Variation from Section 28-
11.2-8 from the required two-
way drive aisle width of 24
feet to allow 23.3 feet;

Variation from Section 28-
11.2-8 from the required 9
foot parking stall width to
allow 8.0 feet for 2 of the 7
parking stalls;

Variation from Section 28-
11.7, Schedule of Loading
Requirements, to waive the
required loading berth for
the development

Any other variations as de-
termined necessary by the
Plan Commission.

All persons desiring to be
heard shall be given the op-
portunity to be heard.
Should any individual need
auxiliary aid or service,
such as a sign language
interpreter or materials in
alternative formats, please
contact the Health Depart-
ment at 33 South Arlington
Heights Road, Arlington
Heights, Illinois 60005, (847)
368-5760, TDD# (847) 368-
5794.

Joe Lorenzini, Chairman
ARLINGTON HEIGHTS
PLAN COMMISSION
Published in Daily Herald
October 21, 2015 (4422809)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Deer Park, Des Plaines, South Elgin, East Dundee, Elburn, Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Geneva, Gilberts, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Villa, Lake in the Hills, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Mt. Prospect, Mundelein, Palatine, Prospect Heights, Rolling Meadows, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake park, Schaumburg, Sleepy Hollow, St. Charles, Streamwood, Tower Lakes, Vernon Hills, Volo, Wauconda, Wheeling, West Dundee, Wildwood, Sugar Grove, North Aurora

County(ies) of Cook, Kane, Lake, McHenry

and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the **DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 7150, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published October 21, 2015 in said **DAILY HERALD**.

IN WITNESS WHEREOF, the undersigned, the said **PADDOCK PUBLICATIONS, Inc.**, has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY Laurel Baltz
Authorized Agent

Control # 4422809

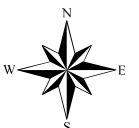
RECEIVED

OCT 26 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



13 E. Miner St.



**REPORT OF THE PROCEEDINGS OF
THE PLAT & SUBDIVISION COMMITTEE**
OF THE VILLAGE OF ARLINGTON HEIGHTS PLAN COMMISSION
HELD AT VILLAGE HALL ON:

August 13, 2014

Project Title: Miner Street Development
Address: 13 E. Miner Street
Petitioner: Frank Panzarino
7 E. Miner Street
Arlington Heights, IL 60005

Requested Action:

1. Planned Unit Development for a 4-story residential building consisting of 12 residential dwelling units.

Variations Required:

- Land Use Variation from Section 28-5.5-3, Permitted Uses Table, Residential, to allow Apartment Building or Multiple Family Dwellings;
- Variation from Section 28-5.1-14.6 from the required combined side yard setback of 30 feet to allow 5.81 feet;
- Variation from Section 28-5.1-14.6 from the required rear yard of 30-feet for residential uses located above the first floor to allow 5 feet;
- Variation from Section 28-11.5-2 from the required 13 parking spaces to allow 10 spaces;
- Variation from Section 28-11.2-8 from the required two-way drive aisle width of 24 feet to allow 18 feet;
- Variation from Section 28-11.7, Schedule of Loading Requirements, to waive the required loading berth for the development.

Attendees: Frank Panzarino, Petitioner
Philip DeFrancesco, Broker/Owner
Bob Kolososki, Architect
Bruce Green, Plan Commissioner
Jay Cherwin, Plan Commissioner
Lynn Jensen, Plan Commissioner
John Sigalos, Plan Commissioner
Latika Bhide, Development Planner

Project Summary

The subject site at 13 E. Miner Street is approximately 0.14 acres (5,968 square feet) and zoned B-5, Downtown District. The petitioner, Frank Panzarino is proposing to develop the property with a residential development that includes 12 dwelling units (6-one bedroom and 6-two bedroom) on floors two through four and parking on the first floor. A Planned Unit Development (PUD) is required for all new buildings that are 500 square feet or greater within the Downtown. In conjunction with the PUD request, several variations to the Village's Zoning Ordinance have been identified.

Meeting Discussion:

F. Panzarino said that he was originally proposing to develop the property with storefronts on the lower level. However, after doing his research, he felt that the right decision would be to provide parking on-site. L. Bhide went over the details of the project including the variations.

J. Sigalos asked whether the units were being proposed as rental units or condominiums. F. Panzarino said that it would likely be apartments at this time. He asked if the applicant would have to go before the Board again if they were to change the units from one to another. L. Bhide said that the parking required is based on the bedroom mix, not

whether they are rental or condominiums. However, if there is a specific condition in the Ordinance that requires Board approval if the units are changed from rental to condominiums, then the petitioner would have to seek that approval. J. Sigalos asked about the requirement to include affordable units. L. Bhide said that based on the number of units, one unit must be available as affordable, or a fee-in-lieu must be paid. F. Panzarino said that he was not prepared to answer that at this time, but that he likely would provide one affordable unit. J. Sigalos asked about the easement issue relative to Eddie's rear entrance. F. Panzarino said that the property at 7 E. Miner Street would grant easement to the property in question. The two properties would be sharing garbage dumpsters. F. Panzarino said that he also wanted to state that he was giving some room on his property to Comed and therefore he was short on the parking. J. Sigalos said that his only other comment was that he would like to see commercial development on the ground floor since that was what was desired for Downtown. He understood that they would lose another 4 parking spaces to add commercial. B. Kolososki said that it would compound their problem. J. Sigalos said that he would like to see the property develop as it has been vacant for a long time.

L. Jensen said that later that evening they were reviewing another project that would bring 45 units online very close to this project. He asked if the applicant was concerned about that. F. Panzarino said that he was not. He said that prior to the Plan Commission hearing, he would like to see a market study that would state that there would be no issues. P. DeFrancesco said that his background was in commercial real estate and that he has seen various studies indicating that Mount Prospect, Palatine, Arlington Heights are the number one absorbing rental markets other than Downtown (Chicago) and River North. From a cost perspective, it is most beneficial for them to go the apartment route. L. Jensen said that Arlington Downs was also close to this property and they were bringing a lot of rental online. As an economist he feels that most people overbuild and then when it all comes online, the market collapses back a little bit. He said that they should do a careful market study when they come before the Plan Commission and convince people that this is a good idea. P. DeFrancesco said that their thought process was to build them as condos, but operate as rental units to take advantage of the rental market and as they see a shift occurring, do what is needed to convert them to condos. L. Jensen recommended that they take a look at the Market Study done for the Parkview Apartments.

L. Jensen asked that if they added commercial, where the parking would be accommodated. L. Bhide answered that the Village's Parking Committee was currently looking at the parking allocation in the North garage. They were trying to determine if all of the parking required for this project could be accommodated in the North garage, thereby allowing the entire (first level) space to be available as commercial. L. Jensen asked if the garage was full how they would accomplish that. L. Bhide said that a few years back they reassigned spaces, moving away from numbered/allocated spaces; they are also looking into the possibility of opening up the roof deck for overnight parking. L. Jensen said that from his standpoint, that allocating spaces in the Vail garage was not a good solution. He said that he feels that the Village is very conflicted on parking vs. commercial and may perhaps get the worst of both worlds. By trying to get a little commercial and parking, we may not end up where we want to be. This is on the periphery of commercial, with restaurants and churches around. He supposes that the applicant would want to put all the parking for their project on site rather than commercial. He is not sure if the Village has fully sorted this out. He is concerned that if you put the kind of commercial that might make sense, you would hurt the parking, and that was the trade-off. He said that he does not have a solution and that we should be careful about what trade-offs we are forcing. He would hate to get less than optimal commercial and less than optimal parking, which is where we could end up. P. DeFrancesco said that in the past, homes were appreciating and people had disposable income. Right now the market is still distressed and people don't have disposable income, which is why the retail was hurting. He said that it was a huge risk on their part to add commercial with the existing vacancies on Miner Street.

B. Green said that the building was not just for 2-3 years and that it was possible commercial could come back. P. DeFrancesco said that they would be the ones having to absorb costs. L. Jensen asked if the added commercial and had a hard time getting it leased, what would it do to the project? P. DeFrancesco said that basically it would add costs. He said that without the parking the rental rates would be slightly lower and they would have to find tenants that did not have cars. He said that first floor parking was not retail, though it was commercial. B. Green said that the project required 13 parking spaces and they only had 10, so they were starting off with a bad situation on their rental property. He asked if the project was too big for the site. J. Sigalos said that last year the project proposed had 3 stories and 6 units and now had 4 stories and 12 units. F. Panzarino said that he was trying to make the project

feasible. B. Green said that they (applicant) didn't want commercial to have parking, and they didn't have the required parking. He said that other issues were coming up on projects in the immediate area such as guest parking. P. DeFrancesco said that having retail was not going to help and was hedging against the project. B. Green said that that was the property the applicant chose. He said that maybe this property was not for this building. L. Jensen asked if he felt that this should be scaled down. B. Green said possibly as even without the commercial they did not have adequate parking. B. Green said that he looks at the broader picture and the Downtown Master Plan would like to see commercial on the first floor. B. Green said that the information he received was that the vacancy rates in Downtown Arlington Heights were lower than other towns in northwest suburbs. L. Jensen said that the vacancy rate was higher on the north side of the tracks. B. Green said he thought that was because the older buildings were not conducive to retail because of lower ceiling heights etc. B. Green said that things may get better in the future. He feels that there must be some kind of happy medium. Because the building is smaller and more contained, having no commercial may be palatable. L. Jensen asked if the building was scaled back, would the project be economically feasible. F. Panzarino said that he still would have costs. He said that he was giving up space to Comed. B. Green said that these were the costs of developing the property. He said that he was happy that something was happening there, and knows there are several challenges with the site.

L. Jensen said staff raised the issue of massing. B. Green said that things will happen at a larger scale in the future. J. Sigalos asked if there would be washer and dryers in every unit. B. Kolososki said yes. B. Green he was not negative, just thinking out loud. J. Sigalos said that this property was at the periphery and maybe the commercial is not as critical. L. Jensen said that this is an issue that the Board and Village must sort out or they will do both poorly if they are not careful and that was his concern. The parking would not be right and (they would) not create sensible commercial space. L. Jensen said the Board was divided and that staff is on the other side as that is what the Code requires. J. Cherwin said that the issues he had anticipated were covered already.

B. Green said that unless you were redeveloping the entire block, you could not solve the parking problem on a site by site basis. L. Jensen said that one way was to not provide commercial on the first floor and bank on the Village to provide the 10 or 13 parking spaces. He said that they could design the building with the assumption that the parking would become available. P. DeFrancesco said that they had heard that some parking might be available in the (north) garage and they thought they could help the Village by providing as much parking as possible on site and if a unit or two did not have the parking on-site, but some distance away, then they could take their chances. L. Bhide said that that was one way – to provide what they can and then try and have the remaining in the garage. The Village does want to see commercial space on the first floor in the downtown – the Comprehensive Plan and Downtown Master Plan call for it and the Zoning Ordinance requires it. Staff is looking to see if the entire parking requirement for this development can be accommodated in the garage, but that is predicated on them (developer) providing the commercial on the first floor. L. Jensen asked who rents an apartment where parking is 300 FT away. L. Bhide said that this development is close to the (Metra) station, so it is a transit oriented development and there could be renters who have a car that they use only occasionally. People in the City do it (park farther away) all the time. L. Bhide said that there are two competing interests – providing parking and having commercial on the first floor.

P. DeFrancesco said that they are also thinking that if the units were converted to condos at some point in the future, it would be a very difficult sale without any on-site parking.

RECOMMENDATION

Commissioner Green said that the project has potential and they would like to see something done here. B. Green said that he is moving away from the need to have commercial. The other Commissioners concurred. He said to emphasize as part of the market study that parking was important to the project

Bruce Green, Chair
PLAT & SUBDIVISION COMMITTEE
Latika Bhide, Recorder

DRAFT

**MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
OCTOBER 27, 2015**

Chair Eckhardt called the meeting to order at 6:30 p.m.

Members Present: Ted Eckhardt, Chair
 Jonathan Kubow
 John Fitzgerald

Members Absent: Anthony Fasolo
 Alan Bombick

Also Present: Frank Panzarino, Owner of *13 E. Miner St.*
 Robert Kolososki, Prairie Tech Ltd. for *13 E. Miner St.*
 Jack Boryszewski, MJ&B Construction for *926 N. Beverly Ln.*
 Joe Sohn, Sohn Architects for *926 N. Beverly Ln.*
 Steve Hautzinger, Staff Liaison

REVIEW OF MEETING MINUTES FROM OCTOBER 13, 2015

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE MEETING MINUTES OF OCTOBER 13, 2015. ALL WERE IN FAVOR. THE MOTION CARRIED.

ITEM 1. MULTI-FAMILY CBD REVIEW

DC#15-097 – 13 E. Miner St.

Mr. Frank Panzarino, the owner, and **Mr. Robert Kolososki**, representing *Prairie Tech Ltd*, were present on behalf of the project.

Chair Eckhardt asked if there was any public comment on the project and there was no response from the audience.

Mr. Hautzinger presented Staff comments. The petitioner is seeking approval of the architectural design for a new four story apartment with indoor parking. The site is currently vacant and is located on the north side of the Downtown (B-5) Zoning District. The proposed development will be four stories in height with 12 residential apartment units occupying floors two through four. The first floor will contain the apartment entrance lobby as well as indoor parking for use by the apartment residents. A basement level will be used for storage. The proposed development requires approval as a Planned Unit Development through the Plan Commission process and is currently scheduled for Preliminary PUD review on November 5, 2015.

This project was previously reviewed by the Design Commission on August 11, 2015. At that time, the Design Commission continued the project to allow time for various zoning, utility conflicts, and building code issues to be resolved so that the design can be finalized. At this time, the petitioner is prepared for Preliminary PUD review by the Plan Commission, so they are returning to the Design Commission with revised plans for review.

Mr. Hautzinger reviewed Staff comments and Design Commission feedback from the August 11, 2015 Design Commission meeting. In response to the feedback from the August 11 Design Commission meeting, the petitioner has revised the design with the following highlights:

Front (north) Elevation.

1. For a more modern appearance, the small arches and keystones above the windows and balcony doors have been changed to a straight, stone lintel detail, and the window sizes have been changed to a set of three equal window sizes.
2. The arched cornice at the top of the building and arched lintel above the first floor garage door have been changed to a built-up linear stone detail.
3. The proposed railing detail at the roof deck level has been moved forward to be in line with the front wall so that it will be more visible and aligns with the balcony railings below.
4. Updated renderings have been provided showing two different color scheme options for the front elevation, with two brick colors and with just one brick color.

Side (east & west) Elevations. Two different options for the side and rear elevations with additional stone detailing have been provided. Option 1 includes stacked stone quoins at all

exterior wall corners. Option 2 includes horizontal stone banding at all floor levels.

1. The sides of the front balconies have been opened up.
2. Recessed balconies have been added to the left side elevation.
3. The balconies on the rear elevation have been moved from the center of the wall to the outside corners.

Staff Comments are as follows:

Front (north) Elevation. The revised front elevation is a nice improvement from the original proposal. The revised detailing with straight lintels has a more modern appearance than the previous arches and keystones.

1. The color scheme using just one brick color is recommended, with the lighter of the two proposed brick colors being preferred.
2. Consider changing the corner brick pier at the roof level to stone to match the stone pier below.
3. The front elevation should include retail storefronts on the first floor to add visual interest at the sidewalk level, and to enliven this area of the Downtown. Section III of the Village of Arlington Heights' Design Guidelines outlines design criteria for street level business storefronts in the Central Business District which should be followed. Retail space on the first floor is required by code, and a variation from this requirement will be reviewed by the Plan Commission and Village Board.

Side (east & west) Elevations. Both of the proposed options represent a good improvement from the original proposal with additional detailing that breaks up the large blank walls. However, the proposed horizontal banding option has very little relationship to the composition of the front elevation, so the option with vertical stacked stone quoins at the corners is preferred for a more cohesive design.

1. The rear balcony doors appear cramped. Consider changing them to individual French doors to fit more comfortably on the balcony wall.
2. The stone base on the front end of the right elevation should be raised to match the detailing on the front elevation.

Staff recommends the Design Commission approve the proposed architectural design for the new multi-family building with the following conditions:

1. Approval shall be based on Option 1 for the side and rear elevations, with stone quoins at the corners.
2. The color scheme using just one brick color is recommended.
3. Change the corner brick pier at the roof level to stone to match the stone pier below.
4. The front elevation should include retail storefronts on the first floor to add visual interest at the sidewalk level and to enliven this area of the Downtown, with storefront design to be approved by Staff.
5. Change the rear patio doors to individual French doors.
6. The stone base on the front end of the right elevation should be revised to match the

detailing on the front elevation.

7. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on nor represent any tacit approval or support for the proposed land use or any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
8. The petitioner is required to comply with Village standards for sidewalks, street trees, and site furnishings.
9. All signage must meet code, Chapter 30.

Mr. Panzarino stated that they agreed with all comments in the Staff report.

Commissioner Kubow said that he was not at the previous review of this project; however, he appreciated the petitioner taking the commissioners' previous comments into consideration with the changes that were made. He really liked the color of the darker brick above the first floor as shown in the updated rendering presented tonight, and he agreed with Staff's comments that the proposed horizontal banding option is inconsistent with the other elevations. He also agreed with Staff's recommendations to continue the stone base from the front elevation around to the right elevation, and he suggested adding more windows on the right side elevation at the bedrooms.

Commissioner Fitzgerald really liked the elevation and thanked the petitioner for the nice rendering being presented tonight. He preferred Option 1 for the side and rear elevations; he liked the color of the darker brick being proposed; he preferred to keep the brick piers at the top of the building, although he was neutral on the one in the middle; he was okay with the patio doors as is; and he liked the suggestion to continue the stone detailing on the right (west) elevation.

Chairman Eckhardt concurred with the other commissioners' comments; he liked the darker iron spot brick; he liked Option 1 for the sides and rear; he suggested adding an engaged pier detail for the railing at the top of the building and leaving the railing all the way across; and he agreed with continuing the stone base from the front elevation onto the west elevation until it hits the bump-out. He also commented for the Plan Commission review, that he could not imagine why we would want more vacant retail space in town, especially at this location, and he fully supported the project as proposed with no first-floor retail. In response to Commissioner Kubow's suggestion about adding windows on the right side elevation, he agreed that it was a large elevation and he suggested adding small clerestory windows above the bed height, which would help bring in more light.

Mr. Panzarino agreed with the suggestion to carry the stone around to the west elevation to the bump-out, which was a great idea. He also said that he would like to keep the brick on the piers at the top of the building, and he could not disagree with anything said by the commissioners tonight.

Mr. Hautzinger asked for clarification about the brick being proposed. The commissioners confirmed their approval of using only one brick and that it be the darker color.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE ARCHITECTURAL DESIGN FOR THE NEW MULTI-FAMILY BUILDING TO BE LOCATED AT 13 E. MINER STREET. THIS APPROVAL IS SUBJECT TO COMPLIANCE WITH THE PLANS DATED AND RECEIVED 10/22/15, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND RESOLUTION OF THE FOLLOWING:

- 1. APPROVAL IS BASED ON OPTION 1 FOR THE SIDE AND REAR ELEVATIONS (WITH STACKED STONE QUOINS AT THE CORNERS), AND THE STONE DETAILING AT THE BASE OF THE FRONT ELEVATION SHALL BE CARRIED AROUND TO THE RIGHT (WEST) ELEVATION TO THE BUMP OUT.**
- 2. A RECOMMENDATION TO CONSIDER ADDING WINDOWS ON THE RIGHT SIDE ELEVATION, EITHER CLERESTORY TRANSOM WINDOWS OR SOMETHING ELSE TO FIT THE FLOOR PLAN AND BUDGET.**
- 3. A RECOMMENDATION TO FURTHER STUDY THE PIERS AT THE TOP OF THE BUILDING, AND CONSIDER ELIMINATING THE CENTER PIER AT THE TOP OF THE BUILDING AND SLIDING THE PIER OVER AND ENGAGING IT ON THE SIDE.**
- 4. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.**
- 5. THE PETITIONER IS REQUIRED TO COMPLY WITH VILLAGE STANDARDS FOR SIDEWALKS, STREET TREES, AND SITE FURNISHINGS.**
- 6. ALL SIGNAGE MUST MEET CODE, CHAPTER 30.**

Mr. Hautzinger said that if, during the Plan Commission review, a variation is not granted to eliminate the first-floor retail as proposed by the petitioner, and the petitioner is required to include retail, how did the commissioners feel about Staff reviewing the design changes that may result from this. **Commissioner Fitzgerald** felt this detail should come back to the Design

Commission for review of the storefront design. **Mr. Hautzinger** also felt the motion should reflect the decision on the brick, including the name of the brick.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER FITZGERALD, TO AMEND THE MOTION AND ADD THE FOLLOWING:

- 7. APPROVAL OF THE COLOR SCHEME USING JUST ONE BRICK COLOR, MEDIUM IRON SPOT #46, SMOOTH MODULAR.**

**KUBOW, AYE; ECKHARDT, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.**

APPROVED
MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
AUGUST 11, 2015

Chair Eckhardt called the meeting to order at 6:35 p.m.

Members Present: Ted Eckhardt, Chair
 Alan Bombick
 John Fitzgerald

Members Absent: Anthony Fasolo
 Jonathan Kubow

Also Present: Mark Larsen, Larsen Design for *131 S. Fernandez Ave.*
 Katherine Halley for *1212 N. Chestnut Ave.*
 Jesus Serrato, David Weekley Homes for *1010 N. Chicago Ave.*
 Carole Wisniewski, JRC Design Build for *1732 N. Chestnut Ave.*
 Frank Panzarino, Owner of *13 E. Miner St.*
 Robert Kolososki, Prairietech Ltd. For *13 E. Miner St.*
 Philip DeFrancesco, Dapper Crown for *13 E. Miner St.*
 Steve Hautzinger, Staff Liaison

REVIEW OF MEETING MINUTES FROM JULY 14, 2015

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER BOMBICK, TO APPROVE THE MEETING MINUTES OF JULY 14, 2015. ALL WERE IN FAVOR. THE MOTION CARRIED.

ITEM 5. MULTI-FAMILY REVIEW

DC#15-097 – 13 E. Miner St.

Mr. Frank Panzarino, the owner, **Mr. Robert Kolososki**, representing *Prairietech Ltd.*, and **Mr. Philip DeFrancesco**, representing *Dapper Crown*, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is seeking approval of the architectural design for a new four story apartment with indoor parking. The site is currently vacant and is located on the north side of the Downtown (B-5) Zoning District. The proposed development will be four stories in height with 12 residential apartment units occupying floors two through four. The first floor will contain the apartment entrance lobby as well as indoor parking for use by the apartment residents. A basement level will be used for storage.

The proposed development requires approval as a Planned Unit Development through the Plan Commission process. **Mr. Hautzinger** reviewed the planning and zoning issues outlined on Page 2 of the Staff Report that are being evaluated through the Plan Commission process, which are important for the Design Commissioners to generally understand because they could impact the building design.

With regards to the design of the proposed new building, Staff had the following comments:

Front (north) Elevation. The composition of the front elevation is well done with nice symmetry, recessed balconies, and rich materials. However, the following revisions are recommended to enhance the design:

1. Retail storefronts should be added on the first floor to add visual interest at the sidewalk level, and to enliven this area of the Downtown.
2. The small arches and keystones above the windows and balcony doors are weak. Consider a straight, stone lintel detail with a heavier appearance in lieu of the arch detail.
3. The brick wall area above the top floor windows is blank and void of detail. Consider adding more details in this area such as decorative brick and stone detailing.
4. The arched cornice at the top of the building and arched lintel above the first floor garage door are awkward. Consider omitting the arch, and providing a built-up linear stone detail instead.
5. The proposed railing detail at the roof deck level is a nice detail, but it is proposed to be set back from the front wall. Consider moving this detail forward to be in line with the front wall so that it is more visible and aligns with the balcony railings below.
6. The two brick colors are too similar in appearance and do not enhance the design. Consider omitting one of the brick colors for a more cohesive appearance.

Side (east & west) Elevations. The proposed four story building will be highly visible above the existing one story building to the east, and partially visible above the two story building to the

west. Although it is possible that future redevelopment of the adjacent sites could block the side views of the proposed building, it is likely that the side elevations will be visible for many years and should therefore be further developed with additional detailing.

1. Consider continuing the roof deck railing detail from the front elevation down the side elevations.
2. Preliminary building code review concludes that the three windows shown on the left (east) elevation are not allowed due to fire separation requirements where the wall is not set back from the lot line. Consider adding more brick and stone detailing to add interest to this large blank wall.
3. The front half of the right (west) elevation is set back eight feet from the property line and will be highly visible. Consider opening the side of the balconies as well as adding windows on this wall.

Staff recommends the Design Commission continue this project to a future date until such time that the various zoning, utility conflicts, and building code issues have been resolved and the commissioners have the opportunity to see the final building design.

Chair Eckhardt pointed out that 2 commissioners were not here tonight, and it was important that the petitioner receive feedback from all 5 of the commissioners.

Commissioner Bombick applauded the petitioner for developing the site; getting this density of housing in the downtown and continuing to add or fill in some of these empty sites is critical. He suggested moving the front wall of the first-floor to the lot line to increase the size of the potential leasable retail space, and changing the classical design detailing to be more contemporary. He suggested adding some horizontal banding to the side elevations. He felt the parking seemed jammed in and he suggested minimizing the number of on-site parking spaces and locating the rest in the Village garage to create space for retail. He also suggested adding another floor to the building.

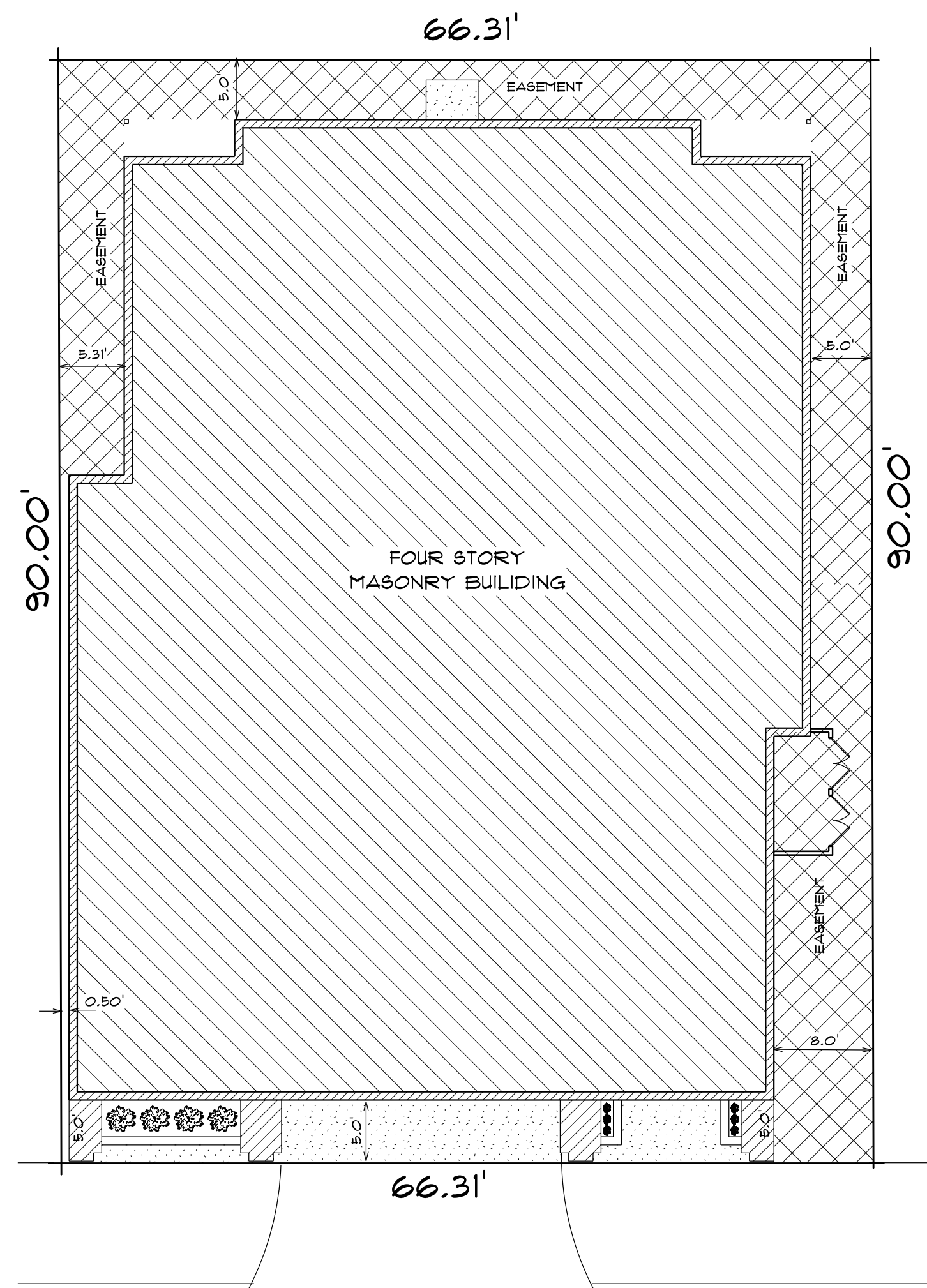
Commissioner Fitzgerald agreed with a lot of what was already said. He had some concerns about first floor retail. He liked the arch over the front door and over the window on the front elevation; however, the other small arches did nothing for him. Overall, he recommended more modern detailing, and he would prefer a straight lintel detail above the windows. He liked Staff's suggestion to pull the railing at the roof level forward to be flush with the front wall and to continue the rooftop railing detail down the sides of the building. He wanted to see more differentiation between the two brick colors, as well as more details on the sides and back of the building. He also wanted to see evergreens added to adequately screen the electrical transformer.

Chair Eckhardt liked the arch details on the first floor as well as the quoin details on the upper floors. He felt the upper stories of the building should have a more modern appearance, and that the top parapet wall should be straight instead of arched. He liked the 3 vertical elements and he agreed with the concerns about the contrasting brick colors. He felt the balconies

should be opened up on the side, and he was more concerned about the lack of details on the rear elevation than the side elevations. He also encouraged the petitioner to conduct research about parking options. He recommended a motion to continue the project to a future date.

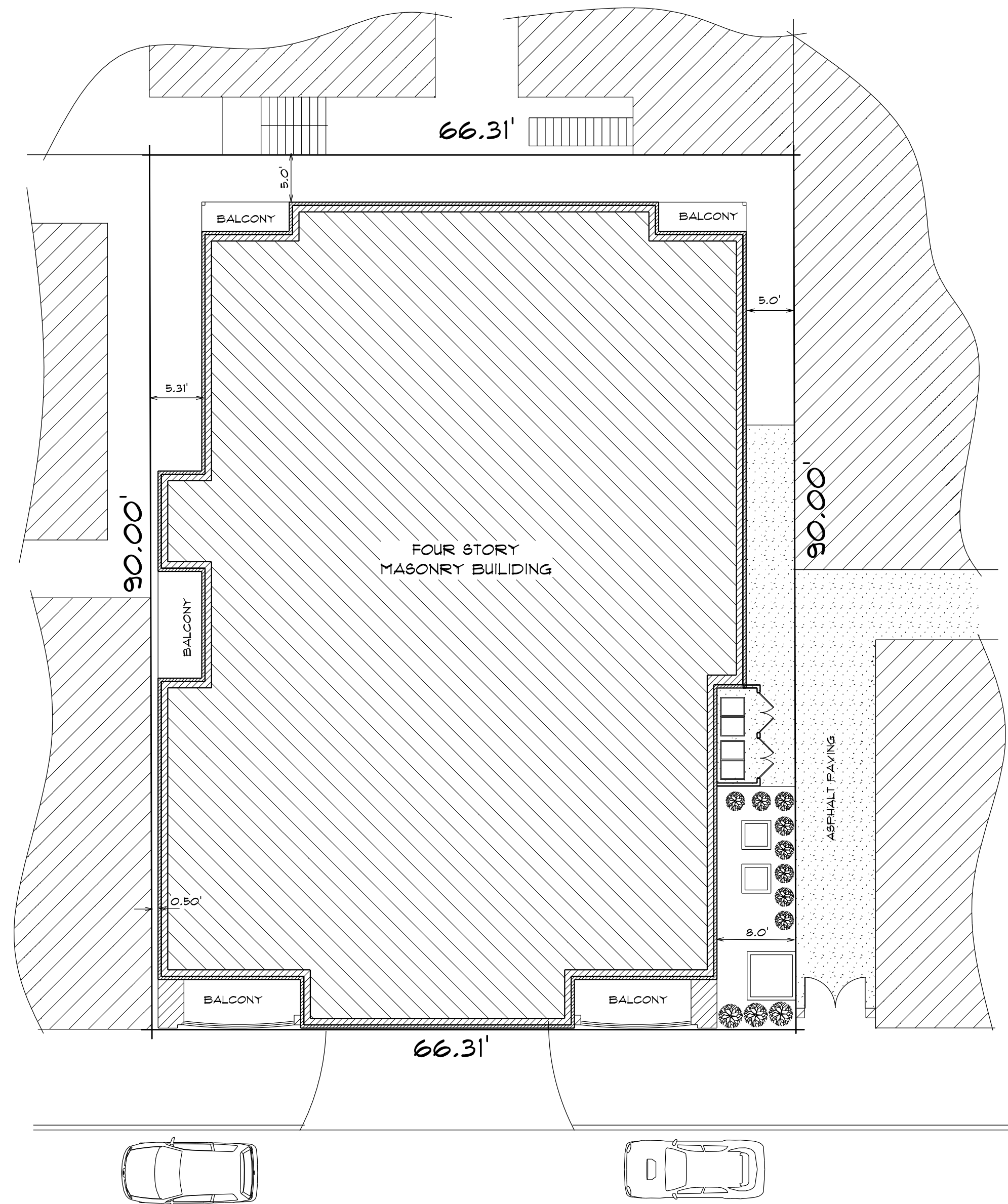
A MOTION WAS MADE BY COMMISSIONER BOMBICK, SECONDED BY COMMISSIOENR FITZGERALD, TO CONTINUE THE PROJECT FOR 13 E. MINER STREET (DC#15-097) TO A FUTURE DATE, AS AGREED UPON BY STAFF AND THE PETITIONER.

**BOMBICK, AYE; FITZGERALD, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. THE MOTION CARRIED.**



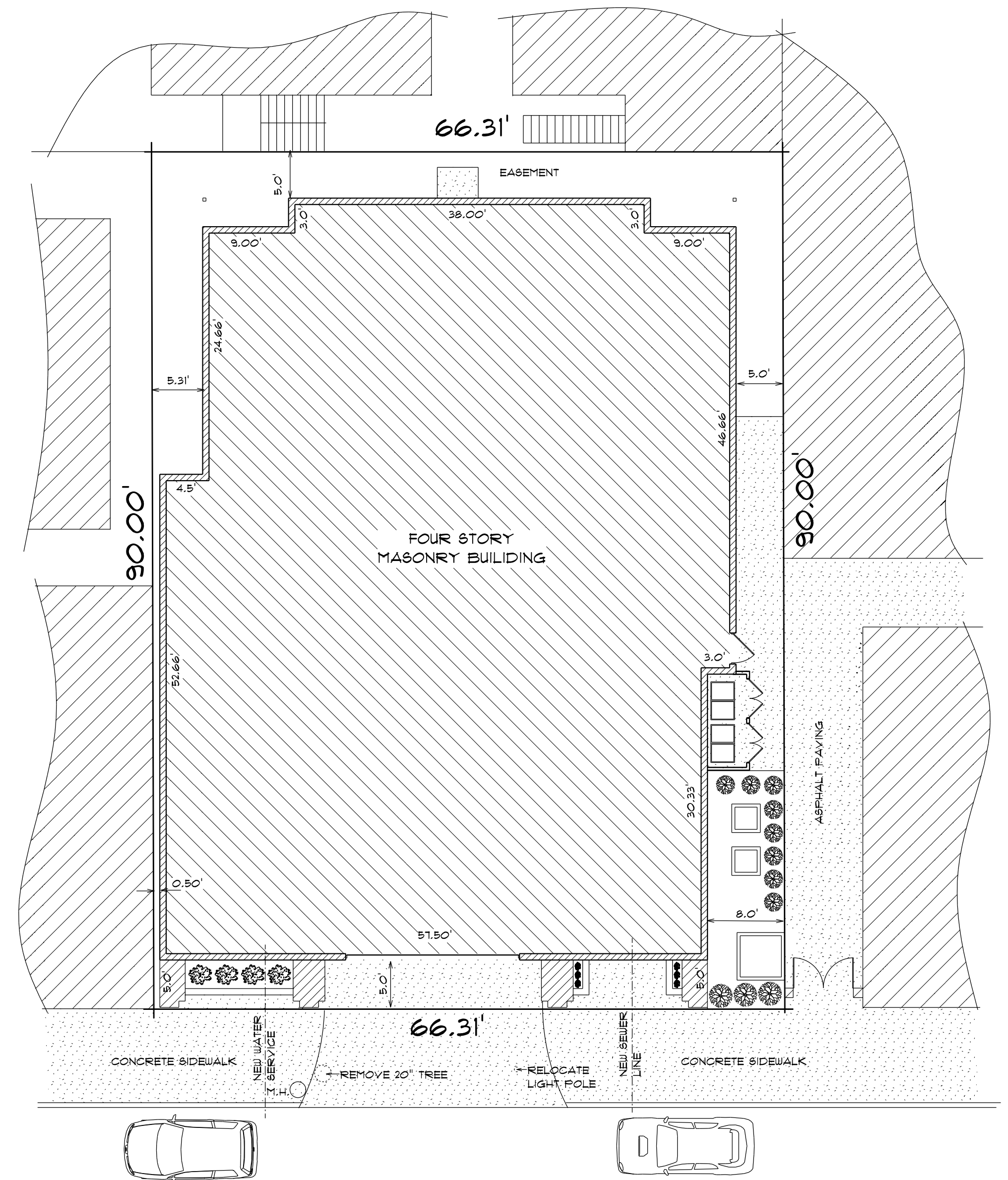
EAST MINOR STREET

EASEMENT SITE PLAN SCALE 1"=10'-0"



EAST MINOR STREET

BALCONY/SECOND FLOOR PLAN SCALE 1"=10'-0"



EAST MINOR STREET

SITE PLAN SCALE 1"=10'-0"



FRONT ELEVATION

SCALE 1/8" = 1'-0"



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FOUR STORY BUILDING FOR:
FRANK PANZARINO
13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

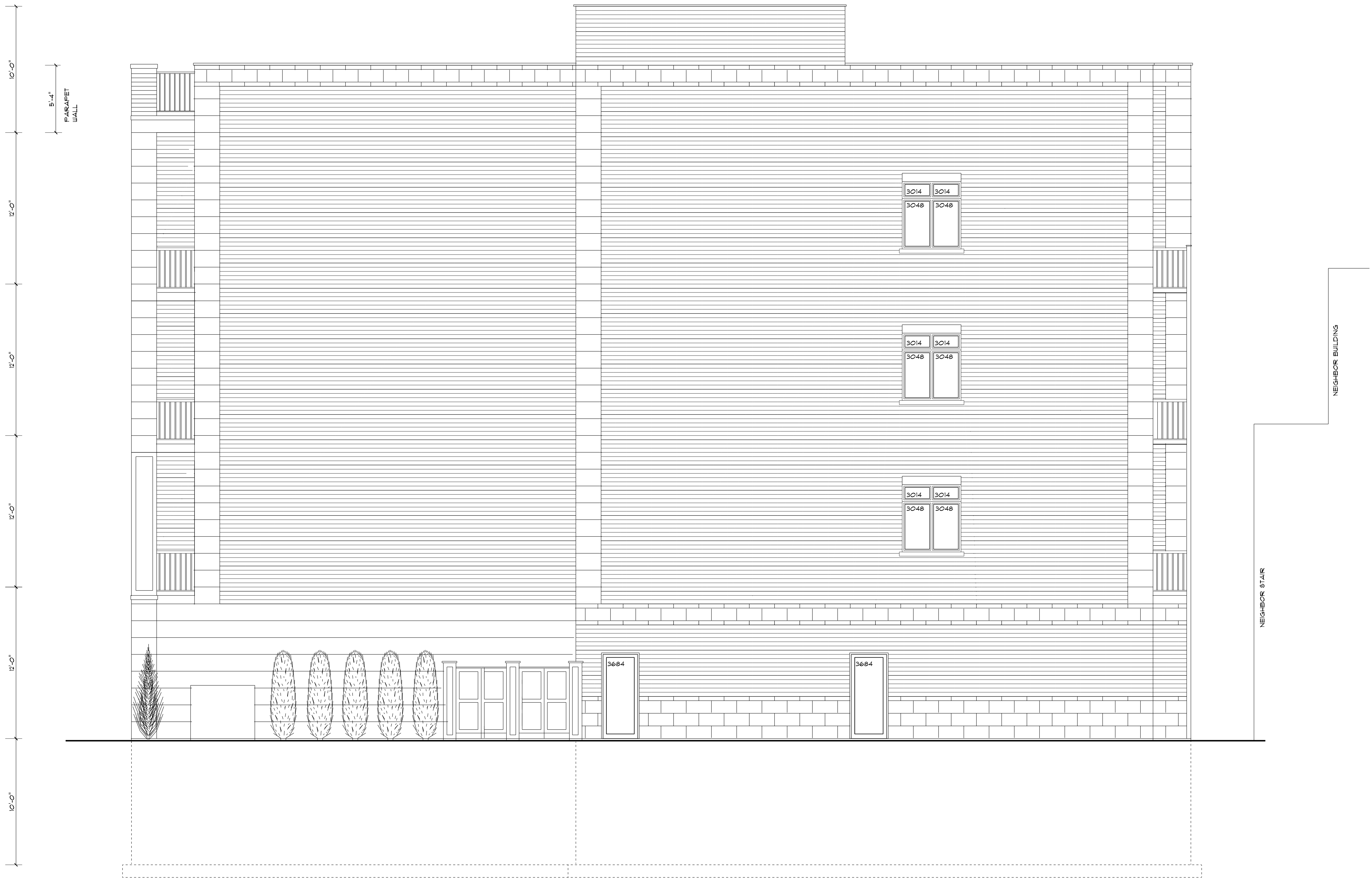
DATE
OCT 22, 2015

REVISION

JOB #

SHEET #

A1



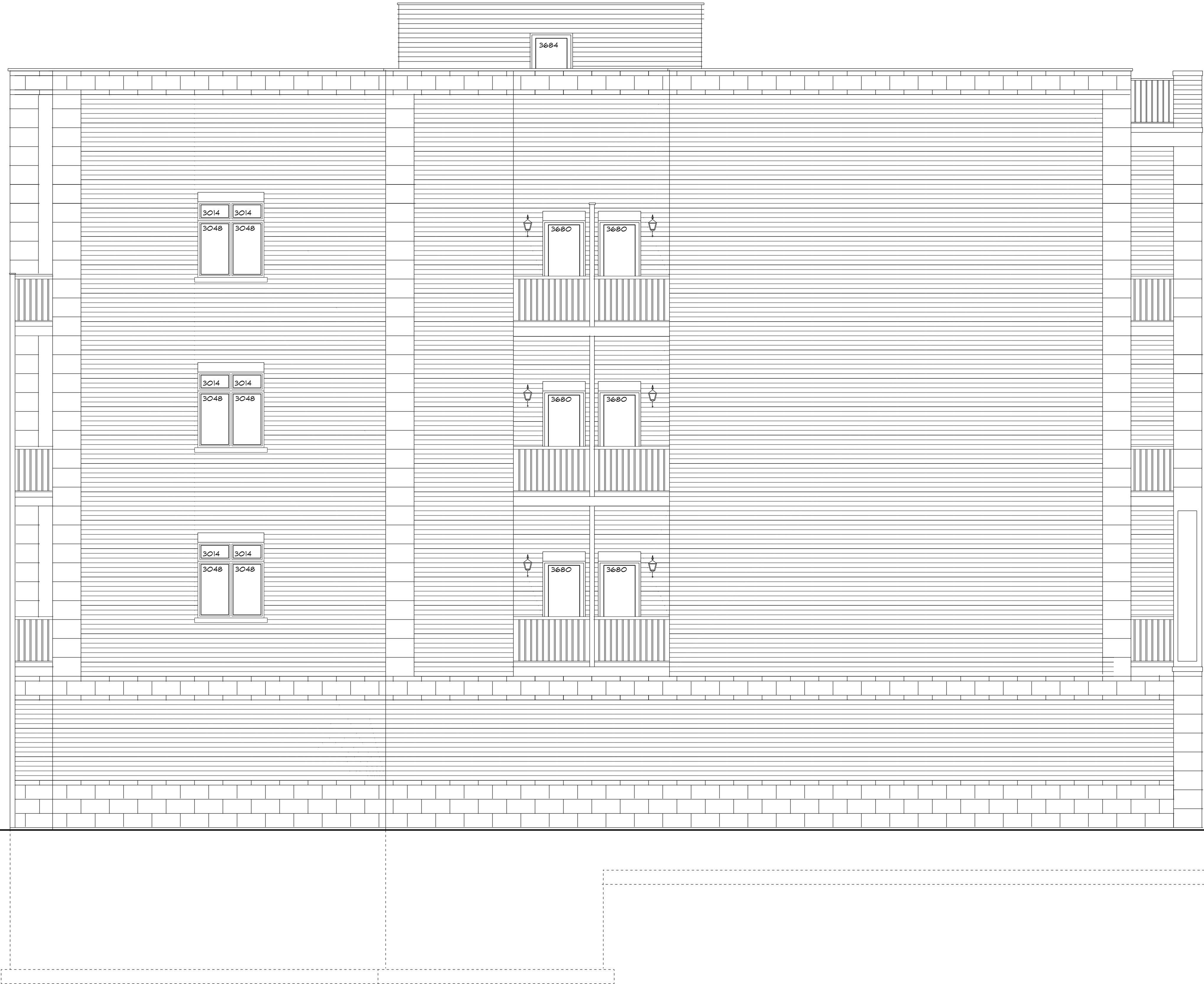
RIGHT ELEVATION SCALE 1/8" = 1'-0"



10'-0" 12'-0" 12'-0" 12'-0" 12'-0" 5'-4" 4'-0"

NEIGHBOR BUILDING

NEIGHBOR STAIR



LEFT ELEVATION

SCALE 1/8" = 1' - 0"

FOUR STORY BUILDING FOR:
FRANK PANZARINO
13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

DATE
OCT 22, 2015

REVISION

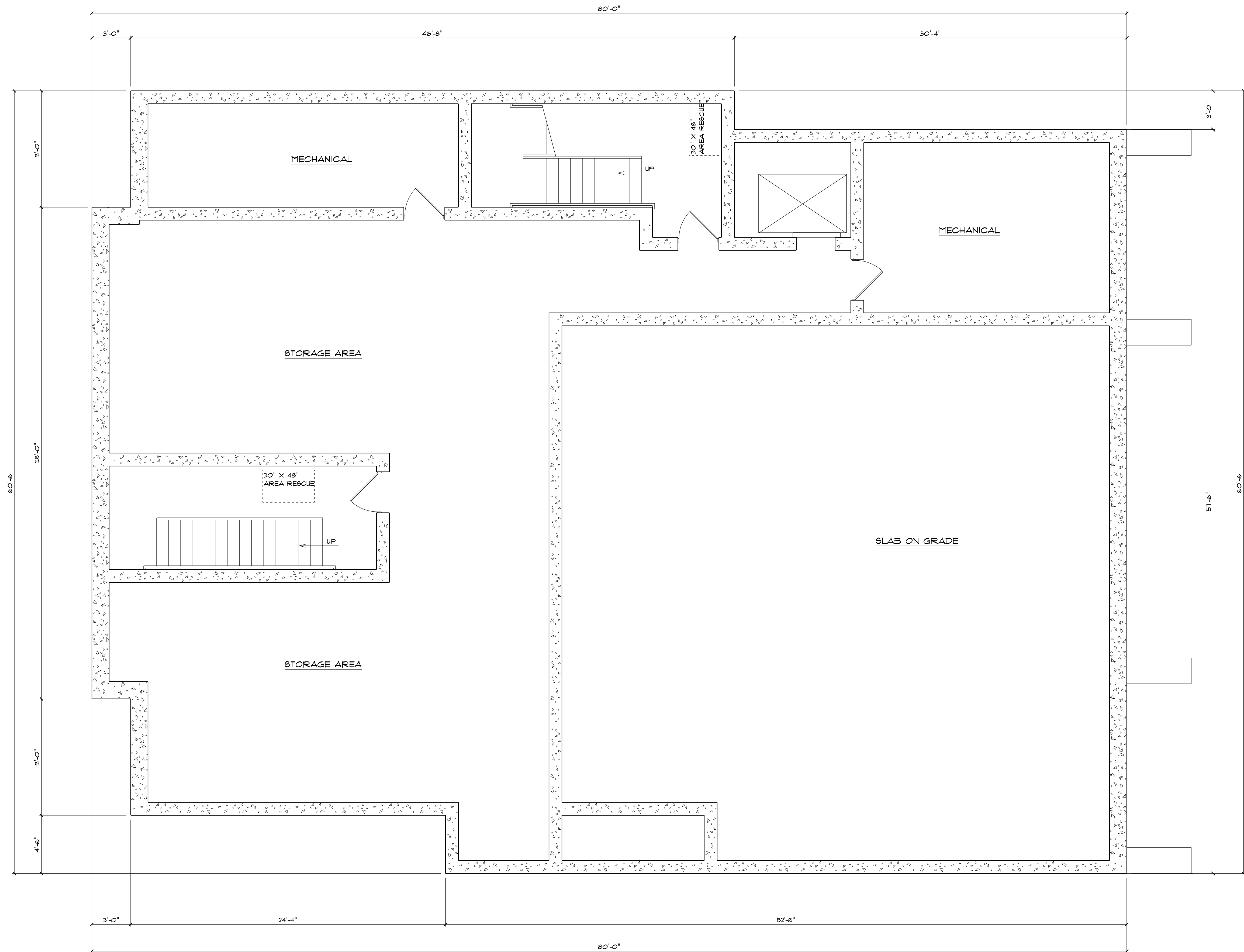
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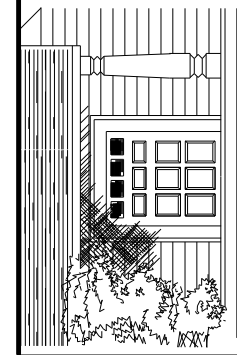


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LOWER LEVEL PLAN

SCALE 1/8" = 1'-0"



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FOUR STORY BUILDING FOR:

FRANK PANZARINO
13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

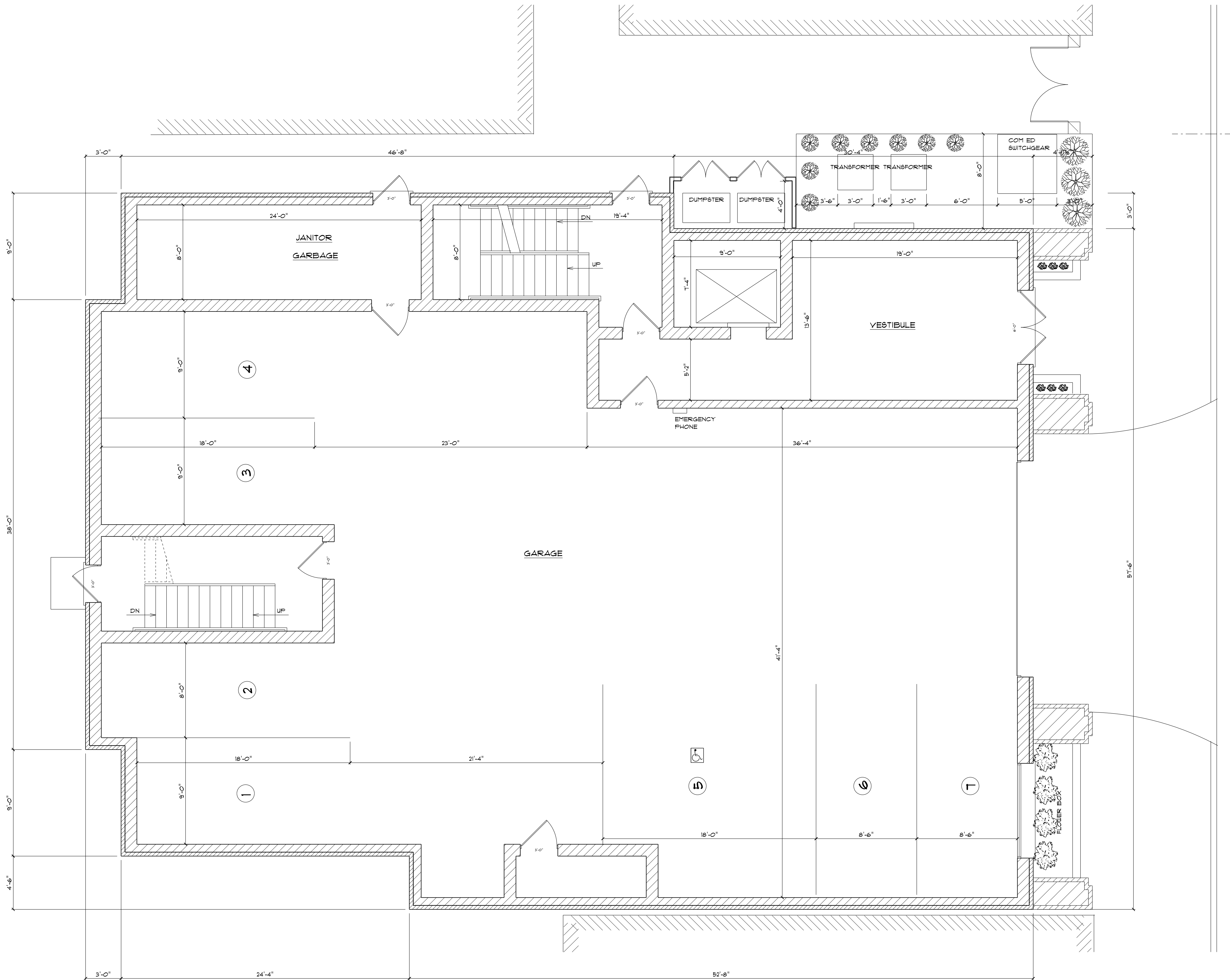
DATE
OCT 22, 2015

REVISION

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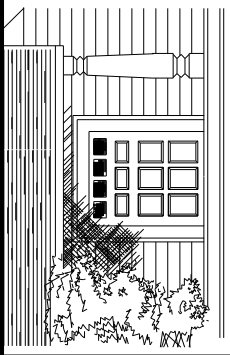
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A5



GROUND LEVEL

SCALE 1/4" = 1' - 0"



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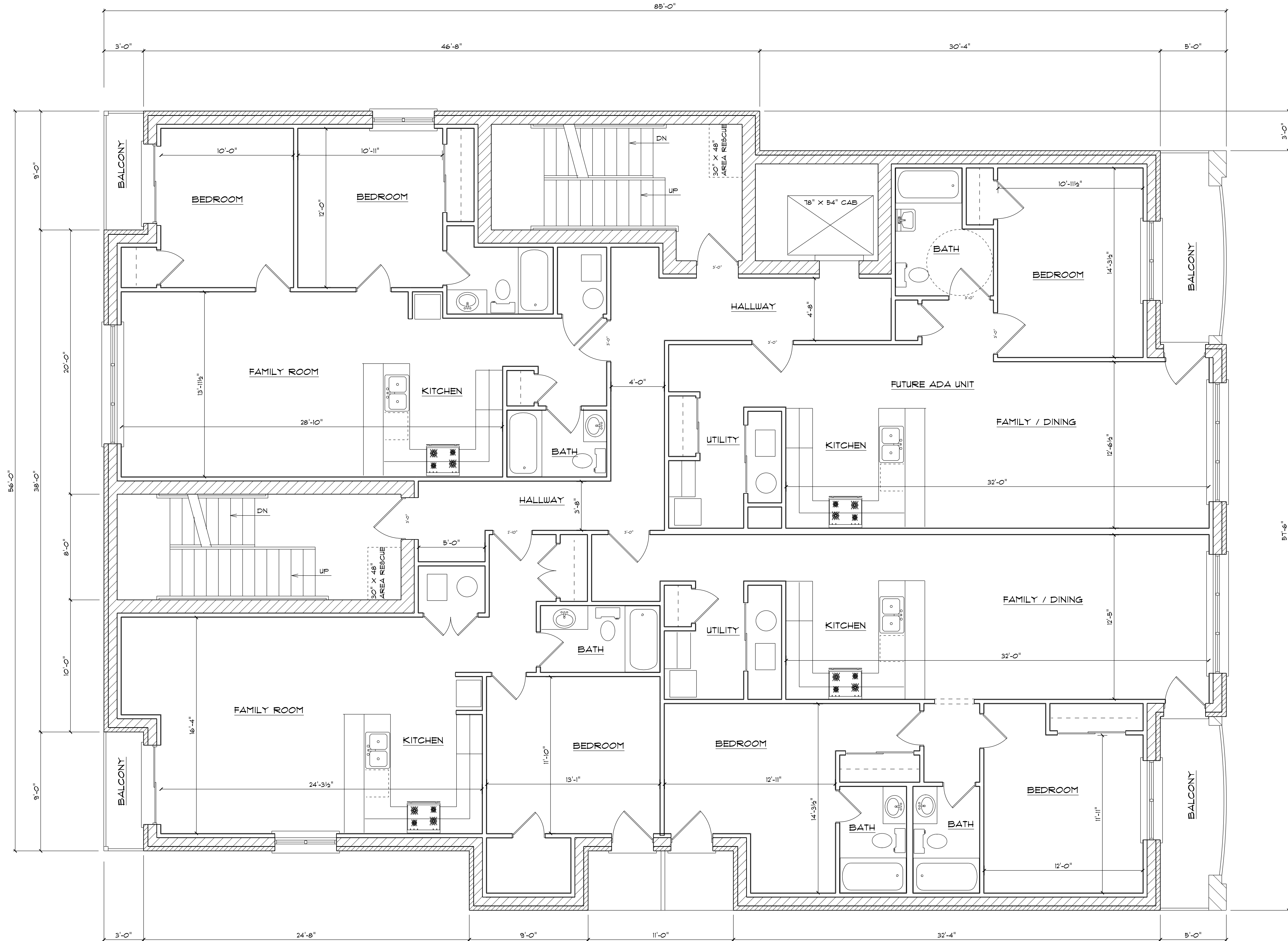
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A6



SECOND FLOOR

SCALE 1/4" = 1'-0"



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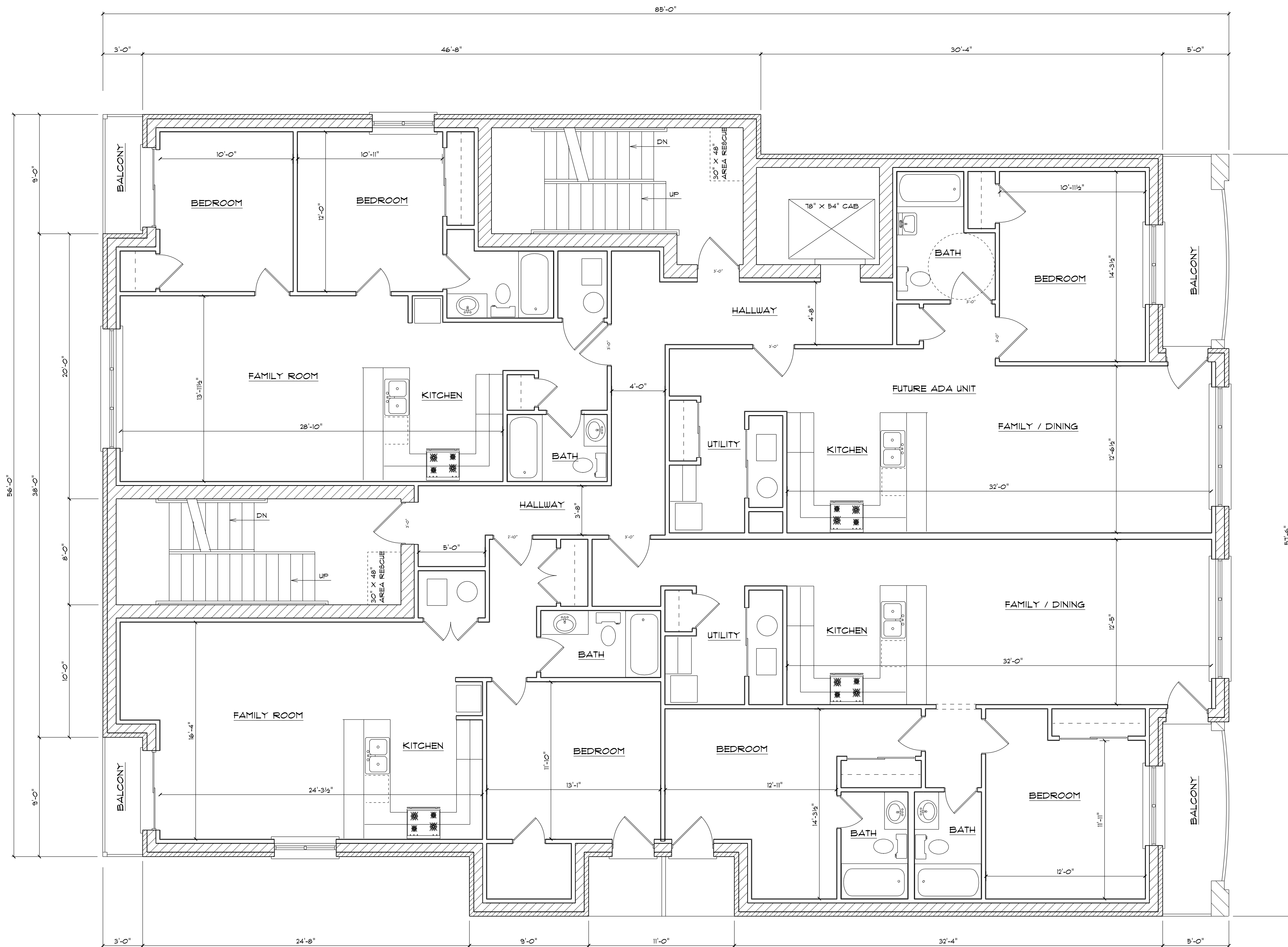
DATE
OCT 22, 2015

REVISION

JOB #

SHEET #

A7



THIRD FLOOR

SCALE 1/4" = 1' - 0"

FOUR STORY BUILDING FOR:

FRANK PANZARINO

13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

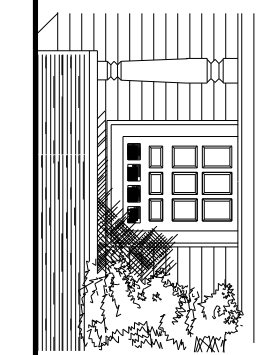
DATE
OCT 22, 2015

REVISION

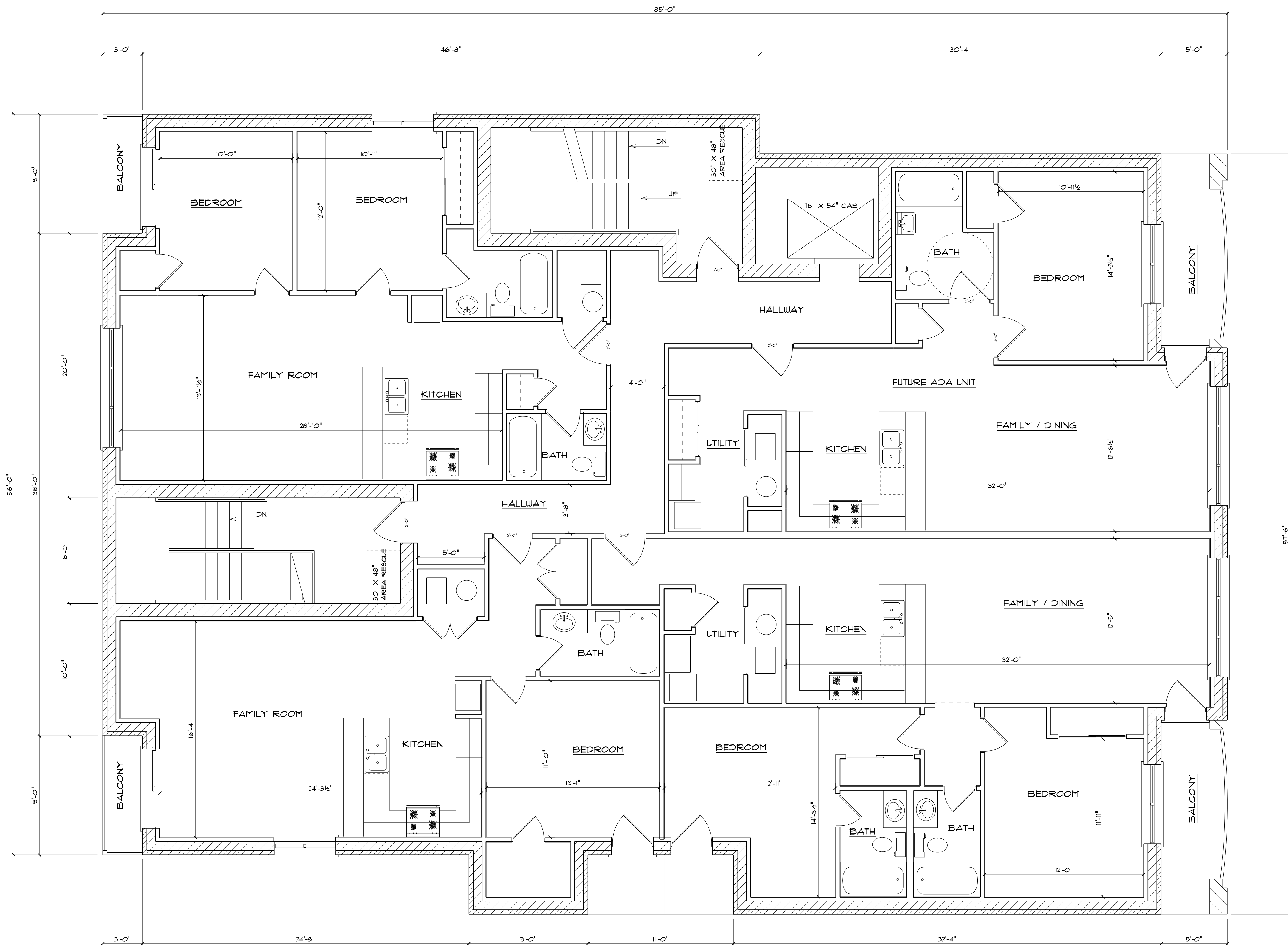
JOB #

SHEET #

A8

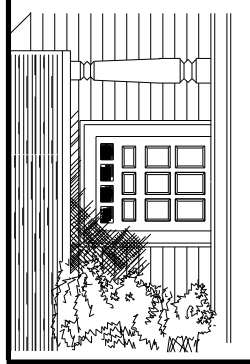


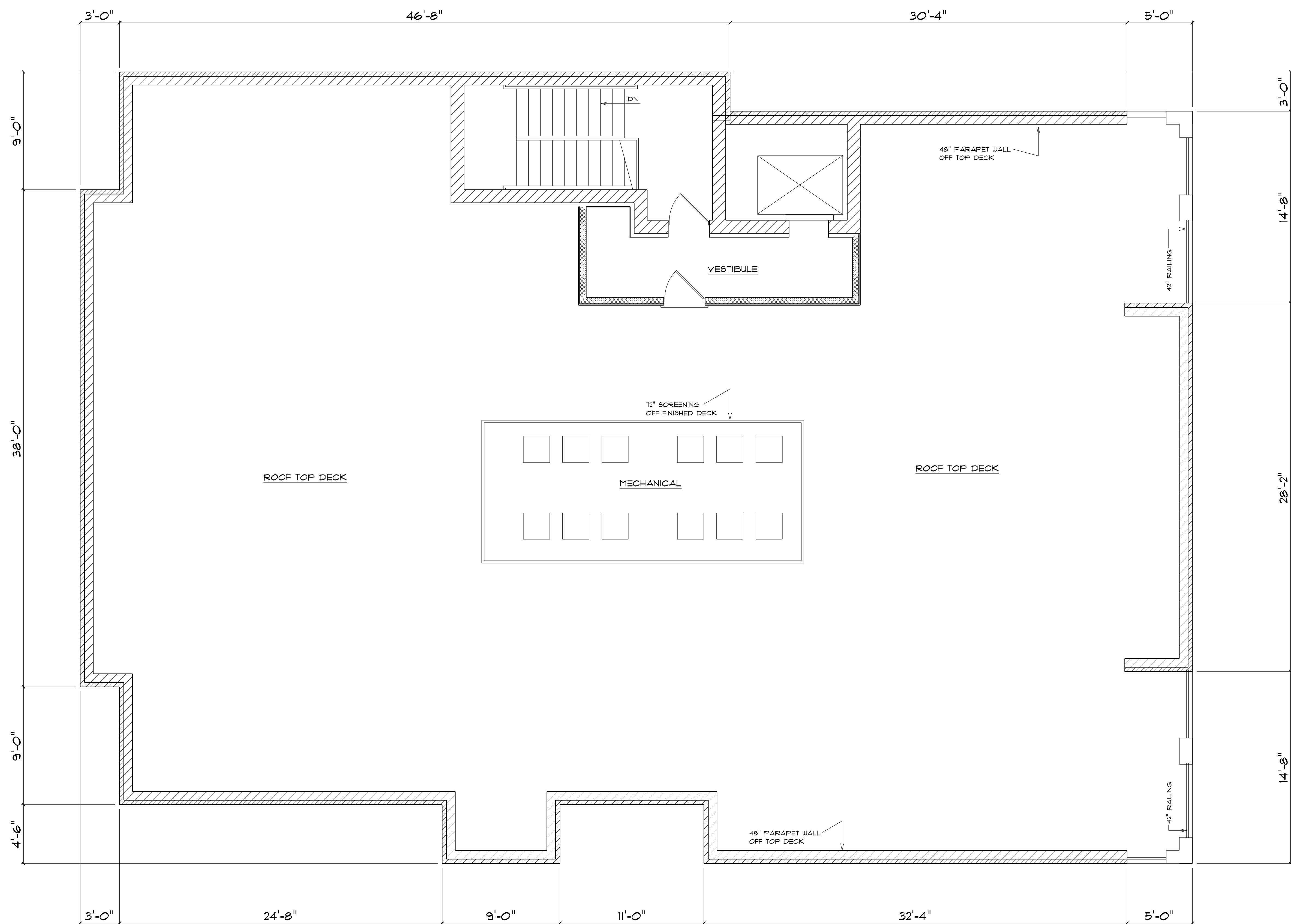
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FOURTH FLOOR

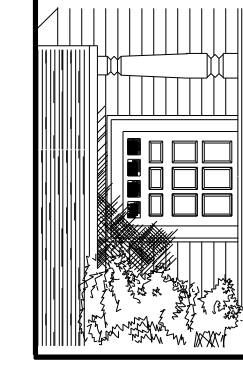
SCALE 1/4" = 1' - 0"





ROOF TOP DECK

SCALE 1/4" = 1'-0"



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FOUR STORY BUILDING FOR:
FRANK PANZARINO
13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

DATE
OCT 22, 2015

REVISION

JOB #

SHEET #

A10

BUILDING DEPARTMENT

1

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 15-013
 Petitioner: Frank Panzarino
 Owner: Frank Panzarino
 Contact Person: Frank Panzarino
 Address: 904 S. Edgewood Lane
Mt. Prospect, IL 60056
 Phone #: 847.630.2473
 Fax #: 630.332.8132
 E-Mail: padxco@gmail & adamevesalon@gmail.co

P.I.N.# 03-29-334-003-0000
 Location: 13 E Miner St, Arlington Heights, 60004
 Rezoning: Current: Proposed:
 Subdivision:
 # of Lots: Current: Proposed:
 PUD: ✓ For: Residential Building
 Special Use: For:
 Land Use Variation: For:
 Land Use: Current:
Proposed:
 Site Gross Area: 6,000 Sq Ft
 # of Units Total: 12 (6 - 1's & 6 - 2's)
 1BR: 6 2BR: 3 3BR: 4 4BR: 6

(Petitioner: Please do not write below this line.)

DO EXISTING STRUCTURES, IF ANY, MEET MINIMUM REQUIREMENTS OF THE FOLLOWING:

- | | <u>YES</u> | <u>NO</u> | |
|------------------|---------------|---------------|-----------------------|
| 1. <u> </u> | <u>✓</u> | <u> </u> | VILLAGE BUILDING CODE |
| 2. <u> </u> | <u> </u> | <u> </u> | PRESENT ZONING USE |
| 3. <u> </u> | <u> </u> | <u> </u> | REQUESTED ZONING USE |
| 4. <u> </u> | <u> </u> | <u> </u> | SUBDIVISION REQUIRED |
| 5. <u> </u> | <u> </u> | <u> </u> | SIGN CODE |

6. GENERAL COMMENTS:

SEE ATTACHED

Deb PIERRE
 Director PLAN REVIEWER

8-12-15
 Date

August 12, 2015

To: Latika Bhide, Development Planner

From: Deb Pierce, Plan Reviewer

Re: PC #15-013; 13 E Miner St.

Building Code Comments

1. Based on the building's 4 stories above grade, the elevator must accommodate an ambulance stretcher.
2. Minimum square footage for a habitable room is required to be 100 sq. ft. The office in Unit AA is only 95 sq. ft.
3. An area of refuge (rescue) with two-way communication is required in each stairwell on every level.
4. The walls separating dwelling units are required to have a 1-hour fire-resistance rating (fire partition), unless the building is protected by a sprinkler system.
5. The floor assemblies separating dwelling units are required to have a 1-hour fire-resistance rating, unless the building is protected by a sprinkler system.
6. The location of the mechanical room for the elevator is not indicated.
7. Occupant load is not indicated. Based on bedroom dimensions, the occupant load for each unit is as follows:

<u>Unit</u>	<u>Second Floor</u>	<u>Third Floor</u>	<u>Fourth Floor</u>
A		1	1
AA	3	0	0
B	4	4	4
C	6	6	6
D	3	3	3
Total	16	14	14

Total Building Occupant Load = 44

8. A protected accessible means of egress path to a public way is required – provide a horizontal exit from west stairwell to front of building.

BUILDING DEPARTMENT

1A

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 15-013
 Petitioner: Frank Panzarino

 Owner: Frank Panzarino

 Contact Person: Frank Panzarino
 Address: 904 S. Edgewood Lane
Mt. Prospect, IL 60056
 Phone #: 847 630 2473
 Fax #: 630 332 8132
 E-Mail: padxco@gmail & adamevesalon@gmail.co

P.I.N.# 03-29-334-003-0000
 Location: 13 E Miner St, Arlington Heights, 60004
 Rezoning: _____ Current: _____ Proposed: _____
 Subdivision: _____
 # of Lots: _____ Current: _____ Proposed: _____
 PUD: ✓ For: Residential Building
 Special Use: _____ For: _____
 Land Use Variation: _____ For: _____

 Land Use: _____ Current: _____
 Proposed: _____
 Site Gross Area: 6,000 Sq Ft
 # of Units Total: 12 (6 - 1's & 6 - 2's)
 1BR: 6 2BR: 3 3BR: 4 4BR: 6

(Petitioner: Please do not write below this line.)

INSPECTIONAL SERVICES

See ATTACHED

RECEIVED

AUG 12 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Director

Date

Fire Notes
13 East Miner

8/12/15
P.D.

1. East facing windows (3 total) closest to Miner Street are not permitted. Too close to adjacent building. (IBC 2009 – Table 705.8).
2. Egress access through garage appears to be insufficient. East side exit discharges into dead end alleys behind adjacent properties. A ground floor exit is needed to Miner Street. If it is considered an unobstructed public easement, it may be possible to utilize the gangway between the buildings straight to the South, which lead to Northwest Highway.
3. Interior stairwells will need to be fully ADA compliant.

PUBLIC WORKS DEPARTMENT

2

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 15-013
 Petitioner: Frank Panzarino
 Owner: Frank Panzarino
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 Phone #: 847.630.2473
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P.I.N.# 03-29-334-003-0000
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 Subdivision:
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 Special Use: For:
 Land Use Variation: For:
 Land Use: Current:
Proposed:
 Site Gross Area: 6,000 Sq Ft
 # of Units Total: 12 (6 - 1's & 6 - 2's)
1BR: 6 2BR: 3BR: 4BR: 6

(Petitioner: Please do not write below this line.)

	EXISTING IMPROVEMENT	REQUIRED IMPROVEMENT	COMMENTS
1. <u>UTILITIES:</u>			
Water	<u> </u>	<u> </u>	<u> </u>
Metering	<u> </u>	<u> </u>	<u> </u>
Backflow	<u> </u>	<u> </u>	<u> </u>
Sanitary Sewer	<u> </u>	<u> </u>	<u> </u>
Storm Sewer	<u> </u>	<u> </u>	<u> </u>
2. <u>SURFACE:</u>			
Pavement	<u> </u>	<u> </u>	<u> </u>
Curb & Gutter	<u> </u>	<u> </u>	<u> </u>
Sidewalks	<u> </u>	<u> </u>	<u> </u>
Street Lighting	<u> </u>	<u> </u>	<u> </u>
3. <u>GENERAL COMMENTS:</u>			

RECEIVED
 AUG 31 2015
 PLANNING & COMMUNITY
 DEVELOPMENT DEPARTMENT

Director

Date

Memorandum

To: Latika Bhide, Development Planner
From: Cris Papierniak, Assistant Director of Public Works
Date: August 27, 2015
Subject: 13 E Miner ST., P.C. #15-013 Round 1



With regard to the proposed Planned Unit Development, I have the following comments:

1. Currently the proposed site hosts numerous private utilities. Until an approved design is completed on how these utilities will be re-routed, VAHPW rejects the proposed construction.

Thank you for the opportunity to comment on this permit application.

C: file

LF

RECEIVED

AUG 31 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

ENGINEERING DEPARTMENT

3

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 15-013
 Petitioner: Frank Panzarino

 Owner: Frank Panzarino

 Contact Person: Frank Panzarino
 Address: 904 S. Edgewood Lane
Mt. Prospect, IL. 60056
 Phone #: 847.630.2473
 Fax #: 630.332.8132
 E-Mail: padxco@gmail & adamevesalon@gmail.co

P.I.N.# 03-29-334-003-0000
 Location: 13 E Miner St, Arlington Heights, 60004
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 Subdivision: _____
 # of Lots: _____ Current: _____ Proposed: _____
 PUD: ✓ For: Residential Building
 Special Use: _____ For: _____
 Land Use Variation: _____ For: _____

 Land Use: _____ Current: _____
 Proposed: _____
 Site Gross Area: 6,000 Sq Ft.
 # of Units Total: 12 (6 - 1's & 6 - 2's)
 1BR: 6 2BR: 3 3BR: 4 4BR: 6

(Petitioner: Please do not write below this line.)

1. PUBLIC IMPROVEMENTS

REQUIRED: _____ YES NO COMMENTS

a. Underground Utilities

Water _____ UNKNOWN

Sanitary Sewer _____ UNKNOWN

Storm Sewer _____ X

b. Surface Improvement

Pavement _____ X

Curb & Gutter _____ X

Sidewalks _____ X

Street Lighting _____ X

c. Easements

Utility & Drainage _____ X

Access _____ X

2. PERMITS REQUIRED OTHER THAN VILLAGE:

a. MWRDGC X

b. IDOT POSSIBLY

c. ARMY CORP _____

d. IEPA _____

e. CCHD _____

YES NO COMMENTS

3. R.O.W. DEDICATIONS? _____ X _____

4. SITE PLAN ACCEPTABLE? _____ X _____

5. PRELIMINARY PLAT ACCEPTABLE? _____ N/A _____

6. TRAFFIC STUDY ACCEPTABLE? _____ X _____

7. STORM WATER DETENTION REQUIRED? _____ X _____

8. CONTRIBUTION ORDINANCE EXISTING? _____ X _____

9. FLOOD PLAIN OR FLOODWAY EXISTING? _____ X _____

10. WETLAND EXISTING? _____ X _____

GENERAL COMMENTS ATTACHED

PLANS PREPARED BY: N/A

DATE OF PLANS: N/A

Director

Date

PLAN COMMISSION PC #15-013
Miner Street Development
13 E. Miner Street
Planned Unit Development
Round 1

11. The petitioner is notified that these comments are being provided to ensure that the project meets the requirements for submittal to the Plan Commission. Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they accept this understanding.
12. An Engineers estimate of construction cost for full site improvements is required to complete the calculation for plan review, inspection, and other fees. An Engineers estimate of construction cost for public improvements is also required to complete the calculation for the required public improvement guarantee deposit. These estimates should be submitted at least three weeks prior to the final Plan Commission meeting to allow us time to generate the fee letter and for the petitioner to assemble the proper documents.
13. Final engineering plans shall be georeferenced by using State Plane Coordinate System – Illinois East. Below are details about projection:

Projected Coordinate System:	NAD_1983_StatePlane_Illinois_East_FIPS_1201_Feet
Projection:	Transverse_Mercator
False_Easting:	984250.00000000
False_Northing:	0.00000000
Central_Meridian:	-88.33333333
Scale_Factor:	0.99997500
Latitude_Of_Origin:	36.66666667
Linear Unit:	Foot_US
Geographic Coordinate System:	GCS_North_American_1983
Datum:	D_North_American_1983
Prime Meridian:	Greenwich
Angular Unit:	Degree

14. Final approval will require final engineering plans including stormwater detention calculations. The proposed development is located within the Village's downtown district and therefore is allowed to pay a fee in lieu of detention at the rate of \$1.00 per cubic foot of required storage volume. The Village's allowable release rate is 0.18 cfs/Ac. Use C=0.50 for pervious areas, C=0.95 for impervious areas. Use Bulletin 70 rainfall data.
15. When on-site lighting is proposed, provide a site photometric lighting diagram indicating lighting intensities. Also provide the associated catalog cuts for all roadway, parking lot, and building mounted luminaires. All fixtures must be flat bottom, sharp cut-off, and no wall pack style fixtures will be permitted.
16. Consider including bicycle racks in development plan to encourage alternate modes of transportation for employees and patrons.
17. The Plat of Survey provided does not show any existing easements. Provide a document that shows all existing easements on the property and/or on the adjoining properties.

18. There have been multiple previous discussions about the development of this property with the property owner, adjoining property owners, ComEd, and other utilities. The following items must be satisfactorily addressed before Plan Commission approval can be granted:
- a. Provide a signed Agreement between all affected property owners regarding the disposition of the existing water service, sanitary service, and any other private services that run through the subject property to service adjoining buildings on other properties. The Agreement must refer to engineering plans that show exactly how the new services are to be constructed and stipulate who is paying for the construction and maintenance of the new facilities.
 - b. Provide a Plat of Easement for any new utility, ingress/egress, and/or other public or private easements.
19. There are no engineering site drawings in the packet. Petitioner is notified that additional comments are likely upon receipt of engineering site drawings.
20. There is no traffic study provided with the submittal.

 8/19/15
James J. Mastarelli, P.E. Date
Director of Engineering

ARLINGTON HEIGHTS POLICE DEPARTMENT

Community Services Bureau

DEPARTMENT PLAN REVIEW SUMMARY

Miner Street Development 13 E. Miner

Round 1 Review Comments

08/13/2015

1. **Character of use:**
2. The character of use should not be problematic.
3. **Are lighting requirements adequate?**
Lighting should be up to Village of Arlington Heights code.
4. **Present traffic problems?**
There are no traffic problems.
5. **Traffic accidents at particular location?**
This is not a problem area in relation to traffic accidents.
6. **Traffic problems that may be created by the development.**
The area around the vehicle entrance/exit should be clear of obstructions. Vehicle traffic entering and exiting the available covered parking must be able to view other vehicles and pedestrians. Street parking adjacent to the entrances/exits should be prohibited. Warning lights/audible signals could be used to signal that vehicles are exiting.
7. **General comments:**
 - Emergency telephones should be installed in the parking area for added safety.
 - The storage area, lower level, should be secure and accessible only to residents. There should be signage to encourage users to lock their storage lockers and video surveillance of the area to deter theft and help identify potential offenders.
 - Agent contact information must be provided to the Arlington Heights Police Department during all construction phases. Emergency contact cards can be filled out at the Village of Arlington Heights website (vah.com). This allows police department personnel to contact an agent during emergency situations or for suspicious/criminal activity on the property during all hours.


Brandi Romag, Crime Prevention Officer
Community Services Bureau

RECEIVED

AUG 13 2015

Approved by:



Supervisor's Signature

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

HEALTH SERVICES DEPARTMENT

6

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition PC 15-013
Petitioner: Frank Panzarino

Owner: Frank Panzarino

Contact Person: Frank Panzarino
Address: 904 S. Edgewood Lane
Mt Prospect, IL 60056
Phone #: 847 630 2473
Fax #: 630 332 8132
E-Mail: padxco@gmail & adamevesalon@gmail.co

P.I.N.# 03-29-334-003-0000
Location: 13 E Miner St, Arlington Heights, 60004
Rezoning: _____ Current: _____ Proposed: _____
Subdivision: _____
of Lots: _____ Current: _____ Proposed: _____
PUD: ✓ For: Residential Building
Special Use: _____ For: _____
Land Use Variation: _____ For: _____

Land Use: _____ Current: _____
Proposed: _____
Site Gross Area: 6,000 Sq Ft
of Units Total: 12 (6 - 1's & 6 - 2's)
1BR: 6 2BR: 3 3BR: 4 4BR: 6

(Petitioner: Please do not write below this line.)

1. GENERAL COMMENTS:

The Development will need to submit a recycling plan to this office upon occupancy.

See the attached comments from the Disability Services Coordinator

RECEIVED

AUG 25 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Jeff Bohner

8/24/15

Environmental Health Officer

Date

James McCalister

8/24/15

Director

Date

Plan Review

Project: Miner Street Development
13 E. Miner St.
Planned Unit Development
P.C. #15-013 Round 1

To: Latika Bhide, Planning & Community Department

From: David Robb, Disability Services Coordinator
Department of Building and Health Services
(847) 368-5793 

Date: August 21, 2015

Re: Illinois Accessibility Code (IAC) Eff. April 1997
<http://www.illinois.gov/cdb/business/codes/pages/illinoisaccessibilitycode.aspx>
Federal Fair Housing Accessibility Guidelines Eff. March 13, 1991
<http://www.fairhousingfirst.org/fairhousing/requirements.html>

- 1) Petitioner shall comply with all requirements of the Illinois Accessibility Code (IAC) pertaining to Multistory Housing per IAC Section(s) 400.350, 400.360, and 400.310.
- 2) Petitioner shall design and construct three (3) Adaptable Dwelling Units [20% X 12 dwelling units = 2.4] per the requirements of IAC Section 400.350(e)(1-7) and 400.360(a through e).
- 3) Petitioner shall design and construct all common and public use areas on all floors (levels) utilizing subsections of IAC Section 400.310.
- 4) Petitioner shall be advised that all twelve dwelling units (100 percent of dwelling units in buildings with elevators) and all public and common use areas in the development are under jurisdiction of the Federal Fair Housing Accessibility Guidelines' Seven Requirements for Accessibility per Fair Housing Amendments Act, 42 U.S.C. §3601 et seq.
- 5) Petitioner shall design and construct all twelve individual dwelling unit entrances in compliance with IAC Section 400.310(j).

Sheet A5

- 6) Petitioner shall identify "Areas of Rescue Assistance" on all floors (levels) off grade as required in buildings with elevators per IAC Section 400.310(b)(4).

Sheets A7 and A8

- 7) See Comments: 1) through 6) above.

Sheets C5 and A9

- 8) See Comment: 1) above.

Miner Street Development

13 E. Miner Street

P.C. 15-013

August 26, 2015

- 1) Along Miner Street, the petitioner will be required to comply with the village downtown standards for sidewalks, street trees and site furnishings. Please provide a plan identifying the required streetscape enhancements.
- 2) The mechanical units must be fully screened with landscaping. Identify the species and height of the proposed evergreens located on the west elevation in the northwest corner.

PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT

7

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 15-013
 Petitioner: Frank Panzarino
 Owner: Frank Panzarino
 Contact Person: Frank Panzarino
 Address: 904 S. Edgewood Lane
Mt. Prospect, IL 60056
 Phone #: 847.630.2473
 Fax #: 630.332.8132
 E-Mail: padxco@gmail & adamevesalon@gmail.co

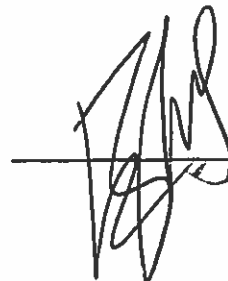
P.I.N.# 03-29-334-003-0000
 Location: 13 E Miner St, Arlington Heights, 60004
 Rezoning: Current: Proposed:
 Subdivision:
 # of Lots: Current: Proposed:
 PUD: ✓ For: Residential Building
 Special Use: For:
 Land Use Variation: For:
 Land Use: Current:
Proposed:
 Site Gross Area: 6,000 Sq. Ft
 # of Units Total: 12 (6 - 1's & 6 - 2's)
 1BR: 6 2BR: 3 3BR: 4 4BR: 6

(Petitioner: Please do not write below this line.)

- | | YES | NO | |
|----|-----------------|-----------------|---|
| 1. | <u>✓</u> | <u> </u> | COMPLIES WITH COMPREHENSIVE PLAN? |
| 2. | <u>N/A</u> | <u> </u> | COMPLIES WITH THOROUGHFARE PLAN? |
| 3. | <u>✓</u> | <u> </u> | VARIATIONS NEEDED FROM ZONING REGULATIONS?
(See below.) |
| 4. | <u> </u> | <u>✓</u> | VARIATIONS NEEDED FROM SUBDIVISION REGULATIONS?
(See below.) |
| 5. | <u> </u> | <u>✓</u> | SUBDIVISION REQUIRED? |
| 6. | <u>✓</u> | <u> </u> | SCHOOL/PARK DISTRICT CONTRIBUTIONS REQUIRED?
(See below.) |

Comments:

Please see attached.



Date

Planning Department Comments, Miner Street Development (PL15-013, 13 E. Miner Street (Panzarino), Round 1)

7. The property at 13 E. Miner Street is zoned B-5. Apartment Building or Multiple Family Dwellings (without first floor commercial) are not permitted in the B-5 district. A Land Use Variation is necessary. Petitioner must provide a written justification addressing the following criteria:
 - a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone.
 - b. The plight of the owner is due to unique circumstances.
 - c. The variation, if granted, will not alter the essential character of the locality.
8. A Preliminary and Final Planned Unit Development approval by the Village Board with recommendation from the Plan Commission is required.
9. According to the Village's Comprehensive Plan the subject site is designated as "Mixed Use". A residential development with no commercial component would not be consistent with the Comprehensive Plan.
10. The following variations are necessary:
 - a. Land Use Variation from Section 28-5.5-3, Permitted Uses Table, Residential, to allow Apartment Building or Multiple Family Dwellings;
Staff cannot support this variation as commercial space should be incorporated on the first level of the proposed building. This is an opportunity to enliven the streetscape on the north side of the Downtown. As proposed, a retail dead zone will be created mid-block. Also, the garage door would eliminate 3-4 on-street parking spaces. The number of spaces provided within the garage is not code compliant and the village will make parking spaces available for 13 cars.
 - b. Section 5.1-14.6, Required Minimum Yards, from the required combined side yard setback of 30 feet to allow 5.81 feet;
The petitioner must provide a written justification for this variation. Please note that preliminary building code review concludes that window openings are not allowed where exterior walls are less than 5 feet from the property line and for walls that are 5 to 10 feet from the property line, only 25% of the wall area may contain window openings. Additionally, there are concerns regarding safe egress routes to the public way from the proposed building exits. The windows on the east façade that are within 5 feet of the property line are not permitted. Since living spaces are required to provide a window, the floor plan must be redesigned.
 - c. Section 5.1-14.6, Required Minimum Yards, from the required rear yard of 30-feet for residential uses located above the first floor to allow 5 feet;
The Petitioner must provide a written justification as well as demonstrate that 5 feet is sufficient to accommodate servicing functions, exiting requirements, utilities and building and fire separation requirements.
 - d. Section 11.2-8, from the required two-way drive aisle width of 24 feet to allow 18 feet;
The Petitioner must provide a written justification to this variation. Parking spaces 1 and 2 appear difficult to navigate into.
 - e. Section 11.5-2, from the required 13 parking spaces to allow 10 spaces;
Staff cannot support this variation as the required parking can be accommodated within the North garage and commercial space incorporated on the first floor.
 - f. Section 6.12 Traffic Engineering Approval, from the requirement to provide a traffic study and parking analysis prepared by a qualified professional engineer to allow no study;
Because of the small scale of the project, staff is supportive of a variation from the requirement to provide a traffic study, however the petitioner must submit a written justification for the variation request.
 - g. Variation from Section 28-11.7, Schedule of Loading Requirements, to waive the required loading berth for the development.

Please provide a written justification to all the variations listed above. The justification must specifically address the following criteria:

- a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone.
- b) The plight of the owner is due to unique circumstances.
- c) The variation, if granted, will not alter the essential character of the locality.

11. The total code required parking for this site is calculated as:

Proposed Miner Development			
	# of Dwelling Units	Parking Required	Parking Proposed
1 Bedroom Units	6 units	6 Spaces (1.00/unit)	
2 Bedroom Units	6 units	7.5 Spaces (1.25/unit)	
TOTAL		13 Spaces	10 Spaces Reduced to 9 spaces with 1 accessible space
Surplus (Deficit)		(3 spaces)	

12. The Village can make the 13 required parking spaces for the residential development available in the North Garage. The first floor of the development should incorporate commercial space, not parking.
13. No accessible spaces are provided. This will reduce the number of parking spaces provided to 9. Parking spaces 1 and 2 appear to be difficult to navigate into, especially given the 18 foot drive aisle.
14. The developer should submit their plans to ComED as soon as possible, so they can start a formal review of providing services to the block as this issue needs to be resolved so that the location and dimensions of any ComEd easements is known. A Plat of Easement must be provided prior to the Plan Commission hearing.
15. The petitioner must provide a signed agreement with the adjacent property owners regarding utilities that run through the subject property and addressing the relocation of the utilities prior to the Plan Commission hearing.

Enright, Bill

From: Philip DeFrancesco <padxco@gmail.com>
Sent: Thursday, October 08, 2015 9:07 AM
To: Enright, Bill
Cc: adamevesalon@gmail.com; Phil DeFrancesco
Subject: 13 E Miner Development - Comments & Update
Attachments: Round 1 Commens.pdf; a front.pdf; a garage.pdf; a left.pdf; a plan.pdf; a rear.pdf; a right.pdf; Notice of Public Hearing.pdf

Good Morning Bill,

Hope all has been well. On behalf of Frank Panzarino, I wanted to go through and address the planning committee comments and concerns regarding the building coming in at 13 E Miner. For your review, attached you'll find the comments we worked off of and the revised plans for the building. The final attachment you'll find consists of the latest revisions to the letter we plan on mailing out. Please review the enclosed material and let us know your thoughts.

Regarding the attached Round 1 comments herein, here are Frank's responses:

7. In conducting a market analysis, moving forward with an apartment building (with the future hopes of converting and selling off as condos) with retail on the first floor will not provide nearly as attractive as a return then what we're proposing, an apartment building with 1st floor parking garage. If we were to move forward with the current zoning, these are the problems and risks we take on as developers and as a village, rather than building as proposed:
- The retail market is soft north of the tracks. This has been a problem and still continues to be a major concern and issue.
 - Vacant retail will drastically hurt the cash flow of the building, potentially making it a negative cash flow property. Vacant retail space will have a negative impact, not only on the consumers and residents, but will negatively effect Frank as the owner operator of the building.
 - With the high possibility that the retail space is vacant for a long time, eating up all the cash flow and more, could be a leading factor as to the building spinning into foreclosure. Then we'll have to deal with a distressed commercial sale in the area in which will make a drastically negative impression for the area.
 - No parking garage will higher the challenge of renting out the units,
 - No parking garage will call to accept lower rents
 - No parking garage will lower re-sale values when and if it ever comes time to convert the building and sell off the units individually.
 - No parking garage will have to call for Frank to have to ask for parking spaces in the parking garage. But even parking garage spaces were assigned to any of the units, most residents don't want to walk blocks to get to their car, especially in the wonderful winters we're faced with here in Chicago.
 - Vacant retail space on the first floor will not have a negative curb appeal and negative attraction to not only the building, but the area.
 - There continues to be vacant retail space all around this site, why add on to the vacant retail space.
 - Every month that space sits vacant on the first floor, thousands of dollars will be lost.
 - The area does not call nor need additional retail space.

8. This will be dropped off by Frank for your initial review.

9. With a first floor parking garage and residential floors above would constitute the building as mixed use.

10a. Similar to the responses given in #7 and #9.

10b. The existing site is a fill in site and approximately only 66' wide x 90' deep. Frank has worked the plans several times in order to maximize the value of the site, taking into consideration the easements that must be provided, with hopes to eventually turn it into a profitable site for all. The building use on the site would need relief from the zoning ordinance.

10c. The 5 foot rear yard will meet existing requirements for width of an egress path. The 5 feet are minimum depth of separation for fire separation. The proposed balconies and plans are recessed further back to accommodate this.

10d. We are redesigning the parking design to be more spacious for ingress and egress.

10e. We've worked and reconfigured the plans several times over to create and support as many many garage spaces possible. This is all that we can make happen taking into everything into account.

10f. Because of the small scale project and proposed on-site parking, and miner being a less traveled street, a traffic study is not a big concern.

10continued. This building, if granted, will not alter the essential character of the locality, it'll actually add tremendous, beautiful character. This building is in scale and proportion of those of the surrounding buildings and will have magnificent curb appeal.

11. As 10e states.

We greatly appreciate all the time, cooperation, and support you and the rest of the committee have provided and with some relief from the zoning ordinance(s), we will be able to create one beautiful and attractive building!

If you have any questions or if there is anything else you need, please let me know.

Thanks.

Philip DeFrancesco
President of Dapper Crown
P: 630.330.0313
F: 630.332.8132
E: philip@dappercrown.com
E: padxco@gmail.com
www.DapperCrown.com
Affiliated with Parkvue Realty

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Enright, Bill

From: Philip DeFrancesco <padxco@gmail.com>
Sent: Thursday, October 08, 2015 9:53 PM
To: Enright, Bill
Cc: adamevesalon@gmail.com; Phil DeFrancesco
Subject: 13 E Miner Department Comments & Responses

Good Evening Bill,

Per our trade of emails, here are the responses to the various departments.

Regarding the last few emails there were sent:

1. The left side of the building will be provided no later then Tuesday.
2. The 2 hard copies of the new plans (24 x 36) will be provided no later then Tuesday.
3. As of right now, there's no proposed change in brick color. If there would be any changes, it would be only one brick color, besides the stone.

Regarding the Building Department Code Comments (1)Summary:

1. The building will support an ambulance stretcher.
2. The habitable room has been eliminated, it will no longer be in the building.
3. We will have two-way communication throughout
4. The walls will have 1 hr fire resistance rating.
5. The floor assemblies separating dwelling units will have 1 hr fire resistance rating.
6. The location of the mechanical room is on the blue prints.
7. Occupant load as indicated.
8. An accessible means of egress path is provided.

Regarding the Building Department Code Comments (1A) Summary:

1. This was discussed with fire department and we'll revise plans will meet code.
2. We've moved the staircase to the back, allowing this to meet code.
3. Stairwells will be ADA compliant.

If you have any questions or if there is anything else you need, please let me know.

Engineering Department Summary:

Based on the conversation Frank had with you, Bill Enright, he will provide all of this information once an agreement is made with the zoning board.

Police Department Summary:

1. Nothing needed.
2. Nothing needed.
3. Nothing needed.
4. Nothing needed.
5. Nothing needed.
6. Flashing signals will be provided when cars are entering and exiting the building.
7. Panic button(s) will be installed in the parking garage, along with key fob/ card entrance doors that will only be available to residents. All doors will be secured.

Planning and Community Development Summary:

7. In conducting a market analysis, moving forward with an apartment building (with the future hopes of converting and selling off as condos) with retail on the first floor will not provide nearly as attractive as a return then what we're proposing, an apartment building with 1st floor parking garage. If we were to move forward with the current zoning, these are the problems and risks we take on as developers and as a village, rather than building as proposed:

- The retail market is soft north of the tracks. This has been a problem and still continues to be a major concern and issue.
- Vacant retail will drastically hurt the cash flow of the building, potentially making it a negative cash flow property. Vacant retail space will have a negative impact, not only on the consumers and residents, but will negatively effect Frank as the owner operator of the building.
- With the high possibility that the retail space is vacant for a long time, eating up all the cash flow and more, could be a leading factor as to the building spinning into foreclosure. Then we'll have to deal with a distressed commercial sale in the area in which will make a drastically negative impression for the area.
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- No parking garage will call to accept lower rents
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- Vacant retail space on the first floor will not have a negative curb appeal and negative attraction to not only the building, but the area.
- There continues to be vacant retail space all around this site, why add on to the vacant retail space.
- Every month that space sits vacant on the first floor, thousands of dollars will be lost.
- The area does not call nor need additional retail space.

8. This will be dropped off by Frank for your initial review.

9. With a first floor parking garage and residential floors above would constitute the building as mixed use.

10a. Similar to the responses given in #7 and #9.

10b. The existing site is a fill in site and approximately only 66' wide x 90' deep. Frank has worked the plans several times in order to maximize the value of the site, taking into consideration the easements that must be provided, with hopes to eventually turn it into a profitable site for all. The building use on the site would need relief from the zoning ordinance.

10c. The 5 foot rear yard will meet existing requirements for width of an egress path. The 5 feet are minimum depth of separation for fire separation. The proposed balconies and plans are recessed further back to accommodate this.

10d. We are redesigning the parking design to be more spacious for ingress and egress.

10e. We've worked and reconfigured the plans several times over to create and support as many many garage spaces possible. This is all that we can make happen taking into everything into account.

10f. Because of the small scale project and proposed on-site parking, and miner being a less traveled street, a traffic study is not a big concern.

10continued. This building, if granted, will not alter the essential character of the locality, it'll actually add tremendous, beautiful character. This building is in scale and proportion of those of the surrounding buildings and will have magnificent curb appeal.

11. As 10e states.

12. The additional parking in the North garage will be a benefit to the rest of the resides that will not have parking inside the building; however, due to the revised plans (exit), the building only has 7 parking spaces. Even if only each unit has 1 car, there's a shortage of a minimum of 5 parking spaces, which will already hurt rentals and possible re-sales. As discussed, even though we have these adequate spaces, the shortage of parking will still pose a problem. If we eliminate all garage parking, this will pose a great problem and put the building at serious financial risk.

13. Parking garage plan has been revised.

14. This is no longer needed.

Health Services Summary:

1. Building will comply with this code.
2. Building will comply with this code.
3. Building will comply with this code.
4. This is understood.
5. Building will comply with this code.
6. Building will comply with this code.

Planning and Community Development Continued Summary:

1. Building will comply with these standards.
2. Building will comply with these standards; however based on the ComEd request, the shrubs will be short.

Fire Department Summary:

1. FDC will be provided.
2. This will have to be confirmed. If one is not within distance, one will be installed.
3. Building will not be sprinkled, but will meet code.
4. Building will have alarm panel.
5. Knox box will be provided.
6. Egress path will meet code.
7. Exit access path will meet code.
8. Egress path leads to Miner St.

Public Works Summary:

1. Solution is in place and will be resolved. We will have this finalized in the near term.

Thanks.

Philip DeFrancesco
President of Dapper Crown
P: 630.330.0313
F: 630.332.8132

E: philip@dappercrown.com

E: padxco@gmail.com

www.DapperCrown.com

Affiliated with Parkvue Realty

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Enright, Bill

From: Enright, Bill
Sent: Friday, October 23, 2015 1:24 PM
To: 'Philip DeFrancesco'
Cc: adamevesalon@gmail.com
Subject: RE: 13 E Miner Development - Comments & Update
Attachments: 13 e miner pud.pdf

Phil/ Frank: please find attached second round comments from Planning, Health, Fire, and Building. I have not yet received the preliminary engineering plan so there may be comments on that from myself and Engineering. Please respond in writing to each comment referenced by department. I need your responses by Wednesday, October 28th. Also I need the preliminary Engineering Plan very soon so we have time to review. Please submit by Tuesday, October 27th.

Thank you.

Bill Enright

*Deputy Director Planning & Community Development
Village of Arlington Heights
33 S. Arlington Heights Road
Arlington Heights, IL 60005
847-368-5211*

From: Philip DeFrancesco [mailto:padxco@gmail.com]
Sent: Thursday, October 08, 2015 9:56 PM
To: Enright, Bill
Cc: adamevesalon@gmail.com; Phil DeFrancesco
Subject: Re: 13 E Miner Development - Comments & Update

Hi Bill,

In regards to the letter, I've gone through and revised per your direction. Please let me know if this is sufficient to print and mail out.

If you have any questions or if there is anything else you need, please let me know.

Thanks.

Philip DeFrancesco
President of Dapper Crown
P: 630.330.0313
F: 630.332.8132
E: philip@dappercrown.com
E: padxco@gmail.com
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Planning and Community Development

Round 2 Comments

PC #15-013: 13 E . Miner Street Preliminary PUD

1. To reiterate, staff does not support the Land Use Variation to the Permitted Use Table to allow a residential development. Village code requires first floor commercial space in downtown. The garage proposed is only 7 spaces, whereas 14 are required. The Village can make available the required 14 spaces in the north garage at the monthly fee rate.
2. The developer shall be required to obtain monthly residential permits in the north garage for any required parking that is not provided on site.
3. No fences (other than temporary construction fences), shall be permitted on the property side or rear yards.
4. An ingress and egress easement shall be required along the east side of the Adam and Eve property to allow for access for the 13 E .Miner Street building out to Miner Street. Said easement document shall be submitted for Village review as part of the Final PUD submittal.
5. As part of Final PUD review, the petitioner shall submit a detailed to scale site plan of the corridor between the Adam and Eve building and the proposed 13 E Miner building indicating how garbage corrals will be provided for the Adam and Eve building and Eddies Restaurant. Currently the location of the garbage toters may interfere with the required exiting for the 13 E Miner development. An easement may be required to allow for refuse toters so that they do not block access to and from 13 E Miner.
6. As part of Final PUD submittal and review, the petitioner shall submit a construction staging plan and a timeline for construction.
7. As part of Final PUD submittal and review, the petitioner shall submit final engineering plans including detention calculations, details for the Miner Street sidewalk/streetscape and location and cross sections for utilities.
8. As part of Final PUD submittal and review, the petitioner shall demonstrate that there are agreements with the adjacent property owners for the relocation of existing utilities that traverse the 13 E Miner site.
9. As part of Final PUD submittal and review, the petitioner shall submit a Plat of Easement signed by ComEd and any other utility companies requiring use of the proposed 5 foot wide utility easement.

Memo

To: Bill Enright, Deputy Director of Planning & Community Development
From: Jeff Bohner, Health Officer
Date: October 19, 2015
Re: 13 E. Miner, P.C. #15-013

The Environmental Health Division has no further comments- please see the attached comments from the Disability Services Coordinator.

RECEIVED

OCT 20 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Plan Review

Project: Miner Street Development
13 E. Miner St.
Planned Unit Development
P.C. #15-013 Round 2

To: Bill Enright, Planning & Community Department

From: David Robb, Disability Services Coordinator
Department of Building and Health Services
(847) 368-5793 

Date: October 19, 2015

Re: Illinois Accessibility Code (IAC) Eff. April 1997
<http://www.illinois.gov/cdb/business/codes/pages/illinoisaccessibilitycode.aspx>
Federal Fair Housing Accessibility Guidelines Eff. March 13, 1991
<http://www.fairhousingfirst.org/fairhousing/requirements.html>

Sheets A7, A8, and A9

- 1) The "Future Accessible Units" on the second, third, and fourth floors are stacked one above each other. This configuration does not comply with the Illinois Accessibility Code requirement to disperse the accessible or adaptable dwelling units in a variety of sizes and locations throughout the building, per IAC Section 400.350(d).
- 2) The remaining nine dwelling units are under jurisdiction of the Federal Fair Housing Act's Accessibility Guidelines. These nine dwelling units lack usable doors and usable bathrooms per 42 United States Code (USC) §3601 et seq.

October 16, 2015

To: Bill Enright, Planning & Community Development

From: Deb Pierce, Plan Reviewer *DP*

Re: PC #15-013; 13 E Miner St. PUD

Building Code Comments

- 1-2. Okay
3. Provide the proposed UL Design number for the 1-hour rated fire partitions.
4. Provide the proposed UL Design number for the 1-hour rated floor assemblies.
5. Label the elevator mechanical room on the plans. Plans only indicate mechanical room, and show two.
6. The occupant load is not shown on the plans.
7. This review recognizes the relocation of the rear stairwell. Provide the travel distance to the public way.
8. Identify each unit.

RECEIVED
OCT 16 2015
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Fire Notes
13 East Miner

Round 2.1 (10/19/15)

1. The Exit Discharge issue, as revised, with an unimpeded easement access thru the adjacent property to the West is acceptable. The drawing shows a gate there now, which will have to be removed. My understanding is that this has already been agreed upon.
2. The occupancy load has been estimated by us as 44 people. The minimum required width for this volume is 44 inches, so the 5 foot dimension as specified on the drawing is plenty. This dimension holds only where the walls have a minimum 1 hour fire rating, and no openings. Where windows are present, as exists towards the front of the West elevation, the egress width must be at least 10 feet. However, the easement through the neighboring property also satisfies this requirement. (IBC 2009 – 1027.5)

Enright, Bill

From: Philip DeFrancesco <padxco@gmail.com>
Sent: Monday, October 26, 2015 7:31 PM
To: Enright, Bill
Cc: adamevesalon@gmail.com; Phil DeFrancesco
Subject: Re: 13 E Miner Development - Comments & Update

Good Evening Bill,

Hope all is well. In going through the 2nd round of comments, here are Frank's 2nd round of responses per department:

Planning and Community

1. We understand this variation; however we still do not see the value of the retail on the first floor over having a parking garage. From financial and risk standpoints, it's only Frank that carries this. And with this, it makes most financial sense and less risk for Frank to move forward with the development with garage parking on the first floor, rather than retail.

2. Agreed

3. Agreed

4. Agreed

5. Agreed with Adam and Eve building providing garbage corrals and toters for the development of 13 E Miner.

However, Dis-Agree with Adam and Eve providing garbage corrals and toters to Eddies Restaurant and will drastically interfere with the development of 13 E Miner. Eddies Restaurant, as he has been reminded numerous times before and village has been made aware of, is responsible to provide his own garbage corral and toters within his own premises; however has refused to do so til this day. (has also been reminded by Theresa and Shawn from the Health Department)

6. Agreed

7. Agreed

8. Agreed

9. Agreed

Building and Health Services

1. Architect is re-configuring blue prints

2. Architect is re-configuring blue prints

Plan Reviewer

3. To be determined by Architect
4. To be determined by Architect
5. Agreed
6. Plans being revised by Architect to show this
7. The travel distance from rear stairwell and public way is less than 200 feet.
8. Plans being revised by Architect to show this

Fire Department

1. Plans are not to have the gate removed; however can be easily opened and will not be locked.

If you have any questions or if there is anything else you need, please let me know.

Thanks.

Philip DeFrancesco
President of Dapper Crown
P: 630.330.0313
F: 630.332.8132
E: philip@dappercrown.com
E: padxco@gmail.com
www.DapperCrown.com
Affiliated with ParkVue Realty

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----- Original Message -----

From: "Enright, Bill" <benright@vah.com>
To: "Philip DeFrancesco" <padxco@gmail.com>
Cc: "adamevesalon@gmail.com" <adamevesalon@gmail.com>
Sent: 10/23/2015 1:23:45 PM
Subject: RE: 13 E Miner Development - Comments & Update

Phil/ Frank: please find attached second round comments from Planning, Health, Fire, and Building. I have not yet received the preliminary engineering plan so there may be comments on that from myself and Engineering. Please respond in writing to each comment referenced by department. I need your responses by Wednesday, October 28th. Also I need the preliminary Engineering Plan very soon so we have time to review. Please submit by Tuesday, October 27th.



JW DESIGNS
JWDESIGNS@GMAIL.COM

FOUR STORY BUILDING FOR:
FRANK PANZARINO
13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

DATE
10-23-2015

JOB #
SHEET #
RENDERING



Item: 608-614 N. Haddow Ave. - PC#15-022

Department: Planning & Community Development

Requested Action

Preliminary Plat of Consolidation to consolidate the property at 608 and 614 N. Haddow Avenue.

Variations Required

1. A 6.8 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (garage/workshop) from 15 feet to 21.8 feet.
2. A 6.4 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (studio) from 15 feet to 21.4 feet.
3. A 5.8 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (playhouse) from 15 feet to 20.8 feet.
4. A 584 square foot variation from Chapter 28, Section 6.5-7 for a 884 square foot accessory structure for a two story studio where the maximum allowed is 300 square feet.
5. A 702 square foot variation from Chapter 28, Section 6.5-7 for a 1,422 square foot accessory structure for a two story detached garage where the maximum allowed is 720 square feet.
6. A 197 square foot variation from Chapter 28, Section 6.5-5 (Percentage of Rear Yard Occupied) to allow 1,717 square feet of the required rear yard to be occupied where the maximum allowed is 1,520 square feet (40%).

Recommendation

The Staff Development Committee recommends approval of the Preliminary Plat of Consolidation and approval of the following variation for the playhouse:

1. A 6.0 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an

increase to the maximum height of an accessory structure (playhouse) from 15 feet to 20.8 feet.

Further, the Staff Development Committee recommends denial of the other variations as the petitioner has not justified the variations based on the criteria for granting said variations. Said development is conditioned upon the following:

1. Submittal of a Final Plat of Consolidation.
2. A Design Commission application must be submitted for the proposed addition to the existing home.
3. If the variations are approved, then additional landscaping shall be provided along the rear property line to screen the accessory structures.
4. If the variations are approved, then the variations shall only apply to the structures requested with this petition.
5. Compliance with all Federal, State and Village ordinances and policies.

ATTACHMENTS:

Description	Type
Staff Report	Board or Commission Report
Legal Notification	Correspondence
Location Map	Exhibits
Plat & Sub Minutes	Minutes
Preliminary Plat	Exhibits
Survey, Site Plan, Elevations	Exhibits
Project Summary & Petitioner Justification for Variances	Exhibits
Department Comments & Petitioners Response	Exhibits

STAFF DEVELOPMENT COMMITTEE REPORT

To: Plan Commission
Prepared By: Bill Enright, Deputy Director Planning and Community Development
Meeting Date: November 5, 2015
Date Prepared: October 29, 2015
Project Title: Lot Consolidation for 608-614 N. Haddow Avenue
Address: 608-614 N. Haddow Avenue

Background Information

Petitioner: Robert Flubacker
Address: Flubacker Architects
1835 Rohlwing Road
Arlington Heights, Illinois 60008

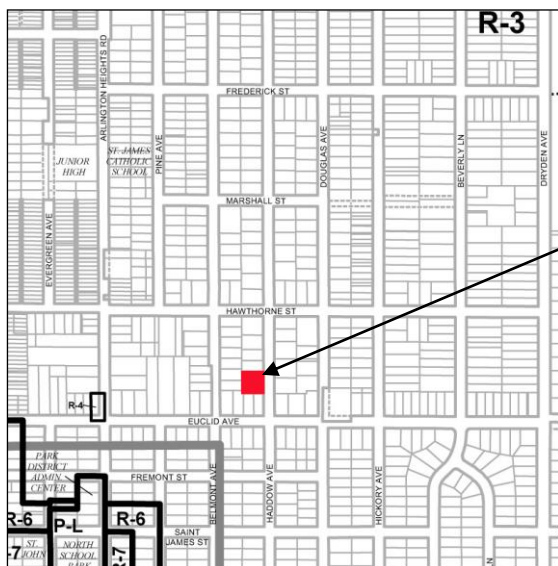
Existing Zoning: R-3, One Family Dwelling District

Requested Action:

- Preliminary Plat of Consolidation to consolidate the property at 608 and 614 N. Haddow Avenue.

Variations Required:

- A 6.8 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (garage/workshop) from 15 feet to 21.8 feet.
- A 6.4 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (studio) from 15 feet to 21.4 feet.
- A 5.8 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (playhouse) from 15 feet to 20.8 feet.
- A 584 square foot variation from Chapter 28, Section 6.5-7 for a 884 square foot accessory structure for a two story studio where the maximum allowed is 300 square feet.
- A 702 square foot variation from Chapter 28, Section 6.5-7 for a 1,422 square foot accessory structure for a two story detached garage where the maximum allowed is 720 square feet.
- A 197 square foot variation from Chapter 28, Section 6.5-5 (Percentage of Rear Yard Occupied) to allow 1,717 square feet of the required rear yard to be occupied where the maximum allowed is 1,520 square feet (40%).



Subject Site

Surrounding Properties:

	Zoning	Use	Comprehensive Plan
North	R-3, One Family Dwelling District	Single Family Residence	Single Family Detached
South	R-3, One Family Dwelling District	Single Family Residence	Single Family Detached
East	R-3, One Family Dwelling District	Single Family Residence	Single Family Detached
West	R-3, One Family Dwelling District	Single Family Residence	Single Family Detached

Project Summary

The subject site consists of two 66' wide parcels by 132 feet deep, located on the west side of Haddow Avenue, north of Euclid Avenue. The total area of the subject site is 17,425 square feet. There is an existing two story home located on 614 N. Haddow Avenue and 608 N. Haddow is vacant with landscaping. The two parcels at 608 and 614 N. Haddow Avenue are proposed to be consolidated into a single 132 foot wide lot with the intent to construct four accessory structures and a small addition to the rear of the home. The four accessory structures include: 1) a two story studio/workshop; 2) a two story detached garage; 3) a play house, and 4) a pergola in between the new garage and the studio. Six total variations are required in order to construct the accessory structures as requested.

Pursuant to Chapter 28, Section 6.5-4, no accessory structure shall be constructed prior to the time of construction of the principal building to which it is accessory, therefore in order to construct an accessory structure on the 608 N. Haddow lot (which is vacant with no principle structure), the lots need to be consolidated.

Per Chapter 29, Section 104b, No person shall consolidate residentially zoned lots which come under common ownership after November 1, 2003. Prior to 2001, the two lots were under common ownership, however in 2001 the lot at 608 S. Haddow was sold. The lots are now under common ownership, but that occurred more recently than November 1, 2003.

(Note: In 2001, a previous owner of 608 N. Haddow did pursue a variation from the Zoning Board of Appeals in order to make 608 N. Haddow Avenue a buildable lot. The variation requested from ZBA was for a substandard 66 foot wide lot with an area of 8,712 whereas code requires 70 feet in width and 8,750 in area. The request was denied)

As part of the review process, Staff evaluated the relationship of the new lots to the Zoning regulations (see Table 1).

Table 1: Analysis

Zoning Requirements	Minimum Lot Area		Minimum Lot Width		Front Yard Setback	Side Yard Setback	Rear Yard Setback	Corner Side Yard Setback
Typical R-3 Lot	Corner 9,900 SF	Standard 8,750 SF	Corner 90 FT	Standard 70 FT	Block Average (Must be calculated)	10% of Lot width (at least 7 feet)	30 FT	Average or 10% of lot width
Proposed Lot (608 & 614 N. Haddow)	N/A	17,424 SF	N/A	132 FT	N/A	13.2 feet	48 feet	N/A
624 N. Haddow	N/A	17,424 SF	N/A	132 FT	N/A	N/A	N/A	N/A
626 N. Haddow	N/A	11,352 SF	N/A	86 FT	N/A	N/A	N/A	N/A
630 N. Haddow	N/A	14,784	N/A	112 FT	N/A	N/A	N/A	N/A

Zoning and Comprehensive Plan

Pursuant to the Village's Comprehensive Plan, the properties are designated Single Family Detached. The proposed consolidation would be consistent with the Village's Comprehensive Plan. There are currently four zoning lots that front on the west side of Haddow Avenue between Euclid and Hawthorn Street. Of those lots, one lot is 132 feet wide, one is 112 feet wide and one is 86 feet wide. If the consolidation was approved, the subject lot would be 132 feet in width. The proposed lot consolidation meets the R-3 standards and is consistent with the existing lots on the west side of Haddow Avenue relative to lot area and width (see Table 1 above). Per Chapter 28, Section 5.1-3.6, a minimum side yard of ten percent of the lot width is required. Therefore for 132 foot wide lots, a side yard of 13.2 feet is required. The existing home at 614 N. Haddow is setback 13.2 feet from the north property line to the proposed addition.

In addition to consolidating, the petitioner is proposing four accessory structures, three of which require variations. The petitioner is proposing a playhouse, studio, detached garage and a pergola. Pursuant to Chapter 28, Section 6.5-5, accessory structures may not occupy more than 40% of the required rear yard. The proposed four structures exceed the 40%. Therefore the petitioner requests the following variations:

- A 197 square foot variation from Chapter 28, Section 6.5-5 (Percentage of Rear Yard Occupied) to allow 1,717 square feet of the required rear yard to be occupied where the maximum allowed is 1,520 square feet (40%).

(Note: the petitioners plans indicate that a pergola is not an accessory structure therefore a variation for the 40% rear yard is not required, however this is not correct as a pergola by definition an accessory structure)

Playhouse (Accessory Structure A)

The petitioner is proposing a 296 square foot play house that is 21 feet high with the cupola. Therefore the petitioner requests the following variation:

- A 5.8 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (playhouse) from 15 feet to 20.8 feet.

Studio (Accessory Structure B)

The petitioner is proposing a two story studio with a basement. Therefore the petitioner requests the following variations:

- A 6.4 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (studio) from 15 feet to 21.4 feet.
- A 584 square foot variation from Chapter 28, Section 6.5 for a 884 square foot accessory structure for a two story studio where the maximum allowed is 300 square feet.

Garage/Workshop (Accessory Structure C)

The petitioner is proposing a new two story detached garage with a workshop on the second level. Therefore the petitioner requests the following variations:

- A 6.8 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (garage/workshop) from 15 feet to 21.8 feet.
- A 702 square foot variation from Chapter 28, Section 6.5 for a 1,422 square foot accessory structure for a two story detached garage where the maximum allowed is 720 square feet.

The Petitioner provided a response to the variation criteria listed below. If said request is approved by the Village Board, Staff would recommend that these variations only apply to the structures requested with this petition, while all new structures would need to comply with current code standards.

- **The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and**
- **The plight of the owner is due to unique circumstances; and**
- **The variation, if granted, will not alter the essential character of the locality.**

Staff is not supportive of the variations sought except for the height of the playhouse. The petitioner has not provided a hardship to justify the multiple variations requested. In addition the Village recently in 2011, and prior to that in 2003 and 2005 amended the zoning ordinance with respect to accessory structures in order to find an appropriate balance between these type of structures and the preservation of open spaces.

Building, Site Plan, and Landscaping

An addition to the existing home shall require a Design Commission application to be submitted and approved prior to the issuance of a building permit. The petitioner is proposing a code compliant addition that is approximately 375 square feet as part of the project. The addition is located in the rear of the home in the northwest corner. It is recommended that if the three accessory structures are approved, that landscaping be provided along the west property line in order to buffer the proposed accessory structures.

Traffic & Parking

According to the Village's Subdivision Control Regulations and Zoning Ordinance, a traffic study is required for residential developments that have at least 100 dwelling units or more. Since the Petitioner is only proposing a two-lot development a formal traffic study by a certified Traffic Engineer is not required.

Recommendation

The Staff Development Committee recommends approval of the Preliminary Plat of Consolidation and approval of the following variation for the playhouse: A 5.8 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (playhouse) from 15 feet to 20.8 feet.

Further the Staff Development Committee recommends denial of the other variations as the petitioner has not justified the variations based on the criteria for granting said variations.

Said development is conditioned upon the following:

1. Submittal of a Final Plat of Consolidation.
2. A Design Commission application must be submitted for the proposed addition to the existing home.
3. If the variations are approved, then additional landscaping shall be provided along the rear property line to screen the accessory structures.
4. If the variations are approved, then the variations shall only apply to the structures requested with this petition.
5. Compliance with all Federal, State and Village ordinances and policies.

October 29, 2015

Bill Enright, Deputy Director of Planning and Community Development

C: Randy Recklaus, Village Manager
All Department Heads

NOTICE OF
PUBLIC HEARING
NOTICE IS HEREBY
GIVEN THAT THE PLAN
COMMISSION OF THE
VILLAGE OF ARLINGTON
HEIGHTS WILL CONDUCT
A PUBLIC HEARING ON
THURSDAY, NOVEMBER
5, 2015, AT 7:30 P.M. in the
Municipal Building, 33
South Arlington Heights
Road, Arlington Heights, Il-
linois, to consider Petition
No. 15-022, A Plat of Resub-
division of 608-614 N. Had-
dow, Arlington Heights, IL,
legally described as:

Parcel 1: The North 66 feet
of the South 297 feet of the
East 165 feet of Block 11 in
D.W. Miller's Arlington
Heights Acre Addition in the
East Half of the Northwest
Quarter of Section 29, Town-
ship 42 North, Range 11 East
of the Third Principal Me-
ridian, in Cook County, Illi-
nois.

Parcel 2: The North 66 feet
of the South 231 feet of the
East 165 feet of Block 11,
measured from the center of
street, (except the West 9
feet of the South 17.7 feet of
said tract), in D. W. Miller's
Arlington Heights Acre Ad-
dition in the East half of the
Northwest Quarter of Sec-
tion 29, Township 42 North,
Range 11 East of the Third
Principal Meridian, in Cook
County, Illinois.

As part of said request the
petitioner is requesting the
following variations from
the Municipal Code:

? A 6.8 foot variance from
Chapter 28, Section 6.5-6
(Accessory Buildings) to al-
low an increase to the maxi-
mum height of an accessory
structure (garage/work-
shop) from 15 feet to 21.8
feet.

? A 6.4 foot variance from
Chapter 28, Section 6.5-6
(Accessory Buildings) to al-
low an increase to the maxi-
mum height of an accessory
structure (studio) from 15
feet to 21.4 feet.

? A 6.0 foot variance from
Chapter 28, Section 6.5-6
(Accessory Buildings) to al-
low an increase to the maxi-
mum height of an accessory
structure (playhouse) from
15 feet to 21 feet.

? A 614 square foot variation
from Chapter 28, Section 6.5-
7 for a 914 square foot acce-
ssory structure for a two
story studio where the maxi-
mum allowed is 300 square
feet.

? A 726 square foot variation
from Chapter 28, Section 6.5-
7 for a 1,446 square foot ac-
cessory structure for a two
story detached garage
where the maximum al-
lowed is 720 square feet.

? A 197 square foot variation
from Chapter 28, Section 6.5-
5 (Percentage of Rear Yard
Occupied) to allow 1,717
square feet of the required
rear yard to be occupied
where the maximum al-
lowed is 1,520 square feet
(40%).

And other variations as de-
termined necessary by the
Plan Commission.

All persons desiring to be
heard shall be given the op-
portunity to be heard.
Should any individual need
auxiliary aid or service,
such as a sign language
interpreter or materials in
alternative formats, please
contact the Health Depart-
ment at 33 South Arlington
Heights Road, Arlington
Heights, Illinois 60005, (847)
368-5760, TDD# (847) 368-
5794.

Joe Lorenzini, Chairman
ARLINGTON HEIGHTS
PLAN COMMISSION
Published in Daily Herald
October 21, 2015 (4422810)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Deer Park, Des Plaines, South Elgin, East Dundee, Elburn, Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Geneva, Gilberts, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Villa, Lake in the Hills, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Mt. Prospect, Mundelein, Palatine, Prospect Heights, Rolling Meadows, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake park, Schaumburg, Sleepy Hollow, St. Charles, Streamwood, Tower Lakes, Vernon Hills, Volo, Wauconda, Wheeling, West Dundee, Wildwood, Sugar Grove, North Aurora

County(ies) of Cook, Kane, Lake, McHenry

and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the **DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 7150, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published October 21, 2015 in said **DAILY HERALD**.

IN WITNESS WHEREOF, the undersigned, the said **PADDOCK PUBLICATIONS, Inc.**, has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY

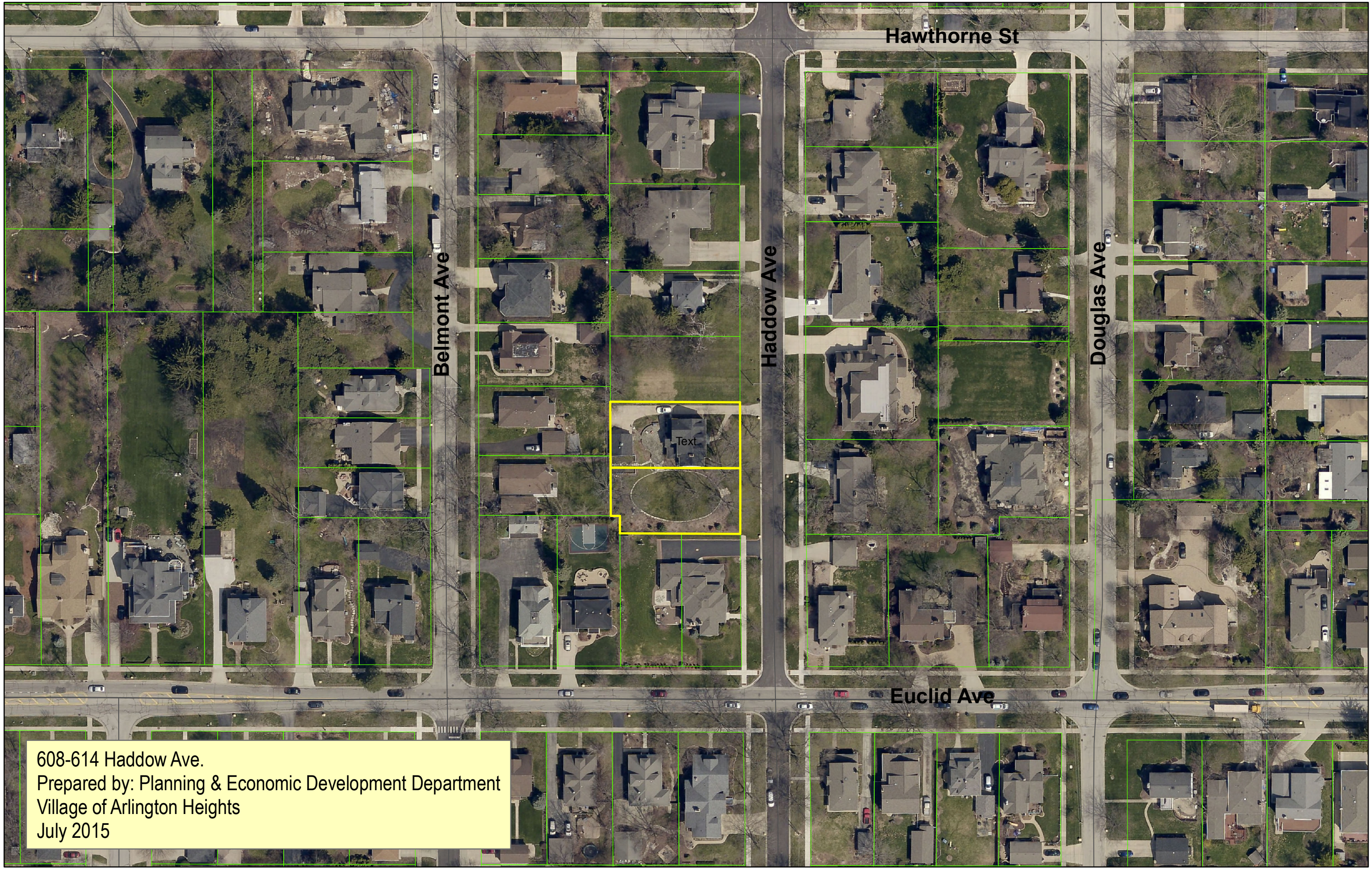
Laurel Baltz
Authorized Agent

Control # 4422810

RECEIVED

OCT 26 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



Hawthorne St

Belmont Ave

Haddow Ave

Douglas Ave

Euclid Ave

Text

608-614 Haddow Ave.
Prepared by: Planning & Economic Development Department
Village of Arlington Heights
July 2015

**REPORT OF THE PROCEEDINGS OF
THE PLAT & SUBDIVISION COMMITTEE**
OF THE VILLAGE OF ARLINGTON HEIGHTS PLAN COMMISSION
HELD AT VILLAGE HALL ON:

July 22, 2015

Project Title: Lot Consolidation for 608-614 N. Haddow Avenue

Address: 608-614 N. Haddow Avenue

Petitioner: Robert Flubacker

Address: 1835 Rohlwing Road
Arlington Heights, Illinois 60008

Requested Action:

- 1) Preliminary Plat of Consolidation to consolidate the property at 608 and 614 N. Haddow Avenue.

VARIATIONS IDENTIFIED:

- A 6.8 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (garage/workshop) from 15 feet to 21.8 feet.
- A 6.4 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (studio) from 15 feet to 21.4 feet.
- A 6.0 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (playhouse) from 15 feet to 21 feet.
- A 614 square foot variation from Chapter 28, Section 6.5-7 for a 914 square foot accessory structure for a two story studio where the maximum allowed is 300 square feet.
- A 726 square foot variation from Chapter 28, Section 6.5-7 for a 1,446 square foot accessory structure for a two story detached garage where the maximum allowed is 720 square feet.
- A 197 square foot variation from Chapter 28, Section 6.5-5 (Percentage of Rear Yard Occupied) to allow 1,717 square feet of the required rear yard to be occupied where the maximum allowed is 1,520 square feet (40%).

Attendees: Bob Flubacker, Architect
Terry Kurzynski, Property Owner
Bruce Green, Plan Commissioner
John Sigalos, Plan Commissioner
Lynn Jensen, Plan Commissioner
Latika Bhide, Development Planner

Project Summary

The subject site consists of one zoning lot comprised of two 66 foot wide parcels. The two parcels are 132 feet deep. The site is located on the west side of Haddow Avenue, north of Euclid Avenue. The total area of the subject site is 17,425 square feet. There is an existing two story home located on 614 N. Haddow Avenue and 608 N. Haddow is vacant with landscaping. The two parcels at 608 and 614 N. Haddow Avenue are proposed to be consolidated into a 132 foot wide lot. The petitioner's intent is to consolidate the two parcels and construct three accessory structures and a small addition to the rear of the home.

If approved, the property owner at 614 N. Haddow would construct three accessory structures. The petitioner will relocate the existing garage to the south and add a second story, construct a two story detached garage and construct a play house. The proposed action, if approved, would allow the Petitioner to construct an accessory structure on 608 N. Haddow. Pursuant to Chapter 28, Section 6.5-4, no accessory structure shall be constructed prior to the time of construction of the principal building to which it is accessory. The property was under common ownership prior to 2001; however, in 2001 the lot to the south (608 S. Haddow) was sold and the two parcels were no longer under common ownership. Per Chapter 29, Section 104b, No person shall consolidate residentially zoned lots which come

under common ownership after November 1, 2003. In 2001, a previous owner of 608 N. Haddow did pursue a variation from the Zoning Board of Appeals in order to make 608 N. Haddow Avenue a buildable lot. The variation requested from ZBA was for a substandard 66 foot wide lot with an area of 8,712 where code requires 70 feet in width and 8,750 in area. The request was denied.

In addition to consolidating, the petitioner is proposing four accessory structures, three of which require variations. The petitioner is proposing a playhouse, studio, detached garage and a pergola. Pursuant to Chapter 28, Section 6.5-5, accessory structures may not occupy more than 40% of the required rear yard. The proposed four structures exceed the 40%.

Therefore the petitioner requests the following variations:

- A 197 square foot variation from Chapter 28, Section 6.5-5 (Percentage of Rear Yard Occupied) to allow 1,717 square feet of the required rear yard to be occupied where the maximum allowed is 1,520 square feet (40%).

Playhouse (Accessory Structure A)

The petitioner is proposing a 296 square foot play house that is 21 feet high with the cupola. Therefore the petitioner requests the following variation:

- A 6.0 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (playhouse) from 15 feet to 21 feet.

Studio (Accessory Structure B)

The petitioner is proposing to relocate the existing garage and create a two story studio with a basement. Therefore the petitioner requests the following variations:

- A 6.4 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (studio) from 15 feet to 21.4 feet.
- A 614 square foot variation from Chapter 28, Section 6.5 for a 914 square foot accessory structure for a two story studio where the maximum allowed is 300 square feet.

Garage/Workshop (Accessory Structure C)

The petitioner is proposing a new two story detached garage with a workshop on the second level. Therefore the petitioner requests the following variations:

- A 6.8 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (garage/workshop) from 15 feet to 21.8 feet.
- A 726 square foot variation from Chapter 28, Section 6.5 for a 1,446 square foot accessory structure for a two story detached garage where the maximum allowed is 720 square feet.

Meeting Discussion:

B. Flubacker explained the project. He said that his client owns the vacant lot next to a developed lot and would like to build a series of accessory structures. He stated that the most expeditious way to do this was to seek a lot consolidation versus seeking a variation to build an accessory structure on a vacant lot without a principal structure. He explained what the three proposed accessory structures were. The southernmost structure is a play house.

B. Flubacker stated that for the playhouse he needed a variation for the side lot setback and building height. He said that they are asking for the setback for the playhouse to be 3 feet and the height to the top of the cupola was 21 feet. He said that Structure B is the relocated 2-car garage. The lower level basement would have multiple uses, but primarily was a studio for garage band so as to provide sound protection from the band for neighbors. He said that there may also be equipment for the geothermal system for the property. He said that the main level would be used

mainly as a workshop. He stated that staff had reviewed this as a non-descript accessory structure (shed), but it was intended as a garage. **Commissioner Green** asked where the garage doors were located. **B. Flubacker** said that the sliding doors were located on the north side which opened on to the courtyard and there was another set of doors for the main garage, so you can drive from one garage to another. He stated that this (space) was to work on specialty automobiles. He stated that the space would also be used as a furniture shop. The upstairs would be used as a painting studio. The pergola is outdoor living space and to protect from the elements. Finally, there is a three car garage with a storage area above which would be used to store parts and equipment for the workshop or band.

L. Bhide summarized the request. She explained the reason for requesting a lot consolidation. She described the accessory structures and the variations that were being requested. She stated that the Staff Development Committee reviewed the request, but was requesting additional information before making a recommendation. She said that they needed the justification for the variations, a final plat of consolidation, a Design Commission application for the addition to the house as well as information on services to the accessory structures as well as the proposed uses.

L. Jensen asked for clarification regarding when the lots were in common ownership. **L. Bhide** clarified that the lots were in common ownership prior to 2001. **L. Jensen** asked why the request for a variation was denied by the Zoning Board of Appeals in 2001. **L. Bhide** stated that per the Ordinance, lots with less than minimum area and width can be built upon if such parcel fronts on a street which has a majority of the developed lots are either less than the minimum area or width, or both required by the District. Since the lots along Hadow are larger (in lot area and lot width) than required by the District, a variation was required but denied. **L. Jensen** asked about the variation criteria. He questioned how the criteria regarding reasonable return would be answered. **B. Flubacker** stated that feels that this does not apply to single family owner occupied property. **L. Jensen** asked what response staff was you expecting as a response. **L. Bhide** said that if an accessory structure was not permitted to be built, then it could be stated that a reasonable return was not received. **B. Green** said that he felt that the plight of the owner was due to unique circumstances. He asked why the play house could not be moved to meet the setback. **L. Bhide** stated that a setback variation for the play house was not cited, but that she would confirm. **B. Green** asked if they had thought about attaching the structures. **T. Kurzynski** stated that he had bought the lots in 2012. They had thought about buying the lot to the north, but the owner was not interested in selling. **B. Flubacker** said that the workshop structure is more garage like than a shed. **L. Bhide** stated that the Ordinance defined a garage as a building intended to be used for the parking and storage of vehicles. **B. Green** said that you have to be careful how the structures are labelled – he said that for example, two houses are not permitted on one lot. **L. Bhide** asked for clarification and the petitioner stated that the intention was not to have a vehicle all the time, just sometimes when it was being worked on. **B. Flubacker** said that the area variations were required only because the second stories were added. **B. Green** stated that the concern will be that these will become apartments – what these have the potential to become. He said that as an architect he thought that the addition of the second floor and windows will be a perfect complement (to the house). **B. Flubacker** said that one of the reasons for the proposed roofline is the high pitched roofs in that district (area) and a 4:12 roof pitch would not be compatible with the neighborhood. He stated that the other houses behind this house are 5-6 foot higher than this house. Therefore, the impact of this roofline would be similar to a 15 foot roof.

B. Flubacker said that (for structures B and C) the location was compliant, but they needed a variation from the required area and height. **B. Green** said that personally he would prefer the rooflines to (for the accessory structures) to match the house. **T. Kurzynski** stated that the neighbors are excited about the proposed improvements. **B. Green** asked how some of the variations could be reduced, particularly the footprints. **J. Sigalos** asked about the utilities to the structures. The petitioner stated that all the utilities (electricity, water, etc.) would be brought from the house. **B. Flubacker** said that there was a garden sink/hose bib behind the playhouse. **T. Kurzynski** stated that the play house would have heated floors, not gas, but the garage would be heated. **J. Sigalos** reiterated comments regarding what the structures could be converted into.

B. Green stated that a positive for the neighborhood was there was a vacant lot with landscaping. **L. Jensen** asked what information staff needed prior to making a recommendation. **L. Bhide** stated that staff was asking for the justifications for the variations and wanted to know what the proposed uses were for the structures. **B. Flubacker** stated that they also looked at adding to the house on the south side, but the existing configuration makes it difficult. **T.**

Kurzynski said that because the neighboring houses were 5-6 feet higher, the basement in his house floods and he would have to do some drainage work also.

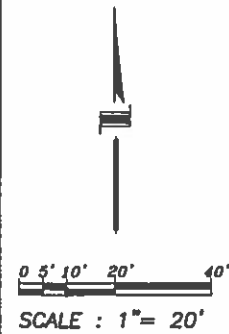
Recommendation:

The Plat & Subdivision Committee said the proposed improvements can work when both the lots were considered and said that the petitioner should move forward.

**Bruce Green, Chair
PLAT & SUBDIVISION COMMITTEE
Latika Bhide, Recorder**

PRELIMINARY NOT TO BE RECORDED

KURZYNSKI RESUBDIVISION



D. W. Miller's Arlington Heights Addition
Document No. 3188548

Block 11

OWNER INFORMATION
EUGENE E. ROTH
DOROTHY L. ROTH

OWNER INFORMATION
JEAN LATZ GRIFFIN

OWNER INFORMATION
JEFFREY W. SCHWARZ

OWNER INFORMATION
TERRY A. KURZYNSKI
TANIS J. KURZYNSKI

Parcel 1
Kurzynski Resubdivision
Lot 1

17,265 square feet

Parcel 2

OWNER INFORMATION
SYLVIA VAN LOVEREN
JOHN PATTON HOLLOW

OWNER INFORMATION
CAROLINE B. STARR

Belmont Avenue

North Haddon Avenue

Euclid Avenue

Sheet No. 1 of 2

of

PARCEL 1:

THE NORTH 66 FEET OF THE SOUTH 297 FEET OF THE EAST 165 FEET OF BLOCK 11 IN D. W. MILLER'S ARLINGTON HEIGHTS ACRE ADDITION IN THE EAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

P.I.N. 03-29-123-006-0000

COMMONLY KNOWN AS: 614 NORTH HADDON AVENUE, ARLINGTON HEIGHTS, ILLINOIS 60004

PARCEL 2:

THE NORTH 66 FEET OF THE SOUTH 231 FEET OF THE EAST 165 FEET OF BLOCK 11, MEASURED FROM THE CENTER OF THE STREETS (EXCEPT THE WEST 9 FEET OF THE SOUTH 177 FEET OF SAID TRACT) IN D. W. MILLER'S ARLINGTON HEIGHTS ACRE ADDITION IN THE EAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

P.I.N. 03-29-123-017-0000

All dimensions hereon shown unless it is otherwise noted are given in feet and decimal parts thereof.
Bearings are based on an assumed local meridian.

SURVEYOR'S CERTIFICATE

State of Illinois } ss.
County of Cook }

I, David R. Bycroft, an Illinois Professional Land Surveyor in compliance with the laws of the State of Illinois and do hereby certify that this Plat correctly represents a survey completed by me on July 30, 2015 and that all monuments and markers shown hereon actually exist, and that I have accurately shown the materials they are made of.

I do further certify that iron pipes have been placed at all corners and curve control points in accordance with the Arlington Heights Subdivision and Development Code; that the property is within the corporate limits of the Village of Arlington Heights which has adopted an official comprehensive plan.

I do further certify that according to FEMA Map 17031C0203J, Map revised August 18, 2008, the subject property is situated within Zone X, which are areas determined to be outside the 0.2% annual chance floodplain.

dated at Arlington Heights, Illinois, this _____ day of _____, 2015

by _____
as Illinois Professional Land Surveyor No. 2846

Prepared by:

Norman J. Toberman and Associates

115 South Wilke Road

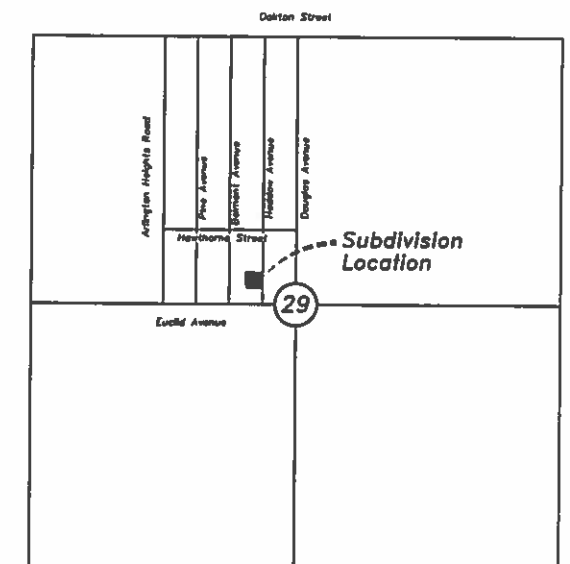
Suite 301

Arlington Heights, Illinois 60005

(847) 438-8225



Design Firm #184-
Expires April 30, 20



LAND OWNERS CERTIFICATE

State of Illinois } ss
County of Cook }
This is to certify that Terry A. and Tanis J. Kurzynski are the sole owners of the property described herein, who reside in both Elementary & Junior High School District-#23, and High School District-#214, and that they have caused said property to be surveyed and subdivided as shown hereon, for the use and purposes therein set forth and do hereby acknowledge and adopt the same under the title herein indicated.

Dated this _____ day of _____, A.D., 2015

Terry A. Kurzynski, Owner

Tanis J. Kurzynski, Owner

NOTARY CERTIFICATE

State of Illinois } ss
County of Cook }

I, _____, a notary public in and for said County in the State aforesaid, do hereby certify that Terry A. and Tanis J. Kurzynski are personally known to me to be the same persons whose names are subscribed to the foregoing instrument as the sole owners, who appeared before me this day in person & acknowledged that they signed and delivered said instrument of their own free and voluntary act for the uses and purposes therein set forth.

Given under my hand and notarial seal this _____ day of _____, A.D., 2015

Notary Public

My commission expires on _____

MORTGAGE CERTIFICATE

STATE OF ILLINOIS } S.S.
COUNTY OF COOK }

_____ AS MORTGAGEE OF THE PROPERTY (Mortgage Loan: \$ _____)

COMMONLY KNOWN AS 614 NORTH HADDOW AVENUE, ARLINGTON HEIGHTS, IL, DOES HEREBY

CONSENT TO THE KURZYNSKI FINAL PLAT OF RESUBDIVISION OF THE PROPERTY DESCRIBED HEREON.

Dated this _____ day of _____, A.D., 2015

(Bank Officer)

Deed of Dedication

We, the undersigned, Terry A. and Tanis J. Kurzynski, owners of the real estate shown and described herein, do hereby lay off, plat and subdivide said real estate in accordance with the plat. This subdivision shall be known and designated as Kurzynski Resubdivision, an addition to the Village of Arlington Heights, Cook County, Illinois.

All streets and alleys and public open spaces shown and not heretofore dedicated are hereby dedicated to the public. Front and side yard building setback lines are established as shown on this plat, between which lines and the property lines of the streets, there shall be erected or maintained no building or structure.

The right to enforce these provisions by injunction, together with the right to the removal, by due process of law, of any structure or part thereof erected or maintained in violation, is hereby dedicated to the public.

WITNESS our hands and seals this _____ day of _____, 2015.

Terry A. Kurzynski

Tanis J. Kurzynski

State of Illinois)
County of Cook) S.S.

Before me the undersigned Notary Public, in and for the County and State aforesaid, personally appeared Terry A. and Tanis J. Kurzynski each separately and severally acknowledged the execution of the foregoing instrument as their voluntary act and deed, for the purposes therein expressed.

WITNESS my hand and notarial seal this _____ day of _____, 2015.

Notary Public

KURZYNSKI RESUBDIVISION

WIDE OPEN WEST LLC CABLE CERTIFICATE

Easement Approved & Accepted

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

SIGNED: _____ DATED: ____ - ____ - ____

TITLE: _____

ATT/SBC COMMUNICATIONS CERTIFICATE

Easement Approved & Accepted

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

SIGNED: _____ DATED: ____ - ____ - ____

TITLE: _____

COMMONWEALTH EDISON/EXCELRON CERTIFICATE

Easement Approved & Accepted

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

SIGNED: _____ DATED: ____ - ____ - ____

TITLE: _____

COMCAST CABLE CERTIFICATE

Easement Approved & Accepted

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

SIGNED: _____ DATED: ____ - ____ - ____

TITLE: _____

NORTHERN ILLINOIS GAS COMPANY CERTIFICATE

Easement Approved & Accepted

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

SIGNED: _____ DATED: ____ - ____ - ____

TITLE: _____

PUBLIC UTILITY & DRAINAGE EASEMENT PROVISIONS

EASEMENTS ARE RESERVED FOR & GRANTED TO THE VILLAGE OF ARLINGTON HEIGHTS AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE VILLAGE OF ARLINGTON HEIGHTS, INCLUDING, BUT NOT LIMITED TO: WIDE OPEN WEST CABLE, COMCAST CABLE, ATT/SBC COMMUNICATIONS, COMMONWEALTH EDISON/EXCELRON AND NORTHERN ILLINOIS GAS CO. AND THEIR SUCCESSORS AND ASSIGNS OVER ALL THE AREAS DEFINED AS PUBLIC UTILITY EASEMENTS ON THE PLAT FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT, RE-CONSTRUCT, REPAIR, INSPECT, MAINTAIN AND OPERATE VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS AND INCLUDING STORM AND/OR SANITARY SEWERS TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCH BASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID VILLAGE OVER, UPON, ALONG UNDER AND THROUGH SAID VINDICATED EASEMENTS, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE PROPERTY FOR THE NECESSARY MEN AND EQUIPMENT TO DO ANY OF THE ABOVE WORK AND THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM AND REMOVE ANY TREES, SHRUBS OR OTHER PLANTS ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENT, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN, OR LATER, INTERFERE WITH THE AFORESAID USES OR RIGHTS AND SAID GRANTEE SHALL REPLACE AND RESTORE THE SURFACE TO ITS EXISTING CONDITION AT ANY TIME IN THE FUTURE THAT SAID SURFACE IS DISTURBED BY GRANTEE IN THE COURSE OF REPAIRING, MAINTAINING AND OPERATING SAID UTILITIES. WHERE A PUBLIC UTILITY EASEMENT IS USED BOTH FOR SEWER AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE VILLAGE AS TO DESIGN AND LOCATION AND ALL INSTALLATIONS ARE SUBJECT TO THE ORDINANCES OF THE VILLAGE OF ARLINGTON HEIGHTS.

COUNTY CLERK CERTIFICATE

State of Illinois) ss
County of Cook }

I, _____ County Clerk of Cook County, do hereby certify that there are no delinquent general taxes, no unpaid current general taxes, no unpaid forfeited taxes, and no redeemable tax sales against any of the land included in the annexed plat. I further certify that I have received all statutory fees in connection with the annexed plat.

Given under my hand and seal at _____, Illinois this _____ day of _____, 2015

By: _____
County Clerk

This plat submitted for recording by: (name) _____
(address) _____

VILLAGE COLLECTOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

I FIND NO DEFERRED INSTALLMENTS OF OUTSTANDING UNPAID SPECIAL ASSESSMENTS DUE AGAINST THE LAND INCLUDED IN THE ABOVE PLAT.

THIS _____ DAY OF _____, 20____

VILLAGE COLLECTOR

DIRECTOR OF ENGINEERING CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

APPROVED BY THE DIRECTOR OF ENGINEERING OF ARLINGTON HEIGHTS.

THIS _____ DAY OF _____, 20____

Director of Engineering

VILLAGE OF ARLINGTON HEIGHTS CERTIFICATE

UNDER THE AUTHORITY PROVIDED BY 65 ILCS 5/11 - 12, AS AMENDED BY THE STATE LEGISLATURE OF THE STATE OF ILLINOIS AND ORDINANCE ADOPTED BY THE VILLAGE BOARD OF THE VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS, THIS PLAT WAS GIVEN APPROVAL BY THE VILLAGE OF ARLINGTON HEIGHTS AND MUST BE RECORDED WITHIN SIX (6) MONTHS OF THE DATE OF APPROVAL BY THE VILLAGE BOARD, OTHERWISE IT IS NULL AND VOID.

PLAN COMMISSION CERTIFICATE

APPROVED BY AT PLAN COMMISSION MEETING HELD ON: _____, _____, 20____

PLAN COMMISSION CHAIRMAN

SECRETARY

VILLAGE BOARD CERTIFICATE

APPROVED BY THE VILLAGE BOARD OF TRUSTEES AT A MEETING HELD ON: _____, _____, 20____

VILLAGE PRESIDENT

VILLAGE CLERK

SURFACE WATER STATEMENT

STATE OF ILLINOIS)
COUNTY OF COOK) S.S.

TO THE BEST OF OUR KNOWLEDGE & BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH RESUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS WILL BE MADE BY THE SUBDIVISION LAND OWNERS FOR COLLECTION & DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH THE GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION IN THE RESUBDIVISION.

DATED THIS _____ DAY OF _____, A.D., 20____

ILLINOIS REGISTERED PROFESSIONAL ENGINEER

OWNER OR ATTORNEY

SEND TAX BILL TO:

Name: Terry A. Kurzynski
614 North Haddow Avenue
Arlington Heights, Illinois 60004

PRELIMINARY NOT TO BE RECORDED

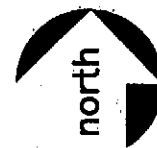
PLAT OF SURVEY

of

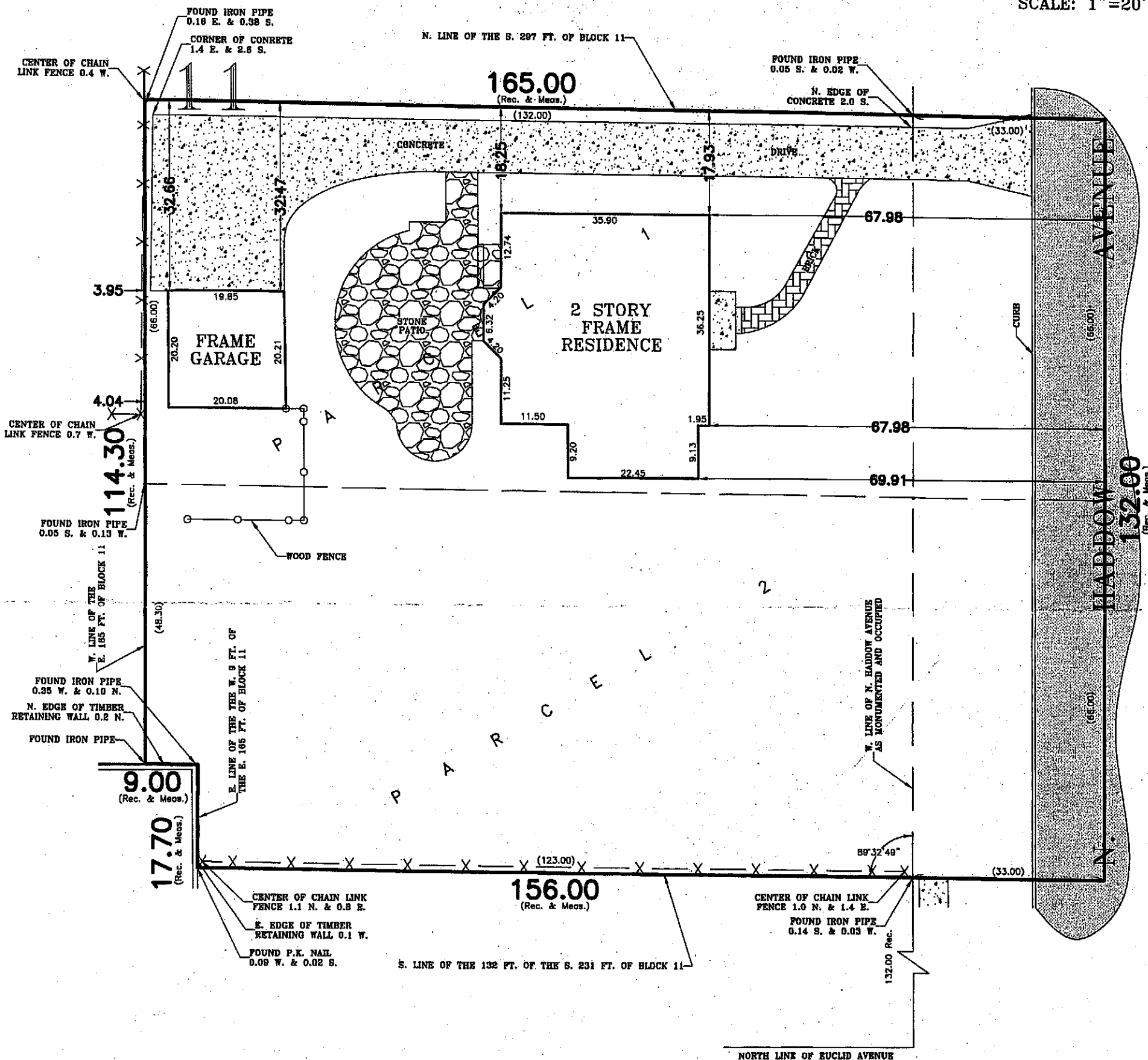
PARCEL 1: THE NORTH 66 FEET OF THE SOUTH 297 FEET OF THE EAST 165 FEET OF BLOCK 11 IN D. W. MILLER'S ARLINGTON HEIGHTS ACRE ADDITION IN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2: THE NORTH 66 FEET OF THE SOUTH 231 FEET OF THE EAST 165 FEET OF BLOCK 11, MEASURED FROM THE THE CENTER OF STREET, (EXCEPT THE WEST 9 FEET OF THE SOUTH 17.7 FEET OF SAID TRACT), IN D. W. MILLER'S ARLINGTON HEIGHTS ACRE ADDITION IN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

ADDRESS: 614 N. HADDOW AVENUE, ARLINGTON HEIGHTS, ILLINOIS



SCALE: 1"=20'



GENERAL NOTES:

- 1) THE LEGAL DESCRIPTION HAS BEEN PROVIDED BY THE CLIENT OR THEIR AGENT.
- 2) THIS SURVEY SHOWS THE BUILDING LINES AND EASEMENTS AS INDICATED BY THE RECORDED PLAT. THIS PLAT DOES NOT SHOW ANY RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES UNLESS SUPPLIED BY THE CLIENT.
- 3) BASIS OF BEARING FOR THIS SURVEY IS AS THE NORTH ARROW INDICATES, AND IS SHOWN TO INDICATE THE ANGULAR RELATIONSHIP OF THE BOUNDARY LINES.
- 4) MONUMENTS, IF SET, DURING THIS SURVEY, REPRESENT THE TRUE CORNERS OF THIS DESCRIPTION AS SURVEYED.
- 5) LOCATION OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY. NO EXTRAPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN HEREON.
- 6) ONLY COPIES WITH AN ORIGINAL SIGNATURE AND SEAL ARE OFFICIAL LEGAL DOCUMENTS. ALL SURVEYS ARE COPYRIGHTED MATERIALS WITH ALL RIGHTS RESERVED.

STATE OF ILLINOIS)
S.S.
COUNTY OF COOK)

SURVEY ORDERED BY: THOMAS D. RESNICK

I, JOSEPH P. MAIKISCH, AS AN EMPLOYEE OF PREFERRED SURVEY INC., DO HEREBY STATE THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARD FOR A BOUNDARY SURVEY. PROPERTY CORNERS HAVE BEEN SET OR NOT IN ACCORDANCE WITH CLIENT AGREEMENT. DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT.

GIVEN UNDER MY HAND AND SEAL THIS
22ND DAY OF MAY

MY LICENSE EXPIRES ON 12/30/18 BRIDGEVIEW, ILLINOIS

P.S.I. NO. 1296617

Professional Design Registration #184-002795

PREFERRED SURVEY, INC.

7845 W. 79TH STREET, BRIDGEVIEW, IL, 60455

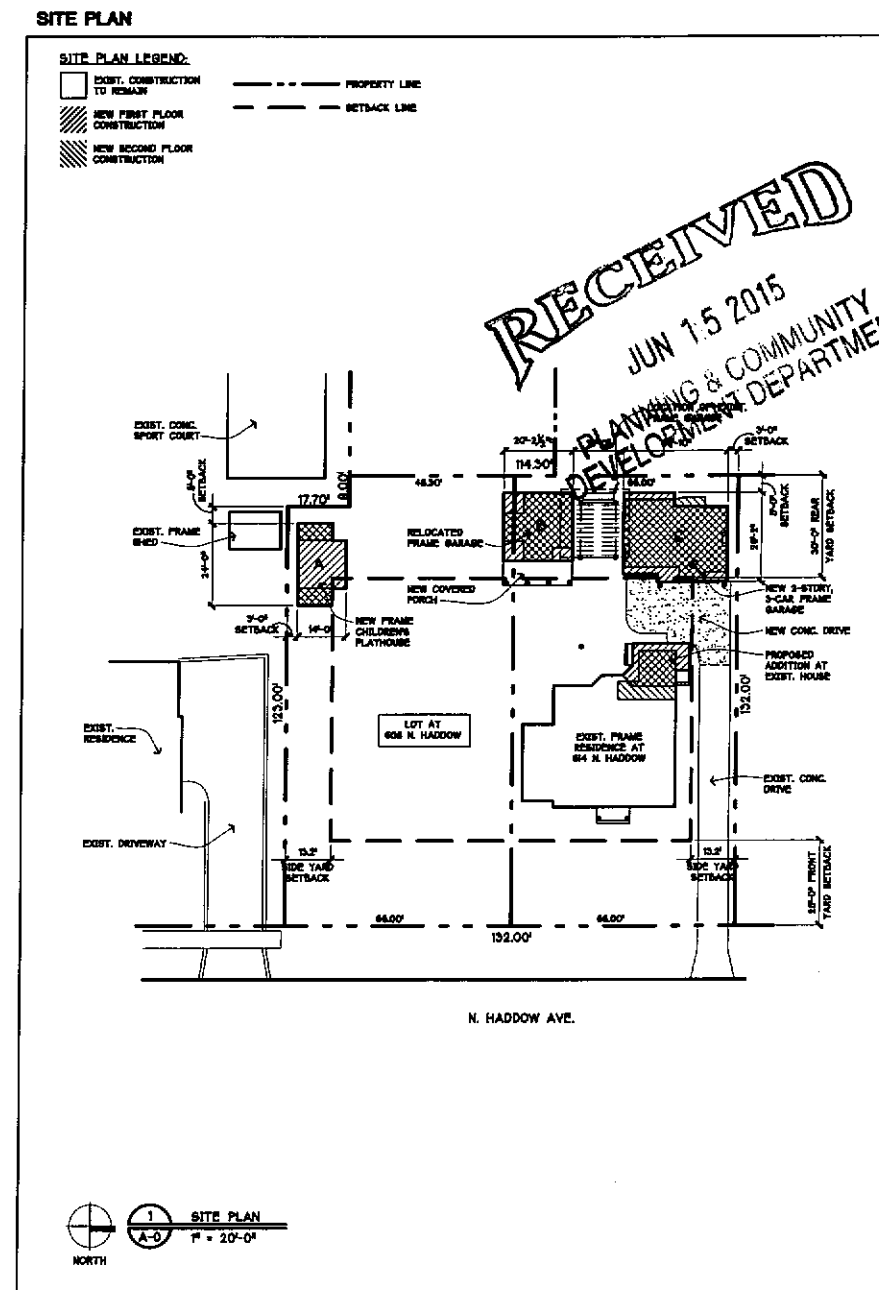
Phone 708-458-7845 / Fax 708-458-7855

www.psisurvey.com



Field Work Completed	05/17/12	FLD CREW:	CD/GZ
Land Area Surveyed	PARCEL 1: 10,889.7 Sq. Ft.	CAD:	EH
	PARCEL 2: 10,730.4 Sq. Ft.		
	TOTAL: 21,620.1 Sq. Ft.		
Drawing Revised			

**ALTERATIONS AND ADDITIONS FOR
THE KURZYNSKI
RESIDENCE
614 N. HADDOW AVE.
ARLINGTON HTS., ILLINOIS**

[illegible]

SYMBOLS

 — SHEET NUMBER (TYP)
 — DETAIL NUMBER (TYP)

ELEVATION KEY

 — 

BUILDING SECTION KEY

 — 

MAJOR WALL SECTION KEY

 — 

DETAIL KEY

 — 

ELEVATION MARK

ROOM NAME

 — EXISTING PARTITION TO REMAIN

 — EXISTING CONSTRUCTION TO BE REMOVED

 — NEW FRAMED PARTITION

 — EXISTING DOOR TO REMAIN

 — NEW DOOR & REFERENCE TAG

 — NEW WINDOW REFERENCE TAG

LIST OF DRAWINGS

A-0	TITLE SHEET / SITE PLAN
A-1	FOUNDATION PLANS
A-2	FIRST FLOOR PLANS
A-3	SECOND FLOOR PLANS
A-4	EXTERIOR ELEVATIONS

BUILDING DATA

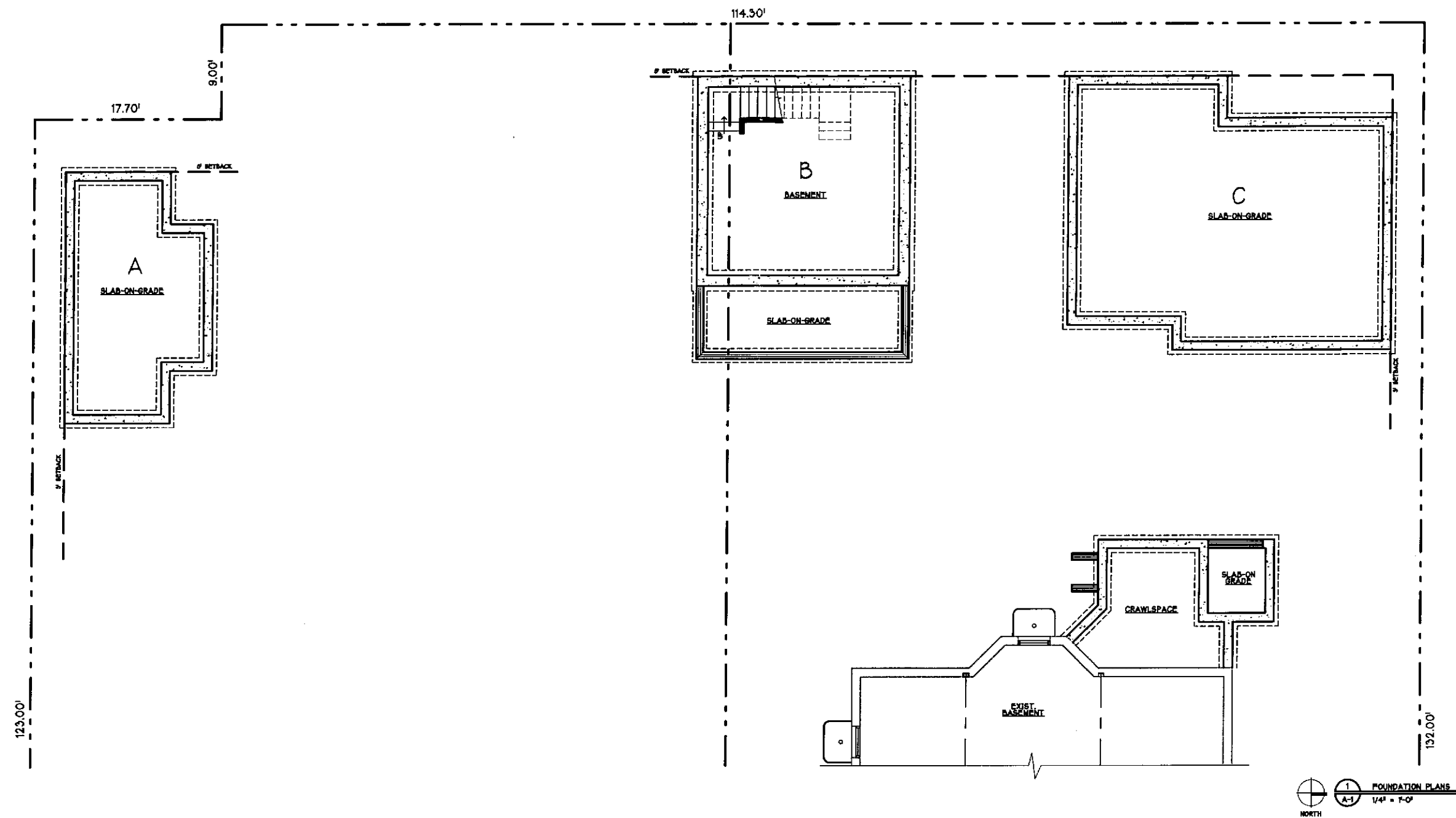
ZONING	S-S ROWHLE FAMILY
LOT AREA	17344 SQ.FT.

LOCATION MAP

A detailed location map showing a street grid. A specific lot is highlighted with a black dot and labeled '17344 SQ.FT.'. The map includes various street names and lot numbers, providing a clear context for the property's location within a neighborhood.

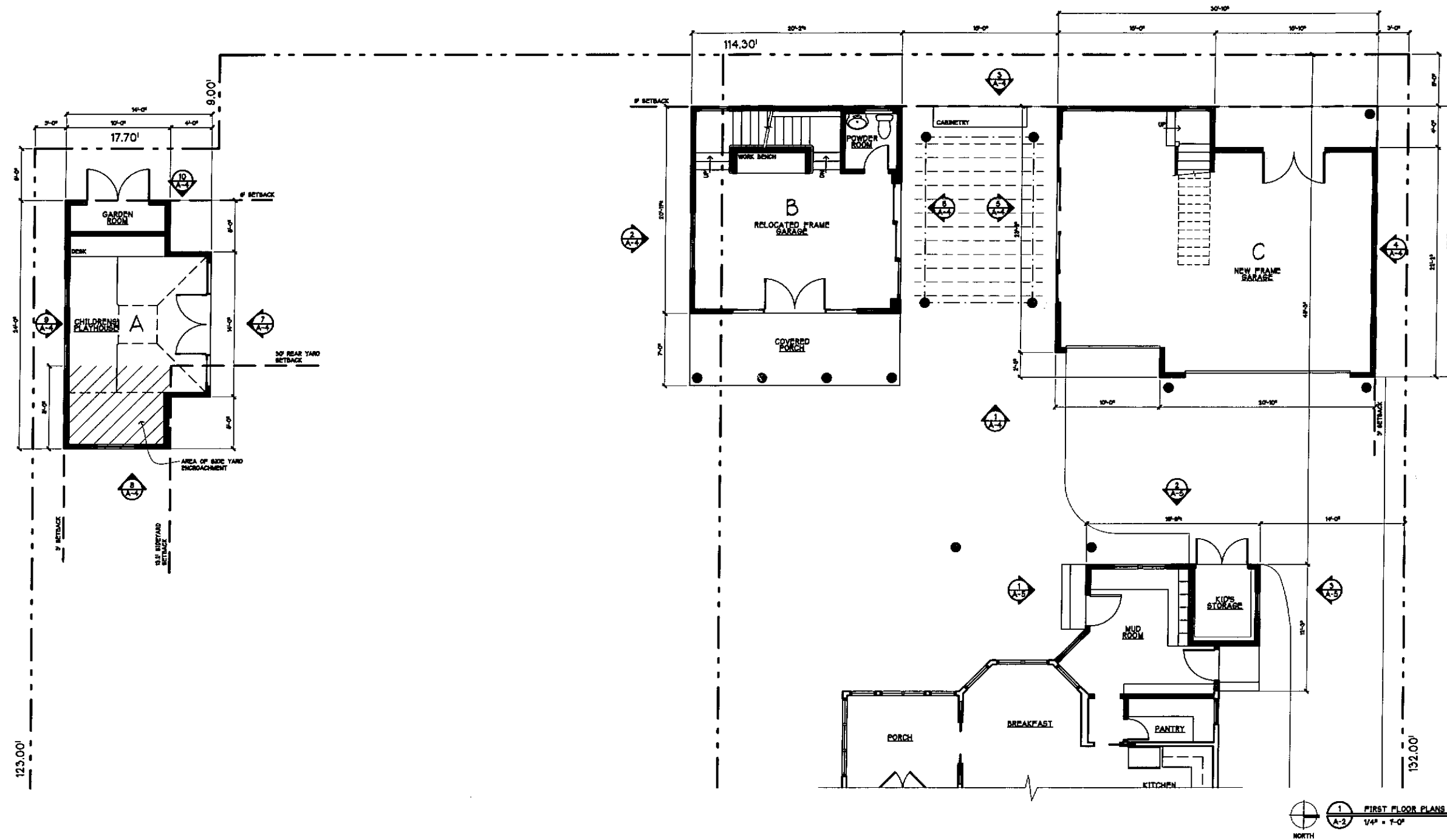
**ALTERATIONS AND ADDITION FOR
THE KURZYNSKI RESIDENCE**
614 N. HADDOW AVE.
ARLINGTON HEIGHTS, ILLINOIS

Date	Description
12.15	ZSA
SCHUBB B.F.A. LTD.	
Project Number	
15014	

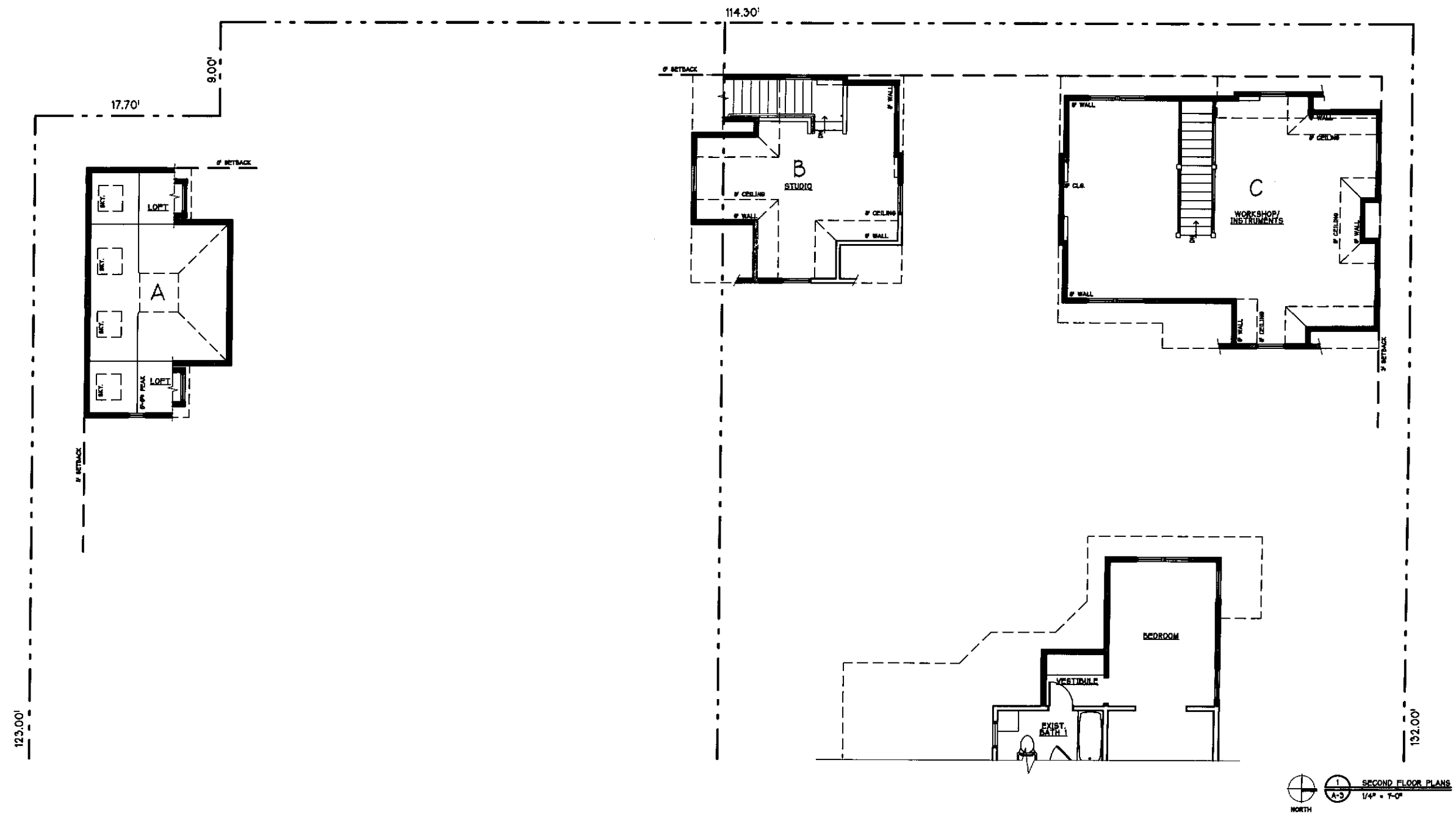


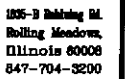
Date	Description
5.12.15	ZBA

© 2015 R.F.A. LTD.
Project Number
15014



ALTERATIONS AND ADDITION FOR
THE KURZYNSKI RESIDENCE
614 N. HADDOW AVE.
ARLINGTON HEIGHTS, ILLINOIS

[illegible]



ALTERATIONS AND ADDITION FOR
THE KURZYNSKI RESIDENCE
614 N. HADDOW AVE.
ARLINGTON HEIGHTS, ILLINOIS

[illegible]

A-5

PROJECT SUMMARY

The homeowner is currently considering three auxiliary structures (A, B, and C). Structure A is a kid's club house, Structure B is a workshop/studio, and Structure C is a 3-car garage with storage. Below details the use of each structure.

STRUCTURE A (Kid's Club House): The kid's club house is to be positioned in the southwest corner of the lot next to the side neighbor's shed and back neighbor's basketball court. It is to have dual purpose; a kid's hangout and a mommy gardening center. The core of the building will be dedicated to the kid's for arts and crafts and general hangout with couches. The west side of the structure will be dedicated to gardening and have a potting station and work sink accessible from doors to that open to the west. An outdoor water spigot will be accessible to water gardens that surround the current proposed building location. The club house is to be an architecturally pleasing structure as it will be the most viewable structure from the road of the three proposed auxiliary structures.

STRUCTURE B (Studio/Workshop): The main purpose for this structure is to separate automobile storage from workshop/studio activities. The owner has expensive vehicles and does not want to have saws, hammers, paints, drums, and machinery near autos. Structure B is dedicated to hobbies including automobile repair, painting, woodworking, and furniture repair. In addition to housing utilities, the basement of Structure B will be used for band practice. The owner is a musician with other neighbors in Recreation Park area. Playing at night has been problematic with the noise from the band. Locating practice to the basement eliminates any potential noise issues. The ceiling of basement will be concrete to support an automobile on the first floor. The north wall of the first floor will be a sliding glass wall to allow an automobile access the structure from Structure C. The second floor will be a studio for arts, crafts, and painting. A clean up sink is anticipated on the first floor.

STRUCTURE C (Garage/Storage): Structure C's primary use is storing expensive autos. As such the owner does not want any storage on the main floor near automobiles. A loft has been created to store parts, sporting equipment, and tools. The owner has several equipment intensive sports including downhill skiing, snowboarding, kitesurfing, mountain biking, mountain boarding, tennis, and stand-up-paddle boarding. The second floor loft will be split into sports storage and parts/tools storage. The south wall will be a sliding glass wall to allow for a vehicle to access Structure B for repair. The location of the garage also serves to block sound and sight of back neighbors large barking dogs.

RECEIVED

OCT 21 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

LAND USE VARIATION CRITERIA

The following variations are being requested:

- A 5'-10" height variation above the allowed 15 feet height for an accessory structure, to a total height of 20'-10", for Structure A. (Chapter 28, Sect. 6.5-6)
- A 6'-5" height variation above the allowed 15 feet height for an accessory structure, to a total height of 21'-5", for Structure B. (Chapter 28, Sect. 6.5-6)
- A 6'-9" height variation above the allowed 15 feet height for an accessory structure, to a total height of 21'-9", for Structure C. (Chapter 28, Sect. 6.5-6)
- A 413 sq.ft. area variation above the allowed 300 sq.ft. for an accessory structure, to a total area of 713 sq.ft., for Structure B. (Chapter 28, Sect. 6.5-7)
- A 647 sq.ft. area variation above the allowed 720 sq.ft. for a detached garage, to a total area of 1,367 sq.ft., for Structure C. (Chapter 28, Sect. 6.5-7)
- A side yard variation of 3 feet from the lot line (in lieu of the 32 sq.ft. allowed beyond the 13.2 foot side yard setback and minimum 5 foot setback), for Structure A. (Chapter 28, Sect. 6.6-5.1 Table)

The property would not yield a reasonable return (hardships) to the owner if the variations were not granted:

Height Variation: Due to the nature of both the existing neighborhood structures as well as the existing buildings on the subject property a steep roof pitch is more consistent with existing conditions.

Area Variation: The subject house has a completely finished basement making storage and workshop space non-existent.

Side Yard Variation: Due to an existing oval shaped landscape feature the playhouse is moved to 3 feet from the side lot line. This request would be allowed if this were another type of accessory structure.

The following unique circumstances exist:

1. The existing oval shaped landscape feature creates limitations on placement of structures.
2. The existing neighborhood structures (historic district) and existing buildings on the subject property have a majority of steep roof pitches.
3. The homes to the rear of the subject property are all elevated above the subject property by at least 4-5 feet minimizing the impact of the height variations.
4. The existing home has no storage or workshop space available.

The variations, if granted, will not alter the essential character of the locality because:

Through significant improvements, updates and exterior enhancements the property will increase in value substantially which will remain consistent with other new projects in the neighborhood. The improved property will fit well within the surrounding neighborhood while also lending a uniqueness to the property.

BUILDING HEIGHTS

Chapter 28, Section 6.5-6

	Height proposed	Height allowed	Variation requested
Structure A – Kid's Club House	20 ft. 10 in.	15 ft.	5 ft. 10 in.
Structure B – Studio/Workshop	21 ft. 5 in.	15 ft.	6 ft. 5 in.
Structure C – Garage/Storage	21 ft. 9 in.	15 ft.	6 ft. 9 in.

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

BUILDING AREAS

Chapter 28, Section 6.5-7

	Proposed floor areas			Area allowed	Variation requested
	First floor	Second floor	Total structure		
Structure A – Kid's Club House	296 sq.ft.	0 sq.ft.	296 sq.ft.	300 sq.ft.	None
Structure B – Studio/Workshop	403	310	713	300	413
Structure C – Garage/Storage	719	648	1,367	720	647

REAR YARD OCCUPIED

Chapter 28, Section 6.5-5

Required rear yard area	Rear yard occupied allowed	Proposed accessory area in rear yard	Variation requested
3,800 sq.ft.	1,520 (40%)	1,467 sq.ft. (*1)	None

**1: Proposed accessory occupied area in rear yard: 204 sq.ft. (Structure A) + 403 (Structure B) + 102 (Covered porch at B) + 695 (Structure C) + 63 (Covered porch at C) = 1,467 sq.ft. Pergola is not included as it is not an accessory structure.*

BUILDING DEPARTMENT

1

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. <u>15-022</u> Petitioner: <u>Robert Flubacker Architects Ltd</u> <u>(see contact info below)</u> Owner: <u>Terry Kurzynski</u> <u>614 N Haddow Ave</u> <u>312-391-6075 (cell); terryk@halock.com</u> Contact Person: <u>Robert Flubacker</u> <u>Address: 1835 Rohlwing Rd - Suite B</u> <u>Rolling Meadows, IL 60008</u> Phone #: <u>847-704-3200</u> Fax #: <u>847-704-3204</u> E-Mail: <u>rfaltd@aol.com</u>	P.I.N.# <u>03-29-123-017 (608) & 03-29-123-006 (614)</u> Location: <u>608-614 N Haddow Ave</u> Rezoning: _____ Current: <u>R-3</u> Proposed: _____ Subdivision: _____ # of Lots: <u>2</u> Current: <u>2</u> Proposed: <u>1</u> PUD: _____ For: _____ Special Use: _____ For: _____ Land Use Variation: <u>✓</u> For: _____ <u>Ch 28, Sect 6.5-6, 6.5-7, 6.6-5.1 Table (see attached)</u> Land Use: _____ Current: <u>House</u> Proposed: _____ Site Gross Area: <u>17,264 sq ft</u> # of Units Total: _____ 1BR: 2BR: 3BR: 4BR:
--	--

(Petitioner: Please do not write below this line.)

DO EXISTING STRUCTURES, IF ANY, MEET MINIMUM REQUIREMENTS OF THE FOLLOWING:

- | | <u>YES</u> | <u>NO</u> | | |
|----|------------|-----------|-------------|---------------|
| 1. | _____ | _____ | VILLAGE | BUILDING CODE |
| 2. | _____ | _____ | PRESENT | ZONING USE |
| 3. | _____ | _____ | REQUESTED | ZONING USE |
| 4. | _____ | _____ | SUBDIVISION | REQUIRED |
| 5. | _____ | _____ | SIGN | CODE |

6. GENERAL COMMENTS:

THE SOUTH WALL OF CHILDREN'S PLAYHOUSE
(BUILDING A) SHALL COMPLY WITH TABLE
R 302.1 OF THE IRC.

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SEP 21 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Deb Pierce 9-21-15
 Director PLAN REVIEWER Date

BUILDING DEPARTMENT

1A

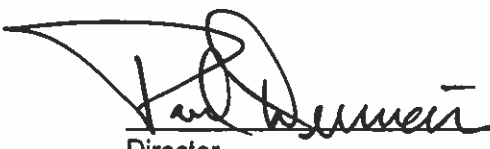
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<u>(see contact info below)</u>	Rezoning: <u> </u> Current: <u>R-3</u> Proposed: <u> </u>
	Subdivision: <u> </u>
	# of Lots: <u>2</u> Current: <u>2</u> Proposed: <u>1</u>
Owner: <u>Terry Kurzynski</u>	PUD: <u> </u> For: <u> </u>
<u>614 N Haddow Ave</u>	Special Use: <u> </u> For: <u> </u>
<u>312-391-6075 (cell); terryk@halock.com</u>	Land Use Variation: <u>✓</u> For: <u> </u>
Contact Person: <u>Robert Flubacker</u>	<u>Ch 28, Sect 6.5-6, 6.5-7, 6.6-5.1 Table (see attached)</u>
Address: <u>1835 Rohlwing Rd - Suite B</u>	Land Use: <u> </u> Current: <u>House</u>
<u>Rolling Meadows, IL 60008</u>	Proposed: <u> </u>
Phone #: <u>847-704-3200</u>	Site Gross Area: <u>17,264 sq ft</u>
Fax #: <u>847-704-3204</u>	# of Units Total: <u> </u>
E-Mail: <u>rfaltd@aol.com</u>	1BR: <u> </u> 2BR: <u> </u> 3BR: <u> </u> 4BR: <u> </u>

(Petitioner: Please do not write below this line.)

INSPECTIONAL SERVICES

No COMMENTS


Director9/22/15
Date

Memorandum

To: Latika Bhide
From: Cris Papierniak, Assistant Director of Public Works
Date: September 24, 2015
Subject: 608-614 N Haddow, P.C. #15-022



With regard to the proposed additions to the property, I have the following comments:

1. All water services to the proposed additional buildings must originate from the house (single existing meter).
2. Any damage to the sidewalk as a result of the demolition and new construction must be repaired to like new condition.
3. Must show how the proposed sanitary sewer service will connect to the city's main.

Thank you for the opportunity to comment on this permit application.

C: file

LF

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. <u>15-022</u>	P.I.N.# <u>03-29-123-017 (608) & 03-29-123-006 (614)</u>
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<u>(see contact info below)</u>	Rezoning: <u> </u> Current: <u>R-3</u> Proposed: <u> </u>
	Subdivision: <u> </u>
Owner: <u>Terry Kurzynski</u>	# of Lots: <u>2</u> Current: <u>2</u> Proposed: <u>1</u>
<u>614 N Haddow Ave</u>	PUD: <u> </u> For: <u> </u>
<u>312-391-6075 (cell): terryk@halock.com</u>	Special Use: <u> </u> For: <u> </u>
Contact Person: <u>Robert Flubacker</u>	Land Use Variation: <u>✓</u> For: <u> </u>
Address: <u>1835 Rohlwing Rd - Suite B</u>	<u>Ch 28, Sect 6.5-6, 6.5-7, 6.6-5.1 Table (see attached)</u>
<u>Rolling Meadows, IL 60008</u>	Land Use: <u> </u> Current: <u>House</u>
Phone #: <u>847-704-3200</u>	Proposed: <u> </u>
Fax #: <u>847-704-3204</u>	Site Gross Area: <u>17,264 sq.ft.</u>
E-Mail: <u>rfltd@aol.com</u>	# of Units Total: <u> </u>
	1BR: <u> </u> 2BR: <u> </u> 3BR: <u> </u> 4BR: <u> </u>

(Petitioner: Please do not write below this line.)

1. PUBLIC IMPROVEMENTS

REQUIRED: YES NO COMMENTS

a. Underground Utilities

Water XSanitary Sewer XStorm Sewer X

b. Surface Improvement

Pavement XCurb & Gutter XSidewalks X Street Lighting X

c. Easements

Utility & Drainage X Access X

2. PERMITS REQUIRED OTHER THAN VILLAGE:

a. MWRDGC b. IDOT c. ARMY CORP d. IEPA e. CCHD 3. R.O.W. DEDICATIONS? 4. SITE PLAN ACCEPTABLE? 5. PRELIMINARY PLAT ACCEPTABLE? 6. TRAFFIC STUDY ACCEPTABLE? 7. STORM WATER DETENTION REQUIRED? 8. CONTRIBUTION ORDINANCE EXISTING? 9. FLOOD PLAIN OR FLOODWAY EXISTING? 10. WETLAND EXISTING?

YES NO COMMENTS

X XNO ENGINEERING SITE PLAN XSEE COMMENTS N/AX FEE-IN-LIEU X X X

GENERAL COMMENTS ATTACHED

PLANS PREPARED BY: NJT & Assoc. LLCDATE OF PLANS: UNDATED

James F. Wall 10/5/15
Director Date

PLAN COMMISSION PC #15-022
Kurzynski Resubdivision
601-614 N. Haddow Ave.
Preliminary Plat of Subdivision, Variations
Round 1

11. The petitioner is notified that these comments are being provided to ensure that the project meets the requirements for submittal to the Plan Commission. Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they accept this understanding.
12. Since a subdivision is being proposed the plans must meet all subdivision requirements. Final engineering plans for all public improvements must be approved prior to the final plat of subdivision approval. An Engineers estimate of construction cost for full site improvements is required to complete the calculation for plan review, inspection, and other fees. An Engineers estimate of construction cost for public improvements is also required to complete the calculation for the required public improvement guarantee deposit. The public improvements for this development would be public sidewalk. These estimates should be submitted at least three weeks prior to the final Plan Commission meeting to allow us time to generate the fee letter and for the petitioner to assemble the proper documents.
13. Final engineering plans shall be georeferenced by using State Plane Coordinate System – Illinois East. Below are details about projection:

Projected Coordinate System:	NAD_1983_StatePlane_Illinois_East_FIPS_1201_Feet
Projection:	Transverse_Mercator
False_Easting:	984250.00000000
False_Northing:	0.00000000
Central_Meridian:	-88.33333333
Scale_Factor:	0.99997500
Latitude_Of_Origin:	36.66666667
Linear Unit:	Foot_US
Geographic Coordinate System:	GCS_North_American_1983
Datum:	D_North_American_1983
Prime Meridian:	Greenwich
Angular Unit:	Degree
14. The Final Plat of Subdivision must be reviewed and approved by the Engineering Department prior to final Plan Commission approval. The original signed mylar Final Plat of Subdivision, containing all non-Village signatures, shall be submitted one week before the scheduled date of the final Plan Commission meeting. Village Code Section 29-209 also requires a digital copy of the plat to be provided on disk to the Village. The petitioner shall acknowledge that they accept this understanding.
15. Final approval will require final engineering plans including detention calculations showing storage required. Detention requirements can be satisfied by paying a fee in lieu of detention at the rate of \$1.00 per cubic foot of required storage.

Preliminary Plat of Subdivision:

16. The Plat of Survey provided by Preferred Survey, Inc. shows that the property is currently owned out to the center of Haddow Avenue. If this is incorrect, please provide documentation showing a previous dedication. Otherwise, the Plat of Subdivision must include a 33' dedication to establish the full 66' Haddow Avenue Right-of-Way.
17. The plat was reviewed against the attached Preliminary Plat of Subdivision Checklist:
 1. Clearly label the name of the subdivision as "Kurzynski Resubdivision" if that is the intended name.
 2. OK
 3. Preliminary Plat conflicts with Plat of Survey on the Haddow Avenue ROW. See comment 16.
 4. OK
 5. OK
 6. Preliminary Plat conflicts with Plat of Survey on the Haddow Avenue ROW. See comment 16.
 7. OK
 8. Show the proposed public sidewalk along Haddow Ave.
 9. OK
 10. Show the Haddow Avenue ROW dedication.
 11. Show proposed 5' Public Utility and Drainage Easements along the north, west, and south property lines.
 12. Show the building setback lines.
 13. Show the names and last known addresses of the owners of the land proposed to be subdivided, the subdivider, and all owners of land immediately adjoining the land proposed to be subdivided.
18. For the Final Plat of Subdivision, use the attached Final Plat of Subdivision Checklist. The elementary school district is Consolidated Community School District #25, Township High School District #214. Include the utility signature blocks.

 10/5/15
James J. Massarelli, P.E. Date
Director of Engineering

Attachments:

- Preliminary Plat of Subdivision Checklist (1 page)
- Final Plat of Subdivision Checklist (3 pages)
- Sample Utility Signature Blocks (1 page)
- Contacts for Plat Signatures (1 page)
- Sample Stormwater Detention Calculations (1 page)

ARLINGTON HEIGHTS POLICE DEPARTMENT

Community Services Bureau

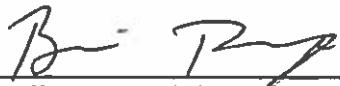
DEPARTMENT PLAN REVIEW SUMMARY

Kurzynski/Flubacker
608-614 N. Haddow
Round 1

Round 1 Review Comments

09/28/2015

1. **Character of use:**
The character of use should not be problematic.
2. **Are lighting requirements adequate?**
Lighting should be up to Village of Arlington Heights code.
3. **Present traffic problems?**
There are no traffic problems.
4. **Traffic accidents at particular location?**
This is not a problem area in relation to traffic accidents.
5. **Traffic problems that may be created by the development.**
This development should not create any additional traffic problems.
6. **General comments:**
 - Agent contact information must be provided to the Arlington Heights Police Department during all construction phases. Emergency contact cards can be filled out at the Village of Arlington Heights website (vah.com). This allows police department personnel to contact an agent during emergency situations or for suspicious/criminal activity on the property during all hours.
 - It is recommended that the outbuildings are equipped with appropriate locks on windows and doors to prevent unauthorized use, trespass, theft or damage

 #272

Brandi Romag, Crime Prevention Officer
Community Services Bureau

Approved by:



Supervisor's Signature

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(see contact info below)
Owner: Terry Kurzynski
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Phone #: 847-704-3200
Fax #: 847-704-3204
E-Mail: rfaltd@aol.com

P.I.N.# 03-29-123-017 (608) & 03-29-123-006 (614)
Location: 608-614 N Haddow Ave
Rezoning: Current: R-3 Proposed:
Subdivision:
of Lots: 2 Current: 2 Proposed: 1
PUD: For:
Special Use: For:
Land Use Variation: ✓ For:
Ch 28, Sect 6.5-6, 6.5-7, 6.6-5.1 Table (see attached)
Land Use: Current: House
Proposed:
Site Gross Area: 17,264 sq ft
of Units Total:
1BR: 2BR: 3BR: 4BR:

(Petitioner: Please do not write below this line.)

1. GENERAL COMMENTS:

No comments from this Division.

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SEP 23 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Jeff Bohner 9/22/15

Environmental Health Officer

Date

James McCalister 9/22/15

Director

Date

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 15-022
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 1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

- | | <u>YES</u> | <u>NO</u> | |
|----|------------|-----------|---|
| 1. | <u>X</u> | <u>X</u> | COMPLIES WITH COMPREHENSIVE PLAN? |
| 2. | <u>NA</u> | <u>NA</u> | COMPLIES WITH THOROUGHFARE PLAN? |
| 3. | <u>X</u> | <u>NA</u> | VARIATIONS NEEDED FROM ZONING REGULATIONS?
(See below.) |
| 4. | <u>NA</u> | <u>NA</u> | VARIATIONS NEEDED FROM SUBDIVISION REGULATIONS?
(See below.) |
| 5. | <u>X</u> | <u>NA</u> | SUBDIVISION REQUIRED? |
| 6. | <u>NA</u> | <u>NA</u> | SCHOOL/PARK DISTRICT CONTRIBUTIONS REQUIRED?
(See below.) |

Comments:

Recommends Plat

B. E. [Signature] 10/2/15

Date

608-614 N Haddow Plat of Consolidation: PC #15-022

Planning and Community Development

First Round Comments

1. This requested action is Preliminary Plat of Subdivision only, therefore the Plat should be labeled as Preliminary Plat and all references to Final Plat shall be deleted. If and when the Preliminary Plat is approved, a Final Plat will need to be submitted for staff review (paper copy of Final Plat) and then scheduled for Plan Commission (once the mylar has been signed by all utility companies) and then to the Village Board for consideration.
2. The Preliminary Plat shall be revised to include all required setbacks for principle structures and required easements.
3. Are all three accessory structures new? Will the existing garage be demolished?
4. Will any of the three accessory structures include electric, plumbing or gas services?
5. Additional landscaping should be provided along the west property line to help buffer the accessory structures if approved.
6. Staff does not support the variations except for the height of Structure A (Playhouse) as only a small portion of the roof exceeds the height limitation. The petitioner has not met the requirements of demonstrating a hardship based on the three criteria outlined in Chapter 28.

A handwritten signature in black ink, appearing to read "Bill Enright", is written over a horizontal line.

Bill Enright

Deputy Director Planning and Community Development

MEMO

DATE: September 30, 2015

TO: Bill Enright, Deputy Director of Planning and Community Development

FROM: Steve Hautzinger, Design Planner

RE: Kurzynski / Flubacker Architects
608-614 N. Haddow Ave.
PC#15-022, Plan Commission Hearing Review for Plat of Consolidation and Variations
Round 1 - Preliminary Design Review Comments

Preliminary Staff design review comments are as follows:

1. A Design Commission application is required for the proposed two-story addition.
2. Overall, there are no apparent design concerns and this project is favorable for an administrative design approval, pending zoning approval.
3. It is recommended that the exterior materials and colors match the existing house.

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

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 (see contact info below)
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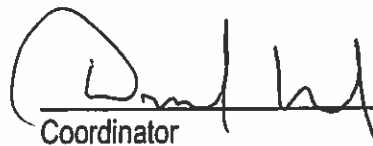
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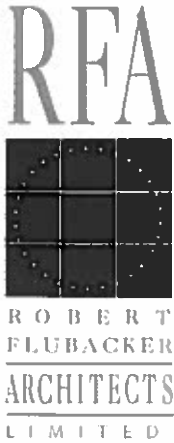
LANDSCAPE & TREE PRESERVATION:

	<u>YES</u>	<u>NO</u>
1. Complies with Tree Preservation Ordinance	<u>N/A</u>	<u> </u>
2. Complies with Landscape Plan Ordinance	<u>N/A</u>	<u> </u>
3. Parkway Tree Fee Required (See below.)	<u> </u>	<u>✓</u>

Comments:

1. Provide landscaping along the west property line in order to buffer the three proposed accessory structures. The landscaping should consist of a mix of evergreens.

 9/21/15
 Coordinator Date



October 20, 2015

Planning & Community Development
Village of Arlington Heights
33 S. Arlington Heights Rd.
Arlington Hts., IL 60005

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OCT 21 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

**RE: 608-614 N. Haddow Ave.
Plan Commission #15-022**

Bill Enright,

This letter will serve as our response to the first round of Plan Commission review comments for the above referenced project. Find attached updated plans and Preliminary Plat of Resubdivision.

1835 Rohlwing Road

Building (Page 1)

1. Added note to provide 1-hour fire-rated wall and roof overhang construction at the south wall of Structure A. See 1/A-0 and 1/A-2.

Suite B

Inspection Services (1A)

1. No comments.

Rolling Meadows, IL 60008

Public Works (Memo)

1. The only accessory structure that will receive water service is Structure B (Studio/Workshop). This service will originate at the existing residence (single meter at house.)
2. Currently no public sidewalks exist along Haddow at this property. A new public walk is being requested and would be put in near the end of construction so as to minimize chances of damage.
3. Any new sanitary connections to be detailed at Final Plat. The intention is to connect the sanitary from Structure B to the house sanitary (not directly to the city main.)

847-704-3200

847-704-3204 / FAX

Engineering (3)

1. a.) A concrete public sidewalk has been included along Haddow Ave. as requested.; b.) Utility and drainage easements have been provided along the north, west and south property lines, as requested.
2. Nothing required.
3. Dedication is included on the updated Preliminary Plat.
4. Engineering site plan will be provided at time of Final Plat approval.
5. See comment #17 below.
6. N/A
7. Storm water detention calculations to be provide at time of Final Plat approval.
8. Nothing required.
9. Nothing required.

rfaltd@aol.com

10. Nothing required.
11. The petitioner understands that this review and its comments are for the requirements of the Plan Commission and not an approval for building permits or other required permits.
12. -15. These items will be addressed at time of Final Plat approval.
Preliminary Plat Comments:
16. Preliminary Plat has been updated to show this dedication.
17. All items from the Preliminary Plat Checklist (#1.-13.) are resolved on the updated Preliminary Plat.
16. Item to be addressed at time of Final Plat approval.

Police (Memo)

1. Exterior lighting will be provided at doors to accessory buildings so as to meet current village codes (can be approved at time of building permit.) Agent contact information shall be provided to the Police Department during all construction phases.
2. All doors and windows at the proposed accessory buildings shall be equipped with typical locking systems.

Health Services (6)

1. No comments.

Planning & Community Development (7)

1. Preliminary Plat updated and all references to "Final" have been removed.
2. Setbacks and easements for principle structures have been added to the Preliminary Plat.
3. Structure A (Kid's Club House) and Structure C (Garage/Storage) are to be new construction. Structure B (Studio/Workshop) is the existing detached framed garage. While the intention is to move/relocate this existing structure to a new foundation, practicality may dictate that the structure is to be rebuilt new.
4. Electric: All three accessory structures will have electricity.
Plumbing: Only Structure B (Studio/Workshop) will have plumbing.
Gas: The probability is that all three structures will have gas service (for heating.)
5. See comment #1 under Landscape & Tree Preservation below.

Landscape & Tree Preservation (7A)

1. Note added to provide 6 foot tall Techny Arborvitae's at 6 feet on center along the west wall behind Structure's B & C (total of 12.) No buffer is provided along the west property line at Structure A because it would interfere with the operation of the proposed doors on this same wall. (The adjacent property has an outdoor sport-court and detached garage in the northeast corner of their lot.) See 1/A-0.

Design Commission (Memo)

1. If zoning variance is approved, the petitioner will provide a complete

Design Commission application for approval prior to any building permit application.

If you have any questions on the above information, please contact me.

Sincerely,
ROBERT FLUBACKER ARCHITECTS, LTD.



Joe Sprenger
Project Manager

enc.