



November 4, 2013
8:00 PM

AGENDA
President and Board of Trustees
Village of Arlington Heights

I. CALL TO ORDER

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL OF MEMBERS

IV. APPROVAL OF MINUTES

- A. Committee of the Whole 10/15/2013
- B. Special Meeting and Tour of the Palatine Police Department
10/16/2013
- C. Village Board 10/21/2013

V. APPROVAL OF ACCOUNTS PAYABLE

- A. Warrant Register of 10-30-2013

VI. RECOGNITIONS AND PRESENTATIONS

VII. PUBLIC HEARINGS

VIII. CITIZENS TO BE HEARD

Anyone wishing to speak on a subject not on the Agenda should fill out a card, located in the back of the room, and hand it to the Village Clerk. Please limit your comments to three minutes.

- A. Remarks from citizens regarding Emerald Ash Borer Treatment Program

IX. OLD BUSINESS

X. CONSENT AGENDA

This Agenda consists of proposals and recommendations that, in the opinion of the Village Manager, will be acceptable to all members of the Board of Trustees. The purpose of this Agenda is to save time by taking only one roll call vote instead of separate votes on each item. Consideration of this Consent Agenda will be governed by the following rules and procedures prior to roll call vote:

1. Any Trustee who wishes to vote "no" or "pass" on any Consent Agenda items should so indicate.
2. Upon the request of any one Trustee, any item will be removed from the Consent Agenda and considered separately after adoption of the Consent Agenda.
3. Citizens in the audience may ask to remove any item on this Consent Agenda.
4. One roll call vote will be taken and will cover all remaining Consent Agenda items.

CONSENT APPROVAL OF BIDS

- A. Accident and Crime Scene Measuring Equipment (Total Station)
- B. Five 1-Ton Dump Trucks
- C. Sodium Chloride (Road Salt)

CONSENT LEGAL

- A. An Ordinance Amending Chapter 13 of the Arlington Heights Municipal Code
(Making available Class "B" and "T" liquor licenses - Esplanade Wine & Liquor, 2948 W. Euclid Ave.)

CONSENT APPOINTMENTS

- | | | | |
|----|------------------------------------|--------------------------------------|------------------------|
| A. | Board/Commission
Special Events | New Chair Appointment
Steve Fromm | Term Ending
4/30/14 |
|----|------------------------------------|--------------------------------------|------------------------|

XI. APPROVAL OF BIDS

XII. NEW BUSINESS

- A. Autumn Leaves
1625 S. Arlington Heights Rd.
PC#13-018

XIII. LEGAL

XIV. APPOINTMENTS

XV. PETITIONS AND COMMUNICATIONS

- A. Report from Trustee Glasgow on his attendance as Mayor Pro Tem at the Illinois Governor's Sustainability Awards Ceremony

XVI. REPORT OF THE VILLAGE MANAGER

- A. Request for Closed Session per 5 ILCS 120/2(c)(1): Appointment, employment, compensation, discipline, performance or dismissal of specific employees of the public body or legal counsel

XVII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign

Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Committee of the Whole 10/15/2013

Department: Village Clerk

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Amount of Bidder Recommended:

ATTACHMENTS:

Description

[committee of the whole 10/15/2013](#)

Type

Minutes

**COMMITTEE-OF-THE-WHOLE
MINUTES OF THE MEETING OF THE PRESIDENT
AND THE BOARD OF TRUSTEES OF
THE VILLAGE OF ARLINGTON HEIGHTS
VILLAGE HALL COMMUNITY ROOM
TUESDAY, OCTOBER 15, 2013
7:30 P.M.**

BOARD MEMBERS PRESENT: Mayor Thomas Hayes, Trustees Farwell, Glasgow, LaBedz, Rosenberg, Scaletta, Sidor & Tinaglia

BOARD MEMBERS ABSENT: Trustee Blackwood

STAFF MEMBERS PRESENT: Bill Dixon, D. Mikula, T. Kuehne, C. Perkins, G. Mourning, J. Massarelli, S. Shirley, M. Juarez, K. Koeppen, J. Musinski, D. Sabatello, C. Gorecki, A. Karr, M. Pagones, P. Robb, P. Wilkiel

OTHERS PRESENT: M. Silverberg, Daily Herald, S. Ho, Chicago Tribune, T. O'Conner, Arlington Heights Journal

SUBJECTS:

4. Recommendation from the Arlington Economic Alliance
Re: Small Business Zero Interest Loan Program
 5. Review of Proposed FY2015-FY2019 Capital Improvement Program
 6. Other Business
 7. Adjournment
-

President Hayes called the meeting to order at 7:30 PM.

**4. Recommendation from the Arlington Economic Alliance
Re: Small Business Zero Interest Loan Program**

Mr. Dixon gave a brief overview of the recommended Small Business Zero Interest Loan Program saying that the funding for this program would come from the creation of a \$1,000 non-refundable application fee for the Class 6b and Class 6b renewal tax abatement program along with a 10% remittance of a projected annual savings for the first five years. He stated that the current fee is \$250.00. **Mr. Dixon** went on to say that it is anticipated that the loan program money could be used to assist in attracting and retaining non-sales tax generating businesses, and said that eligible costs would include relocation, expansion, interior build-out, and machinery and equipment.

Mayor Hayes thanked staff and the Arlington Economic Alliance for their hard work and effort over the last twelve months on this program.

Mr. Michael O'Connor, member of the Arlington Economic Alliance, explained that the Alliance has been deliberating the concept of this program and being careful with how it would attract businesses, as well as how it would impact the businesses that currently have

the Class 6bs. He said that this is an innovative program that will be able to attract new businesses into the Village and make it more vibrant and said the Alliance is recommending that we move forward with this.

Mr. Perkins explained that there are two parts to the program, first being the funding mechanism. He said that if Board concurs with the recommendation, the first step would be to amend the Class 6b applications where they would have an agreement similar to when an attorney files a property tax appeal which would be signed by the businesses. He went on to say that the second part, after the program is implemented and there is money in the fund, is to develop the criteria for the application and to find businesses that have a need. He stated that it would be at least a year and a half before any money is in the fund.

Mr. Perkins explained that the Village has had a couple of similar programs that have been TIF funded (grant & loan programs in the Downtown) in the 1990's and early 2000's before the TIF districts expired. He added that this new program would be for community wide businesses.

Trustee Rosenberg asked if the loans can cover a businesses' marketing program or be used for other intangible things. Mr. Perkins said that the intent was to narrow the use of funds for tangible improvements such as interior build out, machinery, and equipment. Operating expenses would not be permitted if the Board concurs with the concept. Guidelines will be put together and be brought back to the Board.

Trustee Rosenberg voiced his concerns with the kind of due diligence that the Village would have to do to look at businesses' credit worthiness and their ability to repay the debt and also asked who would administer the loan. **Mr. Perkins** responded by saying that some of the loans that were done in the Downtown were secured by personal collateral like a second position on their home mortgage, or a second position on their commercial property if they own a commercial building. He added that if there wasn't sufficient collateral, then a decision would have to be made not to make the loan. **Mr. Perkins** stated that the loan would be run through the Planning Department and will have a series of checks and balances, but that they may confer with local lenders and with the Finance Department for their advice. Discussion also took place regarding appraisals and title searches and their costs.

Trustee Rosenberg also felt that in some cases, the 10% of the projected annual savings that will be collected from the Class 6b applicants seems a little excessive, since they needed the funds to sustain them and give them an incentive to stay in the Village. He thought that a "not to exceed" cap should be considered. **Mr. Perkins** said there are seventeen active tax abatements and said that a couple of businesses have significant saving benefits, especially businesses that have had renewals for many years. **Mr. O'Conner** said caps were not considered but that their impact on certain businesses will be noted and can be looked into.

Trustee Scaletta stated that his biggest concern was with the repayment of the loan. He strongly believes that some type of personal guarantee is needed from businesses receiving the loans in order to make them completely responsible for it, especially if they are a tenant, in order to eliminate any disputes with property owners if liens are put on their property.

Mr. Perkins answered by saying that most landlords would not agree to allowing a lien to be placed on their property because it is the responsibility of the tenant, but said it depends on the improvement being made. He said it could be an improvement funded by the landlord who would be responsible for the repayment and be ok with a lien because it is an improvement to their property. He added that depending on the situation, each loan can be handled slightly differently. He went on to explain that the funding mechanism comes from the Class 6b, but that any business in Arlington Heights that meets the criteria will be eligible for the loan.

Trustee Scaletta asked if lien waivers would be required and also asked if current appraisals would be required. **Mr. Perkins** stated that lien waivers are always requested for improvements that have been made. He also said that depending on what is happening with the economy and assuming things look positive, a year-old appraisal may be accepted. **Trustee Scaletta** asked that language be added to the application to include an appraisal (if required) along with the application fee so that the Village does not incur appraisal fees. **Mr. Perkins** stated that it can be done.

Trustee Scaletta stated that he likes the concept because it makes Arlington Heights unique and business friendly, but wants to make sure that these loans are monitored and that plans are in place for the loan's repayment.

Trustee LaBedz asked what size businesses get Class 6bs and if there were county restrictions. **Mr. Perkins** gave an overview of some of the businesses that take part in the Class 6bs and explained that the County's restrictions require businesses to be 51% or more manufacturing and that the facility would have had to be vacant for two or more years. **Trustee Labedz** also asked if the 10% of the projected five-year savings part of the Class 6b fee would be collected up front. **Mr. Perkins** explained that an agreement would be drafted which the business would sign agreeing to make a 100% (of the tax savings) reimbursement to the Small Business Fund each year for five years. Each year for the five years, when the assessments come out, the savings will be calculated and invoices would be sent out to the businesses for the 10% payment.

Trustee Labedz asked what types of businesses would be eligible for the loan. **Mr. O'Connor** stated that they would be non-sales tax generating businesses, no retail businesses.

Trustee Sidor asked how Small Business was defined in this proposal. **Mr. Perkins** said that it is not currently defined and that it would be worked on with the Alliance if the funding mechanism is approved, but it may be larger than what was previously discussed.

Trustee Sidor asked how much vacant square feet there is in the Village for someone who qualifies for this loan. **Mr. Perkins** said that presently he does not have that information and said that an analysis can be done. **Trustee Sidor** also asked if the \$10,000 maximum loan was enough to get the interest of businesses to come to Arlington Heights. **Mr. Perkins** said that it may not be and that it may need to be adjusted depending on the situation or response that is received. He added that we may look into grants, along with the loan, but the framework for the funding mechanism needs to be created first.

One of Trustee Sidor's concerns was that if after so many months of work and the Village applies an incentive, 3-4 years to go by without anyone taking advantage of it because it is

not enough of a bump for them. He also echoed Trustees Rosenberg's and Scaletta's concerns regarding loan repayments.

Trustee Farwell concurred with Trustee Sidor and said that he felt that \$10,000 was not enough to entice business to come to Arlington Heights. **Trustee Farwell** asked to have the Alliance's discussion of this loan program for existing businesses elaborated on and said he was a proponent for business retention. **Mr. O'Connor** said that during discussions, the Alliance thought expanding square footage for businesses to improve their existing facility would be an acceptable situation. He added that they can continue to discuss expansion of current businesses, but their primary drive was to fill vacant square footage and attract new business. **Trustee Farwell** asked if job creation is part of this or just filling vacant spaces. **Mr. O'Connor** answered both.

Trustee Farwell stated that the perimeters for the Class 6b funding are reasonable and said that he was happy to see that the fees are not all up front for the five years. He suggested that the securing of the loans be run through the legal department and that a memo be sent to the Board satisfying them on how it will be handled.

Trustee Farwell asked how this program would be marketed. **Mr. Perkins** stated they will talk to businesses when they meet them, information will be posted on the Village's website, and that marketing pieces will be sent out. He added that the primary method for advertising would be to work with all the brokers that we currently work with, saying that they are the primary source used for business attraction and retention. **Trustee Farwell** also asked to liberalize the definition of how the funds can be used so that we don't take people out of eligibility. He finished by saying he is excited about the program and that he would like to see it all the way through approval before we get into the budgetary process. **Mr. Perkins** said that criteria can be developed by then, but said there would no funding until a Class 6b gets approved unless an alternate funding source is found.

Trustee Tinaglia asked who would be doing all the research, applications, documents, and securing of loans, etc. **Mr. Perkins** said that the Planning Department is already handling and monitoring the Class 6bs and meets with the businesses on a regular basis. He said that they will be handling this loan program and be using their resources as they now do with the Single Family Rehabilitation Program. It stated that he doesn't envision that we will have more than a few applicants a year for this program. Discussion continued regarding exploring the possibility of using a bank for funding. **Trustee Tinaglia** stated that he felt it was important to retain businesses in Arlington Heights and thought that this program should be used for retention as well.

Trustee Glasgow said he concurs with the other trustees and said that this is a great idea and will be good for job growth and retention in the Village. He said things that the Board has given direction on need to be ironed out and be brought back for discussion.

TRUSTEE GLASGOW MOVED, SECONDED BY TRUSTEE FARWELL, THAT THE COMMITTEE-OF-THE-WHOLE RECOMMEND TO THE VILLAGE BOARD THAT THE BOARD CONCUR WITH THE ARLINGTON ECONOMIC ALLIANCE'S RECOMMENDATION AND AUTHORIZE THE IMPLEMENTATION OF THE SMALL BUSINESS ZERO INTEREST LOAN PROGRAM.

Trustee Rosenberg thought that there could be some consideration for an application fee from the borrower. He also said that he doesn't think that he could vote for the motion until all of the items discussed have been vetted out.

Mayor Hayes stated that he has similar concerns with the wording of the motion in light of tonight's discussions. **Mr. Dixon** stated that you can add a phrase to the motion so that the program wouldn't be activated until it comes back to the Board.

Trustee Glasgow said that it seems that the conditions and concerns of the Board is more with implementation of the day-to-day administrative tasks of this program, as opposed to its actual implementation. He went on to say that the program would not get implemented until staff came back with the guidelines and said his concern is having this program slowed down. **Trustee Farwell** concurred and stated that he would like to get the program rolling.

Mayor Hayes agreed that this program is a good concept and that the Board would like to see the program implemented when some of the details are worked out, and believes that the motion should reflect that.

Trustee Scaletta stated that Small Business has to be defined and said that he would like to see some more Alliance members here in order to get feedback from them.

Trustee Glasgow amended his motion.

TRUSTEE GLASGOW MOVED, SECONDED BY TRUSTEE FARWELL, THAT THE COMMITTEE-OF-THE-WHOLE RECOMMEND TO THE VILLAGE BOARD THAT THE BOARD CONCUR WITH THE ARLINGTON ECONOMIC ALLIANCE'S RECOMMENDATION AND AUTHORIZE THE IMPLEMENTATION OF THE SMALL BUSINESS ZERO INTEREST LOAN PROGRAM FOLLOWING APPROVAL BY THE VILLAGE BOARD OF A FOLLOW-UP REPORT FROM THE ARLINGTON ECONOMIC ALLIANCE.

AYES: 6
NAYS: 2 ROSENBERG, SIDOR

The motion carried.

5. Review of Proposed FY2015-FY2019 Capital Improvement Program

Mr. Dixon stated that the Executive Summary provides a general overview of the proposed FY2015-FY2019 Capital Improvement Program and explained that the CIP Committee assembles information to update the five-year plan and projects funding sources to pay for the various capital projects. He also said that the Village's website is utilized to generate capital project ideas from Village residents and said that they are all reviewed and acknowledgement letters are sent to each of them. **Mr. Dixon** continued by saying that some suggestions received pertained to a common issue, some were already included in the CIP, and some will require more analysis. He added that a few were forwarded to the Park District, and some were more operational in nature. (A summary of the resident suggestions was provided to the Board.)

Mr. Dixon stated the projects included in the five-year plan have been prioritized by what is obligated, what is replacement/maintenance, what is essential, and what is discretionary. He continued by saying that the proposed FY 2015 capital improvement budget totals \$16.1 million and the proposed five-year capital improvement totals \$85.5 million. He said that the Village's street resurfacing, rehabilitation, and sidewalk programs remain as key components of the CIP with approximately 50% of the proposed FY2015 capital budget and total five-year capital plan expenditures designated for these programs, consistent with the Board's prior direction.

Regarding the Flood Control V Fund, **Mr. Dixon** explained that since the flood in 2011, the Board authorized two studies which are under way, one for the combined sewer tributary area, and one for the separate areas. He said the studies are expected to be available in April or May for the Board's review.

Mr. Dixon continued by saying that the Public Building Fund incorporates a recommended plan of action for the Police Building and explained that for the past few years, a decision on how to approach the deteriorating Police facility has been postponed, first to develop the facility needs assessment study, and then due to the recent recession. He explained that by holding off on a decision to move forward, the Village is now in the position of being able to utilize an approaching window of opportunity to finance most, if not all, of the costs of a new Police facility within our existing debt service level. He said that last year at this time, the Board agreed to move forward by not spending nearly \$9 million just to maintain the existing, outdated, and inadequate Police station over the next three fiscal years. **Mr. Dixon** noted that the funding plan for a new Police Station has been altered from the prior CIP because of the realization that this will take longer than five years to complete. He said firm costs related to the station cannot be determined until a decision is made by the Board on whether the current facility will be reconstructed on-site, or if a new facility will be constructed on or off site, and said that the costs will be greatly influenced by what the construction market dictates after an architect and builder are selected.

Mr. Dixon finished by saying the EAB Fund was established at the end of FY2012 to account for the costs associated with diseased parkway Ash trees. He said fund expenditures include a one-time budget allocation for the "People's Choice" treatment option and significant monies for the removal and replacement of the of the Village's parkway Ash trees. Mr. Dixon then introduced Tom Kuehne.

Mr. Kuehne started by saying that the CIP committee is made up of all departments and that this process is a group effort. He then gave a brief overview of each of the funds.

Capital Projects Fund

Mr. Kuehne said one key issue is that the pavement crack sealing program that has been funded in the MFT Fund, is proposed to be moved to the Capital Projects Fund. He stated that funds are available in this fund and that the proposed increase in the program from \$85,000 to \$100,000 will help with the lifespan of the Village's streets. He also said that the move will provide for more street rehabilitation money in the MFT Fund.

Mr. Kuehne said that the second key issue concerns the Village's long-term financial plans which includes funding to combat the EAB infestation. He said that the plan includes the sale of a GO bond issue in August of 2014 for approximately \$10 million. He continued by saying that he recommends that the Village run the bond issue through the Capital Projects

Fund, use the bond proceeds toward the street resurfacing program, and transfer available, non-bond capital project funds over a two-year period, to the EAB Fund in order to expend the money as the EAB infestation unfolds.

Motor Fuel Tax (MFT) Fund

Mr. Kuehne stated that FY2015 will be the last year that the Village expects to receive capital monies from the State Capital Program which helped pay for the Street Rehabilitation Program. He said that the yearly allotment in the MFT is about \$1.8 million and said that it is based on gasoline usage. He stated that what needs to be addressed within a couple of years is that the Village is spending more than the allotment, and he said one way to bridge the gap between revenues and expenditures would be to reduce the program to match the revenues. Another option would be to consider a gasoline tax, something a number of our surrounding communities have implemented. **Trustee Glasgow** asked if alternatives could be thought of because he doesn't believe he would be in favor of raising the gas tax. **Mayor Hayes** clarified that staff is not recommending a gas tax at this time, but that it was an option mentioned for future consideration.

Trustee Rosenberg asked why there was nothing budgeted in FY2015-16 for the Street Rehabilitation Program. **Mr. Massarelli** explained that it shows zero dollars that fiscal year because the proposed reconstruction of Nichols Rd. and Walnut Ave. will be 80% federally funded. **Trustee Rosenberg** asked if we are spending less, can we budget more money for other street repairs. **Mr. Kuehne** stated that the CIP Committee recommended that we look at things long-term so that we wouldn't drain the fund. **Mr. Massarelli** added that the yearly work load and number of miles being reconstructed are remaining consistent with previous years and said that street reconstruction is different than street resurfacing.

Trustee Sidor asked who makes repairs to the streets when only a few feet from the curb get repaired and asked about the length of time we are getting from those repairs. **Mr. Massarelli** explained that the street reconstruction and street resurfacing projects are contracted out, and that edge patching and grinding is done by Public Works. **Mr. Shirley** said that there can be some failures do to underlying soil conditions, but that the failure rate is extremely low. **Trustee Sidor** also asked if there was any recourse with the construction companies if a failure occurs within a certain amount of time. **Mr. Massarelli** stated that there is a three-year window where the contractor will come back and make a repair at no cost to the Village.

Trustee Scaletta asked how long the Village has been doing edge grinding. **Mr. Shirley** said that it has been at least four years that we have been renting the edge grinder and paver box. **Trustee Scaletta** asked **Mr. Shirley** if he could provide details of purchasing a paver box and grinder compared to leasing it. **Mr. Shirley** stated that he could but added that there are no more internal garage parking spaces at Public Works, and stressed his concerns with external storage of that type of equipment because it is more susceptible to degrading from the weather.

Flood Control V Fund

Mr. Kuehne mention that the payouts from the Sewer back-up Rebate Program since its inception total over \$500,000 and that the CIP now contains a map showing residential locations in the Village where the rebates were taken advantage of.

Trustee Rosenberg asked if there are any budgeted expenditures on drainage issues before the studies are received. **Mr. Shirley** said when both studies are received; staff would make recommendations and prioritize the areas for improvements, but said at this point there are no projections or assumptions for the Board's consideration. He also said that there are no funding mechanisms currently in place.

Mr. Dixon said that doesn't mean that nothing is being done, saying that the Engineering Department received a grant for neighborhood improvements which will be wrapping up this fall. He added that Public Works, on a smaller basis, is doing things all the time.

Water & Sewer Fund

Mr. Kuehne stated that on the revenue side of the Water & Sewer Fund, FY2015 will be the final year of the five-year rate adjustment schedule that was implemented in July 2009. **Mr. Kuehne** stated that in June or July of 2014, staff will bring forth to the Board, an internal based study for their consideration given the number of expenses that are going to be required in this fund.

Emerald Ash Borer Fund (EAB)

Trustee Rosenberg asked about the results from the EAB treated trees. **Mr. Sabatello** said that there have been some failures but that most trees have been responding favorably to the treatments, and said that there will be an outreach to those that treated them to do a second year of treatment. **Trustee Scaletta** asked if the trees being replaced are grouped into certain areas. **Mr. Sabatello** said that the infestation started south and that the Village is now immersed in it, but that we have yet to take an entire street down. **Trustee Scaletta** also asked when the People's Choice program will end. It was answered by the end of October 2013.

Trustee Scaletta asked what remains in the EAB Fund. **Mr. Kuehne** said that nothing will remain in the EAB Fund eventually and said that depending on the total costs, that a transfer out shows reimbursing the General Fund some \$3 million. He said that one issue is that the trees must be treated every two years, forever. **Mr. Shirley** said that as we get to the end of this two-year period, \$110,000 has been spent and added that our five-year plan does not include any additional treatment cost sharing money. **Trustee Scaletta** asked about funds if the Board elected to extend the program until April 30th. **Mr. Shirley** stated that the Village is at a point that we are so fully infested, that if you have not treated the first time by April 30th, the chances of treating and saving the tree have been greatly diminished from the last two years. **Mr. Sabatello** concurred and said that you would have to wait until next June in order to see if a tree is viable before starting treatment.

Public Building Fund

Trustee Rosenberg asked what the architect fees would be on a new police station. It was answered that it would be based on total construction costs. **Trustee Scaletta** asked if the fees would be different based upon where the station would be built or if it was rehabbed. **Mr. Perkins** said that there is information available and that staff and the Board would need to discuss the options. **Mr. Dixon** added that the discussion would involve looking at sites other than the current one. **Trustee Scaletta** stated that he wanted to make sure that the \$750,000 budgeted in the Public Building Fund were all for

architectural services. **Trustee Sidor** asked staff, that because the police station is such a big dollar amount, he suggested that the Village implement some type of education program for the public so that they understand what the Village is trying to do and how we are going about doing it.

Other Funds

Mr. Kuehne gave a brief overview of a few items in other funds, He mention that the Metropolis Theatre is looking to refresh their lobby and start a repair and replacement program for the seats, that the Fleet Fund has its normal replacement schedule, and that IT has its annual PC, printer, and server replacement schedule which includes police vehicles.

Trustee Scaletta asked for more information on Metropolis' planned repairs. **Mr. Kuehne** said that the Metropolis budget will be discussed further during the budget process, but that he will request some additional detailed information from Metropolis Theater staff.

Trustee Rosenberg asked about completing the security camera installation in the garages. **Ms. Mikula** stated that a sub-committee has been established and is meeting with vendors, and that a meeting is scheduled to gather a proposal. **Ms. Mikula** went on to say that the Police Department looked at the analysis of incidents that took place at the four parking garages, and said that the pattern of crime activity has been declining and said most calls for service have been for nuisances, not crimes. She added that discussion will take place as to whether or not cameras are needed and if so, they will be strategically placed starting in the garage that has the most activity. **Trustee Rosenberg** also asked if all the cameras are implemented at the train station. **Ms. Mikula** stated that the Police Department is meeting with a vendor this week to get an update on added cameras by the bike racks. **Trustee Glasgow** recommended, that in looking at the proposals, to possibly have night vision cameras at the train station and the garage looking out at various areas in order to give assistance to the police.

Trustee Rosenberg asked about a replacement schedule for the Fleet Operations Fund. **Mr. Shirley** said that he will provide Mr. Dixon the list of vehicles scheduled for replacement.

Trustee Scaletta voiced his concern with the justification for the parkway enhancement in the TIF IV area saying that the Village has scaled back on plantings and decorative enhancements in prior years and wanted to make sure that we do not do much of it. **Mr. Perkins** stated to address those concerns, landscaping improvements have been scaled down so that they are easier to maintain.

TRUSTEE SCALETTA MOVED, SECONDED BY TRUSTEE ROSENBERG, THAT THE COMMITTEE-OF-THE-WHOLE RECOMMEND TO THE VILLAGE BOARD THAT THE BOARD APPROVE THE PROPOSED FY2015-FY2019 CAPITAL IMPROVEMENT PROGRAM AND THAT THE FIRST YEAR OF THE PROGRAM TOTALING \$16,135,700 BE INCORPORATED INTO THE VILLAGE'S PROPOSED FY2015 BUDGET. The motion carried unanimously.

Mayor Hayes thanked the CIP Committee for all their hard work.

Other Business

Mr. Dixon reminded the Board that the orientation at the Palatine police station and the subsequent tour was scheduled for the following evening at 6:00 pm.

Adjournment

There being no further business to discuss,

TRUSTEE GLASGOW MOVED, SECONDED BY TRUSTEE SCALETTA TO ADJOURN THE MEETING AT 9:25 P.M. The motion carried unanimously.



Item: Special Meeting Palatine Police Department Village Board

Department: Village Clerk

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Amount of Bidder Recommended:

ATTACHMENTS:

Description	Type
<u>special meeting and tour of palatine Police Department</u>	Minutes

**MINUTES OF A SPECIAL MEETING OF THE PRESIDENT AND BOARD OF TRUSTEES OF
THE VILLAGE OF ARLINGTON HEIGHTS
PALATINE POLICE DEPARTMENT TOUR
595 N. HICKS ROAD
WEDNESDAY, OCTOBER 16, 2013
6:00 PM**

BOARD MEMBERS PRESENT: Mayor Hayes; Trustees Blackwood, Farwell,
Glasgow, LaBedz, Rosenberg, Scaletta, Sidor, Tinaglia

STAFF MEMBERS PRESENT: Village Manager Bill Dixon, Assistant to the
Village Manager Diana Mikula, Police Chief Gerald Mourning,
Director of Planning & Community Development Charles
Witherington-Perkins

OTHERS PRESENT: Palatine Mayor Jim Schwantz, Palatine Village Manager Reid
Ottesen, Palatine Police Chief John Koziol

-
1. President Hayes called the meeting to order at 6:10 p.m.
 2. Roll was called.
 3. Orientation of Palatine Police Station by Mayor Schwartz, Palatine Village Manager Ottesen and Palatine Police Chief Koziol.
 4. Tour of Station. The \$22 million, 70,000 square foot building, is almost double the size of the old station which was located on the basement floor of the Village Hall on Wood Street. The new station also includes a 20,000 square foot parking garage. The old station never was designed for police use. It opened in 1952 as Palatine High School and Palatine bought it in 1979. The new building eliminates some of the previous challenging situations. Officers no longer have to manage the foot traffic lest a suspected offender bump into a witness in the lobby. Such issues do not exist in the new building. The new station also has more capacity – 11 holding cells as opposed to six.
 5. The meeting was adjourned at 7:40 p.m.



Item: Village Board Minutes 10/21/2013

Department: Village Clerk

Bid Section

Item:

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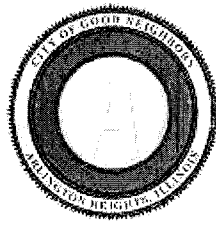
ATTACHMENTS:

Description

[Village Board Minutes 10/21/2013](#)

Type

Minutes



October 21 2013
8:00 PM

MINUTES
President and Board of Trustees
Village of Arlington Heights

I. CALL TO ORDER

II. PLEDGE OF ALLEGIANCE

- A. Presentation of the Colors by Cub Den #4 from Olive School

III. ROLL CALL OF MEMBERS

The Village Clerk called the roll with President Hayes and the following Trustees responding: Rosenberg, Blackwood, Sidor, Farwell, Glasgow, Scaletta, Tinaglia and LaBedz.

Also present were Village Manager Bill Dixon, Assistant to the Village Manager Diana Mikula, Assistant Village Attorney Robin Ward, Director of Planning and Economic Development Charles Perkins, Public Works Director Scott Shirley, Finance Director Tom Kuehne, Engineering Director Jim Massarelli, Traffic Engineer Tom Ponsot, Police Commander Andrew Whowell and Village Clerk Becky Hume.

IV. APPROVAL OF MINUTES

- A. Committee of the Whole 10/07/2013 Approved

Trustee Thomas Glasgow moved to approve. Trustee Robin LaBedz Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Sidor , Tinaglia .

Abstain: Scaletta .

- B. Village Board 10/07/2013 Approved

Trustee Joe Farwell moved to approve. Trustee Robin LaBedz Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Sidor , Tinaglia .

Abstain: Scaletta .

V. APPROVAL OF ACCOUNTS PAYABLE

- A. Warrant Register of 10/15/2013 Approved

Trustee Joe Farwell moved to approve the Warrant Register dated 10/15/2013 in the amount of \$2,100,231.74. Trustee Thomas Glasgow Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Scaletta , Sidor , Tinaglia .

VI. RECOGNITIONS AND PRESENTATIONS

VII. PUBLIC HEARINGS

VIII. CITIZENS TO BE HEARD

IX. OLD BUSINESS

- A. Report of the Closed Session Meeting of 10/7/13 Approved

Trustee Farwell moved to destroy the Closed Session recordings from the meetings of: 10/17/2011, 11/21/2011, 3/5/2012 as the recordings have been held the mandatory 18 months required per State Statute. Trustee Glasgow seconded the motion. The motion carried unanimously.

Trustee Joe Farwell moved to destroy the Closed Session recordings from the meetings of: 10/17/2011, 11/21/2011, 3/5/2012 as the recordings have been held the mandatory 18 months required by State Statute. Trustee Thomas Glasgow Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Sidor , Tinaglia .

Abstain: Scaletta .

- B. Report of the Committee-of-the-Whole Meeting of October 15, 2013 Approved
Recommendation from the Arlington Economic Alliance re:
Small Business Zero Interest Loan Program

Trustee Glasgow moved, seconded by Trustee Farwell, that

the Committee-of-the-Whole recommend to the Village Board that the Board concur with the Arlington Economic Alliance's recommendation and authorize the implementation of the Small Business Zero Interest Loan Program following approval by the Village Board of a follow-up report from the Arlington Economic Alliance.

The motion passed, with Trustees Farwell, Glasgow, LaBedz, Scaletta, Tinaglia, and Mayor Hayes voting aye and Trustees Rosenberg and Sidor voting no.

Trustee Thomas Glasgow moved to approve. Trustee Joe Farwell Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Scaletta , Tinaglia .

Nays: Rosenberg , Sidor .

- C. Report of the Committee-of-the-Whole Meeting of October 15, 2013 Approved
Review of Proposed FY2015-2019 Capital Improvement Program

Trustee Scaletta moved, seconded by Trustee Rosenberg, that the Committee-of-the-Whole recommend to the Village Board that the Board approve the Proposed FY2015-2019 Capital Improvement Program and that the first year of the Program totaling \$16,135,700 be incorporated into the Village's proposed FY2015 Budget.

The motion passed unanimously.

Trustee John Scaletta moved to approve. Trustee Bert Rosenberg Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Scaletta , Sidor , Tinaglia .

- D. Report of the Committee-of-the-Whole Meeting of October 21, 2013 Approved
Consideration of recommending to the Liquor Commissioner the issuance of a Class "B" and Class "T" Liquor License to Patel Parikh Corp., dba Esplanade Wine & Liquor, located at

2948 W. Euclid

Trustee Thomas Glasgow moved to recommend to the Liquor Commissioner the issuance of a Class B and Class T Liquor License Patel Parikh Corp. doing business as Esplanade Wine & Liquor located at 2948 W. Euclid. This approval is conditioned upon the provision of an executed lease being presented to the Village of Arlington Heights. Trustee Joe Farwell Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Scaletta , Sidor , Tinaglia .

- E. Report of the Committee-of-the-Whole Meeting of October 21, 2013 - Interview of Tara Riley for Appointment to the Arts Commission Approved

President Hayes administered the Oath of Office to Ms. Riley.

Trustee John Scaletta moved to concur with the Mayors appointment of Tara Riley to the Arts Commission with a term ending 4/30/16. Trustee Bert Rosenberg Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Scaletta , Sidor , Tinaglia .

- F. Report of the Committee-of-the-Whole Meeting of October 21, 2013 - Interview of Peter Szabo for Appointment to the Bicycle and Pedestrian Advisory Commission Approved

Trustee Carol Blackwood moved to concur with the Mayors appointment of Peter Szabo to the Bicycle and Pedestrian Advisory Commission with a term ending 4/30/16. Trustee Mike Sidor Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Scaletta , Sidor , Tinaglia .

X. CONSENT AGENDA

This Agenda consists of proposals and recommendations that, in the opinion of the Village Manager, will be acceptable to all members of the Board of Trustees. The

purpose of this Agenda is to save time by taking only one roll call vote instead of separate votes on each item. Consideration of this Consent Agenda will be governed by the following rules and procedures prior to roll call vote:

1. Any Trustee who wishes to vote "no" or "pass" on any Consent Agenda items should so indicate.
2. Upon the request of any one Trustee, any item will be removed from the Consent Agenda and considered separately after adoption of the Consent Agenda.
3. Citizens in the audience may ask to remove any item on this Consent Agenda.
4. One roll call vote will be taken and will cover all remaining Consent Agenda items.

CONSENT APPROVAL OF BIDS

- A. Outsourcing Printing and Mailing of Invoices Approved

Trustee Thomas Glasgow moved to approve. Trustee Robin LaBedz Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Scaletta , Sidor , Tinaglia .

- | | | |
|----|--|----------|
| B. | Ticketing Software System - Metropolis | Approved |
|----|--|----------|

Trustee Thomas Glasgow moved to approve. Trustee Robin LaBedz Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Scaletta , Sidor , Tinaglia .

CONSENT LEGAL

- | | | |
|----|--|----------|
| A. | A Resolution Approving a Lease Agreement with Tue Services Ltd.
(Morning Blend, Arlington Park Train Station) | Approved |
|----|--|----------|

Trustee Thomas Glasgow moved to approve R13-030/A13-046. Trustee Robin LaBedz Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Scaletta , Sidor , Tinaglia .

- B. An Ordinance Amending Planned Unit Development Approved
Ordinance Number 11-027
(2020 E. Northwest Highway)

Trustee Thomas Glasgow moved to approve 13-056. Trustee Robin LaBedz Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Scaletta , Sidor , Tinaglia .

- C. An Ordinance Amending Chapter 13 of the Arlington Approved
Heights Municipal Code
(Making available a Class "A" liquor license to Bistro Chen,
10 E. Miner Street)

Trustee Thomas Glasgow moved to approve 13-057. Trustee Robin LaBedz Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Scaletta , Sidor , Tinaglia .

- D. An Ordinance Authorizing the Sale of Surplus Personal Approved
Property Owned by the Village of Arlington Heights
(Vehicles/Equipment)

Trustee Thomas Glasgow moved to approve 13-058. Trustee Robin LaBedz Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Scaletta , Sidor , Tinaglia .

- E. An Ordinance Establishing the Speed Limit on a Certain Approved
Street in the Village of Arlington Heights
(25 mph Grove Street between Kennicott Avenue and Wilke
Road)

Trustee Thomas Glasgow moved to approve 13-059. Trustee Robin LaBedz Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Scaletta , Sidor , Tinaglia .

CONSENT PETITIONS AND COMMUNICATIONS

A. Bond Waiver - Cancer Wellness Center Annual Benefit Approved

Trustee Thomas Glasgow moved to approve. Trustee Robin LaBedz Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Scaletta , Sidor , Tinaglia .

B. Bond Waiver - St. Edna's Bingo Raffle Approved

Trustee Thomas Glasgow moved to approve. Trustee Robin LaBedz Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Scaletta , Sidor , Tinaglia .

CONSENT REPORT OF THE VILLAGE MANAGER

XI. APPROVAL OF BIDS



A. Municipal Building Custodial Services - Contractor Change Approved

Trustee Sidor asked for this item to be pulled from the Consent Agenda and asked for details regarding the cleaning company and the situation. He said he was pleased that the Village holds vendors' feet to the fire as far as the services they render. He would like to have some examples of where this vendor fell short.

Mr. Dixon said the Board is being asked to award a new contract. The prior contract has been terminated. Earlier this spring the Board awarded the contract for custodial services. The bid was the lowest of the four bids received and the references were all

favorable. The firm began their work the first week of July and soon thereafter it was evident that the quality of service was not acceptable. After several meetings with their president discussing the deficiencies, no noticeable improvement occurred. Consistent with the contract, the firm was documented and notified of the conditions the Village was experiencing. They had time to remedy the defect and correct deficiencies. On October 3; the firm was given a seven day termination notice. The Village had been deducting 15% per month from this contractor because of the Village's dissatisfaction.

Currently the Village's Public Works personnel, often on overtime which is something the Village tries to avoid, is taking care of the custodial services. These services occur at Village Hall, the Police Station and the Fire Stations, all very heavily trafficked buildings frequented by the public.

Staff reviewed the bids from the spring and the second low bidder had this contract in 2009-2010, their performance was marginal at best. Deficiencies were discussed with this firm while they were employed by the Village and those discussions were always contentious and rarely productive. Staff believes their performance would be no better now than it was then. They are not being recommended.

The third low bidder was GSF USA of Buffalo Grove. They are willing to honor their bid prices from the spring for the remainder of the contract. They have committed to 70% more person hours at the Village Hall and Police Department per week than the previous vendor. It is clear more hours are needed to get the job done. While there is a cost increase, the Public Works budget for this activity does include sufficient funding to cover the difference. Staff believes the additional cost is appropriate because the number of man hours increases, thereby increasing the price. References have been contacted and were complimentary.

Mr. Shirley said that the service under the former vendor was the worst seen in 12 years. The contractor failed to clean shower and locker rooms, kitchenette areas, did not take out trash, did not mop floors daily, and did not wax floors during the quarter. The Senior Center cleaning was pathetic. For new contractors, the beginning 3 month period is a learning curve so the Village gives a little latitude, but the firm's performance did not improve at all in the 3 months.

Trustee Sidor said these explanations helped him understand the level of service expected of vendors. He said it was important for staff to protect Village assets and keep them up to snuff. Facilities need to be clean. The additional hours justify the higher rate.

Trustee Scaletta said that it is a problem always taking lowest bid. In the private sector it's a constant balance between quality and service in relation to price, in this situation, taking the low bidder didn't work out. Now the Village can make the right decision and go with someone who can provide the service that is needed and give the residents what they deserve.

Trustee Mike Sidor moved to approve. Trustee John Scaletta Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Scaletta , Sidor , Tinaglia .

XII. NEW BUSINESS

XIII. LEGAL

XIV. APPOINTMENTS

XV. PETITIONS AND COMMUNICATIONS

- A. Northwest Community Hospital Request to have the west Kirchoff Road Exit Remain Open Approved

Mr. Dixon stated that one of his daughters and her family live near the hospital and so he will not be participating in the discussion. He left the meeting at this time.

Ms. Mikula said the Board has a request from Northwest Community Hospital to keep the west Kirchoff Road exit open as a permanent condition. In May of 2012, the Village Board approved a motion that called for certain steps to take place to allow for the west Kirchoff driveway to open for a nine month trial period. After completing baseline, peak hour, and average daily trip data collection, along with other necessary items, the Hospital opened the west driveway on Monday, August 12, 2012.

Mr. Nicholas Peppers of Storino, Ramello and Durkin introduced Steve Scogna, Michael Hartke, David Pearce of Northwest Community Hospital and Dan Brinkman the traffic engineer. Mr. Peppers reviewed the history of the west driveway closure and opening. The Hospital is requesting to permanently maintain the west drive as it is today. **Mr. Scogna**, President and CEO, assured the Board that their intention is to be the best partner they can to the Village and community. **Mr. Peppers** said after 10 years the Hospital's construction has stabilized. They came before the Board 2012 with a request to open the west drive. A condition of approval involved a 9 month evaluation period. Traffic counts were collected while school was in session and during the summer months. Other requirements included coordinating with Cook County on Central Road signal operations, a review of internal signage and the hiring of off duty police to direct traffic at the west drive. This police service was discontinued soon after at the request of the Police Department as they did not think an officer was necessary. The Hospital secured IDOT approval of the driveway opening. Lane striping improvements were made. The added dual lanes helped as well. Four traffic counts were conducted on all Hospital driveways and the 27 surrounding street locations representing over 2,700 hours of data collection. The traffic volumes during the 2013 peak were 28-49% lower than originally projected in 2001. 30% of cars

depart the campus west on Kirchoff. The total daily volume is 14,365 in/out over 24 hours for the entire campus. Traffic from the Hospital did not inundate the neighborhood to the north. There have been no accidents in one year since west drive opened. On site campus traffic has improved.

President Hayes thanked hospital for Hospital for being such a good neighborhood partner. He said this was an excellent process and the information helpful.

Trustee Rosenberg asked if the Hospital projects a change in the volume moving forward. **Mr. Scogna** said the Hospital has had a migration from inpatient to outpatient care. Immediate care centers are delivering more services. A three year strategic plan is coming this week, and will show a decrease in inpatient services (less than 2 %) outpatient volume will not significantly change on this campus. **Trustee Rosenberg** asked if the Wellness Center might grow. **Mr. Scogna** said it was at capacity and could not grow on this campus.

Trustee Farwell said that it appears there will be no increase in bed capacity. Even if the older building opens it only holds 20% of bed capacity. Initial traffic patterns did not reach earlier projections and inpatient beds are not a high traffic generator. He said the initial study is 30% off the mark and asked if there was still room to achieve those traffic projections and how that study reconciles itself with the information received today.

Mr. Perkins said the improvements made to the Central Road exits have driven more traffic to those exits. The additional parking garage on the south east corner of the property and the new Hospital bed wing make it easier to exit via Central versus Kirchoff. The initial presumptions assumed more traffic from Hospital functions than what has been proven out in reality.

Trustee Farewell said that initially there were a high number of accidents. Now, 12 years later, those counts are down. **Commander Whowell** confirmed that there have not been any accidents in the last 12 months at the Kirchoff exit.

Trustee Scaletta asked if the opening of the exit is permanent, what would be the plan for the hospital to continue to evaluate the exit. **Mr. Peppers** said if changes are made to the Master Plan, it would come back to the Board for approval. Any change in the PUD requires Board approval as well. **Trustee Scaletta** asked if the Hospital is aware that if the Village deems to put a traffic light at the exit the Hospital is to pay 100% of cost. **Mr. Scogna** said yes.

Trustee Glasgow asked what the peak hours were of the Wellness Center. **Mr. Harke** said early morning, mid-day and the after work hours were the busiest, mostly between 6 -8 am and 6-8 pm. He said that statistically membership is at capacity.

Mr. Ponsot said that traffic data was collected via video surveillance. License plate numbers were tracked to vehicle registration. They did not track where cars were going or where they came from, but linked residents to their registered towns. Some

vehicles were registered to work addresses and were company cars, but they might actually be driven by residents. **Commander Whowell** said there was nothing that led the Police Department to believe that the driveway should be closed. The provided enforcement on Kirchoff, Ridge, Kennicott and Dwyer was not productive and no violations were out of norm.

President Hayes said the Hospital asked for the exit to remain open permanently but staff put forward three other possible recommendations. **Mr. Perkins** said that the Board could also:

1. Defer action of the Hospital's request if the Board desires additional data.
2. Approve the Hospital's request to keep the west exit onto Kirchoff open, subject to compliance with relevant requirements of the prior ordinances granting Master Plan approvals for the Hospital.
3. Approve the Hospital's request to keep the west exit onto Kirchoff open subject to:
 - Compliance with the relevant requirements of the prior ordinances granting Master Plan approvals for the Hospital and
 - If the Village determines that traffic issues exist, the Hospital, upon request of the Village, shall conduct additional traffic counts and analysis and provide the traffic study to the Village and
 - If the Village determines modifications to the exit are necessary, the Hospital shall work with the Village to modify exit movements at Kirchoff Road as appropriate.

Ken Kirk 1504 N. Lincoln Ct. works at Northwest Speech and Hearing which is located in the Busse Center for Specialty Medicine. He said prior to the Kirchoff exit opening, he received numerous complaints from patients about the inability to drive directly to their neighborhoods. Since north entrance has been open, he has not received any complaints. He gave kudos to the Hospital for opening it. He gave his full support to keep north entrance open on permanent basis.

John Sondereggeer 44. Vail said that he has a passion for the Hospital. He believes in it, supports it financially, serves on the Board of Trustees and uses its services. His drive to the hospital uses all local streets. With the exit open, he returns home without having to make the illogical exit south. He asked for the Board to keep the Kirchoff exit open.

Joan Sellergran, 117 S. Fernandez, said she respectfully requests to keep the exit open. As a former employee of the Hospital, she said there was dangerous backup within the Hospital grounds as the work day ended when all cars were directed to Central Road. She said it that it was dangerous for ambulances to make their way through the internal traffic. She said she has not experienced more traffic in her neighborhood to the north of the Hospital since the Kirchoff exit has been opened. She

said it makes sense to keep it open.

Carolyn Roberts, 432 S. Kennicott, said she lives just north of the Kirchoff exit and she supports keeping exit open. She said while undergoing treatment at the hospital, she had to take a circuitous route to the west. Recently, a new grandchild was born in her family and she visited the hospital on many occasions. She said it was so much easier to exit off Kirchoff and this ease took the pressure off in a stressful situation. She said it made sense to exit the easy way. She said she uses Kirchoff to go to work and has not noticed any additional traffic.

Janet Boyle of 1225 S. Patton lives south of the Hospital and crosses central and Kirchoff every morning and night going to/from the train. Since the exit has opened, she has not noticed any issue regarding traffic in the morning or at night. As a Hospital Foundation Board member, and a patient, it is a lot easier to get in and out since the exit is open. She said the Hospital is a treasure that is easy to forget about until you need it. To have it in the middle of our community can cause inconveniences, but the Village is so lucky to have this kind of facility. She said the Hospital is a good neighbor and has gone out of their way to do everything the Board and Citizens have asked them to do. She asked the Board to please grant hospital's request.

Colleen Ungurean, 437 S. Fernandez, lives north of the hospital. She thanked the Board for making a compromise in keeping the east exit open and the west exit open for exit and entry. She said her teenage son uses the Wellness Center and she prefers that he exit onto Kirchoff to avoid having to drive a circuitous route around Sunset Meadows, where the football games are being played, in order to come home. She said it is safer as traffic that wants to head east does not get funneled to Dwyer next to the park. She said she has not noticed her neighborhood traffic being any busier since the opening.

Andrea McDonnell of 625 S. Kennicott said the only issue she has experienced is cars using the middle lane as a driving lane versus a turning lane. She said it can be difficult to turn into Kennicott when there is a car in that lane, and it is scary in the evening. She asked if there was any way to restripe the lines or put up some kind of sign indicating that the middle lane is turn lane only.

Ralph Ibbotson of 610 Scottsdale Lane said he recommended passage of the request. The traffic study reinforces his thinking about it. He said it is just common sense that such a major facility should have a north exit. He said he uses the hospital and the north parking garage and can get out very quickly, safely and conveniently.

Mr. Massarelli said he would check IDOT's schedule to see when the reestablishment of markings on Kirchoff is scheduled to occur.

Trustee Scaletta asked if IDOT can be encouraged to act quickly given the situation.

Mr. Massarelli said that a meeting had been held with IDOT in regards to this exit opening and that they were very receptive to the situation. He said he believes IDOT is

aware they need to pay a little more attention to this section of road. **Trustee Scaletta** said he wanted to make sure this has special consideration. Many residents objected to the Board moving forward and the Board assured them that the Village would continue to monitor these issues in the future.

Trustee Scaletta moved to approve option #3. Trustee Sidor seconded the motion.

Trustee Farwell said that a resident who contacted him had the same issue with the turning lane being used inappropriately on Salem. He suggested that reflectors, or something more than striping, could be used and that this was the very area that had the accidents prior to 2001. **Mr. Massarelli** said he would get an answer from IDOT. **Trustee Farwell** pointed out that the current ordinances in place already say that if a light is needed; the cost should be born 100% by the Hospital. If a light is needed at Ridge and Kirchoff, the Hospital pays 50%. This is already a condition. The next time the Hospital needs to do anything on their campus, they would have to amend the Planned Unit Development (PUD) and the review process starts all over again.

Trustee Labedz thanked staff for all the documentation and the Hospital for all the traffic counts. She said she was disturbed that the closure of the exit had the greatest impact on Village residents and she didn't like the idea of residents not being allowed to drive on roads in their own town. She said she is happy to have the exit reopened as it is more convenient. She said she appreciated the work that the Board did and the comments of the residents.

Trustee Tinaglia agreed with Trustee Farwell in that the Hospital is an ever evolving project. He said he would support option #2 as the facility would have to come back for approvals regardless. He said the Hospital facility is part of the Village's fabric.

Trustee Scaletta said he chose option #3 to honor the concerns of residents north of the Hospital that if this was permanent the Village would forget about them. Number 3 assures them that there will be another study if necessary.

Trustee Rosenberg agreed with option #3 as it is all encompassing and gives the Board better decision making opportunities. He thanked the Hospital for all the work they have done and for the hours put into it the project. He said it helped him make a decision.

Trustee Sidor said that he agreed with Trustee Scaletta. He said options #2 and #3 are basically the same; however, option #3 might assure residents that the Board will continue to support them.

Trustee Blackwood said that because the structure of a PUD she could support either option #2 or #3. She said Mr. Ibbotson's comments resonated with her.

Trustee Tinaglia said he did not want to put undue stress on the organization.

Mr. Scogna said the Hospital wants to be a partner, and it trusts the Village Board.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Rosenberg, Scaletta, Sidor, Tinaglia

B. Trustee Glasgow reminded residents that Village stickers can be purchased on line. He thanked Palatine Mayor Schwantz and Police Chief Koziol for the Palatine Police Station tour. He said the two communities have worked together regarding public safety. He reported that Mayor Hayes and all eight Village Trustees were in attendance along with Ms. Mikula, Mr. Perkins and Mr. Dixon. He said there is a commitment from the Board in regards to the importance of this station to the community. He thanked Mr. Dixon for organizing the tour. He said it highlighted the deficiencies of our current building and he was pleased to see what could be done. He thanked the Board members for their attendance.

C. Trustee Farwell said that at a recent seminar held by the Northwest Municipal Conference, Arlington Heights had the largest number of participants. A variety of issues that might be important to residents may be addressed in the upcoming Veto Session in Springfield. He encouraged residents to contact their State Representatives regarding legislation important to our citizens.

D. Trustee Scaletta announced the Arlington Heights Park District is sponsoring a Trunk or Treat event at the Arlington Heights Public Works facility Friday, October 25 from 6:30 – 8:30. For information contact the Park District or look online at ahpd.org.

XVI. REPORT OF THE VILLAGE MANAGER

XVII. ADJOURNMENT

Trustee John Scaletta moved to adjourn the meeting at 9:37 p.m. Trustee Bert Rosenberg Seconded the Motion.

The Motion: Passed

Ayes: Blackwood , Farwell , Glasgow , Hayes , LaBedz , Rosenberg , Scaletta , Sidor , Tinaglia .

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Warrant Register of 10/30/2013

Department: Village Clerk

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Amount of Bidder Recommended:

ATTACHMENTS:

Description	Type
Warrant Register 10/30/2013	Warrant Register



VILLAGE OF ARLINGTON HEIGHTS

**WARRANT REGISTER FOR
CHECK DATE: 10 - 30 - 2013**

Fund	Fund Description	Total Transaction Amount
101	General Fund	\$259,251.51
211	Motor Fuel Tax Fund	\$5,195.40
215	CDBG Fund	\$74.25
227	Foreign Fire Ins Tax Fund	\$2,369.80
231	Criminal Investigation Fd	\$186.08
235	Municipal Parkg Opr Fund	\$9,174.75
251	TIF I South Fund	\$720.00
401	Capital Projects Fund	\$819,011.15
426	Flood Control V Fund	\$42,603.86
435	EAB Fund	\$192,353.36
505	Water and Sewer Fund	\$829,547.04
511	Solid Waste Fund SWANCC	\$116,258.43
515	Arts,Entert & Events Fund	\$31,239.85
605	Health Insurance Fund	\$4,952.00
611	General Liability Ins Fnd	\$459.83
615	Workers Compensation Ins	\$1,118.45
621	Fleet Operations Fund	\$22,980.02
625	Technology Fund	\$14,583.20
715	Guaranty Deposits Fund	\$7,500.00
721	Escrow Deposits Fund	\$3,841.00
TOTAL ALL FUNDS		\$2,363,419.98

WARRANT REGISTER - GM0002

Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 0					
Division: 0					
181576	101-0000-140.10-00	AMERICAN PRINTING TECHNOLOGIES	POSTAGE - WATER BILLING	\$5,600.00	\$5,600.00
181583	715-0000-220.93-00	ARCHITECTURAL GARDENS	REFUND BOND	\$200.00	\$200.00
181595	101-0000-421.05-00	DARISUREN BAATARKHOV	REFUND VEHICLE STICKER	\$10.00	\$10.00
181601	101-0000-120.80-00	BORRE, RANDY	OVERPAY INSURANCE	\$1,484.00	\$1,484.00
181603	715-0000-220.93-00	BRAD BURNETT	REFUND BOND	\$200.00	\$200.00
181605	715-0000-220.93-00	BROOKS AND SONS INC	REFUND BOND	\$200.00	\$200.00
181612	101-0000-433.14-00	KANDIS CANE	REFUND AMBULANCE CLAIM	\$90.00	\$90.00
181614	101-0000-140.51-00	CANON SOLUTIONS AMERICA	MAINTENACE AGREEMENT	\$84.49	\$84.49
181615	715-0000-220.93-00	CAPPS PLUMBING & SEWER	REFUND BOND	\$500.00	\$500.00
181618	101-0000-421.05-00	LUIS CARDOSO	REFUND VEHICLE STICKER	\$10.00	\$10.00
181628	721-0000-221.11-09	CHRISTOPHER B BURKE LTD	SOMERSET CT MANAGEMENT	\$1,841.00	\$1,841.00
181648	505-0000-452.42-00	CORNERSTONE REALTY	REFUND WATER OVERPAYMENT	\$58.20	\$58.20
181654	715-0000-220.93-00	DANLEY GARAGE WORLD	REFUND BOND	\$200.00	\$200.00
181655	715-0000-220.93-00	DANLEYS GARAGE WORLD	REFUND BOND	\$200.00	\$200.00
181668	715-0000-220.93-00	DUROPAVE CONSTRUCTION CO	REFUND BOND	\$200.00	\$200.00
181679	715-0000-220.93-00	FORTIS CONCRETE	REFUND BOND	\$150.00	\$150.00
181680	715-0000-220.93-00	FORTIS CONCRETE	REFUND BOND	\$200.00	\$200.00
181681	715-0000-220.93-00	FORTIS CONCRETE	REFUND BOND	\$150.00	\$150.00
181688	101-0000-421.05-00	CHELSEA GERLACH	REFUND VEHICLE STICKER	\$10.00	\$10.00
181696	101-0000-421.05-00	TIMOTHY GRODEK	REFUND VEHICLE STICKER	\$30.00	\$30.00
181702	715-0000-220.93-00	HOLLY CONNORS	REFUND BOND	\$200.00	\$200.00
181714	715-0000-220.93-00	JANULIS, KIM B	REFUND BOND	\$200.00	\$200.00
181715	721-0000-221.10-08	JB NUYEN	REFUND METER DEPOSIT	\$1,000.00	\$1,000.00
181717	715-0000-220.93-00	JENNIFER BORRELL	REFUND BOND	\$200.00	\$200.00
181718	715-0000-220.93-00	JOAN LAMPERT	REFUND BOND	\$200.00	\$200.00
181720	715-0000-220.93-00	JOHN DEGRAZIA JR	REFUND BOND	\$200.00	\$200.00
181722	715-0000-220.93-00	JOSEPH JAMES CONSTRUCTION INC	REFUND BOND	\$200.00	\$200.00
181723	715-0000-220.93-00	JRC DESIGN BUILD	REFUND BOND	\$200.00	\$200.00
181725	715-0000-220.93-00	KEVIN WOOD	REFUND BOND	\$200.00	\$200.00
181727	101-0000-421.99-00	LAMBS OF FAITH EARLY CHILDHOOD	REFUND BUSINESS LICENSE	\$95.00	\$95.00
181740	715-0000-220.93-00	MARIO PEREZ	REFUND BOND	\$200.00	\$200.00

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
181750	715-0000-220.93-00	MICHAEL SCHROEDER	REFUND BOND	\$200.00	\$200.00
181758	715-0000-220.93-00	MOHAMAD ALWAN	REFUND BOND	\$200.00	\$200.00
181762	715-0000-220.93-00	MWB CONCRETE WORKS INC	REFUND BOND	\$200.00	\$200.00
181763	715-0000-220.93-00	NANCY BRUNELLI	REFUND BOND	\$200.00	\$200.00
181781	101-0000-421.05-00	RODOLFOL PAMMINTUAN	REFUND VEHICLE STICKER	\$30.00	\$30.00
181784	101-0000-421.99-00	PETCO # 1986	REFUND BUSINESS LICENSE	\$380.00	\$380.00
181799	715-0000-220.93-00	QUALITY PLUMBING SERVICES INC	REFUND BOND	\$200.00	\$200.00
181801	101-0000-441.35-00	JULIE RAMSON	REFUND TICKET PE002860	\$25.00	\$25.00
181803	715-0000-220.93-00	REGENCY GARAGES	REFUND BOND	\$200.00	\$200.00
181804	715-0000-220.93-00	REGENCY GARAGES	REFUND BOND	\$200.00	\$200.00
181807	715-0000-220.93-00	RICKY CONSTRUCTION INC	REFUND BOND	\$200.00	\$200.00
181809	715-0000-220.93-00	ROB GILLIS	REFUND BOND	\$200.00	\$200.00
181815	715-0000-220.93-00	SCARAVALLE CONSTRUCTION	REFUND BOND	\$200.00	\$200.00
181816	715-0000-220.93-00	SCARAVALLE CONSTRUCTION	REFUND BOND	\$100.00	\$100.00
181819	101-0000-421.05-00	MATTHEW SCHILKE	REFUND VEHICLE STICKER	\$10.00	\$10.00
181834	715-0000-220.93-00	SUSAN LOCKE	REFUND BOND	\$200.00	\$200.00
181837	715-0000-220.93-00	THOMAS HERRIGAN	REFUND BOND	\$200.00	\$200.00
181844	715-0000-220.93-00	TOWN & COUNTRY CHICAGO ASSOC	REFUND BOND	\$200.00	\$200.00
181847	721-0000-221.10-08	TURNKEY NETWORK SOLUTIONS	REFUND METER DEPOSIT	\$1,000.00	\$1,000.00
181859	101-0000-421.05-00	JASON WARREN	REFUND VEHICLE STICKER	\$10.00	\$10.00
181862	715-0000-220.93-00	WATER WORKS INC	REFUND BOND	\$200.00	\$200.00
181869	715-0000-220.93-00	WILLIAM PRITTS	REFUND BOND	\$200.00	\$200.00
181870	715-0000-220.93-00	WILLIAM WEGNER	REFUND BOND	\$200.00	\$200.00
181871	715-0000-220.93-00	WILLIAM WURSTER	REFUND BOND	\$200.00	\$200.00
Total Division:				\$19,267.69	
Total Department:				\$19,267.69	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 1 Board of Trustees					
Division: 1					
181736	101-0101-501.21-65	LORELLE COMMUNICATIONS INC	OCTOBER BOARD MEETINGS	\$4,500.00	\$4,500.00
Total Division:				\$4,500.00	
Total Department:				\$4,500.00	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 2 Village Manager					
Division: 1					
181580	101-0201-502.21-65	AMERICANEAGLE INC	IDEV MONTHLY WEB FEES	\$49.95	\$49.95
181756	101-0201-502.22-03	DIANA MIKULA	ICMA CONFERENCE	\$1,614.68	\$1,614.68
181855	101-0201-502.21-65	VERIZON WIRELESS	INV 9712337780	\$55.91	\$55.91
181874	101-0201-502.22-15	XEROX CORPORATION	MAINTENANCE AGREEMENT	\$85.00	\$85.00
Total Division:				\$1,805.54	
Total Department:				\$1,805.54	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 3 Human Resources					
Division: 1					
181698	101-0301-503.22-02	HARRIS TRUST & SAVINGS BANK	ASTD MEMBERSHIP	\$199.00	\$199.00
	101-0301-503.40-70		JIMMY JOHN'S	\$70.30	\$120.89
			TCE MRDIRECT/GNEIL	\$50.59	
	615-0301-552.20-50		JIMMY JOHN'S	\$40.77	\$45.30
			JIMMY JOHN'S	\$4.53	
	615-0301-552.21-65		NATL STDNT CLEARING HSE	\$14.95	\$14.95
181735	615-0301-552.22-03	KELLY LIVINGSTON	IPELRA CONFERENCE	\$258.20	\$258.20
181769	605-0301-552.20-50	NORTHWEST COMMUNITY HOSPITAL	SERVICE HEALTH TESTING	\$1,681.00	\$4,952.00
			SERVICE HEALTH TESTING	\$1,284.00	
			SERVICE HEALTH TESTING	\$1,987.00	
181787	101-0301-503.30-05	PETTY CASH	OFFICE SUPPIES	\$25.00	\$25.00
181798	615-0301-552.20-50	NED PUCCI	FITNESS - SEPT-OCT	\$400.00	\$400.00
181802	101-0301-503.22-03	RATH, MARY	IPELRA CONFERENCE	\$258.20	\$258.20
181857	101-0301-503.21-65	VERIZON WIRELESS	INV 9713539980	\$101.19	\$101.19
181872	615-0301-552.20-50	WS DARLEY & CO	FITNESS SEPT-OCT	\$400.00	\$400.00
Total Division:				\$6,774.73	
Total Department:				\$6,774.73	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 4 Legal Department					
Division: 1					
181574	101-0401-503.20-20	AMARI & LOCALLO	SERVICE PROFESSIONAL	\$13,706.91	\$13,706.91
181584	101-0401-503.22-02	ARDC	2014 REGISTRATION DUES	\$342.00	\$684.00
			2014 REGISTRATION DUES	\$342.00	
181613	101-0401-503.30-05	CANON SOLUTIONS AMERICA	OFFICE SUPPLIES	\$441.50	\$441.50
181672	101-0401-503.20-15	ERNEST R BLOMQUIST PC	RETAINER	\$4,170.00	\$4,170.00
181698	101-0401-503.22-03	HARRIS TRUST & SAVINGS BANK	IMLA	\$99.00	\$99.00
181701	101-0401-503.20-10	HOLLAND & KNIGHT LLP	RETAINER	\$4,170.00	\$4,170.00
	101-0401-503.20-20		LEGAL SERVICES	\$300.00	\$300.00
181810	101-0401-503.21-65	ROSE MARY JURINEK	COURT REPORTER	\$940.00	\$940.00
181839	101-0401-503.33-05	THOMSON REUTERS-WEST	INFORMATION CHARGES	\$506.00	\$506.00
Total Division:				\$25,017.41	
Total Department:				\$25,017.41	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 5 Finance					
Division: 1					
181582	101-0501-503.21-65	ANDRES MEDICAL BILLING LTD	SERVICE FINANCIAL	\$6,522.32	\$6,522.32
181667	611-0501-552.42-53	PETER DUFFER	VEHICLE DAMAGE	\$459.83	\$459.83
181698	101-0501-503.22-03	HARRIS TRUST & SAVINGS BANK	ILLINOIS GOVERNMENT FIN	\$30.00	\$30.00
181710	101-0501-503.30-05	INSIGHT PUBLIC SECTOR	OFFICE SUPPLIES	\$152.98	\$152.98
181773	101-0501-503.30-05	OFFICE DEPOT	OFFICE SUPPLIES	\$100.61	\$118.19
			OFFICE SUPPLIES	\$17.58	
181774	101-0501-503.30-05	OFFICE MAX CONTRACT INC	OFFICE SUPPLIES	\$163.46	\$196.37
			OFFICE SUPPLIES	\$32.91	
181787	101-0501-503.22-03	PETTY CASH	TRAINING	\$10.17	\$10.17
	101-0501-503.30-05		OFFICE SUPPLIES	\$29.36	\$29.36
181791	505-0501-503.21-65	PITNEY BOWES	SERVICE EQUIPMENT	\$5,811.00	\$5,811.00
181792	505-0501-503.22-05	POSTMASTER ARLINGTON HEIGHTS	REIMBURSE PERMIT 2594	\$233.35	\$953.31
			REIMBURSE PERMIT 2594	\$719.96	
181842	101-0501-503.21-65	TKB ASSOCIATES INC	SERVICE DATA PROC, SFTWR	\$8,555.00	\$8,555.00
Total Division:				\$22,838.53	
Total Department:				\$22,838.53	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 6 Information Technology					
Division: 1					
181580	625-0601-553.20-39	AMERICANEAGLE INC	HOSTING FEES	\$180.00	\$180.00
181632	625-0601-553.21-65	COMCAST PROCESSING CENTER	27047634	\$5,632.48	\$5,632.48
181662	625-0601-553.21-02	DIVERSIFIED OFFICE EQUIPMENT	EQUIPMENT MAINTENANCE	\$520.20	\$605.20
			EQUIPMENT MAINTENANCE	\$85.00	
181698	625-0601-553.33-05	HARRIS TRUST & SAVINGS BANK	DMI* DELL K-12/GOVT	\$52.79	\$52.79
	625-0601-572.50-10		AMAZON.COM	\$205.48	\$4,130.48
			DEXON COMPUTER	\$1,720.00	
			PCMG800-6255468	\$2,205.00	
181710	625-0601-553.33-05	INSIGHT PUBLIC SECTOR	COMPUTERS,DP & WORD PROC.	\$2,392.00	\$2,392.00
	625-0601-572.50-10		PRINTER REPLACEMENT	\$789.00	\$789.00
Total Division:				\$13,781.95	
Total Department:				\$13,781.95	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 7 GIS					
Division: 1					
181698	625-0701-553.33-05	HARRIS TRUST & SAVINGS BANK	TECHSMITH CORPORATION	\$186.75	\$606.31
			AMAZON.COM	\$209.78	
			AMAZON.COM	\$209.78	
181726	625-0701-553.22-03	KWIATKOWSKI, JANUSZ	ILGISA CONFERENCE	\$72.32	\$72.32
181856	625-0701-553.21-65	VERIZON WIRELESS	INV 9713095075	\$122.62	\$122.62
Total Division:				\$801.25	
Total Department:				\$801.25	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 10 Boards & Commissions					
Division: 8					
181698	101-1008-502.22-01	HARRIS TRUST & SAVINGS BANK	IL ASSOC OF CHIEFS POLICE	\$60.00	\$60.00
181711	101-1008-502.20-75	INSTITUTE FOR PUBLIC SAFETY	FIRE COMMANDER ASSESSMENT	\$6,000.00	\$6,000.00
Total Division:				\$6,060.00	
Division: 17					
181787	101-1017-502.20-24	PETTY CASH	SUPPLIES	\$36.81	\$72.56
			SUPPLIES	\$27.00	
			SUPPLIES	\$8.75	
Total Division:				\$72.56	
Division: 18					
181588	515-1018-525.40-55	ARLINGTON RENTAL INC	AUTUMN HARVEST	\$46.64	\$46.64
181683	515-1018-525.40-55	STEVEN FROMM	AUTUMN HARVEST	\$194.96	\$194.96
181703	515-1018-525.40-55	MICHAEL HORCHER	AUTUMN HARVEST	\$465.00	\$465.00
181820	515-1018-525.40-55	KEVIN SEIFERT	AUTUMN HARVEST	\$783.06	\$783.06
Total Division:				\$1,489.66	
Division: 22					
181575	515-1022-525.40-55	AMERICAN PRINT INC	ART COMM	\$124.00	\$124.00
181585	101-1022-502.33-05	ARLINGTON HTS CHAMBER OF COM	SUPPLIES	\$200.00	\$200.00
181652	101-1022-502.33-05	CROWN TROPHY	SUPPLIES	\$88.25	\$88.25
181698	101-1022-502.33-05	HARRIS TRUST & SAVINGS BANK	GL STOCK IMAGES	\$20.00	\$20.00
Total Division:				\$432.25	
Total Department:				\$8,054.47	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 20 Special Events					
Division: 5					
181817	515-2005-525.50-55	SCHARM FLOOR COVERING	FINAL FLOORING COAT	\$450.00	\$450.00
181841	515-2005-525.50-55	TILES IN STYLE LLC	SERVICE BLDG MAINT	\$10,147.39	\$29,176.19
			SERVICE BLDG MAINT	\$8,821.75	
			SERVICE BLDG MAINT	\$10,207.05	
Total Division:				\$29,626.19	
Total Department:				\$29,626.19	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 30 Police Department					
Division: 1					
181568	101-3001-511.30-05	A AND E RUBBER STAMP CORP	OFFICE SUPPLIES	\$28.00	\$28.00
181590	101-3001-511.30-35	ASR/KALE	CLOTHING & APPAREL	\$14.00	\$399.70
			CLOTHING & APPAREL	\$5.95	
			CLOTHING & APPAREL	\$102.00	
			CLOTHING & APPAREL	\$5.95	
			CLOTHING & APPAREL	\$140.90	
			CLOTHING & APPAREL	\$126.95	
			CLOTHING & APPAREL	\$3.95	
181594	101-3001-511.22-03	RODOLFO AVALOS	TRAINING	\$65.12	\$65.12
181597	101-3001-511.22-03	BAUMGARTNER ALAN	TRAINING	\$75.00	\$120.00
			TRAINING	\$45.00	
181599	101-3001-511.30-35	BLAND WESLEY	CLOTHING	\$232.41	\$232.41
181606	101-3001-511.30-35	BRIAN BROSNAN	CLOTHING	\$134.99	\$134.99
181649	101-3001-511.33-30	CORPORATE IDENTITY INC	SUPPLIES	\$602.17	\$602.17
181675	101-3001-511.22-03	FINNERTY RAYMOND	TRAINING	\$75.00	\$75.00
181685	101-3001-511.22-03	GALINSKI JR, KENNETH	CONFERENCE	\$2,011.52	\$2,011.52
181698	101-3001-511.22-03	HARRIS TRUST & SAVINGS BANK	GIANT	\$49.30	\$344.89
			CROWNE PLAZA DAYTON	\$295.59	
	101-3001-511.33-05		TORTORICES PIZZERIA	\$152.85	\$152.85
	101-3001-511.33-25		AMAZON MKTPLACE PMTS	\$29.12	\$79.11
			VERIZON WRLS M147401	\$54.48	
			VERIZON WRLS M147401	(\$4.49)	
181708	101-3001-511.21-65	IMAGING SYSTEMS INC	MAINT CONTRACT RENEWAL	\$2,518.95	\$2,518.95
181731	101-3001-511.30-35	LEHNERT JEROME	CLOTHING	\$169.33	\$169.33
181744	101-3001-511.21-65	MC DONALDS CORPORATION	SERVICE MISCELLANEOUS	\$160.84	\$300.14
			SERVICE MISCELLANEOUS	\$139.30	
181760	101-3001-511.22-03	GERALD MOURNING	CONFERENCE	\$667.62	\$667.62
181766	101-3001-511.22-03	NE MULTI REGIONAL TRAINING INC	REGISTRATION	\$100.00	\$275.00
			REGISTRATION	\$175.00	
181776	101-3001-511.30-35	OPTICS PLANET INC	CLOTHING & APPAREL	\$3,416.67	\$3,416.67
181789	101-3001-511.22-02	PETTY CASH/POLICE	NOTARY FEES	\$5.00	\$5.00

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
181789	101-3001-511.22-03	PETTY CASH/POLICE	TRAINING	\$75.75	\$75.75
	101-3001-511.33-05		SUPPLIES	\$22.75	\$22.75
	101-3001-511.33-30		SUPPLIES	\$59.86	\$59.86
181790	101-3001-511.22-03	JOSEPH PINNELLO	TRAINING	\$75.00	\$120.00
			TRAINING	\$45.00	
181813	101-3001-511.33-25	SAFARILAND LLC	POLICE EQUIPMENT & SUPPLY	\$97.71	\$97.71
181822	101-3001-511.33-25	SHERWIN HARDWARE	BATTERIES	\$35.96	\$35.96
181823	101-3001-511.22-03	ERIK SLOAN	TRAINING	\$15.00	\$15.00
Total Division:				\$12,025.50	
Division: 3					
181644	231-3003-511.40-11	COMMUNICATION REVOLVING FUND	SERVICE MISCELLANEOUS	\$186.08	\$186.08
Total Division:				\$186.08	
Total Department:				\$12,211.58	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 35 Fire					
Division: 1					
181570	101-3501-512.21-65	ACTIVE LOCK AND KEY LTD	KEY EXTRACTION	\$105.00	\$105.00
181571	101-3501-512.21-02	AIR ONE EQUIPMENT	SERVICE EQUIPMENT	\$79.00	\$79.00
	101-3501-512.30-35		SHOES AND BOOTS	\$334.00	\$10,098.00
			CLOTHING & APPAREL	\$9,764.00	
	401-3501-572.50-15		FIRE PROTECTION EQUIP/SUP	\$2,169.90	\$5,857.90
			OPERATIONAL EQUIPMENT	\$3,688.00	
181602	101-3501-512.33-50	BOUND TREE MEDICAL LLC	SUPPLIES	\$17.29	\$17.29
181663	101-3501-512.21-02	DJS SCUBA LOCKER INC	EQUIPMENT MAINTENANCE	\$1,426.99	\$1,426.99
	101-3501-512.31-85		TOOLS	\$700.00	\$700.00
181673	101-3501-512.30-35	FAWLEYS INC	PASSPORT TAGS	\$34.20	\$34.20
181698	101-3501-512.22-03	HARRIS TRUST & SAVINGS BANK	ILLINOIS FIRE CHIEFS ASSC	\$416.00	\$698.24
			EMBASSY SUITES E PEORIA	\$282.24	
	101-3501-512.31-65		BEST BUY	\$104.97	\$104.97
	101-3501-512.33-05		BESTBUYMKTPPLACE	\$104.06	\$488.11
			SAMS CLUB	\$110.11	
			THE GREAT FRAME UP	\$100.35	
			GFS MKTPLC #0204	\$173.59	
181706	101-3501-512.32-80	IL FIRE INSPECTORS ASSOC	BOOKS	\$848.24	\$848.24
181729	101-3501-512.21-07	LEE AUTO PARTS	VEH MAINTENANCE SUPPLY	\$21.57	\$21.57
181737	101-3501-512.31-55	LOWES COMMERCIAL SERVICES	BUILDER'S SUPPLIES	\$114.51	\$157.23
			BUILDER'S SUPPLIES	\$42.72	
181759	401-3501-572.50-15	MOTOROLA INC	RADIO & TELECOMMUNICATION	\$4,477.90	\$4,477.90
181767	101-3501-512.21-65	NEXTEL COMMUNICATIONS	ACCT 668021225	\$861.37	\$861.37
181773	101-3501-512.30-05	OFFICE DEPOT	OFFICE SUPPLIES	\$68.85	\$255.57
			OFFICE SUPPLIES	\$91.46	
			OFFICE SUPPLIES	\$95.26	
181786	101-3501-512.22-03	PETERSON, RAGNAR	TUITION REIMBURSEMENT	\$37.50	\$37.50
181788	101-3501-512.22-03	PETTY CASH/FIRE	TRAINING	\$73.08	\$73.08
	101-3501-512.30-35		CLOTHING	\$10.00	\$10.00
	101-3501-512.31-45		JANITORIAL SUPPLIES	\$11.41	\$11.41
	101-3501-512.31-55		SUPPLIES	\$27.98	\$27.98

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
181788	101-3501-512.31-65	PETTY CASH/FIRE	SUPPLIES	\$35.99	\$35.99
	101-3501-512.31-85		TOOLS	\$13.58	\$13.58
	101-3501-512.33-05		SUPPLIES	\$114.25	\$114.25
181822	101-3501-512.31-45	SHERWIN HARDWARE	JANITORIAL SUPPLIES	\$18.97	\$18.97
181846	101-3501-512.30-35	TRUE VALUE	SAFETY GLASSES	\$38.97	\$38.97
	101-3501-512.31-65		SUPPLIES	\$59.98	\$59.98
	101-3501-512.33-05		SUPPLIES	\$22.20	\$22.20
Total Division:				\$26,695.49	
Total Department:				\$26,695.49	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 37 Foreign Fire Insurance					
Division: 1					
181569	227-3701-512.50-15	ABT ELECTRONICS	FITNESS MACHINE SERVICE	\$126.56	\$126.56
181645	227-3701-512.50-15	CONCEPT 2 CTS	FITNESS MACHINE	\$1,245.00	\$1,245.00
181698	227-3701-512.50-15	HARRIS TRUST & SAVINGS BANK	EVERESTBAGS.COM	\$275.00	\$275.00
181872	227-3701-512.30-35	WS DARLEY & CO	RED GEAR BAGS	\$723.24	\$723.24
Total Division:				\$2,369.80	
Total Department:				\$2,369.80	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 40 Planning					
Division: 1					
181698	101-4001-521.40-40	HARRIS TRUST & SAVINGS BANK	ION EXHIBITS	\$1,175.22	\$1,684.72
			METRA ARLINGTON HEIGHT	\$52.50	
			ICSC	\$365.00	
			WENDELLA SIGHTSEEING	\$3.00	
			LBP*REALESTATECOMMGRP	\$89.00	
181701	251-4001-571.20-05	HOLLAND & KNIGHT LLP	PROFESSIONAL SERVICES	\$720.00	\$720.00
181730	101-4001-521.21-65	LEGRAND SERVICES	TRANSCRIPT SERVICES	\$478.85	\$887.75
			TRANSCRIPT SERVICES	\$408.90	
181773	101-4001-521.30-05	OFFICE DEPOT	OFFICE SUPPLIES	\$306.97	\$405.89
			OFFICE SUPPLIES	\$98.92	
181778	101-4001-521.40-40	PADDOCK PUBLICATIONS	ADVERTISING	\$300.81	\$300.81
181779	101-4001-521.22-01	PADDOCK PUBLICATIONS INC	ADVERTISING	\$696.60	\$1,345.95
			ADVERTISING	\$98.55	
			ADVERTISING	\$106.65	
			ADVERTISING	\$93.15	
			ADVERTISING	\$83.70	
			ADVERTISING	\$91.80	
			ADVERTISING	\$91.80	
			ADVERTISING	\$83.70	
181787	101-4001-521.22-03	PETTY CASH	TRAINING	\$20.00	\$20.00
Total Division:				\$5,365.12	
Total Department:				\$5,365.12	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 41 Community Devl Block Grnt					
Division: 1					
181779	215-4101-522.41-02	PADDOCK PUBLICATIONS INC	ADVERTISING	\$74.25	\$74.25
Total Division:				\$74.25	
Total Department:				\$74.25	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 45 Building & Health Service					
Division: 1					
181695	101-4501-523.20-35	GRIVAS KRAUSE ASSOCIATES LTD	PLAN REVIEWS	\$330.00	\$1,650.00
			PLAN REVIEWS	\$1,320.00	
181752	101-4501-523.21-65	MICROSYSTEMS	SERVICE MISCELLANEOUS	\$5,357.64	\$5,357.64
181768	101-4501-523.22-03	NORTHWEST BOCA	TRAINING	\$400.00	\$400.00
181787	101-4501-523.22-03	PETTY CASH	TRAINING	\$20.00	\$20.00
	101-4501-523.30-05		OFFICE SUPPLIES	\$45.13	\$45.13
181831	101-4501-523.22-10	SUBURBAN PRESS	PRINTING	\$335.00	\$335.00
181838	101-4501-523.21-65	THOMPSON ELEVATOR INSPECTION	SERVICE BLDG MAINT	\$476.00	\$628.00
			SERVICE BLDG MAINT	\$38.00	
			SERVICE BLDG MAINT	\$38.00	
			SERVICE BLDG MAINT	\$38.00	
			SERVICE BLDG MAINT	\$38.00	
Total Division:				\$8,435.77	
Division: 2					
181598	101-4502-523.22-03	TERESE BISKNER	TRAINING	\$179.20	\$179.20
181600	101-4502-523.22-03	JEFF BOHNER	TRAINING	\$179.20	\$179.20
181647	101-4502-523.21-10	CORELOGIC SOLUTIONS LLC	ADDRESS SEARCH	\$220.00	\$220.00
181674	101-4502-523.33-10	FFF ENTERPRISES	DRUGS,PHARM & BIOLOGICALS	\$5,380.50	\$5,380.50
181682	101-4502-523.22-03	FRERES SEAN	TRAINING	\$179.20	\$179.20
181691	101-4502-523.33-10	GLAXOSMITHKLINE PHARMACEUTICALS	IMMUNIZATION SUPPLIES	\$119.20	\$119.20
181698	101-4502-523.33-05	HARRIS TRUST & SAVINGS BANK	THERMOWORKS INC	\$42.99	\$42.99
	101-4502-523.40-53		COMFORT INN PALATINE	\$56.49	\$1,054.73
			0784 - MOTEL 6	\$196.04	
			SQ *AAA AMERICAN ARCTI	\$75.00	
			NCO*NICOR GAS	\$115.50	
			COMED	\$323.00	
			BILLMATRIX CORPORATION	\$2.50	
			COMED	\$283.70	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
181698	101-4502-523.40-53	HARRIS TRUST & SAVINGS BANK	BILLMATRIX CORPORATION	\$2.50	\$1,054.73
181765	101-4502-523.22-02	NATL ENVIRONMENTAL HEALTH	MEMBERSHIP-J MCCALISTER	\$95.00	\$95.00
181787	101-4502-523.33-10	PETTY CASH	SUPPLIES	\$25.73	\$25.73
181814	101-4502-523.33-10	SANOFI PASTEUR INC	CLINIC SUPPLIES	\$38.03	\$38.03
181845	101-4502-523.21-10	TROY GRANDT	PROPERTY MAINTENANCE	\$60.00	\$405.00
			PROPERTY MAINTENANCE	\$45.00	
			PROPERTY MAINTENANCE	\$60.00	
			PROPERTY MAINTENANCE	\$60.00	
			PROPERTY MAINTENANCE	\$60.00	
			PROPERTY MAINTENANCE	\$60.00	
			PROPERTY MAINTENANCE	\$60.00	
Total Division:				\$7,918.78	
Division: 3					
181621	101-4503-523.31-65	CATHOLIC CHARITIES CATERING	SUPPLIES	\$825.00	\$825.00
181698	101-4503-523.31-65	HARRIS TRUST & SAVINGS BANK	WAL-MART #2815	\$58.74	\$132.85
			JEWEL #3478	\$31.61	
			AMAZON.COM	\$42.50	
181747	101-4503-523.21-65	METROPOLIS PERFORMING ARTS CENTRE	SENIOR ACTING CLASSES	\$435.00	\$535.00
			SENIOR ACTING CLASSES	\$100.00	
181792	101-4503-523.22-05	POSTMASTER ARLINGTON HEIGHTS	S.C. NEWSLETTER MAILING	\$361.76	\$361.76
181840	101-4503-523.22-40	THREE O THREE CAB ASSOC INC	SUBSIDIZED TAXI RIDES	\$87.00	\$87.00
Total Division:				\$1,941.61	
Total Department:				\$18,296.16	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 50 Engineering					
Division: 1					
181589	401-5001-571.50-30	ARROW ROAD CONSTRUCTION CO	SERVICE CONSULTING	\$640,614.40	\$640,614.40
181608	401-5001-571.50-30	KEITH BRUNELLI	REIMB - DRIVEWAY APRON	\$567.12	\$567.12
181625	401-5001-571.50-30	CGMT	SERVICE ENGINEERING	\$1,150.00	\$7,285.25
			SERVICE ENGINEERING	\$6,135.25	
181630	401-5001-571.50-30	CIVILTECH ENGINEERING INC	SERVICE CONSULTING	\$41,754.69	\$41,754.69
181671	401-5001-571.50-30	WARREN ERLAND	PARKWAY RESTORATION	\$185.28	\$185.28
181689	426-5001-571.50-25	FRANK GIARDINA	SEWER REBATE PROGRAM	\$4,400.00	\$4,400.00
181690	401-5001-571.50-30	ROBERT GILLIS	DRIVEWAY REIMBURSEMENT	\$875.49	\$875.49
181698	101-5001-524.22-03	HARRIS TRUST & SAVINGS BANK	UNITED	\$25.00	\$25.00
	101-5001-524.33-05		AMERICAN PUBLIC WORKS	\$108.50	\$108.50
181713	426-5001-571.50-25	J CONGDON SEWER SERVICE INC	SERVICE CONSTRUCTION	\$31,871.23	\$31,871.23
181732	401-5001-571.50-30	LEVENTHAL, R	REIMB - SIDEWALK	\$318.75	\$318.75
181734	426-5001-571.50-25	DANIEL LISEK	SEWER REBATE PROGRAM	\$5,332.63	\$5,332.63
181739	401-5001-571.50-30	JEROME MANN	REIMB - SIDEWALK	\$400.00	\$400.00
181742	101-5001-524.22-03	MASSARELLI JAMES	ASCE CONFERENCE	\$24.00	\$24.00
181774	101-5001-524.30-05	OFFICE MAX CONTRACT INC	OFFICE SUPPLIES	\$334.31	\$334.31
181780	101-5001-524.22-03	PAGONES MICHAEL	CONFERENCE	\$204.16	\$204.16
181787	101-5001-524.22-02	PETTY CASH	NOTARY FEES	\$15.00	\$15.00
181824	426-5001-571.50-25	SOIL & MATERIAL CONSULTANTS	SERVICE CONSULTING	\$1,000.00	\$1,000.00
181830	101-5001-524.21-65	SUBURBAN LABORATORIES INC	LABORATORY SERVICES	\$130.00	\$130.00
181850	401-5001-571.50-30	UNION PACIFIC RAILROAD COMPANY	SERVICE CONSTRUCTION	\$53,342.81	\$101,881.87
			SERVICE CONSTRUCTION	\$48,539.06	
181864	401-5001-571.50-30	W WEGNER	REIMB - SIDEWALK	\$820.00	\$820.00
181873	401-5001-571.50-30	WILLIAM WURSTER	REIMB - DRIVEWAY APRON	\$592.32	\$592.32
Total Division:				\$838,740.00	
Total Department:				\$838,740.00	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 71 Public Works					
Division: 1					
181570	101-7101-531.21-11	ACTIVE LOCK AND KEY LTD	SPINDLE ASSY	(\$186.90)	\$0.00
			BLDG MAINT	\$186.90	
	101-7101-531.31-55		BUILDING SUPPLIES	\$52.80	\$135.79
			SUPPLIES	\$82.99	
181572	435-7101-531.31-85	ALEXANDER EQUIPMENT CO INC	TOOLS	\$94.80	\$94.80
181573	101-7101-531.21-11	ALL WINDOW CLEANING SERV INC	BUILDING MAINTENANCE	\$850.00	\$1,410.00
			BLUILDING MAINTENANCE	\$560.00	
181577	101-7101-531.22-02	AMERICAN PUBLIC WORKS ASSOC	MEMBERSHIP DUES	\$184.00	\$260.25
			MEMBERSHIP DUES	\$76.25	
181581	101-7101-531.21-36	AMERIGAS-PALATINE	FILL CYLINDER VAPOR	\$83.21	\$83.21
181587	101-7101-531.30-35	ARLINGTON POWER EQUIPMENT	CLOTHING & APPAREL	\$75.96	\$127.44
			CLOTHING & APPAREL	\$51.48	
	435-7101-531.31-85		TOOLS	\$338.00	\$338.00
181604	435-7101-531.40-86	ELIZABETH BRANDT	EAB REIMBURSEMENT	\$50.00	\$50.00
181609	401-7101-571.50-20	BTU COMPANY INC	HVAC EQUIPMENT SUPPLIES	\$2,536.00	\$2,536.00
181610	101-7101-531.21-36	C C CARTAGE INC	RENTAL/LEASE EQUIPMENT	\$4,888.65	\$8,117.27
			RENTAL/LEASE EQUIPMENT	\$1,062.75	
			RENTAL/LEASE EQUIPMENT	\$1,429.87	
			RENTAL/LEASE EQUIPMENT	\$736.00	
	101-7101-531.21-62		SERVICE DISPOSAL	\$1,947.00	\$1,947.00
181617	401-7101-571.50-20	CARDNO ATC	SERVICE BLDG MAINT	\$4,425.00	\$4,425.00
181619	101-7101-531.21-36	CASEY EQUIPMENT CO	RENTAL/LEASE EQUIPMENT	\$1,648.00	\$1,648.00
181622	101-7101-531.31-55	CENTURY TILE CO	SUPPLIES	\$40.46	\$167.90
			SUPPLIES	\$127.44	
181624	101-7101-531.31-65	CERTIFIED LABORATORIES	SUPPLIES	\$318.28	\$318.28
181629	101-7101-531.30-35	CINTAS CORP	UNIFORMS	\$159.12	\$238.96
			UNIFORM SHIRTS AND PANTS	\$79.84	
181631	101-7101-531.22-70	COMCAST CABLE	INTERNET SCADA	\$164.90	\$167.02
			INTERNET SCADA	\$2.12	
181633	101-7101-531.21-50	COMMONWEALTH EDISON COMPANY	2985063029	\$89.15	\$89.15
181634	101-7101-531.21-50	COMMONWEALTH EDISON COMPANY	1851137062	\$68.54	\$68.54

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
181636	101-7101-531.21-50	COMMONWEALTH EDISON COMPANY	2278061084	\$83.64	\$83.64
181637	101-7101-531.21-50	COMMONWEALTH EDISON COMPANY	4103039009	\$114.59	\$114.59
181646	211-7101-571.50-40	COOK COUNTY HIGHWAY DEPT	SERVICE CONSTRUCTION	\$5,195.40	\$5,195.40
181650	101-7101-531.21-62	COUNTRYSIDE LANDFILL	SERVICE DISPOSAL	\$3,611.56	\$3,611.56
181651	101-7101-531.21-11	COYNE TEXTILE SERVICES	SERVICE BLDG MAINT	\$13.64	\$134.68
			SERVICE BLDG MAINT	\$26.36	
			SERVICE BLDG MAINT	\$65.24	
			SERVICE BLDG MAINT	\$15.32	
			SERVICE BLDG MAINT	\$14.12	
181653	435-7101-531.40-86	BARB CUKIERSKI	EAB REIMBURSEMENT	\$50.00	\$50.00
181656	435-7101-531.40-86	KENNETH DAVIES	EAB REIMBURSEMENT	\$95.00	\$95.00
181657	435-7101-531.40-86	KATHY DAY	EAB REIMBURSEMENT	\$50.00	\$50.00
181658	435-7101-531.40-86	DAN DEFINA	EAB REIMBURSEMENT	\$50.00	\$50.00
181659	435-7101-531.40-86	DAVID DERENGOWSKI	EAB REIMBURSEMENT	\$50.00	\$50.00
181660	101-7101-531.22-70	DEX ONE	TELEPHONE SERVICE	\$82.33	\$82.33
181665	435-7101-531.40-86	DOROTHY DOYLE	EAB REIMBURSEMENT	\$50.00	\$50.00
181666	101-7101-531.21-15	DRISCOLL PRODUCTS INC	WASP NEST REMOVAL	\$250.00	\$250.00
181676	101-7101-531.21-15	FLECKS LANDSCAPING	SHRUB PRUNING	\$700.00	\$700.00
181677	435-7101-531.40-86	ERIN FLEMING	EAB REIMBURSEMENT	\$100.00	\$100.00
181684	435-7101-531.40-86	ALAN GABRIEL	EAB REIMBURSEMENT	\$50.00	\$50.00
181687	435-7101-531.40-86	ARMAN GENTILE	EAB REIMBURSEMENT	\$50.00	\$50.00
181693	101-7101-531.30-35	CHESTER GORECKI	CLOTHING	\$100.00	\$100.00
181694	101-7101-531.31-65	GRAINGER W W INC	EQUIPMENT, NON OFFICE	\$96.22	\$96.22
181697	101-7101-531.21-62	GROOT RECYCLING AND WASTE SERVICES	DISPOSAL SERVICE	\$324.50	\$604.63
			DISPOSAL SERVICE	\$280.13	
181699	101-7101-531.21-02	HAYES MECHANICAL	EQUIPMENT MAINTENANCE	\$459.00	\$2,883.81
			EQUIPMENT MAINTENANCE	\$459.00	
			EQUIPMENT MAINTENANCE	\$1,350.81	
			EQUIPMENT MAINTENANCE	\$358.00	
			EQUIPMENT MAINTENANCE	\$257.00	
181705	435-7101-531.40-86	WALTER HUELLEN	EAB REIMBURSEMENT	\$50.00	\$50.00
181709	101-7101-531.22-02	IMSA	MEMBERSHIP, GRAVES	\$40.00	\$40.00
181712	101-7101-531.21-65	INTL EXTERMINATORS INC	PEST CONTROL	\$124.00	\$1,153.00
			PEST CONTROL	\$89.00	
			PEST CONTROL	\$89.00	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
181712	101-7101-531.21-65	INTL EXTERMINATORS INC	PEST CONTROL	\$89.00	\$1,153.00
			PEST CONTROL	\$110.00	
			PEST CONTROL	\$110.00	
			PEST CONTROL	\$89.00	
			PEST CONTROL	\$89.00	
			PEST CONTROL	\$168.00	
			PEST CONTROL	\$72.00	
			PEST CONTROL	\$124.00	
181721	435-7101-531.40-86	BRAD JORGENSEN	EAB REIMBURSEMENT	\$100.00	\$100.00
181724	401-7101-571.50-30	JTS COATINGS	FOUR UNIT NEWSPAPER BOX	\$1,500.00	\$1,500.00
181733	435-7101-531.40-86	DEBRA LINDAY	EAB REIMBURSEMENT	\$45.00	\$45.00
181737	101-7101-531.31-40	LOWES COMMERCIAL SERVICES	AGRICULTURAL SUPPLIES	\$41.74	\$41.74
	101-7101-531.31-55		DECORATIONS	\$86.68	\$116.75
			EQUIPMENT, NON OFFICE	\$30.07	
	101-7101-531.31-65		EQUIPMENT, NON OFFICE	\$16.07	\$44.55
			EQUIPMENT, NON OFFICE	\$28.48	
	101-7101-531.31-85		TOOLS	\$160.48	\$160.48
	101-7101-531.33-05		DECORATIONS	\$72.63	\$72.63
181741	435-7101-531.40-86	JASON MARTINSEN	EAB REIMBURSEMENT	\$50.00	\$50.00
181743	101-7101-531.31-85	MASTER HITCH INC	TOOLS	\$110.95	\$110.95
181746	435-7101-531.40-86	KATIE MCATER	EAB REIMBURSEMENT	\$50.00	\$50.00
181748	101-7101-531.31-45	MEYER LABORATORY INC	JANITORIAL SUPPLIES	\$341.66	\$341.66
181751	435-7101-531.40-86	PETER MICHALAKOS	EAB REIMBURSEMENT	\$50.00	\$50.00
181754	101-7101-531.21-02	MID AMERICAN ELEVATOR CO INC	EQUIPMENT MAINTENANCE	\$479.68	\$2,033.68
			EQUIPMENT MAINTENANCE	\$814.00	
			EQUIPMENT MAINTENANCE	\$740.00	
181755	101-7101-531.31-90	MIDWEST MINING & MATERIALS	STREET/SIDEWALK SUPPLIES	\$7,280.00	\$7,280.00
181770	101-7101-531.31-75	NORTHWEST ELECTRICAL SUPPLY CO	STREET LIGHT SUPPLIES	\$13.37	\$13.37
	101-7101-531.31-85		HAND TOOLS-POWER/NON POW	\$193.53	\$157.59
			HAND TOOLS-POWER/NON POW	\$79.53	
			HAND TOOLS-POWER/NON POW	(\$115.47)	
181773	101-7101-531.30-05	OFFICE DEPOT	OFFICE SUPPLIES	\$240.02	\$240.02
181775	101-7101-531.21-15	OLIVE GROVE LANDSCAPING INC	SERVICE MISCELLANEOUS	\$887.95	\$28,478.73
			SERVICE MISCELLANEOUS	\$2,133.77	
			SERVICE MISCELLANEOUS	\$9,145.29	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
181775	101-7101-531.21-15	OLIVE GROVE LANDSCAPING INC	SERVICE MISCELLANEOUS	\$863.80	\$28,478.73
			SERVICE MISCELLANEOUS	\$1,016.22	
			SERVICE MISCELLANEOUS	\$773.59	
			SERVICE MISCELLANEOUS	\$2,236.85	
			SERVICE MISCELLANEOUS	\$4,529.00	
			SERVICE MISCELLANEOUS	\$1,566.14	
			SERVICE MISCELLANEOUS	\$1,102.50	
			SERVICE MISCELLANEOUS	\$1,365.00	
			SERVICE MISCELLANEOUS	\$1,190.00	
			SERVICE MISCELLANEOUS	\$805.00	
			SERVICE MISCELLANEOUS	\$863.62	
181777	101-7101-531.31-90	ORANGE CRUSH LLC	STREET/SIDEWALK SUPPLIES	\$147.74	\$554.77
			STREET/SIDEWALK SUPPLIES	\$407.03	
181782	435-7101-531.40-86	KATHERINE PARENTI	EAB REIMBURSEMENT	\$50.00	\$50.00
181783	101-7101-531.31-55	PENTAIR THERMAL MANAGEMENT	GUTTER SENSOR REPLACEMENT	\$773.20	\$773.20
181785	101-7101-531.21-11	PETE THE PAINTER INC	BUILDING MAINTENANCE	\$1,990.00	\$1,990.00
181793	101-7101-531.21-15	POTHOLE PROS INC	SERVICE CONSTRUCTION	\$9,000.00	\$9,000.00
181794	101-7101-531.21-55	POWELL TREE CARE INC	SERVICE TREES	\$1,320.00	\$1,320.00
	435-7101-571.50-55		SERVICE TREES	\$4,218.00	\$4,218.00
181797	101-7101-531.30-35	PRO SAFETY INC	CLOTHING & APPAREL	\$560.90	\$697.55
			CLOTHING & APPAREL	\$136.65	
181805	101-7101-531.21-55	REIGN PRINT SOLUTIONS	TREE MAPS	\$607.52	\$607.52
181806	101-7101-531.30-39	RELADYNE	DURAMAX BULK	\$738.00	\$738.00
181808	101-7101-531.30-39	RKA PETROLEUM COMPANIES INC	FUEL,OIL,GREASE, & LUBES	\$23,842.76	\$23,842.76
181811	435-7101-531.40-86	SHARON RUSH	EAB REIMBURSEMENT	\$559.31	\$559.31
181812	401-7101-572.50-15	RUSSO'S POWER EQUIPMENT INC	GENERATOR	\$816.00	\$816.00
	435-7101-531.31-85		CHAIN SAWS	\$680.00	\$4,859.00
			CHAIN SAWS	\$1,760.00	
			CHAIN SAWS	\$1,720.00	
			HANDHELD BLOWERS	\$699.00	
181818	435-7101-531.40-86	LOREN SCHEEL	EAB REIMBURSEMENT	\$48.00	\$48.00
181822	101-7101-531.31-65	SHERWIN HARDWARE	SUPPLIES	\$16.48	\$140.72
			SUPPLIES	\$14.90	
			SUPPLIES	\$4.49	
			SUPPLIES	\$49.96	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
181822	101-7101-531.31-65	SHERWIN HARDWARE	SUPPLIES	\$13.97	\$140.72
			SUPPLIES	\$18.45	
			SUPPLIES	\$10.48	
			SUPPLIES	\$11.99	
181825	101-7101-531.22-03	SPEEDWAY/SUPER AMERICA	MOTOR FUEL	\$120.11	\$120.11
181826	101-7101-531.21-36	STANDARD EQUIPMENT CO	RENTAL/LEASE EQUIPMENT	\$7,529.00	\$15,058.00
			RENTAL/LEASE EQUIPMENT	\$7,529.00	
181828	401-7101-572.50-15	STEINER ELECTRIC	EQUIPMENT, NON OFFICE	\$4,103.18	\$4,103.18
181832	435-7101-531.40-86	BRIAN SULLIVAN	EAB REIMBURSEMENT	\$50.00	\$50.00
181833	435-7101-531.40-86	MICHAEL SULLIVAN	EAB REIMBURSEMENT	\$100.00	\$100.00
181835	435-7101-531.40-86	PATRICIA/JOSEPH TERC	EAB REIMBURSEMENT	\$50.00	\$50.00
181843	101-7101-531.21-15	TLC GROUP LTD	SERVICE MISCELLANEOUS	\$5,225.60	\$5,225.60
181848	101-7101-531.21-65	TYCO INTEGRATED SECURITY	ALARM SERVICE	\$90.00	\$255.61
			ALARM SERVICE	\$165.61	
181851	101-7101-531.31-45	UNITED LABORATORIES	FLOOR CLEANER	\$198.35	\$198.35
181853	435-7101-531.40-86	FRANK URBAN	EAB REIMBURSEMENT	\$50.00	\$50.00
181854	101-7101-531.22-70	VERIZON WIRELESS	INV 9712388077	\$199.88	\$199.88
181863	435-7101-531.40-86	CHARLOTTE WEBER	EAB REIMBURSEMENT	\$50.00	\$50.00
181866	435-7101-571.50-55	WEST CENTRAL MUNICIPAL CONF	AGRICULTURAL SUPPLIES	\$180,846.25	\$180,846.25
181875	435-7101-531.40-86	WAYNE ZAHORSKI	EAB REIMBURSEMENT	\$50.00	\$50.00
181877	435-7101-531.40-86	CAROL ZAVATSKY	EAB REIMBURSEMENT	\$50.00	\$50.00
181878	101-7101-531.33-05	ZENON CO	DECORATIONS	\$7,620.00	\$8,001.00
			SHIPPING/DELIVERY SERVICE	\$381.00	
181879	101-7101-531.31-45	ZEP MANUFACTURING CO	JANITORIAL SUPPLIES	\$274.34	\$274.34
801297	101-7101-531.21-50	COMMONWEALTH EDISON COMPANY	1627055057	\$1,098.20	\$1,677.44
			4643388009	\$543.80	
			5492508009	\$35.44	
801298	101-7101-531.22-70	AT & T	847577545309	\$71.34	\$4,965.47
			847392086609	\$67.86	
			847577579509	\$268.03	
			847394206209	\$46.72	
			847394436809	\$46.72	
			847259612409	\$46.72	
			847R16051909	\$1,913.03	
			847Z97278409	\$2,411.58	

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801298	101-7101-531.22-70	AT & T	847439786809	\$93.47	\$4,965.47
801299	101-7101-531.21-50	NICOR	97034457784	\$816.65	\$5,767.41
			58401600000	\$132.71	
			95407400001	\$429.48	
			73488600005	\$1,134.38	
			55616726109	\$1,449.17	
			96945600003	\$1,485.04	
			19426400008	\$82.30	
			43278600002	\$107.75	
			72489260108	\$129.93	
Total Division:				\$356,062.09	
Total Department:				\$356,062.09	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 72 Water and Sewer					
Division: 1					
181570	505-7201-561.31-55	ACTIVE LOCK AND KEY LTD	BLDG SUPPLIES	\$12.50	\$12.50
181578	505-7201-561.22-02	AMERICAN WATER WORKS ASSOC	MEMBERSHIP DUES	\$191.00	\$191.00
181610	505-7201-561.21-36	C C CARTAGE INC	RENTAL/LEASE EQUIPMENT	\$7,014.15	\$8,927.10
			RENTAL/LEASE EQUIPMENT	\$1,912.95	
	505-7201-561.21-62		SERVICE DISPOSAL	\$531.00	\$531.00
	505-7201-561.31-90		STREET/SIDEWALK SUPPLIES	\$6,735.51	\$7,639.94
			STREET/SIDEWALK SUPPLIES	\$904.43	
181611	505-7201-561.30-35	CAMEL PAUL	CLOTHING	\$100.00	\$100.00
181635	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	1092085063	\$80.96	\$80.96
181638	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	0117046072	\$94.41	\$94.41
181639	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	0684023014	\$97.04	\$97.04
181640	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	0684023014	\$118.62	\$118.62
181641	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	0117046072	\$53.79	\$53.79
181642	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	0831076049	\$94.62	\$94.62
181643	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	0705092066	\$25.98	\$25.98
181664	505-7201-561.31-02	DOUGLAS TRUCK PARTS INC	SUPPLIES	\$78.00	\$78.00
181669	505-7201-561.31-01	EAST JORDAN USA INC	WATER SEWER SYSTEM SUPPLY	\$4,182.19	\$4,182.19
181678	505-7201-561.31-01	FOREMAN JOSEPH D AND CO	WATER SEWER SYSTEM SUPPLY	\$7,752.00	\$7,752.00
181686	505-7201-561.21-02	GASVODA & ASSOC	EQUIPMENT MAINTENANCE	\$129.00	\$258.00
			EQUIPMENT MAINTENANCE	\$129.00	
181694	505-7201-561.31-05	GRAINGER W W INC	EQUIPMENT, NON OFFICE	\$318.12	\$364.63
			PUMPING SYSTEM SUPPLIES	(\$122.24)	
			PUMPING SYSTEM SUPPLIES	\$168.75	
	505-7201-561.31-55		PUMPING SYSTEM SUPPLIES	\$247.32	\$247.32
181700	505-7201-561.21-35	HBK WATER METER SERVICE INC	WATER SEWER SYSTEM SUPPLY	\$403.75	\$403.75
	505-7201-561.31-02		WATER SEWER SYSTEM SUPPLY	\$5,290.00	\$8,096.50
			WATER SEWER SYSTEM SUPPLY	\$1,150.50	
			READ REGISTER	\$1,656.00	
181716	505-7201-561.31-40	JCK CONTRACTORS	PULVERIZED TOPSOIL	\$300.00	\$300.00
181737	505-7201-561.31-65	LOWES COMMERCIAL SERVICES	EQUIPMENT, NON OFFICE	\$94.05	\$94.05
181745	505-7201-561.20-05	MC HENRY ANALYTICAL WATER LAB	SERVICE CONSULTING	\$850.00	\$850.00

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
181753	505-7201-561.31-01	MID AMERICA WATER	SUPPLIES	\$1,495.00	\$1,495.00
181761	505-7201-561.33-05	JEFF MUSINSKI	EVENT SUPPLIES	\$1,073.22	\$1,073.22
181773	505-7201-561.30-05	OFFICE DEPOT	OFFICE SUPPLIES	\$240.02	\$282.01
			OFFICE SUPPLIES	\$41.99	
	505-7201-561.50-10		PROJECTOR	\$429.99	\$429.99
181775	505-7201-561.21-30	OLIVE GROVE LANDSCAPING INC	SERVICE MISCELLANEOUS	\$380.55	\$12,205.20
			SERVICE MISCELLANEOUS	\$914.48	
			SERVICE MISCELLANEOUS	\$3,919.41	
			SERVICE MISCELLANEOUS	\$370.20	
			SERVICE MISCELLANEOUS	\$435.53	
			SERVICE MISCELLANEOUS	\$331.54	
			SERVICE MISCELLANEOUS	\$958.65	
			SERVICE MISCELLANEOUS	\$1,941.00	
			SERVICE MISCELLANEOUS	\$671.21	
			SERVICE MISCELLANEOUS	\$472.50	
			SERVICE MISCELLANEOUS	\$585.00	
			SERVICE MISCELLANEOUS	\$510.00	
			SERVICE MISCELLANEOUS	\$345.00	
			SERVICE MISCELLANEOUS	\$370.13	
181795	505-7201-561.31-90	PRAIRIE MATERIAL SALES INC	STREET/SIDEWALK SUPPLIES	\$518.22	\$1,817.72
			STREET/SIDEWALK SUPPLIES	\$528.25	
			STREET/SIDEWALK SUPPLIES	\$771.25	
181827	505-7201-561.31-02	STANDARD PIPE & SUPPLY INC	WATER SEWER SYSTEM SUPPLY	\$135.63	\$135.63
181852	505-7201-561.22-05	UPS STORE #1051	SHIPPING/DELIVERY SERVICE	\$63.34	\$63.34
181858	505-7201-561.22-70	VERIZON WIRELESS	INV 9703208436	\$13.36	\$13.36
181860	505-7201-561.31-01	WATER PLUS CORPORATION	HYDRANT CAP HOSE BIB	\$311.87	\$311.87
181861	505-7201-561.31-01	WATER PRODUCTS CO	REPLACE CHECK 178345	\$4,632.00	\$4,632.00
181880	505-7201-561.31-01	ZIEBELL WATER SERVICE PRODUCTS	WATER SEWER SYSTEM SUPPLY	\$915.00	\$915.00
801297	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	1284169036	\$94.92	\$543.95
			0087155164	\$51.77	
			3973144001	\$65.80	
			1104021044	\$62.11	
			0645171017	\$65.18	
			0368380009	\$25.98	
			0297160055	\$178.19	

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801298	505-7201-561.22-70	AT & T	847437468509	\$121.71	\$168.53
			847437468409	\$46.82	
801299	505-7201-561.21-50	NICOR	19278600002	\$149.17	\$251.37
			04055600003	\$102.20	
801300	505-7201-561.22-70	AMERICAN MESSAGING	ACCT U1-109311	\$91.35	\$91.35
801301	505-7201-561.21-50	CONSTELLATION NEW ENERGY INC	0522082015	\$1,106.02	\$1,106.02
900973	505-7201-561.21-53	NORTHWEST WATER COMMISSION	QUARTERLY PAYMENT 11-2013	\$694,219.40	\$694,219.40
Total Division:				\$760,348.36	
Total Department:				\$760,348.36	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 73 Parking					
Division: 1					
181849	235-7301-532.21-40	UNION PACIFIC RAILROAD	LOT 'P' 3RD QTR PAYMENT	\$3,387.80	\$3,387.80
Total Division:				\$3,387.80	
Division: 2					
181573	235-7302-532.21-11	ALL WINDOW CLEANING SERV INC	BLDG MAINTENANCE	\$960.00	\$960.00
181670	235-7302-532.33-05	ENECON CORP	ENECRETE DURAQUARTZ	\$1,625.00	\$1,625.00
181754	235-7302-532.21-02	MID AMERICAN ELEVATOR CO INC	SERVICE BLDG MAINT	\$251.32	\$1,435.32
			EQUIPMENT MAINTENANCE	\$1,184.00	
Total Division:				\$4,020.32	
Division: 3					
181573	235-7303-532.21-11	ALL WINDOW CLEANING SERV INC	BLDG MAINTENANCE	\$960.00	\$960.00
181754	235-7303-532.21-02	MID AMERICAN ELEVATOR CO INC	SERVICE BLDG MAINT	\$479.68	\$479.68
Total Division:				\$1,439.68	
Division: 4					
181754	235-7304-532.21-02	MID AMERICAN ELEVATOR CO INC	SERVICE BLDG MAINT	\$251.32	\$251.32
801299	235-7304-532.21-50	NICOR	92296400002	\$75.63	\$75.63
Total Division:				\$326.95	
Total Department:				\$9,174.75	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 74 Solid Waste Dispsl SWANCC					
Division: 1					
900972	511-7401-562.21-54	SOLID WASTE AGENCY	TIPPING FEES 11-2013	\$116,258.43	\$116,258.43
Total Division:				\$116,258.43	
Total Department:				\$116,258.43	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 75 Municipal Fleet Services					
Division: 1					
181572	621-7501-551.21-07	ALEXANDER EQUIPMENT CO INC	KNIFE GRINDING LABOR	\$79.80	\$79.80
	621-7501-551.31-51		VEH MAINTENANCE SUPPLY	\$1,695.00	\$1,695.00
181579	621-7501-551.21-36	AMERICAN WELDING AND GAS	EQUIPMENT RENTAL	\$150.60	\$150.60
181586	621-7501-551.31-51	ARLINGTON HTS FORD INC	VEH MAINTENANCE SUPPLY	\$219.45	\$881.60
			VEH MAINTENANCE SUPPLY	\$219.45	
			VEH MAINTENANCE SUPPLY	\$296.93	
			VEHICLE ACCESSORIES	\$60.00	
			VEHICLE ACCESSORIES	\$49.90	
			VEHICLE ACCESSORIES	\$95.59	
			VEHICLE ACCESSORIES	(\$59.72)	
181591	621-7501-551.21-07	AUTO GLASS TEK INC	RE-UPHOLSTER SEAT	\$275.00	\$490.00
			VEH MAINTENANCE	\$215.00	
181592	621-7501-551.31-51	AUTO TECH CENTERS INC	VEH MAINTENANCE SUPPLY	\$459.08	\$459.08
181593	621-7501-551.31-51	AUTO ZONE	VEH MAINTENANCE SUPPLY	\$18.19	\$410.47
			VEH MAINTENANCE SUPPLY	\$9.97	
			VEH MAINTENANCE SUPPLY	\$11.95	
			VEH MAINTENANCE SUPPLY	\$74.38	
			VEH MAINTENANCE SUPPLY	\$74.38	
			VEH MAINTENANCE SUPPLY	(\$74.38)	
			VEH MAINTENANCE SUPPLY	(\$21.74)	
			VEH MAINTENANCE SUPPLY	\$178.00	
			VEH MAINTENANCE SUPPLY	\$66.59	
			VEH MAINTENANCE SUPPLY	\$61.18	
			VEHICLE ACCESSORIES	\$11.95	
	621-7501-551.31-65		VEH MAINTENANCE SUPPLY	\$52.99	\$52.99
181596	621-7501-551.31-51	BATTERIES PLUS	BATTERIES	\$276.12	\$276.12
181607	621-7501-551.31-65	BRUCE PACKAGING	SUPPLIES	\$112.84	\$112.84
181616	621-7501-551.31-51	CAR QUEST	VEH MAINTENANCE SUPPLY	\$95.33	\$526.88
			VEH MAINTENANCE SUPPLY	\$99.97	
			VEH MAINTENANCE SUPPLY	\$9.20	
			VEH MAINTENANCE SUPPLY	(\$9.20)	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
181616	621-7501-551.31-51	CAR QUEST	VEH MAINTENANCE SUPPLY	\$14.67	\$526.88
			VEH MAINTENANCE SUPPLY	(\$14.67)	
			VEH MAINTENANCE SUPPLY	(\$11.59)	
			VEH MAINTENANCE SUPPLY	(\$7.55)	
			VEH MAINTENANCE SUPPLY	\$34.00	
			VEH MAINTENANCE SUPPLY	\$20.52	
			VEH MAINTENANCE SUPPLY	\$78.20	
			VEH MAINTENANCE SUPPLY	\$21.83	
			VEH MAINTENANCE SUPPLY	\$15.48	
			VEH MAINTENANCE SUPPLY	\$29.24	
			VEH MAINTENANCE SUPPLY	\$15.64	
			VEH MAINTENANCE SUPPLY	\$26.77	
			VEH MAINTENANCE SUPPLY	\$19.21	
			VEH MAINTENANCE SUPPLY	\$45.98	
			VEH MAINTENANCE SUPPLY	(\$21.83)	
			VEH MAINTENANCE SUPPLY	\$20.94	
			VEH MAINTENANCE SUPPLY	\$20.94	
			VEH MAINTENANCE SUPPLY	\$23.80	
181620	621-7501-551.31-51	CASSIDY TIRE & SERVICE	TIRES AND TUBES	\$136.00	\$136.00
181623	621-7501-551.21-07	CERTIFIED FLEET SERVICES INC	SERVICE VEHICLE PARTS	\$4,550.24	\$4,550.24
181626	621-7501-551.31-51	CHICAGO INTL TRUCKS	VEH MAINTENANCE SUPPLY	\$174.36	\$174.36
181627	621-7501-551.31-51	CHICAGO PARTS AND SOUND	VEH MAINTENANCE SUPPLY	(\$225.00)	\$509.16
			GEAR STEERING	\$564.98	
			SENSOR EXHAUST GAS/SENSOR	\$169.18	
181629	621-7501-551.30-35	CINTAS CORP	UNIFORMS	\$159.12	\$238.96
			UNIFORM SHIRTS AND PANTS	\$79.84	
181661	621-7501-551.31-65	DGI SUPPLY A DOALL COMPANY	SUPPLIES	\$122.19	\$122.19
181664	621-7501-551.31-51	DOUGLAS TRUCK PARTS INC	VEH MAINTENANCE SUPPLY	\$109.74	\$366.80
			VEH MAINTENANCE SUPPLY	\$48.00	
			VEHMAINTENANCE SUPPLY	\$173.66	
			VEH MAINTENANCE SUPPLY	\$35.40	
	621-7501-551.31-65		VEH MAINTENANCE SUPPLY	\$174.28	\$307.80
			VEH MAINTENANCE SUPPLY	\$133.52	
181692	621-7501-551.21-07	GLOBAL EMERGENCY PRODUCTS	EQUIPMENT, NON OFFICE	\$602.28	\$602.28
181694	621-7501-551.31-51	GRAINGER W W INC	VEH MAINTENANCE SUPPLY	\$202.68	\$546.94

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
181694	621-7501-551.31-51	GRAINGER W W INC	VEH MAINTENANCE SUPPLY	\$344.26	\$546.94
181704	621-7501-551.31-51	HOSKINS CHEVROLET INC	VEH MAINTENANCE SUPPLY	\$97.18	\$117.45
			VEH MAINTENANCE SUPPLY	\$20.27	
181707	621-7501-551.21-02	IL TOOL SERVICE INC	EQUIPMENT MAINTENANCE	\$66.60	\$257.60
			EQUIPMENT MAINTENANCE	\$191.00	
181728	621-7501-551.31-51	LEACH ENTERPRISES INC	VEH MAINTENANCE SUPPLY	\$7.82	\$648.53
			VEH MAINTENANCE SUPPLY	\$660.74	
			VEH MAINTENANCE SUPPLY	\$15.60	
			VEH MAINTENANCE SUPPLY	(\$46.92)	
			VEH MAINTENANCE SUPPLY	\$11.29	
181729	621-7501-551.31-51	LEE AUTO PARTS	VEH MAINTENANCE SUPPLY	\$35.38	\$37.16
			VEH MAINTENANCE SUPPLY	\$4.89	
			VEH MAINTENANCE SUPPLY	\$19.69	
			VEH MAINTENANCE SUPPLY	\$53.29	
			VEH MAINTENANCE SUPPLY	(\$83.56)	
			VEH MAINTENANCE SUPPLY	\$8.59	
			VEH MAINTENANCE SUPPLY	\$8.59	
			VEH MAINTENANCE SUPPLY	(\$53.29)	
			VEH MAINTENANCE SUPPLY	\$33.73	
			VEH MAINTENANCE SUPPLY	\$9.85	
181738	621-7501-551.21-07	LUND INDUSTRIES INC	EQUIPMENT MAINTENANCE	(\$400.00)	\$234.45
			KUSSMAUL CHARGER REPAIR	\$245.00	
			HEADLIGHT FLASHER	\$389.45	
181757	621-7501-551.31-51	MILLER ACE INDUSTRIAL	VEH MAINTENANCE SUPPLY	\$162.20	\$162.20
181764	621-7501-551.31-51	NAPA HEIGHTS AUTOMOTIVE	VEH MAINTENANCE SUPPLY	(\$273.58)	\$60.55
			VEH MAINTENANCE SUPPLY	\$7.49	
			VEH MAINTENANCE SUPPLY	\$52.79	
			VEH MAINTENANCE SUPPLY	\$259.56	
			VEH MAINTENANCE SUPPLY	\$153.88	
			VEH MAINTENANCE SUPPLY	(\$259.56)	
			VEHICLE ACCESSORIES	\$119.97	
181771	621-7501-551.31-51	NORTHWEST TRUCKS INC	AIR CLEANER	\$57.63	\$57.63
181772	621-7501-551.21-07	ODOCK INC	VEHICLE MAINTENANCE	\$112.00	\$112.00
181796	621-7501-551.31-51	PRECISION SERVICE PARTS	VEH MAINTENANCE SUPPLY	\$251.53	\$1,643.39
			VEH MAINTENANCE SUPPLY	(\$57.64)	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
181796	621-7501-551.31-51	PRECISION SERVICE PARTS	VEH MAINTENANCE SUPPLY	(\$76.64)	\$1,643.39
			VEH MAINTENANCE SUPPLY	(\$69.53)	
			VEH MAINTENANCE SUPPLY	(\$69.53)	
			VEH MAINTENANCE SUPPLY	(\$22.58)	
			VEH MAINTENANCE SUPPLY	\$48.13	
			VEH MAINTENANCE SUPPLY	\$258.22	
			VEH MAINTENANCE SUPPLY	\$141.99	
			VEH MAINTENANCE SUPPLY	\$43.76	
			VEH MAINTENANCE SUPPLY	\$408.12	
			VEH MAINTENANCE SUPPLY	\$36.20	
			VEH MAINTENANCE SUPPLY	\$200.10	
			VEH MAINTENANCE SUPPLY	\$245.45	
			VEH MAINTENANCE SUPPLY	\$305.81	
181797	621-7501-551.30-35	PRO SAFETY INC	CLOTHING & APPAREL	\$132.90	\$132.90
181800	621-7501-551.21-07	RACEWAY CAR WASH	VEHICLE MAINTENANCE	\$372.00	\$372.00
181821	621-7501-551.31-51	SERVICE COMPONENTS	VEH MAINTENANCE SUPPLY	\$40.42	\$40.42
	621-7501-551.31-65		SLIT LOOM AND MINI PLUG-I	\$160.40	\$513.75
			EQUIPMENT SUPPLIES	\$353.35	
181822	621-7501-551.31-51	SHERWIN HARDWARE	VEH MAINTENANCE SUPPLY	\$4.99	\$14.63
			VEH MAINTENANCE SUPPLY	\$4.95	
			VEH MAINTENANCE SUPPLY	\$4.69	
	621-7501-551.31-65		HARDWARE SUPPLIES	\$8.37	\$12.86
			HARDWARE SUPPLIES	\$4.49	
181826	621-7501-551.31-51	STANDARD EQUIPMENT CO	VEH MAINTENANCE SUPPLY	\$42.97	\$1,161.76
			VEH MAINTENANCE SUPPLY	(\$79.93)	
			VEH MAINTENANCE SUPPLY	\$139.67	
			VEH MAINTENANCE SUPPLY	\$397.90	
			VEHICLE ACCESSORIES	\$188.65	
			VEHICLE ACCESSORIES	\$472.50	
181829	621-7501-551.21-07	SUBURBAN ACCENTS INC	VEHICLE MAINTENANCE	\$400.00	\$1,100.00
			GRAPHICS/LETTERING	\$350.00	
			GRAPHICS/LETTERING	\$350.00	
181836	621-7501-551.31-51	TERMINAL SUPPLY CO	STROBE BEACON	\$68.73	\$68.73
	621-7501-551.31-65		FUSE KIT	\$106.83	\$106.83
	621-7501-551.31-85		DRILL BIT KIT	\$169.94	\$169.94

Check Date: 2013 - 10 - 30

WARRANT REGISTER - GM0002

Date: Wednesday, October 30, 2013

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
181852	621-7501-551.22-05	UPS STORE #1051	SHIPPING/DELIVERY SERVICE	\$22.32	\$22.32
181865	621-7501-551.31-51	WENTWORTH TIRE SERVICE	VEH MAINTENANCE SUPPLY	\$239.88	\$1,257.16
			VEH MAINTENANCE SUPPLY	\$508.64	
			VEH MAINTENANCE SUPPLY	\$508.64	
181867	621-7501-551.31-51	WEST SIDE TRACTOR SALES CO	VEH MAINTENANCE SUPPLY	\$225.55	\$225.55
181868	621-7501-551.31-51	WHOLESALE DIRECT INC	WINTER BLADE	\$17.37	\$843.10
			VEH MAINTENANCE SUPPLY	(\$7.47)	
			LED ROUND B/U LIGHT	\$411.99	
			SUPER LED BEACON	\$421.21	
181876	621-7501-551.31-51	ZARNOTH BRUSH WORKS INC	VEH MAINTENANCE SUPPLY	\$917.00	\$917.00
Total Division:				\$22,980.02	
Total Department:				\$22,980.02	

Check Date: 2013 - 10 - 30

WARRANT REGISTER - GM0002

Date: Wednesday, October 30, 2013
Page 38

Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 90 Capital					
Division: 1					
181589	505-9001-571.50-25	ARROW ROAD CONSTRUCTION CO	SERVICE CONSULTING	\$34,197.00	\$34,197.00
181719	505-9001-571.50-25	JOEL KENNEDY CONSTRUCTION CORP	SERVICE CONSTRUCTION	\$27,329.17	\$27,329.17
181749	505-9001-571.50-25	MGI CORP	SEWER REPAIR	\$850.00	\$850.00
Total Division:				\$62,376.17	
Total Department:				\$62,376.17	
TOTAL ALL FUNDS:				\$2,363,419.98	



Item: Remarks from Citizens re: EAB Program

Department:

Remarks from citizens regarding Emerald Ash Borer Treatment Program

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Amount of Bidder Recommended:



Item: Accident and Crime Scene Measuring Equipment

Department: Police

The Village requested bids for an electronic/optical instrument utilized in surveying. The Total Station is an electronic theodolite (transit) instrument integrated with an electronic distance meter to read and record slope distances from the instrument to a particular point. The instrument is essential for precise documentation of complex and/or extensive crime scenes or major traffic crash scenes. The cost includes all hardware, software, reader cords, and protective cases, as well as two days of on-site training for an unlimited number of police personnel.

Four bids were received. The lowest bid was submitted by Vehicle Crash Consulting, Grayslake, IL. This company is owned by a police officer who is a certified accident reconstructionist and licensed instructor for the operating software. The fact that the proprietor is active in the reconstruction field, utilizes the measuring equipment frequently, and is certified/licensed by the manufacturer will greatly benefit Arlington Heights police personnel during the orientation and training phase.

Recommendation

It is recommended that the Village Board award the acquisition of Accident and Crime Scene measuring equipment to the low bidder, Vehicle Crash Consulting, Grayslake, IL, for \$12,715.

Bid Section

Item:	Accident and Crime Scene Measuring Equipment (Total Station)
Bid Opening Date:	October 16, 2013
Account Numbers:	401-3001-572.50-15 (Project Number EQ9501)
Total Budget for Specific Item:	\$14,000
Amount of Bidder Recommended:	\$12,715

ATTACHMENTS:

Description

[Bid Table](#)

Type

Exhibits

VILLAGE OF ARLINGTON HEIGHTS
Bid Tabulation Sheet

LEICA ACCIDENT SURVEY EQUIPMENT

The following bids were publicly opened October 16, 2013, at 11:00 A.M., in the Village of Arlington Heights Municipal Building, 33 S. Arlington Heights Rd., Arlington Heights, Illinois 60005.

BIDDER	TRAINING PER DAY	BID PRICE	GRAND TOTAL
Kara Systems Countryside, IL	\$900	\$10,922	\$15,422
Collision Forensic Solutions Papillion, NE	\$3,750 total	\$10,250	\$14,000
Positioning Solutions Co. Carol Stream, IL	\$650	\$11,538.50	\$14,788.50
Vehicle Crash Consulting Grayslake, IL	\$650	\$9,465	\$12,715



Item: Five 1-Ton Dump Trucks

Department: Public Works

BACKGROUND

The approved FY14 Capital Budget includes \$281,000 for the replacement of five 1-ton dump trucks in the Public Works Department. The Village utilizes the Suburban Purchasing Cooperative (SPC), which is a joint purchasing program for local communities. The SPC represents 143 municipalities in the six county area of Northern Illinois and is administered through the Northwest Municipal Conference, DuPage Mayors & Managers Conference, the South Suburban Mayors & Managers Conference, and the Will County Government League.

The current SPC contract for 1-ton dump trucks is with Freeway Ford of Lyons, Illinois. The vehicles being replaced are 12 years old and are primarily used for a variety of daily maintenance tasks, roadway repairs, and snow and ice control operations. Although the bid for all five trucks is \$1,150 over budget, the Fleet Equipment Fund does have sufficient funds available to cover the overage.

RECOMMENDATION

It is recommended that the Village Board award the bid to Freeway Ford - Sterling Truck Sales of Lyons, Illinois in the amount of \$282,150 for the purchase of five 1-ton dump trucks for the Public Works Department and authorize the execution of the necessary contracts.

Bid Section

Item:	Vehicle Replacement
Bid Opening Date:	Suburban Purchasing Cooperative (SPC) - Joint Purchase
Account Numbers:	621-9003-572.50-05 (VH9501) 621-9003-572.50-05 (VH9502)
Total Budget for Specific Item:	\$281,000
Amount of Bidder Recommended:	\$282,150



Item: Sodium Chloride Purchase (Road Salt)

Department: Public Works

BACKGROUND

The FY14 Public Works Operating Budget includes \$246,300 for the purchase of road salt for snow and ice control operations. Due to an unusually active February, the Village made several salt purchases late in the 2012-2013 season and currently has 3,900 tons of salt remaining in our dome. Because of this, we elected only to use the State bid process since our purchase requirements are considerably less than usual.

The bid recommendation is for the Village's purchase of 3,600 tons of salt through the State of Illinois Joint Purchasing program. Under this program, the Village would be receiving 3,600 tons of salt from Morton Salt at a cost of \$53.38 per ton delivered for a total cost of \$192,168. This year's cost is equal to last year's cost.

RECOMMENDATION

It is recommended that the Board of Trustees award this contract to Morton Salt Co., Inc of Chicago, Illinois for the purchase of 3,600 tons of road salt at the cost of \$53.38 per ton and authorize the execution of the necessary agreements. The bidder has been determined to be responsible and has performed similar services for other municipalities.

Bid Section

Item:	Sodium Chloride (Road Salt)
Bid Opening Date:	3/29/2013
Account Numbers:	101-7101-531.31-90
Total Budget for Specific Item:	\$246,300
Amount of Bidder Recommended:	\$192,168



Item: Ordinance - Chapter 13 - Class B and T liquor licenses

Department: Legal

An Ordinance Amending Chapter 13 of the Arlington Heights Municipal Code
(Making available Class "B" and "T" liquor licenses - Esplanade Wine & Liquor, 2948 W.
Euclid Ave.)

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Amount of Bidder Recommended:

ATTACHMENTS:

Description	Type
<u>Chapter 13 Increase B - T Liquor License</u>	Ordinance

AN ORDINANCE AMENDING CHAPTER 13 OF THE
ARLINGTON HEIGHTS MUNICIPAL CODE

BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF ARLINGTON HEIGHTS:

SECTION ONE: That Section 13-502 of the Arlington Heights Municipal Code, pertaining to the number of liquor licenses, is amended to increase the number of Class "B" and "T" liquor licenses authorized, with the amended entry for Class "B" and "T" liquor licenses to read as follows:

CLASS OF LICENSE	ANNUAL LICENSE FEE	NUMBER OF LICENSES AUTHORIZED
B	\$3,700.00	29
T	N/A	29

SECTION TWO: This Ordinance shall be in full force and effect from and after its passage and approval in the manner provided by law.

AYES:

NAYS:

PASSED AND APPROVED this 4th day of November, 2013.

Village President

ATTEST:

Village Clerk



Item: New Chair Appointment

Department:

Board/Commission	New Chair Appointment	Term Ending
Special Events	Steve Fromm	4/30/14

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Amount of Bidder Recommended:



Item: Autumn Leaves - 1625 S. Arlington Heights Rd. - PC13-018

Department: Planning & Community Development

BACKGROUND:

1. A Comprehensive Plan Amendment from "Offices Only" to "Institutional".
2. A Rezoning from O-T Office-Transitional to I-Institutional.
3. A Preliminary and Final Planned Unit Development.
4. A Variation from Chapter 28, Section 5.1-21.1B, to allow a reduction to the required south building setback from 100 to 52.65 feet.
5. A Variation from Chapter 28, Section 5.1-8.14 to allow less than 12 feet spacing between the building and parking area along the north and east elevations.
6. A Variation from Chapter 28, Section 6.5 to allow a 16-foot tall, 400 square-foot accessory structure within the required exterior side yard setback to allow a 29,000 square-foot "care facility, long, intermediate, extended".

RECOMMENDATION:

Commissioner Dawson moved and Commissioner Warskow seconded:

A motion to recommend to the Village Board of Trustees approval of PC #13-018, a Comprehensive Plan Amendment from "Offices Only" to "Institutional," a Rezoning from O-T Office-Transitional to I-Institutional, a Preliminary and Final Planned Unit Development, a Variation from Chapter 28, Section 5.1-21.1B, to allow a reduction to the required south building setback from 100 to 52.65 feet, a Variation from Chapter 28, Section 5.1-8.14 to allow less than 12 feet spacing between the building and parking area along the north and east elevations, and a Variation from Chapter 28, Section 6.5 to allow a 16-foot tall, 400 square-foot accessory structure within the required exterior side yard setback to allow a 29,000 square-foot "care facility, long, intermediate, extended" at the property located at the northeast corner of Arlington Heights Road and Council Trail.

This approval is contingent upon compliance with the recommendation of the Plan Commission and the following recommendations detailed in the Staff Development report dated October 4, 2013:

1. The proposed plats of easement and dedication shall be signed prior to Village Board consideration.
2. The engineering plans shall be revised to provide the required street lights and sidewalk

on the south side of Council Trail prior to Village Board consideration.

3. The submittal of approved letters of credit for public improvement and maintenance deposits, and all other engineering-related fees prior to Village Board consideration.
4. The Petitioner shall incorporate 5-6 additional shade trees on the landscape plan in the northeast corner of the site.
5. The Petitioner shall provide an escrow for 33 percent of the estimated cost of construction for a traffic signal (and warrant study) at the intersection of Council Trail and Arlington Heights Road, subject to the approval of the Director of Engineering, prior to issuance of a building permit.
6. An onsite utility maintenance agreement must be fully executed prior to the issuance of a building permit.
7. At such time when the property to the north is developed and cross access is provided onto the subject property, the Petitioner shall work with the developer of the property to the north to create a revised access to Arlington Heights Road that is designed to meet the needs of the two properties, subject to the approval of the Director of Engineering.
8. The plans must comply with the Design Commission motion.
9. Deliveries and loading-related activities, as well as trash collection, shall not be allowed between the hours of 10:00 p.m. and 7:00 a.m.
10. The Petitioner shall comply with all federal, state, and Village codes, regulations, and policies.

Roll Call Vote: Commissioner Drost, Green, Lorenzini, Sigalos, Dawson, Warskow, and Chairman Wolfe voted in favor. Motion carried.

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Amount of Bidder Recommended:

ATTACHMENTS:

Description	Type
Memo Regarding Updated Motion	Correspondence
PC Staff Report	Report
Aerial	Exhibits

[PC Minutes](#)

[Email Provided to PC from Resident](#)

[Market Synopsis](#)

[Variance Justification](#)

[Department Comments & Petitioner's Response](#)

[DC Motion](#)

[DC Staff Report](#)

[DC Minutes](#)

[Site Development Plans](#)

[Traffic Study](#)

[PC Timeline](#)

Minutes

Correspondence

Correspondence

Correspondence

Correspondence

Correspondence

Report

Minutes

Exhibits

Correspondence

Correspondence

Memorandum

To: Charles Witherington-Perkins, Director of Planning and Community Development

From: Katherine E. Lockerby, Development Planner *KL*

Date: October 29, 2013

RE: Autumn Leaves – Plan Commission Motion

At the October 9, 2013 Plan Commission Public Hearing for the proposed Autumn Leaves development, a conditional recommendation of approval was made by the Plan Commission. At this time, the Petitioner has requested that two of the conditions which were required to be addressed "*prior to Village Board consideration*" be revised to "*prior to the issuance of a building permit*."

Condition #1

The proposed plat of easement and dedication shall be signed prior to Village Board consideration.

The Petitioner has indicated that the zoning approvals are a requirement prior to the closing on the property. Until the Petitioner owns the property, they are unable to sign off on the easement as they are not the owner. The current owner, a bank, will not sign the plats. As a result, it is suggested that the condition be revised as follows:

The proposed plat of easement and dedication shall be signed prior to Village Board consideration the issuance of a building permit.

Once the Petitioner takes ownership of the property, the Plats will be forwarded to the Village Board for formal approval.

Condition #3

The submittal of approved Letters of Credit for the Public Improvement and Maintenance Deposits, and all other engineering related fees, prior to Village Board consideration.

The Petitioner has indicated that until they take ownership of the property, they are unable to secure their financing. Thus, they are unable to obtain the letters of credit or make the other deposits at this time. Therefore, it is suggested that the condition be revised as follows:

The submittal of approved Letters of Credit for the Public Improvement and Maintenance Deposits, and all other engineering related fees, prior to Village Board consideration the Issuance of a building permit.

Please note that Conditions #2 and 4 have already been addressed on the plans presented to the Village Board. The remaining conditions did not require any immediate action.

Please let me know if you have any questions.

C: William C. Dixon, Village Manager
Robin Ward, Assistant Village Attorney
Jim Massarelli, Director of Engineering
Bill Enright, Deputy Director of Planning and Community Development

OK
BDIXEN
10/31/13

STAFF DEVELOPMENT COMMITTEE REPORT

To: Plan Commission
Prepared By: Katherine E. Lockerby, Development Planner
Meeting Date: October 9, 2013
Date Prepared: October 4, 2013
Project Title: Autumn Leaves Care Facility
Address: Northeast corner of Arlington Heights Road and Council Trail

BACKGROUND INFORMATION

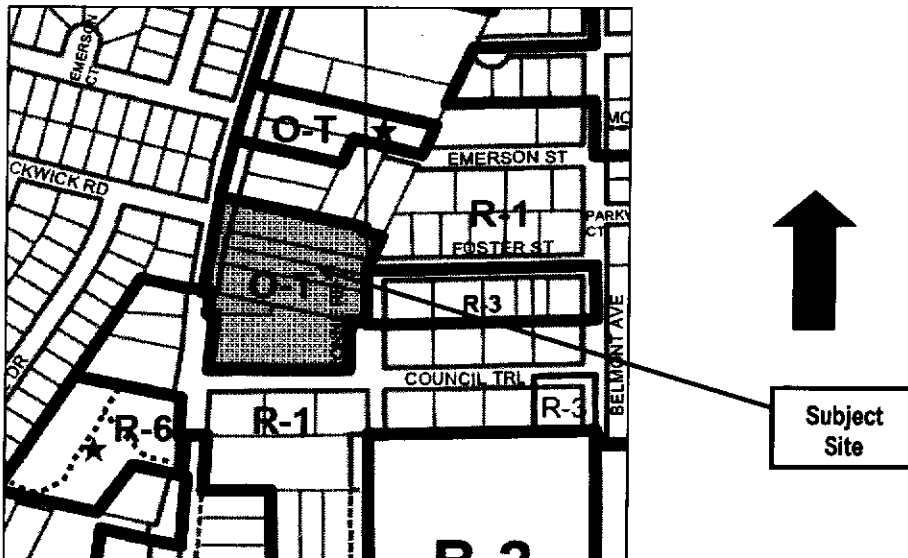
Petitioner: Matthew Krummick
Address: LaSalle Group
 1900 E. Golf Road, Suite 1120
 Schaumburg, Illinois 60173
Existing Zoning: O-T, Office Transitional

Requested Action:

1. A Comprehensive Plan Amendment from "Offices Only" to "Institutional"
2. A rezoning from O-T, Office Transitional to I-Institutional.
3. A Preliminary and Final Planned Unit Development

Variations Required:

- A variation from Chapter 28, Section 5.1-21.1b, to allow a reduction to the required south building setback from 100 to 52.65 feet.
- A variation from Chapter 28, Section 5.1-8.14 to allow less than 12 feet spacing between the building and parking area along the north and east elevations.
- A variation from Chapter 28, Section 6.5 to allow a 16' tall, 400 square foot accessory structure within the required exterior side yard setback (east yard).

**Surrounding Land Uses:**

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	R-1, One Family Dwelling	Vacant Land and Single Family Homes	Offices Only
South	R-1, One Family Dwelling	Office Building and Single Family Homes	Commercial
East	R-1 and R-3, One Family Dwelling	Single Family Homes	Single Family Detached
West	R-1 and R-3, One Family Dwelling	Single Family Homes and Church	Single Family Detached and Offices Only

Background Summary

The undeveloped 4.6 acre (201,000 square feet) site is located at the northeast corner of Arlington Heights Road and Council Trail, and is zoned O-T, Office Transitional. In addition, the property is part of the Council Trail/Arlington Heights Road Overlay Zoning District, and is located within Tax Increment Financing District #4, which is designated for office development in the TIF #4 Redevelopment Plan.

The proposed action, if approved, would allow the LaSalle Group to develop the site with a one-story, 29,000 square foot care facility for individuals diagnosed with various forms of memory impairment such as Alzheimer's and dementia. The LaSalle Group, which is based out of Dallas, Texas, has been in the memory care industry for 12 years and has a total of 24 facilities located throughout the nation. The LaSalle Group has three similar facilities in the Chicago area including Crystal Lake, Vernon Hills, and Orland Park as well as three new facilities that are planned to open later this year and located in Bolingbrook, Oswego, and St. Charles.

The proposed Arlington Heights facility would have a total of 46 beds in 42 rooms (4 double rooms are proposed) and would include amenities such as common dining and entertainment rooms, a commercial grade kitchen facility, therapy (no outpatient service), and outdoor recreation space along the north and south building elevations that are enclosed by a decorative fence. A total of 32 employees, over three work shifts are anticipated to staff the facility 24 hours a day, 7 days a week, including having a registered nurse on-site 24 hours per day.

Zoning and Comprehensive Plan

The proposal includes several zoning actions. The first action is an amendment to the Comprehensive Plan, changing the designation from Offices Only to Institutional. The second action is a rezoning from O-T, Office Transitional to I, Institutional. The final zoning action is a preliminary and final Planned Unit Development (PUD) to allow the development.

In order to justify the change in land use and zoning, the Petitioner provided a written analysis explaining the requested change. The Petitioner engaged NAI Hiffman to complete a study for office demands in this location as well as the area submarket. Additionally, the Petitioner provided an explanation of the proposed business operations and a Market Synopsis that outlines the market demands for the proposed type of assisted living facility. (see Attachment #1) The Village has reviewed the proposed documentation and agrees that the proposed development in this location would be a positive use of the site for the following reasons:

- i. The zoning change will provide a good transitional buffer to the residences to the north, east and south.
- ii. The subject property is within the TIF District #4 and has remained vacant for some time, which has generated limited incremental real estate taxes. Although the proposed use may not provide an increment as high as an office user, the anticipated increment is acceptable as proposed.
- iii. The proposal is consistent with the requirements set forth in the South Arlington Heights Road/Council Trail Overlay Zone.
- iv. The Petitioner's traffic and parking study, which will be discussed later in this report, has demonstrated that the proposed use will have minimal impact to the surrounding roadway network and that there is sufficient parking on site to accommodate the projected parking demands.

As mentioned, the property is located in TIF District #4, therefore if the Comprehensive Plan is amended from Offices Only to Institutional, the TIF #4 Redevelopment Plan must be amended as well to reflect this change in land use. Pursuant to State Statute, this change in land use designation is considered a "minor amendment" to the TIF#4 Plan, thus no public hearing for said amendment is required. However, an Ordinance amending the TIF #4 Redevelopment Plan will be required, concurrent with this development.

When the proposal was presented to the Plat and Subdivision Committee, it was noted that Staff would evaluate the corridor between Council Trail and Noyes Street in terms of future land use and development parameters with the possibility of extending the Overlay Zoning District standards to the properties to the north to Noyes Street. This is currently being evaluated, with the anticipation of scheduling an Ordinance Review Committee meeting shortly.

Plat and Subdivision Committee Meeting Summary

The project was reviewed by the Plat and Subdivision Committee on April 10, 2013. In general, the five Commissioners in attendance believed the proposed use was needed in the area, would be a great transitional use to the adjacent residential areas.

Early Review before the Village Board

The project was reviewed by the Village Board on May 20, 2013. At that time, the Petitioner received positive feedback from the Village Board, with the caveat that the drainage, screening and all site issues would need to be worked out and that a neighborhood meeting occur as part of the formal review process.

Neighborhood Meeting Summary

On October 2, 2013, the Petitioner held a neighborhood meeting at the Village Hall. All residents that received the required legal notification of the public hearing also received notice of the neighborhood meeting. There were four residents in attendance from three addresses in the immediate vicinity. Issues raised were as follows:

1. **Concern with the proposed loading and trash collection operations along the east side of the building.** *Neighbors were concerned with these operations occurring overnight. A condition has been added to the project that states "Deliveries and loading related activities, as well as trash collection, shall not be allowed between the hours of 10 p.m. and 7 a.m.". These hours are consistent with the requirements set forth in the zoning regulations for commercial properties adjacent to residential areas.*
2. **The proposed landscape screen was discussed in detail.** *The residents were aware that the proposed landscape screen was a work in progress and that the final plans would be presented to the Plan Commission and/or Village Board.*
3. **Concern about ambulance traffic that will visit the site.** *The Petitioner indicated that there could be anywhere from 3 – 5 calls per month for ambulances, based on data from other locations. These numbers are so low in part due to the staffing of a registered nurse on site 24 hours/day. Ambulances do conduct their operations from the east side of the building, which is consistent with the operations plan of the facility. Residents requested that the overnight ambulance calls be handled from the west entrance. The Petitioner indicated he will review that request with the operations side of the business to determine if it is feasible.*
4. **Security for the residents of the facility.** *The neighbors questioned what type of provisions are in place to ensure a resident does not unknowingly leave the property. The Petitioner mentioned that there is a 15 second delay on all of the main doors and the nurses monitor the doors. Furthermore, the residents are allowed into the courtyard as long as they are with staff.*
5. **How the proposal will affect property values.** *The Petitioner indicated that they would provide a resident with a study on property values.*

Building Related Issues

As mentioned earlier, the proposed building will be single story, with a roof height of 16.5 feet as measured to the midpoint of the roof. The overlay zone allows a maximum building height of 45 feet. The proposed single-story massing of the building will fit nicely into the surrounding neighborhood.

The Design Commission reviewed the project on August 21, 2013 and the report and minutes for said meeting are included in the Plan Commission packet. The Design Commission recommended approval of the proposal subject to a number of conditions. The conditions included 5 building related conditions, 1 landscape related condition and 1 sign related condition. The Petitioner is aware that the plans must comply with the Design Commission motion.

As part of the formal Plan Commission review process, there was some disagreement between the Petitioner and the Building Department related to the type of classification the proposed building qualifies per the Building Codes. At this time, the Petitioner is aware that the proposed type of construction must meet the Village's standards prior to the issuance of a building permit. This is not a condition of approval, rather a reminder to the Petitioner.

Site Related Issues

During the formal Plan Commission review process the following main key issues were identified.

Zoning Code Bulk Standards

Staff conducted a zoning analysis based on the I, Institutional bulk standards and the Council Trail/Arlington Heights Road Overlay Zoning District, which is outlined in the Village's Zoning Ordinance (see Table 1 below). The overlay district was established to ensure that said property is developed in manner that is unified, cohesive, and sensitive to the surrounding residential properties. The overlay district standards supplement the underlying zoning, and shall supersede the underlying zoning where different.

Table 1: Zoning Analysis (I, Institutional and Overlay Zoning District Standards)

Standards	I, Institutional Bulk Standards	Council Trail/Arlington Heights Road Overlay Bulk Standards	Proposed
Location	Institutional sites 4-acres to 20 acres frontage on a street classified at least as a Secondary Arterial		Major Arterial
Minimum Area for Zoning District	2 acres	N/A	4.5 acres
Minimum Lot Area	N/A	N/A	4.5 acres
Minimum Lot Width (south)	100 feet	N/A	411 feet
Front Yard Setback (south)	25 feet	100 feet	52.65 feet (Variation Required)
Side Yard Setback (east)	25 feet	100 feet	128 feet
Side Yard Setback (west)	25 feet	100 feet	100 feet
Rear Yard Setback (north)	30 feet	100 feet	143 feet
Pavement Setback (east and west)	N/A	30 feet	33 and 73 feet
FAR	100%	N/A	13%
Lot Coverage	40%	N/A	13%
Building Height	45 feet	45 feet	16.5 feet
Minimum Distance from building to paved area	12 feet	N/A	N: 10 feet (Variation) S: 12 feet E: 4.75 feet (Variation) W: 20 feet

With the exception of the front (south) yard setbacks and the minimum distance from building to paved area requirements, the proposed development complies with all applicable I, Institutional and Overlay district bulk requirements. As a result, the following variations have been identified:

- A variation from Chapter 28, Section 5.1-21.1b, to allow a reduction to the required building setback from 100 to 52.65 feet.
- A variation from Chapter 28, Section 5.1-8.14 to allow less than 12 feet spacing between the building and parking area along the north and east elevations.

The Petitioner has provided a response to the hardship criteria justifying the required variations (Attachment #3). Staff has reviewed the responses and concurs with the proposed variations. Regarding the building setback variation, it is believed that, since the building is one story tall and maintains a low building profile of approximately 16.5 feet as measured to the midpoint of the roofline, the setback impacts will be negligible. Furthermore, the requested setback variation is large for three reasons, i. the building's footprint is a single-story yet it is considerably less than the minimum building lot coverage standards for a development in the I district; ii. The location of an existing sanitary sewer line through the property prompted the need to set the building's north elevation 143 feet from the north property line, which exceeds the Code requirement of 100 feet by 43 feet; and iii. The setback prior to the dedication to the 33 feet for Council Trail was 85 feet. Due to the dedication, the proposed setback is 52.62 feet. Regarding the setback from the parking areas, Staff is supportive of the variation as the remaining site is buffered well from the exterior property lines and there is more than ample landscape area provided on site.

Furthermore, the Petitioner is proposing a 16' tall, 400 square foot storage building between the detention basin and the east parking lot. This building will be used to store Autumn Leaves' furniture, etc. in the event a resident chooses to bring their own furniture. The location of the proposed building will trigger the following variation:

- **A variation from Chapter 28, Section 6.5 to allow a 16' tall, 400 square foot accessory structure within the required exterior side yard setback (east yard).**

Staff is of the opinion that the proposed building will have minimal impacts on the adjacent properties, and it is still set back approximately 85 feet from the new Tonne Road right of way line. Furthermore, foundation plantings have been incorporated around the proposed building.

Access

With respect to access, the overlay district prohibits vehicular access to Tonne Road and Foster Street, while the number of curb cuts along Arlington Heights Road and Council Trail are limited to one each. Driveways proposed along Council Trail must be located at least 120 feet east of the Arlington Heights Road right of way as measured to the center of the driveway. The plan as proposed complies with this standard as said driveway is approximately 300 feet from the aforementioned right of way. Similarly, only one driveway is allowed along Arlington Heights Road and it must be located across from Pickwick Road. The proposed plan meets the overlay standards. Concerns were raised regarding the design of the Arlington Heights Road access through the formal review process. As a cross-access easement is required for said access to the benefit of the property to the north (see explanation below). The access onto the site from Arlington Heights Road is suitable for the Autumn Leaves development; however, when the property to the north is developed, the access will need to be modified with a longer throat to accommodate additional stacking for in-bound and out-bound traffic. Therefore, the following condition is recommended: "At such time when the property to the north is developed and cross access is provided onto the Subject Property, the Petitioner shall work with the developer of the property to the north to create a revised access to Arlington Heights Road that is designed to meet the needs of the two properties." The access to Arlington Heights Road is subject to review and approval by IDOT, as Arlington Heights Road is under their jurisdiction.

Cross Access Easements

Per the overlay zone, a cross access easement shall be required to allow the adjacent parcel to the north access to the driveway at Pickwick Road. A Plat of Easement has been provided that includes an area at the northwest corner of the site, generally over the proposed access point. A condition of the recommendation is: "The proposed plats of easement and dedication shall be signed prior to Village Board consideration."

Another requirement of the overlay zone is the provision of an access easement to the driveway along Council Trail. Staff has determined that this access easement is not necessary at this time given the proposed use for this site.

Sanitary Sewer Easement

Currently there is a public sanitary sewer that runs through the north portion of the site in an existing 10' easement. However, the sewer runs generally along the north line of the easement. The Plat of Easement indicates the provision of 10' easement on the north side of the sanitary sewer to ensure there is adequate coverage on both sides of the sewer line. A condition of the recommendation is: "The proposed plats of easement and dedication shall be signed prior to Village Board consideration."

Sidewalk Easement

In order to maintain a parkway of approximately 9 feet along Arlington Heights Road, the Petitioner has moved a portion of the public sidewalk onto the private property. The general location has been changed on the engineering plans but not on the other site and landscape plans. Therefore, the Plat of Easement indicates two locations where the sidewalk will enter the private property. A condition of the recommendation is: "The proposed plats of easement and dedication shall be signed prior to Village Board consideration."

Public Improvements

The Overlay district sets forth standards for public improvements, as follows:

- **The developer shall be required to extend the storm sewer west from Belmont Avenue to the subject property as well as widen and improve the north half of Council Trail adjacent to the site (including pavement widening for**

one northbound right hand turn lane and one southbound left hand turn lane, curb and gutter, sidewalks, and street lighting). *The Petitioner is proposing to extend the storm sewer west from Belmont Avenue to the subject property. Additionally, the Petitioner is proposing to reconstruct Council Trail adjacent to the site. The engineering plans provided do not include the required street lights and sidewalk on the south side of Council Trail. Therefore, a condition of the recommendation is the engineering plans shall be revised to incorporate these items prior to Village Board consideration.*

- **The Arlington Heights Road median between Emerson Street and Pickwick Road shall be re-stripped to accommodate a two-way, bi-directional left hand turn lane, subject to IDOT approval.** *The Petitioner is proposing to re-stripe the subject left-hand turn lane, based on the direction they received from IDOT to allow for a dedicated left turn lane into the site from south bound Arlington Heights Road and a dedicated left turn lane onto Emerson Street from north bound Arlington Heights Road.*
- **Right of way dedication, as determined by the Village's Engineering Department shall be required along Arlington Heights Road, Tonne Road, and Council Trail.** *The Petitioner has provided a Plat of Dedication that includes a 33 foot right of way dedication for Council Trail and a 16 foot right of way dedication for Tonne Road. No dedication was required along Arlington Heights Road. A condition of the recommendation is: "The proposed plats of easement and dedication shall be signed prior to Village Board consideration."*
- **The developer shall provide, prior to the issuance of a building permit, an escrow for 33% of the estimated cost of construction for a traffic signal (and warrant study) at the intersection of Council Trail and Arlington Heights Road. The cost estimate shall be determined by the Engineering Department and shall take into account yearly inflationary rates. If the signal is not constructed within five years of issuance of a certificate of occupancy, then the escrow would be returned to the developer.** *The Engineering Department is reviewing the cost estimate as provided by the Petitioner. A condition of the recommendation is that this escrow amount be provided prior to the issuance of a building permit.*

Additionally, as required with final engineering, approved Letters of Credit for the Public Improvement and Maintenance Deposits, and all other engineering related fees, are typically required prior to Plan Commission consideration of a final Planned Unit Development. However, these items will not be available prior to Plan Commission public hearing. In an attempt to keep the project moving forward through the public hearing process, Staff is recommending that these required fees be submitted prior to Village Board consideration. The Village has allowed this with other projects.

Storm Water Management

In addition to extending the storm sewer within the Council Trail right of way, the Petitioner is providing on-site detention in the form of a dry-bottom detention basin. The basin will ultimately drain into the new storm sewer in Council Trail, which runs east. The Village will require an Onsite Utility Maintenance Agreement for the stormwater system which must be executed prior to the issuance of a building permit.

Landscape & Tree Preservation Related Issues

The current site is dense with existing trees and shrubs that are considered low quality and volunteer growth. The proposed tree preservation plan includes the preservation of 12 trees that are of fair-good quality. The remaining trees will be removed with the mass grading of the site. As the trees are low quality, additional replacement trees are not required. However, the plan does incorporate 116 shade and evergreen trees and 53 ornamental trees that will help mitigate the loss of the existing trees.

The overlay zone has a number of landscaping requirements above and beyond the minimum landscape standards set forth in Section 6 of the Zoning Regulations. These include: dense landscaping between the east property line and the parking lot, landscaping between the north property line and the parking lot, detention landscaping, landscaping of vehicular entryways, and perimeter landscaping along Arlington Heights Road and Council Trail. The Petitioner has provided a landscape plan that incorporates all of the requirements set forth in the overlay zone requirements. In summary, the proposed landscape plan provides a nice buffer between the surrounding properties and the subject property and will provide a nice campus-like setting for the residents and visitors of the facility. However, there is concern that not enough trees have been incorporated in the northeast corner. The Petitioner shall work with Staff to incorporate 5 – 6 additional shade trees in said area prior to Village Board consideration. Furthermore, the proposed 6' tall fence exceeds the maximum fence height of 5 feet. The plan should be revised to reduce the proposed fence height to comply with Code.

Traffic & Parking Issues

As required, the Petitioner provided a Traffic and Parking study prepared by KLOA. The study assessed the existing roadway system characteristics, anticipated trip generation, directional distribution of the site traffic, capacity analysis at the area intersections, site access, and parking. Based on the information provided, Staff believes the proposed low-intensity development will work well with the existing traffic patterns in the area and will have minimal impact.

With respect to the code required parking, 1 parking space is required for every 2 beds. As a result, a total of 23 parking spaces are required for the 46 bed facility. As shown on the site plan, a total of 38 parking spaces are provided, thereby resulting in a surplus of 15 parking stalls. The traffic and parking study assessed parking and estimated that the development will have a peak parking demand between 16 and 20 vehicles. Therefore, it is anticipated that the proposed parking will adequately meet the needs of the development.

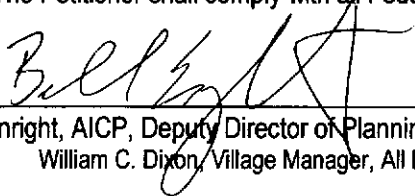
RECOMMENDATION

The Staff Development Committee reviewed the Petitioner's request and recommends approval of the following actions:

1. An amendment to the Village's Comprehensive Plan to change the underlying land use designation from Offices Only to Institutional.
2. A rezoning from O-T, Office Transitional to I, Institutional.
3. A Preliminary and Final PUD.
4. A variation from Chapter 28, Section 5.1-21.1b, to allow a reduction to the required building setback from 100 to 52.65 feet.
5. A variation from Chapter 28, Section 5.1-8.14 to allow less than 12 feet spacing between the building and parking area along the north and east elevations.
6. A variation from Chapter 28, Section 6.5 to allow a 16' tall, 400 square foot accessory structure within the required exterior side yard setback (east yard).

This approval shall be subject to the following conditions:

1. The proposed plats of easement and dedication shall be signed prior to Village Board consideration.
2. The engineering plans shall be revised to provide the required street lights and sidewalk on the south side of Council Trail prior to Village Board consideration.
3. The submittal of approved Letters of Credit for the Public Improvement and Maintenance Deposits, and all other engineering related fees, prior to Village Board consideration.
4. The Petitioner shall incorporate 5 – 6 additional shade trees on the landscape plan in the northeast corner of the site.
5. The Petitioner shall provide an escrow for 33% of the estimated cost of construction for a traffic signal (and warrant study) at the intersection of Council Trail and Arlington Heights Road, subject to the approval of the Director of Engineering, prior to the issuance of a building permit.
6. An Onsite Utility Maintenance Agreement must be fully executed prior to the issuance of a building permit.
7. At such time when the property to the north is developed and cross access is provided onto the Subject Property, the Petitioner shall work with the developer of the property to the north to create a revised access to Arlington Heights Road that is designed to meet the needs of the two properties, subject to the approval of the Director of Engineering.
8. The plans must comply with the Design Commission motion.
9. Deliveries and loading related activities, as well as trash collection, shall not be allowed between the hours of 10 p.m. and 7 a.m.
10. The Petitioner shall comply with all Federal, State, and Village codes, regulations, and policies.



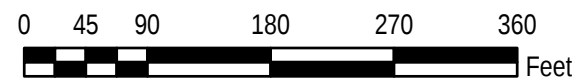
October 4, 2013

Bill Enright, AICP, Deputy Director of Planning and Community Development

C: William C. Dixon, Village Manager, All Department Heads



Autumn Leaves Memory Care
NEC of Arlington Heights Road and Council Trail
Prepared by the Village of Arlington Heights, Department of Planning and Community Development
October 9, 2013



DRAFT

PLAN

REPORT OF THE PROCEEDINGS OF A PUBLIC HEARING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
PLAN COMMISSION

COMMISSION

RE: AUTUMN LEAVES; PC #13-018

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Plan Commission Meeting taken at the
Arlington Heights Village Hall, 33 South Arlington Heights
Road, 3rd Floor Board Room, Arlington Heights, Illinois on the
9th day of October, 2013, at the hour of 7:30 o'clock p.m.

MEMBERS PRESENT:

MICHAEL WOLFE, Chairman
MARY JO WARSKOW
BRUCE GREEN
GEORGE DROST
JOE LORENZINI
SUSAN DAWSON
JOHN SIGALOS

ALSO PRESENT:

KATHERINE LOCKERBY, Development Planner

CHAIRMAN WOLFE: I'd like to call the meeting of the Plan Commission to order. And I'd like you to also please rise and join me in the pledge.

(Pledge of allegiance.)

CHAIRMAN WOLFE: Okay. Kate, can you please take the roll?

MRS. LOCKERBY: Commissioner Dawson.

COMMISSIONER DAWSON: Here.

MRS. LOCKERBY: Commissioner Drost.

COMMISSIONER DROST: Here.

MRS. LOCKERBY: Commissioner Ennes.

(No response.)

MRS. LOCKERBY: Commissioner Green.

COMMISSIONER GREEN: Here.

MRS. LOCKERBY: Commissioner Jensen.

(No response.)

MRS. LOCKERBY: Commissioner Lorenzini.

COMMISSIONER LORENZINI: Here.

MRS. LOCKERBY: Commissioner Sigalos.

COMMISSIONER SIGALOS: Here.

MRS. LOCKERBY: Commissioner Warskow.

COMMISSIONER WARSKOW: Here.

MRS. LOCKERBY: And Chairman Wolfe.

CHAIRMAN WOLFE: Here. Thank you. First item on the agenda is PC #13-018, Autumn Leaves. And Kate, have all the proper notifications been given?

MRS. LOCKERBY: Yes.

CHAIRMAN WOLFE: Is there a representative for the Petitioner here this evening? Or representatives? Please come forward. And do you anticipate other people testifying?

MR. KRUMMICK: We will probably have testimony from everyone.

CHAIRMAN WOLFE: Okay. Why don't we all stand and I can swear you in collectively?

(Witnesses sworn.)

CHAIRMAN WOLFE: Thank you. Okay, why don't you go ahead? I don't know what you'd like to do but please state your name.

MR. KRUMMICK: Are we going to do Staff report first?

CHAIRMAN WOLFE: No, no. What we'll do is the Petitioner will give its presentation followed by the Staff report. And then the Commissioners will then get an opportunity to ask questions of the Petitioner or the Staff. And then we'll open it up to the audience after that for any public comments, and then we'll go back to the Commissioners for a final vote. So, it's all yours. But again, please state your name and address for the record.

MR. KRUMMICK: I'm Matthew Krummick. I'm with the LaSalle Group at 1200 North East Golf Road in Schaumburg.

CHAIRMAN WOLFE: How do you spell your last name?

MR. KRUMMICK: Krummick, K-r-u-m-m-i-c-k.

COMMISSIONER DROST: And 1900 or 1200? What's the address? 1200 or 1900?

MR. KRUMMICK: 1900 actually. Sorry. I've been a little out of it the last couple of days.

COMMISSIONER DROST: Yes. The petition has got 1900.

MR. KRUMMICK: I'm a little fuzzy, my apologies.

COMMISSIONER DROST: I didn't know if you moved. No problem.

MR. KRUMMICK: No, we have not.

CHAIRMAN WOLFE: Go ahead, Matt.

MR. KRUMMICK: I'm here to present the proposal for Autumn Leaves of Arlington Heights. To quickly discuss LaSalle Group, we are owners and operators of a couple of different entities, and in this case it's Autumn Leaves. Autumn Leaves is a residence dedicated to the care and clinical well-being of those that have different types of memory disorders, be it dementia, Alzheimer's, or memory disorders from other different types of illnesses. We've been in this particular business for about 14 years. We've been in the real estate business for probably two and a half times that.

Autumn Leaves is a product that grew out of an internal desire to provide better care for a loved one within the LaSalle family. We found that down where our main office was in Dallas, there wasn't care that we found that was suiting the needs of certain persons within the LaSalle family. And we had a relationship with a nursing provider and we went out and said I think we can do this. So, we created the first Autumn Leaves and I believe it was 1998 or '99, and we brought it up to Chicago a few years thereafter. And it's been successful ever since.

We've been able to take our real estate background in terms of finding and entitling properties, and our clinical side of caring for those that have Alzheimer's into a concept that has become the top in the nation quite frankly. We have over 30 communities now. Between ones that are under operation, ones that are in construction and ones that are in entitlement, we have close to 10 communities here in Chicagoland. This would be our, I believe, eighth open community in Chicagoland. Our nearest one would be in South Barrington.

We picked this site because Arlington Heights is obviously a great community. It has a lot of what some people may think is a similar product but it's not, there are some assisted living products within Arlington Heights but none that focus particularly on Alzheimer's and dementia. Obviously, the Lutheran Home is a great

community for those that need help there, and the Lutheran Home certainly has a component that cares for people with Alzheimer's but that is one facet of their whole envelope of services or umbrella of services. We focus strictly on those with Alzheimer's.

So, when we did a comparison and looked at different communities, we liked the vibrancy of Arlington. We liked what's happening here over the years in terms of redevelopment. We love old train towns. We like to become part of those communities and Arlington Heights is obviously one that kind of stuck out. The closest one that we've recently done this, kind of like this that has that same train kind of feel is Glen Ellyn. We just recently entitled that project and we're starting construction this week hopefully. We're waiting on the county permit.

One of the things that you'll see included within the package in front of you is a market analysis. And that shows the demand for those that require our services, not only within our typical capture area but also within the corporate limits of the Village. And if you look, you've got almost 28,000 people of an appropriate age range which is 55 plus residing within the Village. And if you take that statistical amount that could potentially require Alzheimer's care, you're looking at 364 individuals. So, within the families of this town, there's approximately 360 plus people that could be afflicted with Alzheimer's and require care outside of the home. If you take that beyond the corporate limits of Arlington Heights and look at the capture area, that number goes up about 15-fold. So, this is a great location for us with Arlington Heights Road, with the interstate, and just with the general kind of healthcare feel that this town offers.

We approached the city back in December about this project. We finally got some steam in about February. Obviously this is a rezone. Within that package, you've seen some of those arguments or discussion as to why a rezone here would be appropriate. Obviously this has been an Office-Transitional District for some time. There has been projects that has come before perhaps you or your predecessors that just never made it off the ground. Obviously post 2008 has been tough for real estate. There were even a couple of projects that came up prior to that that failed. I think this is the fourth proposal that's gone this far on this site, three of which were office products. This is the first healthcare type product that has had any steam since 1999 when Sunrise originally looked at it.

I also have ownership here to represent the fact that, you know, there is, the site as currently zoned has no marketable need for them. It's bank owned, it's a site that's fallen back to them because of the previous failed developments. And I think by bringing Autumn Leaves to it, we're going to add a lot to the increment. We're

going to add a beautiful building. We're going to be sympathetic with the type of architecture that runs north along Arlington Heights Road up to Noyes. Plus, a lot of those are low-slung type medical office buildings. Well, we're not an office building, we're a residential facility. We still have that residential feel.

The building will be of masonry stone construction. It will be maintained by two full-time maintenance individuals, one maintenance director and one maintenance staff. It's also supplemented by outside landscaping services. So, these buildings are kept in our portfolio forever. We're not a merchant developer where we sell these things.

This is a big entity for us so this is something that we want to keep for the long run. We also own the operating company. So, to keep this building, we build it as a part of our portfolio. We maintain is a part of our portfolio. And we leverage that into a sense of community to where we want to be part of the town.

And we do that by several things. We bring in Boy Scouts. We have all types of little cookouts. We give seminars on financial planning for elders and all types of activities like that that we think adds more to the community than maybe just an office building on the site. If you want, there's obviously questions that can be asked later about that particular zoning, but I think in our case you're going to see a site that's been sitting there for some time finally get built on, developed, hit the tax rolls and have some vibrancy and liveliness to it.

In terms of impact, we're not a heavy user of a whole lot of things. Unfortunately, our residents do have Alzheimer's. We don't have a huge requirement for parking. We don't have a huge requirement for bus service or school services. We're basically a user that kind of sits there, steady and quiet. We pay our bills and we service those in the community and we keep a good-looking building. We can testify later as to the exact car counts we have and the parking spaces available, but I think in a sheer comparison of this versus an office building, this is a far lighter use than what one could build under the O-T zoning currently.

I think if you look at the building, again it's a well-built building, it's stone and masonry construction. I think the big thing here is not just the zoning change but also the overlay district that has some very specific requirements as to what can go on this parcel. And a lot of that is inclusive of landscape refinements that obviously aren't there today, and we've taken a hard look at those several times in terms of making sure that we're not only meeting the code but we have adjusted it for perhaps some specie hardiness and some of those things where your landscaping consultant in-house has worked with our landscape consultant to come up with a plan that's very

vibrant and lush all four seasons long.

You'll see that the building will be well screened from the neighbors to the east along Tonne. We'll also be providing retention and we'll be providing newer storm sewer discharge to the east via requirements to redo East Council Trail. So, we'll improve the drainage along East Council by putting in more storm lines there. We'll be putting in curb and gutter.

We'll be putting in new street infrastructure there as well as street lighting, enhanced sidewalks. We'll be bringing a whole new view when you come in to that south part of town. As you pass Golf and you kind of see that stagnant area there, you'll see some life for a change.

Having been a former resident of this town, I remember those houses being there. I remember the art sculptures that used to be out there. It's kind of sad to see it go but things do change and I think we've brought a new product that I think the residents will embrace. And I think it's a great use.

Other than what else is in your packet, I mean I could go on and on. I don't want to be redundant. I'll save some of that for the Board. But I think I've hopefully brought to your attention tonight what you need, and we're all here, many disciplines to answer your questions that you may have.

CHAIRMAN WOLFE: Thank you. Is that it preliminarily unless there's questions?

MR. KRUMMICK: Yes. Yes, that's it.

CHAIRMAN WOLFE: Okay, great. Thank you. Kate, want to give the Village Staff report?

MRS. LOCKERBY: Okay. Well, there are three requested zoning actions before you this evening: a Comprehensive Plan Amendment from the current designation of Offices Only to Institutional; a rezoning of the property from Office-Transitional to Institutional; and a Preliminary and Final Planned Unit Development for the proposed development. The subject property is 4.6 acres and is part of, as Mr. Krummick mentioned, the Council Trail-Arlington Heights Road Overlay Zoning District as well as located within the Tax Increment Financing District Number 4.

I'll go into a little bit more detail about the proposed facility. It's a 29,000 square-foot care facility with 46 beds in 42 rooms, 4 of those rooms will have 2 beds. A total of 32 employees are proposed over three work shifts, and they are anticipated to staff the facilities 24 hours a day, 7 days a week, including having a registered nurse onsite 24 hours per day.

With respect to the amendment to the Comprehensive Plan as well as the proposed rezoning, the Petitioner provided information regarding the market for the area. And the Village

reviewed the documentation and agree that the proposed development in this location would be a positive use of the site for key reasons. One, that the zoning change would provide a good transitional buffer to the residents to the north, east and south. The subject property is within TIF 4 and has remained vacant for some time. The proposal is consistent with the requirements set forth in the South Arlington Heights Road-Council Trail Overlay District. And the Petitioner's traffic and parking study have demonstrated that the proposed use will have minimal impact to the surrounding roadway network and there is sufficient parking onsite to accommodate the projected demands.

With regard to the TIF 4, pursuant to state statute, this change in land use designation is considered a minor amendment, thus, no public hearing will be necessary for that. However, an ordinance amending the TIF 4 would be required concurrent with any approval of this project by the Village Board.

Can you, all in the audience, see the outline?

CHAIRMAN WOLFE: We can dim the lights a little bit if you'd like.

MRS. LOCKERBY: So, this is the proposed site before you, just so you all see the outlines of the site limits.

The first thing I want to discuss is a neighborhood meeting that the Petitioner had with the neighbors last week. There were four attendees. And the five key issues that came out of that meeting were regarding trash loading operations, the proposed landscape screen to the east of the property, ambulance traffic, security for the residents exiting, and property values.

With regard to the proposed trash collection, there were concerns about these operations occurring overnight. Therefore, Staff has added a condition to the recommendation that states delivery and loading-related activities as well as trash collection shall not be allowed between the hours of 10:00 p.m. and 7:00 a.m. And the concern was that the trash area is located in between the principal structure and the properties to the east, so hopefully this will mitigate any impacts that trash activities could have on those adjacent properties.

The proposed landscape screen was discussed in detail and there have been some minor modifications necessitated by the dedication of right of way to the Village. And I think we can show that plan, it's in the Petitioner's PowerPoint presentation. But basically, the proposal involves a nice, densely landscaped screen along the detention basin, along the east side of the detention basin as well as certain areas between the detention basin and the building of landscaping.

Concerns were raised about ambulance traffic that would visit the site. The Petitioner indicated there could be anywhere

from 3 to 5 calls per month for ambulances based on other facilities. There was a request by one of the residents to see if overnight ambulance calls could be handled from the west entrance to the building, the main entrance, because based on what the Petitioner had indicated, all ambulance service calls come to the east side of the building.

Security for the residents of the facility, neighbors questioned what type of provisions are in place to ensure resident does not leave the facility without anyone knowing. And the Petitioner mentioned that there is a 15-second delay on all doors, and the nurses are, and please step in if I'm misspeaking, but the nurses are in tune with the opening and closing of door operations.

And then with regard to the concern about property values, the Petitioner indicated that they would provide the questioning resident with information they had on property values around other properties.

With regard to the building, the proposed height will be 16 and-a-half feet to the midpoint as measured per the zoning ordinance. It will be a single story massing and will fit nicely into the surrounding neighborhood. The Design Commission reviewed the project in August and there were some recommended changes or condition changes to the landscaping materials as well as building aesthetics, colors, et cetera. And the Petitioner, part of the condition of the Plan Commission motion is that the Petitioner needs to comply with the Design Commission motion. The one landscape comment has been addressed with our in-house landscape planner, and alternative materials have been provided.

One outstanding issue with the building of the property relates to the classification of the proposed building. The Petitioner needs to work with the Building Department to determine the appropriate building type and that will need to be resolved obviously through the permit process.

This is a chart that is in the Staff report and it outlines the zoning code bulk standards. There are three, well, two variances listed here. One is from the overlay district requirements for setback to the front yard which is the south property line. The overlay zone requires a 100-foot setback, and with keeping the right of way dedication of Council Trail in mind, 52.65-foot setback is proposed. Therefore, a variance is required.

In addition, in the Institutional District, there is a 12-foot minimum distance from building to pavement requirement, and in the north, it does vary around the building but the north side is proposing 10 feet and the east side of the building is 4.75 feet. And so, both of those require variances as well.

The Petitioner has provided a response to the

hardship criteria which is attached to the Staff report. And the Staff concurs with the proposed variations. Regarding the building setback, it's believed that since it's a one-story building, it will have minimal impacts to the proposed surrounding areas versus a much taller building that could in fact be built on this site.

The last variation is regarding an accessory structure that is proposed in the exterior side yard setback, a 16-foot tall, 400 square-foot accessory structure. And Staff is of the opinion that the proposed building will have minimal impacts on the adjacent properties and it is still set back approximately 85 feet from the new Tonne Road right of way. And furthermore, foundation plantings are proposed around the building which will minimize the impact that that building has. And also, it is smaller than a standard residential, or the largest residential garage that could be built on a single-family property.

With regard to the project, the Council Trail Overlay Zone requires certain limitations on access to the site. It prohibits vehicular access to Tonne and Foster and it limits curb cuts to Arlington Heights Road to one as well as Council Trail. The proposed access to the site is, you know, I'm going to -- this is a copy of the site plan proposed. The proposed access to the site is via one access off of Arlington Heights Road and a second access off of Council Trail. The access off of Arlington Heights Road will line up with Pickwick, and there will be striping within the Arlington Heights Road right of way that will provide for a left turn into the site.

A cross access easement is requested, or required per the overlay zone, and a plat of easement has been provided that indicates an area of cross access between the property to the north and the access onto Arlington Heights Road. There is a sanitary sewer easement also necessitated by this development. There is currently a sanitary sewer line that runs basically along I'd say the north one-third line of the property and it needs, it has one-half of an easement, it needs the second half just north of that sanitary line. And that line is not proposed to be abrogated, it will remain as part of this project. That easement has also been indicated on the plat of easement.

With regard to the public sidewalk along Arlington Heights Road, it is not fully listed in the illustrated landscape plan that's shown up north. However, Staff has requested that they maintain at least an 8 or 9-foot parkway from the curb line of Arlington Heights Road until the sidewalk starts. So, in areas along Arlington Heights Road, that sidewalk will be on the private property, so a sidewalk easement is provided.

The overlay district sets forth other requirements for public improvements. The first is the construction of a storm

sewer west from Belmont to the subject property. The Petitioner is proposing to provide this storm sewer. They are also proposing to expand Council Trail to provide a right turn lane and a left turn lane as well as a full westbound, or excuse me, eastbound driving lane. There are certain improvements that are required and are not shown on the plan yet which include street lighting and some sidewalks. So, there are certain minor modifications that need to be made to the engineering plans, and those all need to be made prior to Village Board consideration.

As I alluded to previously, there are a number of areas that require right of way dedication. And there is a 16-foot right of way dedication required along Tonne as well as a 33-foot right of way dedication along Council Trail. There is no dedication required along Arlington Heights Road.

Finally, there is a requirement of the overlay district that an escrow of 33 percent of the estimated cost of construction for traffic signal and warrant study at the intersection of Council Trail and Arlington Heights Road be deposited. The cost estimate is subject to the Village's approval obviously, but that amount would go toward the construction of a traffic signal at that intersection if it is ever deemed necessary.

With regard to storm water management, the proposal is including a detention basin on the east side of the property. And that basin will ultimately drain into the new storm sewer on Council Trail that will run east to Belmont.

With regard to landscaping, and I just noticed, I apologize, that the plan in the PowerPoint presentation is not the current landscape plan, there is a significant number of trees on site but they are all of low quality species. And additional replacement trees are not required. They are proposing to preserve 12 trees. The plan does incorporate 116 shade trees and evergreen trees and 53 ornamental trees that will help mitigate the loss of the existing trees. There is a minor comment that the Petitioner must incorporate 5 to 6 additional trees in the northern area between the properties to the north and east and the detention basin, and that needs to be done prior to Village Board consideration.

Lastly, with regard to traffic and parking issues, the Petitioner provided a traffic and parking study prepared by KLOA. The study assessed the existing roadway system characteristics and anticipated trip generation, directional distribution, capacity analysis, site access and parking. Based on the information provided, Staff believes that proposed low intensity development will work well with the existing traffic patterns in the area and will have minimal impact.

And as the Petitioner mentioned, code requires one

parking space for every two beds, and as a result, a total of 23 parking stalls is required for the 46-bed facility. 38 parking stalls are proposed. The Petitioner has indicated that they believe they will have a peak parking demand between 16 and 20 vehicles. Therefore, it's anticipated that the proposed parking will adequately meet the needs of the development.

That being said, the Staff Development Committee has reviewed the Petitioner's request and recommends approval of the Amendment to the Comprehensive Plan from Offices Only to Institutional, a rezoning from Office-Transition to Institutional, a Preliminary and Final PUD, and the three variations outlined for the proposed 29,000 square-foot single story facility at the northeast corner of Arlington Heights Road and Council Trail subject to the 10 conditions outlined in your Staff report.

CHAIRMAN WOLFE: Thanks, Kate. Is there a motion to accept the Staff report?

COMMISSIONER DROST: I'll make that motion.

CHAIRMAN WOLFE: Second?

COMMISSIONER SIGALOS: I'll second.

COMMISSIONER GREEN: Second.

CHAIRMAN WOLFE: All in favor?

(Chorus of ayes.)

CHAIRMAN WOLFE: Any opposed?

(No response.)

CHAIRMAN WOLFE: Okay. John, why don't we start at your end with any questions?

COMMISSIONER SIGALOS: Thank you. I was at the Plat & Sub meeting when you came before us in April of this year. And at that time, there was talk about an 85-foot setback on the south building setback. Now I see it's 52. What's changed there? I'm kind of confused by that.

MRS. LOCKERBY: The 33-foot right of way dedication.

COMMISSIONER SIGALOS: The right of way dedication? Okay. Does this require a certificate of need from the state? This type of facility? Does not?

CHAIRMAN WOLFE: Could you come forward please? Just so we have it for the record.

MR. KRUMMICK: No, it does not. We're under the Assisted Living Act and we do not require a certificate of need.

COMMISSIONER SIGALOS: No, I understand that there's, you know, with the baby boomers and so forth, there's a need for this type of facility and how it would affect the Lutheran Home or the Moorings or the transitional care that's now being started on Arlington Heights Road.

MR. KRUMMICK: I can offer some insight into that. If

anything, we would compete with a couple like the Moorings and the Lutheran Home in a very small section of their business base. Something like transitional care, we're not playing in their same demographic. We're basically, strictly caring and giving clinical help to those that have Alzheimer's. Something like, let's say the Lutheran Home has skilled nursing, it has assisted living, and I think it has something independent with those kind of new villas that they've put in around there.

But there's a level of care that we cannot provide beyond. And so, if anything, we often become a feeder into some of those other communities in town. A lot of our residents don't necessarily have chronic health issues. They have Alzheimer's and they could be, it ranges from 35 to 103. And we're dealing with their dementia. Now, as their age becomes more of an issue and they have other health considerations that we cannot care for legally within our license, then they are asked to move on to a skilled nursing facility where they can get more round-the-clock care, where if someone had to be on an IV they could be on an IV. If they had other types of care that we couldn't provide, they would move into, hopefully, locally one of those businesses.

COMMISSIONER SIGALOS: Thank you. One of my other questions, I've reviewed this KLOA parking study and I see that, you know, that it complies with the code requirements. But just looking at it, it doesn't appear to have a lot of parking spaces. And I'm assuming staff would park on the east side of the parking spaces shown here on the site plan, and then visitors would park on the west side?

MR. KRUMMICK: Yes. Probably staff will be parking on the east side of the building, visitors will be on the west side. We don't typically have a lot of need for parking. We simply don't get a lot of visitors unfortunately. Our staff count, while we may have a large 30-odd total employment, that's spaced across three different shifts. And during what you could call business hours, we would have 4 to 5 professionals that are directors in healthcare or culinary or marketing supplemented by an RN and the care-givers. As the day becomes night, those professionals go home, it's strictly care-givers and an RN that are there from let's say 8:00 o'clock in the evening until, you know, about 7:30-8:00 o'clock in the morning.

So, there's a 12-hour band there, plus where, you know, there may only be 4 employees on site, and that ratchets up as our occupancy changes. So, you may not even see that highest staffing level until we're, you know, 24 months into a more stabilized product.

COMMISSIONER SIGALOS: I can understand the nighttime parking is sufficient, but I just don't want to see a repeat of what happened over at the Lutheran Home where it had so many overflow of parking into the residential neighborhood and created quite a problem

there.

MR. KRUMMICK: Yes. Unfortunately, I mean we've been doing this for a long time and we haven't had that problem. I think I had stated in the neighborhood meeting that there is a case where when we have our open house, we may have to rent some offsite parking and do a valet simply because we're inviting quite a few people from this community and others. But our residents don't drive so they don't have vehicles. They are visited throughout the day and not that frequently unfortunately. So, when we have a maximum of 40 plus visitors, maybe 15 percent of those people are getting, or when we have 40 plus residents, maybe only 15 percent of those residents are actually getting visitors, so that would be 6 cars. And there's plenty of parking for 6 cars on the west side of the building.

We would provide for more parking if we had to. I mean obviously, I think we're actually exceeding what's necessary. It just isn't a need unfortunately.

COMMISSIONER SIGALOS: No, I just didn't want to see repeated what we experienced with the Lutheran Home.

MR. KRUMMICK: Yes. Understood.

COMMISSIONER SIGALOS: The other question I had, and maybe we could look at the site plan, ST1, relative to ambulance. I saw that, you know, you're anticipating probably 5 ambulance trips per month. And I saw you're anticipating bringing patients out through the east side of the building. What I'm having a hard time looking at this floor plan where that would occur. It looks like the kitchen is back on the east side and the dining area. So, where would a patient be brought back through to an ambulance on the east side of the building?

MR. KRUMMICK: On the east side of the building, there is a service corridor that they would be brought out. On the west side of the building, actually in that photo where you saw the living room, there is a door opposite of that fireplace. So, rather than bring a conscious or potentially unconscious resident through the living out the front door, we'd prefer to take them out the backdoor where it may be a little bit less disheartening to those that have some confusion.

COMMISSIONER SIGALOS: I understand that. I just didn't know how that would affect the residents to the east. And if ambulances arrive there with lights and sirens --

MR. KRUMMICK: We kind of work with the department not to do that because that, you know, we have, that would throw our residents into more confusion. There is some communication that happens on the operation side with the local municipality that I'm not privy to, but typically they don't come and light the sirens.

COMMISSIONER SIGALOS: That's really the only questions I have at this point. Thank you.

MR. KRUMMICK: No problem, thank you.

CHAIRMAN WOLFE: Susan?

COMMISSIONER DAWSON: So, just so that, I think it would be helpful on the parking issue, I think, I don't have a problem with the parking necessarily but I think if you, do you have some specifics? Do you have, how many facilities did you say you have like this?

MR. KRUMMICK: Three throughout the US.

COMMISSIONER DAWSON: So, do you have another facility that has a similar type of beds, that has a similar type of parking available that you could give us more specifics about parking usage?

MR. KRUMMICK: Well, I can say that KLOA has done all of our projects here in Chicago and they've kind of analyzed that use throughout the history. I don't know if you want to comment a little bit more on that.

COMMISSIONER DAWSON: Just so that everyone kind of understands. If you have another 42-bed facility and you could say what parking is like there, I think it might allow everyone to feel a bit more comfortable about the parking.

MR. KRUMMICK: We do not have any parking issues. We have never had a full lot. We've only had a full lot when we have a special event, and in that case we do valet parking.

COMMISSIONER DAWSON: Okay.

MR. KRUMMICK: I think we provide more parking than actually is necessary based on our past use.

MR. WORTHMAN: Just to add, Michael Worthman from KLOA, we are providing 38 spaces. Your code only requires 23, so we're almost double your code. More importantly, surveys by ITE, the Institute of Transportation Engineers and their parking generation manual, indicate that a 42-bed facility would generate a peak demand of 16 to 20-21 spaces. So, it's right there with what your ordinance says, and I think the 38 spaces is similar to what they provide at their other facility. It's right around 0.8 to 0.9 spaces per bed, and that's pretty usual of what they're providing at other facilities.

COMMISSIONER DAWSON: Right. And again, I don't have a problem necessarily with the parking. I just think it's helpful if everyone understands that if you have a similar facility that perhaps has 42 or similar beds and you have a parking lot there that has 32 or similar spaces and you've never had a problem there, that to state that would be helpful to clear it up for anyone who is left with confusion on the parking.

MR. KRUMMICK: We have never had a problem. Our footprint is typically the same. Sometimes our lots may grow big or smaller based on the geography of the piece of land, but we do not have any parking spaces with this amount of spaces, we're less.

COMMISSIONER DAWSON: Okay. And so, you do have a

similar facility.

MR. KRUMMICK: We do.

COMMISSIONER DAWSON: Similar bed type, similar number of parking spots, and never had an issue?

MR. KRUMMICK: Unless we have a special event.

COMMISSIONER DAWSON: Right, of course, yes. And how often do you have these special events? You said open house, do you have seminars? Do you have --

MR. KRUMMICK: We have an open house which is the big one. You know, even when we kind of do Boy Scouts, I mean it doesn't get too big. The big thing is maybe the three and five-year anniversary that we have where again we bring in some municipal officials and some healthcare givers. And there we plan for offsite parking and we do valet. We don't use street parking. We simply just, we do not have a need for that much parking based on our type of resident.

COMMISSIONER DAWSON: Sure. Sure. You mentioned in here that there's going to be 4 proposed for double rooms?

MR. KRUMMICK: Yes.

COMMISSIONER DAWSON: Do you have double rooms in your other facilities as well?

MR. KRUMMICK: We do. We have different levels of double rooms based on the economics of the area. Sometimes it provides for a better cost basis for someone to get into the residence. Sometimes it provides for a spouse or a brother/sister or in-law, brother-in-law, sister-in-law type thing. In this configuration, we have four shared rooms.

COMMISSIONER DAWSON: And that works well in your other --

MR. KRUMMICK: Yes.

COMMISSIONER DAWSON: That just seems interesting to me.

MR. KRUMMICK: You know, actually in other states, I think they are even allowed to put a third bed in some of those rooms, and we just, we don't, we can't do that up here. And I don't see this, I would never do it myself.

COMMISSIONER DAWSON: There was reference in the neighborhood meeting that you were going to provide a property value study. I didn't see that. Was there anything done?

MR. KRUMMICK: It went out in individual e-mail. And that was taken care of.

COMMISSIONER DAWSON: Okay. So, that was, everything, how did it come back?

MR. KRUMMICK: Yes, that was, we don't have a lot of properties here in Chicagoland that are located in this type of

specific proximity to residential properties. Plus, a lot of our properties started prior to '08, and then after '08, so you're going to see a huge drop off in values just based on the market. So, we had a study done for properties down in Texas where we had some communities that were stabilized for a longer period of time. And in there, I don't remember what the pool was, we looked at three different communities. I believe one lost about \$1,600 over an 11-year period in terms of market value, and the other one was about \$17,000 that was a bank sale. Everything else was commensurate with the market.

COMMISSIONER DAWSON: And how long has this land been vacant? Or this isn't where the, was this where the house was torn down? Someone said the ice sculpture house right there was?

MR. KRUMMICK: Yes. There's a few houses along here, this.

COMMISSIONER DAWSON: That was one of the ones that was torn down in this property, the ice sculpture house or was that just nearby?

MR. KRUMMICK: I'm not sure if that was the property to the north because there's several pins involved in this --

COMMISSIONER DAWSON: Anybody remember?

COMMISSIONER GREEN: I think it was just north of that.

COMMISSIONER DROST: Yes, it's north of that. It's being listed by Schmidt.

COMMISSIONER GREEN: The next one over.

COMMISSIONER DAWSON: It's the property next door?

COMMISSIONER GREEN: The next parcel up.

COMMISSIONER DROST: Yes, it's been listed by Schmidt Medical Office.

COMMISSIONER DAWSON: So, how long has this been vacant?

MR. KRUMMICK: Well, I don't know when the house on this parcel came down. Those came down in the spring or fall I think. It's been under different proposals since 1999.

COMMISSIONER DAWSON: Okay. And then the last question I had is in relation to lighting. I haven't heard anyone discuss lighting in the rear which would be the area I believe would be closest to the residences. Are there any lighting concerns and how would they affect the nearby properties? I mean are you going to have lights on all night long in the parking lot there?

MR. KRUMMICK: There will be lights on and we meet code requirements for that parking lot lighting. We don't light the place up like a Christmas tree, but we do have certain fixtures that we use or whatever fixtures are required by the Village.

COMMISSIONER DAWSON: Where is the closest, where are the houses lined up next to that? Do we have a picture of the

neighborhood? Here it is, thank you. So, right behind, there is a vacant parcel. This is still vacant?

MR. KRUMMICK: No, that's --

COMMISSIONER DAWSON: It's shown that what we're looking at is vacant but sometimes these are old.

MR. KRUMMICK: That has a house built on it.

COMMISSIONER DAWSON: There is a house there. So, are there any concerns about lighting in the rear affecting these two homes? I mean what are you doing to protect against?

MR. ARENSON: I'm Michael Arenson, I'm with SAS Architects. And I've done both this project and all the other projects for Autumn Leaves here in the Chicago area.

CHAIRMAN WOLFE: Michael, can you spell your last name please?

MR. ARENSON: A-r-e-n-s-o-n. In the packet, there is a sheet, E1.2 which is a photometric design for the property and it shows the cutoff for lighting. And the backside of this property is zero, just on the other side of the back access road, and it's zero to the north as well. And the lights, there is no light bleed to the neighbors and please look at the photometric plan, and it's pretty clear we cut it off.

All the light fixtures are the current, the no skylight, I forget what the right phrase is these days, and they're cut off fixtures so it's been addressed for lighting.

COMMISSIONER DAWSON: All right, terrific. No more questions.

CHAIRMAN WOLFE: Thank you. Joe?

COMMISSIONER LORENZINI: Okay. During the Plat & Sub hearing, my concern was security of the building and the residences. So, could you explain to me a little bit more about the timers on the doors or how people are prevented from getting out?

MR. KRUMMICK: I can do that. Our building is secured by all outdoor, all exterior doors are secured. When you enter our building, you enter into a vestibule. And that front door is actually secured, you have to hit a buzzer, they'll recognize you, they'll let you in. All the other doors are locked and they cannot be, anyone who could come in from the outside, in order to go out from the inside, you'd have to push a panic bar. And that panic bar, once pushed, activates an alarm and that door will not open for 15 seconds. However, the minute that alarm is activated, all staff have a pager and that pager goes off.

And I will tell you first-hand, as soon as that door gets open, staff run as far as they possibly can to that door because it's happened to me and it happened to an investor once and we did it accidentally. And they come pretty darn quick. And they'll

beat a path to that door to see what's going on and they'll get there in a matter of a couple of seconds.

COMMISSIONER LORENZINI: Kate, I assume the 15-second delay is within code? You know, in case of an emergency, if there's a fire or something going on?

MR. ARENSON: Yes, that is the code delay that you have on this type of facilities or in an infant care unit in a hospital. It's standard. It is what is required. And they block it more but it would be unsafe, so you're only allowed up to 15 seconds.

COMMISSIONER LORENZINI: Right, okay. And there is a view of your typical courtyard that had quite a tall fence to it. And I assume that's what this facility is going to look like, you'll have a tall fence around the perimeter?

MR. ARENSON: There are two, what are traditionally called wanderer's gardens, and it's a 6-foot fence around the side. And there it is, we try to make it very decorative. So, there's an open --

COMMISSIONER LORENZINI: That's more than 6-foot, isn't it? Or is that --

MR. ARENSON: Yes, it's 6-foot. That picture could be higher, it could be 8 looking at it. But it's right up to a board level and then high above, you know, so it's got the trellis above it. It's interrupted by brick piers as you go around it so it blends with the architecture. And the Appearance Review Committee requested that the fence not be white but a beige tone or a tan tone that matches the little bit of fascia siding on the building so it will diminish its impact there.

COMMISSIONER LORENZINI: Okay. Who currently owns the site and who is doing the clearing on the site right now?

MR. KRUMMICK: The site is owned by a private bank. We did some preliminary clearing. We met with the Village arborist so that we can review some of the scrub trees and buckthorn that ran there so that we can do our surveying. So, we had to do some clearing of brush in that respect.

COMMISSIONER LORENZINI: Okay. And you mentioned there's a certain level of care you can't handle, but if the person just has Alzheimer's, you know, no other medical conditions, can they, they can be here no matter how forgetful they get or confused they get?

MR. KRUMMICK: Well, yes, we can certainly care for them therapeutically through whatever means we can with Alzheimer's. Now, when they have other issues that relate to their health, and Mike, you know the skilled nursing code better than I, is it IV, what's the cutoff there?

MR. ARENSON: This is, okay, this facility is licensed assisted living by the Department of Aging through the State of

Illinois. So, this is a licensed assisted living facility and it will get the appropriate license to give that level of care. A skilled nursing facility which is what you inquired, that requires a CON and that requires, as you know, a nursing home, a whole different level of care and has to do with the amount of ADL or assisted units you have to give to people so many per day. So, it's a very different arrangement than assisted living. And assisted living does not need a CON.

COMMISSIONER LORENZINI: Okay. And final question, the additional building in the back, what is that for?

MR. KRUMMICK: That's basically a garage or a storage shed. And what happens is we provide furnished rooms for all of our residents. Sometimes they'll come in and they'll want to bring in their own furniture. So, we need somewhere to place that furniture and that's what that storage shed is for, it's basically for household items. We don't store lawn tractors or snowblowers or anything like that in there, it's mainly just residents' extra stuff.

COMMISSIONER LORENZINI: Okay, thank you. That's all I have.

CHAIRMAN WOLFE: George?

COMMISSIONER DROST: Kate, if I was the developer, how could I maximize the site? I'm looking at maybe a height, you can go up to three stories and you could increase the number of beds.

CHAIRMAN WOLFE: You mean under the existing zoning?

COMMISSIONER DROST: Under the existing, if we're going to go institutional, you know, just a rough cut. Basically, I want to just get to a density.

MRS. LOCKERBY: The allowed height, building height would be 45 feet under the Institutional District. And what I have put up on the screen is the comparison of the zoning --

COMMISSIONER DROST: Yes, I saw sort of, the lot coverage is only 13 percent to a possible 40 percent.

MRS. LOCKERBY: Yes.

COMMISSIONER DROST: So, everything looks like it's diminished here like by about a third so that on the site you could really develop it into sort of a dementia unit on steroids perhaps, you know, you could really grow it. And was that ever a possibility or a proposal that you had discussed to increase the use or do you have any idea that you might want to increase it at a later date?

MR. KRUMMICK: I think that's a great question actually. We have a very formulaic, we have a formula in our footprint and it's very clinical in nature. And that's a footprint that we stick with. And our unit count stays very similar throughout the regions. We may make some tweaks here and there. But our performance is based on the number you see here.

If we were to go to something different, we would

do it on the front end. We certainly wouldn't adapt this building by building on top of it. We did look at assembling the parcels to the north with these parcels and perhaps doing a larger, maybe an assisted living memory care type project. There were some issues with that, with the other landowner as well as the easement.

But as for what we are entitling here, this would be all that we would do and this is all that we would plan to do. And we have no desire currently or I've seen over the last 12 years to change this plan any larger. Michael, did you have to add to that?

MR. ARENSON: Just very quickly. You're absolutely correct that you could have, that the zoning allows you to build a bigger project. But I wanted to note that the building height is noted at 16.5 feet and the ridge line is 30.6 feet to the top roof. There are some lower roofs and that's to the midpoint of the roof of one of the lower roofs so it's really not a building height, it's really 30.5 feet. It should be stated correctly in the --

COMMISSIONER DROST: Yes, because I was looking at it and it just seemed like it was pretty modest to what you could really do to develop that site.

MR. ARENSON: If you look at the, it is modest, the square footage and the single story is very modest. The roof lines are a different issue, the roof lines which give the building a lot of character and break down the heights and there are smaller roofs that have other gables. The big roof across the top is 30-foot 6 inches to the ridge, and there are some lower roofs at 26 feet, and there's even some at 23 feet, so it steps down as you come to the front of the building.

COMMISSIONER DROST: So, as a developer, what are you thinking? Why aren't you, explain that to me.

MR. KRUMMICK: Well, you know, we are developers in the healthcare business and we have a very small specific sector. And if you look at, I mean if we put 80 beds on the market, I don't know if quite frankly we'd fill them all.

COMMISSIONER DROST: Yes. And that really goes to the second question, you know, the model that you're going to be using. You've got 48 beds and 42 units, correct? And I just wanted a clarification on that. As far as the double beds, when you said wife/spouse, are these both with dementia or is there a spouse caretaker, in-law caretaker?

MR. KRUMMICK: It's been two that have some type of memory disorder.

COMMISSIONER DROST: Okay. So, it's not going to be a place where you've got a live-in sort of non-affected individual.

MR. KRUMMICK: Not at all. Typically, those are rooms that are provided to add a certain economy to the cost. They're still

large rooms. Mike, I don't know if you --

MR. ARENSON: I was going to say if you put the floor plan back up or if you have the floor plan in front of you, they are large rooms in the corner. And they're not side-by-side hospital style rooms. They're two alcoves separated by a closet and a bathroom that just are not totally divided. If you look in the bottom left-hand corner, you can see that there are two beds in that very bottom corner.

But yes, there's a closet and a bathroom in between. So, this is not a hospital or institutional type of residence, this is very separated and two residents could live there very isolated and very separate.

Thank you so much. And I have a pointer, if I can work it. So, you can see the two beds here and here. And there's two obviously over here.

Also, and again I'm sorry to go backwards a little bit, somebody asked about the ambulance pickup. This is clearly the back corridor. And there's a, the back road actually is indented so that an ambulance can pull up, and this is a porte cochere so that a resident could get out to the ambulance without walking outside at a long distance which would be the access off the front. So, there is a purpose to coming out the back, to keep people sheltered and to get the ambulance close to the building.

COMMISSIONER DROST: As far as the business model that you have, you have open houses to attract potential residents.

MR. KRUMMICK: We do.

COMMISSIONER DROST: And do you work through, and you said you had other events, financial planners, and probably, and I was going to suggest maybe do you have people who do senior services type open house as far as your referral sources?

MR. KRUMMICK: Yes.

COMMISSIONER DROST: And how do you get your clients, you know? Do you go to --

MR. KRUMMICK: Well, there are some national portals online like A Place For Mom. A lot of times people look online, that's the first thing they'll look at. So, we're on a, I think a lot of the communities here in town are probably on A Place For Mom as well. We also, to step back, on A Place For Mom, they can select what type of care they're looking for, and here they would click for memory care and the different providers would come up in the area. We do have --

COMMISSIONER DROST: Like Joan Lunden does those commercials?

MR. KRUMMICK: Yes, she does, yes, yes. We do a lot of grassroots type stuff, you know, Patch.com. You know, just once we get into the community, I mean I'm pretty far removed from that quite honestly, but once we get our executive director hired, and this is during the construction process, we start doing just, you know,

handshakes and meet and greets and all kinds of local grassroots based thing to get people aware of who we are, what we do, why what we do is, why we think it's superior to some of the other care models in the area, and why we'd like to have you in our home.

So, we do a lot of things. Sometimes you'll hear us on AM radio. We have a commercial on there, I don't think it's been on for a while but sometimes it is.

COMMISSIONER DROST: I was curious because then I'm going to, you know, how do you, who pays? How do they pay for this? Is this through private insurance or through the individual's funds?

MR. KRUMMICK: It is private pay and the rooms range, I think that double is probably around the \$3,600 mark, maybe a little less.

COMMISSIONER DROST: \$3,600?

MR. KRUMMICK: A month. And things top out around \$7,000. And that's based on the room size, has nothing to do with the level of care that you need. There is no menu of services. It's all one price for everyone based on the room that they select; whether someone needs incontinence care or someone needs, you know, diabetes care, it doesn't matter to us. You know, some of the other companies out there do have a menu of values that they'll up-charge you on. We don't do that.

But, and we do a lot of community outreach. We even work with, you know, like I said, we become a referral base for the skilled nursing centers in the area. So, you know, we have that relationship. And you know, there's a little network of those employees anyways, so you know, they all know what's going on and who is who. But we do work with different physicians and hospitals as well.

COMMISSIONER DROST: Yes, I was just curious, you know, what those price points were because, you know, in some of the institutions that have the skilled care, \$10,000 or \$11,000 is not an unusual monthly charge.

MR. KRUMMICK: Right.

COMMISSIONER DROST: And if your baseline is 36 for an ambulatory dementia type person, it's going to be competitive to some of the other businesses in and around Arlington Heights.

MR. KRUMMICK: Yes. There are some that are slightly higher, and I think if you look at the mean across, if you average out, you know, the room types as a mean to the cost, it's actually fairly commensurate with what's going on locally.

COMMISSIONER DROST: Yes.

MR. KRUMMICK: And again, it's private pay. So, you're looking at shedding an asset or using cash.

COMMISSIONER DROST: Yes, no NFL concussion people that

you're going to bring in? That's a new dementia.

MR. KRUMMICK: I'm 40 and I have a kid that I went to high school with that's in our Vernon Hills facility.

COMMISSIONER DROST: Yes. We've heard about that, yes.

MR. KRUMMICK: Yes. So, that's sad.

COMMISSIONER DROST: Unfortunate, yes.

MR. KRUMMICK: It strikes all age levels.

COMMISSIONER DROST: Well, thanks, I don't have any more questions.

CHAIRMAN WOLFE: Thanks, George. Bruce?

COMMISSIONER GREEN: I would just like to state that as an architect I appreciate the effort that went into this project. I think that, just a touch on what George was saying down there, what could have been built on this site would have been, could have been much more imposing to the neighbors. I appreciate the residential look of this and I think it's going to fit nicely into this site.

There was a variation for the setback on Council Trail, and I can see that it only touches the corner of the building and it's cocked. And you go through the large courtyard before you get to the front corner of the building and it jumps up to about 85 feet or whatever it was.

I think here, your constraints here with the sewer and everything that you had to do and I think, just to let you know, I think it's a good solution to this piece of property.

MR. ARENSON: Thank you so much. The building was sited, it literally touches the sewer easement to the north, and then the building just kind of came as close as it did the other way. We went as far north as we could with that.

COMMISSIONER GREEN: Oh, I understand where you're at. I had looked on the engineering plan to see where that sewer was.

MR. ARENSON: Thank you.

COMMISSIONER GREEN: Just I think it was a nice solution and it was well thought out.

MR. ARENSON: Thank you.

CHAIRMAN WOLFE: It's kind of a chest thump from one architect to another. Bruce, anything else?

COMMISSIONER GREEN: No, that should do it. Mike.

CHAIRMAN WOLFE: Mary Jo?

COMMISSIONER WARSKOW: I don't have any questions at this time.

CHAIRMAN WOLFE: Okay. I just have a couple of questions. Number one, you said you're in the real estate business primarily, but you're also the operator? Do you handle all operations or do you have an operator in there?

MR. KRUMMICK: We own and operate a company called

Constant Care Management. They're a subsidiary of the LaSalle Group, and that is the management company that the ownership entity of each property contracts with to provide healthcare management services.

CHAIRMAN WOLFE: Okay. And should this be approved or recommended for approval by the Plan Commission and ultimately if it's approved by the Village Board, what's your timing?

MR. KRUMMICK: Well, we're coming into a funky time for construction here in the winter. And I honestly don't think we're going to get a whole lot done, even if we get Village approval next month or the following month, even if it's tomorrow, there is not a whole lot that we can get done prior to snow hitting with our building permit. So, we're probably going to do as much as we can onsite even if it's just clearing and grabbing something prior to snow hitting, and we'll probably sit tight until the spring.

CHAIRMAN WOLFE: Okay.

MR. KRUMMICK: And we'd like to open up before Christmas next year.

CHAIRMAN WOLFE: And so, your construction would last 8-9 months?

MR. KRUMMICK: Yes, we're probably 10 months. And I think if we got started in March, hopefully we'd still hit it by the end of the year because we'd have some work done on the front end a little bit.

CHAIRMAN WOLFE: And Kate, with respect to the cross easement, is there also, is it kind of put there that there be an easement if the property to the north was developed, how would that work? Would there be an easement on that property as well or is this the primary because of the location of the curb cut with the adjacent street?

MRS. LOCKERBY: This is the primary because of the curb cut location.

CHAIRMAN WOLFE: Okay.

MRS. LOCKERBY: Yes, it's intended that any development to the north would utilize this access point.

CHAIRMAN WOLFE: Okay. Thanks. I think it's great project, it's a great idea for the area. And I think it would be a welcome addition to the Village.

MR. KRUMMICK: Thank you very much, I appreciate your time.

CHAIRMAN WOLFE: Okay. Now, what I'd like to do is give any folks in the audience who would like to be heard on this an opportunity. Can I just see a show of hands first if anybody would like to talk? Okay. Why don't you just kind of come forward in the order of where you're sitting? And again, please state your name, spell your last name, and your address for the record.

QUESTIONS FROM AUDIENCE

MR. SLUGA: My name is Kent Sluga, S-l-u-g-a. We live at the house at 203 East Foster.

COMMISSIONER DROST: Could you get the map up, Kate, so we can get an idea of where that is?

MR. SLUGA: We are the house --

MRS. LOCKERBY: It doesn't have a house on it, is that right, at the corner?

MR. SLUGA: Yes. It's where there shows an empty lot.

COMMISSIONER DROST: Okay. That's good, that's helpful.

MRS. LOCKERBY: Is it this one?

MR. SLUGA: Yes. I think it is a good fit. The building from the sketches looks nice and everything. Big question we had was garbage. Now, you had stated there would be some kind of an ordinance or something about that, that there would be, that they're not coming at 3:00 in the morning with garbage truck in a commercial property. Is that how it would be from what you had stated before, that it would be they're not going to be allowed to come until 7:00 in the morning?

MRS. LOCKERBY: Correct, that's the condition as written into the ordinance.

MR. SLUGA: Okay. And then also, there is by that back building, there is a generator there?

CHAIRMAN WOLFE: Can you speak in the microphone if you don't mind?

MR. SLUGA: I'm sorry.

CHAIRMAN WOLFE: Just so that the court reporter can pick it up.

MR. SLUGA: Okay. There is a generator back there I believe on the sketch, right?

MR. KRUMMICK: Yes.

MR. SLUGA: And when will that test? When will, I'm assuming you'll have a weekly test for the generator?

CHAIRMAN WOLFE: Matt, if you don't mind coming forward also to have this discussion? And also, maybe if you can address how frequently the refuse is picked up?

MR. ARENSON: That I don't know. I can address, hi, I'm Michael Arenson, I can address the generator.

CHAIRMAN WOLFE: Can you speak up on the microphone please?

MR. ARENSON: There is a generator back there. Under law, it does have to be tested once a week. The time for that test can be set by the organization, they can set it at 10:00 o'clock on a

Tuesday morning for instance. It would not be tested in the middle of the night because nobody would want to record that they tested it at that time. So, it would be during the day when people were there and they could see that it operated properly. As to the amount of garbage pickup?

MR. KRUMMICK: Yes, as for the amount of garbage pickup, that increases as our occupancy changes. I can't see us having more than, you know, maybe two garbage pickups a week initially. I mean the thing we have here is we can easily, and I'm glad that you put this language in there because we can easily share that with Groot or Waste Management, whomever it is. But we're still at the bequest of when they want to send their truck out, and I think we all get garbage, and it says put it out at the curb at 6:30 or 7:00 and they probably don't show up until 10:00 or 2:00 or 4:00.

But our garbage isn't daily, it's probably maybe an additional route. It is a large dumpster and it's nothing that we have absolutely control over but it's something that we would certainly temper when we set up our account with them and say this is the ordinance, these are the requirements that we have to work around. We would certainly make that accommodation because we want to be neighbors.

CHAIRMAN WOLFE: Thank you.

MR. SLUGA: One other thing I wanted to address is along that property, they had a berm with landscaping I believe on the other side of the dry retention area. And I'm just going to speak for myself, I guess this is our one chance to really, if I'm speaking honestly, to say we would really like a good amount of screening there so we're not looking at the building so much. You know, I am assuming, we asked for a detailed landscaping plan and just kind of got the same kind of drawing that you had put up on the screen before and didn't really see any detail of what kind of screening it is actually going to be. So, I guess that's a big concern.

CHAIRMAN WOLFE: Okay. Either Kate or maybe you, Mike, or somebody from the Petitioner can address any berming and landscaping?

MR. SLUGA: Thank you.

CHAIRMAN WOLFE: Sure.

MR. PATERA: My name is Nick Patera, P-a-t-e-r-a. I'm the landscape architect for the Petitioner.

CHAIRMAN WOLFE: And your address, sir?

MR. PATERA: Teska Associates, 627 Grove Street, Evanston, Illinois.

CHAIRMAN WOLFE: Thanks.

MR. PATERA: There is a berm, first and foremost, along Tonne Road.

CHAIRMAN WOLFE: Is it an existing berm?

MR. PATERA: No, it will be built and it's parallel to the road right of way and to the traveled paved road. It exists between the road and the dry detention so that the detention will be, you know, depressional. It will come up as a 3-foot-high berm and then go back to the flat. But that's the beginning.

And then we had to follow the South Arlington Heights Road and Council Trail Overlay District for the screen planting. I do have detailed landscape plans, I'd be happy to leave a copy with the neighbor. But the detailed landscape plans cover everything from the ground level which will be primarily turf grass, but what we've done with the planting, and I should be facing you because you're asking the question but you can hear me.

MR. SLUGA: Sure.

MR. PATERA: So, my apologies for turning my head.

CHAIRMAN WOLFE: If you'd like to come up and stand next to me, you're welcome to do that.

MR. SLUGA: Yes.

MR. PATERA: But it will start with the lawn, it's primarily a lawn planting, but what we have in real simple terms, Kate, can you flip over to the landscape plan please? It's overlapping screen planting. So, what we don't have is soldiers standing in a row of evergreens all tightly planted. But the overlay district specified a mix, a broad mix of shrubs, perennials, evergreen trees, flowering trees and shade trees. So, those are all in there, but the details of that are on the specific landscape plans.

Some of the evergreen trees are starting at 10 feet tall. There's two different types of evergreen tree, a Norway spruce and a limber pine, these are full-fledged trees. There is also arborvitae which are evergreen but more of an intermediate height, arrowwood viburnum shrub and redbud dogwood shrubs, those are starting at 3 feet in height, they'll get to be about 8 or 10 feet as they grow. Likewise with the evergreen trees.

But you can see this kind of louvered effect that we have create where the plantings have a little bit of movement and dynamic to them so they don't look like they're all lined up. Deciduous trees will consist of alder trees which is a low branch, and flowering crab. So, it has seasonality, it has evergreen, it has dimension. So, these are some of the considerations that were given.

There was a comment that Staff made relative to adding 6 plantings up at the north or northeast corner. This is actually for the neighbor across the street from the gentleman/family sitting behind me. But up at this, you won't be able to see if I point up but at the northeasternmost corner, we did already add additional evergreen plantings. And I talked to Derek Mach about this

specifically, he's the Village landscape architect, to incorporate even more significant evergreen plantings up at that northeast corner.

One last thing I should mention is the neighbor that's directly abutting us to the east at that northeast corner, we have a wooden fence along that portion where we have properties abutting rather than the road, you know, because the road is actually turning. Tonne Road turns but that property that's adjacent to frankly empty open space of ours does have a fence at that east side at the north end. And you should know that also the neighbors to the north where you see those kind of piano key shapes of lots abutting our property, those also have an existing fence that will remain. It's in good condition.

CHAIRMAN WOLFE: And those are the neighbor's fences, not the property's fence?

MR. PATERA: They are the neighbor's fences, but we're not duplicating and having dual fences. So, I'm happy to share more but that's it.

COMMISSIONER LORENZINI: But these plantings you're talking about, they're all going on top of a 3-foot berm?

MR. PATERA: Yes, they're more or less running the ridge line that, you know, you can see they're all generally lined up even though I've kind of snaked them along this area between the detention basin and the Tonne Road right of way reservation. That black line is existing right of way. There is a faint lighter line that's the widened right of way. For the time being, that's going to be a grass parkway. And the berm exists to the left of the new proposed right of way in the strip that's between the detention basin. They're all riding on top of that 3-foot-high elevated land form.

COMMISSIONER LORENZINI: Okay.

CHAIRMAN WOLFE: Thank you very much for the comprehensive explanation. Anybody else in the audience?

MR. GIOLLI: My name is Joe Giolli, spelled G-i-o-l-l-i. I live around the corner of Council Trail and Tonne. And my question is, is a 3-foot berm high enough? And that retention pond, does it have to be in that location? Because I'm worried about having rodents coming with whatever is growing in there with the garbage being located there. Could they locate that on the other side in between to the north? And how much is actually there that they're going to, away from the street?

CHAIRMAN WOLFE: Okay, thanks. Maybe Mike, you or have somebody come up and address those questions?

MR. PATERA: Nick Patera again. Backwards in answering the questions, and thank you, I think the question was, one is how far is the trash enclosure from the street? Is that one of the questions?

CHAIRMAN WOLFE: Well, I think the question has to do

with --

MR. GIOLLI: From the street, how much, are you giving us 15 feet, are you giving us 30 feet?

MR. PATERA: Before the detention basin?

MR. GIOLLI: Yes, being the landscape and, because I'm looking at like, I would like 100 percent screening on it so we don't have to see the building.

MR. PATERA: And you're on the south side of Council?

MR. GIOLLI: I'm in the corner.

MR. PATERA: Oh, okay. I think it's around, I need to get Tom to tell me but I think it's around 25 feet on the east side. That detention basin is pretty much just a regular grass. We're not trying to get exotic with tall native plantings here. One question had to do with are we creating wildlife habitat, this is going to be maintained more or less as perhaps less frequently mown but I'm not going to have a tall grass prairie trying to grow in here.

One of the questions you asked had to do with the trash enclosure. You should understand that the trash enclosure, it's the farthest south on this angle, this structure, but it's the farthest south where Kate, thank you, is pointing. That's the garage building.

MRS. LOCKERBY: Sorry.

MR. PATERA: Going south from that is the --

MRS. LOCKERBY: Right there.

MR. PATERA: That's it. It is actually an enclosed, walled, fenced structure. Masonry? Masonry with gates on it so it does get closed when it's not being used. The plantings that go around it are tall evergreen plantings. They're Hicks yew that go around there. And the 3 trees that you see there are multi-trunk branch tree called an alder that branches low to the ground like a birch tree wood. So, we're doing everything to hide it. And we're also doing everything we can to enclose it. I think that the detention basin isn't going to be wild and wooly. It's going to be, you know, pretty well maintained.

MR. GIOLLI: Does it have to be in that lot?

MR. PATERA: Well, the proximity of generator, trash and garage are trying to stay very consolidated so we're not spreading them, you know, once and twice and a third time along the entire --

MR. GIOLLI: You can't go to the north in that green area?

MR. PATERA: I don't know how to answer that question. I think we're just trying to keep it so it has reasonable access.

MR. ARENSON: Excuse me. The kitchen door is --

CHAIRMAN WOLFE: Can you step in front of the mic, too?

MR. ARENSON: I'm sorry. The kitchen door is over there, so it's associated with the kitchen. The generator is lined up against the mechanical room, so it really makes good sense. Plus, the

trucks then come in and back pick up the garbage and get back out of the street without going across the whole site.

MR. GIOLLI: I'm talking about the retention pond, does it have to be at that location or could that be to the north?

MR. PATERA: That's the lowest spot.

MR. ARENSON: That's the lowest spot and that's where you want to put the retention.

MR. GIOLLI: Okay.

COMMISSIONER DROST: Here is a question. In the licensing process, aside from Village enforcement, does the state come in on a periodic basis to review these items?

MR. ARENSON: Yes, it does.

COMMISSIONER DROST: And maybe that's an assurance you can give to our residents.

MR. ARENSON: Nobody would want rodents.

COMMISSIONER DROST: No, no, but I'm just saying that there are other policing authorities or compliance that does assist some of the concerns that the resident has.

MR. GIOLLI: The other question I have is how high are you going to, because you have to build that land up?

MR. ARENSON: Right.

MR. GIOLLI: Because it goes down towards our houses basically from Arlington Heights, it slopes down. How much higher are you going to raise that?

MR. ARENSON: I'd have to look at the civil drawing. The pad for the building is probably set at the midpoint of --

MR. GIOLLI: Is that like higher than Arlington Heights Road?

MR. ARENSON: About a foot higher than Arlington Heights.

MR. GIOLLI: Okay. And you said the lighting is not going to affect the -- it's a sit-all? I mean it's a low --

MR. PATERA: I didn't speak on the landscape portion of that, but what Architect Michael Arenson was saying was that the lighting is a cut-off type luminaire. When we say a shoebox light, it doesn't have that house side spillover that's going to come towards you. But I think that the combination of the cut-off luminaire plus the landscape will help make sure that the lighting stays on the paving near the building. It doesn't have to be lit up like a nighttime ball field here. This is pretty low key.

The one other thing I can add about having the little grouping of garage and the trash enclosure and then the heavy planting around it is it frankly kind of screens some of the cars that are parked farther north, so you're not seeing, you know, the cars are kind of tucked in.

MR. GIOLLI: How many spaces do you guys have in the back for parking?

MR. PATERA: I think it's around 12-15 spaces there.

MR. GIOLLI: Because I did drive by your Vernon Hills facility. It's a little bit different laid out, it's in a more commercial area, and then there is a little residential. Yes, to the side of it a little bit, there is a creek going between you and stuff.

MR. PATERA: That's right.

MR. GIOLLI: And then Barrington is still just this lot --

MR. PATERA: It is, right. It's early on with Barrington.

MR. GIOLLI: -- and take a look of how driving around the building was. And that was pretty commercial and then houses to one side, too.

MR. PATERA: Yes, and I think that the distance will help a great deal from Tonne Road with the landscape and the setback with the dry detention, you know, being, it's 3 feet, it's a depression about 3 feet across that width. And then it goes back up again to the parking lot height. But I think that's going to help feel like, you know, the distance is greater and not like having the parking lot with heavy planting right up against your house.

MR. GIOLLI: And I have another question. Will the Village be repaving Tonne and Council Trail all the way through? Since they are falling apart.

MR. PATERA: Hang on, we'll get somebody to answer.

CHAIRMAN WOLFE: Kate, that's a Kate question, too. Kate, did you hear that?

MRS. LOCKERBY: Yes. At this point, there's no plans to repave Tonne. I can certainly look into that with the Engineering Department and get back to you on that. But it's my understanding that they don't have any plans as of yet.

With regard to Council Trail, this proposal will redo Council Trail from Tonne west to Arlington Heights Road. And they'll repave it at a right-turn lane to go northbound Arlington Heights Road or left-turn lane to go southbound Arlington Heights Road.

MR. GIOLLI: Hopefully, the residents on will be left alone at this point.

MRS. LOCKERBY: Correct. There will be some construction work to install the sewer main, so there will need to be some cuts along driveways. But beyond that --

MR. GIOLLI: And you were talking about curbing was going to just come around the corner?

MRS. LOCKERBY: Correct.

MR. GIOLLI: And is that adequate?

MRS. LOCKERBY: Our Engineering Department has reviewed the proposal, and subject to minor issues being addressed prior to Village Board consideration, they are accepting of the plans.

MR. GIOLLI: I think they should look again at the roads to --

CHAIRMAN WOLFE: Sir, we can't, I can't hear what you're saying.

MR. GIOLLI: I think they should look at the roads again because they are falling apart real bad over there.

MRS. LOCKERBY: And your concern is Tonne and then Council Trail east of --

MR. GIOLLI: Right, the whole neighborhood, yes.

MRS. LOCKERBY: Okay. Well, I will certainly relay that to our Engineering Department and I will ask someone to give you a call.

MR. GIOLLI: They did put that tar stuff down --

MRS. LOCKERBY: Yes.

MR. GIOLLI: Snow plows took all the stones off and the tar, every time it's hot out, goes up your driveway.

CHAIRMAN WOLFE: Thank you. Anybody else? Yes, sir.

MR. JACQUES: My name is Rudy Jacques, my last name is spelled J-a-c-q-u-e-s. And I live at 221 East Foster Street.

In the interest of time, I'm not going to spend a lot of time on what they alluded to. But our concerns are also about the lighting, of the screening as well. The specific questions that I wanted to ask, and I wanted to ask Kate, I'm sorry?

MRS. LOCKERBY: Sure, yes.

MR. JACQUES: Is that right?

MRS. LOCKERBY: Yes, yes.

MR. JACQUES: The sewers that are actually going in east from Arlington Heights Road, will that be impacting the residents along that road on East Council?

MRS. LOCKERBY: On Council Trail?

MR. JACQUES: Trail, yes.

MRS. LOCKERBY: They, I can, unfortunately we don't have a copy of the final engineering plans to -- right, right, I wanted to project it. The proposed, the storm sewer is going to run along the south side of the street from, yes, so they might be impacted when it's going in as far as construction and cutting driveways, et cetera.

CHAIRMAN WOLFE: And how far east will that go, Kate?

MRS. LOCKERBY: That will go to the existing end, the stub which is I believe at --

MR. JACQUES: At Belmont, I believe.

MRS. LOCKERBY: Belmont.

MR. JACQUES: And what is the timing on that, do you

have any idea?

MRS. LOCKERBY: I would probably refer to Tom McCabe who is the civil engineer that has put the plans together. Timing was the question about the construction.

MR. JACQUES: For the sewers, I'm sorry.

MRS. LOCKERBY: Yes, the construction of the sewers, the installation of the sewers.

MR. McCABE: I'm Tom McCabe with SPACECO, 9575 West Higgins Road in Rosemont. The sewer is going to go in with the roadway improvements, so that's probably we're looking at in the spring. That's because the road is half Village and half us. We're responsible for the north half of the road, the Village is responsible for the south half, so there's going to be coordination there.

What we're doing in the plans, we just, and I've been working with Jim and Mike Pagones in Engineering, that something that once we get everything going, we can sit down and work out the schedule because I believe this was on the Village plans for the spring or maybe it was even this past year to do. And then when we came in, they kind of put it on hold to see that we could work it out together. So, my guess is it's spring, it's probably a week to do the sewer, and probably three weeks or so between the curb, the paving, and those types of things. So, it's probably a month's worth of work.

MR. JACQUES: Okay, thank you. And then the other question that I had was about trucking, catering, and I don't know if they have service trucks for other, like amenities. I just wanted to know like what the restrictions was on that. I mean is it overnight, is it similar to the garbage trucks where, you know, there's no overnight service?

MRS. LOCKERBY: The way that the condition is worded, I lost my Staff report here, I can read it again. But it is deliveries and loading-related activities as well as trash collection shall not be allowed between the hours of 10:00 p.m. and 7:00 a.m.

MR. JACQUES: Okay. And that's all I have. But once again, I just wanted to reiterate that our concerns are the aesthetics from the east side as well as we're not looking at the back of a wall and it's not all lit up. Those are our concerns and thank you for your time.

CHAIRMAN WOLFE: Thank you. Anybody else from the audience? Okay, sure. Can you wait until you come up to the, and state your name again so we can pick it up for the record?

MR. SLUGA: Kent Sluga, S-l-u-g-a. The dry retention area, is that, is there, when you're talking storm sewer, does that connect into that storm sewer as well or that is just going to be, and what on the property drains to that? Or is that just groundwater that's going to drain to that? Or are there grates or sewer lines on

the property that are all going to drain into that? Does that just settle there? Does that drain into the sewer that is going to down Council Trail to, you know, is that all going to tie in? Or is that just a --

CHAIRMAN WOLFE: I think we have an engineer approaching the microphone.

MR. McCABE: Tom McCabe again. The site drains from west to east, from Arlington Heights Road it drains towards Tonne. So, the entire site will be picked up, all the storm sewer on site and the parking lots will drain into the detention pond. And then the detention pond where the low spot is along Council Trail, it will tie into that new storm sewer that we're installing down to Belmont.

MR. SLUGA: Okay, so, on a not-so-heavy rain it's going to make its way into the retention area and probably just settle, and then for big rains it would catch into that storm sewer or it will all kind of work its way --

MR. McCABE: It will all get into that storm sewer. It has, the pipes coming in are larger pipes and has a smaller restrictor going out, so the water going out, it goes at a real slow rate. And then again, the pond, the detention pond will pool the water for several, in a heavy rain several hours and then it lets it out slowly.

MR. SLUGA: Okay, all right. Thank you.

CHAIRMAN WOLFE: Thank you. Okay, if there's no further comments from the audience, why don't we bring it back to the members of the Plan Commission for any final comments or observations? And we can do free for all style or we can start with you, Mary Jo.

COMMISSIONER WARSKOW: No comment.

COMMISSIONER GREEN: I think it's a good project.

COMMISSIONER DROST: I agree. I think, you know, what are the alternatives? That property was not developed over so long a period of time that, you know, it's not be careful what you wish for if you don't go ahead with this project, and I think it's pretty well thought out and pretty considerate to a lot of issues of the neighbors. And I also like the way that the ingress/egress works with Pickwick. That I think is very excellent.

CHAIRMAN WOLFE: Yes, I think it's a very well thought out project as well and I think it's sensitive to being part of a neighborhood. I think actually having been back there many times for baseball games over the years with my kids when they were younger, I know that there's a lot of water and other issues back there. I assume this can only improve it with the detention/retention and the sewer system that's going in there. So, I think, yes, in consideration of what could have been built there although the market has stalled obviously in the last several years, but you never know, it could pick up and what could be built there could be much more I think intrusive

to the neighborhood than this plan which I think is very consistent with the other kinds of projects we've seen along Arlington Heights Road. It has that residential feel to it as well, so I think it's, not to mention it would be a great amenity and service to members of the community here.

COMMISSIONER DROST: And a taxpayer.

CHAIRMAN WOLFE: And a taxpayer in the TIF.

COMMISSIONER LORENZINI: Yes, I think it's also, I think it's a great project. It's kind of amazing to me that there's only 46 beds there considering what could be there as an alternative. And I thought it was very well presented, very well thought out. The building looks nice and I think it will be a benefit to the Village.

CHAIRMAN WOLFE: Is there a motion?

COMMISSIONER DAWSON: I can make a motion.

COMMISSIONER DROST: Good.

COMMISSIONER DAWSON: Sure.

A motion to recommend to the Village Board of Trustees approval of PC #13-018, a Comprehensive Plan Amendment from "Offices Only" to "Institutional," a Rezoning from O-T Office-Transitional to I-Institutional, a Preliminary and Final Planned Unit Development, a Variation from Chapter 28, Section 5.1-21.1B, to allow a reduction to the required south building setback from 100 to 52.65 feet, a Variation from Chapter 28, Section 5.1-8.14 to allow less than 12 feet spacing between the building and parking area along the north and east elevations, and a Variation from Chapter 28, Section 6.5 to allow a 16-foot tall, 400 square-foot accessory structure within the required exterior side yard setback to allow a 29,000 square-foot "care facility, long, intermediate, extended" at the property located at the northeast corner of Arlington Heights Road and Council Trail.

This approval is contingent upon compliance with the recommendation of the Plan Commission and the following recommendations detailed in the Staff Development report dated October 4, 2013:

- 1. The proposed plats of easement and dedication shall be signed prior to Village Board consideration.**
- 2. The engineering plans shall be revised to provide the required street lights and sidewalk on the south side of Council Trail prior to Village Board consideration.**
- 3. The submittal of approved letters of credit for public improvement and maintenance deposits, and all other engineering-related fees prior to Village Board consideration.**

4. The Petitioner shall incorporate 5-6 additional shade trees on the landscape plan in the northeast corner of the site.
5. The Petitioner shall provide an escrow for 33 percent of the estimated cost of construction for a traffic signal (and warrant study) at the intersection of Council Trail and Arlington Heights Road, subject to the approval of the Director of Engineering, prior to issuance of a building permit.
6. An onsite utility maintenance agreement must be fully executed prior to the issuance of a building permit.
7. At such time when the property to the north is developed and cross access is provided onto the subject property, the Petitioner shall work with the developer of the property to the north to create a revised access to Arlington Heights Road that is designed to meet the needs of the two properties, subject to the approval of the Director of Engineering.
8. The plans must comply with the Design Commission motion.
9. Deliveries and loading-related activities, as well as trash collection, shall not be allowed between the hours of 10:00 p.m. and 7:00 a.m.
10. The Petitioner shall comply with all federal, state, and Village codes, regulations, and policies.

CHAIRMAN WOLFE: Is there a second?

COMMISSIONER WARSKOW: Second.

COMMISSIONER DROST: I'll second the motion.

CHAIRMAN WOLFE: We already have a second.

COMMISSIONER DROST: I didn't hear that.

CHAIRMAN WOLFE: Your paper was crinkling and you didn't hear that.

COMMISSIONER DAWSON: Mary Jo, you need to speak up.

CHAIRMAN WOLFE: Kate, can you please take the roll?

MRS. LOCKERBY: Commissioner Drost.

COMMISSIONER DROST: Aye.

MRS. LOCKERBY: Commissioner Green.

COMMISSIONER GREEN: Yes.

MRS. LOCKERBY: Commissioner Lorenzini.

COMMISSIONER LORENZINI: Yes.

MRS. LOCKERBY: Commissioner Sigalos.

COMMISSIONER SIGALOS: Yes.

MRS. LOCKERBY: Commissioner Dawson.

COMMISSIONER DAWSON: Yes.

MRS. LOCKERBY: Commissioner Warskow.

COMMISSIONER WARSKOW: Yes.

MRS. LOCKERBY: And Chairman Wolfe.

CHAIRMAN WOLFE: Yes. Okay, you've received a unanimous recommendation from the Plan Commission. It is just a recommendation to the Village Board which will make the final decision. And Kate, when will that be?

MRS. LOCKERBY: We'll have to look at the scheduling. My guess is it will probably be the beginning of November but I'm not aware.

CHAIRMAN WOLFE: Okay, sure. So, you'll be in touch with them.

MRS. LOCKERBY: Well, actually there are still some issues, I'm sorry, there are issues that need to be worked out prior to Village Board consideration. So, at the earliest I'd say November.

CHAIRMAN WOLFE: Okay. So, you'll be in touch with them, great. Well, thank you. That's, unless you want to stay to hear us approve or not approve the regular meeting minutes from --

COMMISSIONER LORENZINI: Would you like your minutes back, or your plans?

CHAIRMAN WOLFE: You're welcome to leave. Quietly please, thank you. Yes, and if you want to collect some extra plans from the members of the Commission, you can do that. Otherwise, they will get recycled.

(Whereupon, the public hearing was adjourned at 9:10 p.m.)

Lockerby, Kate

To: Lockerby, Kate
Subject: RE: Village of Arlington Heights Contact Staff - Lasalle Group

From: Village of Arlington Heights [<mailto:info@vah.com>]
Sent: Sunday, September 29, 2013 11:22 AM
To: Perkins, Charles
Subject: Village of Arlington Heights Contact Staff - Lasalle Group

This form was submitted from the Village Website. Please review the information that was submitted below and reply to the e-mail address that is listed below.

Name: Julius Gagliardi
E-mail: [REDACTED]
Concerning: Charles Witherington-Perkins
Address: 214 E. Foster St.
City: Arlington Heights
State: IL
Zip: 60005
Phone: [REDACTED]
Length of Residency: 36 full years

Comment: Dear Mr. Witherington-Perkins, I have been living in my present home for a long time and raised my large family here. My home is well maintained and is the MAJOR PORTION of my NET-WORTH. I don't want to see the worth of my home plummet as it surely will if the project that Lasalle proposes at Arl. Hts Rd. and Council trail is approved. Just think of the traffic and noise caused by it and ambulances coming and going. Prospective buyers of homes will stay away from our area. We suffered much when Mayor Ryan jammed the low income housing project next to Prairie Park down our throats a repeat of that would be too much to bear. I am counting on you to oppose the rezoning so that this project will die as it should. I vehemently oppose this rezoning. Respectfully, Julius and Judith Gagliardi.

THE LASALLE GROUP

September 18, 2013

Bill Enright
Deputy Director of Planning and Community Development
Village of Arlington Heights
33 S. Arlington Heights Road
Arlington Heights, IL 60005

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SEP 25 2013

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Re: Proposed Autumn Leaves of Arlington Heights
(NE Corner of Arlington Heights Rd & East Council Trail)

Mr. Enright,

I am writing to you today to notify your department of our desire to build a new Autumn Leaves Memory Care Residence within the Village of Arlington Heights. Specifically, this facility will be a single story, 29,000 SF, 48 Bed, 42 Unit, memory care residence to be placed on approximately 4.98 acres of available land that we are the Contract Purchaser of at the northeast corner of Arlington Heights Road and East Council Trail.

During the remaining review process, I hope that Staff and the Villages elected officials will continue to find our building to be very home like in design. We feel this will allow Autumn Leaves to fit in beautifully with the residential neighbors to the east and well as the light commercial and medical developments to the north and south. As an Assisted Living Residence, we will have very little traffic impact to the nearby residences as our residents do not drive. The only traffic that would be generated would be from the staff and our residents' visitors.

In determining the feasibility of the location, we learned that while Arlington Heights and its nearby communities have various Assisted Living facilities servicing the population, none are specifically dedicated to the compassionate care and clinical treatment that Autumn Leaves of Arlington Heights will offer to those individuals diagnosed with various forms of Memory Impairment. As such, we feel a large gap exists in caring for those residents within your community and would greatly enjoy assisting this underserved population. In fact, within the corporate limits of Arlington Heights we have determined that close to 400 individuals in the area could use our services. As that is expanded to a 14 minute drive time analysis, the demand number jumps to well over 2,000. I have attached those analyses for your review as the attached Exhibit "A" and Exhibit "B".

To the working residents of the Village, we will offer long term jobs that cater to nursing professionals, maintenance and culinary professionals, specialized care givers, marketing, and operations specialists. In total, Autumn Leaves of Arlington Heights will employ approximately 32 individuals across 3 daily shifts. From an economic perspective, our five existing Autumn Leaves locations currently pay an annual property tax of between \$95,000 and \$140,000 depending on the county in which it is located and its level of Assessment

To the immediate neighbors of the site, we will offer a quiet, well constructed, nicely landscaped, and highly maintained residence that offers very little disturbance and a limited traffic impact.

As you know, in working with yourself and your department over the last few months in regards to this proposal, it has deemed that a rezone from the existing "OT" (Office Transitional) designation to an "I"

www.LaSalleGroup.com

PHONE: (214) 239-8400 • TOLL FREE: (800) 4-LASALLE • FACSIMILE: (214) 239-8401
545 E. John Carpenter Freeway, Suite 545 • Las Colinas, TX 75062

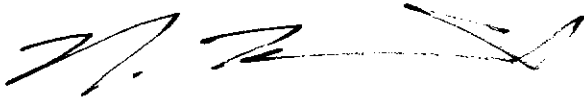
(Institutional) designation would be required. As such, we are seeking a Rezone of that Property as well as a minor variation from the code allowing a slightly shallower setback along East Council Drive. Supporting Documentation as it applies to the required Plan Commission and Architectural Review applications are attached.

Additionally, as this project falls into TIF District #4, our investment in this project will bring needed increment to the District as well as require our added investment in improving the infrastructure along East Council Road as it runs from Arlington Road to South Belmont. This increment should also help bolster the Villages redevelopment efforts of the parcels near the intersection at Golf Rd and Arlington Heights Rd. It is, needless to say, an exciting endeavor we would very much enjoy being a part of.

Myself and the Autumn Leaves organization want to personally thank you for the time and guidance you have extended to us over the last few months as we prepared this project for Entitlement. I look forward to our continued collaboration with Staff, the Villages elected officials, and its various appointees.

As you review the attached supporting documentation, please do not hesitate to reach out to me with any questions or concerns.

Sincerely,



Matthew Krummick
Regional Director of Development
The LaSalle Group, Inc.
1900 E. Golf Road, Suite 1120
Schaumburg, IL 60173
847-421-5530 – office
847-421-5530 – cell
mkrummick@lasallegroup.com

** I also invite you and your staff to view our firm online at www.lasallegroup.com & www.autumnleaves.com. Of course a personal tour to one of our local communities is always welcomed and is something I can easily arrange for Staff and/or Village Officials

A little bit about The LaSalle Group and Autumn Leaves:

The LaSalle Group, Inc. is a twenty plus year old family owned and operated company based out of Dallas, Texas with its initial roots in Chicago, Illinois. Through our direct subsidiaries, we develop, build, and operate Autumn Leaves Memory Care residences throughout the United States. Autumn Leaves was founded within LaSalle about 15 years ago by a compassionate husband and wife team that wanted to create a community of care for their own family member that had Alzheimer's. Since then we have grown into a second generation of that same family ownership; caring for residents across 25 Communities within the Dallas, Houston, Atlanta, and Chicagoland markets. Currently, we have six operating in the Chicagoland area; Crystal Lake, Vernon Hills, Orland Park, St. Charles, Oswego, and Bolingbrook. Additional locations in South Barrington, Glen Ellyn, and Gurnee are currently under construction or entitlement.

Throughout our history, Autumn Leaves Memory Care Residences have quickly become nationally renowned for their high level of quality and innovation in the care of Dementia and Alzheimer's disease. Redefining the level of quality-care and respect associated with the care of these tragic diseases, our Autumn Leaves Memory Care Residences have set the standards that families seek for their loved ones. Autumn Leaves is staffed 24 hours per day, 7 days a week and provides a home for people with memory impairments such as Alzheimer's, Dementia, and Parkinson's. Unlike many Assisted Living facilities which simply meet the Illinois state requirements with one RN on site 12 hours a day and on call the remaining 12 hours, we are committed to providing licensed nurses on site 24 hours a day, 7 days per week. Furthermore, our Regional Director of Nursing is on call 24 hours a day 7 days a week to respond to any medical emergency that would require her attention. Additionally, all of our licensed nurses are complimented by CNA's and other qualified care givers on-site around the clock to assist with daily living activities that range from administering medications and monitoring health status to activities and exercise. What is most important to us and our business is to provide a caring homelike environment that allows residents to maintain their own identity and preserve their dignity while staying active. Some of the services we provide are:

Services and Amenities:

- Licensed nurses with specialized expertise in dementia care
- Staff trained specifically for Alzheimer's and dementia-related memory care
- Emergency call response in each room
- Administration and storage of all medications
- Health monitoring
- Assistance with daily living activities including bathing, dressing, eating, toileting, hygiene, and mobility
- Daily housekeeping and laundry
- 24 hour security with monitored and magnetically locked exterior doors

Nutrition:

- Home-style cooking with freshly prepared meals made from scratch
- 3 nutritious meals prepared daily with attention to individual dietary needs
- Ongoing evaluation of nutritional needs and special dietary requirements
- Snacks available 24 hours a day
- Monitoring of weight loss/gain
- Monitoring of insulin levels for diabetics

Activities:

- Daily activities and exercise programs
- Cookouts, birthday parties and holiday/themed dinners and events
- Music and pet therapy
- Gardening
- Day-trips, outings, and supervised outdoor walks in our courtyards
- Social and educational involvement
- Scheduled entertainment
- Family incorporated activities
- Religious services and Bible studies

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Market Synopsis

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

In studying the proposed location, we have determined that there is exceptionally strong evidence for a successful Assisted Living Development within the corporate limits of Arlington Heights and specifically along the Arlington Heights Roads Corridor. This is based on various Marketing Studies, Competitor Reports, and Economic Benchmarks. As such, we are proposing our Autumn Leaves Memory Care which will be thoughtfully caring for and nurturing those with Alzheimer's and related Memory Impairments. Unfortunately, this disease is growing at a rapid pace and within the bullet points below and in the attached analysis ("Exhibit A" and "Exhibit B") one can see the amount of individuals locally that have an immediate need for this type of care outside of their current home.

- Those 55+ residing within target capture area 154,068
 - Statistically requiring Memory Support 2,013

- Those 55+ residing within Village 27,487
 - Statistically requiring Memory Support 364

As one can see within the Corporate Limits of the Village alone, there is a qualified demand for Memory Support services which exceeds our capacity by a factor of seven. When adjusting this ratio based on the current amount of available services presently within the Village, there is still a significant excess demand that needs to be met. We will strive to do that with the same level of caring dignity, trust, and compassion that Autumn Leaves brings to its residents in other areas of Chicagoland.

Autumn Leaves of Arlington Heights

The LaSalle Group, Inc.

Demand and Supply - 14 Minute Drive Time Analysis

Estimated 2012 Demand					
*	<u>Age 55-64</u>	<u>Age 65-74</u>	<u>Age 75-84</u>	<u>Age 85+</u>	
Senior Population					
(14 Minute Drive Time)	69,194	41,220	28,908	14,746	
Total	69,194	41,220	28,908	14,746	
Percentage with Dementia**:	2.5%	10.0%	28.00%		
Total:	1,031	2,891	4,129		8,050
DEMAND (25% Require Assisted Living Care***):		8,050	0.25		2,013
Historical Percentage of Residents Living Outside of Defined Demand Area ^:					6.30%
Number of Residents Living Outside of Defined Demand Area:					127
Total Demand:					2,139

Projected 2017 Demand					
*	<u>Age 55-64</u>	<u>Age 65-74</u>	<u>Age 75-84</u>	<u>Age 85+</u>	
Senior Population					
(14 Minute Drive Time)	73,247	49,317	27,915	15,092	
Total	73,247	49,317	27,915	15,092	
Percentage with Dementia**:	2.5%	10.0%	28.00%		
Total:	1,233	2,792	4,226		8,250
DEMAND (25% Require Assisted Living Care***):		8,250	0.25		2,063
Historical Percentage of Residents Living Outside of Defined Demand Area ^:					6.30%
Number of Residents Living Outside of Defined Demand Area:					130
Total Demand:					2,192

	2012 Estimates	2017 Projected
35-64 Head of households with \$75,000 + Income*:	72,465	79,195
Median household income**:	\$64,994	\$77,431
Median Home Price**:	\$242,746	\$277,190
35-64 Population**:	237,204	226,857

* This data is taken from Site To Do Business population estimates.
(www.stdbonline.com)

** This data is taken from Claritas population estimates. (www.sitereports.com)

EXHIBIT 'A'

Autumn Leaves of Arlington Heights

The LaSalle Group, Inc.

Demand and Supply - Village Corporate Limits

Estimated 2012 Demand					
*	<u>Age 55-64</u>	<u>Age 65-74</u>	<u>Age 75-84</u>	<u>Age 85+</u>	
<u>Senior Population</u>					
<u>(Village Corporate Limits)</u>	12,203	7,549	4,991	2,744	
Total	12,203	7,549	4,991	2,744	
 <u>Percentage with Dementia**:</u>	 2.5%	 10.0%	 28.00%		
Total:	189	499	768		1,456
 DEMAND (25% Require Assisted Living Care***):		1,456	0.25		364
 Historical Percentage of Residents Living Outside of Defined Demand Area ^:					6.30%
Number of Residents Living Outside of Defined Demand Area:					23
 Total Demand:					387

Projected 2017 Demand					
*	<u>Age 55-64</u>	<u>Age 65-74</u>	<u>Age 75-84</u>	<u>Age 85+</u>	
<u>Senior Population</u>					
<u>(Village Corporate Limits)</u>	12,727	9,042	5,212	2,880	
Total	12,727	9,042	5,212	2,880	
 <u>Percentage with Dementia**:</u>	 2.5%	 10.0%	 28.00%		
Total:	226	521	806		1,554
 DEMAND (25% Require Assisted Living Care***):		1,554	0.25		388
 Historical Percentage of Residents Living Outside of Defined Demand Area ^:					6.30%
Number of Residents Living Outside of Defined Demand Area:					24
 Total Demand:					413

	2012 Estimates	2017 Projected
35-64 Head of households with \$75,000 + Income^o:	16,667	\$19,735
Median household income^{oo}:	\$76,125	\$86,010
Median Home Price^{oo}:	\$311,978	\$333,410
35-64 Population^{oo}:	39,467	26,574

^o This data is taken from Site To Do Business population estimates.
(www.stdbonline.com)

^{oo} This data is taken from Claritas population estimates. (www.sitereports.com)

EXHIBIT "B"

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Justification for Rezoning and Change in Land Use

*as it applies to the requested OT to I re-zone (items 1-3)

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

In review of the feasibility of the current OT Zoning Classification on these parcels, we engaged NAI Hiffman to do a study on the Office Market as it applies to the OT classification on this assemblage as well as the state of the Office market within the Arlington Heights / Elk Grove / Schaumburg sub market. we will defer to that Study for that purpose so please refer to the attached "Exhibit C" for further information of the marketability of the parcels under their current classification. Once read, the Village can note that the current state of the Office Market in Chicagoland is seen firsthand in the history of past failed developments of this Parcel.

Currently the assemblage of Parcels considered for this development are under the ownership of The Private Bank via a Foreclosure action from a few years back. The Parcels were foreclosed on by the Bank from a developer which had proposed to develop a large three story Medical Office Building on the property. That effort failed when the Great Recession hit and any leasing efforts to secure a development loan were unsuccessful. This in fact was the second failed attempt for a Commercial Office Developer on these parcels. A few years prior to this, The Gettysburg Office Park was proposed but never was able to get off the ground. Additionally, several parcels immediately to the north of the proposed Autumn leaves are under the ownership of Banco Popular through a Foreclosure proceeding. While a proposed development for that assemblage has been on the boards for some time by a local office developer; the project has yet to garner enough interest from potential users to feasibly allow the developer to acquire the property from the bank and begin development. Through this failed history of office development as well as the current "in limbo" status of the adjoining parcels, clearly the current OT zoning is not conducive to allowing ownership for the highest and best use.

In allowing for a zoning classification commensurate to the feasibility of the site and the current market, the Village will see that Autumn Leaves of Arlington Heights will offer to the Community and local neighborhood a well designed, thoughtfully landscaped, and relatively quiet use that would transition well with the single family residential to the east as well as sympathetically add to the varied zoning uses along Arlington Heights Road. It should be noted that the site is well sized to accommodate our use and the Overlay District calls for significant setbacks that will reduce any spatial impact we may have on the nearby environment. Our low slug architecture is of very low impact and has a pleasing home-like and residential quality to it.



March 21, 2013

Matt Dabrowski
Development Planner
Village of Arlington Heights
33 S. Arlington Heights Road
Arlington Heights, IL 60005

Edward Corbett
Managing Director
The Private Bank
70 W Madison Street
Chicago, IL 60602

Re: Northwest Suburban Office Market

Matt and Edward:

In response to the inquiry as to the suitability of the subject site for medical office or office use, it is our opinion that there is no demand into the foreseeable future for such use or uses. We have tried unsuccessfully for many months to attract an office developer to this location. There is a high vacancy rate and over supply of office space in the Northwest Suburban market. The cost of construction would require rental rates that are simply not feasible. Furthermore, as is shown on the exhibit we have prepared there are far more desirable locations for office use, if and when office development does come back to the Northwest Suburbs. In contrast there is a need in the area and a strong interest in development of senior housing and assisted living at this location. The Autumn Leaves development is very suitable for the site and will bring beneficial infrastructure to this area.

The Northwest Suburban Office Market is comprised of approximately 33,000,000 rentable square feet. The current vacancy rate for the market is 22.24% or 7,339,200 rentable square feet. Another 7% or 2,310,000 rentable square feet are currently occupied but due to become vacant within the next 12-24 months for a total vacancy of 9,649,200 rentable square feet available. This is according to NAI Hiffman's 4th Quarter 2012 report (see attached). Although, the market absorbed approximately 960,000 rentable square feet in 2012, the running 10 year average is approximately 500,000 rentable square feet positive per year. As you can see there is a huge over-supply of space.

The office sector nationwide was very hard hit by the 2007/2008 recession as many companies cut employees and either vacated space entirely or significantly reduced the amount of office space they leased. The Northwest Suburban market was especially impacted, as it was home to one of the largest concentration of sub-prime lenders in the country. In an approximate 6 month period during 2008, these sub-prime lenders gave back approximately 1,500,000 rsf of space. This made the hole even deeper for the market to recover from.

The high vacancy rate/over-supply of office space resulted in a monumental decline in rental rates, and increased concession packages (free rent, moving allowance, etc.) which owners needed to offer in order to retain existing tenants or secure new tenants. This turn of events forced many owners into foreclosure, as they either couldn't pay their mortgage or were unable to obtain a new loan. This downward pressure has directly affected sale pricing for all office

assets. A few recent examples of office building sales include, Greenspoint, (500,000 rentable square foot, class "A" building) in Hoffman Estates being sold for \$47.13 per square foot; Gateway Executive Center (227,000 rentable square feet) in Schaumburg being sold for \$32.05 per square foot; and 3030 Salt Creek Lane (100,000 rentable square feet) in Arlington Heights being sold for \$22.78 per square foot. All of these recent sale comparables are at a fraction of replacement cost.

A new 60,000 rsf office building would cost approximately \$200.00-220.00 per square foot to build and a medical building would be considerably more expensive. The rent for a new office building, at the above construction costs, would need to achieve at least \$18.00 per square foot net rent. The current market rent for a comparable existing building in the Northwest Suburbs would be between \$8.00-\$9.00 net rent. At the height of the market in 1999 the highest net rent achieved for a class "A" building was \$18.00 per sq. ft. As you can see, it would be very difficult to envision any new building of office space for the foreseeable future.

If and when office development does come back to the Northwest Suburbs there are a number of sites that would be more appealing for office development than 1625 Arlington Heights Road. These sites are centrally located in the core of the market or have greater visibility off I-90. We have attached a survey of land sites currently on the market for sale.

When we were hired by The Private Bank to start marketing the site our first thought was medical office, we approached Trammell Crow, Duke Bremmer, and the Alter Group, amongst others and all developers told us the site is too far from Northwest Community Hospital and there was other existing space medical space available in the area. We also approached Loyola Medical about an ambulatory care center and again were told the site would not work. We continued to reach out to other commercial real estate brokers representing clients from 20,000-60,000 with the idea of a build-to-suit but again, with so much space on the market and terms at which the space could be leased at, a build-to-suit didn't make sense.

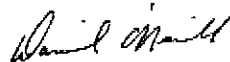
As you know we submitted the site to Autumn Leaves and the site worked for their use. We have also been approached by five additional senior/assisted living developers that would be interested in the site. At the end of the day we believe the highest and best use for the site currently is senior assisted living.

Yours Truly,

NAI Hiffman



Jack Reardon
Senior Vice President | Office
Services
jreardon@hiffman.com
O 630 693 0647
C 847 877 9466



Daniel O'Neill
Executive Vice President | Office
Services
doneill@hiffman.com
O 630 691 0610
C 312 593 5877

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SEP 25 2013

Response to Land Use Variation Criteria

*As it applies to the following:

1. Variation to allow a reduction to the south building setback from 100 to 74 feet from the Right of Way
2. Variation to allow less than 12 feet spacing between the building and parking area.

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

LAND USE VARIATION CRITERIA – VARIANCE ITEM #1

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone.
 - As we will show in the next bullet point, there is constraint to the site which is prohibiting us from meeting the Ordinance requirements. Without this variation, Autumn Leaves would need to significantly alter and reduce its clinical footprint thereby reducing its resident capacity. In that case, even at full occupancy, the resulting capacity loss would keep the facility from meeting its operating expenses and the business plan would fail.
2. The plight of the owner is due to unique circumstances.
 - In regards to the requested Setback Variation, we are requesting this to accommodate a previous storm water easement which runs thru the property that we cannot build over. This easement has forced us to locate the footprint of our building further south and thus forcing us to encroach into the Overlay Districts 100' setback requirement along East Council. We feel that the generous set back that remains will not deter from the local environment in any way. Additionally, we have provided for additional berming to help conceal and buffer the already low profile building from its sightlines along East Council. Any adherence to the Setback Requirements as they currently stand would not allow for the construction of the clinically proven floorplan of Autumn Leaves.
3. The variation, if granted, will not alter the essential character of the locality.
 - Autumn Leaves of Arlington Heights will offer to the Community and local neighborhood a well designed, thoughtfully landscaped, and relatively quiet use that would transition well with the single family residential to the east as well as sympathetically add to the varied zoning uses along Arlington Heights Road. It should be noted that the site is well sized to accommodate our use and the Overlay District calls for additional significant setbacks that will reduce any spatial impact we may have on the nearby environment. Additionally, Our low slug architecture is of very low visual impact and has a pleasing home-like and residential quality to it.

LAND USE VARIATION CRITERIA – VARIANCE ITEM #2

4. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone.
 - The Overlay District has many significant requirements which we have endeavored to meet. However, while this particular requirement we are seeking a variance from is not part of the Overlay Requirements, when taken as a whole, we simply run out of room on the site to place our building. Without this variation, Autumn Leaves would need to significantly alter and reduce its proven clinical footprint thereby reducing its resident capacity. In that case, even at full occupancy, the resulting capacity loss would keep the facility from meeting its operating expenses and the business plan would fail.
5. The plight of the owner is due to unique circumstances.
 - In regards to the requested building / parking separation variance we are requesting this to accommodate the dimensional loss incurred due to the front setback, parking, minimum drive isle widths, and retention requirements. Note that this does not occur on the front of the building but simply along a smaller area at the rear of the building where the back of house operations occur. Without this variance, we would not be able to meet the significant parameters within the Overlay District. Instead, aside from the option of reducing our Clinical Footprint, we will be forced to compromise on less benign and potentially more expensive items like reduced parking or underground detention which would ultimately lessen the economic viability of this project.
6. The variation, if granted, will not alter the essential character of the locality.
 - We feel that with the already generous setbacks, lush landscaping, and significant berming; this request will certainly not affect the quality of the development in any way. With this variance in place, Autumn Leaves of Arlington Heights will continue to remain well designed and functionally sound. Its relatively quiet use will transition well with the single family residential to the east as well as sympathetically add to the varied zoning uses along Arlington Heights Road. It should be noted that the site is well sized to accommodate our use and the Overlay District calls for additional significant setbacks that will reduce any spatial impact we may have on the nearby environment.

BUILDING DEPARTMENT

1

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

08-09-401-003,005,008,009,026,027

Petition #: PC
 Petitioner: THE LASALLE GROUP, INC
1900 E GOLF RD, SUITE 1120
SKOKIE, IL 60073
 Owner: PB IL OREC, LLC
70 WEST MADISON
CHICAGO, IL 60602
 Contact Person: LOSALE - % MATT KENNICK
 Address: 1900 E GOLF RD, SUITE 1120
SKOKIE, IL 60073
 Phone #: 847-413-2380
 Fax #: 847-413-2382

P.I.N.# 08-10-300-012
 Location: APPROX 1625 S. AL RD
 Rezoning: X Current: OT Proposed: I
 Subdivision: _____
 # of Lots: _____ Current: _____ Proposed: _____
 PUD: _____ For: _____
 Special Use: _____ For: _____
 Land Use Variation: _____ For: _____
 Land Use: _____ Current: VACANT
 Proposed: ASSISTED LIVING
 Site Gross Area: 196,020 ± APPROX
 # of Units Total: 1 UNIT / 48 BDRS / 42 ROOMS
 1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

DO EXISTING STRUCTURES, IF ANY, MEET MINIMUM REQUIREMENTS OF THE FOLLOWING

YES NO

- 1 _____ VILLAGE BUILDING CODE
- 2 _____ PRESENT ZONING USE
- 3 _____ REQUESTED ZONING USE
- 4 _____ SUBDIVISION REQUIRED
- 5 _____ SIGN CODE

6 GENERAL COMMENTS: NOTE THAT ALL RELEVANT
CODES MUST BE COMPLIED WITH.

RECEIVED

AUG - 5 2013

PLANNING & COMMUNITY
 DEVELOPMENT DEPARTMENT

CHARLEY CRAIG 8-2-13
 Director Date
 PLAN REVIEWER

BUILDING DEPARTMENT

1A

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

08-09-401-003,005,008,009,026,027

Petition #: P.C.

P.I.N.# 08-10-300-012

Petitioner THE LASALLE GROUP, LLC
1900 E GOLF RD, SUITE 1120Location: APPEX 1625 S. AL RDRezoning: X Current: OT Proposed: I

Subdivision:

of Lots: _____ Current: _____ Proposed: _____

PUD: _____ For: _____

Special Use: _____ For: _____

Land Use Variation: _____ For: _____

Owner PB IL ORCD, LLC
70 WEST MADISON
CHICAGO, IL 60602Contact Person LOSALE - 90 MARY KENNICKAddress 1900 E GOLF RD, SUITE 1120
CHICAGO, IL 60602Phone # 847-413-2380Fax # 847-413-2382Land Use: _____ Current: VACANTProposed: ASSISTED LIVINGSite Gross Area: 196,020 APPEX# of Units Total: 1 UNIT / 48 BROS / 42 ROOMS

1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

INSPECTIONAL SERVICES

REFER TO ATTACHED COMMENTS.

RECEIVED

AUG 16 2013

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENTPaul Bitt
Director

8/16/13

Date

MEMORANDUM

TO: Bill Enright, Deputy Director of Planning
FROM: Paul Butt, Fire Safety Inspection Supervisor
DATE: 8/16/13
RE: Autumn Leaves Memory Care Facility

I have reviewed the Round 1 submittal for the address referenced above and offer the following comments:

1. The building shall be designed as I-2 occupancy per the 2009 International Building Code.
2. The building shall be protected by an automatic sprinkler system in accordance with NFPA-13, 2007 Edition.
3. Provide a fire hydrant within 100 feet of the fire department connection. Distance between fire hydrants shall not exceed 300ft.
4. The fire department connection shall be located at the main front entrance of the building.
5. A fire alarm remote enunciator panel shall be located at the main front entrance of the building.
6. Provide a turning template for the Fire Department ladder truck.

PUBLIC WORKS DEPARTMENT

2

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

08-09-401-003,005,008,009,026,027

P.I.N.# 08-10-300-012

Petition # P.C.
 Petitioner THE LASALLE GROUP, INC
1900 E GOLF RD, SUITE 1120

Location: APPROX 1625 S. ALH RDRezoning: X Current: DT Proposed: I

Subdivision: _____

of Lots: _____ Current: _____ Proposed: _____

Owner SHAWNBURG, IL 60173

PUD: _____ For: _____

Owner PB IL ORED, LLC

Special Use: _____ For: _____

Owner 70 WEST MADISON

Land Use Variation: _____ For: _____

Owner CHICAGO, IL 60602Contact Person LASALLE - % MATT KAMMICKAddress 1900 E GOLF RD, SUITE 1120Land Use: _____ Current: VACANTProposed: ASSISTED LIVINGAddress SHAWNBURG, IL 60173Phone # 847-413-2380Site Gross Area: 196,020 ± APPROXFax # 847-413-2382# of Units Total: 1 UNIT / 48 BDRS / 42 ROOMS

1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

	EXISTING IMPROVEMENT	REQUIRED IMPROVEMENT	COMMENTS
1 UTILITIES:			
Water		X	
Metering		X	
Backflow		X	
Sanitary Sewer		X	
Storm Sewer		X	
2 SURFACE			
Pavement			
Curb & Gutter			
Sidewalks			
Street Lighting			
3 GENERAL COMMENTS:			

see attached memo dated 8/6/13

RECEIVED

Director

8/7/13

Date

AUG - 7 2013

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

**Village of Arlington Heights
Public Works Department**

Memorandum

To: Scott Shirley, Director of Public Works

From: Jeff Musinski, Utilities Superintendent

Date: August 6, 2013

Subject: NEC of Arlington Heights Road/ Council Trail (Autumn Leaves), P.C. #13-015

Scott,

With regard to the proposed utility installation at Autumn Leaves, I have the following comments:

- 1) The vault for the pressure connection must be a minimum of 60".
- 2) The water line and pressure connection size is not specified, I believe a 4" compound with a 2" meter on the by-pass would be sufficient.
- 3) Backflow devices are required for the domestic and fire lines.

If you have any questions, please feel free to contact me.

C. file

ENGINEERING DEPARTMENT

3

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

08-09-401-003,005,008,009,020,027

Petition #. P.C.	<u>13-015</u>	P.I.N #	<u>08-10-300-012</u>
Petitioner	<u>THE LASALLE GROUP, INC.</u>	Location	<u>APPROX 1625 S. AL RD</u>
	<u>1900 E GOLF RD, SUITE 1120</u>	Rezoning:	<u>X</u> Current: <u>DT</u> Proposed: <u>I</u>
	<u>SKAWMURG, IL 60173</u>	Subdivision:	
Owner	<u>PB IL ORCD, LLC</u>	# of Lots	Current: _____ Proposed: _____
	<u>70 WEST MADISON</u>	PUD:	For: _____
	<u>CHICAGO, IL 60602</u>	Special Use:	For: _____
Contact Person	<u>LASALLE - % MATT KRUHAWICK</u>	Land Use Variation:	For: _____
Address	<u>1900 E GOLF RD, SUITE 1120</u>	Land Use	Current: <u>VACANT</u>
	<u>SKAWMURG, IL 60173</u>		Proposed: <u>ASSISTED LIVING</u>
Phone #	<u>847-413-2380</u>	Site Gross Area	<u>196,020</u> <u>sq</u> <u>APPROX</u>
Fax #	<u>847-413-2382</u>	# of Units Total:	<u>1 UNIT / 48 BQs / 42 ROOMS</u>
		1BR:	2BR: 3BR: 4BR:

(Petitioner: Please do not write below this line.)

1 PUBLIC IMPROVEMENTS

REQUIRED:	YES	NO	COMMENTS
a Underground Utilities			
Water			<u>X</u>
Sanitary Sewer			<u>X</u>
Storm Sewer	<u>X</u>		
b Surface Improvement			
Pavement	<u>X</u>		
Curb & Gutter	<u>X</u>		
Sidewalks	<u>X</u>		
Street Lighting	<u>X</u>		
c Easements			
Utility & Drainage	<u>X</u>		
Access	<u>X</u>		

2 PERMITS REQUIRED OTHER THAN VILLAGE

a MWRDGC	<u>X</u>	b IDOT	<u>X</u>
c ARMY CORP		d IEPA	
e CCHD			

	YES	NO	COMMENTS
3 R.O.W. DEDICATIONS?			<u>NEED PLAT OF SURVEY</u>
4 SITE PLAN ACCEPTABLE?		<u>X</u>	
5 PRELIMINARY PLAT ACCEPTABLE?		<u>X</u>	<u>N/A</u>
6 TRAFFIC STUDY ACCEPTABLE?		<u>X</u>	
7 STORM WATER DETENTION REQUIRED?	<u>X</u>		
8 CONTRIBUTION ORDINANCE EXISTING?	<u>X</u>		<u>ORD #62-88</u>
9 FLOOD PLAIN OR FLOODWAY EXISTING?		<u>X</u>	
10 WETLAND EXISTING?		<u>X</u>	

GENERAL COMMENTS ATTACHED

PLANS PREPARED BY: SPACECO, INC.
 DATE OF PLANS: 8-1-13

James J. White 8/21/13
 Director Date

PLAN COMMISSION PC #13-015
Autumn Leaves Memory Care Facility
NE Corner Arl Hts Rd & Council Trail
Rezone, PUD, Comp Plan Amnd.
Round 1

11. The petitioner is notified that these comments are being provided to ensure that the project meets the requirements for submittal to the Plan Commission. Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they comprehend and accept this understanding.
12. An Engineers estimate of construction cost for full site improvements is required to complete the calculation for plan review, inspection, and other fees. A separate Engineers estimate of construction cost for public improvements is also required to complete the calculation for the required public improvement guarantee deposit. The public improvements for this development would include the new storm sewer along Council Trail, the new curbs and pavement on Council Trail, new sidewalk along Council Trail. These estimates should be submitted at least three weeks prior to the final Plan Commission meeting to allow us time to generate the fee letter and for the petitioner to assemble the proper documents.
13. The proposed detention facility will be a private system and as such will not be the Village's responsibility to maintain. An Onsite Utility Maintenance Agreement must be executed prior to final engineering approval. A draft agreement is attached. An editable word document will be forwarded to your team.
14. Final approval will require a storm water report including detention calculations showing HWL, storage required, storage provided, and restrictor sizing calculations. The Village's allowable release rate is 0.18 cfs/Ac. Use $C=0.50$ for pervious areas, $C=0.95$ for impervious areas. Use Bulletin 70 rainfall data. Clearly show the overflow route for the site. Minimum restrictor size allowed, for maintenance reasons, is 2". Restrictors between 2" and 4" must be in a trap in a catch basin. Show the location and size of the restrictor. Provide a detail showing the restrictor catch basin. If the restrictor required to meet the allowable release rate is less than 2", calculate the amount of detention storage provided with a 2" restrictor. Subtract this amount from the required storage based on the allowable release rate to show the storage deficiency. This deficiency can be paid as money in lieu of detention at the rate of \$1.00 per cubic foot.
15. Provide an exhibit to engineering scale showing the turning path of the Fire Department's responding vehicle, in this case the tower truck. Exhibit must show front and rear wheel paths and the extent of the front and rear overhangs, as provided in an "Autoturn" exhibit. The vehicle shall be shown maneuvering through the site in all possible directions of travel. Attached are the specifications for the tower apparatus.
16. Include bicycle racks in development plan to encourage alternate modes of transportation for employees and patrons.
17. Sheet C2: Change contact person for Public Works to Scott Shirley, Director of Public Works.
18. Sheet C3: Provide a Plat of Survey for the properties included in the project. It is our understanding that there may be a 50-foot Tonne Road public ROW at the southeast corner of the site. The Plat should also show any other easements and dedications.

19. Sheet C4 Geometric Plan:
- Show the existing/proposed lane configuration on Arlington Heights Road.
 - The public sidewalk is to go through the private driveways. Stop the curb on either side of the sidewalk. The stop bar and sign are to be located behind the sidewalk (Council Trail).
 - Village standard for ADA required detectable warning panels on public sidewalks is East Jordan Iron Works 24"x24" panels, or approved equal. Include ADA panels for the sidewalks at drives.
 - The parking spaces can be reduced in length from 19.5' to 17' to account for the 1.5' overhang of the curb. This can reduce pavement cost and impervious area.
 - The configuration of the Arlington Heights Road driveway is extremely tight. Since the area east is not being utilized, the driveway should be extended to provide better geometrics.
 - There was talk of a possible cross-access agreement/discussion with the property to the north. This reinforces the consideration to re-design the driveway geometrics.
 - The proposed Council Trail configuration is shown and assumed to be part of the project, yet there are no dimensions shown and there is a note for the Council Trail driveway to "meet existing pavement". Is the roadway work part of the project?
 - If so, the proposed Council Trail pavement is to be centered in the ROW. Provide separate plan and profile pages for the Council Trail street reconstruction and storm sewers. Fully dimension the plans. The curb return at Tonne Road is to be designed to an assumed 66' Tonne Road ROW, 33' centerline, assumed 32' B-B pavement section.
 - The two-lane section of Council Trail is to be 32' B-B centered on the 66" Council Trail ROW.
 - Provide a sequence of construction and any proposed detour exhibits.
 - Does Planning have a location for a possible driveway to/from the TIF site to the south?
20. Sheet C5 Grading Plan:
- The detention basin side slopes are to be 5:1 minimum. Basin to have a 1-foot freeboard with an overflow weir at the 6-inch level. Clearly show the overflow route.
 - Arlington Heights Road driveway and circulation roadway in front of the main door have flat grading that may result in inadequate drainage. Provide positive drainage.
21. Sheet C6 Utility Plan:
- Is there an existing Public Utility Easement for the sanitary sewer main? If not, a Plat of Easement will be required.
 - An MWRD permit is required.
 - Change Note #2 to say "SDR-26", not "SDR-35".
 - Proposed water service tap and vault is located directly above the existing sanitary sewer main. Relocate water service tap and vault.
 - Existing sanitary sewer main manhole located within the footprint of the proposed storm water detention basin is to be made water tight, by total reconstruction if necessary.
 - Upsize the proposed 12" RCP to 15" RCP on Council Trail between Tonne and Belmont.
22. Sheet C7 Offsite Storm Sewer:
- Provide separate plan and profile pages for the Council Trail storm sewers.
 - Show details of existing storm sewer on Belmont Avenue: existing manholes and catch basins.
 - Provide a sequence of construction and any proposed detour exhibits.
23. Sheet C8 Erosion Control: Change the project name in the certificates from "Arlington Crossings Phase 1" to "Autumn Leaves".
24. The lighting catalog cuts submitted for the Invue VXS fixtures Type SA-1 and SA conflict between the first and second pages. The first page specifies a 100 watt fixture, and the second page stipulates a 150 watt fixture. Please clarify.

25. Please provide the locations where the fluorescent and spot flood lamp fixtures are being placed.
26. There is some contradiction between the traffic report and information supplied by LaSalle regarding the number of employees. The traffic report indicates 15 employees split between three shifts, but page one of the LaSalle Group PC application packet says 32 individuals are to be employed by this development. Please clarify this disparity, and provide a schedule of how many actual employees will be staffed on each shift. Also will specific parking stalls be specified for employee parking?
27. The traffic report also signifies two different bed count values, 48 beds on page 6, and 44 beds on page 9. Please clarify, and modify traffic projections accordingly.
28. In the event of emergency response to the property by fire or ambulance what provisions will be made to minimize the effects to the Single family residences for noise and lights?
29. A provision for sharing in the cost of signalization at the intersection of Council Trail and Arlington Heights Road requires the deposit of an escrow for 1/3rd of the cost for signal design and construction. Provide a cost estimate for the signalization of the intersection.
30. The following table outlines the direct and indirect costs for Contribution Ordinance #62-88:

<u>PIN</u>	<u>Direct</u>	<u>Indirect</u>
08-09-401-003	---	\$ 175.00
08-09-401-005	---	\$ 359.10
08-09-401-008	\$400.00	---
08-09-401-009	\$400.00	---
08-09-401-026 & -027	---	\$ 638.00
08-10-300-012	---	\$ 19.25
Total Cost:	\$800.00 +	\$1,191.35 = \$1,991.35

Provide a check for Contribution Ordinance #62-88 to the Engineering Department in the amount of \$1,991.35 payable to the "Village of Arlington Heights" prior to the Plan Commission approval.

 8/21/13
 James J. Massacelli, P.E. Date
 Director of Engineering

Attachments:

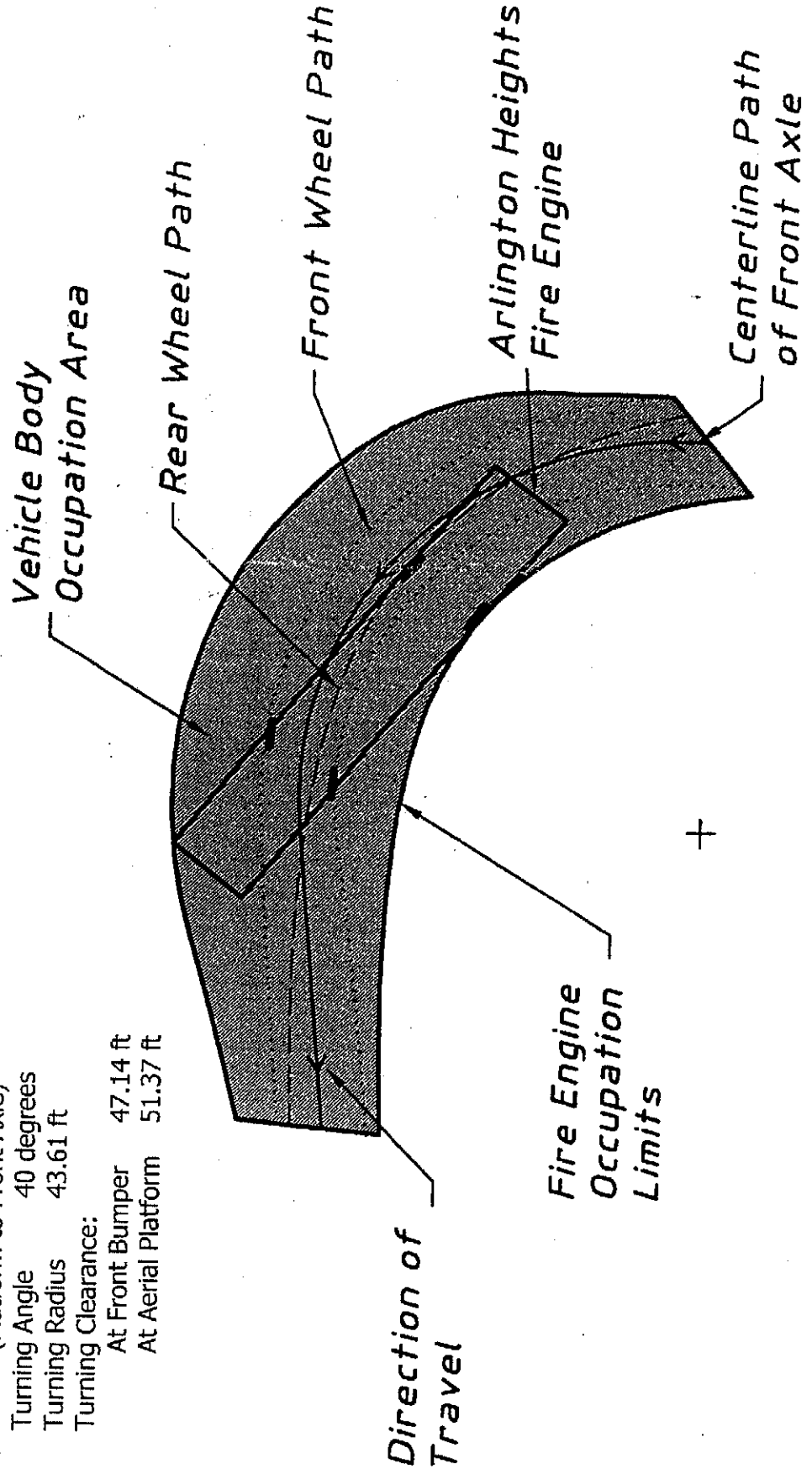
- Fire Apparatus Tower 131 Specifications (1 page)
- Sample Onsite Utility Maintenance Agreement (4 pages)

FIRE ENGINE TURNING TEMPLATE

Village of Arlington Heights Tower 131

Scale: 1"=15'

Overall Height	11 ft - 8 in
Overall Length	48 ft - 0 in
Overall Width	8 ft - 6 in
Overall Wheelbase	21 ft - 2 in
Front Overhang	14 ft - 0 in
(Platform to Front Axle)	
Turning Angle	40 degrees
Turning Radius	43.61 ft
Turning Clearance:	
At Front Bumper	47.14 ft
At Aerial Platform	51.37 ft



standard

ONSITE UTILITY MAINTENANCE AGREEMENT

WHEREAS, _____, an Illinois limited liability company, or its affiliates, ("RESPONSIBLE ENTITY") is the legal title holder of the following described real estate commonly referred to as _____ (address) _____, Arlington Heights, Illinois, 6000__, containing _____ acres, more or less, situated in the Village of Arlington Heights, Illinois and legally described as follows: (the "PROPERTY"):

*** Insert legal description, or attach as Exhibit A ***

PIN Numbers:

WHEREAS, _____, ("OWNER") desires to develop the PROPERTY; and

WHEREAS, it is necessary to service said parcel with sanitary sewers, storm sewers, domestic water mains, parking area, and private roadways; and

WHEREAS, the sanitary sewers, storm sewers, and water mains servicing the property are not located within public rights-of-way or dedicated easements; and

WHEREAS, the Village of Arlington Heights ("VILLAGE") does not maintain sanitary sewers, storm sewers and water mains on privately owned property; therefore

1. It is hereby AGREED by the RESPONSIBLE ENTITY, its successors and assigns that at no expense to the VILLAGE, the RESPONSIBLE ENTITY, its successors and assigns shall:

- a. Maintain all sanitary sewers and appurtenances thereunto appertaining located upon said premises, all as shown on the Final Engineering Plans prepared by _____ (Engineering Firm) _____ dated _____, and approved by the VILLAGE, or any amended plans as agreed to and approved by both parties, copies which are on file with the Engineering Department of the VILLAGE.
- b. Maintain all water mains and appurtenances located upon said premises from the master meter vaults.
- c. Maintain all storm sewers and appurtenances, including the detention basin, located upon said premises.
- d. Maintain the utilities as itemized above in accordance with the latest edition of the Village of Arlington Heights Municipal Code.
- e. Maintain all private roadways and parking areas located on said premises as shown on said Final Engineering Plans in accordance with the latest edition of the Village of Arlington Heights Municipal Code.

2. It is further AGREED that should the RESPONSIBLE ENTITY not properly maintain the water and sanitary sewer services in accordance with the requirements of the VILLAGE, written notification shall be given to the RESPONSIBLE ENTITY advising that after ten (10) days if the RESPONSIBLE ENTITY is not in compliance with the applicable requirements, the VILLAGE is hereby authorized, but not required, to enter upon the property to correct deficiencies and to place a lien against said property until such time that the VILLAGE has been fully reimbursed for its expenses in correcting these deficiencies; and

3. It is further AGREED that should the RESPONSIBLE ENTITY not properly maintain the aforementioned storm water collection system and detention basin in accordance with the requirements of the VILLAGE, or should they allow a public nuisance to exist, written notification shall be given to the RESPONSIBLE ENTITY advising that after ten (10) days if the RESPONSIBLE ENTITY is not in compliance with the applicable requirements, the VILLAGE is hereby authorized, but not required, to enter upon the property to correct deficiencies and to place a lien against said property until such time that the VILLAGE has been fully reimbursed for its expenses in correcting these deficiencies; and

4. It is further AGREED that the RESPONSIBLE ENTITY shall save the VILLAGE harmless from any and all claims for damages resulting from the VILLAGE interrupting service to the property due to the failure of the RESPONSIBLE ENTITY to perpetually maintain the systems as described above and any other claims or damages arising out of this Agreement and the ownership of the facilities described herein.

5. This Agreement shall be binding between all successors and assigns and shall be a covenant running with the land as here and before legally described.

6. This Agreement shall be recorded in Cook County, Illinois.

This Agreement is entered into the _____ day of _____, 20____.

For: _____

Name: _____

Signature: _____

Title: _____

State of Illinois)
) SS
County of Cook)

I, _____, a Notary in and for said County, in the State

aforesaid, CERTIFY that _____ personally known to me to be the same person whose name is subscribed on the foregoing instrument appeared before me this day in person and acknowledged that (s)he signed, sealed, and delivered said instrument as their free and voluntary act, and as the voluntary act of

_____, an Illinois limited liability company, for the uses and purposes therein set forth.

GIVEN under my hand and Notarial seal this _____ day of _____, 20____.

Notary Public

For: Village of Arlington Heights,
an Illinois municipal corporation

Name: _____

Signature: _____

Title: _____

State of Illinois)
) SS
County of Cook)

I, _____, a Notary in and for said County, in the State
aforesaid, CERTIFY that _____ personally known to me to
be the same person whose name is subscribed on the foregoing instrument appeared before
me this day in person and acknowledged that (s)he signed, sealed, and delivered said
instrument as their free and voluntary act, and as the voluntary act of the **Village of Arlington
Heights, an Illinois municipal corporation**, for the uses and purposes therein set forth.

GIVEN under my hand and Notarial seal this _____ day of _____, 20____.

Notary Public

ARLINGTON HEIGHTS POLICE DEPARTMENT

Community Services Bureau

DEPARTMENT PLAN REVIEW SUMMARY

Autumn Leaves Memory Care Facility
Arlington Heights Rd at Council Trail
Rezone to Institutional

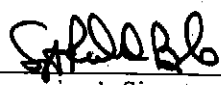
Round 1 Review Comments

08/19/2013

1. **Character of use:**
The character of use is not a concern.
2. **Are lighting requirements adequate?**
Lighting should be up to Village of Arlington Heights code. Special attention should be given to the parking lot and outside common areas.
3. **Present traffic problems?**
There are no traffic problems at this location.
4. **Traffic accidents at particular location?**
This is not a problem area in relation to traffic accidents.
5. **Traffic problems that may be created by the development.**
This development should not create any additional vehicle traffic problems.
6. **General comments:**
Crime Prevention Through Environmental Design principles should be used when deciding on lighting and landscaping. Landscaping should be kept to a minimum to allow for the best possible natural surveillance from Arlington Heights Rd, Council Trail and the parking lot.


DOUGLAS HAJEK, Crime Prevention Officer
Community Services Bureau

Approved by:


Supervisor's Signature

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

AUG 23 2013

RECEIVED



Arlington Heights Fire Department Plan Review Sheet

P. C. Number P.C. 13-015

Project Name Autumn Leaves Memory Care

Project Location Arlington Heights Rd / Council Trail

Planning Department Contact Matt Dabrowski

General Comments

1. The fire department requests an auto turn diagram.
2. Building to be sprinkled.
3. Locate the sprinkler connection at the main front entrance.
4. Locate a fire hydrant within 100' of the sprinkler connection.
5. Locate a Knox Box at the main front entrance.
6. Install a fully operational annunciator panel or alarm panel at the front door.

**NOTE: PLAN IS CONCEPTUAL ONLY
SUBJECT TO DETAILED PLAN REVIEW**

Date August 5, 2013 Reviewed By: Lt. Andrew Larson

HEALTH SERVICES DEPARTMENT

6

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

08-09-401-003,005,008,009,026,027

Petition #.	P.C.	P.I.N.#	08-10-300-012
Petitioner	THE LASALLE GROUP, INC.	Location	APPROX 1625 S. AL RD
	1900 E GOLF RD, SUITE 1120	Rezoning	X Current DT Proposed I
	SHAWNBURG, IL 60173	Subdivision	
Owner	PB IL CREO, LLC	# of Lots	Current: Proposed
	70 WEST MADISON	PUD	For
	CHICAGO, IL 60602	Special Use	For
Contact Person	LASALLE - YC MATT KENNEDY	Land Use Variation	For
Address	1900 E GOLF RD, SUITE 1120	Land Use	Current: VACANT
	SHAWNBURG, IL 60173		Proposed: ASSISTED LIVING
Phone #.	847-413-2380	Site Gross Area	196,020 ± APPROX
Fax #.	847-413-2382	# of Units Total	1 SUITE / 48 BQGS / 42 ROOMS
		1BR.	2BR.
		3BR.	4BR.

(Petitioner: Please do not write below this line.)

1. GENERAL COMMENTS:

No comments at this time.

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

AUG - 9 2013

RECEIVED

Sean Freres, LEHP

8/8/13

Environmental Health Officer

Date

Sean Freres

8/8/13

for

Acad/Dir
Date

PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT

7

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

08-09-401-003,005,008,009,026,027

Petition #: P.C.
 Petitioner: THE LASALLE GROUP, INC
1900 E GOLF RD, SUITE 1120
SKOKIE, IL 60073
 Owner: PB IL ORED, LLC
70 WEST MADISON
CHICAGO, IL 60602
 Contact Person: LASALLE - MR. MATT KENNEDY
 Address: 1900 E GOLF RD, SUITE 1120
SKOKIE, IL 60073
 Phone #: 847-413-2380
 Fax #: 847-413-2382

P.I.N.# 08-10-300-012
 Location: APPROX 1625 S. A.H. RD
 Rezoning: X Current DT Proposed I
 Subdivision: _____
 # of Lots: _____ Current: _____ Proposed: _____
 PUD: _____ For: _____
 Special Use: _____ For: _____
 Land Use Variation: _____ For: _____
 Land Use: _____ Current VACANT
 Proposed: ASSISTED LIVING
 Site Gross Area: 196,020 APPROX
 # of Units Total: 1 UNIT / 48 BQs / 42 ROOMS
 1BR 2BR 3BR 4BR

(Petitioner: Please do not write below this line.)

- | | YES | NO | |
|---|----------|----------|---|
| 1 | <u>X</u> | _____ | COMPLIES WITH COMPREHENSIVE PLAN? |
| 2 | <u>X</u> | _____ | COMPLIES WITH THOROUGHFARE PLAN? |
| 3 | <u>X</u> | _____ | VARIATIONS NEEDED FROM ZONING REGULATIONS? |
| | | | (See below.) |
| 4 | _____ | <u>X</u> | VARIATIONS NEEDED FROM SUBDIVISION REGULATIONS? |
| | | | (See below.) |
| 5 | _____ | <u>X</u> | SUBDIVISION REQUIRED? |
| 6 | _____ | <u>X</u> | SCHOOL/PARK DISTRICT CONTRIBUTIONS REQUIRED? |
| | | | (See below.) |

Comments: See attached

Bill Egan 8.13.13
 Date

Planning and Community Development
1st Round Departmental Review
Autumn Leaves: PC#13-015

Zoning Requirements

- Rezoned from OT (Office Transitional) to I (Institutional) to permit a "Care Facility, Long, Intermediate, Extended".
- Preliminary Planned Unit Development
- Variation (Chapter 28, Section 5.1-21.1b) to allow a reduction to the south building setback from 100 feet to 85 feet.
- Variation (Chapter 28, Section 5.1-8.14) to allow less than 12 feet spacing between the building and parking area.

General Comments

1. In your letter dated July 30, 2013, there is no need for the section "Response to Special Use Criteria" as there is no Special Use required for this site. The information provided is useful though as it applies to your market need and assessment.

Also in the section "Land Use Variation Criteria" please provide the justification for the two variances you are seeking as outlined in the Zoning Requirements section above. The verbiage regarding the reasons for the rezoning should be separate as it is not a variation.

I recommend the following sections:

- Justification for Rezoning and Change in Land Use (why rezoning is appropriate)
- Market Analysis to support the specific land use (the market demand for Memory Care)
- Variations: provide response to the three criteria for a variation (for each of the two variations).

2. A neighborhood meeting shall be held prior (as soon as possible) to the Plan Commission public hearing as requested in the Staff Development Committee Report dated April 4, 2013. Please indicate when the meeting will be held.

3. You have provided a response to the landscaping requirements of the Overlay Zone which is being reviewed by staff. Please provide a response to each Overlay Zone requirement outlined in Chapter 28, Section 5.1-21.

4. Signage indicated on the plans shall be for reference only. Each sign requires a permit review and approval.

5. Please indicate if you wish to proceed with Preliminary and Final PUD concurrently.

6. Please provide a certified land survey for the property as required by code.

Site Plan

1. Per the Overlay Zone please provide an Access Easement document providing access to the Arlington Heights Road driveway to benefit future development to the north. This easement shall be established as part of Final PUD and shall include future maintenance requirements and cost sharing. This easement shall also be depicted on the PUD site plan.
2. The site plan on sheet SD-1 should not be superimposed on the aerial. Also the site data legend should state the Village code requirement for parking, which is 1 space per two beds. State the actual building setbacks (not ">100"). State the actual building setback from the paved area at the back/east side of building as it is less than 12 feet thus the need for a variation. Sheet SD-2 is fine to keep for reference.
3. The existing sidewalk along Arlington Heights Road is very close to the curb line. This portion of sidewalk should be rebuilt further from the roadway to create a parkway.

Building Related

Design Commission is scheduled for August 27, 2013. An agenda and staff report will be sent prior to the meeting.

Traffic and Parking

1. The Overlay Zone requires that Arlington Heights Road between Emerson and Pickwick is restriped to accommodate a two way bidirectional left turn lane subject to IDOT approval. Has the developer contacted IDOT regarding this improvement? Will this improvement be provided?
2. Per the Overlay Zone an escrow for 33% of a potential future traffic signal at Council Trail and Arlington Heights Road is required.

Autumn Leaves Memory Care Facility
NEC Arlington Heights Road and Council Trail
PC 13-015
August 15, 2013

Landscape Issues

- 1) The landscaping in the northeast corner along the north property line adjacent to the residential and along Tonne Road must consist of a dense layered screen. Provide a layered mix of evergreens that are 8' high in order to provide a solid screen adjacent to the residential. Along Tonne Road, provide a mix of shrubs and perennials in addition to the evergreens.
- 2) In addition to the trees and shrubs along Arlington Heights Road, it is recommended that a mix of perennials be provided.

Tree Preservation

- 3) Please provide a clear list of the existing trees on the site. The tree preservation list must indicate the size, species, condition and disposition.

RECEIVED

OCT - 2 2013

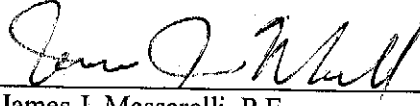
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

**PLAN COMMISSION PC #13-018
Autumn Leaves Memory Care Facility
NE Corner Arl Hts Rd & Council Trail
Rezone, PUD, Comp Plan Amnd.
Round 2**

31. The responses made by the petitioner to comments #11, 14-17, 22, 23, 28-30 are acceptable.
32. The response made by the petitioner to comment #12 is acceptable. The fee letter dated September 27, 2013 has been sent out.
33. The response made by the petitioner to comment #13 is noted. The resubmittal did not include the Onsite Utility Maintenance Agreement. As noted in Round 1, this must be executed prior to final engineering approval.
34. The response made by the petitioner to comment #18 is acceptable. Based on the ALTA survey, the northern 33' of Council Trail need to be dedicated as public ROW. Also, the western 16' of Tonne Road needs to be dedicated as public ROW.
35. The responses made by the petitioner to comment #19 are noted. The following items still need to be addressed. Sheet C4 Geometric Plan:
 - a. Response is acceptable.
 - b. The plans have not been changed to reflect the comment response. The public sidewalk is to go through the private driveways. Stop the curb on either side of the sidewalk. The stop bar and sign are to be located behind the sidewalk (Council Trail). Additionally, the mainline curbs at the driveways must be re-instated.
 - c. Response is acceptable.
 - d. Response is acceptable.
 - e. The configuration of the Arlington Heights Road driveway is still less than desirable, especially if a connecting driveway to the north is eventually installed.
 - f. There was talk of a possible cross-access agreement/discussion with the property to the north. This reinforces the consideration to re-design the driveway geometrics. This agreement/easement must be determined and provided for before final approval can be given by Plan Commission.
 - g. Response is acceptable.
 - h. The Council Trail plans need to be corrected to include a straight centerline and properly offset curbs, etc. The curb return at Tonne Road is to be designed to a proposed 66' Tonne Road ROW, 33' centerline, assumed 32' B-B pavement section.
 - i. Response is acceptable.
 - j. Response is acceptable. We will look for a detour exhibit for final engineering.
 - k. Response is acceptable.
36. The responses made by the petitioner to comment #20 are noted. Sheet C5 Grading Plan:
 - a. Response is acceptable. However, the proposed dedication of the western 16' of Tonne Road may impact the detention basin design. No grading can occur on the ROW.
 - b. Response is acceptable.
37. The responses made by the petitioner to comment #21 are noted. Sheet C6 Utility Plan:
 - a. The existing sanitary sewer appears to be located on the north edge of the existing Public Utility Easement. A Plat of Easement will be required to provide an additional 10' easement north of and

adjacent to the existing easement. The eastern end of the easement shall also encompass the bend in the sewer and provide an easement that is a total of 20' wide, centered on the sewer main.

- b. Response is acceptable.
 - c. Response is acceptable.
 - d. Response is acceptable. However, the proposed hydrants are to be metered. Either provide a master meter near the main or bring the service into the building through a meter room, then exit the building with the leads to the fire hydrants.
 - e. Response is acceptable.
 - f. Response is acceptable.
38. The responses made by the petitioner to comments #24 & 25 are noted. Lighting comments will be forthcoming and can be addressed at permit if necessary.
39. The response made by the petitioner to comment #26 is not acceptable. There was no updated traffic report provided in this submittal. To reiterate the comment: There is some contradiction between the traffic report and information supplied by LaSalle regarding the number of employees. The traffic report indicates 15 employees split between three shifts, but page one of the LaSalle Group PC application packet says 32 individuals are to be employed by this development. Please clarify this disparity, and provide a schedule of how many actual employees will be staffed on each shift. Also will specific parking stalls be specified for employee parking?
40. The response made by the petitioner to comment #27 is not acceptable. There was no updated traffic report provided in this submittal. To reiterate the comment: The traffic report also signifies two different bed count values, 48 beds on page 6, and 44 beds on page 9. Please clarify, and modify traffic projections accordingly.

 10/2/13
James J. Massarelli, P.E. Date
Director of Engineering

RESPONSES TO
PREVIOUS
COMMENTS
RECEIVED

September 19, 2013

Village of Arlington Heights

Mr. Bill Enright

benright@vah.com

Deputy Director Planning and Community Development

Subject: Autumn Leaves Assisted Living-- Arlington Heights
Response to Village of Arlington Heights first round
comments

RECEIVED

SEP 25 2013

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

The following pages are in response to Village of Arlington Heights first round review comments released by the Village of Arlington Heights on Aug. 16 2013 and Aug. 22 2013 for the above mentioned project. Our responses are numbered according to the corresponding comment in the review comments letter.

PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT PLAN REVIEW SHEET

Planning and Community Development
1st Round Departmental Review
Autumn Leaves: PC~13-015

Zoning Requirements

- Rezone from OT (Office Transitional) to I (Institutional) to permit a "Care Facility, Long, Intermediate, Extended".
- Preliminary Planned Unit Development
- Variation (Chapter 28, Section 5.1-21.1b) to allow a reduction to the south building setback from 100 feet to 85 feet.
- Variation (Chapter 28, Section 5.1-8.14) to allow less than 12 feet spacing between the building and parking area.

General Comments

1. In your letter dated July 30, 2013, there is no need for the section "Response to Special Use Criteria" as there is no Special Use required for this site. The information provided is useful though as it applies to your market need and assessment.

Also in the section "Land Use Variation Criteria" please provide the justification for the two variances you are seeking as outlined in the Zoning Requirements section above. The verbiage regarding the reasons for the rezoning should be separate as it is not a variation.

I recommend the following sections:

- Justification for Rezoning and Change in Land Use (why rezoning is appropriate)
- Market Analysis to support the specific land use (the market demand for Memory Care)
- Variations: provide response to the three criteria for a variation (for each of the two variations).

Response: See attached

2, A neighborhood meeting shall be held prior (as soon as possible) to the Plan Commission public hearing as requested in the Staff Development Committee Report dated April 4, 2013, Please indicate when the meeting will be held,

Response: this has been set for October 2nd in the Buechner Room

3. You have provided a response to the landscaping requirements of the Overlay Zone which is being reviewed by staff. Please provide a response to each Overlay Zone requirement outlined in Chapter 28, Section 5.1-21.

Response: Please see attached

Site Plan

1. Per the Overlay Zone please provide an Access Easement document providing access to the Arlington Heights Road driveway to benefit future development to the north. This easement shall be established as part of Final PUD and shall include future maintenance requirements and cost sharing. This easement shall also be depicted on the PUD site plan.

Response: SPACECO, Inc. is currently coordinating the requirements of this document with the Village and will provide under separate cover.

2, The site plan on sheet SD-1 should not be superimposed on the aerial, Also the site data legend should state the Village code requirement for parking, which is 1 space per two beds. State the actual building setbacks (not ">100"). State the actual building setback from the paved area at the back/east side of building as it is less than 12 feet thus the need for a variation, Sheet SD-2 is fine to keep for reference.

Response: Eliminated aerial map on sheet SD-1. Updated Data legend. Sheet SD-2 for reference only.

3. The existing sidewalk along Arlington Heights Road is very close to the curb line. This portion of sidewalk should be rebuilt further from the roadway to create a parkway.

Response: Sidewalk location has been shifted to allow a grass strip parkway.

Building Related

Design Commission is scheduled for August 27, 2013. An agenda and staff report will be sent prior to the meeting.

Traffic and Parking

1. The Overlay Zone requires that Arlington Heights Road between Emerson and Pickwick is restriped to accommodate a two way bidirectional left turn lane subject to

IDOT approval. Has the developer contacted IDOT regarding this improvement? Will this improvement be provided?

Response: The two way bidirectional turn lane between Pickwick and Emerson is now shown on the plans (please see the Geometric Plan). SPACECO will coordinate these improvements with the owner and IDOT and keep the Village included on that correspondence.

2. Per the Overlay Zone an escrow for 33% of a potential future traffic signal at Council Trail and Arlington Heights Road is required,

Response: This requirement will be coordinated between the owner and the Village.

Department of Planning and Community Development 7A

Autumn Leaves Memory Care Facility
NEC Arlington Heights Road and Council Trail
PC 13-015
August 15, 2013

Landscape Issues

1) The landscaping in the northeast corner along the north property line adjacent to the residential and along Tonne Road must consist of a dense layered screen. Provide a layered mix of evergreens that are 8' high in order to provide a solid screen adjacent to the residential. Along Tonne Road, provide a mix of shrubs and perennials in addition to the evergreens.

Response: In addition to the 6' height cedar fence, 8' height Norway Spruce are now added as transition to the neighboring residential at the north and east corner. Shrub screen planting and flowering perennial planting beds have been added to provide a layered transition to Tonne Rd. and the adjacent residential.

2) In addition to the trees and shrubs along Arlington Heights Road, it is recommended that a mix of perennials be provided.

Response: Flowering mix of perennials have been added along the Arlington Heights rd. frontage

Tree Preservation

3) Please provide a clear list of the existing trees on the site, The tree preservation list must indicate the size, species, condition and disposition.

Response: Tree list has been rewritten for clarity and supplemented with field inventory observations.

Memorandum From Paul Butt, Fire Safety Inspection Supervisor

8/16/13

Autumn Leaves Memory Care Facility

I have reviewed the Round 1 submittal for the address referenced above and offer the following comments:

1. The building shall be designed as I-2 occupancy per the 2009 International Building Code.

Response: Autumn Leaves is licensed Assisted Living by the State of Illinois. IBC 308.2 defines I-1 and specifically includes assisted living. This is NOT a nursing Home.

2. The building shall be protected by an automatic sprinkler system in accordance with NFPA- 13, 2007 Edition.

Response: Will comply. Fire sprinkler System will be install in accordance with NFPA- 13, 2007 Edition

3. Provide a fire hydrant within 100 feet of the fire department connection. Distance between fire hydrants shall not exceed 300ft.

Response: A fire hydrant is now shown within 100' of the fire department connection. The fire hydrants are now spaced at a maximum of 300' around the building.

4. The fire department connection shall be located at the main front entrance of the building.

Response: The fire department connection is now shown at the main front entrance of the building.

5. A fire alarm remote annunciator panel shall be located at the main front entrance of the building.

Response: annunciator panel will be located at Entry Room #199 of the building.

6. Provide a turning template for the Fire Department ladder truck.

Response: A Turning Template exhibit is included in this resubmittal.

Village of Arlington Heights Public Works Department Plan
Review Sheet

Memorandum

To: Scott Shirley, Director of Public Works
From: Jeff Musinski, Utilities Superintendent

Date: August 6, 2013

Subject: NEC of Arlington Heights Road/Council Trail (Autumn Leaves), P.C. #13-015

Scott,

With regard to the proposed utility installation at Autumn Leaves, I have the following comments:

1) The vault for the pressure connection must be a minimum of 60".

Response : The vault is now shown as a 60" diameter structure. Please see the utility plan.

2) The water line and pressure connection size is not specified, I believe a 4" compound with a 2" meter on the by-pass would be sufficient.

Response: The incoming water service and pressure connection will be shown on the Building Permit drawings.

3) Backflow devices are required for the domestic and fire lines.

Response: Backflow devices will be provided for the domestic and fire lines and shown on the Building Permit drawings.

Arlington Heights Fire Department Plan Review Sheet

P. C. Number P.C. 13-015 Autumn Leaves Memory Care

Project Name Project Location

Arlington Heights Rd / Council Trail

Planning Department Contact Matt Dabrowski

General Comments

1. The fire department requests an auto turn diagram.

Response: A Turning Template exhibit is included in this resubmittal.

2. Building to be sprinkled,

Response: The building will be fully sprinklered. Fire protection drawings shall be submitted by the Fire Protection Contractor.

3. Locate the sprinkler connection at the main front entrance.

Response: The sprinkler connection is now shown at the main front entrance.

4. Locate a fire hydrant within 100' of the sprinkler connection.

Response: A fire hydrant is now shown within 100' of the fire department connection. The fire hydrants are now spaced at a maximum of 300' around the building.

5. Locate a Knox Box at the main front entrance.

Response: A Knox Box will be installed at the front entrance. This will be shown on the Building Permit electrical drawings.

6. Install a fully operational annunciator panel or alarm panel at the front door,

Response: A fire alarm annunciator will be located at the front door and the fire alarm control panel will be located within the Mechanical Room adjacent to the sprinkler service connection. This room will have direct access from the exterior. The fire alarm panels will be shown on the Building Permit drawings and the Fire Alarm Contractor permit drawings.

NOTE: PLAN IS CONCEPTUAL ONLY SUBJECT TO DETAILED PLAN REVIEW

Date

August 5, 2013

Reviewed By:

Lt. Andrew Larson

Arlington Heights Fire Department

ARLINGTON HEIGHTS POLICE DEPARTMENT PLAN REVIEW SHEET

Community Services Bureau

DEPARTMENT PLAN REVIEW SUMMARY

Autumn Leaves Memory Care Facility Arlington Heights Rd at Council Trail Rezone to Institutional

Round 1 Review Comments

08/19/2013

1. Character of use:

The character of use is not a concern.

Response: No action require from the Design Team.

2. Are lighting requirements adequate?

Lighting should be up to Village of Arlington Heights code. Special attention should be given to the parking lot and outside common areas.

Response: Will Comply.

3. Present traffic problems?

There are no traffic problems at this location.

Response: No action require from the Design Team.

4. Traffic accidents at particular location?

This is not a problem area in relation to traffic accidents.

Response: No action require from the Design Team.

5. Traffic problems that may be created by the development.

This development should not create any additional vehicle traffic problems.

Response: Will Comply.

6. General comments:

Crime Prevention Through Environmental Design principles should be used when deciding on lighting and landscaping. Landscaping should be kept to a minimum to allow for the best possible natural surveillance from Arlington Heights Rd, Council Trail and the parking lot.

Response: Will Comply.

Crime Prevention Officer Community Services Bureau

HEALTH SERVICES DEPARTMENT PLAN REVIEW SHEET

PETITIONER'S APPLICATION- ARLINGTON HEIGHTS PLAN COMMISSION

1 GENERAL COMMENTS:

No comments at this time.

Environmental Health Officer

Sean Freres 8/8/13



CONSULTING ENGINEERS

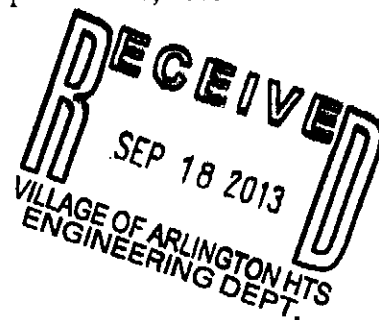
SITE DEVELOPMENT ENGINEERS

LAND SURVEYORS

9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

September 16, 2013

Mr. James Massarelli, P.E.
Director of Engineering
Village of Arlington Heights
33. S. Arlington Heights Road
Arlington Heights, IL 60005



RE: Autumn Leaves Memory Care Facility
NE Corner of Arlington Heights Road and East Council Trail
Plan Commission PC#13-015
SPACECO Project No. 7467

Dear Mr. Massarelli:

Enclosed please find the following items for your review:

- Two copies of the Site Improvement Plans for the Autumn Leaves Memory Care Facility, dated September 10th, 2013
- Two copies of the Fire Truck Turning Exhibit, dated September 10th, 2013
- Two copies of the ALTA survey for the site dated
- Two copies of the overall site Engineer's Opinion of Cost, dated September 13th, 2013
- Two copies of the Public Improvements Engineer's Opinion of Cost, dated September 13th, 2013
- Two copies of the Stormwater Management Report, dated September 10th, 2013
- Two copies of the Landscaping Plans, prepared by Teska Associates, dated September 10th, 2013.
- Two copies of the Photometric Plan, prepared by WMA Associates, dated September 10th, 2013.
- Two copies of the Site Plan prepared by SAS Architects, dated September 10th, 2013

These items have been revised per your comments in a letter dated August 21st, 2013.

Following are our responses to those comments.

Please let me know if you have any questions or need any additional information.

Sincerely,
SPACECO, Inc.

Shannon Green, P.E.
Project Manager

Cc: Matt Krummick – LaSalle Group

Comment 11: The petitioner is notified that these comments are being provided to ensure that the project meets the requirements for submittal to the Plan Commission. Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they comprehend and accept this understanding.

RESPONSE: Noted.

Comment 12: An Engineer's estimate of construction cost for full site improvements is required to complete the calculation for plan review, inspection, and other fees. A separate Engineer's estimate of construction cost for public improvements is also required to complete the calculation for the required public improvement guarantee deposit. The public improvements for this development would include the new storm sewer along Council Trail, the new curbs and pavement on Council Trail, new sidewalk along Council Trail. These estimates should be submitted at least three weeks prior to the final Plan Commission meeting to allow us time to generate the fee letter and for the petitioner to assemble the proper documents.

RESPONSE: An overall site Engineer's Opinion of Cost and a Public Improvements Opinion of Cost are included in this resubmittal.

Comment 13: The proposed detention facility will be a private system and as such will not be the Village's responsibility to maintain. An Onsite Utility Maintenance Agreement must be executed prior to final engineering approval. A draft agreement is attached. An editable word document will be forwarded to your team.

RESPONSE: Noted. This item will be coordinated with the Village and the Owner.

Comment 14: Final approval will require a storm water report including detention calculations showing HWL, storage required, storage provided, and restrictor sizing calculations. The Village's allowable release rate is 0.18 cfs/Ac. Use $C=0.50$ for pervious areas, $C=0.95$ for impervious areas. Use Bulletin 70 rainfall data. Clearly show the overflow route for the site. Minimum restrictor size allowed, for maintenance reasons, is 2". Restrictors between 2" and 4" must be in a trap in a catch basin. Show the location and size of the restrictor. Provide a detail showing the restrictor catch basin. If the restrictor required to meet the allowable release rate is less than 2', calculate the amount of detention storage provided with a 2" restrictor. Subtract this amount from the required storage based on the allowable release rate to show the storage deficiency. This deficiency can be paid as money in lieu of detention at the rate of \$1.00 per cubic foot.

RESPONSE: Please see the enclosed Stormwater Management Report, dated September 10th, 2013. In addition, the overland flow route and detention basin overflow location are now clearly shown on the enclosed plans.

Comment 15: Provide an exhibit to engineering scale showing the turning path of the Fire Department's responding vehicle, in this case the tower truck. Exhibit must show front and rear wheel paths and the extent of the front and rear overhangs, as provided in an

"AutoTurn" exhibit. The vehicle shall be shown maneuvering through the site in all possible directions of travel. Attached are the specifications for the tower apparatus.

RESPONSE: The AutoTurn exhibit with the requested information is included in this submittal.

Comment 16: Include bicycle racks in development plan to encourage alternate modes of transportation for employees and patrons.

RESPONSE: Bicycle racks are not currently included on the enclosed plans. This item is under discussion with the owner.

Comment 17: Sheet C2: Change contact person for Public Works to Scott Shirley, Director of Public Works.

RESPONSE: This has been done.

Comment 18: Sheet C3: Provide a Plat of Survey for the properties included in the project. It is our understanding that there may be a 50-foot Tonne Road public ROW at the southeast corner of the site. The Plat should also show any other easements and dedications.

RESPONSE: The ALTA survey for the site is included in this submittal. All existing easements and dedications on and around the site are included on the ALTA survey. It is our understanding, per the existing documents for the site, that the 50 foot dedication adjacent to the Tonne Road ROW at the southeast corner of the site is no longer active. Please see the enclosed Document No. 733083 pertaining to this dedicated area indicating that the rights to grant it as right-of-way ceased as of May 1, 1945.

Comment 19: Sheet C4 Geometric Plan:

- a. Show the existing/proposed lane configuration on Arlington Heights Road.

RESPONSE: The existing and proposed lane configurations on Arlington Heights Road are now shown. We are coordinating these improvements with IDOT.

- b. The public sidewalk is to go through the private driveways. Stop the curb on either side of the sidewalk. The stop bar and sign are to be located behind the sidewalk (Council Trail).

RESPONSE: The full depth curb stops on each side of the public sidewalk. The stop bar and sign have been located behind the sidewalk.

- c. Village standard for ADA required detectable warning panels on public sidewalks is East Jordan Iron Works 24"x24" panels, or approved equal. Include ADA panels for the sidewalks at drives.

RESPONSE: *The detectable warnings are now shown and the required panel information has been added to the notes on the geometric plan.*

- d. The parking spaces can be reduced in length from 19.5' to 17' to account for the 1.5' overhang of the curb. This can reduce pavement cost and impervious area.

RESPONSE: *Per direction from the client, the parking stalls have not been revised to 17' in length.*

- e. The configuration of the Arlington Heights Road driveway is extremely tight. Since the area east is not being utilized, the driveway should be extended to provide better geometrics.

RESPONSE: *The Arlington Heights Road driveway has been revised to eliminate the previous curve as the driveway ran south. The driveway now shows a 90 degree turn and, as shown on the enclosed AutoTurn exhibit, is maneuvered without issue by the required Arlington Heights ladder truck.*

- f. There was talk of a possible cross-access agreement/discussion with the property to the north. This reinforces the consideration to re-design the driveway geometrics.

RESPONSE: *This item is under discussion/ coordination with the client and Village.*

- g. The proposed Council Trail configuration is shown and assumed to be part of the project, yet there are no dimensions shown and there is a note for the Council Trail driveway to "meet existing pavement". Is the roadway work part of the project?

RESPONSE: *The proposed Council Trail improvements are now indicated in the enclosed Site Improvement plans.*

- h. If so, the proposed Council Trail pavement is to be centered in the ROW. Provide separate plan and profile pages for the Council Trail street reconstruction and storm sewers. Fully dimension the plans. The curb return at Tonne Road is to be designed to an assumed 66' Tonne Road ROW, 33' centerline, assumed 32' B-B pavement section.

RESPONSE: *The geometry of Council Trail has been coordinated with the Village and the improvements are now included in the Site Improvement plans. Separate plan and profile sheets for these improvements are now shown.*

- i. The two-lane section of Council Trail is to be 32' B-B centered on the 66' Council Trail ROW.

RESPONSE: *This geometry is now shown in the enclosed Site Improvement plans.*

- j. Provide a sequence of construction and any proposed detour exhibits.

RESPONSE: *This item is being coordinated and a detour exhibit will be submitted upon completion.*

- k. Does Planning have a location for a possible driveway to/from the TIF site to the south?

RESPONSE: *This item is still to be coordinated. We have not received any additional information on this issue.*

Comment 20: Sheet C5 Grading Plan:

- a. The detention basin side slopes are to be 5:1 minimum. Basin to have a 1-foot freeboard with an overflow weir at the 6-inch level. Clearly show the overflow route.

RESPONSE: *These requirements are now shown in the enclosed Site Improvement plans.*

- b. Arlington Heights Road driveway and circulation roadway in front of the main door have flat grading that may result in inadequate drainage. Provide positive drainage.

RESPONSE: *The grading in these areas has been revised to provide positive drainage.*

Comment 21: Sheet C6 Utility Plan:

- a. Is there an existing Public Utility Easement for the sanitary sewer main? If not, a Plat of Easement will be required.

RESPONSE: *There is an existing Public Utility Easement over the existing sanitary sewer main. This easement is now shown on the existing conditions sheet.*

- b. An MWRD permit is required.

RESPONSE: *The MWRD permit has been completed and forwarded to the client for signature. The signed applications will be forwarded to the Village as soon as we receive them back from the owner.*

- c. Change Note #2 to say "SDR-26", not "SDR-35".

RESPONSE: *The note has been changed.*

- d. Proposed water service tap and vault is located directly above the existing sanitary sewer main. Relocate water service tap and vault.

RESPONSE: *The water service tap and vault has been relocated.*

- e. Existing sanitary sewer main manhole located within the footprint of the proposed storm water detention basin is to be made water tight, by total reconstruction if necessary.

RESPONSE: A note has been added to the Utility Plan indicating that the existing sanitary manhole should be made watertight.

- f. Upsize the proposed 12' RCP to 15' RCP on Council Trail between Tonne and Belmont.

RESPONSE: The sewer has been upsized as requested.

Comment 22: Sheet C7 Offsite Storm Sewer:

- a. Provide separate plan and profile pages for the Council Trail storm sewers.

RESPONSE: Separate plan and profile sheets are now included in the plans.

- b. Show details of existing storm sewer on Belmont Avenue: existing manholes and catch basins.

RESPONSE: The existing information on Belmont Avenue is now shown.

- c. Provide a sequence of construction and any proposed detour exhibits.

RESPONSE: This item is being coordinated and a detour exhibit will be submitted upon completion.

Comment 23: Sheet C8 Erosion Control: Change the project name in the certificates from "Arlington Crossings Phase 1" to "Autumn Leaves".

RESPONSE: The project name has been corrected.

Comment 24: The lighting catalog cuts submitted for the Invue VXS fixtures Type SA-i and SA conflict between the first and second pages. The first page specifies a 100 watt fixture, and the second page stipulates a 150 watt fixture. Please clarify.

RESPONSE: This item has been addressed on the enclosed lighting and photometric plans by others.

Comment 25: Please provide the locations where the fluorescent and spot flood lamp fixtures are being placed.

RESPONSE: This item has been addressed on the enclosed lighting and photometric plans by others.

26. There is some contradiction between the traffic report and information supplied by LaSalle regarding the number of employees. The traffic report indicates 15 employees split between three shifts, but page one of the LaSalle Group PC application packet says 32 individuals are to be employed by this development. Please clarify this disparity, and provide a schedule of how many actual employees will be staffed on each shift. Also will specific parking stalls be specified for employee parking?

RESPONSE: *Although we did not prepare the traffic report, it is our understanding that the number of employees specified in the traffic report is a conservative estimate for use in preparing the traffic calculations. The number of employees specified on the attached Sheet SD-1 prepared by SAS architects is an exact number of employees for this proposed facility. The number of employees per shift is also shown on Sheet SD-1. At this time, parking stalls are not specified for employee parking.*

27. The traffic report also signifies two different bed count values, 48 beds on page 6, and 44 beds on page 9. Please clarify, and modify traffic projections accordingly.

RESPONSE: *This item will be addressed under separate cover by the engineer who prepared the traffic report.*

28. In the event of emergency response to the property by fire or ambulance what provisions will be made to minimize the effects to the Single family residences for noise and lights?

RESPONSE: *As indicated on the enclosed landscaping plans, heavily planted landscaped berms are proposed along the north and east property lines to minimize noise and light disturbance to the neighbors. In addition, several of the neighboring properties have existing +/- 6' high fences along their rear property lines.*

29. A provision for sharing in the cost of signalization at the intersection of Council Trail and Arlington Heights Road requires the deposit of an escrow for 1/3rd of the cost for signal design and construction. Provide a cost estimate for the signalization of the intersection.

RESPONSE: *We are coordinating the cost estimate for the traffic signal design and construction. We will forward this estimate to the*

30. The following table outlines the direct and indirect costs for Contribution Ordinance #62-88:

<u>PIN</u>	<u>Direct</u>	<u>Indirect</u>
08-09-401-003	---	\$ 175.00
08-09-401-005	---	\$ 359.10
08-09-401-008	\$400.00	---
08-09-401-009	\$400.00	---
08-09-401-026 &-027	---	\$ 638.00
<u>08-10-300-012</u>	<u>---</u>	<u>\$ 19.25</u>
Total Cost:	\$800.00 +	\$1,191.35 = \$1,991.35

Provide a check for Contribution Ordinance #62-88 to the Engineering Department in the amount of \$1,991.35 payable to the "Village of Arlington Heights" prior to the Plan Commission approval.

RESPONSE: The check will be forwarded to the Village by the client under separate cover.

November 4, 2013

TO THE PRESIDENT AND
MEMBERS OF THE BOARD OF TRUSTEES
ARLINGTON HEIGHTS, ILLINOIS

Property: Autumn Leaves Assisted Living
Northeast Corner of S. Arlington Heights Rd. & Council Trail
Arlington Heights, IL 60005
DC# 13-082

Petitioner: The LaSalle Group
1900 E. Golf Rd. Suite 1120
Schaumburg, IL 60173

Request: 1. Approval of the proposed architectural design for a new assisted living memory care facility.

A public meeting was held by the Design Commission on August 28, 2013 to consider the matter detailed above.

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO RECOMMEND APPROVAL OF THE PROPOSED ARCHITECTURAL DESIGN FOR AUTUMN LEAVES TO BE LOCATED AT THE NORTHEAST CORNER OF ARLINGTON HEIGHTS ROAD AND COUNCIL TRAIL. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE PLANS DATED AND RECEIVED 8/01/13, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT THAT THE GUTTERS, WINDOWS AND SHUTTERS BE WHITE.
2. A REQUIREMENT THAT THE FENCE COLOR BE TAN;
3. A REQUIREMENT TO OMIT THE SHUTTERS ON THE 45-DEGREE SIDES IN THE FRONT.
4. A REQUIREMENT TO LIGHTEN UP THE HEAVINESS OF THE WINDOW GRIDS.
5. A REQUIREMENT THAT THE ROUND LOUVERS BE LOWERED ONE BRICK COURSE.
6. A REQUIREMENT TO ELIMINATE THE AUSTRIAN PINE AND CONSIDER WHITE SPIRE BIRCH, AND SUBSTITUTE THE ARBORVITAE EMERALD WITH A DIFFERENT SPECIES.
7. A REQUIREMENT THAT ANY GROUND SIGN FOR THE DEVELOPMENT BE A MONUMENT STYLE GROUND SIGN AND NOT MOUNTED ON A POST.
8. THIS REVIEW **DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, SIGN CODE OR BUILDING OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE ARCHITECT/HOMEOWNER/BUILDER'S RESPONSIBILITY TO COMPLY WITH THE DESIGN COMMISSION APPROVAL AND ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.**
9. THE PETITIONER SHALL COMPLY WITH ALL FEDERAL, STATE AND VILLAGE CODES, REGULATIONS, AND POLICIES.

Mr. Hautzinger commented that this project would continue on to the Plan Commission, who has final authority on landscaping, and he would suggest the motion be amended so that the requirements made regarding landscaping be recommendations to avoid conflict with the Plan Commission. **Commissioner Fitzgerald** replied that wanted to keep the

landscaping comments as requirements and pointed out that the petitioner previously stated his support for the landscaping changes. He added that the requirement has to do with a mold spore attacking Austrian Pines and the expense involved in treating them without a 100% guarantee. **Mr. Pantera** reiterated that he had no problem substituting the Austrian Pine.

ECKHARDT, AYE; FITZGERALD, AYE; FASOLO, AYE.

ALL WERE IN FAVOR. THE MOTION CARRIED.

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: Autumn Leaves Assisted Living
Project Address: NE Corner of S. Arlington Heights Road & E. Council Trail
Prepared By: Steve Hautzinger

Date Prepared: August 21, 2013

Requested Action(s):

1. Approval of the proposed architectural design for a new assisted living, memory care facility.

PETITIONER INFORMATION:

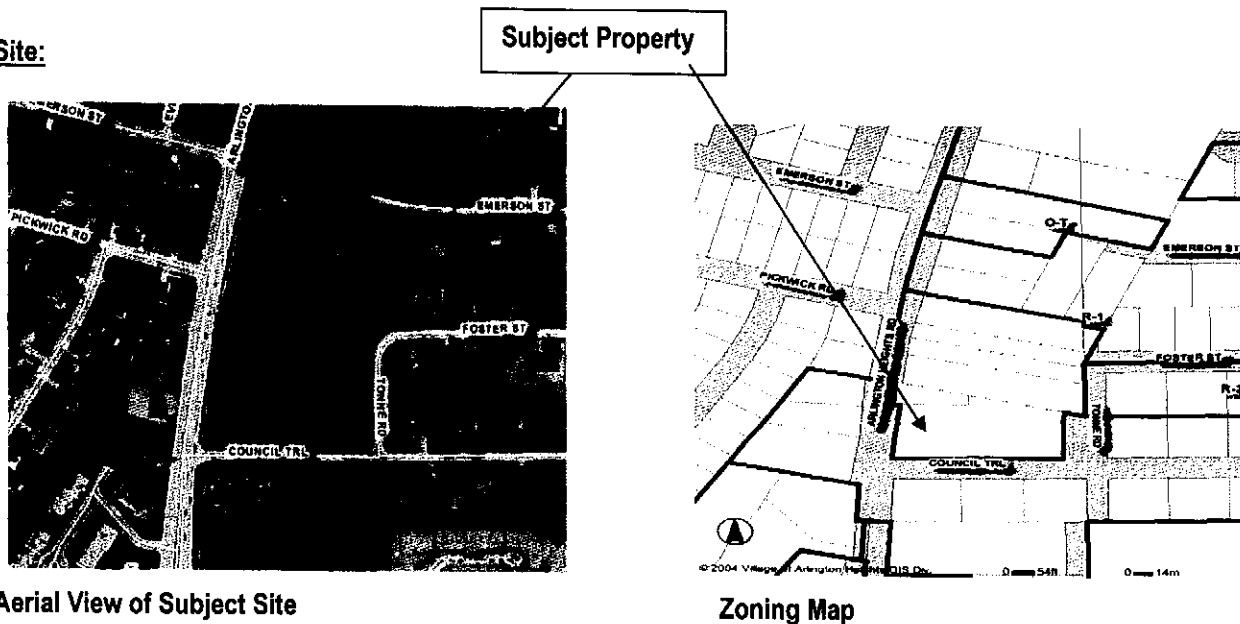
DC Number: 13-082
Petitioner Name: Matthew Krummick
Petitioner Address: The LaSalle Group
1900 E. Golf Road, Suite 1120
Schaumburg, IL 60173
Meeting Date: August 27, 2013

ANALYSIS

Summary:

The subject design is being forwarded to the Design Commission for review pursuant to Chapter 6 of the Municipal Code, specifically Section 6-501 (e)(1), which states that the Design Commission "shall review all Plan Commission, Zoning Board of Appeals, Building Permit and Sign Permit applications for new construction and those improvements which affect the architectural design of the building, site improvements or signage to determine whether it meets with the standards, requirements and purposes of the Design Guidelines and Chapter 30, Sign Regulations."

Site:



Aerial View of Subject Site

Zoning Map

The petitioner is proposing to build a new single story, 29,904 square foot, 46 bed, memory care facility at the northeast corner of S. Arlington Heights and Council Trail Road. The site is 4.63 acres of currently undeveloped, wooded land, and is currently zoned Office/Transitional. This proposal will require separate review by the Plan Commission to obtain approval to rezone the property to Institutional as well as request a Planned Unit Development.

Surrounding Land Uses:

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	R-1, One-Family Dwelling District	Single Family Residences	Office
South	R-1, One-Family Dwelling District	Office and Single Family Residences	Office and Commercial
East	R-1 and R-3, One-Family Dwelling Districts	Single Family Residences	Single Family Detached
West	R-1 and R-3, One-Family Dwelling Districts	Single Family Residences, Office, and Church	Office and Single Family Detached

Landscaping:

As part of the PUD process, the Plan Commission will review landscaping. Overall, the proposed landscaping will work well with the site and the Petitioner has been encouraged to increase the transitional landscape screening adjacent to the residential zones.

Preliminary Design Commission Review Comments:

This proposal received a preliminary Design Commission review on April 23, 2013. Highlights of the feedback provided are as follows:

1. Minor concern regarding the gable ends on the rear (east) elevation and the long expanse of uninterrupted roofing.
2. Concerns about landscape buffer along the east property line.
3. Concern regarding lack of windows. In response to this comment, the window sizes have been increased.

Architectural Design:

The proposed building is setback significantly on all sides which provides a nice buffer from the surrounding properties. The current condition of the wooded site is messy, and the proposed development will be a nice enhancement along Arlington Heights Road. The proposed single story building has a nice residential scale and character which will blend well with the adjacent single family residences. The proposed storage shed matches the primary building architecture, and the dumpster area is screened.

The overall design is very nicely done and staff has only minor comments regarding exterior finishes and details as follows: (Note that the rendering does not accurately reflect the proposed material palette, refer to the actual material samples.)

1. The proposed brick is dull and does not offer enough contrast with the proposed stone. It is recommended that the brick color be slightly darker.
2. The proposed "khaki brown" siding color is very nice, but staff recommends that the windows, all exterior trim, and gutters match the "khaki brown" color in lieu of white.
3. The window grid pattern is heavy. Consider fewer muntins.
4. The white garden fence color is too bright and prominent. It is recommended that the fence color be tan to match the "khaki brown" siding.
5. The round louvers in the masonry gable end walls on the front elevation look cramped. It is recommended to slightly lower the louvers on the wall.
6. The white shutters look dull, and windows with only one shutter look odd. It is recommended to omit the single shutters and change the shutter color to match the siding or roofing color.

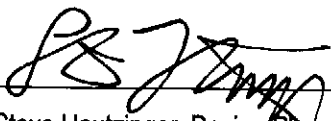
Signage:

Signage is not included in this review, and a sign permit will be required for each individual sign proposed. However, the proposed ground sign does comply with signage code, Chapter 30. Given the scale of the building, it is recommended that any ground sign proposed for this development be required to be a monument style ground sign, and not mounted on a post.

RECOMMENDATION:

It is recommended that the Design Commission **consider staff's proposed revisions and approve** the proposed architectural design for Autumn Leaves. This recommendation is subject to compliance with the plans dated and received 8/01/13, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and resolution of the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
2. A requirement that any ground sign be a monument style ground sign, and not mounted on a post. All signage must meet code, Chapter 30.
3. Suggested revisions:
 - a. The brick color be slightly darker.
 - b. The windows, all exterior trim, gutters, and garden fencing match the "khaki brown" siding color in lieu of white.
 - c. Reduce the quantity of muntins in the windows.
 - d. Slightly lower the louvers on the masonry gable end walls on the front elevation.
 - e. Omit the single shutters and change the shutter color to match the siding or roofing.
4. The petitioner is required to meet all landscape and parking requirements per Chapter 28.


Steve Hautzinger, Design Planner

August 21, 2013

Cc: William C. Dixon, Village Manager, Charles Witherington Perkins, Director of Planning and Community Development, James McCalister, Director Building & Health Services, Charley Craig, Building Services, Petitioner, DC File 13-082

APPROVED

MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
AUGUST 27, 2013

Acting Chair Eckhardt called the meeting to order at 6:30 p.m.

Members Present: Ted Eckhardt, Acting Chair
John Fitzgerald
Anthony Fasolo

Members Absent: Alan Bombick, Chair

Also Present: Matt Krummick, LaSalle Group for *Autumn Leaves*
Michael Arenson, SAS Architects for *Autumn Leaves*
Nicholas Patera, Teska Associates for *Autumn Leaves*
Steve Hautzinger, Staff Liaison

REVIEW OF MEETING MINUTES FROM AUGUST 13, 2013

The minutes were deferred until such time as a quorum of commissioners from the meeting is present.

ITEM 1. INSTITUTIONAL REVIEW**DC#13-082 – Autumn Leaves Assisted Living – NE Corner of S. Arlington Heights Rd. & Council Trail**

Mr. Matt Krummick, representing *LaSalle Group*, **Mr. Michael Arenson**, representing *SAS Architects*, and **Mr. Nicholas Patera**, representing *Teska Associates*, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to build a new single-story, 29,904 square foot, 46 bed, memory care facility at the northeast corner of S. Arlington Heights and Council Trail Road. The site is 4.63 acres of currently undeveloped, wooded land, and is currently zoned Office/Transitional. This proposal will require separate review by the Plan Commission to obtain approval to rezone the property to Institutional as well as request a Planned Unit Development. The project came before the Design Commission on April 23, 2013 for a preliminary review, at which time the commissioners expressed minor concerns regarding the gable ends on the rear east elevation and the long expanse of the east roof; concerns about the landscape buffer along the east property line and concerns regarding the lack of windows. In response to concerns about the lack of windows, the petitioner has enlarged the windows on the plan, which will be presented tonight.

With regards to the architectural design overall, Staff supports the project and feels the proposed new single-story building has a nice residential scale and character, which blends well with the adjacent single-family residences. Minor comments from Staff regarding exterior finishes and some of the details are as follows:

1. The proposed brick is dull and does not offer enough contrast with the proposed stone. It is recommended that the brick color be slightly darker.
2. The proposed “khaki brown” siding color is very nice, but staff recommends that the windows, all exterior trim, and gutters match the “khaki brown” color in lieu of white.
3. The window grid pattern is heavy. Consider fewer muntins.
4. The white garden fence color is too bright and prominent. It is recommended that the fence color be tan to match the “khaki brown” siding.
5. The round louvers in the masonry gable end walls on the front elevation look cramped. It is recommended to slightly lower the louvers on the wall.
6. The white shutters look dull, and windows with only one shutter look odd. It is recommended to omit the single shutters and change the shutter color to match the siding or roofing color.

Mr. Hautzinger also stated that although signage is not part of the review or approval tonight, Staff recommends a requirement be made by the commissioners that any ground sign proposed for the project be a monument style ground sign and not mounted on a post. Overall, Staff recommends approval of the project, with the comments previously stated regarding the architecture and signage.

Acting Chairman Eckhardt asked if there was any public comment on the project and there was no response from the audience.

Mr. Krummick stated that the design reviewed at the preliminary review was revised based on the comments and concerns made by the commissioners at that review. He introduced Mr. Arenson, the architect for the project. **Mr. Arenson** referenced the photos shown at the preliminary review, which showed a similar building design they have previously built at 6 other locations in the Chicago area. He explained that the photographs were a more accurate depiction of the colors being proposed for the new building, as opposed

to the misleading colors shown in the computer generated rendering. In response to the comments and concerns made at the preliminary review, the windows were increased in both height and width, and additional gable ends and porte cocheres were added along the side elevations. He welcomed a discussion with the commissioners regarding the comments in the Staff report, which he only became aware of before tonight's meeting. He presented actual color photographs of the front entry of a similar building they previously built in the same color palette being proposed for Autumn Leaves, which includes beige for the gable ends and soffit trim, and white for the columns, windows, minor trim and shutters. He felt the building might appear too monochromatic and diminish the crisp edges at the front entrance if the white elements were changed to beige, however, he was not opposed to the suggestion to change the fence color from white to beige. He added that they were willing to work with the commissioners on any suggestions they felt strongly about.

Acting Chair Eckhardt asked if the petitioner had additional color photographs of other elevations and the petitioner replied that photos could be shown on his laptop for reference. **Commissioner Fitzgerald** felt the brick, stone and siding colors were very nice; he was fine with the windows being white; he agreed with the suggestion to reduce the number of muntins, which appeared busy; he was fine with the louvers as proposed; he felt the single shutters should be omitted; and overall, he felt the landscaping was very nice. He questioned the 4-foot chicken coop reference on the plat of survey and the petitioner replied that this was probably a denotation on the survey referring to a previous condition of the site.

Commissioner Fitzgerald said that overall he liked the landscaping, although he would consider using something other than the Austrian Pine and the White Spire Birches being proposed. He also asked where the Emerald Arborvitae were located on the landscape plan, and **Mr. Patera** replied that these plants would be located around the building foundation and where there are blank wall locations. **Commissioner Fitzgerald** preferred the Emerald Arborvitae not be out in the open to avoid splitting as a result of snow and ice. He concluded that overall, he felt it was a nice project.

Commissioner Fasolo said that he agreed with most of Staff comments. He felt the proposed brick color should be darker based on the rendering; however, after seeing the sample, he felt the brick color would work well with the building. He also felt the suggestion to change the trim color to match the 'khaki brown' siding color would be a good improvement, although he preferred the columns to remain white, and the trim around the windows and the shutters match the siding color. He pointed out that the muntins on the elevations appear more divided than on the rendering, which he felt should be reduced in half, per the elevations. He agreed with the suggestion to omit the single shutters, and although the louvers appear in good proportion on the gables, he felt the louvers on the brick were too tight up to the upper part of the roof. **Commissioner Fasolo** asked for clarification on the masonry piers between the fence in the courtyard, which appear to be all brick in the photo, but with a stone ledge on the rendering. The petitioner replied that the piers would be all masonry. **Commissioner Fasolo** also asked for clarification about the piers that support the columns in the interior of the courtyard, some of which appear to be stone and some brick. He felt the piers should be consistent. The petitioner stated that these piers would be all masonry; however, the piers at the front entry would include fiberglass columns and a stone ledge.

Acting Chair Eckhardt suggested using the same muntin spacing as shown in the photograph presented. He was in favor of the white windows and the brick color being proposed; however, he was not in favor of coloring the muntins in the windows. He supported Commissioner Fasolo's comments about the materials for the piers and columns and Commissioner Fitzgerald's comments about landscaping, as well as the shutter configuration. He preferred the fence be a different color than white, which was too harsh, and he felt the

round lovers on the elevations looked okay, although he was not opposed to lowering them one course of brick. He appreciated the changes that were made to the massing and the end gables.

Mr. Arenson summarized the commissioners' comments: leave the columns white; omit the single shutter; lower the louvers one brick course; change the fence color from white; change the window muntin spacing to six-over-six, if available from the manufacturer; windows and window trim to be all white; the brick color was acceptable as proposed; and substitute the Arborvitae with an upright evergreen species. **Mr. Arenson** also asked for clarification regarding directional signs they intend to propose and whether or not Staff preferred these signs to be monument style as well. **Mr. Hautzinger** reiterated that Staff would suggest a requirement that all ground signage associated with this project be monument style and not elevated on a post. **Mr. Arenson** replied that they were not opposed to this requirement.

Mr. Hautzinger asked for clarification regarding the commissioners' preference for the color of the shutters, which Staff suggested be either tan or a darker color to match the roof, especially if the windows remain white. **Commissioner Fitzgerald** preferred the shutters, trim, windows and columns to all be white, and he liked the idea of darker tones to pull in the roof. **Commissioner Fasolo** was in support of the color white for the shutters. **Acting Chair Eckhardt** was fine with either white or a dark color for the shutters. **Commissioner Fitzgerald** questioned the opposition to the fence being white, when most other details on the building would be white. **Acting Chair Eckhardt** felt the white color appeared to cheapen the overall appearance.

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO RECOMMEND APPROVAL OF THE PROPOSED ARCHITECTURAL DESIGN FOR AUTUMN LEAVES TO BE LOCATED AT THE NORTHEAST CORNER OF ARLINGTON HEIGHTS ROAD AND COUNCIL TRAIL. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE PLANS DATED AND RECEIVED 8/01/13, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

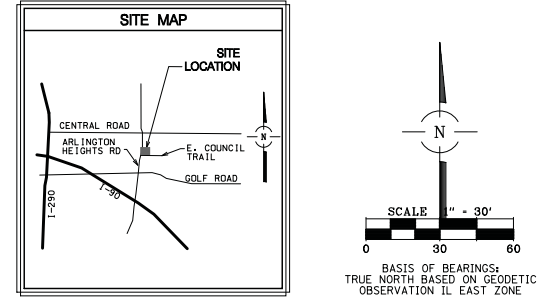
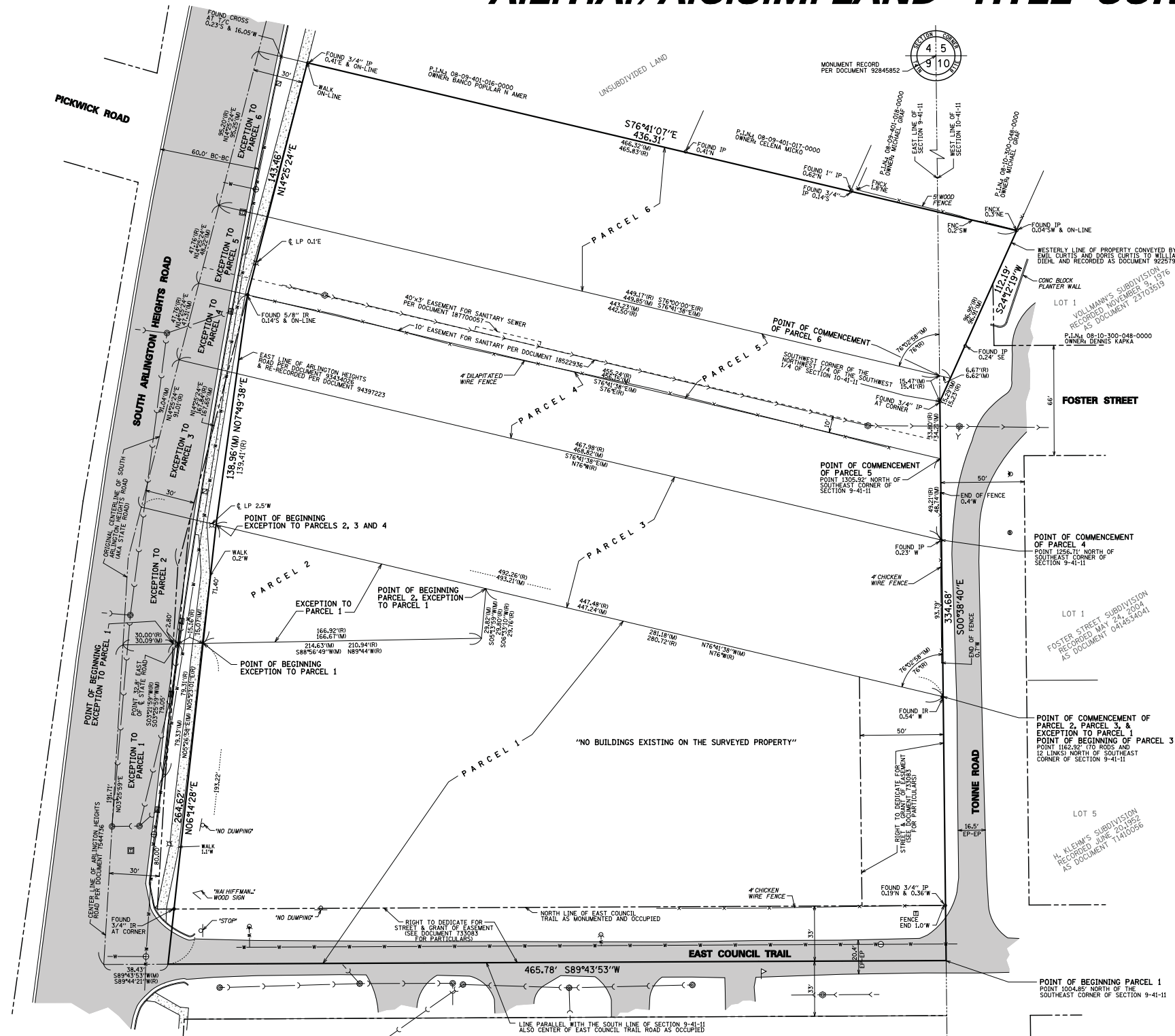
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3. A REQUIREMENT TO OMIT THE SHUTTERS ON THE 45-DEGREE SIDES IN THE FRONT.
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5. A REQUIREMENT THAT THE ROUND LOUVERS BE LOWERED ONE BRICK COURSE.
6. A REQUIREMENT TO ELIMINATE THE AUSTRIAN PINE AND CONSIDER WHITE SPIRE BIRCH, AND SUBSTITUTE THE ARBORVITAE EMERALD WITH A DIFFERENT SPECIES.
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Mr. Hautzinger commented that this project would continue on to the Plan Commission, who has final authority on landscaping, and he would suggest the motion be amended so that the requirements made regarding landscaping be recommendations to avoid conflict with the Plan Commission. **Commissioner Fitzgerald** replied that wanted to keep the landscaping comments as requirements and pointed out that the petitioner previously stated his support for the landscaping changes. He added that the requirement has to do with a mold spore attacking Austrian Pines and the expense involved in treating them without a 100% guarantee. **Mr. Patera** reiterated that he had no problem substituting the Austrian Pine.

**ECKHARDT, AYE; FITZGERALD, AYE; FASOLO, AYE.
ALL WERE IN FAVOR. THE MOTION CARRIED.**

A.L.T.A./A.C.S.M. LAND TITLE SURVEY

**PROPERTY DESCRIPTION:**

PARCEL, IS
SECTION 1, EAST OF THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 11,
EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID SECTION 9, TOWNSHIP 41 NORTH, RANGE 11, EAST
EAST LINE FROM THE SOUTHEAST CORNER OF SAID SECTION AND RUNNING THENCE NORTH ALONG SAID EAST
LINE TO THE SOUTHWEST CORNER OF SAID SECTION 10, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE THIRD
CORNER THENCE NORTH 76 DEGREES WEST TO THE CENTERLINE OF STATE ROAD THENCE SOUTHEAST ALONG
SAID CENTERLINE TO THE SOUTHWEST CORNER OF SAID SECTION 10, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE
SECTION THENCE EAST ALONG SAID PARALLEL LINE OF BEGINNING TO THE PLACE OF BEGINNING, EXCEPTING FROM SAID
SECTION 10, WHICH IS HERE DESCRIBED AS A CROOKED CORNER, THE SOUTHWEST CORNER OF SAID SECTION THENCE
NORTH 76 DEGREES WEST 24.67 FEET TO POINT OF BEGINNING THENCE SOUTH 69 DEGREES 10 MINUTE
WEST 100 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 9, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE
WESTERN EXTENSION OF THE SOUTHWEST CORNER ALONG SAID CENTER LINE OF ROAD TO ITS INTERSECTION WITH A
LINE DRAWN SOUTHERLY ALONG SAID COURSE TO THE POINT OF BEGINNING AND EXCEPTING FROM SAID TRACT THAT
PART THEREOF BY WHENCE SAID TRACT IS HEREBY CONVEYED TO THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT
OF LAND, BEING THE SOUTHWEST CORNER OF SAID SECTION 10, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE
SOUTHEASTERNLY ALONG SAID COURSE TO THE POINT OF BEGINNING AND EXCEPTING FROM SAID TRACT THAT
PART THEREOF BY WHENCE SAID TRACT IS HEREBY CONVEYED TO THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT
TO RDS AND 12 LINKS SOUTHERLY TO THE SOUTHEAST CORNER OF SAID SECTION THENCE NORTH 76 DEGREES WEST
11.44 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 10, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE
44 MINUTES WEST 210.04 FEET TO THE CENTER LINE OF ORIGINAL STATE ROAD THENCE EAST IN THE EAST
SECTION 10, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, 32 LINKS TO THE PLACE
THENCE SOUTHERLY TO THE POINT OF INTERSECTION WITH A LINE DRAWN THROUGH THE POINT OF BEGINNING
INTERSECTION BEING 80 FEET NORTHERLY OF THE NORTH LINE OF COUNCIL TRAIL, AS MEASURED ON SAID
SECTION 10, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING FROM SAID
FROM SAID TRACT THAT PART THEREOF CONVEYED TO THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT
OF LAND, BEING THE SOUTHWEST CORNER OF SAID SECTION 10, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE
THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN,
TO THE SOUTHWEST CORNER OF SAID SECTION 10, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE THIRD
TO RDS AND 12 LINKS RECORD NORTH OF THE SOUTHEAST CORNER OF SAID SECTION THENCE ON AN ASSUMED
COURSE OF 76 DEGREES WEST 100 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 10, TOWNSHIP 41
PROPERTY, 28.18 FEET THENCE SOUTH 50 DEGREES 13 MINUTES 59 SECONDS WEST 24.76 FEET THENCE SOUTH
DEGREES 14 MINUTES 28 SECONDS WEST 193.22 FEET TO THE CENTER OF COUNCIL TRAIL ROAD THENCE SOUTH
ALONG ARRLINGHTS ROAD AS DESIGNATED BY PLOT RECORDED JUNE 19, 1922 AS DOCUMENT NO. 7544376 THENCE
SOUTHWEST 28.18 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 10, TOWNSHIP 41 NORTH, RANGE 11, EAST
19.11 FEET THENCE NORTH 88 DEGREES 56 MINUTES 49 SECONDS EAST, 30.00 FEET THENCE SOUTH 03
DEGREES 14 MINUTES 28 SECONDS WEST 193.22 FEET TO THE CENTER OF COUNCIL TRAIL ROAD AND 30.00 FEET
EASTERLY OF THE CENTER LINE OF SAID ARRLINGHTS ROAD THENCE SOUTHWEST 28.18 FEET TO THE
SOUTHWEST CORNER OF SAID SECTION 10, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL
54 MINUTES 49 SECONDS EAST, 15.16 FEET TO THE POINT OF BEGINNING ALL IN COOK COUNTY, ILLINOIS.

PARCEL 2:
 PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS COMMENCING AT A POINT ON THE EAST LINE OF SECTION 9, WHICH IS 10 RODS AND 12 LINES NORTH OF THE SOUTHWEST CORNER OF SAID SECTION 9, NORTH 76 DEGREES WEST, 290.7 FEET TO A POINT ON THE BEGINNING OF THE SOUTH 6 DEGREES 10 MINUTES 10 SECONDS WEST, 100 FEET TO A POINT ON THE BEGINNING OF THE EAST LINE OF THE CENTER LINE OF STATE ROAD THENCE NORTHERLY ALONG SAID CENTER LINE OF ROAD TO ITS INTERSECTION WITH THE CENTER LINE OF THE EAST LINE OF SECTION 9, THENCE SOUTHWESTERLY ALONG SAID CENTER LINE OF ROAD TO THE CENTER LINE OF THE WEST LINE OF SECTION 9, THENCE SOUTHWESTERLY ALONG SAID COURSE TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PART THEREOF WHICH IS THE CENTER LINE OF THE EAST LINE OF SECTION 9, THENCE SOUTHWESTERLY ALONG THE ORIGINAL CENTER LINE OF STATE ROAD, AND RUNNING THENCE NORTHERLY TO THE INTERSECTION OF THE SAID CENTER TRACT AT A POINT 30 FEET EAST OF THE CENTER LINE OF ORIGINAL STATE ROAD IN COOK COUNTY, ILLINOIS.

PARCEL 3,
THAT PART OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 11 EAST, OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING A POINT ON THE EAST LINE OF SAID SECTION 9 THAT IS 1162.92 FEET ANGLE OF THE SOUTHEAST CORNER OF SAID SECTION; THENCE NORTHWESTERLY ON A LINE THAT FORMS AN ANGLE OF 76 DEGREES WITH SAID EAST LINE OF SAID SECTION 9, MEASURED FROM NORTH TO WEST, A DISTANCE OF 492.66 FEET TO THE POINT OF BEGINNING; THENCE ALONG THE LINE HEIGHTS THAT RUN NORTHERLY ALONG THE CENTER LINE OF SAID ROAD, 9.01 FEET, THENCE SOUTHEASTERLY PARALLEL TO THE FIRST DESCRIBED COURSE, A DISTANCE OF 467.98 FEET TO THE EAST LINE OF SAID SECTION 9; THENCE SOUTH 83.79 FEET TO THE PLACE OF BEGINNING, EXCEPT THEREFROM THE WESTERLY 30 FEET FALLING WITHIN ARLINGTON HEIGHTS' ROAD IN COOK COUNTY, ILLINOIS.

PARCEL 4:
THAT PART OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE EAST LINE SAID SECTION 9 THAT IS 1256.71 FEET NORTH OF THE SOUTHEAST CORNER OF SAID SECTION; THENCE NORTH 76 DEGREES WEST, 467.98 FEET TO THE CENTER OF ARRLINGTON HEIGHTS ROAD; THENCE NORTHEASTERLY ALONG THE CENTER OF SAID ROAD, 176.17 FEET; THENCE SOUTH 76 DEGREES EAST, 455.24 FEET TO THE EAST LINE OF SAID SECTION 9; THENCE SOUTH 49.21 FEET TO THE PLACE OF BEGINNING, EXCEPT THEREFROM THE WESTERLY 30 FEET FALLING WITHIN ARRLINGTON HEIGHTS ROAD IN COOK COUNTY, ILLINOIS.

EXCEPTING FROM SAID PARCELS 2, 3, 4, AND 4, THAT PART THEREOF DESCRIBED TO THE PEOPLE OF THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION, BY DOCUMENT NO. 9345002, AS FOLLOWS: THAT THE PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE EAST LINE OF SAID SECTION 9, 1/2 MILE SOUTH OF THE NORTH LINE OF SAID SECTION 9, AND PROCEEDING THENCE S 89° 58' 00" E 1/4 MILE TO A POINT OF BEGINNING, THENCE S 89° 58' 00" E 1/4 MILE TO AN ASSUMED BEARING OF NORTH 76 DEGREES 41 MINUTES 39 SECONDS WEST, 447.48 FEET TO AN ANGLE POINT, THENCE N 76 DEGREES 41 MINUTES 39 SECONDS WEST, 15.16 FEET TO AN ANGLE POINT, THENCE SOUTH 88 DEGREES 46 MINUTES 49 SECONDS WEST, 15.16 FEET TO AN ANGLE POINT, SOUTH 00 DEGREES 07' MINUTES 41 SECONDS EAST, 46.83 FEET TO AN ANGLE POINT, THENCE NORTH 14 DEGREES 25 MINUTES 24 SECONDS EAST, 139.41 FEET TO AN ANGLE POINT, THENCE NORTH 49 DEGREES 49 MINUTES 39 SECONDS WEST, 139.41 FEET TO THE POINT OF BEGINNING, ALL IN COOK COUNTY, ILLINOIS.

PARCEL 5A, PARTS OF SECTIONS 3 AND SECTION 10, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE EAST LINE OF SECTION 9, THAT IS 1305.92 FEET NORTH OF THE SOUTHEAST CORNER OF SAID SECTION, THENCE NORTH 76 DEGREES 00 MINUTES 00 SECONDS EAST, 1305.92 FEET TO THE EAST LINE OF SECTION 10, THENCE EAST 100 FEET TO THE EAST LINE OF SECTION 9, THENCE ALONG THE CENTER OF SAID ROAD, 47.67 FEET; THENCE SOUTH 76 DEGREES 00 MINUTES 00 SECONDS EAST, 1305.92 FEET TO A POINT ON THE WESTERN LINE OF THE PROPERTY OWNED BY EMIL CURTIS AND DORIS CURTIS, THENCE ALONG SAID WESTERN LINE OF THE PROPERTY OWNED BY EMIL CURTIS AND DORIS CURTIS, 152.35 FEET TO THE EAST LINE OF SAID SECTION 9; THENCE SOUTH 33.80 FEET TO THE PLACE OF BEGINNING; EXCEPT THEREFROM THE WESTERLY 30 FEET FALLING WITHIN ARLINGTON HEIGHTS ROAD IN COOK COUNTY, ILLINOIS.

PARCELS 6, 7 AND 8 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 9 AND THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 10, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, COOK COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE WEST LINE OF SECTION 10 THAT IS 100 FEET NORTH OF THE CORNER OF THE SECTION 9-10-41-11-3E; THENCE SOUTHWESTERLY ALONG SAID LINE OF SECTION 10 TO A POINT RUNNING THENCE NORTHEASTLY TO A STRAIGHT LINE THAT FORMS AN ANGLE OF 76 DEGREES WITH SAID LINE OF SECTION 10; THENCE SOUTHWESTERLY ALONG SAID STRAIGHT LINE A DISTANCE OF 442.50 FEET TO THE CENTER LINE OF ARLINGTON HEIGHTS ROAD; THENCE NORTHEASTLY ALONG SAID CENTER LINE OF ARLINGTON HEIGHTS ROAD A DISTANCE OF 100 FEET TO A POINT ON SAID CENTER LINE OF ARLINGTON HEIGHTS ROAD; A DISTANCE OF 466.93 TO A POINT ON THE WESTERN LINE OF THE PROPERTY OWNED BY EMIL COOK; THENCE SOUTHWESTERLY ALONG SAID WESTERN LINE OF THE PROPERTY OWNED BY EMIL COOK A DISTANCE OF 100 FEET TO A POINT ON SAID WESTERN LINE OF THE PROPERTY OWNED BY EMIL COOK; THENCE SOUTHWESTERLY ALONG SAID LINE OF A DISTANCE OF 96.36 FEET TO A POINT ON A LINE FIRST COURSE OF SAID WESTERN LINE OF THE PROPERTY OWNED BY EMIL COOK; THENCE SOUTHWESTERLY ALONG SAID LINE OF A DISTANCE OF 100 FEET TO A POINT ON SAID LINE OF SECTION 10; THEREAFTER THE WESTERLY 30 FEET FALLING WITHIN ARLINGTON HEIGHTS ROAD IN COOK COUNTY, ILLINOIS.

LEGEND

	STORM SEWER		SANITARY MANHOLE		TRAFFIC SIGNAL
	SANITARY SEWER		STORM MANHOLE		TRAFFIC SIGNAL BOX
	COMBINED SEWER		CATCH BASIN		MANHOLE HEAD
	WATER MAIN		INLET		BLDG
	GAS MAIN		FLARED GAS SECTION		SEWER
	UNDERGROUND TELEPHONE LINE		ELECTRIC MANHOLE		UNDEFINED MANHOLE
	UNDERGROUND ELECTRIC LINE		TELEPHONE MANHOLE		ASPHALT
	UNDERGROUND C&V LINE		TELEPHONE UPFRONT		CONCRETE
	OVERHEAD WIRE ON UTILITY POLES		CABLE TO UPFRONT		DRIVEWAY
	PO - OPTIC LINE		FIRE HYDRANT		BACK OF YARD
	RAILROAD		WATER VALVE		EDGE OF PAVEMENT
	FENCE		AIR VALVE		IRON ROD
	SUBSIGNAL		BELL VALVE		MEASURED
			GAS VALVE		RECORD
			HAND VALVE		FENCE CORNER
			STREET LIGHT (LAMP)		
			UTILITY POLE		

STATE OF ILLINOIS)

STATE OF ILLINOIS)
COUNTY OF COOK) SS

TO: FIDELITY NATIONAL TITLE INSURANCE COMPANY
AND TO: THE LASALLE GROUP, INC.
AND TO: PB IL OREO, LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM AND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 11(a), 13 AND 14 OF TABLE "A" THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 7, 2013.

GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____, 20____ IN
ROSEMONT, ILLINOIS.

JERRY P. CHRISTOPH, I.P.I.S. No. 035-3540

LICENSE EXPIRES: 11-30-2014
jchristoph@spacecoino.com

(VALID ONLY IF EMBOSSED SEAL AFFIXED)

REVISIONS:

**CONSULTING ENGINEERS**

SITE DEVELOPMENT ENGINEERS

LAND SURVEYORS

DOI: 10.1002/for

575 W. Higgins Road, Suite 700
Rosemont, Illinois 60018

DATE: 6/03/2013

JOS. NO. 7467

JOB NO: 7467

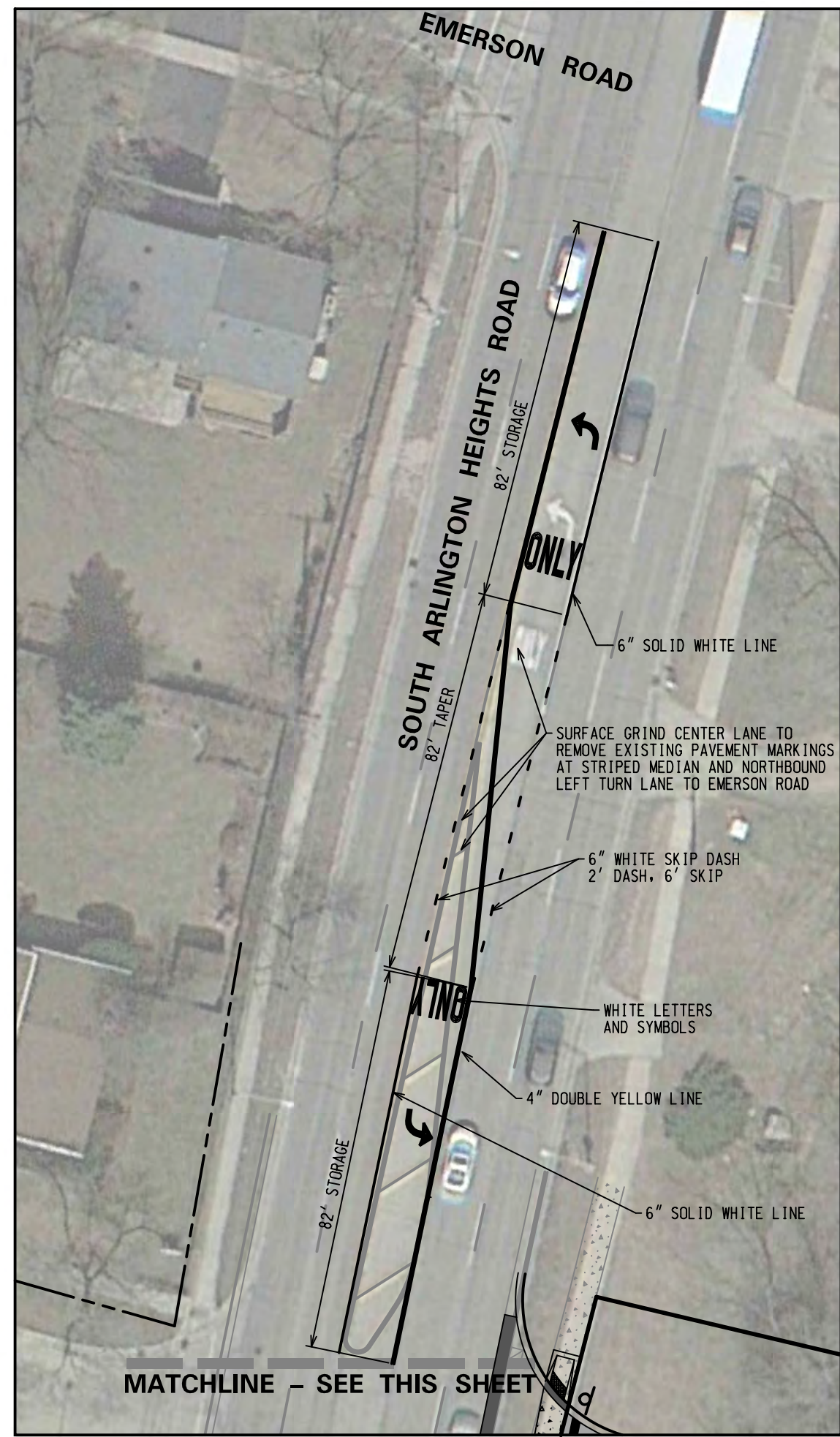
FILENAME:
7467AL TA-01

QUEST

SHEET
1 OF 1

PREPARED FOR:
LASALLE GROUP
1900 EAST GOLF ROAD, SUITE 1120
SCHAUMBURG, IL 60173

FOR REVIEW
PURPOSES ONLY

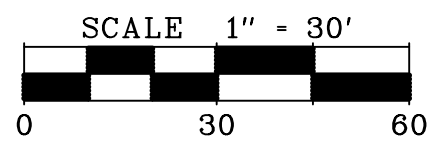
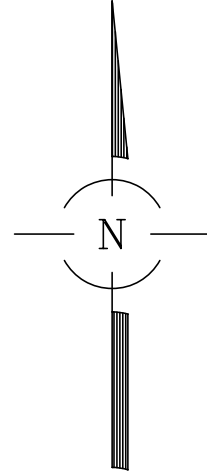


MATCHLINE - SEE ARLINGTON HEIGHTS ROAD STRIPING INSERT (THIS SHEET)

PICKWICK ROAD

SOUTH ARLINGTON HEIGHTS ROAD

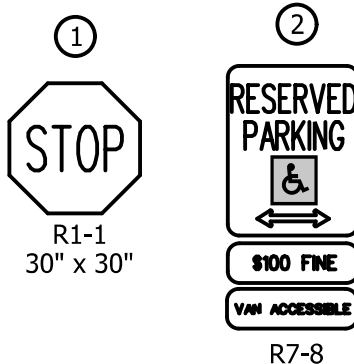
TOWNE ROAD



LEGEND

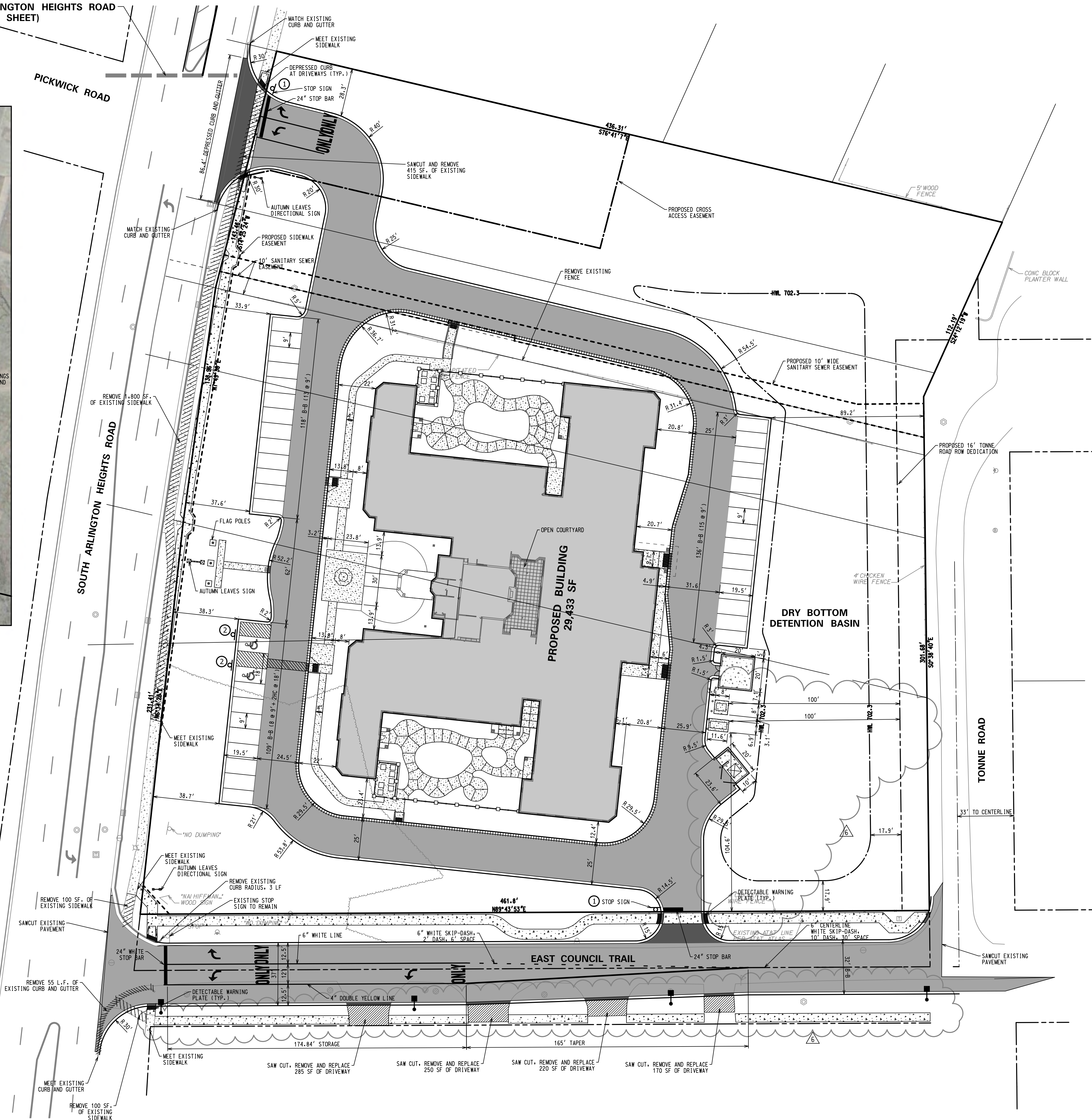
- EAST COUNCIL TRAIL PAVEMENT (FULL DEPTH PAVEMENT REMOVAL AND REPLACEMENT)
- HEAVY DUTY PAVEMENT
- CONCRETE PAVEMENT OR APRON
- CONCRETE SIDEWALK
- CONCRETE SIDEWALK HC RAMP (5' WIDE UNLESS NOTED) WITH DETECTABLE WARNING PLATE (EAST JORDAN IRON WORKS 24"X24" OR APPROVED EQUAL)
- REVERSE PITCH CURB
- DEPRESSED CURB & GUTTER

SIGN LEGEND:



NOTES:

- ALL CURB AND GUTTER IS B6.12 STANDARD PITCH UNLESS NOTED OTHERWISE.
- ARLINGTON HEIGHTS ROAD STRIPING SHALL BE THERMOPLASTIC. ALL OTHER STRIPING SHALL BE PAINT.



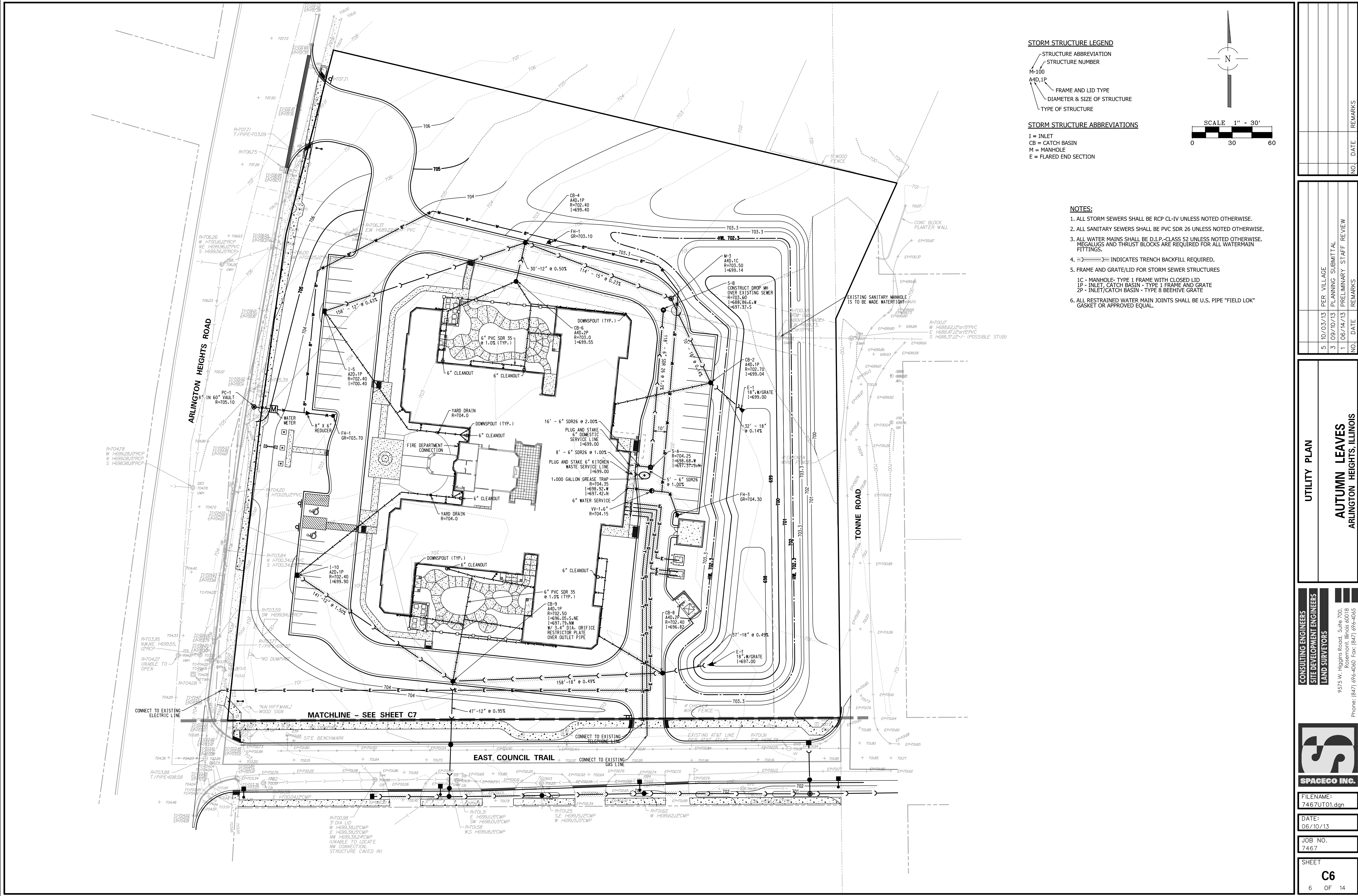
GEOMETRIC PLAN

AUTUMN LEAVES
ARLINGTON HEIGHTS, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS



FILENAME:
7467GM01.dgn
DATE:
06/10/13
JOB NO.
7467
SHEET
C4
4 OF 14

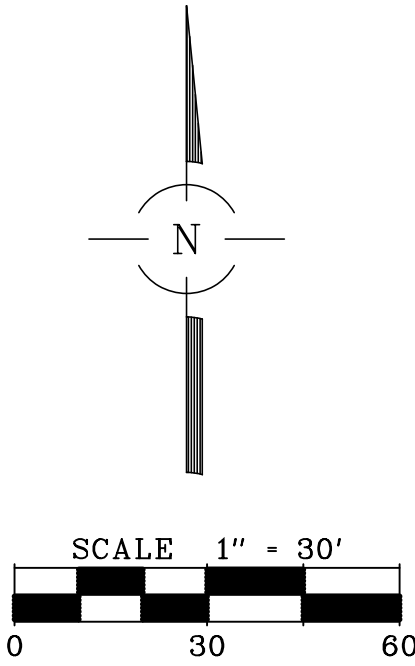


STORM STRUCTURE LEGEND

- STRUCTURE ABBREVIATION
- STRUCTURE NUMBER
- M-100
- A4D,1P
- FRAME AND LID TYPE
- DIAMETER & SIZE OF STRUCTURE
- TYPE OF STRUCTURE

STORM STRUCTURE ABBREVIATIONS

- I = INLET
- CB = CATCH BASIN
- M = MANHOLE
- E = FLARED END SECTION



NOTES:

- ALL STORM SEWERS SHALL BE RCP CL-IV UNLESS NOTED OTHERWISE.
- ALL SANITARY SEWERS SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE.
- ALL WATER MAINS SHALL BE D.I.P.-CLASS 52 UNLESS NOTED OTHERWISE. MEAGALLS AND THRUST BLOCKS ARE REQUIRED FOR ALL WATERMAIN FITTINGS.
- INDICATES TRENCH BACKFILL REQUIRED.
- FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES
 - 1C - MANHOLE - TYPE 1 FRAME WITH CLOSED LID
 - 1P - INLET, CATCH BASIN - TYPE 1 FRAME AND GRATE
 - 2P - INLET/CATCH BASIN - TYPE 8 BEEHIVE GRATE
- ALL RESTRAINED WATER MAIN JOINTS SHALL BE U.S. PIPE "FIELD LOK" GASKET OR APPROVED EQUAL.

NO.	DATE	REMARKS

NO.	DATE	REMARKS
5	10/03/13	PER VILLAGE
3	09/10/13	PLANNING SUBMITTAL
1	06/14/13	PRELIMINARY STAFF REVIEW

NO.	DATE	REMARKS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

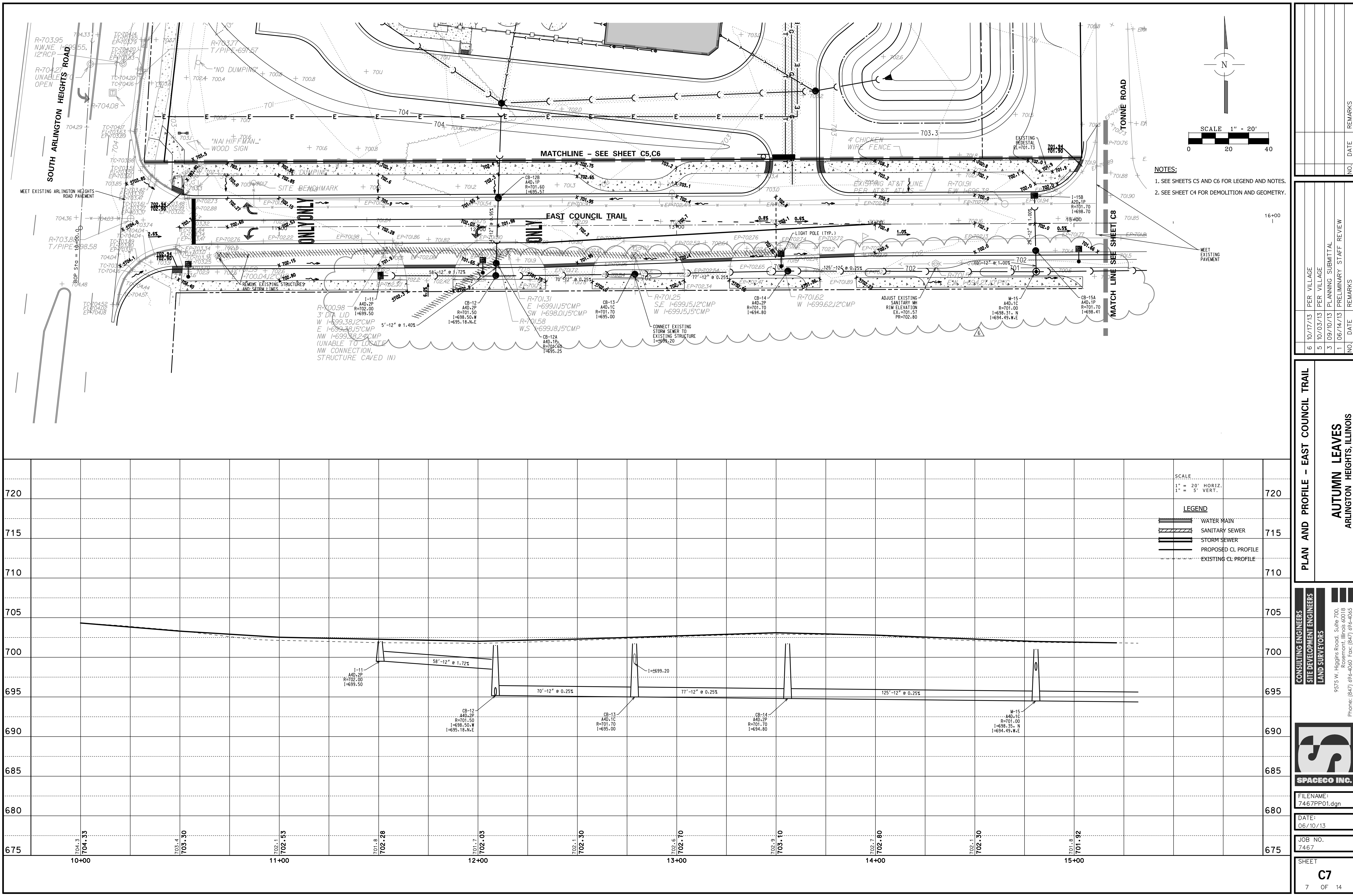
SPACECO INC.

FILENAME:
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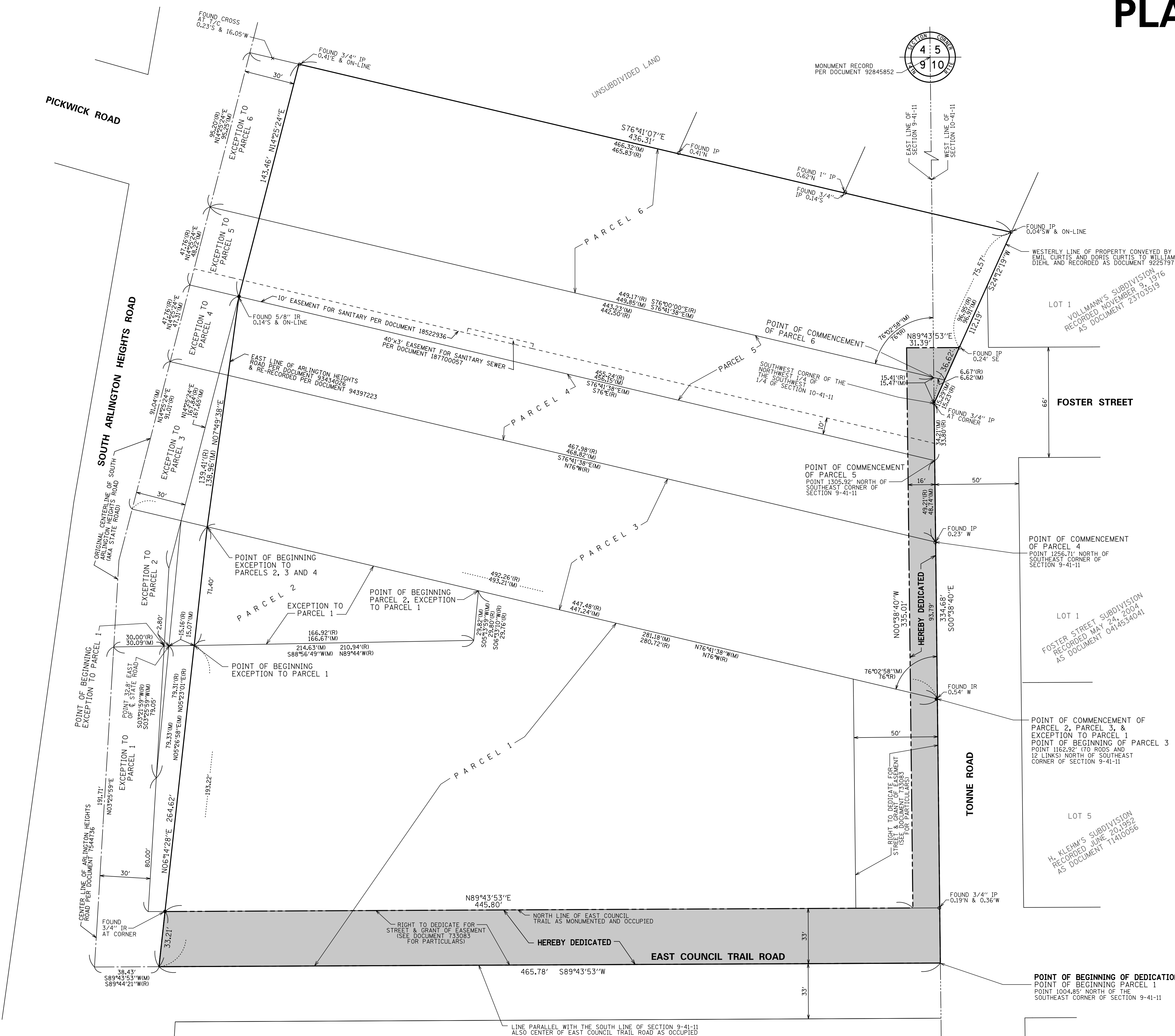
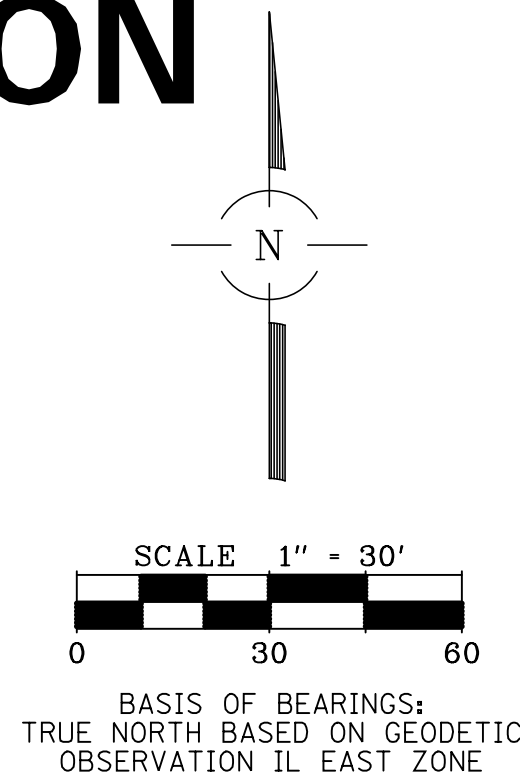
DATE:
06/10/13

JOB NO.
7467

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C6
6 OF 14



PLAT OF DEDICATION

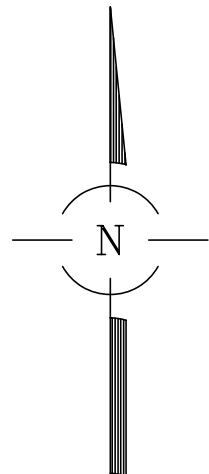


PREPARED FOR:
LASALLE GROUP
1900 EAST GOLF ROAD, SUITE 1120
SCHAUMBURG, IL 60173

FOR REVIEW
PURPOSES ONLY

REVISIONS:		CONSULTING ENGINEERS	DATE: 10/03/2013
		SITE DEVELOPMENT ENGINEERS	JOB NO: 7467
		LAND SURVEYORS	FILENAME: 7467DED-01
		SHEET	1 OF 2
		9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 696-4060 Fax: (847) 696-4065	

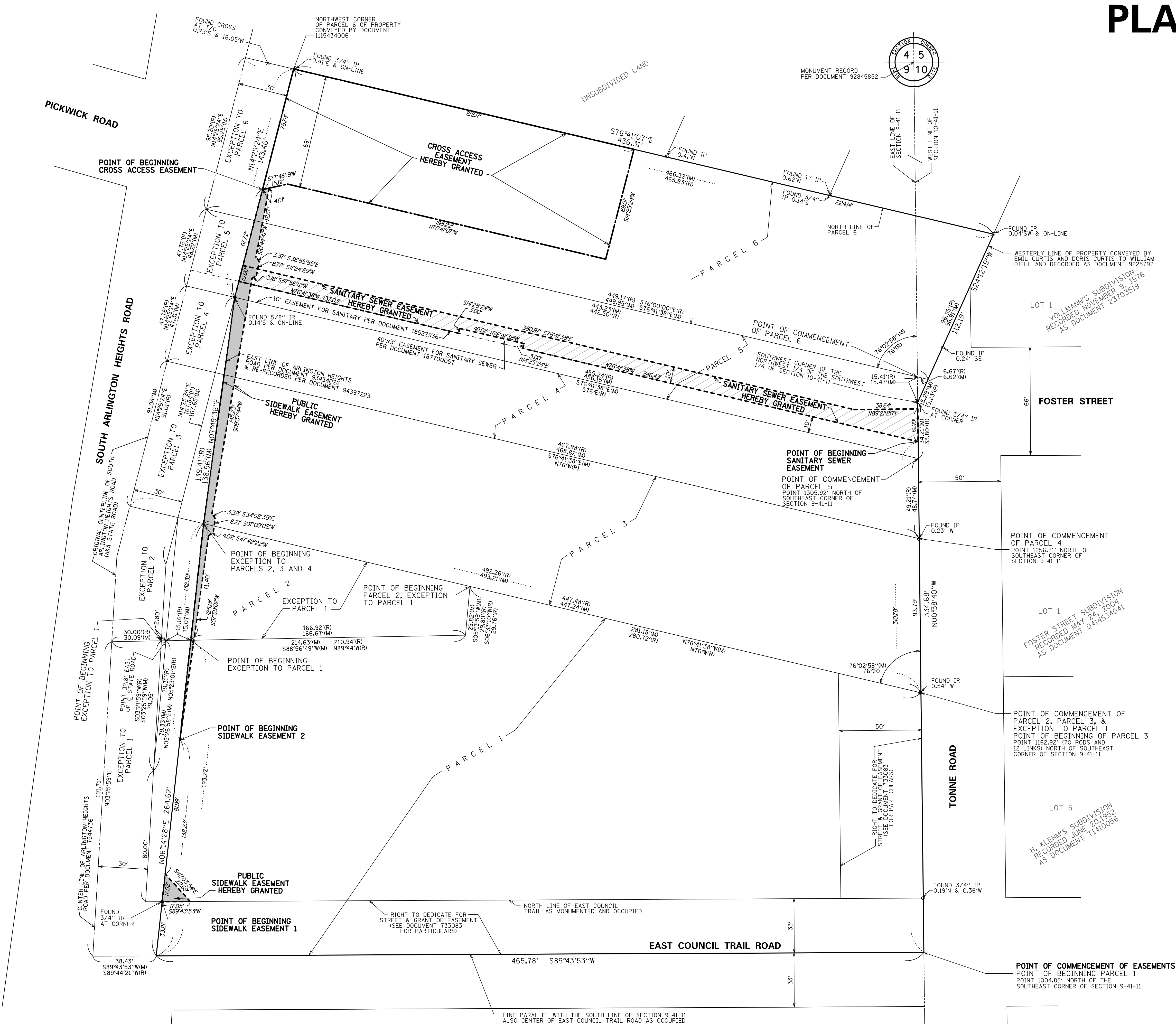
PLAT OF EASEMENT



SCALE 1" = 30'

0 30 60

BASIS OF BEARINGS:
TRUE NORTH BASED ON GEODETIC
OBSERVATION IL EAST ZONE



PREPARED FOR:
LASALLE GROUP
1900 EAST GOLF ROAD, SUITE 1120
SCHAUMBURG, IL 60173

FOR REVIEW
PURPOSES ONLY

REVISIONS:	



CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS	DATE: 10/03/2013
	JOB NO: 7467
	FILENAME: 7467EASE-01
	SHEET 1 OF 2

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065



**SAS
ARCHITECTS
& PLANNERS**

630 DUNDEE ROAD
NORTHBROOK, ILLINOIS 60062
847-564-8333 • FAX 847-564-9989

ARCHITECTS



The LaSalle Group, Inc.
545 E. John Carpenter Freeway, Suite 545
Las Colinas, Texas 75082
214-239-8400 • FAX 214-239-8401

**AUTUMN LEAVES
ASSISTED LIVING**
ARLINGTON HEIGHTS, ILLINOIS



SITE LANDSCAPE PLAN

NO.	DESCRIPTION	DATE
PLANNING SUBMITTAL		09-10-13
REISSUED		10-04-13

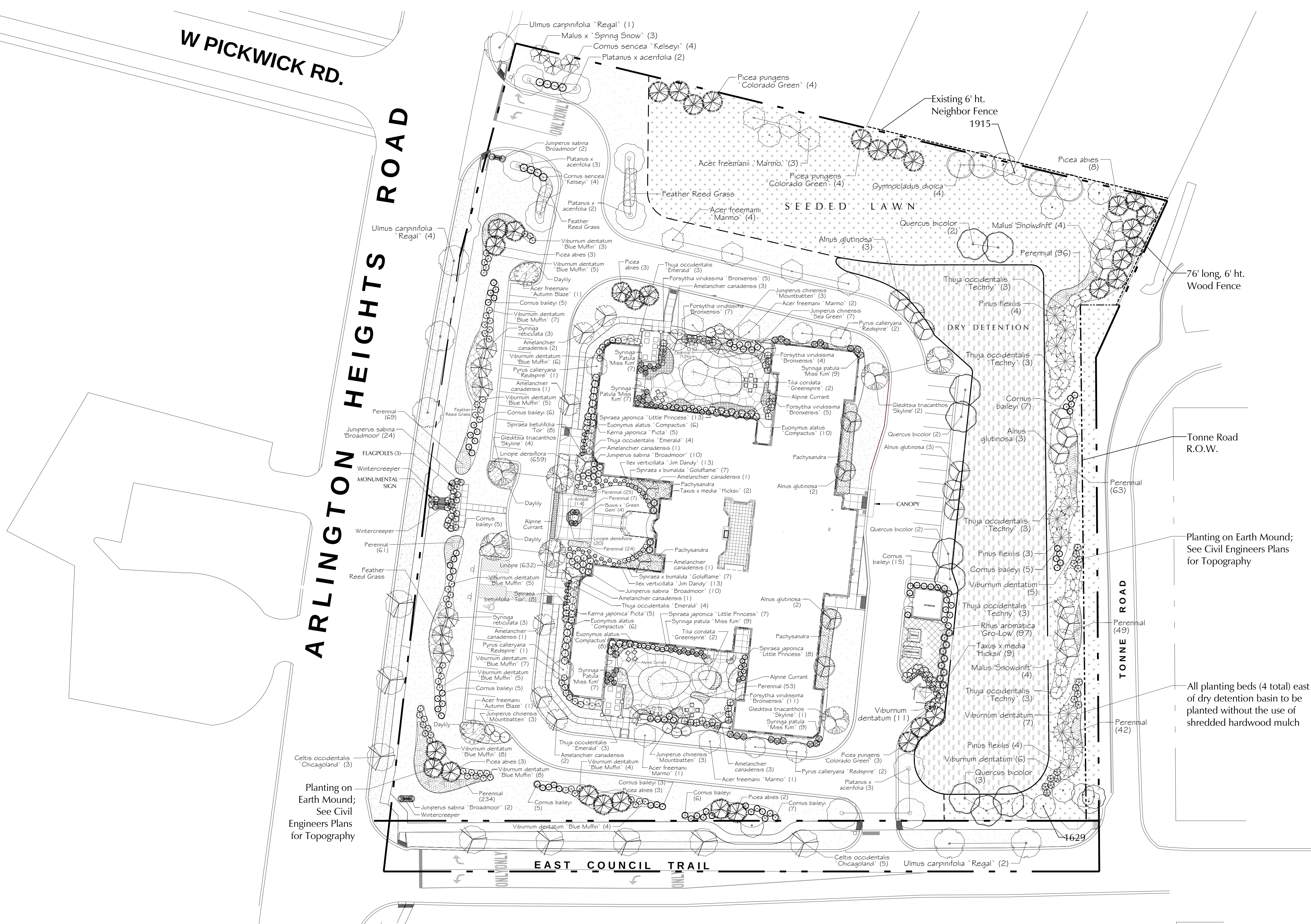
REVISIONS
SIGNATURE



DRAWN BY	APPROVED BY
DF	NP
JOB NO.	DATE
12113	08-01-2013
SHEET NO.	

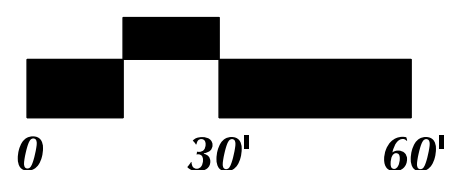
L-2

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***See L3 for Plant Schedule and Landscape Notes**

LANDSCAPE PLAN



NOT FOR CONSTRUCTION

GENERAL LANDSCAPE NOTES:

1. Prior to commencement of any construction activities, contractor shall notify J.U.L.I.E. (800) 892-0123 to determine the location of any underground utilities, which may affect proposed site work. Contractor shall notify the Landscape Architect immediately of any discrepancies, obstacles and/or problems.
2. Verification of dimensions and grades, both existing and proposed, shall be the contractor's responsibility prior to commencement of work. The contractor shall notify the Landscape Architect of any discrepancies.
3. All surface drainage shall be directed away from structures. surface drainage shall be directed to existing catch basins designated for the collection of surface run-off.
4. Plant material sizes shown on plant schedule are minimum acceptable sizes. All plant material shall be of specimen quality. No 'park grade' material will be accepted.
5. All plant material shall be obtained from an approved Northern Illinois nursery with heavy clay soils.
6. All plant material shall conform to American Standard for nursery stock as sponsored by the American Association of Nurserymen and approved by the American National Standards Institute, Inc. (ANSI)
7. If specified species and/ or quality of plants are not available at the time of ordering, the Landscape Architect, at his/her discretion, may substitute similar plants with the same wholesale value.
8. All plants to be balled in burlap as specified in plant schedule. All plastic root wrapping material and metal. Wire baskets shall be removed.
9. Soil to be used for the planting medium for the project shall be fertile, well-drained, of uniform quality, free of stones over 1" in diameter, sticks, oils, chemicals, plaster, concrete and other deleterious material.
10. All landscape materials shall be installed in accordance with all applicable codes and ordinances.
11. All landscape materials shall be installed in conformance with the accepted industry's standard 'best practice' techniques as identified by the Illinois Landscape Contractors Association (ILCA).
12. The owner and/or Landscape Architect reserves the right to reject any plant material in poor condition/ form or not installed according to 'best practice' techniques.
13. The landscape contractor shall prepare planting beds by adding soil amendments to topsoil mix in the following quantities: topsoil mix for trees & shrubs shall be three (3) parts topsoil, one (1) part peat, and one (1) part sand.
14. All tree & shrub plantings to receive 4" of shredded hardwood mulch unless otherwise noted.
15. Contractor shall water plants immediately after planting. Flood plants twice during first twenty-four hours after planting.
16. All road and walk surfaces shall be kept clear of mud and debris at all times.
17. Contractor shall repair in kind any areas damaged as a result of landscape operations.
18. Guarantee specifications are as follows: the contractor shall provide the owner with a bonded written two-year warranty agreement beginning on the first day of the owner's possession. This agreement shall provide for the replacement of dead or dying plant material. The contractor shall provide the owner with a typewritten list of specific maintenance instructions for each type of plant installed with the written agreement and bond.
19. Perennial planting areas shall use mushroom compost, screened and mixed with hardwood fines to use as a soil amendment. Composted twice to lower pH, leach out salts, and stabilize the product.
20. Tree wrapping - burlap need to be removed from the top 1/3 - 1/2, see tree wrapping detail.
21. Landscape material shall not be located closer than ten (10) feet to a fire hydrant, transformer, or other above ground utilities.
22. Revisions to the landscape plan require review and approval from the Village Landscape Architect.
23. As part of this scope of services the Contract shall provide for an Automatic Underground Irrigation System, upon award of Bid a complete shop drawing and equipment submittal shall be prepared to identify a zoned lawn and shrub irrigation of all planting areas including the parking lot planter containers.
24. Detention area maintenance shall consist of regular mowing, at least once per month, during growing season.

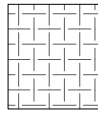
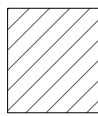
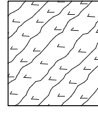
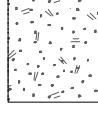
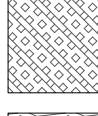
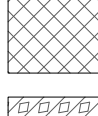
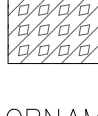
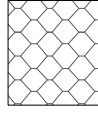
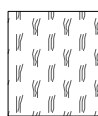
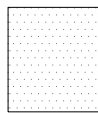
IRRIGATION NOTES:

1. Upon award of bid irrigation contractor shall provide an irrigation plan showing complete head, line and valve layout for an automatic underground system.
2. Coordinate irrigation installation with planting plan and site conditions to provide complete coverage with minimum overspray. The irrigation contractor shall make minor adjustments to ensure proper coverage at no additional cost to the owner.
3. Confirm static water pressure of 60 psi at least 7 days before beginning work. If static water pressure is less than stated above, do not proceed until directed so by the Landscape Architect.
4. The irrigation contractor will secure all required permits and pay all associated fees unless otherwise noted. All local codes shall prevail over any discrepancies herein.
5. Lateral pipe shall be installed at a minimum depth of 12 inches. Mainline pipe and wires shall be installed at a minimum depth of 18 inches.
6. Unsleeved pipes may be shown under pavement for graphic clarity only. Install these pipes in adjacent landscaped areas.
7. Electric power shall be provided within five feet of controller location by general contractor. L.L.C. to provide final hard-wire to controller.
8. 24 volt valve wire shall be a minimum of #14 gauge, U.F. approved for direct burial, single conductor "irrigation wire". Wire splices shall be encased in a waterproof compound or gel. All field splices shall be located in a round valve box of sufficient size to allow inspection.
9. Valve boxes shall be installed flush with grade, supported by bricks if needed, with 3 inches of clean pea gravel located below the valve. Use 10" round valve boxes for electric valves and quick coupling valves unless noted otherwise. D.C.A. shall be boxed according to local codes.
10. Use rigid PVC swing joint assemblies to connect all rotary heads and quick couplers.
11. All spray heads shall be connected with a 12" minimum length of 1/2" flex PVC. The flex PVC shall be solvent welded to schedule 40 PVC fittings with weld-on #795 solvent and #P-70 primer.
12. Provide two quick coupler keys with swivel hose ells.
13. Contractor is to contact appropriate authorities and locate all utilities prior to construction.
14. If static water pressure at outlet of RPZ is less than 50 PSI, irrigation contractor shall provide an incline booster pump to increase pressure.

EXISTING TREE NOTES:

1. Existing Trees that are along the outer north and west property boundary lines shall remain and be protected by placing a 42" high wood lath or plastic fence at the canopy drip-line during the site grading and construction duration.
2. The property line trees which are overhanging on the subject site property within this zone shall be selectively thinned, pruned and trimmed under direction of a Certified Arborist tree specialist.
3. Trees within the project property that are damaged, broken, diseased, leaning or dead shall be removed.
4. Trees that are outside or on the property line shall remain but overhanging branches shall be thinned, trimmed or pruned to achieve corrective form.

PLANT SCHEDULE

TREES	QTY	COMMON NAME / BOTANICAL NAME	SIZE	GROUND COVERS	QTY	COMMON NAME / BOTANICAL NAME	CONT
	2	Autumn Blaze Maple / Acer freemanii 'Autumn Blaze'	4"		1 flat	Annual Mix / Seasonal Color	flat @ 36" oc
	11	Marmo Freeman Maple / Acer freemanii 'Marmo'	4"		98	Winter Creeper / Euonymus fortunei 'Colorata'	2.25 pot 10" o.c.
	8	Common Hackberry / Celtis occidentalis 'Chicagoland'	4"		900	Day Lily / Hemerocallis lilioasphodelus	flat @ 12" oc
	7	Skyline Honey Locust / Gleditsia triacanthos 'Skyline'	4"		1,311	Lilyturf / Liriope densiflora	#1 cont @ 8" oc
	4	Kentucky Coffee Tree / Gymnocladus dioica	4"		1,906	Pachysandra / Pachysandra terminalis 'Green Carpet'	2.25" pot @ 10" oc
	10	London Plane Tree / Platanus xacerifolia	4"		894	Perennial Mix: (149 – Yarrow Coronation Gold; 149 – Geranium macrorhizum; 149 – Hosta; 149 – Heuchera; 149 – Rudbeckia; 149 – Echinacea)	#1 cont @ 18" oc
	9	Swamp White Oak / Quercus bicolor	4"		98	Gro-Low Sumac / Rhus aromatica 'Gro-Low'	1 gal @ 30" oc
	14	Techny Arborvitae / Thuja occidentalis 'Emerald'	8' ht.		346	Alpine Currant / Ribes	#1 cont @ 18" oc
	15	Techny Arborvitae / Thuja occidentalis 'Techny'	6' ht	<u>ORNAMENTAL GRASS</u>		<u>COMMON NAME / BOTANICAL NAME</u>	<u>CONT</u>
	4	Greenspire Littleleaf Linden / Tilia cordata 'Greenspire'	4"		264	Karl Foerster Feather Reed Grass Calamagrostis arundinacea 'Karl Foerster'	3 gal @ 24" oc
	6	Regal Elm / Ulmus carpinifolia 'Regal'	4"	<u>SEED MIX</u>	<u>QTY</u>	<u>COMMON NAME / BOTANICAL NAME</u>	<u>CONT</u>
	9	Mountbatten Juniper / Juniperus chinensis 'Mountbatten'	8' ht		22,028 sf	Stormwater Seed Mix / Stormwater Seed Mix Clesen Retention Mix (D) or equivalent 70% Kentucky 31 Tall Fescue 30% Perennial Ryegrass	seed Arthur Clesen 708.444.2177 805 W 186 St Tinley Park, IL 60477
	22	Norway Spruce / Picea abies	10' ht	<u>SOD/SEED</u>	<u>QTY</u>	<u>COMMON NAME / BOTANICAL NAME</u>	<u>CONT</u>
	11	Colorado Green Spruce / Picea pungens 'Colorado Green'	10' ht		39,406 sf	Seed / Seed	seed
	11	Limber Pine / Pinus flexilis	10' ht				
<u>ORNAMENTAL</u>	<u>QTY</u>	<u>COMMON NAME / BOTANICAL NAME</u>	<u>SIZE</u>				
	13	European Alder / Alnus glutinosa	10' ht				
	16	Shadblow Serviceberry / Amelanchier canadensis	6' ht				
	9	Snowdrift Crabapple / Malus 'Snowdrift'	6' ht				
	3	Spring Snow Crab Apple / Malus x 'Spring Snow'	2.5"				
	6	Redspire Gallery Pear / Pyrus calleryana 'Redspire'	2.5"				
	6	Japanese Tree Lilac / Syringa reticulata	6' ht				
<u>SHRUBS</u>	<u>QTY</u>	<u>COMMON NAME / BOTANICAL NAME</u>	<u>SIZE</u>				
	4	Green Gem Boxwood / Buxus x 'Green Gem'	30"h				
	67	Red-twig Dogwood / Cornus baileyi	30"h				
	8	Kelseyi Dogwood / Cornus sericea 'Kelseyi'	30"h				
	30	Compact Burning Bush / Euonymus alatus 'Compactus'	36"h				
	32	Bronx Forsythia / Forsythia viridissima 'Bronxensis'	24"h				
	26	Jim Dandy Winterberry / Ilex verticillata 'Jim Dandy'	30"h				
	12	Sea Green Juniper / Juniperus chinensis 'Sea Green'	24"h				
	48	Broadmoor Juniper / Juniperus sabina 'Broadmoor'	18"h				
	10	Japanese Kerria / Kerria japonica 'Picta'	24"h				
	16	Birchleaf Spirea / Spiraea betulifolia 'Tor'	24"				
	28	Little Princess Spirea / Spiraea japonica 'Little Princess'	24"h				
	14	Goldflame Spirea / Spiraea x bumalda 'Goldflame'	24"				
	49	Miss Kim Lilac / Syringa patula 'Miss Kim'	30"h				
	13	Hicks Yew / Taxus x media 'Hicksii'	36"h				
	27	Arrowwood Viburnum / Viburnum dentatum	36"h				
	67	Blue Muffin Arrowwood Viburnum / Viburnum dentatum 'Blue Muffin'	36"h				

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AUTUMN LEAVES
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ILLINOIS
ARLINGTON HEIGHTS



PLANTING NOTES AND SCHEDULE

NO.	DESCRIPTION	DATE
	PLANNING SUBMITTAL	09-10-13
	REISSUED	10-04-13

REVISIONS

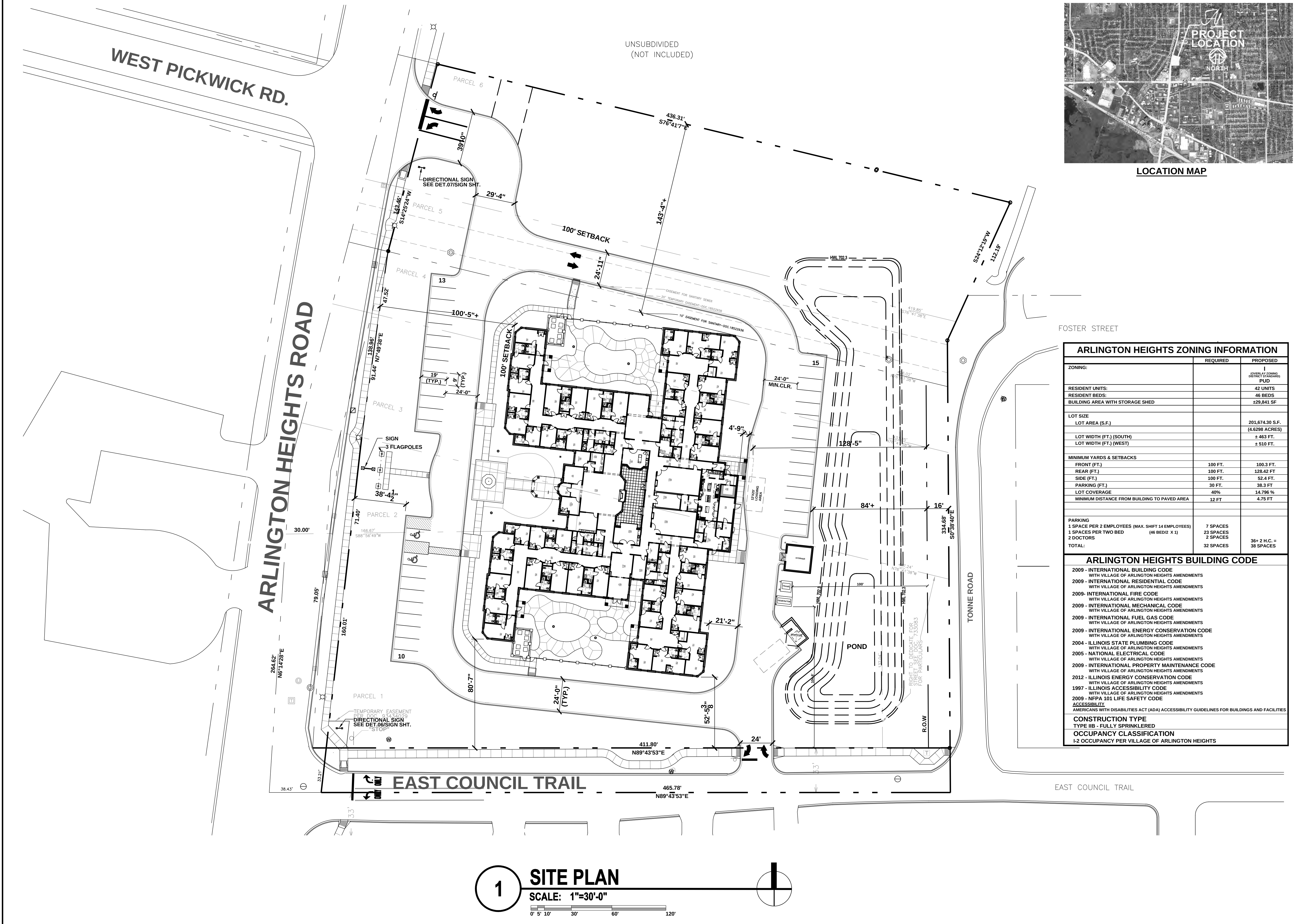
SIGNATURE



Community Planning Development Economics
Site Design Landscape Architecture
627 Cross Street
Arlington Heights, Illinois 60015
Tel: 847-940-2015
Fax: 847-940-2015

DRAWN BY	APPROVED BY
DF	NP
JOB NO.	DATE
12113	08-01-2013
SHEET NO.	

L-3



ARLINGTON HEIGHTS ZONING INFORMATION		
ZONING:	REQUIRED	PROPOSED
RESIDENT UNITS:		42 UNITS
RESIDENT BEDS:		46 BEDS
BUILDING AREA WITH STORAGE SHED		±29,841 SF
LOT SIZE		201,674.30 S.F.
LOT AREA (S.F.)		(4.6298 ACRES)
LOT WIDTH (FT.) (SOUTH)		± 463 FT.
LOT WIDTH (FT.) (WEST)		± 510 FT.
MINIMUM YARDS & SETBACKS		
FRONT (FT.)	100 FT.	100.3 FT.
REAR (FT.)	100 FT.	128.42 FT.
SIDE (FT.)	100 FT.	52.4 FT.
PARKING (FT.)	30 FT.	38.3 FT.
LOT COVERAGE	40%	14.796 %
MINIMUM DISTANCE FROM BUILDING TO PAVED AREA	12 FT	4.75 FT
PARKING		
1 SPACE PER 2 EMPLOYEES (MAX. SHIFT 14 EMPLOYEES)	7 SPACES	
1 SPACES PER TWO BED (46 BED/2 X 1)	23 SPACES	
2 DOCTORS	2 SPACES	
TOTAL:	32 SPACES	36+ 2 H.C. = 38 SPACES
ARLINGTON HEIGHTS BUILDING CODE		
2009 - INTERNATIONAL BUILDING CODE WITH VILLAGE OF ARLINGTON HEIGHTS AMENDMENTS		
2009 - INTERNATIONAL RESIDENTIAL CODE WITH VILLAGE OF ARLINGTON HEIGHTS AMENDMENTS		
2009 - INTERNATIONAL FIRE CODE WITH VILLAGE OF ARLINGTON HEIGHTS AMENDMENTS		
2009 - INTERNATIONAL MECHANICAL CODE WITH VILLAGE OF ARLINGTON HEIGHTS AMENDMENTS		
2009 - INTERNATIONAL FUEL GAS CODE WITH VILLAGE OF ARLINGTON HEIGHTS AMENDMENTS		
2009 - INTERNATIONAL ENERGY CONSERVATION CODE WITH VILLAGE OF ARLINGTON HEIGHTS AMENDMENTS		
2004 - ILLINOIS STATE PLUMBING CODE WITH VILLAGE OF ARLINGTON HEIGHTS AMENDMENTS		
2005 - NATIONAL ELECTRICAL CODE WITH VILLAGE OF ARLINGTON HEIGHTS AMENDMENTS		
2009 - INTERNATIONAL PROPERTY MAINTENANCE CODE WITH VILLAGE OF ARLINGTON HEIGHTS AMENDMENTS		
2012 - ILLINOIS ENERGY CONSERVATION CODE WITH VILLAGE OF ARLINGTON HEIGHTS AMENDMENTS		
1997 - ILLINOIS ACCESSIBILITY CODE WITH VILLAGE OF ARLINGTON HEIGHTS AMENDMENTS		
2009 - NFPA 101 LIFE SAFETY CODE ACCESSIBILITY AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES		
CONSTRUCTION TYPE TYPE IIB - FULLY SPRINKLERED		
OCCUPANCY CLASSIFICATION I-2 OCCUPANCY PER VILLAGE OF ARLINGTON HEIGHTS		

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AUTUMN LEAVES ASSISTED LIVING
ARLINGTON HEIGHTS ILLINOIS

PROPOSED SITE PLAN

NO.	DESCRIPTION	DATE
Formal Village Submittal		08-01-13
Planning Submittal		09-10-13

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SD-1

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- FIBER CEMENT BD (TYP.)
- ASPHALT SINGLE ROOF (TYP.)
- FACE BRICK VENEER (TYP.)
- STONE VENEER (TYP.)

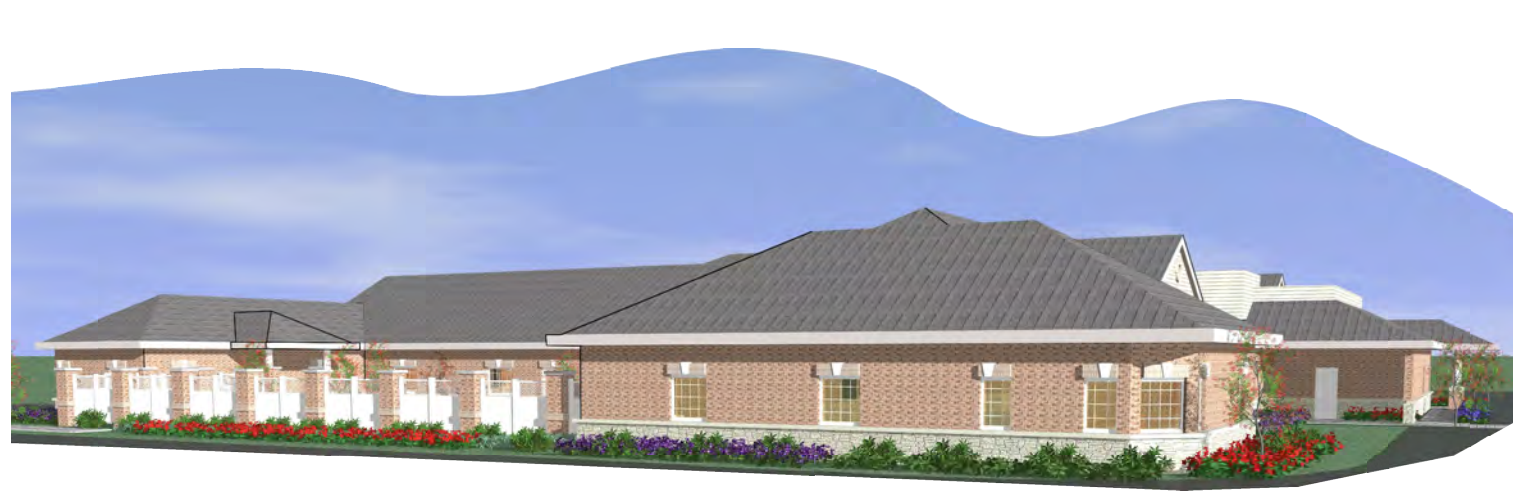
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02 FRONT ELEVATION
SCALE: NONE



03 SIDE ELEVATION
SCALE: NONE



04 SIDE ELEVATION
SCALE: NONE



05 REAR ELEVATION
SCALE: NONE



06 REAR ELEVATION
SCALE: NONE



07 ROOF RENDERING
SCALE: NONE



MONUMENTAL SIGN



STORAGE SHED



FENCE



DUMPSTER



GARDEN & FENCE



FRONT ENTRANCE



LIVING ROOM



COURTYARD



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TYPICAL BUILDING ELEVATIONS

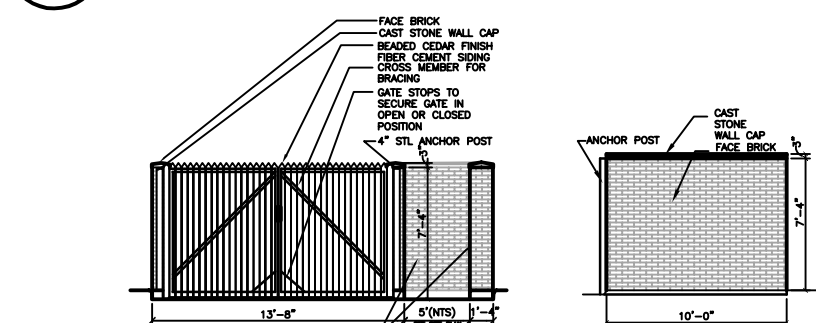
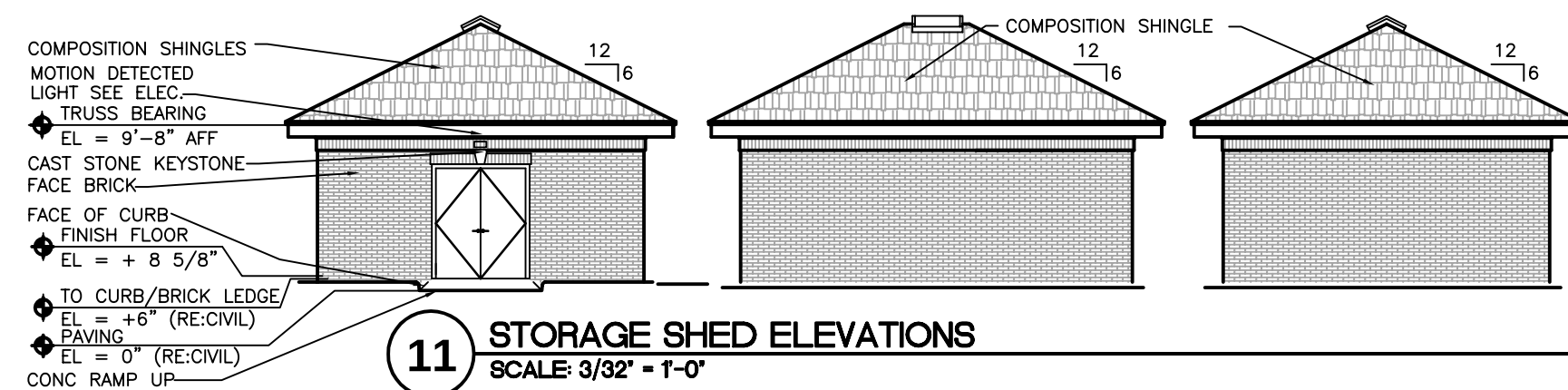
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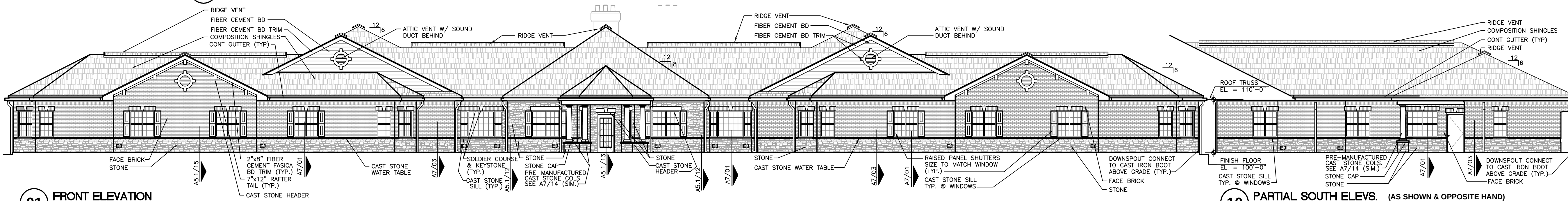
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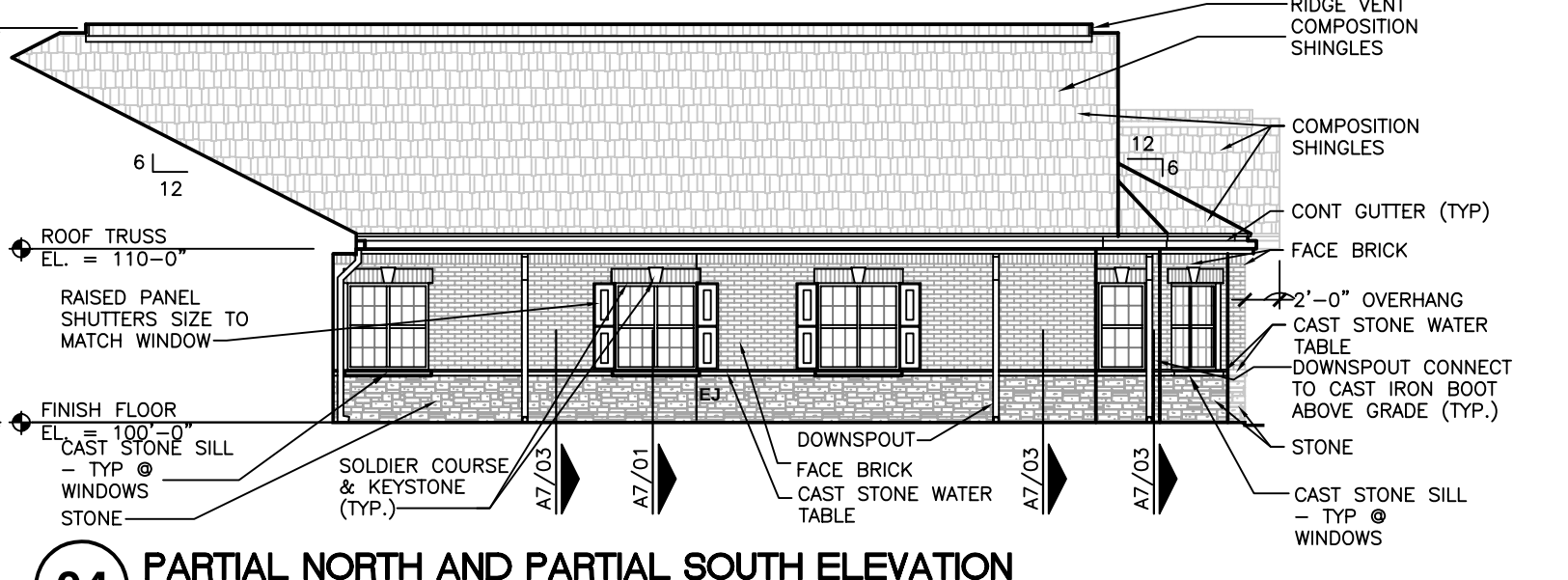
TYPICAL CONSTRUCTION NOTES		
BRICK VENEER WALL 1/2\"/>	STONE VENEER WALL 1/2\"/>	SLOPED ROOF, ATTIC & CEILING 1/2\"/>

SOFFIT 1/2\"/>	THERMOPLASTIC POLYOLEFIN ROOF 1/2\"/>
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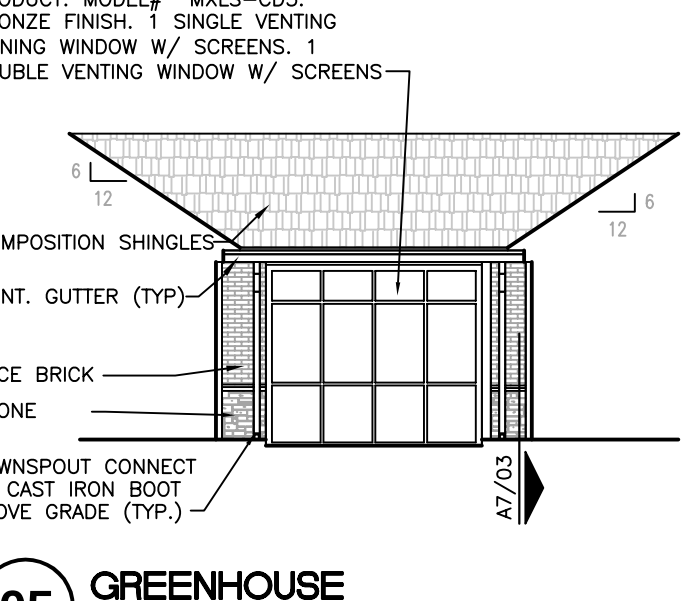
EXTERIOR MATERIAL LEGEND			
COMPOSITE SHINGLES	FIBER CEMENT BD		
FACE BRICK	MECHANICAL SCREEN		
STONE			
*FINAL COLOR & STYLE TO BE APPROVE BY OWNER.			
EXTERIOR MATERIAL SCHEDULE			
MATERIAL	MANUFACTURER	NAME	STYLE #
BRICK	ENDICOTT	ADOBES SANDS	KING SIZE
STONE	FOND DU LAC	WHITE COUNTRY SQUIRE	
MORTAR	LEIGH	WHITE MASONRY	
ROOF	TIMBERLINE	WEATHERED WOOD	SHADOW ACCENT
SOFFIT	VALSPAR	DESERT FORTRESS	2008-10B
WINDOWS	MID-AMERICA SIDING	COLOR WHITE	
SHUTTERS	BETTER CAST STONE	COLOR WHITE	
SILLS/CAST STONE	JH SIDING PRODUCTS	COLOR PLUS KHAKI BROWN	
HARDY BOARD	DW DISTRIBUTION	TEXAS STAR/IOVAL	
FRONT ENTRANCE DOOR			300-845



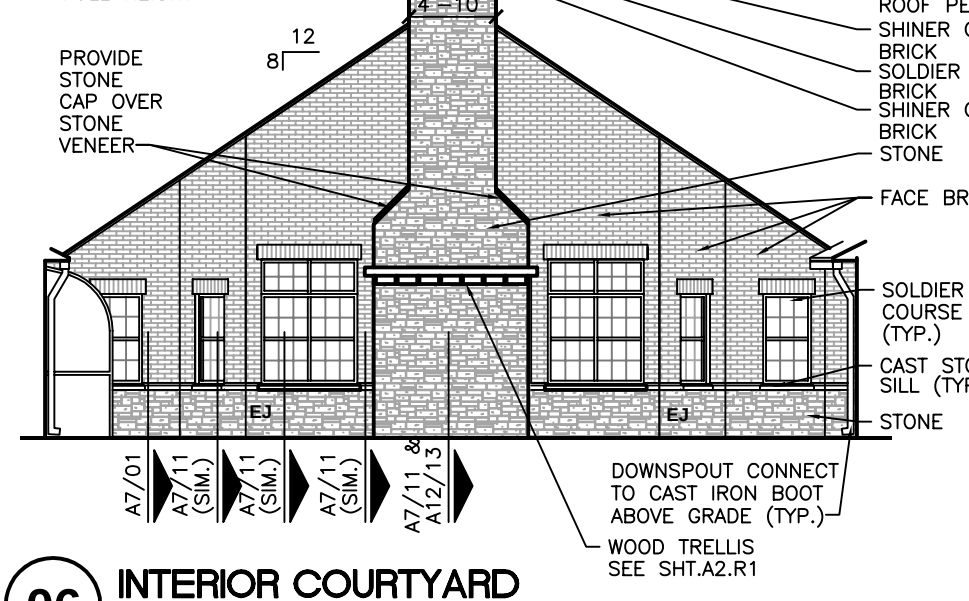
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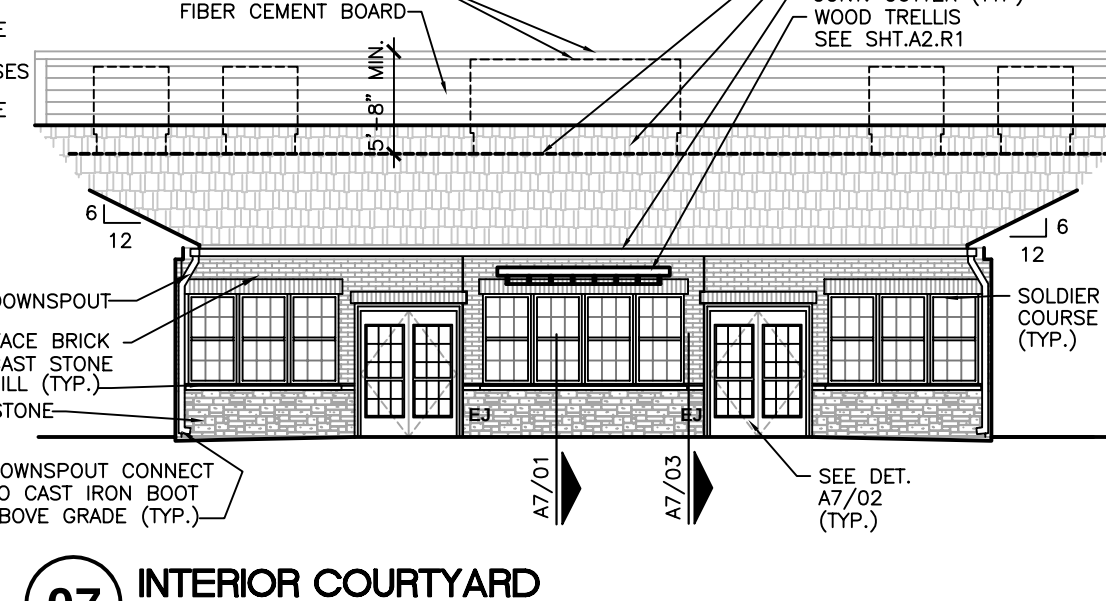
04 PARTIAL NORTH AND PARTIAL SOUTH ELEVATION
SCALE: 3/32\"/>



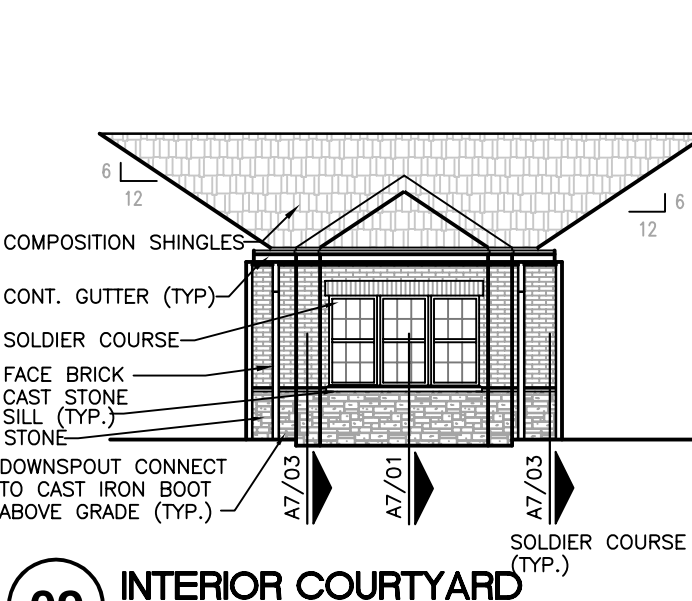
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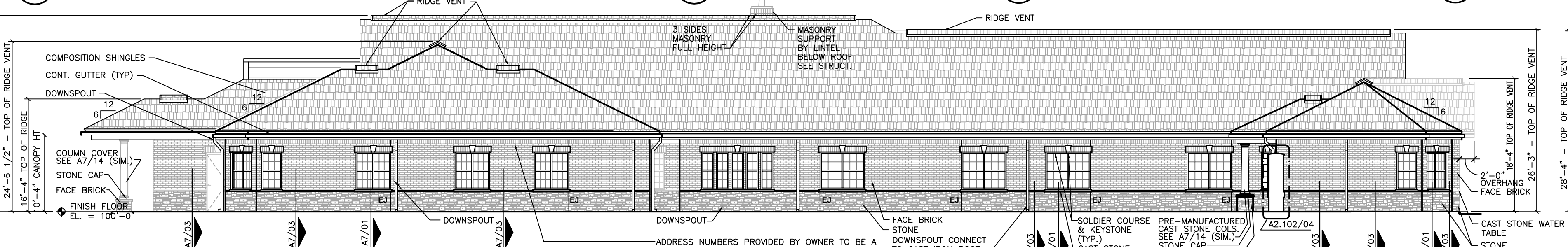
06 INTERIOR COURTYARD
SCALE: 3/32\"/>



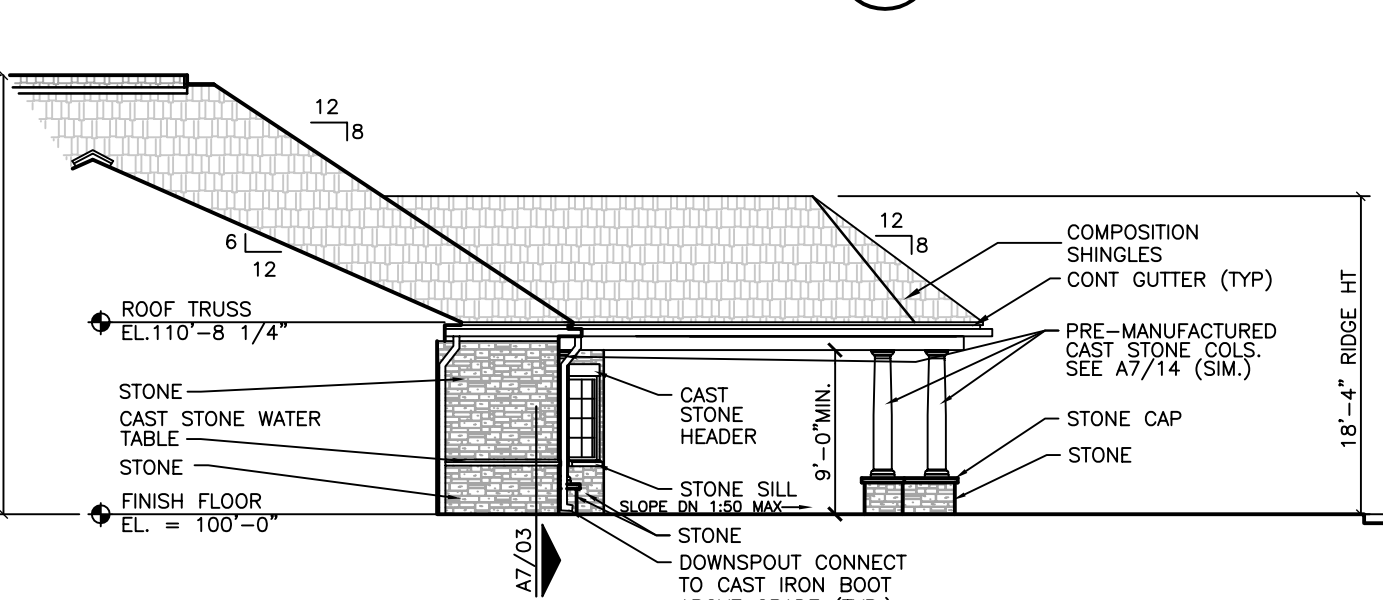
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SCALE: 3/32\"/>



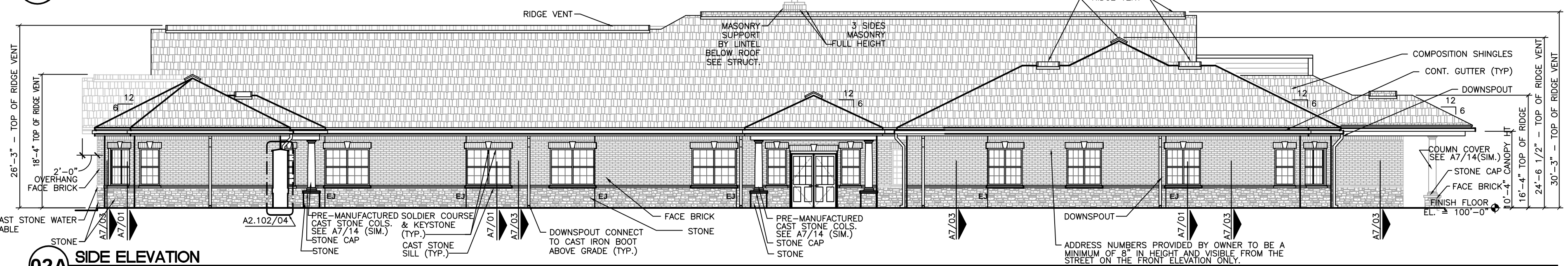
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SCALE: 3/32\"/>



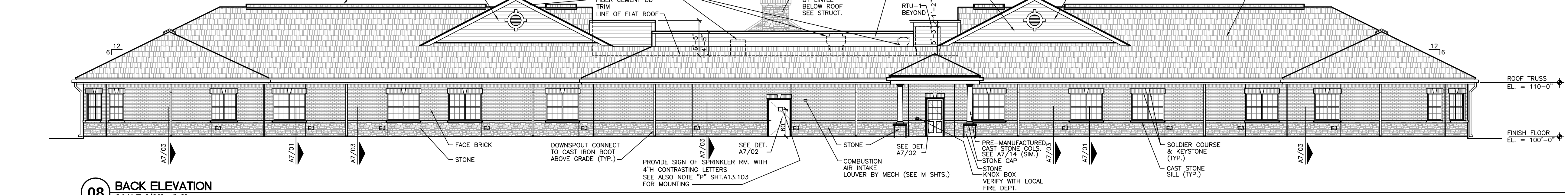
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03 PARTIAL NORTH AND PARTIAL SOUTH ELEVATION
SCALE: 3/32\"/>

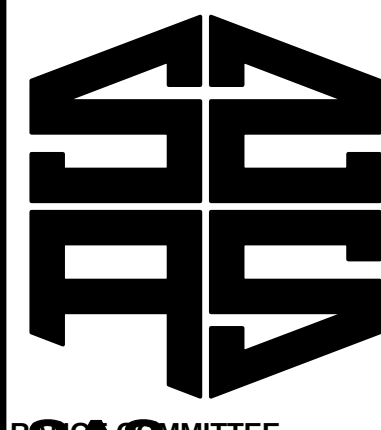


02A SIDE ELEVATION
SCALE: 3/32\"/>



08 BACK ELEVATION
SCALE: 3/32\"/>

APPEARANCE COMMITTEE COLOR CHART			
MATERIAL	MANUFACTURER	COLOR	STYLE #
BRICK	ENDICOTT	ADOBES SANDS	KING SIZE
STONE	FOND DU LAC	WHITE COUNTRY SQUIRE	
MORTAR	LEIGH	WHITE MASONRY	
ROOF	TIMBERLINE	WEATHERED WOOD	SHADOW ACCENT
SOFFIT	VALSPAR	DESERT FORTRESS	2008-10B
WINDOWS	MID-AMERICA SIDING	COLOR WHITE	
SHUTTERS	BETTER CAST STONE	COLOR WHITE	
SILLS/CAST STONE	JH SIDING PRODUCTS	COLOR PLUS KHAKI BROWN	
HARDY BOARD	DW DISTRIBUTION	TEXAS STAR/IOVAL	
FRONT ENTRANCE DOOR			300-845



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AUTUMN LEAVES ASSISTED LIVING
ARLINGTON HEIGHTS, ILLINOIS
EXTERIOR ELEVATIONS

NO. DESCRIPTION DATE
Formal Village Submittal 08-01-13
Planning Submittal 09-10-13

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AUTUMN LEAVES
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ARLINGTON HEIGHTS, ILLINOIS
FLOOR PLAN



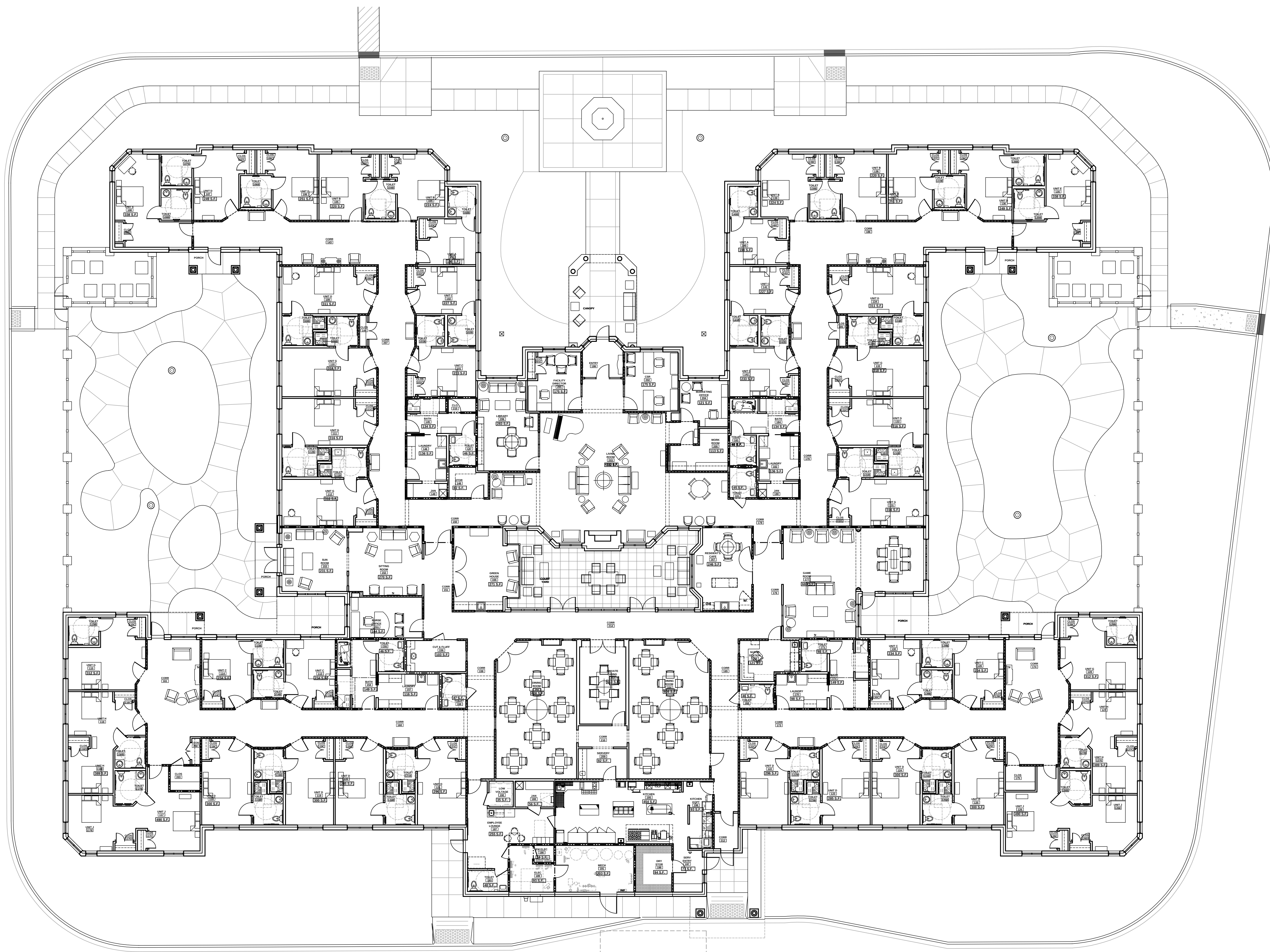
NO.	DESCRIPTION	DATE
Formal Village Submittal		08-01-13
Planning Submittal		09-10-13

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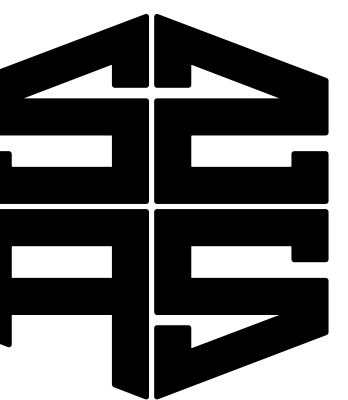
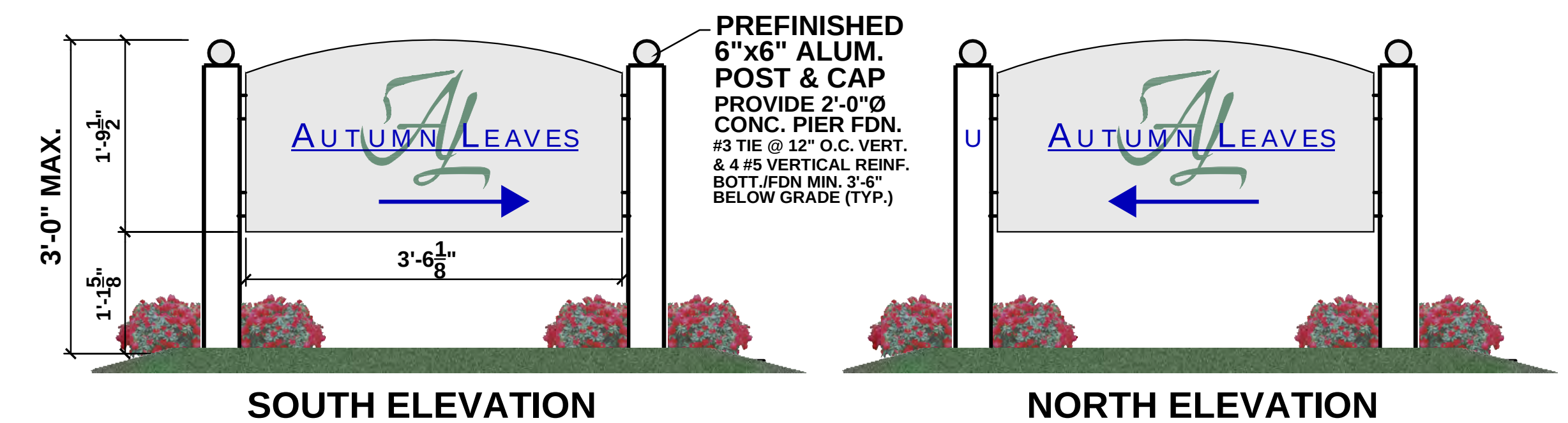
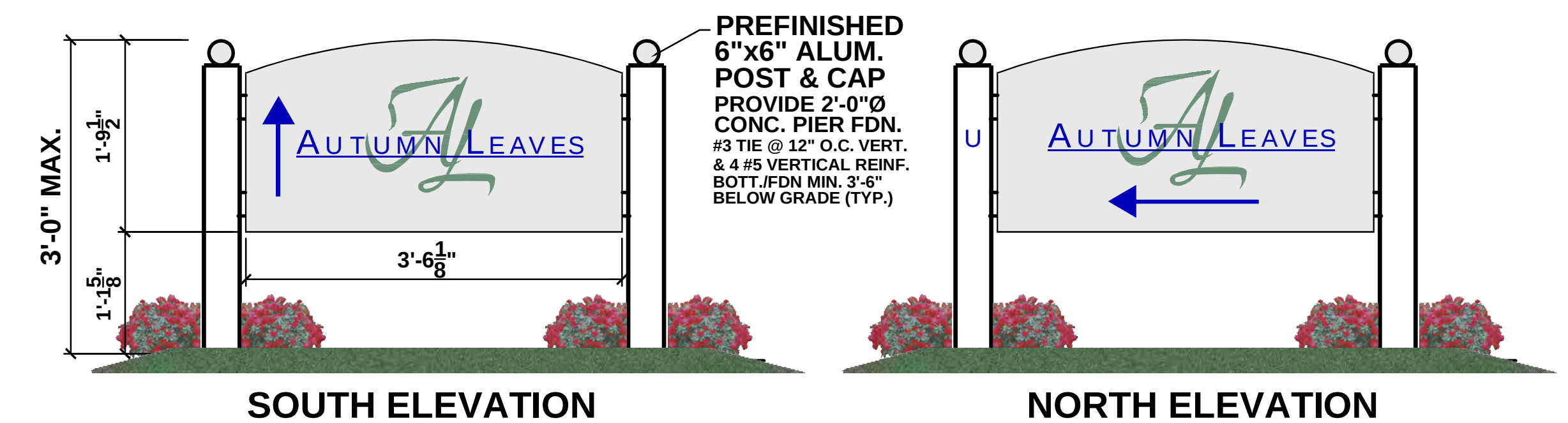
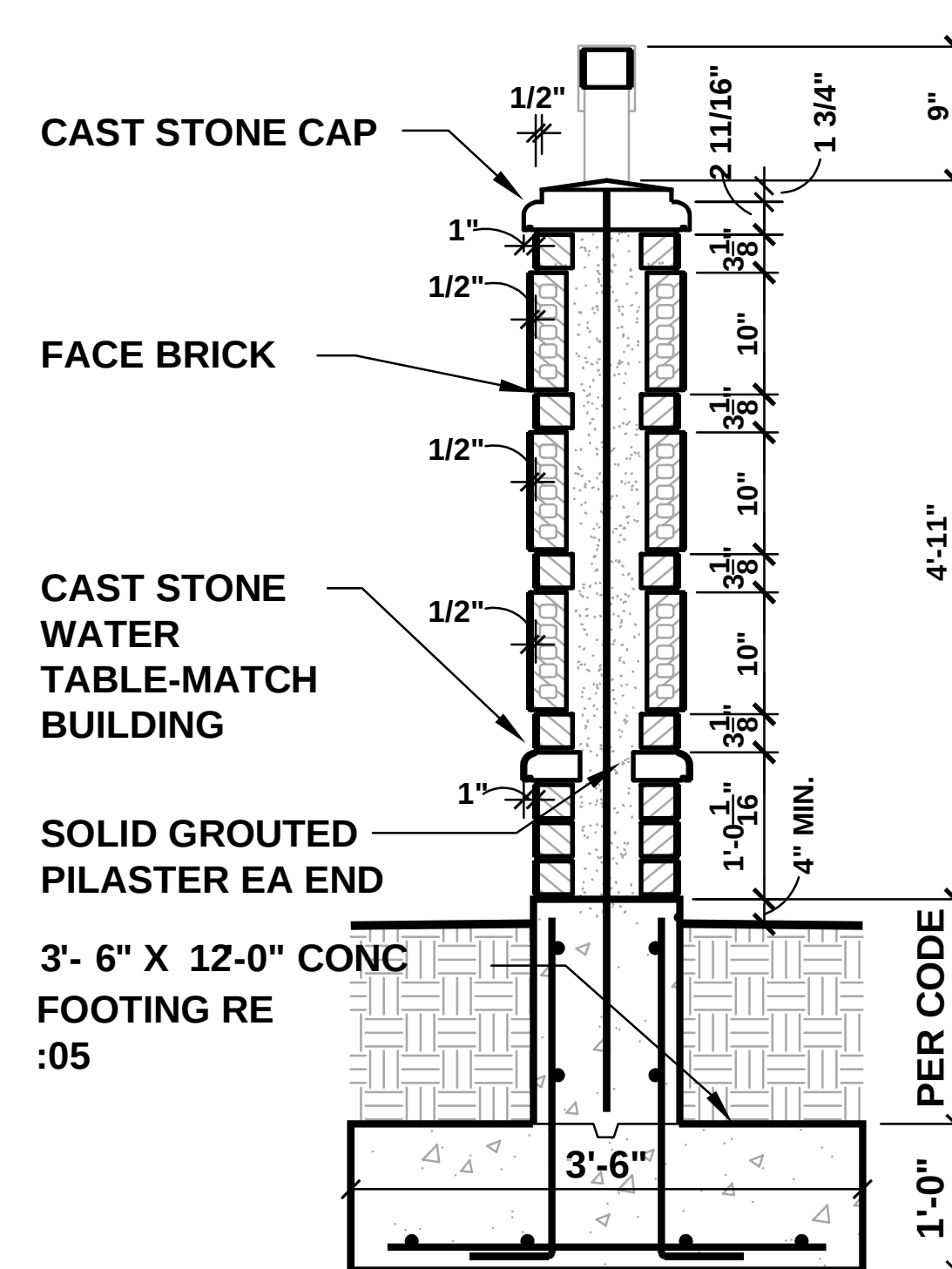
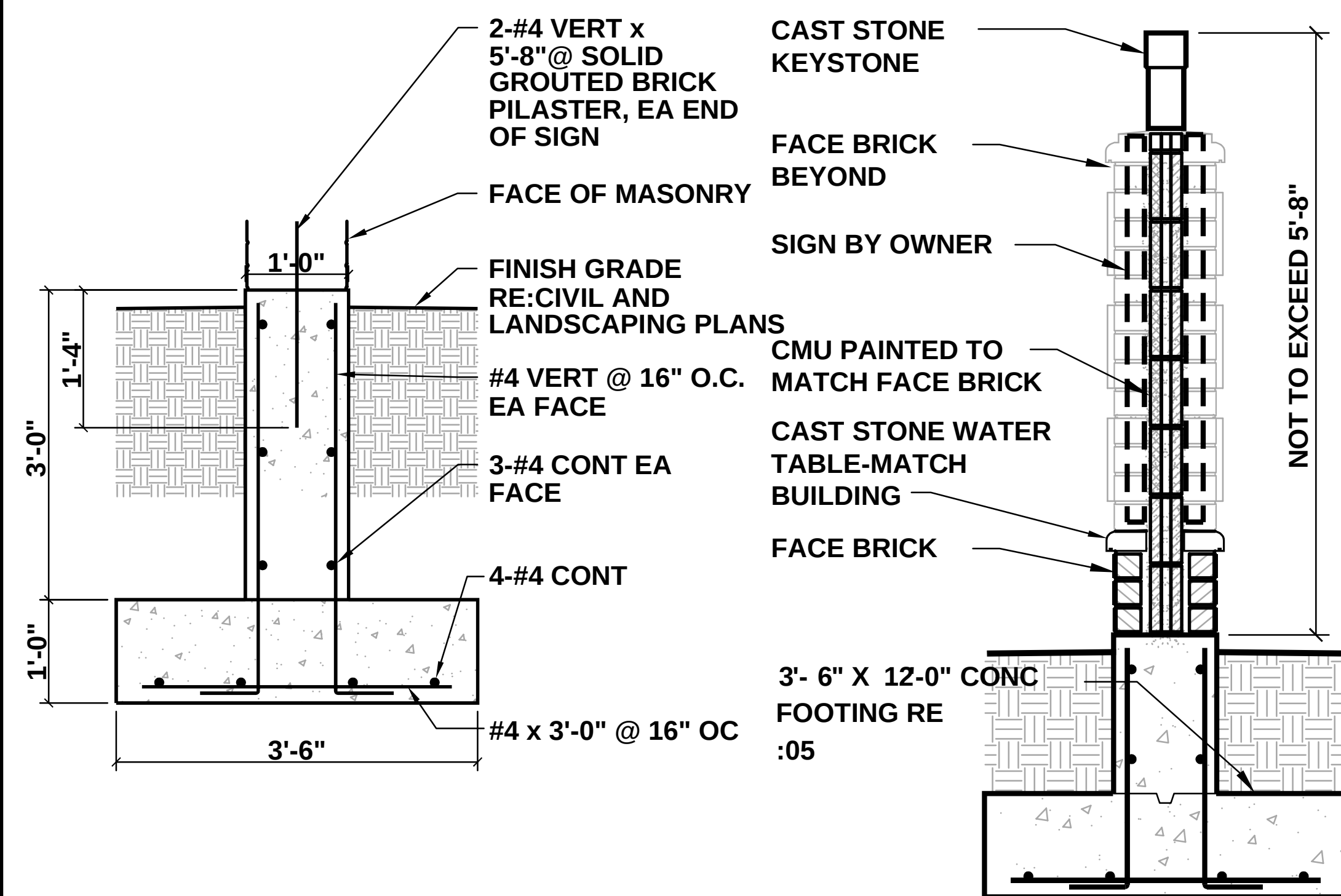
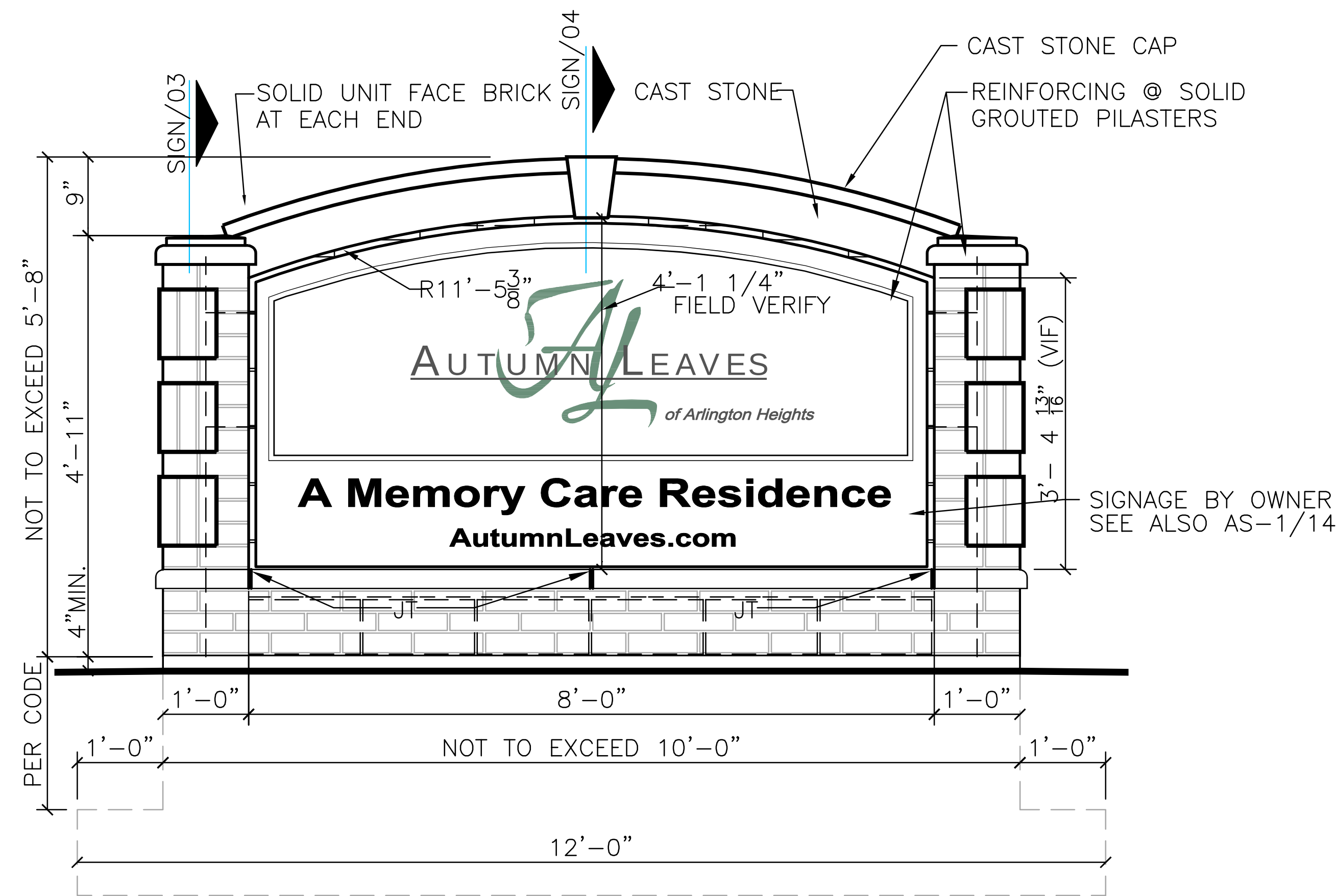
1

FLOOR PLAN
SCALE: 3/32"=1'-0"
XXXXX AREA AS SHOWN INCLUDED TOILET & CLOSET.

OCCUPANT: MAX. SHIFT 12 EMPLOYEES PLUS 44 PATIENTS

N

0' 5' 10' 20' 40' 80'



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MEMORANDUM TO: Thomas J. McCabe, PE
SPACECO, Inc.

FROM: Michael K. Scavo
Consultant

Michael A. Werthmann, PE, PTOE
Principal

DATE: July 29, 2013 - **Revised October 2, 2013**

SUBJECT: Traffic Impact Study
Autumn Leaves Assisted Living Community
Arlington Heights, Illinois

This memorandum summarizes the methodologies, results, and findings of a traffic impact study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for a proposed assisted living community to be located in Arlington Heights, Illinois. The site, which is currently vacant, is located in the northeast quadrant of the intersection of Arlington Heights Road with East Council Trail. As proposed, the development is to contain 42 living units with a total of 46 beds. Access to the development is proposed via one full access drive on Arlington Heights Road and one full access drive on East Council Trail.

Figure 1 shows the location of the site in relation to the area roadway system. **Figure 2** shows an aerial view of the site area.

The purpose of this study was to examine background traffic conditions, assess the impact that the proposed development will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed development.

The sections of this memorandum present the following.

- Existing roadway conditions
- A description of the proposed development
- Directional distribution of the development traffic
- Vehicle trip generation for the development
- Future traffic conditions including access to the site
- Traffic analyses for the weekday morning and evening peak hours
- Recommendations with respect to adequacy of the site access system and adjacent roadway system



Aerial View of Site Location

Figure 2

Existing Conditions

Existing transportation conditions in the vicinity of the site were documented based on field visits conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices and existing peak hour traffic volumes.

Site Location

The site, which is currently vacant, is located in the northeast quadrant of the intersection of Arlington Heights Road and East Council Trail. Area land uses surrounding the site are predominately residential in nature. Commercial developments are located south of the site along Arlington Heights Road. The Zion Christian Church is located across Arlington Heights Road from the site and Prairie Park is located just east of the site on East Council Trail.

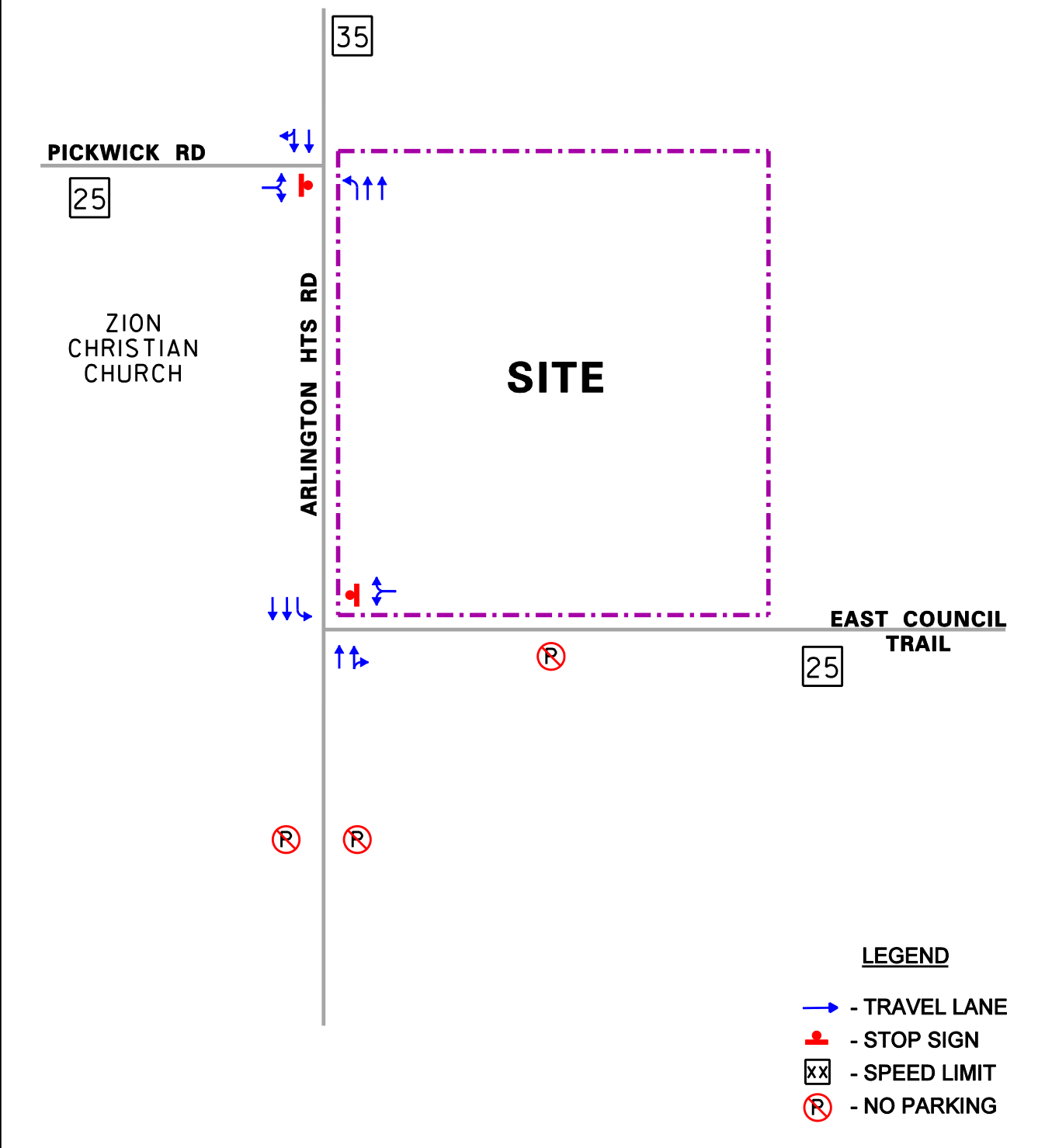
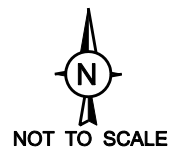
Existing Roadway System Characteristics

Figure 3 illustrates and the following summarizes the existing roadway characteristics within the vicinity of the site.

Arlington Heights Road is a north-south arterial roadway. Within the vicinity of the site, Arlington Heights Road provides two lanes in each direction and a center median. At its unsignalized intersection with East Council Trail, Arlington Heights Road provides a separate left-turn lane and two through lanes in the southbound direction and a through lane and a shared right-turn/through lane in the northbound direction. At its unsignalized intersection with Pickwick Road, Arlington Heights Road provides a shared right-turn/through lane and through lane in the southbound direction and a separate left-turn lane and two through lanes in the northbound direction. Arlington Heights Road has a posted speed limit of 35 mph, an average daily traffic volume of 36,400 vehicles, and is under the jurisdiction of the Illinois Department of Transportation (IDOT).

East Council Trail is an east-west local road that provides one travel lane in each direction. At its intersection with Arlington Heights Road, East Council Trail provides a single shared lane for both left-turns and right-turns under stop sign control. East Council Trail has a speed limit of 25 mph, parking is prohibited on the south side of the roadway, and is under the jurisdiction of the Village of Arlington Heights.

Pickwick Road is an east-west local road that provides one travel lane in each direction. At its intersection with Arlington Height Road, Pickwick Road provides a singled shared lane for both left-turns and right-turns under stop sign control. A pedestrian crosswalk is also present on the west approach of the Pickwick Road/Arlington Heights Road intersection. Pickwick Road has a speed limit of 25 mph and is under the jurisdiction of the Village of Arlington Heights.



PROJECT: Autumn Leaves Assisted Living Arlington Hts, Illinois	TITLE: Existing Roadway Characteristics	 Job No: 13-107 Figure: 3
--	---	--

Existing Traffic Volumes

In order to determine current traffic conditions on the existing roads, KLOA, Inc. conducted peak period vehicle traffic counts at the intersections of Arlington Heights Road with East Council Trail and Arlington Heights Road with Pickwick Road. The traffic counts were conducted on Thursday, June 27, 2013 during the morning (7:00 A.M. to 9:00 A.M.) and evening (4:00 P.M. to 6:00 P.M.) peak periods. The results of the traffic counts showed that the weekday morning peak hour of traffic occurs from 7:30 A.M. to 8:30 A.M. and the weekday evening peak hour of traffic occurs from 4:30 P.M. to 5:30 P.M. **Figure 4** illustrates the existing peak hour vehicle volumes.

Traffic Characteristics of the Proposed Development

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed development, including the directional distribution and volumes of traffic that it will generate.

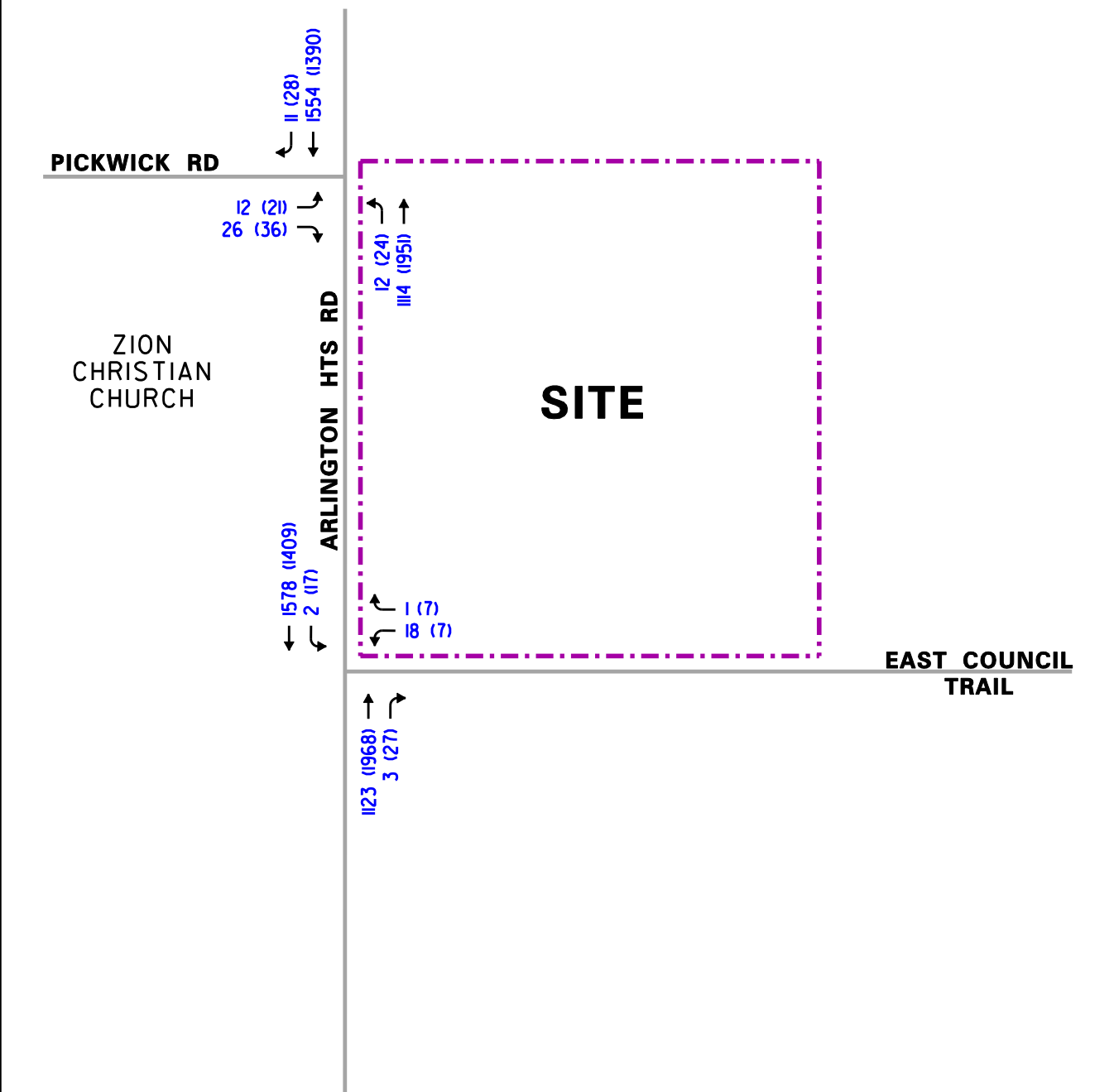
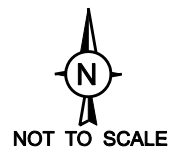
Proposed Development Plan

As proposed, the development is to consist of 42 residential living units with 46 beds. The community will have a total of 32 employees that will work one of three shifts with a maximum of 14 employees working at any one time. A total of 38 parking spaces will be provided for staff, visitors, and residence. Access to the site will be provided via an access drive located on East Council Trail approximately 350 feet east of Arlington Heights Road and on Arlington Heights Road aligned opposite Pickwick Road. The Arlington Heights Road access drive will provide one inbound lane and two outbound lanes, striped to provide a separate left-turn lane and a separate right-turn lane. The East Council Trail access drive will provide one inbound lane and one outbound lane. Both access drives will be under stop sign control for outbound movements.

As part of the proposed development, East Council Trail is proposed to be widened to provide a separate left-turn lane at its intersection with Arlington Heights Road. The East Council Trail approach will provide one eastbound lane and two westbound lanes striped to provide a separate left-turn lane and a separate right-turn lane.

Directional Distribution of Site Traffic

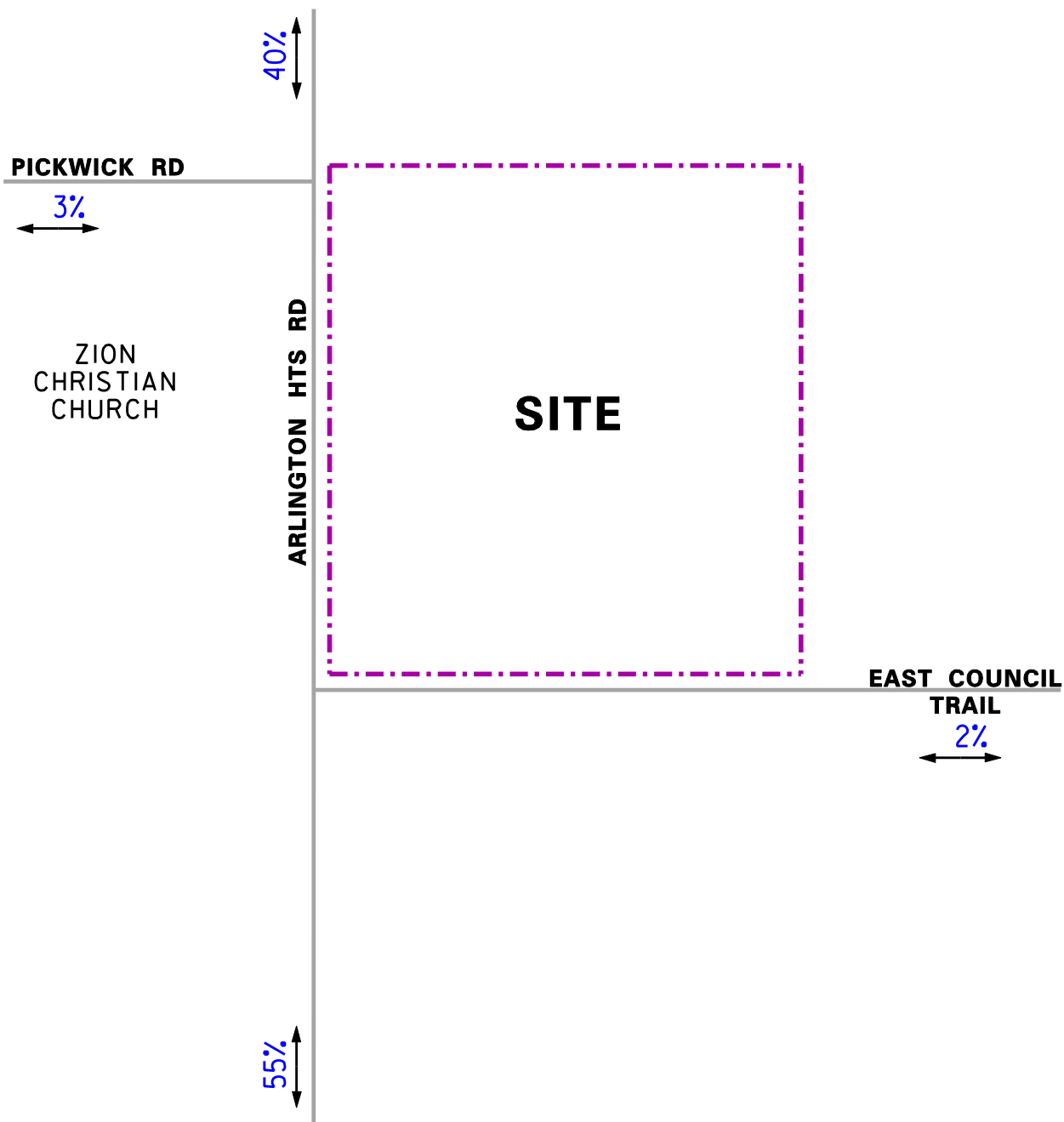
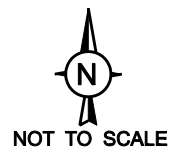
The directional distribution of future development-generated trips was based on observed traffic conditions. **Figure 5** illustrates the directional distribution of the development traffic.



LEGEND

- 00 - AM PEAK HOUR (7:30-8:30 AM)
 (00) - PM PEAK HOUR (4:30-5:30 PM)

PROJECT: Autumn Leaves Assisted Living Arlington Hts, Illinois	TITLE: Existing Traffic Volumes	 Job No: 13-107 Figure: 4
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LEGEND
 00% - PERCENT DISTRIBUTION

PROJECT:
 Autumn Leaves
 Assisted Living
 Arlington Hts, Illinois

TITLE:
 Estimated Directional Distribution



Figure: 5

Estimated Site Traffic Generation

The peak hour traffic generated by senior housing communities, in general, is reduced due to the characteristics of these communities. First, residents of the development are not permitted to drive or keep a vehicle at the development. Second, the proposed community will provide various services and amenities where residents do not need to own a vehicle. Lastly, the community will have a total of 32 employees that will work one of three shifts per day with a maximum of 14 employees working at any one time.

The number of peak hour vehicle trips estimated to be generated by the proposed 46 bed assisted living community was based on vehicle trip generation rates contained in *Trip Generation Manual*, 9th Edition, published by the Institute of Transportation Engineers (ITE). To present a conservative (worst case) analysis, the peak hour of the generator (development) trip rates were used as opposed to the peak hour of the adjacent roadway trip rates. The peak hour of the development generally does not coincide with the adjacent roadway's peak hours and, as such, the peak hour volumes for the development will likely be lower than shown in **Table 1**.

Table 1
PROJECTED SITE-GENERATED TRAFFIC VOLUMES

Land Use	Weekday Morning Peak Hour			Weekday Evening Peak Hour		
	In	Out	Total	In	Out	Total
Assisted Living (LUC 254)	6	3	9	9	10	19

Total Projected Traffic Volumes

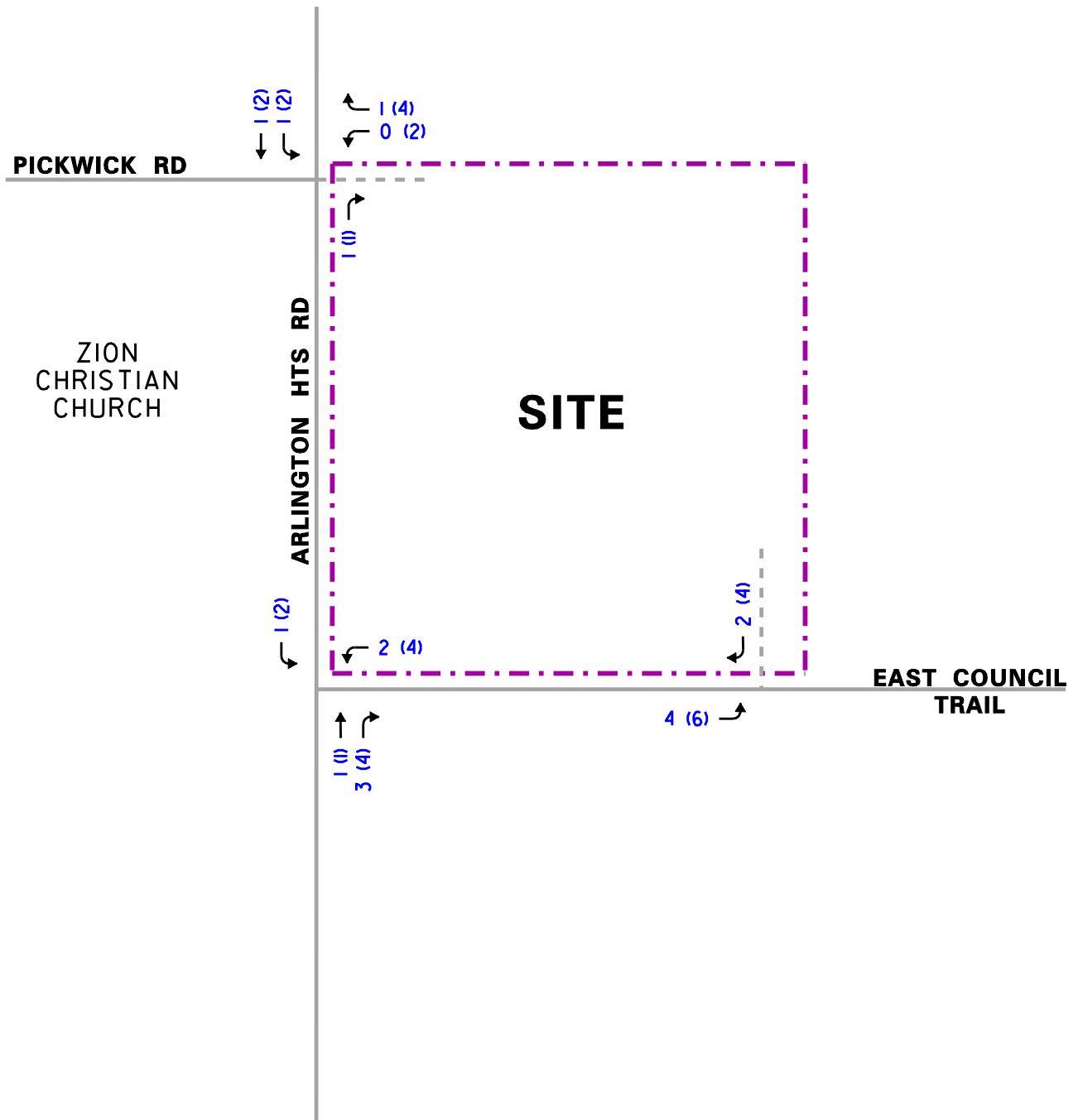
The estimated weekday morning and evening peak hour traffic volumes that will be generated by the proposed development were assigned to the roadway system in accordance with the previously described directional distribution. **Figure 6** shows the assignment of the development-generated traffic volumes. To account for other area growth, the existing travel volumes were increased by 0.5 percent per year for six years (build-out of the development plus five years). **Figure 7** shows the total projected traffic volumes which include the existing traffic volumes increased by a regional growth factor of three percent and the estimated development-generated traffic volumes (Figure 6).

Traffic Analysis

Traffic analyses were performed for the intersections in the study area to determine the operation of the existing roadway system, evaluate the impact of the proposed development, and determine the ability of the roadway system to accommodate projected traffic demands. Analyses were performed for the weekday morning and evening peak hours for both the existing and projected traffic volumes.



NOT TO SCALE



LEGEND

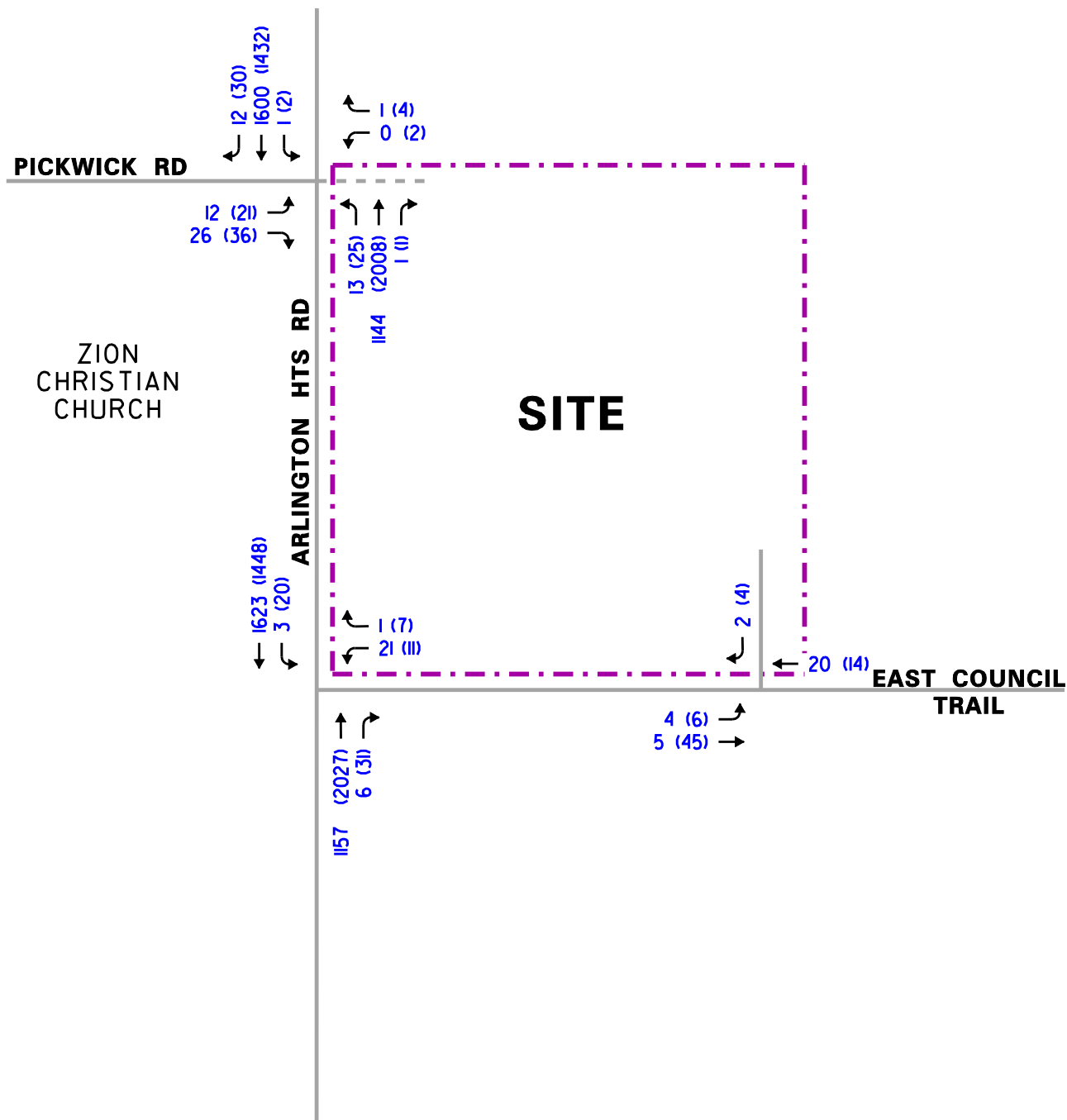
- 00 - AM PEAK HOUR (7:30-8:30 AM)
(00) - PM PEAK HOUR (4:30-5:30 PM)

PROJECT:
Autumn Leaves
Assisted Living
Arlington Hts, Illinois

TITLE:
Estimated Site-Generated
Traffic Volumes

KLOA
Job No: 13-107

Figure: 6



PROJECT:
Autumn Leaves
Assisted Living
Arlington Hts, Illinois

TITLE:
Total Projected Traffic Volumes

KLOA
Job No: 13-107

Figure: 7

The traffic analyses were performed using the Highway Capacity Software (HCS) computer software. The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter grade from A to F based on the average control delay experienced by vehicles passing through the intersection. Control delay is that portion of the total delay attributed to the traffic signal or stop sign control operation and includes initial deceleration delay, queue move-up time, stopped delay, and final acceleration delay. Level of Service A is the highest grade (best traffic flow and least delay), Level of Service E represents saturated or at-capacity conditions, and Level of Service F is the lowest grade (oversaturated conditions, extensive delays).

For two-way stop controlled (TWSC) intersections, levels of service are only calculated for the approaches controlled by a stop sign (not for the intersection as a whole). The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for unsignalized and signalized intersections are provided in the Appendix. The results of the capacity analysis for both existing and future conditions are summarized in **Table 2** and **Table 3**, respectively.

Table 2
CAPACITY ANALYSIS RESULTS—EXISTING TRAFFIC CONDITIONS

Intersection	Weekday A.M. Peak Hour		Weekday P.M. Peak Hour	
	LOS	Delay	LOS	Delay
Arlington Heights Road with E. Council Trail	D	29.2	E	45.0
Arlington Heights Road with Pickwick Road	D	25.2	D	30.5
LOS - Level of Service				
Delay - Measured in seconds.				
Note: All of the intersections operate under stop sign control and the level of service and delay shown in the table reflects the operation of the worst movement or approach.				

Table 3
CAPACITY ANALYSIS RESULTS—PROJECTED TRAFFIC CONDITIONS

Intersection	Weekday A.M. Peak Hour		Weekday P.M. Peak Hour	
	LOS	Delay	LOS	Delay
Arlington Heights Road with E. Council Trail	D	31.4	F	56.2
Arlington Heights Road with Pickwick Road/ North Access Drive	D	32.7	E	48.2
E. Council Trail with South Access Drive	A	8.4	A	8.4
LOS - Level of Service				
Delay - Measured in seconds.				
Note: All of the intersections operate under stop sign control and the level of service and delay shown in the table reflects the operation of the worst movement or approach.				

Traffic Evaluation

The following summarizes how each of the intersections are projected to operate.

Arlington Heights Road with East Council Trail

Under existing conditions this intersection is currently operating at a good level of service. As part of the proposed development, East Council Trail is proposed to be widened to provide a separate left-turn lane at its intersection with Arlington Heights Road. With the widening, East Council Trail will provide one eastbound lane and two westbound lanes striped to provide a separate left-turn lane and a separate right-turn lane.

Assuming the projected traffic volumes and the proposed improvements, the left-turn movement from East Council Trail to Arlington Heights Road is projected to operate at less than desirable level of service. This is due to the higher projected traffic volumes on Arlington Heights Road and the reduced number of gaps in the traffic stream. This traffic will be able to exit onto Arlington Heights Road. However, during the peak hours this traffic may experiences some additional delay. It is important to note that the impact of the development on this intersection will be limited given the very low volume of traffic it will generate through the intersection and the fact that the intersection will be widened to provide a separate left-turn lane as part of the development.

Arlington Heights Road with Pickwick Road and Access Drive

Under existing conditions this intersection is currently operating at a good level of service. Assuming the projected traffic volumes and the proposed access drive, the Pickwick Road approach is projected to operate at less than desirable level of service. This is due to the higher projected traffic volumes on Arlington Heights Road and the reduced number of gaps in the traffic stream. This traffic will be able to exit onto Arlington Heights Road. However, during the peak hours this traffic may experiences some additional delay. It is important to note that the impact of the development on this intersection will be limited given the very low volume of traffic it will generate through the intersection.

Site Access

Access to the development is proposed via one full access drive on Arlington Heights Road and one full access drive located on East Council Trail.

- The *Arlington Heights Road access drive* is proposed to be located on the east side of the road aligned opposite Pickwick Road and will provide full access to/from the development. This access drive should provide one inbound lane and two outbound lanes striped to provide a separate left-turn lane and a separate right-turn lane. The outbound lanes will be under stop sign control. The limited left-turns from Arlington Heights Road to the development can be accommodated via the existing striped median along Arlington Heights Road.

- The *East Council Trail access drive* is proposed to be located on the north side of the road approximately 350 feet from Arlington Heights Road and will provide full access to/from the development. This access drive should provide one inbound lane and one outbound lane with the outbound lane under stop sign control. Given the limited volume of traffic to be generated by the development and the low volume of traffic on East Council Trail, a separate left-turn lane is not required on East Council Trail serving the site. The results of the capacity analyses has shown that this intersection will operate at a very good Level of Service.

Given the limited volume of traffic to be generated by the development, the access drives have been designed and located to provide efficient and orderly access.

Parking Evaluation

As proposed, the development is to provide a total of 38 parking spaces, including two handicapped spaces. With a total of 42 living units, the development will provide a parking ration of 0.90 parking spaces per unit. As indicated previously, the proposed development has a number of characteristics that result in a lower parking demand, including the following.

- Residents of the proposed development are not permitted to drive or keep a vehicle at the development.
- The proposed development will have a total of 32 employees that will work one of three shifts per day. Further, some employees may use public transportation to commute to/from the development.
- The peak demand for guests/visitors generally occurs on weekday evenings and weekends outside of the peak employment shift at the development.

The estimate of the peak parking demand of the development was determined based on rates provided in the *ITE Parking Generation Manual*, 4th Edition. It should be noted that the ITE rates includes the parking demand generated by residents, employees and guests/visitors. Based on the ITE rates, it is estimated that the development will have a peak parking demand between 16 to 20 vehicles. As such, it can be seen that the 38 parking spaces to be provided by the development will be sufficient to meet its peak parking demand.

Conclusion and Recommendations

KLOA, Inc. has performed a traffic impact study for the proposed Autumn Leaves Senior Living development in Arlington Heights, Illinois. Based on the proposed development plans and the preceding traffic impact study, the following conclusions and recommendations are made.

- The peak hour traffic generated by senior housing communities, in general, is reduced due to the characteristics of these communities. First, residents of the developments are not permitted to drive or keep a vehicle at the development. Second, the proposed community will provide various services and amenities where residents do not need to own a vehicle. Lastly, the community will have a total of 32 employees that will work one of three shifts per day with a maximum of 14 employees working at any one time.
- As part of the proposed development, East Council Trail is proposed to be widened to provide a separate left-turn lane at its intersection with Arlington Heights Road. The East Council Trail approach will provide one eastbound lane and two westbound lanes stripped to provide a separate left-turn lane and a separate right-turn lane.
- The limited volume of new traffic to be generated by the proposed development can be accommodated by the existing roadway system with the proposed improvements to East Council Trail.
- The access system has been designed to provide efficient and orderly access to/from the development.
- The 38 parking spaces to be provided will be sufficient to meet the peak parking demand of the development.

Appendix

LEVEL OF SERVICE CRITERIA FOR SIGNALIZED INTERSECTIONS

Level of Service	Interpretation	Average Control Delay (seconds per vehicle)
A	Favorable progression. Most vehicles arrive during the green indication and travel through the intersection without stopping.	≤10
B	Good progression, with more vehicles stopping than for Level of Service A.	>10 - 20
C	Individual cycle failures (i.e., one or more queued vehicles are not able to depart as a result of insufficient capacity during the cycle) may begin to appear. Number of vehicles stopping is significant, although many vehicles still pass through the intersection without stopping.	>20 - 35
D	The volume-to-capacity ratio is high and either progression is ineffective or the cycle length is too long. Many vehicles stop and individual cycle failures are noticeable.	>35 - 55
E	Progression is unfavorable. The volume-to-capacity ratio is high and the cycle length is long. Individual cycle failures are frequent.	>55 - 80
F	The volume-to-capacity ratio is very high, progression is very poor and the cycle length is long. Most cycles fail to clear the queue.	>80.0

Source: *Highway Capacity Manual*, 2010.

LEVEL OF SERVICE CRITERIA FOR UNSIGNALIZED INTERSECTIONS

Level of Service	Average Total Delay (SEC/VEH)
A	0 - 10
B	> 10 - 15
C	> 15 - 25
D	> 25 - 35
E	> 35 - 50
F	> 50

Source: *Highway Capacity Manual*, 2010.

PLAN COMMISSION PROJECT TIMELINE

Project Name: Autumn Leaves
 PC Number: 13-018
 Location: NEC of Arlington Heights Road and Council Trail
 Requested Action:

1. *A Comprehensive Plan Amendment from "Offices Only" to "Institutional"*
2. *A rezoning from O-T, Office Transitional to I-Institutional.*
3. *A Preliminary and Final Planned Unit Development*
4. *A variation from Chapter 28, Section 5.1-21.1b, to allow a reduction to the required south building setback from 100 to 52.65 feet.*
5. *A variation from Chapter 28, Section 5.1-8.14 to allow less than 12 feet spacing between the building and parking area along the north and east elevations.*
6. *A variation from Chapter 28, Section 6.5 to allow a 16' tall, 400 square foot accessory structure within the required exterior side yard setback (east yard).*

	Date	# of Business Days
Preliminary Meeting	12/2012	
Awaiting Petitioner Plat and Sub Submittal	04/04/13	78
Plat and Sub Committee Meeting	04/10/13	
Awaiting Petitioner PC Application	08/01/13	79
Plan Commission Application Submittal Date	08/01/13	
1 st Round Department Comments	08/16/13	11
Petitioner's Response to 1 st Round Comments	09/25/13	27
2 nd Round Department Comments	10/02/13	5
Public Hearing Notification	09/24/13	
Plan Commission Hearing	10/09/13	49 days from application date
Village Board	11/04/13	18

Note:

Legal notice; State Statue requires 15 to 30 days notice.

Request initially scheduled for Preliminary PUD review on September 25, which would have been 38 days from application submittal to public hearing. However, the Petitioner wanted to merge the Preliminary and Final PUD processes together, which required the meeting to be pushed back to October 9 to allow the Petitioner to finalize the Final Engineering of the site.



Item: Report from Trustee Glasgow

Department:

Report from Trustee Glasgow on his attendance as Mayor Pro Tem at the Illinois Governor's Sustainability Awards Ceremony

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Amount of Bidder Recommended:



Item: Closed Session

Department:

Request for Closed Session per 5 ILCS 120/2(c)(1): Appointment, employment, compensation, discipline, performance or dismissal of specific employees of the public body or legal counsel

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Amount of Bidder Recommended: