



Agenda
Village of Arlington Heights
Design Commission
Virtual Meeting

October 27, 2020
6:30 PM

I. CALL TO ORDER

- A. In response to the COVID-19 pandemic, this meeting is closed to in-person, public attendance. The meeting is being held virtually, which permits the public to fully participate via their computers or using their phones.

To participate in the virtual meeting, please follow these instructions: <https://bit.ly/2ThsJ5j>

Individuals who wish to comment or ask a question on an item on the Agenda may either participate virtually or send an email to the Village at shautzinger@vah.com. Please limit emails to 200 words or less. To be shared at the meeting, the email must be received by 3:00 p.m. on October 27, 2020.

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Minutes - 10/13/20

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. DC#20-063 - 508 S. Phelps Ave - SF/Teardown
B. DC#20-066 - 18 S. Chestnut Ave. - SF/Teardown

VII. OTHER BUSINESS

- A. Ryan Companies Mixed-Use Senior Housing - 364 E. Golf Rd. - Preliminary Review

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



**Design Commission
10/27/2020**

Item: Minutes - 10/13/20

Department: Planning and Community Development

ATTACHMENTS:

Description

Minutes - 10/13/20

Type

Minutes

DRAFT

MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION
VIRTUAL MEETING
OCTOBER 13, 2020

Chair Fitzgerald called the meeting to order at 6:30 p.m.

Members Present: John Fitzgerald, Chair
Kirsten Kingsley
Scott Seyer
Ted Eckhardt
Jonathan Kubow

Members Absent: None

Also Present: Jim Cochran, JRC Design Build for 1141 N. Chestnut Ave. & 1145 N. Chestnut Ave.
Steve Hautzinger, Staff Liaison

Chair Fitzgerald read the following statement as requested by the Village: I find that the public health concerns related to the coronavirus pandemic render in-person attendance at the regular meeting location not feasible.

Chair Fitzgerald also reminded those speaking tonight to state their names before speaking.

REVIEW OF MEETING MINUTES FOR SEPTEMBER 22, 2020

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER SEYER, TO APPROVE THE MEETING MINUTES OF SEPTEMBER 22, 2020. COMMISSIONER KUBOW ABSTAINED. MOTION CARRIED.

Mr. Hautzinger said that although there are 2 public attendees that have virtually joined tonight's meeting, the petitioner for the two projects being reviewed tonight has not yet joined the meeting.

In the meantime, **Mr. Hautzinger** updated the commissioners on the 2020 Alan F. Bombick award. The presentation of this year's award has been scheduled for the Village Board meeting on Monday, November 2, 2020, at 7:30 pm. This meeting will be virtual. **Commissioner Eckhardt** said he confirmed this date with Alan's family, and the commissioners confirmed as well. **Commissioner Eckhardt** wanted to be able to say a few words about Alan, prior to presentation of the awards by Chair Fitzgerald.

The commissioners waited until the petitioner was able to connect to the virtual meeting.

DRAFT

ITEM 1. SINGLE-FAMILY TEARDOWN REVIEW**DC#20-055 – 1141 N. Chestnut Ave. – Interior Lot****DC#20-056 – 1145 N. Chestnut Ave. – Corner Lot**

Jim Cochran, representing *JRC Design Build*, was present on behalf of the projects.

Mr. Hautzinger presented Staff comments. He explained that both projects tonight are from the same petitioner, and the projects are located directly next to each other, so he recommended that the projects be reviewed simultaneously. The petitioner is proposing to demolish an existing single-story residence on a double lot to allow construction of two new two-story residences with attached, two-car garages. Variations were granted by the Zoning Board of Appeals on September 14, 2020 to allow the two lots to be buildable, where the sizes of the lots did not meet the code minimums.

The existing neighborhood has a variety of homes including single-story and two-story homes. However, the subject property is located on a block that is primarily single-story homes with a mix of attached and detached garages. It should be noted that there are five newer two-story homes with attached garages previously built on the southern end of this block, and there are also two-story homes located directly across the street to the north and to the east.

With regards to the new home on the interior lot, the proposed design is nicely done in a traditional style that will generally fit well in this location. The single-story front porch, the eave detail above the garage, and the single-story third car garage space help the design to relate and transition to the adjacent single-story house. The all-siding exterior has a nice appearance, but all the houses on this block have some masonry incorporated in the design, which the proposed design lacks. Staff recommends approval of the proposed design, with a recommendation to add some masonry accents to the proposed design.

With regards to the new home on the corner lot, the proposed design is done in a traditional style that will generally fit well in this location, and with the adjacent new home being proposed next to it. The design of the two homes are distinctly different but fit well together. However, the west elevation of the corner house facing Chestnut is dominated by the garage, so a revised design is recommended with the garage relocated to the east side of the house, or at least with more living space located towards Chestnut. Additionally, the porch columns on the north (front) elevation are not centered on the symmetrical façade, and it is recommended that the depth of the wrap around porch on the east and west be made equal to center the porch columns on the north elevation. Finally, the all-siding exterior has a nice appearance, but all of the houses on this block have some masonry incorporated in the design, which the proposed design lacks. Staff recommends the Design Commission evaluate the proposed design of this home, based on the concerns and recommendations presented tonight.

With regards to the new home on the corner lot, **Mr. Cochran** understood the concerns about the front porch; the overhangs on the east and west ends definitely need to be symmetrical, and also line up the columns on the front door so they are equal. He considered facing the garage door on the side of the home, however he felt it was just too close to the corner coming out, so he decided to put it on the front. He also wants to preserve the east side of the home for a family room to face the rear yard. He considered adding landscaping on either side of the garage to help dress it up, and the front porch was also wrapped around to the side to give some street appeal.

With regards to the proposed home on the interior lot, **Mr. Cochran** said he was happy to add some stone to the home, which he considered doing, but he is trying to keep these 2 new homes more affordable for the neighborhood. He was unsure about adding stone to the corner house which might not fit with the proposed farmhouse style.

Chair Fitzgerald asked if there was any public comment on the projects at this time and **Mr. Hautzinger** said that although there were two public attendees, there was no request to speak at this time.

The commissioners summarized their comments. **Commissioner Kubow** referred to the site plan and pointed out that the garage on the proposed new corner lot home is in line with the proposed new home next to it. Although he understood Staff's concerns about the all-siding exterior of both new homes, and he acknowledged the many existing single-story brick homes along Chestnut, in terms of context, he pointed out a siding home located across the street and a siding home located kitty-

corner, both of which are contextually very close to the two new homes being reviewed tonight. He personally did not have any issue with the siding material, which is a popular, contemporary look that is very well done here. In response to Staff's concerns about the column spacing, which the petitioner said they are willing to adjust, **Commissioner Kubow** questioned how noticeable it would be in the real world after the home is built. However, he agreed that the garage jumps out on the front elevation and he agreed that landscaping, as suggested by the petitioner, would go a long way to help soften this area. This would be his only requirement for this home. Overall, he really liked the proposed new corner home.

With respect to the proposed new home at 1141 N. Chestnut, **Commissioner Seyer** agreed with Commissioner Kubow about the siding; he liked the all-siding being proposed for the home; however, he felt it was important that it be a quality siding material like a Hardie-board. He accepted the idea of all-siding in the majority of the exterior material, and he felt the building mass was very nice and reflects well to the neighbor to the right when facing the home. He also liked the added detail at the top of all the rooflines, so there is an accented color of the siding that helps make the home more visually interesting. He liked the new home as designed at 1141 N. Chestnut Avenue on the interior lot.

With respect to the proposed new home at 1145 N. Chestnut, **Commissioner Seyer** said it was difficult for him to support this home as currently proposed because the design of the home felt rushed, like there was not enough thought given to it. He felt there were significant areas of the home that should be addressed and refined, such as the siding all going in the same direction, which felt a bit monolithic in nature that did not help the home feel very well detailed. He suggested giving it a base, perhaps with an accent of siding or an accent material of 2' or 3' that would help ground the home and give it more of a horizontal feel. He also recommended giving the window above the front door more variation in the roof. A few improvements could make this a really nice home without drastically impacting the layout, the plan, or the massing, and be a positive attribute architecturally as well as in the financial value of the home. **Commissioner Seyer** added that corner lots are difficult to work with and he supports the orientation of the new home as proposed; it does wrap around to create more of a backyard. His number one concern with this home is the aesthetics; there needs to be another level of attention given to it because he could not support the architecture as current proposed.

Commissioner Kingsley generally agreed with the other commissioners. She had no issues with the proposed new home on the interior lot at 1141 N. Chestnut, other than a suggestion to make the porch columns slightly thicker, or just create a thicker corner column and eliminate the one in the middle. She liked the small bracket detail over the garage; however, she felt it the brackets could be beefed up. She said the massing of the home was fine, and she agreed with Staff that the south side of the home has been brought down to meet with the adjacent home.

With respect to the proposed new home at 1145 N. Chestnut, **Commissioner Kingsley** said that in general, the massing was really nice and she liked that the home responds to the other two homes that are directly across the street on Clarendon Avenue; she is not bothered by this new home turned to face Clarendon. One of the things she liked about the garage facing Chestnut is that it is a smaller elevation, making it look like a smaller home on Chestnut. She agreed with Staff that the 4 columns should be equally spaced, because the front elevation is so symmetrical. She felt there were details in the design that could help make this home really nice, such as the proportions of the columns, the bases, and the capitals, which should be more classically proportioned. She added that the bay above the front door has a lower eave line and it looks like the gutter is not continuous; she suggested making that eave line continuous. **Commissioner Kingsley** also agreed with Commissioner Seyer about the possibility of introducing a second siding material that would help break down the façade, especially the west end of the north elevation, which might also help to emphasize the front door. In general, she said it was a nice design.

Commissioner Eckhardt agreed with the comments from the other commissioners regarding the new home at 1141 N. Chestnut; the design is fine, and he agreed with Commissioner Kingsley's comments about the size of the columns. With regards to the overall site planning, he felt the 2 new homes would be good neighbors to each other, yielding to certain heights and setbacks, and he completely supports the front of the corner home being on Chestnut with the classic porch and raised pediment.

With regards to the corner home, **Commissioner Eckhardt** said that it looked like 2 homes to him, and he wondered how it would look without the garage. The massive portion of the garage that is closer to the garage door needs to be broken up,

which could be accomplished by continuing the roofline down, possibly increasing the footprint a couple of feet, giving it a nice massing break and bringing the gutter line of the garage down equal to the overhang of the porch; this would then break up that mass and bring it together. The petitioner's suggestion to heavily landscape this area would take away the big blank surface on the facade and help camouflage the big, flat wall, and **Commissioner Eckhardt** felt this should be a requirement to be reviewed by Staff. In terms of the columns, he agreed with Commissioner Kubow that equal spacing is visually more important and a stronger design element than trying to match and align the bumps and the door and everything. In response to the suggestion to change the direction of the siding, he supported the other commissioner's consensus.

In regards to the proposed new home at 1141 N. Chestnut, **Chair Fitzgerald** asked about the color of the home and **Mr. Cochran** said it was a blue/grey color, which **Chair Fitzgerald** liked. **Chair Fitzgerald** also said that the garage looked really big and he agreed with Commissioner Kingsley's suggestion to remove the middle column on the porch; he was in support of anything that could be done to beef up the porch. In terms of the proposed new home at 1145 N. Chestnut, **Chair Fitzgerald** liked the way the home is situated on the lot, he liked that it will have the side yard in the back for more privacy, and he felt the garage elevation looked nice. He preferred the columns to be centered on the front door, whether it was centered on the door itself or centered on the edge of the window, and although he agreed that more detailing of the siding would be nice, he was okay with the way it is currently proposed because adding landscaping there would go a long way to soften it.

Chair Fitzgerald asked if there was a motion at this time, which should be made separately for each home, starting with the home at 1141 N. Chestnut Avenue.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER KINGSLEY, TO RECOMMEND APPROVAL OF THE PROPOSED ARCHITECTURAL DESIGN FOR A NEW SINGLE-FAMILY HOME TO BE LOCATED AT 1141 N. CHESTNUT AVENUE. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE ARCHITECTURAL PLANS RECEIVED 9/28/20, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. **A RECOMMENDATION THAT THE COLUMNS AT THE FRONT PORCH BE REVISED TO EITHER REMOVE THE CENTER COLUMN OR MAKE THE CENTER COLUMN LARGER.**
2. **A RECOMMENDATION THAT THE PETITIONER FURTHER STUDY THE BRACKETS AT THE GARAGE, POSSIBLY MAKING THEM LARGER.**
3. **THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.**

Chair Fitzgerald asked for clarification on removing or increasing the size of just the center column. **Commissioner Kubow** was concerned about beefing up all the columns. **Commissioner Kingsley** suggested either removing the center column or making the corner column larger, and Commissioner Kubow agreed.

A MOTION WAS MADE BY COMMISSIONER KUBOW TO AMEND THE MOTION AS FOLLOWS:

1. **A RECOMMENDATION THAT THE COLUMNS AT THE FRONT PORCH BE REVISED TO REMOVE THE CENTER COLUMN AND MAKE THE CORNER COLUMN LARGER.**

COMMISSIONER KINGSLEY SECONDED THE AMENDED MOTION.

ECKHARDT, AYE; KUBOW, AYE; KINGSLEY, AYE; SEYER, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

With regards to the home at 1145 N. Chestnut, **Mr. Cochran** said that the garage detail from the home at 1141 N. Chestnut could be added onto the garage at 1145 N. Chestnut, to help break up the garage wall, but he definitely wanted to change the siding to horizontal at the bottom and vertical at the top, with a band board to go around the home. **Chair Fitzgerald** asked how high up the horizontal siding would go and **Mr. Cochran** said it would be even with the fascia on the first-floor roofline. **Commissioner Seyer** felt this additional level of detail, changing the pattern of siding, would go a long way in this style of home, and he was in support of it. **Commissioner Kingsley** was in support of this change and said that the addition of corner boards or a frieze board at the top might also help. **Mr. Cochran** confirmed that all these details, although not shown on the drawings, would be added.

Commissioner Eckhardt asked the commissioners for their comments on the spacing of the columns. **Chair Fitzgerald** liked the two end columns where they were currently located, but wanted the distance of the column to the left of the front door at the right edge of the window to be the same as the column to the right of the front door. **Commissioner Seyer** agreed; the 2 center columns need to be centered on the front door. **Commissioner Eckhardt** was ready to make a motion.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER KUBOW, TO RECOMMEND APPROVAL OF THE PROPOSED ARCHITECTURAL DESIGN FOR A NEW SINGLE-FAMILY HOME TO BE LOCATED AT 1145 N. CHESTNUT AVENUE. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE ARCHITECTURAL PLANS RECEIVED 9/21/20, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT TO CHANGE THE DIRECTION OF THE SIDING MATERIAL, WITH THE LOWER PORTION TO BE HORIZONTAL AND THE UPPER PORTION TO BE VERTICAL, SEPARATED BY A SUBSTANTIAL SIZE OF BELLYBAND TO SEPARATE THE TWO MATERIALS.
2. A REQUIREMENT THAT THE 2 INSIDE COLUMNS AT THE FRONT PORCH BE EQUAL DISTANCE FROM THE FRONT DOOR, SUCH AS THE COLUMN ON THE LEFT STAYING WHERE IT IS AND THE COLUMN ON THE RIGHT MOVED TO BE AN EQUAL DISTANCE FROM THE DOOR, OR A CONFIGURATION THAT IS ALSO EQUAL DISTANCE, FOR STAFF REVIEW AND APPROVAL.
3. A REQUIREMENT THAT THE PETITIONER SUBMIT A LANDSCAPE PLAN TO STAFF FOR REVIEW, FOR LANDSCAPING AROUND THE GARAGE WALL ON THE NORTH ELEVATION TO SOFTEN THE MASSING THERE.
4. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

Commissioner Kingsley commented about the proportion of the columns; she felt the thickness was fine, but the detailing should be more classically proportioned, as previously stated by the petitioner.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT TO AMEND THE MOTION TO ADD THE FOLLOWING:

5. A REQUIREMENT THAT THE PETITIONER SUBMIT A MANUFACTURER CUT SHEET OF THE PORCH COLUMN OR A DETAILED SCALE DRAWING, FOR STAFF REVIEW AND APPROVAL.

Commissioner Eckhardt asked the petitioner if the columns would be square or round and **Mr. Cochran** said they would probably be square and wood stained to match the porch ceiling, with a capital and small trim piece at the base. **Chair Fitzgerald** preferred the columns to be white because the porch floor and ceiling are wood. **Mr. Cochran** clarified that the porch floor would be concrete not wood, and **Chair Fitzgerald** still preferred the columns to be white. **Commissioner Eckhardt** agreed that the columns should be white and clarified that the motion was approving what was shown in the rendering, which he thought was brick not plain grey concrete, which was a disappointment to him. **Commissioner Eckhardt** wanted the petitioner to submit a larger scaled, detailed drawing of the columns, for Staff review and approval. **Commissioner Seyer** felt the proposed farmhouse style tends to have a bit of a stone base, and he wanted to see the porch be comprised of stone pavers in a grey or darker grey palette; that cost will come back in the home as its value. **Commissioner Kingsley** also agreed that this works with the standing metal seam roof being proposed on the front of the home. **Mr. Cochran** said that stamped concrete or brick pavers could be done on the porch floor, with a revised rendering showing this change.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT TO AMEND THE MOTION TO ADD THE FOLLOWING:

- 6. A REQUIRMENT TO PROVIDE AN ENHANCED MATERIAL FOR THE FLOOR OF THE FRONT PORCH, EITHER A HIGH QUALITY STAMPED CONCRETE OR ACTUAL STONE, PROVIDING AN OFFSET COLOR AND A DEGREE OF NOBLE MATERIAL.**

COMMISSIONER KINGSLEY SECONDED THE MOTION.

Commissioner Kingsley asked if the color of the columns is included in the motion, and **Commissioner Eckhardt** said he assumed the columns will be white as shown in the rendering. **Commissioner Kingsley** also questioned if the motion included brick pavers as an option for the porch floor, and **Commissioner Eckhardt** replied that although he preferred to see brick or real stone there, he was sympathetic to cost factors. **Mr. Cochran** felt the color of the porch floor was more important than the material being used, and he confirmed that a deeper color would be used. He also agreed with white for the columns and centering the 2 middle columns with the front door.

**ECKHARDT, AYE; KUBOW, AYE; KINGSLEY, AYE; SEYER, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.**

ITEM 2. GENERAL MEETING

There was no further discussion.

A MOTION WAS MADE BY COMMISSIONER KINGSLEY, SECONDED BY COMMISSIONER KUBOW, TO ADJOURN THE MEETING AT 7:30 PM.

**ECKHARDT, AYE; KUBOW, AYE; KINGSLEY, AYE; SEYER, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.**



Design Commission 10/27/2020

Item: DC#20-063 - 508 S. Phelps Ave. - SF/Teardown

Department: Planning and Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission evaluate the proposed architectural design for the new (teardown) single-family home to be located at 508 S. Phelps Avenue. This recommendation is subject to compliance with the architectural plans received 9/22/20, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. It is recommended that the sides of the main roof be hipped in to diminish the overall mass of the house, which will also reduce the height of the side walls.
2. Consider omitting the gable roof above the garage, and instead continue the porch roof across the front elevation.
3. Consider a more earth tone color palette to better fit with the neighborhood in lieu of the proposed black and white color scheme.
4. For a more cohesive appearance, it is recommended that the second floor board and batten siding be continued on all sides of the house, which will also help to break up the scale of the two-story walls.
5. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage

requirements.

6. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report

Exhibits

Type

Board or Commission Report

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 508 S. Phelps Avenue
Project Address: 508 S. Phelps Avenue
Prepared By: Steve Hautzinger

Date Prepared: October 20, 2020

PETITION INFORMATION:

DC Number: 20-063
Petitioner Name: Chris Russo
Petitioner Address: ALA Architects & Planners
2600 Brehan Road, Suite C
Crystal Lake, IL 60014
Meeting Date: October 27, 2020

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines.

The petitioner is proposing to demolish an existing split-level house with attached carport to allow construction of a new two-story residence with an attached, two-car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 7,929 square feet and the proposed residence will have approximately 3,508 square feet. The project does comply with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 15 feet Side: 6 feet Side: 6 feet Rear: 30 feet	Front: 30.5 feet Side: 6.5 feet Side: 6.54 feet Rear: 48.9 feet
Building Height	25 feet to the midpoint	24.8 feet to the midpoint
FAR	3,568 SF	3,508 SF
Building Lot Coverage	2,775 SF	2,328 SF
Impervious Surface Coverage Total	3,965 SF	2,906 SF

The context in this location is primarily smaller scale single-story houses with a mix of attached and detached garages. There is only one other teardown previously completed on this block which was approved in 2005.

The proposed design looks large and out of context in this location. The single story roofline across the front elevation helps to break down the scale of the house, but some revisions to the design are recommended to diminish the overall mass of the house, and help it fit in better with the neighborhood.

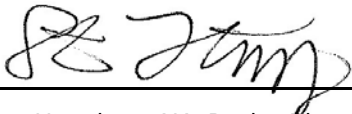
1. It is recommended that the sides of the main roof be hipped in to diminish the overall mass of the house, which will also reduce the height of the side walls.
2. The garage has a prominent appearance. Consider omitting the gable roof above the garage, and instead continue the porch roof across the front elevation.
3. The proposed black and white color scheme is currently very popular, but in this location it may be too bold. Consider a more earth tone color palette to better fit with the neighborhood.
4. For a more cohesive appearance, it is recommended that the second floor board and batten siding be continued on all sides of the house, which will also help to break up the scale of the two-story walls.

RECOMMENDATION:

It is recommended that the Design Commission evaluate the proposed architectural design for the new (teardown) single-family home to be located at 508 S. Phelps Avenue. This recommendation is subject to compliance with the architectural plans received 9/22/20, Design

Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. It is recommended that the sides of the main roof be hipped in to diminish the overall mass of the house, which will also reduce the height of the side walls.
2. Consider omitting the gable roof above the garage, and instead continue the porch roof across the front elevation.
3. Consider a more earth tone color palette to better fit with the neighborhood in lieu of the proposed black and white color scheme.
4. For a more cohesive appearance, it is recommended that the second floor board and batten siding be continued on all sides of the house, which will also help to break up the scale of the two-story walls
5. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
6. Compliance with all applicable Federal, State, and Village codes, regulations and policies.



October 20, 2020

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 20-063

PARK STREET



- SURVEYORS NOTES:**

- GENERAL NOTES:**

-
- The seal is circular with a double-lined border. The outer ring contains the text "JOSEPH R. SADOSKI" at the top and "LINCOLNSHIRE, ILLINOIS" at the bottom, separated by two small profile icons of a person's head. The center of the seal features the license number "3316" at the top, followed by the text "PROFESSIONAL LAND SURVEYOR" and "STATE OF ILLINOIS" in a stacked arrangement. A stylized outline of the state of Illinois is positioned behind the central text.

AREA

STATE OF ILLINOIS }
COUNTY OF LAKE } SS

DATED THIS 10TH DAY OF SEPTEMBER, A.D., 2020.

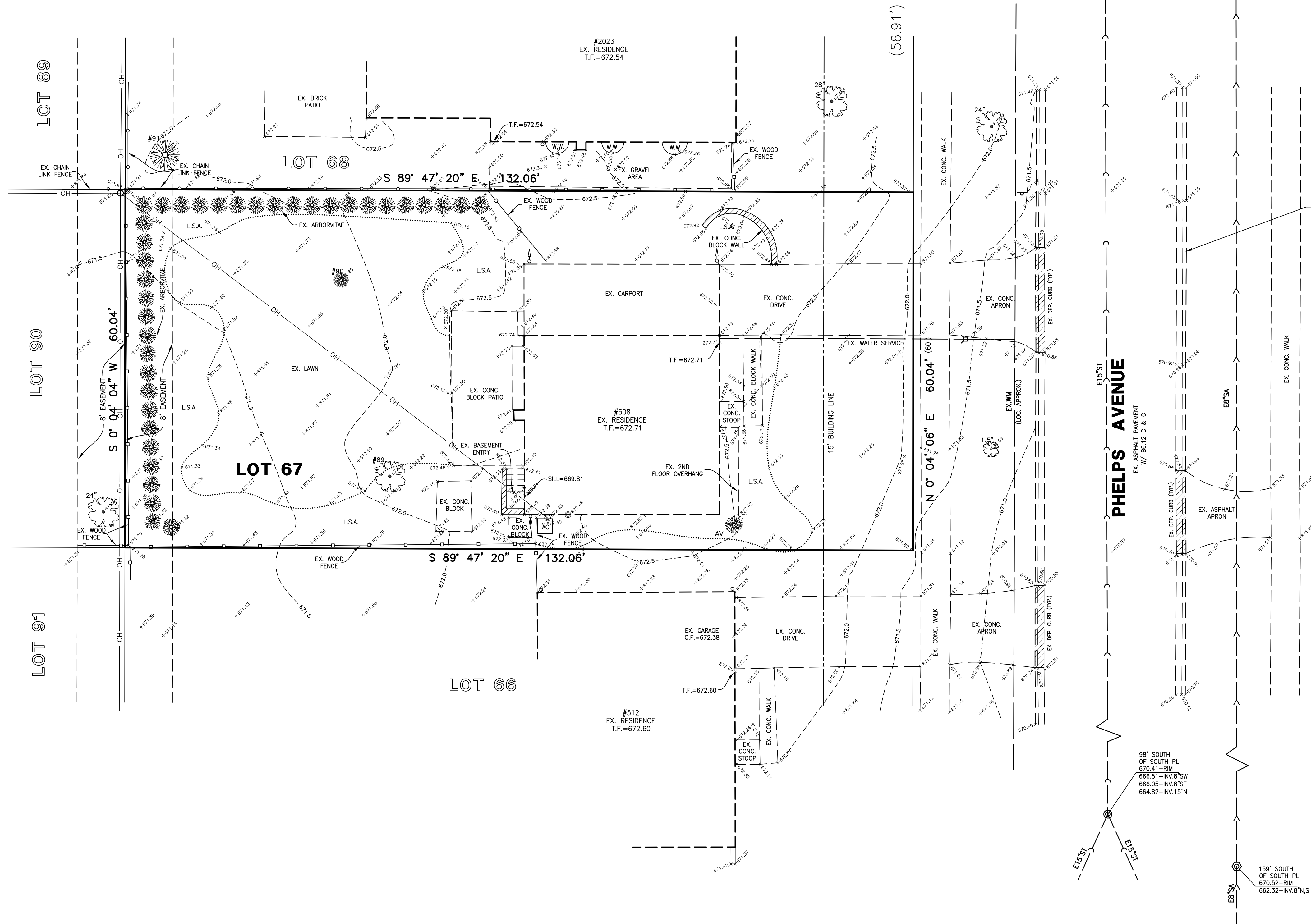
JOSEPH R. SADOSKI
ILLINOIS
PROFESSIONAL LAND SURVEYOR NO. 3316
MY RENEWABLE LICENSE EXPIRES 11-30-20.

SCALE:	1"=20'
DRAWING No.	66205
SHEET	1 OF 1

PLAT OF SURVEY

LEGAL DESCRIPTION

LOT SIXTY-SEVEN (67) IN H. ROY BERRY COMPANY'S "ARLINGTON ACRES", BEING A SUBDIVISION OF THAT PART OF THE SOUTH EAST QUARTER (1/4) OF THE NORTH WEST (1/4) AND THE NORTH EAST QUARTER (1/4) OF THE SOUTHWEST (1/4) OF SECTION 33, TOWN 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF NORTH WEST HIGHWAY IN COOK COUNTY, ILLINOIS.



JOB BENCHMARK:
CROSS ON CURB
ELEVATION=671.23 (NAVD 88)

SOURCE BENCHMARK:
BASED ON NAVD 88 (GEOID 12B) AS
REFERENCED FROM PRECISION
MIDWEST COMPANIES TRIMBLE, VRSnow
RTK-GNSS NETWORK

LEGEND

- 104 --- CONTOUR
- x 105.08 SPOT ELEVATION
- 10' DECIDUOUS TREE W/DIA.
- 12' CONIFEROUS TREE W/DIA.
- Sanitary Manhole
- Storm Manhole
- Catch Basin
- Inlet
- Water Service Box
- Valve & Vault
- Fire Hydrant
- Utility Pole
- Light Standard
- Storm Culvert
- Sanitary Sewer
- Storm Sewer
- Water Main
- Ditch
- Swale
- Direction Surface Drainage
- Fence
- Downspout

Tree Preservation Survey				508 S Phelps Ave Arlington Heights, IL	
TAG #	SIZE	SPECIES	CONDITION 1 - 6 (1=BEST - 6=DEAD)	NOTES / LOCATION	
89	42	Silver Maple	3		
90	7	Spruce	3		
91	13	White Cedar	3		
Thank You,					
Lou Leggett					
Certified Arborist #177A					
847-561-7061					



SOLE PROPERTY OF GREENGARD, INC. AND NO REPRODUCTION OR USE, IN WHOLE OR PART WITHOUT WRITTEN PERMISSION OF GREENGARD, INC.

DRAWN BY: DATE:

REVISIONS

DRAWN BY: DATE:

REVISIONS

DESIGNED BY: MS DATE: 09-11-20
CHECKED BY: DRF DATE: 09-11-20
APPROVED BY: DRF DATE: 09-11-20



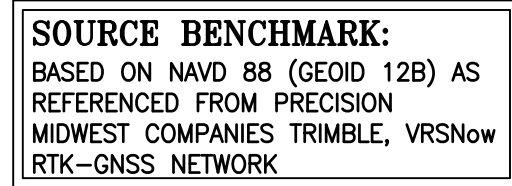
GREENGARD, INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3623
PHONE: 847-634-3883 E-MAIL: 231@GREENGARDINC.COM
FAX: 847-634-0687 ILL. REGISTRATION NO. 184-000995

SCALE: 1"=10'
DRAWING No. 66205
SHEET 1 of 1

508 PHELPS AVENUE - ARLINGTON HEIGHTS, IL.

EXISTING TOPOGRAPHY

LOT SIXTY-SEVEN (67) IN H. ROY BERRY COMPANY'S "ARLINGTON ACRES", BEING A SUBDIVISION OF THAT PART OF THE SOUTH EAST QUARTER (1/4) OF THE NORTH WEST (1/4) AND THE NORTH EAST QUARTER (1/4) OF THE SOUTHWEST (1/4) OF SECTION 33, TOWN 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF NORTH WEST HIGHWAY IN COOK COUNTY, ILLINOIS.



A horizontal scale bar labeled "SCALE IN FEET" with markings at 0, 10, 20, 30, and 40.

DRAWN BY: DATE:	REVISIONS	DRAWN BY: DATE:	REVISIONS

DESIGNED BY: MS	DATE: 09-21-20
CHECKED BY: DRF	DATE: 09-21-20
APPROVED BY: DRF	DATE: 09-21-20



GREENGARD, INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3628
PHONE: 847-634-3883 E-MAIL: 231@GREENGARDINC.COM
FAX: 847-634-0687 ILL. REGISTRATION NO. 184-0009

SCALE:	1"=10'
DRAWING No.	66205
SHEET	2 OF 4

508 PHELPS AVENUE - ARLINGTON HEIGHTS, IL

SITE PLAN



A

B

C

D

E

514 S. PHELPS AVENUE
2 HOUSE LEFT



512 S. PHELPS AVENUE
1 HOUSE LEFT



508 S. PHELPS AVENUE
SUBJECT PROPERTY



2023 E. PARK STREET
1 HOUSE RIGHT



2024 E. PARK STREET
2 HOUSE RIGHT



S. PHELPS AVENUE



513 S. PHELPS AVENUE
1 HOUSE RIGHT ACROSS ST.



509 S. PHELPS AVENUE
DIRECTLY ACROSS ST.



2105 E. PARK STREET
1 HOUSE LEFT ACROSS ST.

E. PARK STREET

10
A203

NEIGHBORHOOD PHOTO BOARD

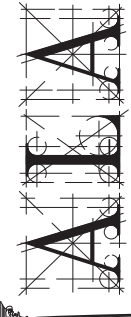
NOT TO SCALE

DESIGN STAGE		1	2	3	4	5
CONCEPTUAL DESIGN						
PRELIMINARY DESIGN						
SCHEMATIC DESIGN						
PERMIT PREP						
PERMIT REVIEW						
FINAL REVIEW						
RELEASE FOR PERMIT						
REVISION						

MARTON PREMIER HOMES
508 SOUTH PHELPS AVE
ARLINGTON HEIGHTS, IL

NEIGHBORHOOD PHOTO BOARD

Architects & Planners, Inc.
2000 Belmont Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815/786-0200 Fax: 815/786-0201



Job Number:
20226

Sheet Number:
A203

Plot Name:
20226203



DESIGN STAGE		1	2	3	4	5
CONCEPTUAL DESIGN	PRELIMINARY DESIGN	DESIGN DEVELOPMENT	RELEASE FOR BID	FINAL REVIEW	RELEASE FOR PERMIT	REVISION
		08-15-20 BM	08-14-20 BM	08-15-20 BM	08-15-20 BM	

MARTON PREMIER HOMES
508 SOUTH PHELPS AVE
ARLINGTON HEIGHTS, IL

EXISTING FRONT ELEVATION W/ CONTEXT
FRONT ELEVATION W/ CONTEXT

Architects & Planners, Inc.
2000 Behan Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-0200 Fax: 815-788-9301

ALA
Architects & Planners, Inc.
184-005572
ARCHITECT
CORP.

Job Number
20226
Sheet Number
A202

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A L A Architects & Planners, Inc.

- ELEVATION NOTES**
- DO NOT SCALE ELEVATIONS. VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
 - WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE.
 - SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
 - IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS
- WINDOW NOTES**
- ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET & INCHES EXAMPLE: 2555 = 2'-5" X 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED), DEPENDING ON MFG.
 - EGRESS WINDOW =
 - TEMPERED GLASS =
 - FIXED WINDOW =

DESIGN STAGE	1	2	3	4	5
CONCEPTUAL DESIGN					
PRELIMINARY DESIGN					
DESIGN DEVELOPMENT					
RELEASE FOR BID					
FINAL REVIEW					
RELEASE FOR PERMIT					
REVISION					

MARTON PREMIER HOMES
508 SOUTH PHELPS AVE
ARLINGTON HEIGHTS, IL

FRONT ELEVATION
REAR ELEVATION

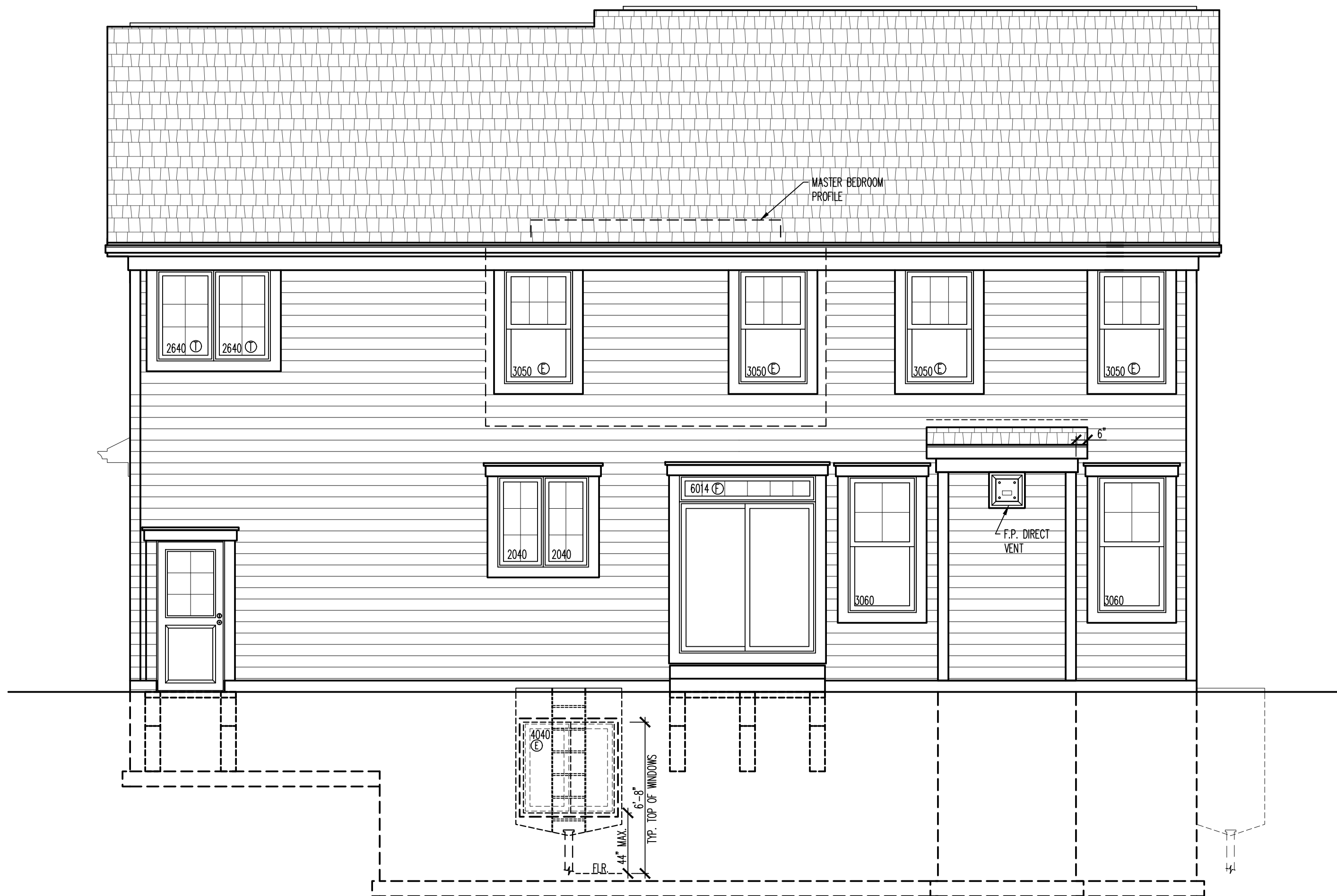
Architects & Planners, Inc.
2000 Behan Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-0200 Fax: 815-788-9301

A L A

Job Number
20226

Sheet Number
A200

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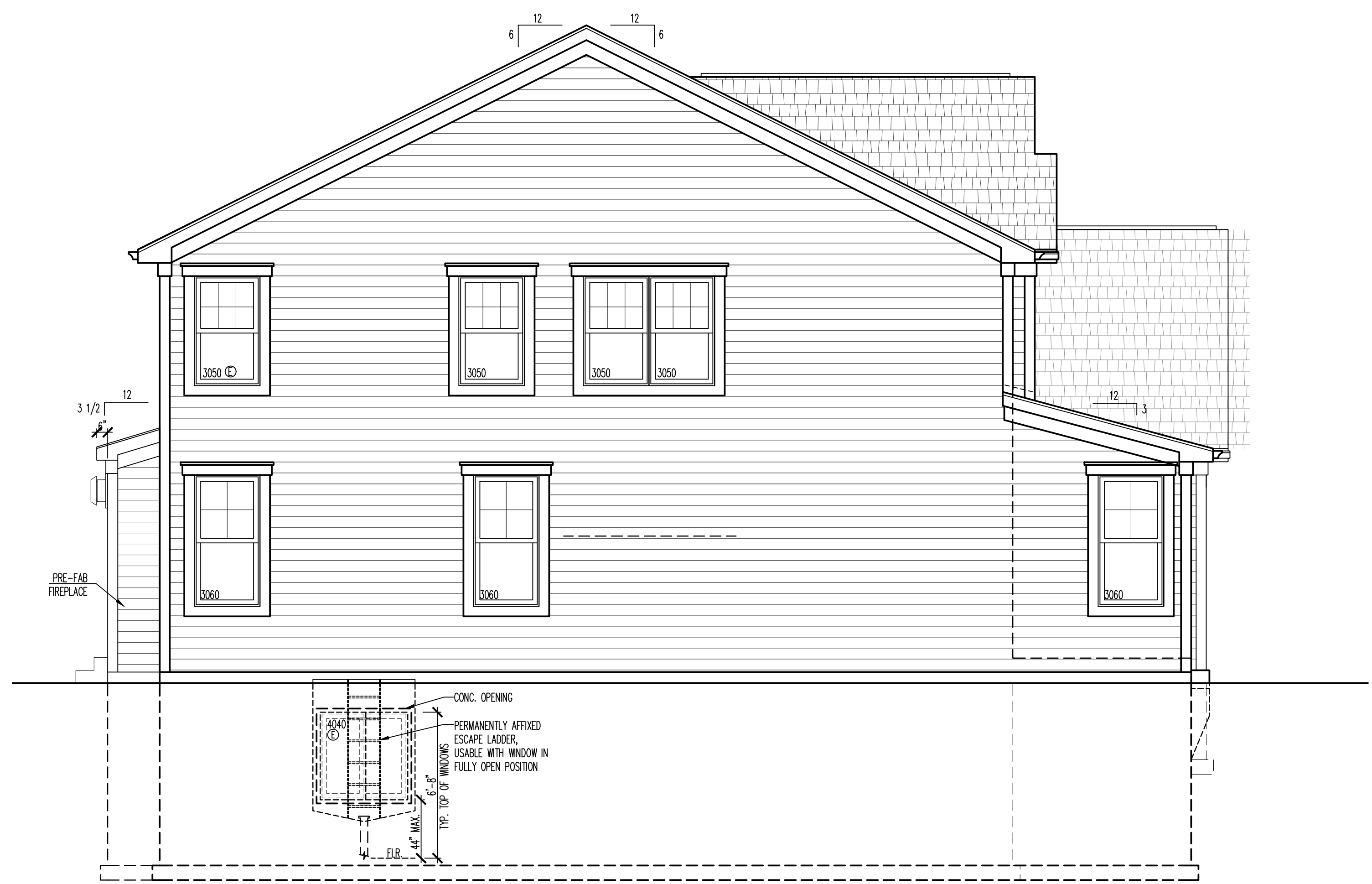
2C
A200
REAR ELEVATION

1/4"=1'-0"

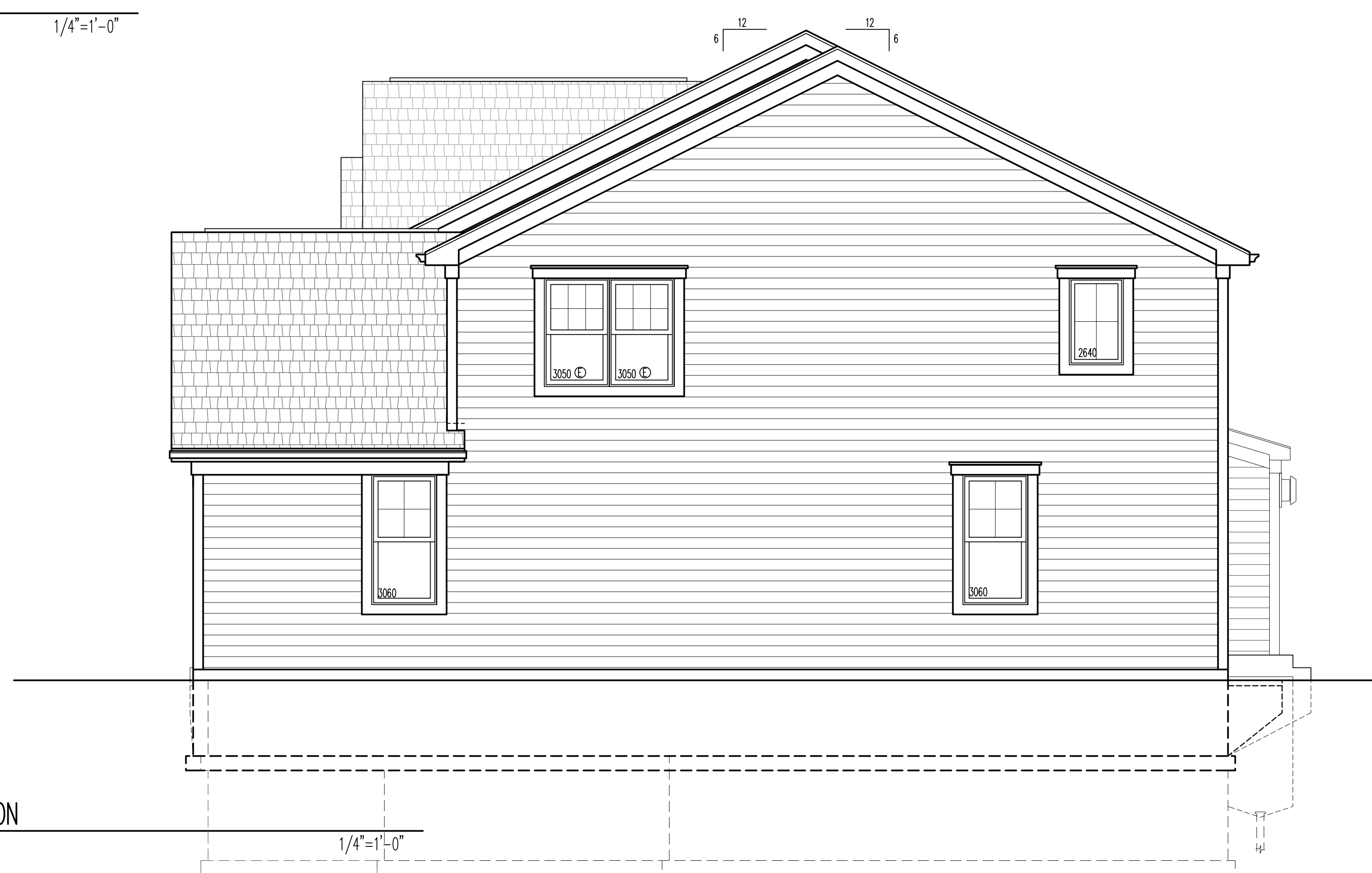


4E
A200
FRONT ELEVATION

1/4"=1'-0"



2C
A201
LEFT SIDE ELEVATION
1/4"=1'-0"



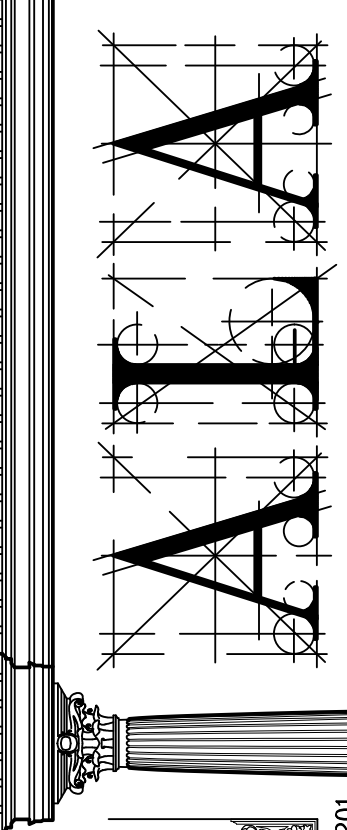
4E
A201
RIGHT SIDE ELEVATION
1/4"=1'-0"

DESIGN STAGE	1	2	3	4	5
CONCEPTUAL DESIGN					
PRELIMINARY DESIGN					
DESIGN DEVELOPMENT					
RELEASE FOR BID					
FINAL REVIEW					
RELEASE FOR PERMIT					
REVISION					

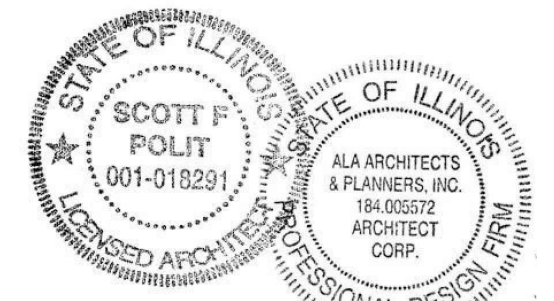
MARTON PREMIER HOMES
508 SOUTH PHELPS AVE
ARLINGTON HEIGHTS, IL

RIGHT SIDE ELEVATION
LEFT SIDE ELEVATION

Architects & Planners, Inc.
2000 Behan Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-0200 Fax: 815-788-9201



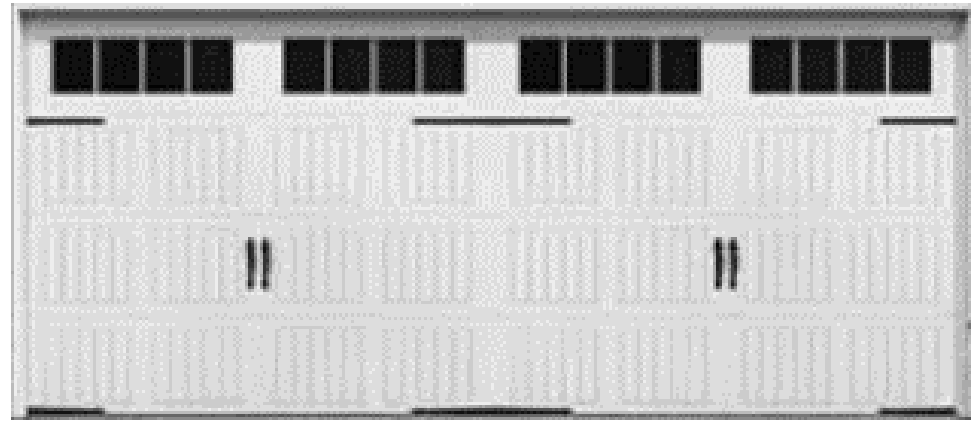
Job Number
20226
Sheet Number
A201



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508 SOUTH PHELPS AVE

EXTERIOR DESIGN



ROOF COLORS



Home Address: 508 S PHELPS AVENUE
ARLINGTON HEIGHTS IL

Created: 9.15.2020
Revision Dates:
Revision Number: ORIGINAL

EXTERIOR COLORS & CONCRETE	TYPE:	COLOR:	GLAZE:	EDGE:	SIZE:	PATTERN:	GROUT:	REVISION DATE:
ROOF:	LANDMARK ARCH. SHINGLES	MOIRE BLACK						
SIDING:	7" LP SMART SIDE LAP SIDING	SW7006 - EXTRA WHITE						
BOARD & BATTEN SIDING:	LP SMART SIDE	SW7006 - EXTRA WHITE						
STONE:	N/A							
TRIM/SOFFIT/FASICA COLOR:	LP SMART TRIM	SW7006 - EXTRA WHITE						
WINDOW COLOR:	M/I 4300 SERIES VINYL	BLACK - EXTERIOR WHITE - INTERIOR						
GABLES:	N/A							
GUTTERS:	NORANDEX	WHITE			5"			
EXTERIOR DOOR:	STEVENS & SONS LEGACY FIBERGLASS DOOR	PAINTED BLACK			PER PLAN			
EXTERIOR DOOR HARDWARE:	KWIKSET SAN CLEMENTE 818SCCLIP-5145	MATTE BLACK						
PORCH CEILING:	T & G FIR BEADBOARD	NATURAL/CLEAR						
GARAGE DOOR:	WAYNE DALTON 9100 SONOMA RANCH	WHITE STOCKBRIDGE IV - 3LITE			PER PLAN			
GARAGE DOOR OPENERS:	YES							
GARAGE DOOR HARDWARE:	YES	BLACK						



**Design Commission
10/27/2020**

Item: DC#20-066 - 18 S. Chestnut Ave. - SF/Teardown

Department: Planning and Community Development

Requested Action

Approval of the proposed demolition of an existing single-family residence to create an open lot.

Recommendation

It is recommended that the Design Commission evaluate the proposed demolition of the existing single-family residence located at 18 S. Chestnut Avenue. This recommendation is subject to compliance with the site plan and letter from the owner received 9/29/20, and the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
2. The Petitioner shall comply with all Federal, State, and Village codes, regulations, and policies.

ATTACHMENTS:

Description

Staff Report
Exhibits

Type

Board or Commission Report
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 18 S. Chestnut Avenue
Project Address: 18 S. Chestnut Avenue
Prepared By: Steve Hautzinger

Date Prepared: October 21, 2020

PETITION INFORMATION:

DC Number: 20-066
Petitioner Name: John & Stacey Castanoli
Petitioner Address: 212 N. Belmont Avenue
Arlington Heights, IL 60004
Meeting Date: October 27, 2020

Requested Action(s): Approval of the proposed demolition of an existing single-family residence to create an open lot.

Summary

The proposed request is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines.

The petitioner is proposing to demolish an existing two-story residence and detached garage to create an open, vacant lot. The subject site is zoned R-3, One Family Dwelling District, and has a total land area of 8,725 square feet. Per Section 13.2.c of Chapter 28 (Zoning Regulations), a development plan is required to be approved prior to issuance of a demolition permit. At this time, the development plan proposed by the petitioner is to demolish the existing house and detached garage, remove all trees and landscaping except for one parkway tree, restore the lot to turf, and maintain the lot as open space. In the future, the petitioner intends to build a custom home on the site. It should be noted that accessory structures are not allowed to be built on a vacant lot without a principal building.

Demolition of existing residences to create vacant lots is generally not supported by the Village unless such property is deemed to be unsafe, uninhabitable, and/or dangerous. The Building Department did inspect the home and did not find it to be unsafe or uninhabitable, but the petitioner reports that it was used as a rental house and is in poor condition. If the Design Commission does not approve demolition, then the owner will be required to address exterior property maintenance requirements as enforced by the Village Health Department.

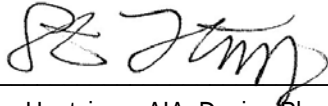
Surrounding Land Uses

<i>Direction</i>	<i>Existing Zoning</i>	<i>Existing Use</i>	<i>Comprehensive Plan</i>
Subject Property	R-3, One-Family Dwelling District	One-Family Dwelling	Single Family Attached
North	R-6, Multiple-Family Dwelling District	Multi-Family Dwelling	Single Family Attached
South	R-3, One-Family Dwelling District	One-Family Dwelling	Single Family Attached
East	B-5, Downtown District	Vacant Land	Mixed Use
West	R-3, One-Family Dwelling District	One-Family Dwelling	Single Family Detached

RECOMMENDATION:

It is recommended that the Design Commission **evaluate** the proposed demolition of the existing single-family residence located at 18 S. Chestnut Avenue. This recommendation is subject to compliance with the site plan and letter from the owner received 9/29/20, and the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
2. The Petitioner shall comply with all Federal, State, and Village codes, regulations, and policies.



October 21, 2020

Steve Hautzinger AIA, Design Planner
Department of Planning & Community Development

c: Charles Witherington Perkins, Director of Planning and Community Development, Mark Fink, Building Department, Sean Freres, Health Department, Petitioner, DC File 20-066

September 28, 2020

To: The Village of Arlington Heights

ATTN: Steve Hautzinger

RE: 18 S. Chestnut, Arlington Heights

We are requesting a demolition only permit for the following reasons.

1. The home is beyond reasonable repairs.
2. We had a previous tenant who needed to be forcefully evicted and they left the home in disarray and was not rentable.
3. The property across the street is vacant and we want to build a home sometime after that project is completed.
4. Our plan is in the future to build our retirement home on this property.

Sincerely,



Date:

9-28-20

John Castanoli



Date:

9-28-20

Stacey Castanoli

SINGLE FAMILY HOME
18 S. CHESTNUT AVENUE
VILLAGE OF ARLINGTON HEIGHTS
ILLINOIS 60005



PROPERTY TO LEFT 3
30 S. CHESTNUT



PROPERTY TO LEFT 2
26 S. CHESTNUT



PROPERTY TO LEFT 1
24 S. CHESTNUT



SUBJECT PROPERTY
18 S. CHESTNUT



PROPERTY TO RIGHT 1
12 S. CHESTNUT



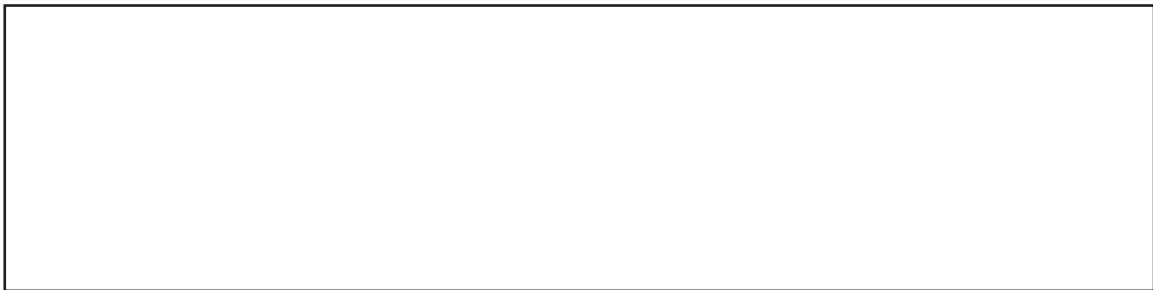
PROPERTY TO RIGHT 2
8 S. CHESTNUT



PROPERTY TO RIGHT 3
2 S. CHESTNUT

ALTERNATE ADDRESS: 217 W. CAMPBELL AVE.

S. CHESTNUT AVENUE



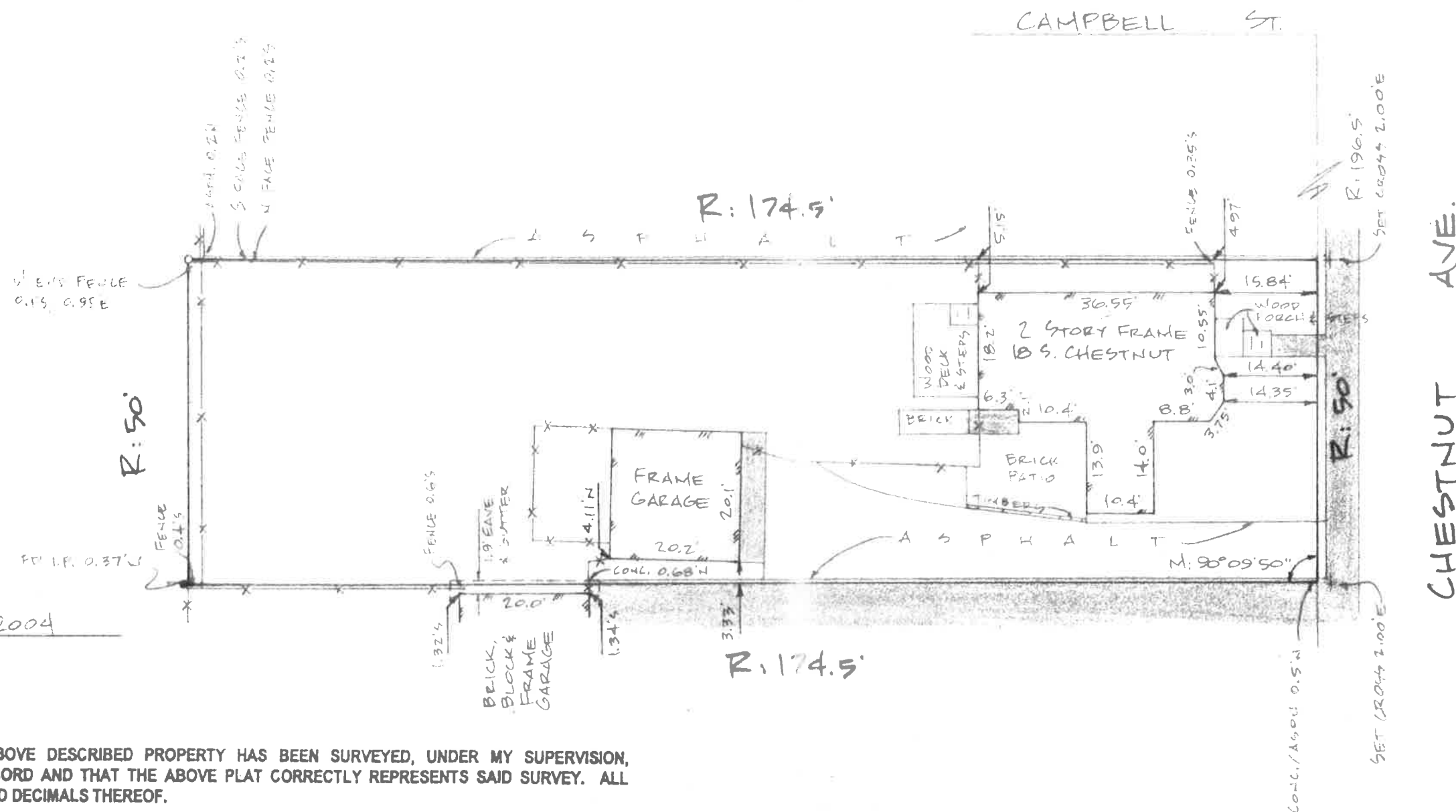
PROPERT ACROSS 1 (VACANT LOT)
33 - 25 S. CHESTNUT



PROPERT ACROSS 2 (VACANT LOT)
17 - 13 S. CHESTNUT

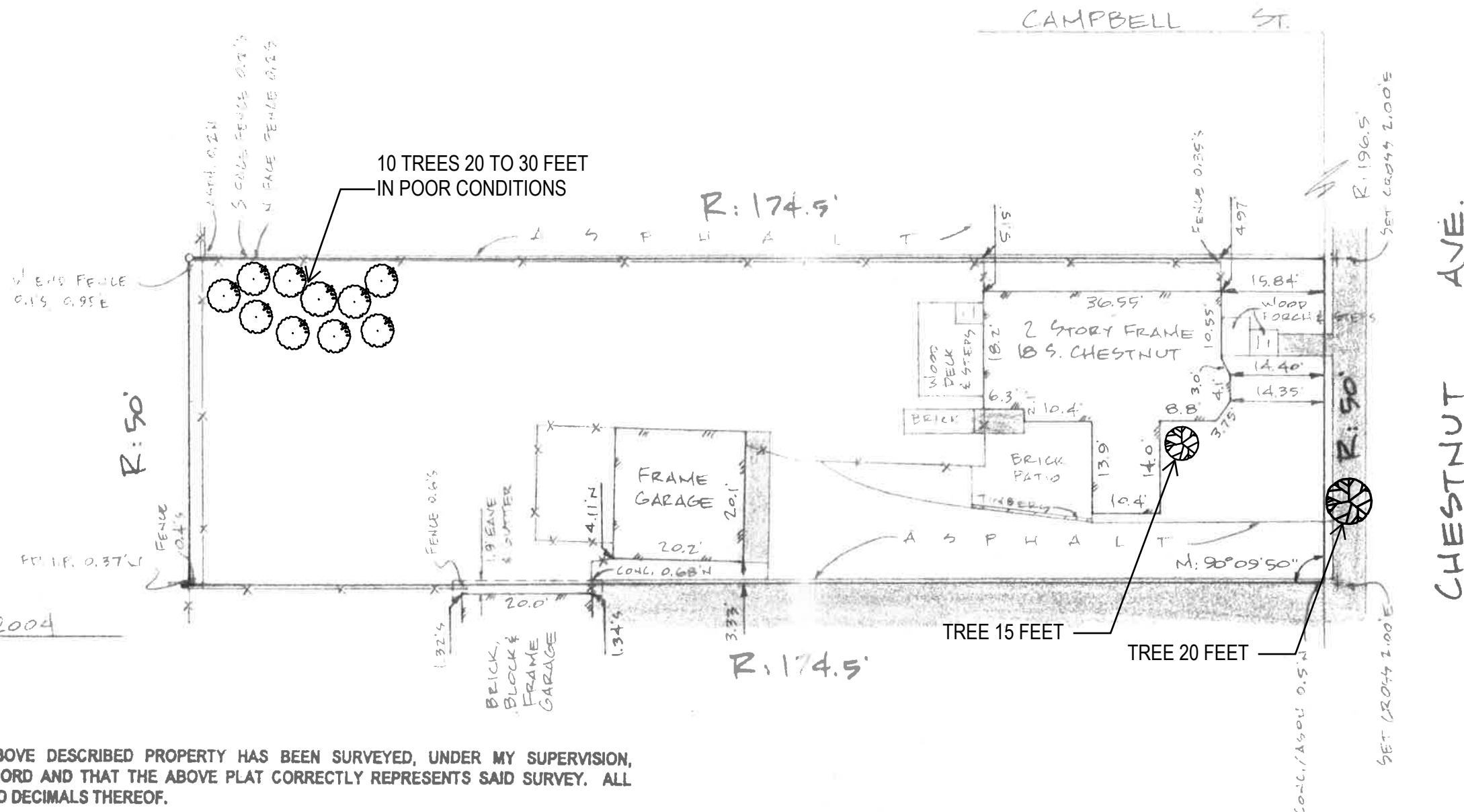
PLAT OF SURVEY

Of Lot 3 in Block 1 in Subdivision of Lots 26, 27, 28 and 29 in Assessor's Division of Section 30, Township 42 North, Range 11, East of the Third Principal Meridian, in Cook County, Illinois.



**SCHLAF-SEDIG
& ASSOCIATES, INC.**
1030 Summerfield Drive
Roselle, Illinois 60172
(630) 924-7100

Of Lot 3 in Block 1 in Subdivision of Lots 26, 27, 28 and 29 in Assessor's Division of Section 30, Township 42 North, Range 11, East of the Third Principal Meridian, in Cook County, Illinois.



DATE OF SURVEY MAR. 25, 2004

STATE OF ILLINOIS

COUNTY OF DU PAGE

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED, UNDER MY SUPERVISION, ACCORDING TO THE OFFICIAL RECORD AND THAT THE ABOVE PLAT CORRECTLY REPRESENTS SAID SURVEY. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.

I FURTHER CERTIFY THAT UNLESS OTHERWISE SHOWN, THE BUILDINGS ON THE PARCEL ARE WITHIN PROPERTY LINES AND THE ADJOINING VISIBLE IMPROVEMENTS DO NOT ENCROACH ON THE ABOVE DESCRIBED PROPERTY.

I FURTHER CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

MY LICENSE EXPIRES 11-30-2004

CLIENT: ATTY SHAPIRO
Jr 40148

LEGEND

R - RECORD DISTANCE	CH - CHORD
M - MEASURED DISTANCE	● FOUND IRON
D - DEED	○ SET IRON
CONCRETE SHOWN SHADED	UTILITY POLE
	OVHD. WIRES

—X—X— FENCE LINE
 ———— LIMITS OF BUILDING

SCALE 1" = 20 FEET

**SCHLAF-SEDIG
& ASSOCIATES, INC.**

**1030 Summerfield Drive
Roselle, Illinois 60172
(630) 924-7100**











Design Commission
10/27/2020

Item: Ryan Companies Mixed-Use Senior Housing - 364 E. Golf Rd. - Preliminary Review

Department: Planning & Community Development

ATTACHMENTS:

Description

Exhibits

Type

Exhibits



September 16, 2020

Chair and Commissioners, Village of Arlington Heights Plan Commission

Re: International Plaza Redevelopment, 120-388 East Golf Road, Arlington Heights, IL

Ryan Companies US, Inc. (Ryan) is pleased to present the Plan Commission with our application for the International Plaza Redevelopment project at the northeast corner of Golf Road and Arlington Heights Road. The redevelopment of International Plaza will offer an upscale senior living community and the future development of outlots for retail, office, restaurant, medical and other commercial uses.

Ryan is excited about this opportunity and looks forward to working with the Village on the redevelopment of this property.

Sincerely,
Ryan Companies US, Inc.

A handwritten signature in green ink that reads "Dan Walsh".

Dan Walsh
Senior Vice President of Real Estate Development

Ryan Companies US, Inc.
111 Shuman Boulevard, Suite 400
Naperville, IL 60563

p: 630-328-1100
ryancompanies.com

CHICAGO, IL LICENSE TGC04631
Equal Opportunity Employer

Proposed Improvements for

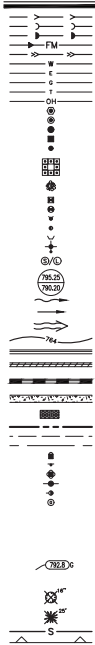
**NEC OF ARLINGTON HEIGHTS ROAD AND GOLF ROAD
VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS**

STANDARD SYMBOLS

EXISTING



PROPOSED



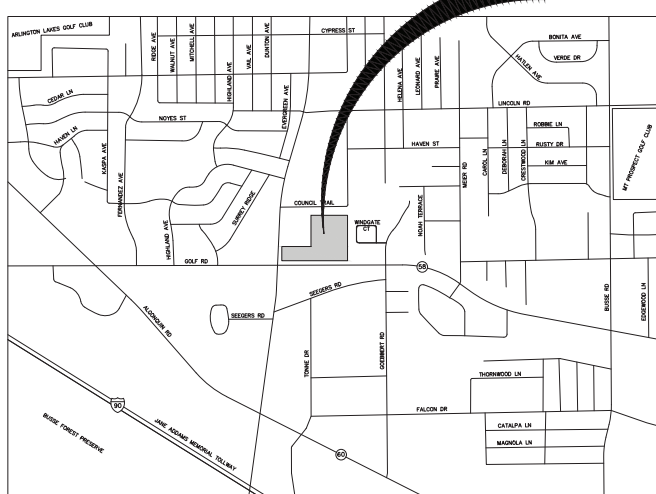
ABBREVIATIONS

[illegible]

R.O.W.	RIGHT-OF-WAY
RCP	REINFORCED CONCRETE PIPE
REV	REVERSE
REV	REVERSE
RN	RIGHT
SI	SANITARY
SF	SQUARE FOOT
SHLD.	SHOULDER
SL	STREET LIGHT
SMH	SANITARY MANHOLE
ST	STORM
STA.	STATION
STD	STANDARD
SW	SIDEWALK
SY	SQUARE YARDS
TBR	TO BE REMOVED
	TELEPHONE
	TYPE A
T/C	TOP OF CURB
	TOP OF FOUNDATION
	TOP OF PIPE
	TOP OF WALK
	TOP OF WALL
T/WALL	TOP OF WALL
TEMP	TEMPORARY
TRANS	TRANSFORMER
V.B.	VERTICAL BOLT
V.V.	VALVE VAULT
W.	WATER LEVEL
WM	WATER MAIN

Manhard
CONSULTING, LLC

PROJECT LOCATION



LOCATION MAP

N.T.S.

DEVELOPER:
RYAN COMPANIES US, INC.
111 SHUMAN BOULEVARD, SUITE 400
NAPERVILLE, ILLINOIS 60563

INDEX OF SHEETS

<u>SHEET NO.</u>	<u>DESCRIPTION</u>
1	TITLE SHEET
2	EXISTING CONDITIONS
3	PRELIMINARY DEMOLITION PLAN
4	PRELIMINARY SITE DIMENSIONAL AND PAVING PLAN
5	PRELIMINARY GRADING PLAN
6	PRELIMINARY UTILITY PLAN
7	CONSTRUCTION DETAILS
8	CONSTRUCTION DETAILS
9	CONSTRUCTION DETAILS
10	MWRD GENERAL NOTES AND DETAILS
11	CONSTRUCTION SPECIFICATIONS
EX. A	FIRE TRUCK TURNING EXHIBIT

NOTE:

THE BOUNDARY LINES AND TOPOGRAPHY FOR THIS PROJECT ARE BASED ON A FIELD SURVEY COMPLETED BY MANHARD CONSULTING, LTD. ON AUGUST 20, 2020. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY MANHARD CONSULTING AND THE CLIENT IN WRITING OF ANY DIFFERING CONDITIONS.

BENCHMARKS

REFERENCE BENCHMARK:
ELEVATIONS AND SITE BENCHMARKS SHOWN HEREON WERE ESTABLISHED UTILIZING A TRIMBLE RAPID STATIC GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) AND THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION'S (NOAA'S) ONLINE POSITIONING USER SERVICE (OPUS). THE OBSERVED ELEVATIONS, AS REFINED BY OPUS, IS THE BASIS FOR ALL ELEVATIONS SHOWN HEREON AND THIS INFORMATION HAS NOT BEEN DIRECTLY COMPARED TO ANY OTHER KNOWN OR FIXED BENCHMARK.

SITE BENCHMARK #1:

CHISSELED X ON CONCRETE LIGHT POLE BASE LOCATED APPROXIMATELY 63 FEET EASTERLY OF THE CENTERLINE OF ARLINGTON HEIGHTS ROAD AND APPROXIMATELY 73 FEET NORTHERLY OF THE CENTERLINE OF GOLF ROAD.

ELEVATION= 705.73 DATUM=NAVD88-GEOID 18

SITE BENCHMARK #2:

SOUTHEAST BOLT ON HYDRANT LOCATED APPROXIMATELY 702 FEET EASTERLY OF THE CENTERLINE OF ARLINGTON HEIGHTS ROAD AND APPROXIMATELY 57 FEET SOUTHERLY OF THE CENTERLINE OF GOLF ROAD.

ELEVATION= 702.86 DATUM=NAVD88-GEOID 18

SITE BENCHMARK #3:

SOUTHWEST BOLT ON HYDRANT LOCATED APPROXIMATELY 1095 FEET EASTERLY OF THE CENTERLINE OF ARLINGTON HEIGHTS ROAD AND APPROXIMATELY 50 FEET SOUTHERLY OF THE CENTERLINE OF GOLF ROAD.

ELEVATION= 702.29 DATUM=NAVD88-GEOD 18

SITE BENCHMARK #4:
SOUTHWEST BOLT ON HYDRANT LOCATED APPROXIMATELY 1252
FEET EASTERLY OF THE CENTERLINE OF ARLINGTON HEIGHTS
ROAD AND APPROXIMATELY 40 FEET NORTHERLY OF THE
CENTERLINE OF GOLF ROAD.

ELEVATION= 701.24 DATUM=NAVD88-GEOID 18

UTILITY CONTACTS

ELECTRIC COMED 11423 SWIFT ROAD LONGMEAD, IL 60148 (630) 691-4862	WATER ARLINGTON HEIGHTS PUBLIC WORKS 222 N RIDGE AVENUE ARLINGTON HEIGHTS, IL 60005 (847) 368-5309 CONTACT: STEVE MULLANY
GAS NICOR 1844 FERRY ROAD NAPERVILLE, IL 60563 (630) 388-2362	TELEPHONE X X X X () CONTACT:
SEWER ARLINGTON HEIGHTS PUBLIC WORKS 222 N RIDGE AVENUE ARLINGTON HEIGHTS, IL 60005 (847) 368-5809 CONTACT: STEVE MULLANY	



PROJ. MGR.: JSP
PROJ. ASSOC.: JCM
DRAWN BY: MH
DATE: 09-11-20
SCALE: N.T.S.

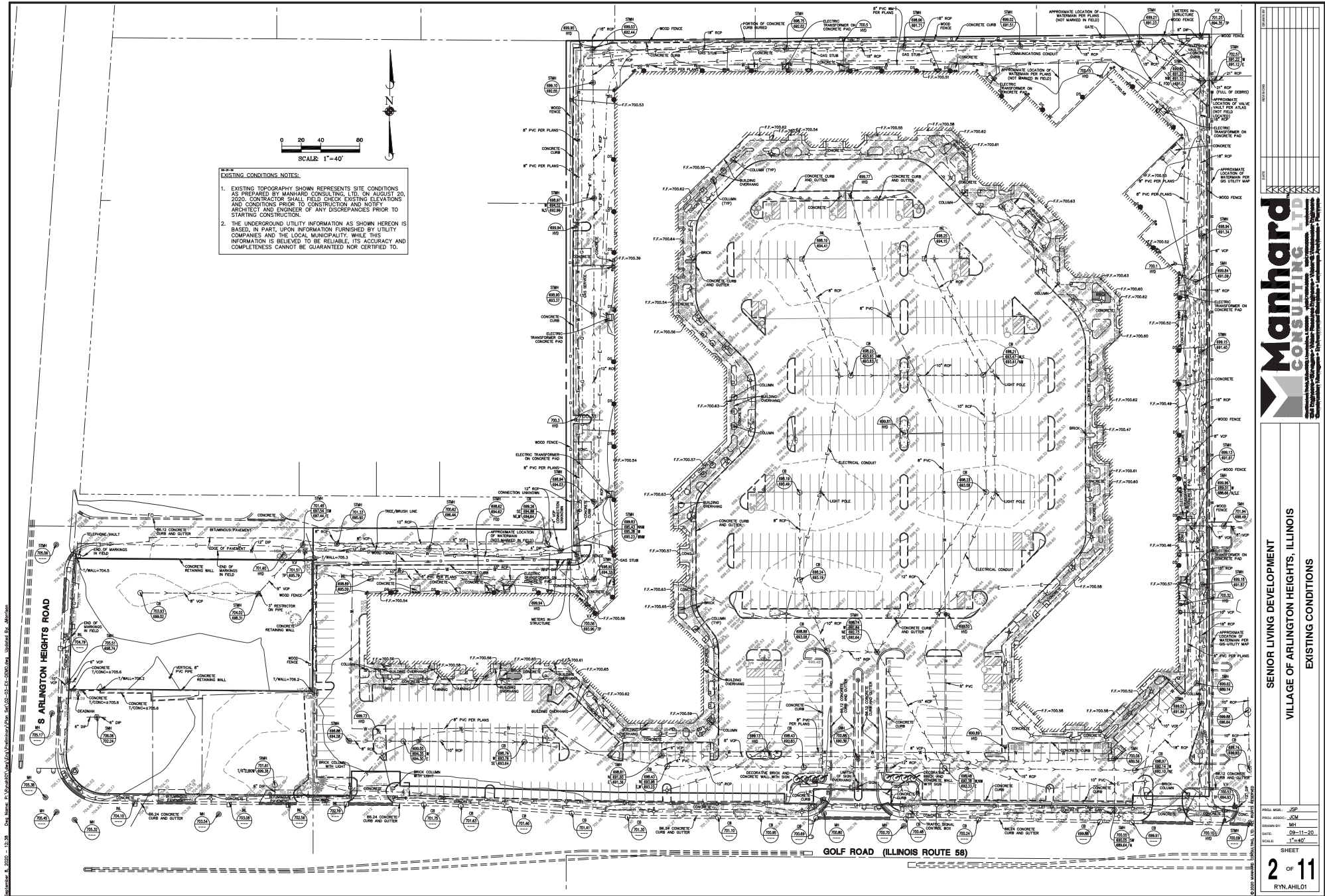
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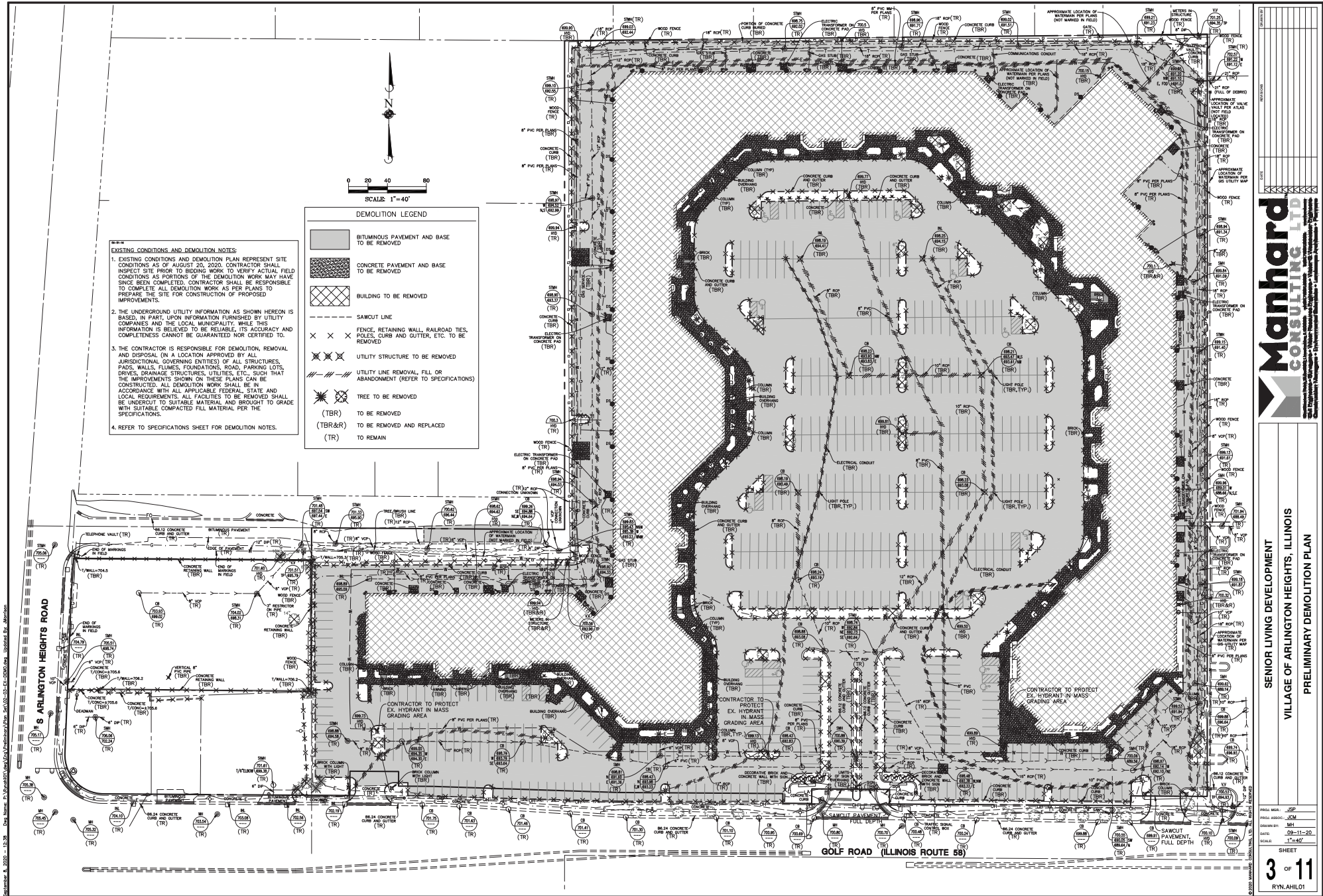
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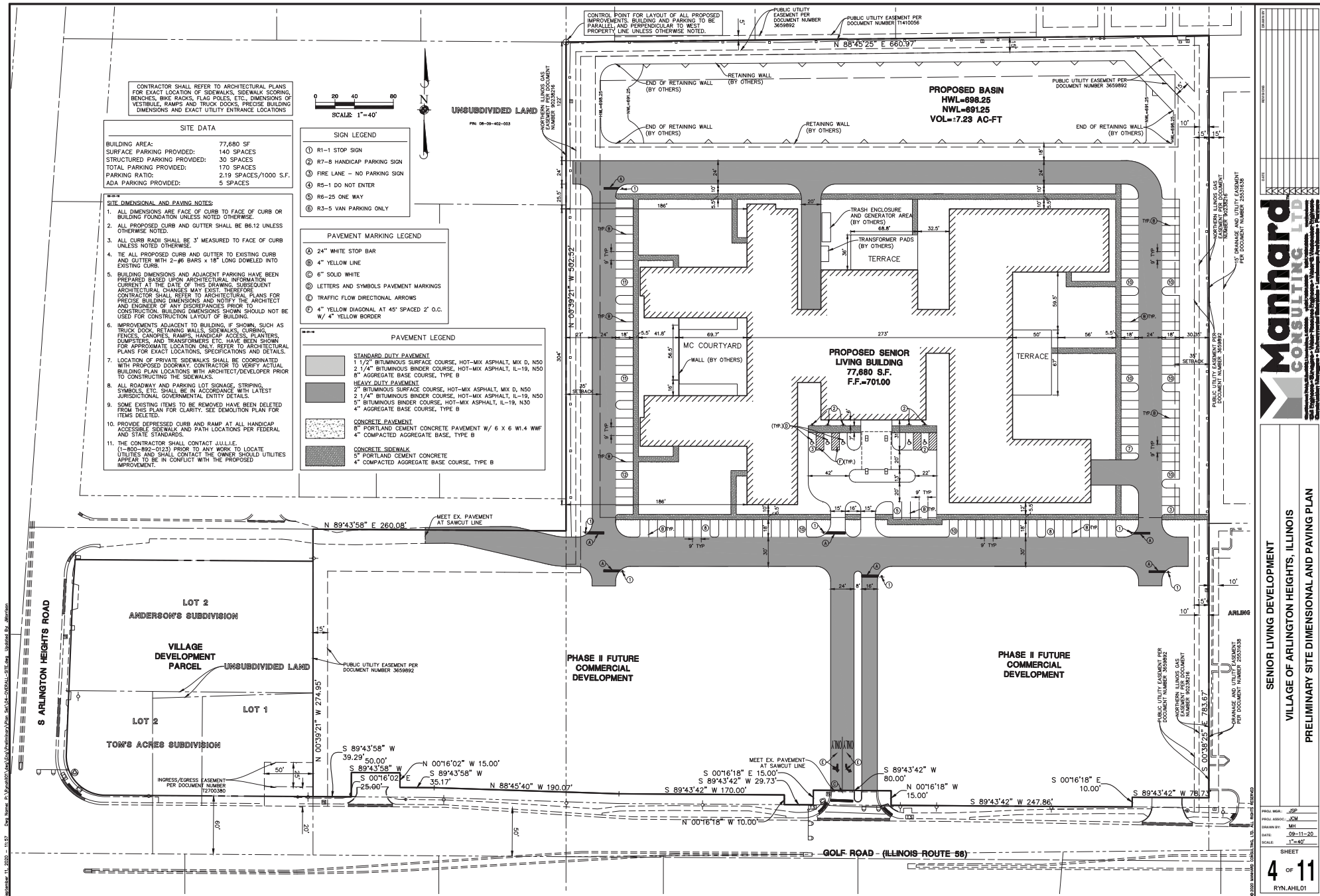
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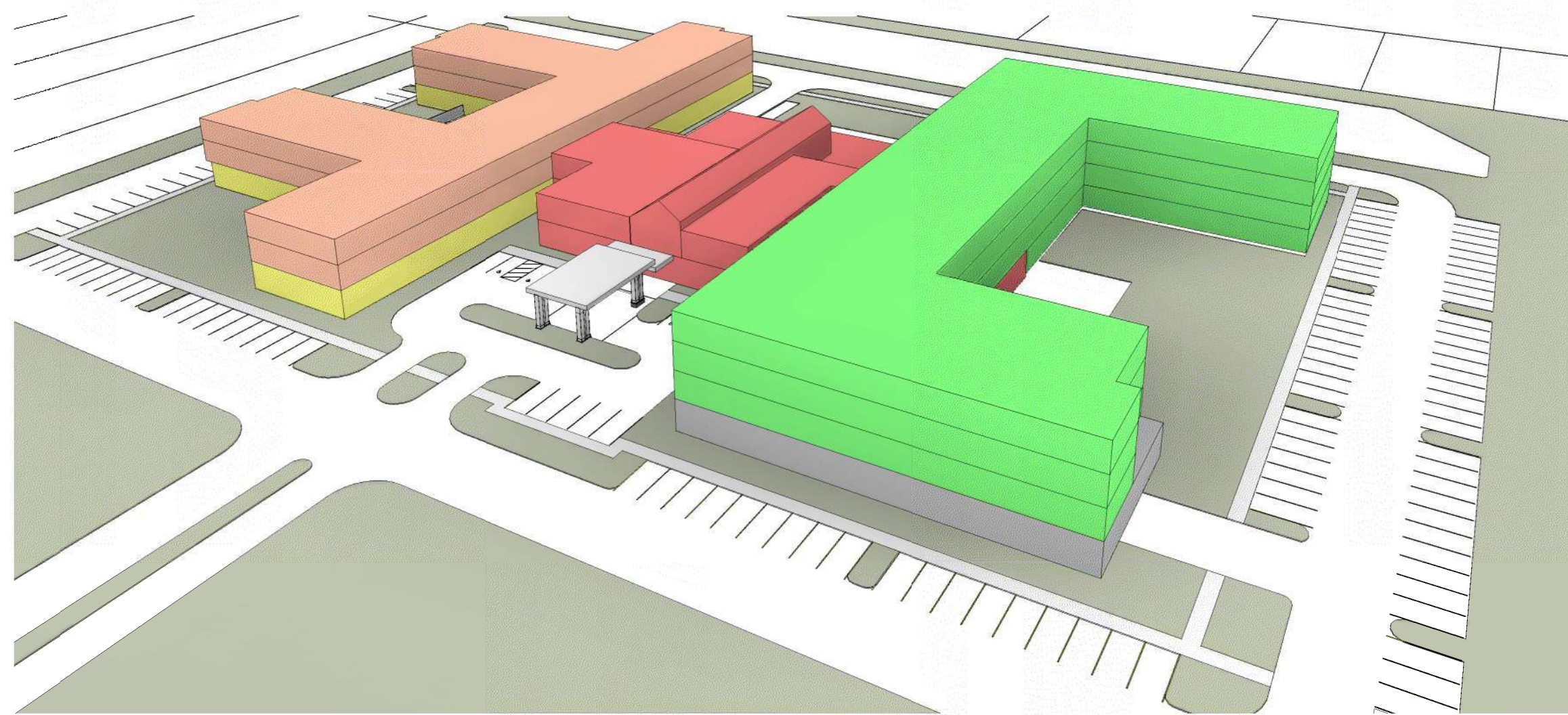
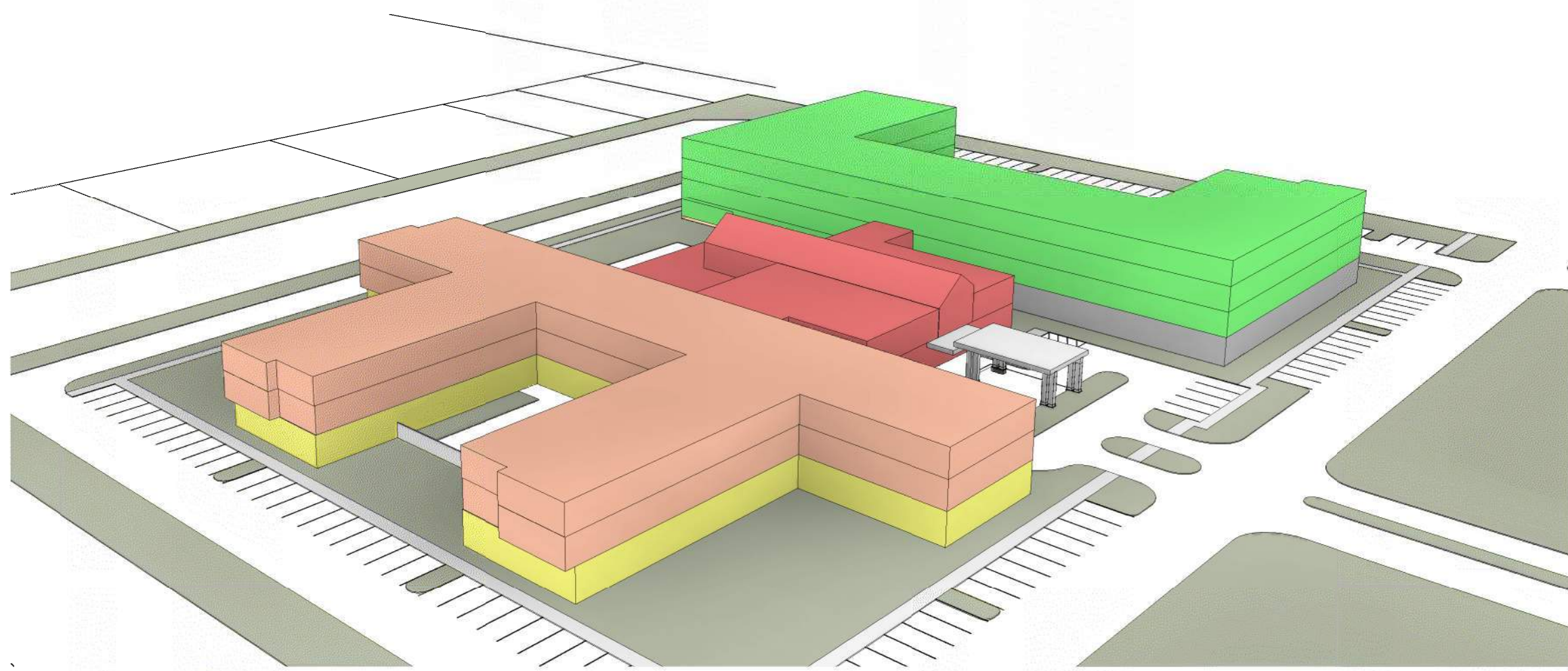
RYN.AHIL01

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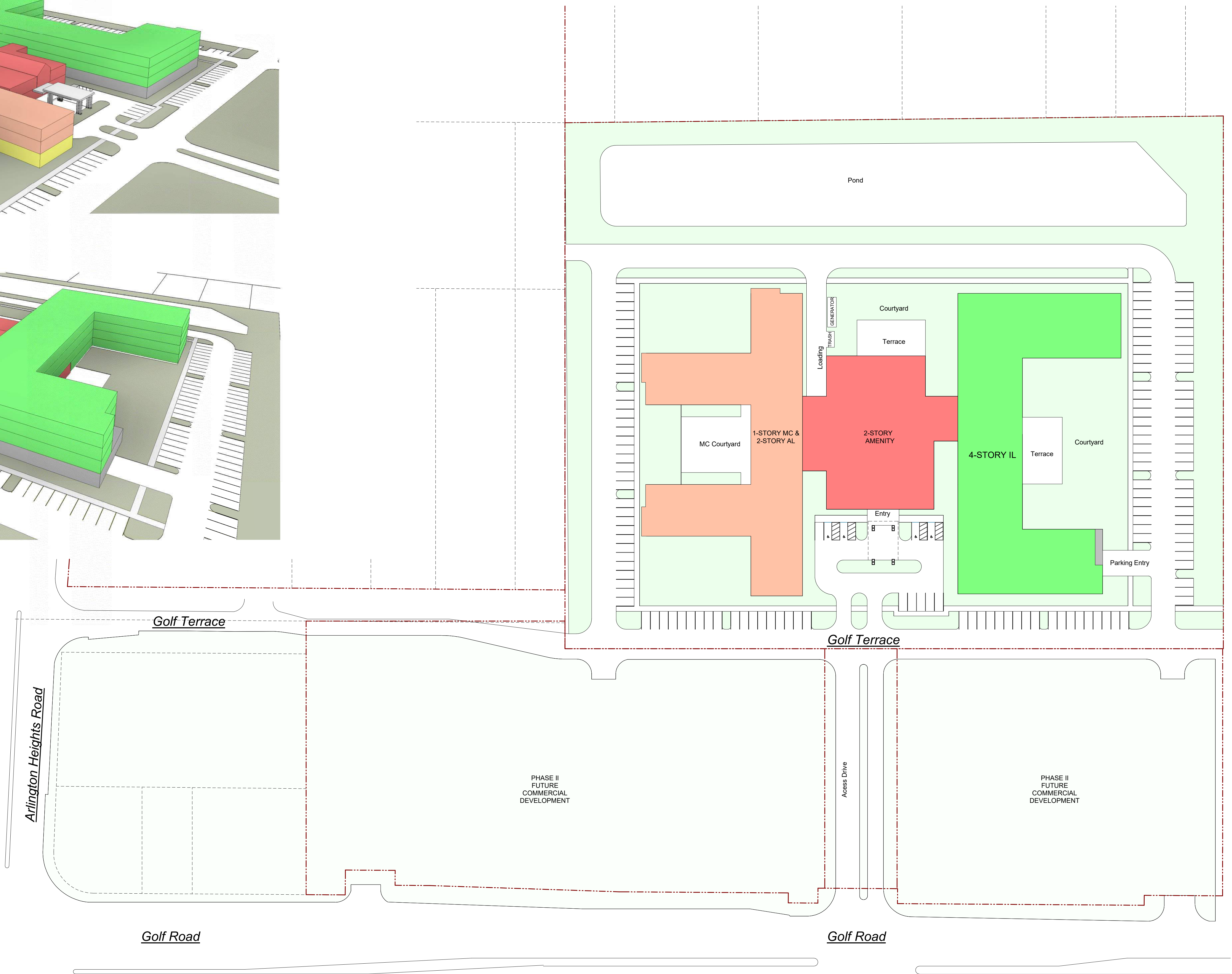






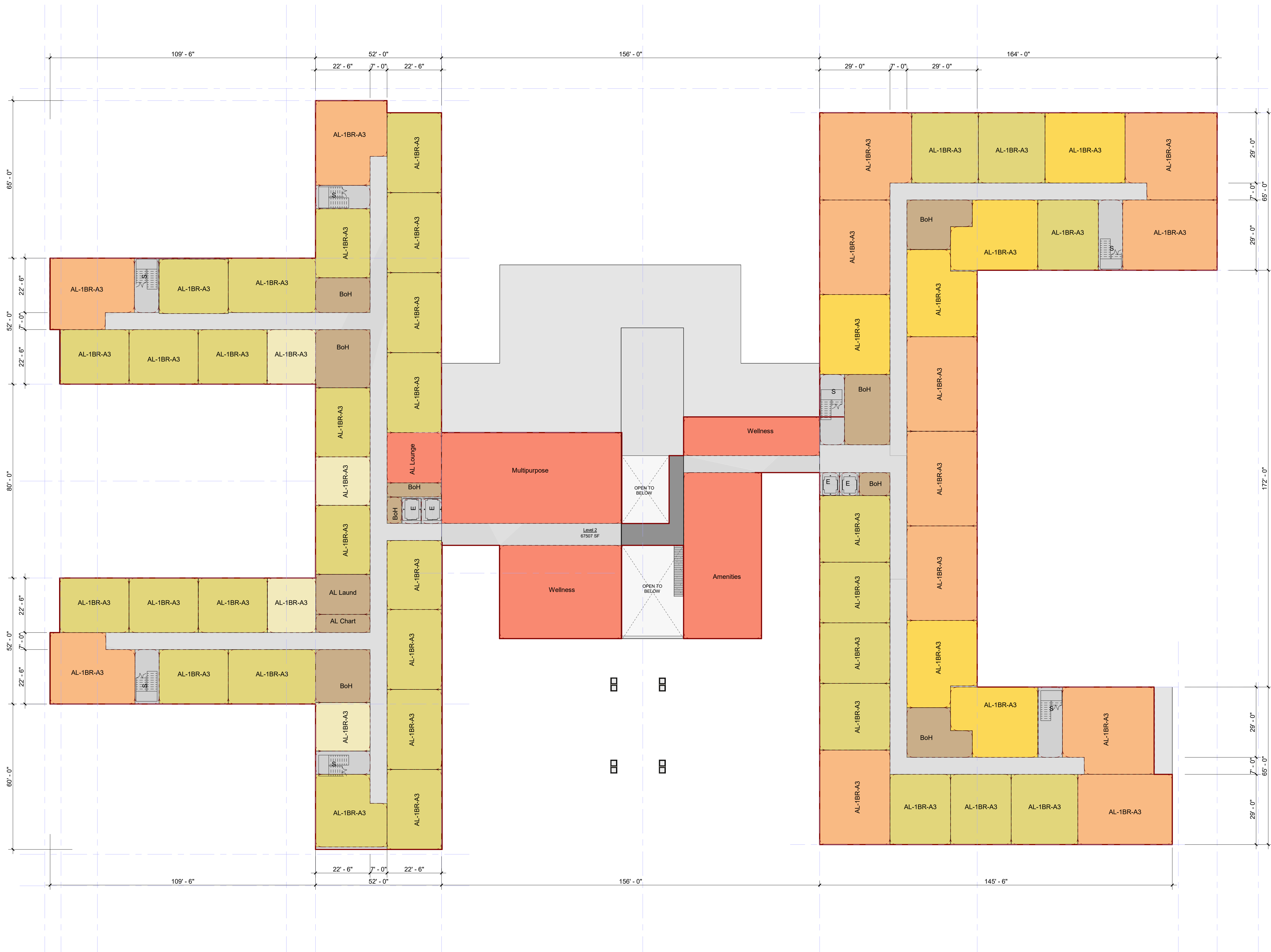


METRICS	
• TOTAL ACREAGE = 8.37 ACRES (364,617 SF)	
• BUILDING PARCEL = 7.998 ACRES (348,404 SF)	
• ACCESS DRIVE = 0.372 ACRES (16,213 SF)	
• # OF STORIES = 2, 3 AND 4	
• TOTAL BUILDING GSF W/ PARKING GARAGE = +/-232,200 SF	
• BUILDING GSF NO PARKING GARAGE = +/- 219,849 SF	
• PARKING GARAGE GSF = 12,351 SF	
• FAR = 0.63	
• TOTAL RESIDENTIAL UNITS = 188	
• UNIT MIX = 90 IL, 60 AL, 38 MC	
• INDOOR PARKING STALLS = 30	
• OUTDOOR PARKING STALLS = 140	
• TOTAL PARKING STALLS = 170	
• BUILDING HEIGHT = 59 FT	



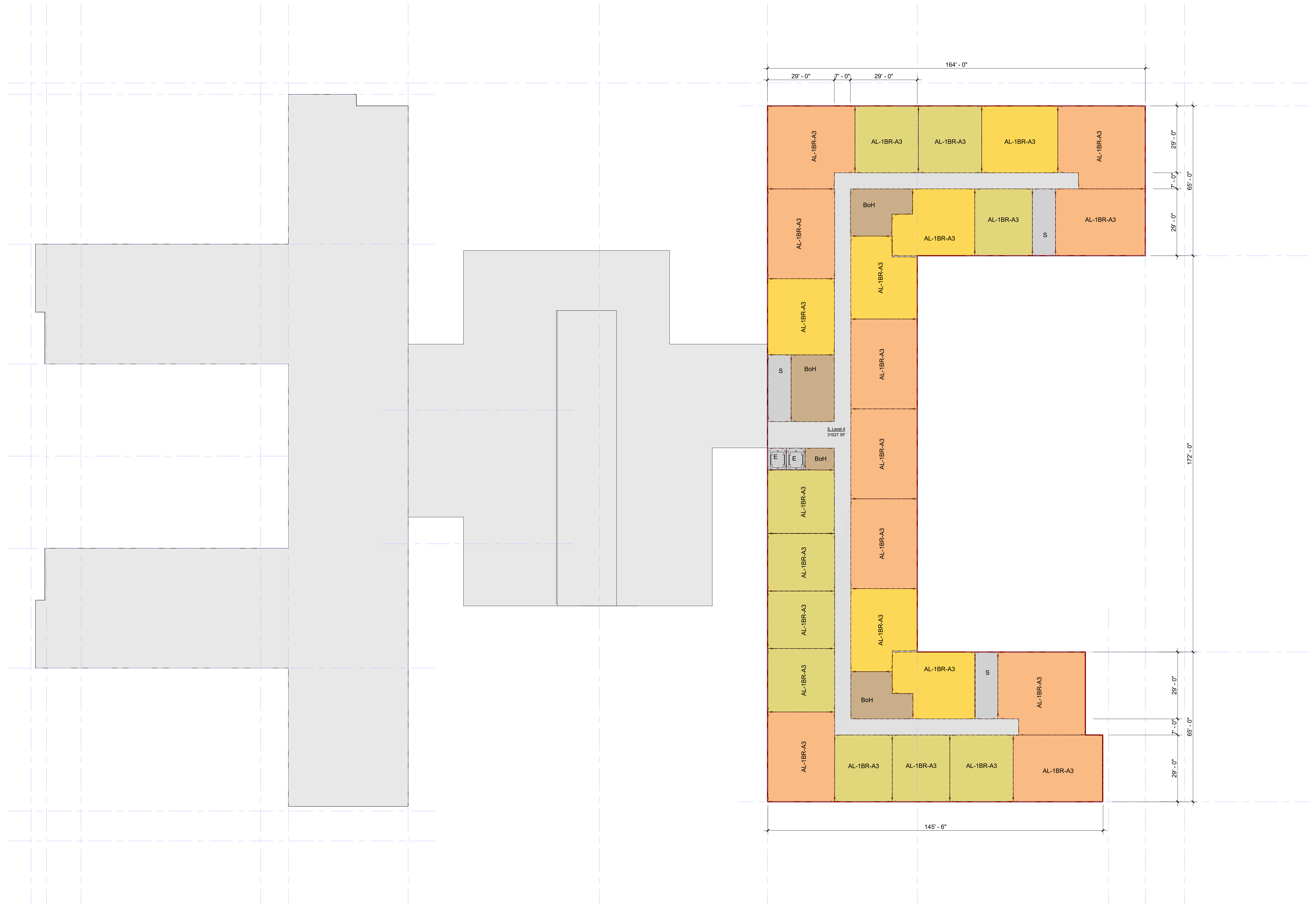
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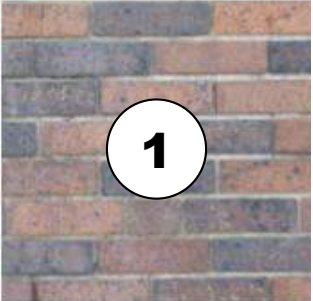
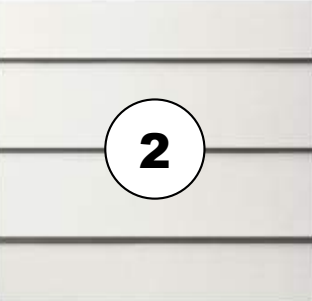
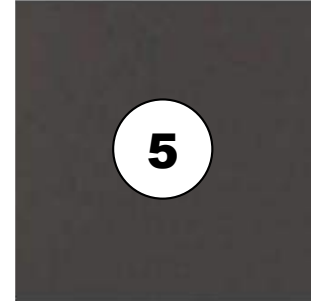
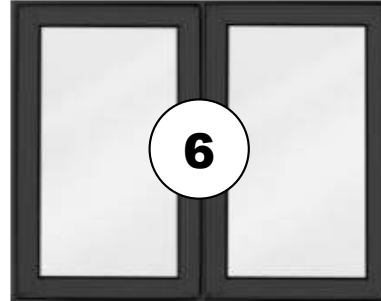
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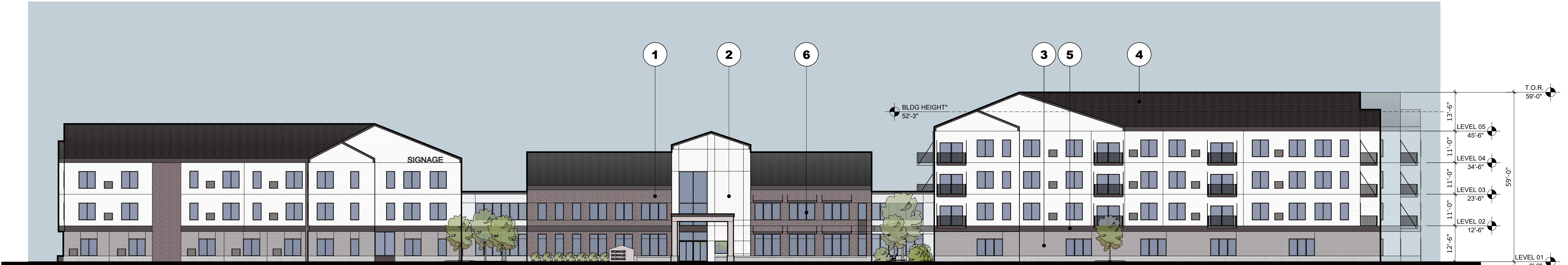


LEVEL 2 PLAN

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CONCEPT EXTERIOR MATERIAL LEGEND					
					
1	2	3	4	5	6
BRICK	FIBER CEMENT SIDING	FIBER CEMENT SIDING	ASPHALT ROOF SHINGLES	SINGLE SKIN METAL ACCENT	WINDOW MULLIONS
WARM RED/GREY	WARM WHITE	WARM MED. GREY	WARM DARK GREY	WARM DARK GREY	WARM DARK GREY



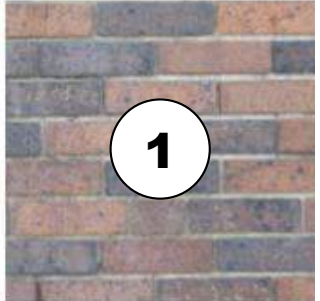
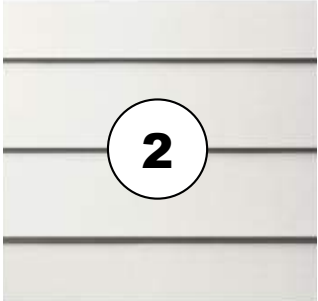
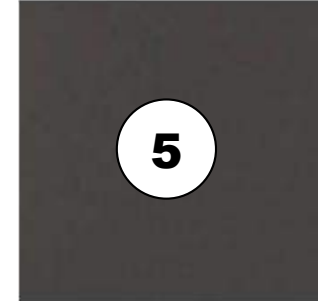
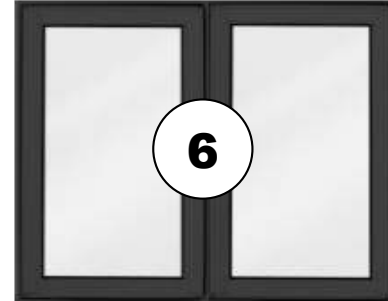
*BUILDING HEIGHT LEVEL DEFINED PER ARLINGTON HEIGHTS MUNICIPAL DEVELOPMENT CODE AS:
"THE MEAN HEIGHT LEVEL BETWEEN EAVES AND RIDGE OF A GABLE ROOF."

SOUTH ELEVATION



*BUILDING HEIGHT LEVEL DEFINED PER ARLINGTON HEIGHTS MUNICIPAL DEVELOPMENT CODE AS:
"THE MEAN HEIGHT LEVEL BETWEEN EAVES AND RIDGE OF A GABLE ROOF."

NORTH ELEVATION

CONCEPT EXTERIOR MATERIAL LEGEND					
					
1	2	3	4	5	6
BRICK	FIBER CEMENT SIDING	FIBER CEMENT SIDING	ASPHALT ROOF SHINGLES	SINGLE SKIN METAL ACCENT	WINDOW MULLIONS
WARM RED/GREY	WARM WHITE	WARM MED. GREY	WARM DARK GREY	WARM DARK GREY	WARM DARK GREY



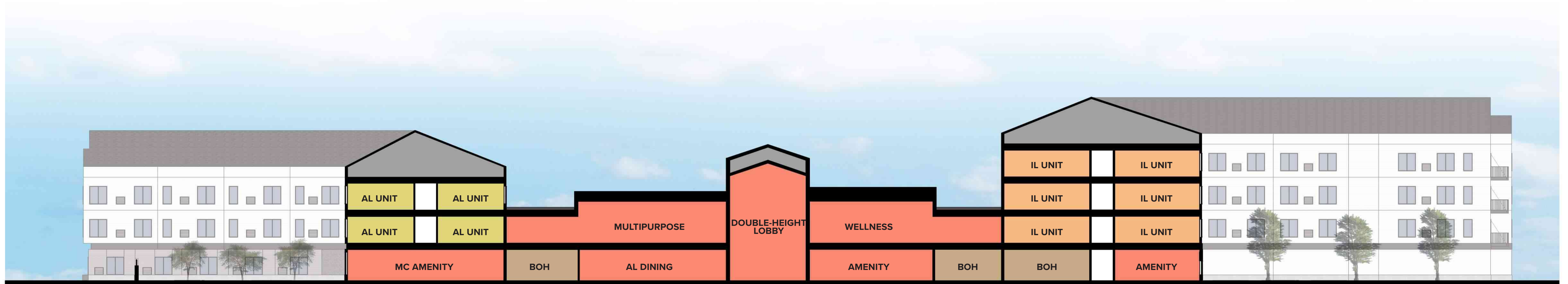
*BUILDING HEIGHT LEVEL DEFINED PER ARLINGTON HEIGHTS MUNICIPAL DEVELOPMENT CODE AS:
"THE MEAN HEIGHT LEVEL BETWEEN EAVES AND RIDGE OF A GABLE ROOF."



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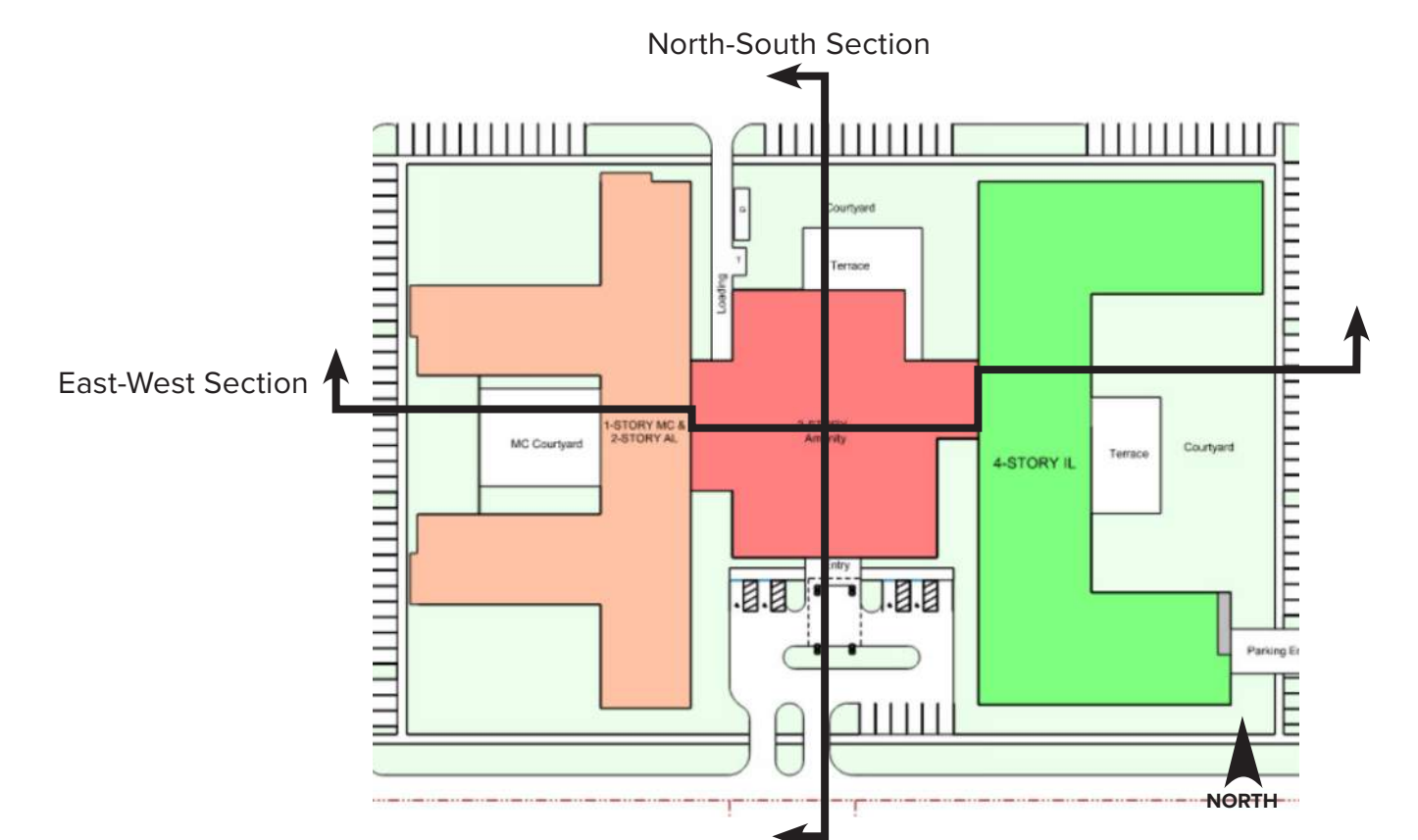
PERSPECTIVE FROM GOLF ROAD ENTRY



East-West Section



North-South Section



SCALE: 1/16" = 1'-0"

