



Agenda
Village of Arlington Heights
Design Commission
Community Room, 3rd Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
October 27, 2015
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

A. Minutes - 10/13/15

IV. REPORTS

V. OLD BUSINESS

A. DC#15-097 - 13 E. Miner St. - Multi-Family

VI. NEW BUSINESS

A. DC#15-130 - 926 N. Beverly Ln. - SF/Teardown

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Minutes - 10/13/15

Department: Planning & Community Development

ATTACHMENTS:

Description

DC Minutes 10/13/15

Type

Minutes

DRAFT

**MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
OCTOBER 13, 2015**

Chair Eckhardt called the meeting to order at 6:30 p.m.

Members Present: Ted Eckhardt, Chair
Jonathan Kubow
Anthony Fasolo
Alan Bombick

Members Absent: John Fitzgerald

Also Present: Matt & Nani Comenduley, Owners of *902 N. Douglas Ave.*
Preston Fawcett, Design First for *902 N. Douglas Ave.*
Steve Hautzinger, Staff Liaison

REVIEW OF MEETING MINUTES FROM SEPTEMBER 29, 2015

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER KUBOW, TO APPROVE THE MEETING MINUTES OF SEPTEMBER 29, 2015. ALL WERE IN FAVOR. THE MOTION CARRIED.

ITEM 1. SINGLE-FAMILY TEARDOWN REVIEW**DC#15-120 – 902 N. Douglas Ave.**

Mr. Preston Fawcett, representing *Design First*, and **Matt & Nani Comenduley**, the homeowners, were present on behalf of the project.

Chair Eckhardt asked if there was any public comment on the project and there was no response from the audience.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing single story residence with an attached one car garage to allow construction of a new two story residence with an attached, two car garage. This project requires the following zoning variations: A variation to allow a 43.5 foot wide, 5,776 sf lot to be buildable, where 70 feet wide, 8,750 sf is required; A 0.6 foot variation to allow a side yard setback of 4.4 feet, where 5.0 feet is required; and a variation to allow an air conditioning unit within the required side yard setback, where 5 feet is required. The project was reviewed by the Zoning Board of Appeals last night, where the first 2 variations were approved and the third variation to allow an air conditioning unit within the required side yard setback was not approved.

The existing neighborhood consists of a blend of single story, one and a half story, and two story homes with a mix of attached and detached garages. However, this block is primarily smaller scale single-story homes with predominantly detached garages. This project is appearing before the Design Commission due to previous concerns in this neighborhood regarding teardowns, and due to concerns regarding the proposed design.

The subject property is a corner lot. The proposed design includes an attached garage on the front side of the home facing the corner. It is recommended that the design be revised to locate the garage on the rear (west) end of the house so that the main part of the home can be the focal point of the design from the corner. The majority of corner houses in this neighborhood have the garage located in the rear yard with many of them having detached garages. However, there are many corner houses with the garage located facing the corner, similar to the proposed design. Image 1 in the Staff Report shows a newer two-story home located one block east of the subject property with the garage facing the corner in a similar configuration as proposed. Images 2 & 3 in the Staff Report are located at the same intersection as Image 1, but these two homes are designed to face the corner, with detached garages set back in the rear of the homes.

Staff recommends the Design Commission evaluate the proposed new home with a recommendation to relocate the garage to the rear yard, either attached or detached.

Mr. Fawcett stated that the homeowners have lived in the neighborhood for about 13 years and want to remain in the neighborhood. Reasons why the new home is designed as shown include wanting to keep several of the mature trees on the property, and wanting a nice yard, which the

homeowners do not have in their current home. He also pointed out that approximately 4 homes in the immediate neighborhood have the garage at this location. **Ms. Comenduley** stated that her first requirement for her new home was a patio, which she has missed for 13 years.

Commissioner Kubow said that in terms of the architecture, it was a fine looking home. Although he preferred to see more detail on the new home, he felt it would fit in well with the neighborhood of one-story homes, as proposed. He was okay with the petitioner's preference to have a backyard and to have the garage on the other side. He was fine with the design as proposed.

Commissioner Fasolo felt the new home could be flipped and mirrored as proposed while avoiding the loss of any existing trees in the front yard along Frederick. **Mr. Fawcett** replied that flipping the home would result in facing the garage to the back and the patio doors opening towards the street, which was not favorable to the homeowners. **Commissioner Fasolo** felt the orientation of the garage as currently proposed was fine, although he suggested adding a 3-foot high brick or stone base around the front of the home. He had no further comments.

Commissioner Bombick felt the new home was well designed to fit the neighborhood, although he agreed that more details would be nice if the budget allowed. In general, he felt the design of the home was fine; however, he was concerned with the placement of the garage in this neighborhood. He acknowledged that the narrow lot made it difficult to design the new home, and he pointed out the home located behind the site at 927 N. Haddow that split the home and the garage using a detached garage. However, in this case, he did not see how the garage could be located in the rear yard without impacting the existing mature trees that the homeowners want to keep.

Chair Eckhardt felt that moving the garage to the other side would be a disaster and he was definitely opposed to it. He referred to a corner home built in Scarsdale where this was done and the owners have no privacy. Turning the driveway to the other street would not allow the homeowners to see who is in the driveway or who is coming or going. He felt the current design was an appropriate layout for this site, which would allow for privacy and a patio as desired. He also agreed with Commissioner Bombick that the new home fits in contextually; it steps down, the center is high, and the sides are low. He was in support of the design as proposed.

Commissioner Bombick said that he grew up in a corner home with an attached garage towards the backyard and he always wondered why they did not detach the garage and push it to the other side to gain more privacy; it's a difficult design problem on this site, especially with only 40 feet to work with and existing trees that should be saved.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER BOMBICK, TO APPROVE THE ARCHITECTURAL DESIGN FOR THE NEW SINGLE-FAMILY HOME TO BE LOCATED AT 902 N. DOUGLAS AVENUE. THIS APPROVAL IS BASED ON COMPLIANCE WITH THE PLANS DATED AND RECEIVED 9/4/15, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND RESOLUTION OF THE FOLLOWING:

1. A RECOMMENDATION TO STUDY ADDITIONAL DETAIL IN THE TRIM AND/OR THE WINDOWS AS THE BUDGET ALLOWS.
2. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

Chair Eckhardt clarified that a recommendation is not the same as a requirement.

KUBOW, AYE; ECKHARDT, AYE; FASOLO, AYE; BOMBICK, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 2. GENERAL MEETING

A MOTION WAS MADE BY COMMISSIONER BOMBICK, SECONDED BY COMMISSIONER FASOLO, TO ADJOURN THE MEETING AT 6:50 P.M.

**BOMBICK, AYE; KUBOW, AYE; FASOLO, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. THE MOTION CARRIED.**



Item: DC#15-097 - 13 E. Miner St. / Multi-Family

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new apartment building with indoor parking in the (B-5) Downtown Zoning District.

Recommendation

It is recommended that the Design Commission approve the proposed architectural design for 13 E. Miner Street. This recommendation is subject to compliance with the plans dated and received 10/22/15, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. Approval is based on Option 1 for the side and rear elevations (with stacked stone quoins at the corners).
2. The color scheme using just one brick color is recommended.
3. Change the corner brick pier at the roof level to stone to match the stone pier below
4. The front elevation should include retail storefronts on the first floor to add visual interest at the sidewalk level, and to enliven this area of the Downtown. Storefront design to be approved by Staff.
5. Change the rear patio doors to individual french doors.
6. The stone base on the front end of the right elevation should be raised to match the detailing on the front elevation.
7. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on nor represent any tacit approval or support for the proposed land use or any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission

or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

8. The petitioner is required to comply with Village standards for sidewalks, street trees, and site furnishings.

9. All signage must meet code, Chapter 30.

ATTACHMENTS:

Description

Staff Report

Elevations - Option 1

Elevations - Option 2

Renderings

Exhibits - 8/11/15

Type

Board or Commission Report

Exhibits

Exhibits

Exhibits

Exhibits

STAFF DESIGN COMMISSION REPORT RE-REVIEW

PROJECT INFORMATION:

Project Name: 13 E. Miner Street
Project Address: 13 E. Miner Street
Prepared By: Steve Hautzinger

Date Prepared: August 5, 2015
Date Revised: October 21, 2015

PETITION INFORMATION:

DC Number: 15-097
Petitioner Name: Frank Panzarino
Petitioner Address: 904 S. Edgewood Lane
Mt. Prospect, IL 60056
Meeting Date: August 11, 2015
Re-Review Meeting Date: October 27, 2015

Requested Action(s):

1. Approval of the proposed architectural design for a new apartment building with indoor parking in the (B-5) Downtown Zoning District.

ANALYSIS

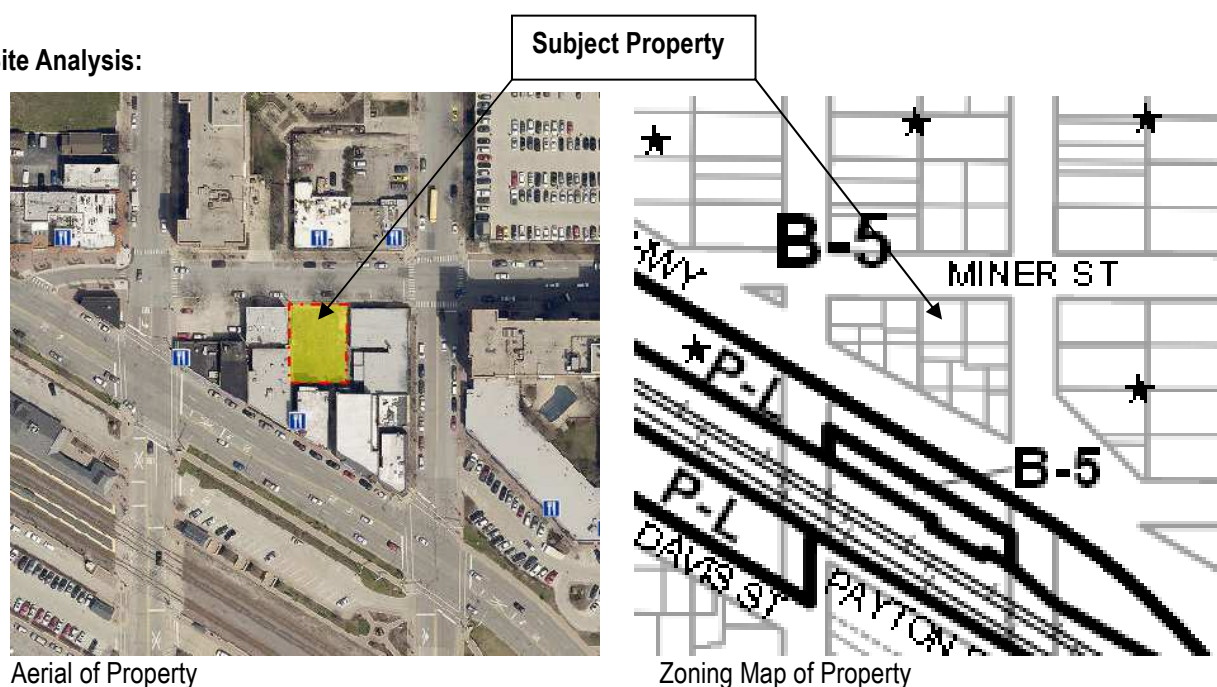
Summary:

The subject design is being forwarded to the Design Commission for review pursuant to Chapter 6 of the Municipal Code, specifically Section 6-501 (e)(1), which states that the Design Commission "shall review all Plan Commission, Zoning Board of Appeals, Building Permit and Sign Permit applications for new construction and those improvements which affect the architectural design of the building, site improvements or signage to determine whether it meets with the standards, requirements and purposes of the Design Guidelines and Chapter 30, Sign Regulations."

The petitioner is seeking approval of the architectural design for a new four story apartment with indoor parking. The site is currently vacant and is located on the north side of the Downtown (B-5) Zoning District. The proposed development will be four stories in height with 12 residential apartment units occupying floors two through four. The first floor will contain the apartment entrance lobby as well as indoor parking for use by the apartment residents. A basement level will be used for storage.

The proposed development requires approval as a Planned Unit Development through the Plan Commission process and is currently scheduled for Preliminary PUD review on November 5, 2015.

Site Analysis:



Surrounding Land Uses:

Direction	Existing Zoning	Existing Use	Comprehensive Plan
Subject Property	B-5, Downtown District	Vacant	Mixed Use
North	B-5, Downtown District	Bistro Chen Restaurant	Mixed Use
South	B-5, Downtown District	Mixed Use Retail / Apartments	Mixed Use
East	B-5, Downtown District	Multi-Tenant Retail	Mixed Use
West	B-5, Downtown District	Mixed Use Retail / Apartments	Mixed Use

Project Update, October 27, 2015:

This request was previously reviewed by the Design Commission on August 11, 2015. At that time, the Design Commission continued the project to allow time for various zoning, utility conflicts, and building code issues to be resolved so that the design can be finalized. At this time, the petitioner is prepared for Preliminary PUD review by the Plan Commission, so they are returning to the Design Commission with revised plans for review. Highlights from the August 11 Design Commission meeting are as follows:

Staff Comments from August 11, 2015:

Front (north) Elevation. The composition of the front elevation is well done with nice symmetry, recessed balconies, and rich materials. However, the following revisions are recommended to enhance the design:

1. Retail storefronts should be added on the first floor to add visual interest at the sidewalk level, and to enliven this area of the Downtown.
2. The small arches and keystones above the windows and balcony doors are weak. Consider a straight, stone lintel detail with a heavier appearance in lieu of the arch detail.
3. The brick wall area above the top floor windows is blank and void of detail. Consider adding more details in this area such as decorative brick and stone detailing.
4. The arched cornice at the top of the building and arched lintel above the first floor garage door are awkward. Consider omitting the arch, and providing a built-up linear stone detail instead.
5. The proposed railing detail at the roof deck level is a nice detail, but it is proposed to be set back from the front wall. Consider moving this detail forward to be in line with the front wall so that it is more visible and aligns with the balcony railings below.
6. The two brick colors are too similar in appearance and do not enhance the design. Consider omitting one of the brick colors for a more cohesive appearance.

Side (east & west) Elevations. The proposed four story building will be highly visible above the existing one story building to the east, and partially visible above the two story building to the west. Although it is possible that future redevelopment of the adjacent sites could block the side views of the proposed building, it is likely that the side elevations will be visible for many years and should therefore be further developed with additional detailing.

1. Consider adding more brick and stone detailing to add interest to the large blank walls.
2. Consider continuing the roof deck railing detail from the front elevation down the side elevations.
3. Consider opening the side of the balconies as well as adding windows on this wall
4. Preliminary building code review concludes that the three windows shown on the left (east) elevation are not allowed due to fire separation requirements where the wall is not set back from the lot line.

Design Commissioner Comments from August 11, 2015:

1. Overall, the Design Commissioners were in favor of the proposed development.
2. The Commissioners generally liked the composition of the front elevation, but encouraged more modern detailing.
3. The side and rear elevations need more detail.
4. The two brick colors proposed need more contrast.
5. There was mixed feedback regarding the addition of retail space to the first floor, but one suggestion was to move the first floor wall forward to the lot line to increase the potential leasable retail space.

Design Revisions, October 27, 2015:

In response to the feedback from the August 11 Design Commission meeting, the petitioner has revised the design with the following highlights:

Front (north) Elevation.

1. For a more modern appearance, the small arches and keystones above the windows and balcony doors have been changed to a straight, stone lintel detail, and the window sizes have been changed to a set of three equal window sizes.
2. The arched cornice at the top of the building and arched lintel above the first floor garage door have been changed to a built-up linear stone detail.
3. The proposed railing detail at the roof deck level has been moved forward to be in line with the front wall so that it will be more visible and aligns with the balcony railings below.
4. Updated renderings have been provided showing two different color scheme options for the front elevation, with two brick colors and with just one brick color.

Side (east & west) Elevations. Two different options for the side and rear elevations with additional stone detailing have been provided. Option 1 includes stacked stone quoins at all exterior wall corners. Option 2 includes horizontal stone banding at all floor levels.

1. The sides of the front balconies have been opened up.
2. Recessed balconies have been added to the left side elevation.
3. The balconies on the rear elevation have been moved from the center of the wall to the outside corners.

Staff Comments, October 27, 2015:

Front (north) Elevation. The revised front elevation is a nice improvement from the original proposal. The revised detailing with straight lintels has a more modern appearance than the previous arches and keystones.

1. The color scheme using just one brick color is preferred.
2. Change the corner brick pier at the roof level to stone to match the stone pier below.
3. The front elevation should include retail storefronts on the first floor to add visual interest at the sidewalk level, and to enliven this area of the Downtown (refer to the Central Business District Design Guidelines requirements below).

Side (east & west) Elevations. Both of the proposed options represent a good improvement from the original proposal with additional detailing that breaks up the large blank walls. However, the proposed horizontal banding option has very little relationship to the composition of the front elevation, so the option with vertical stacked stone quoins at the corners is preferred for a more cohesive design.

1. The rear balcony doors appear cramped. Consider changing them to individual french doors to fit more comfortably on the balcony wall.

2. The stone base on the front end of the right elevation should be raised to match the detailing on the front elevation.

Design Guidelines:

Section III of the Village of Arlington Heights' Design Guidelines outlines design criteria for the Central Business District. Many of these criteria apply to the requirement for street level business storefronts as follows:

1. *The front façade should be organized into two clearly defined components: the upper façade and the street level storefront, which provides for visual interest and activity in the street level pedestrian zone.*
2. *The storefront should include display windows which serve as an active visual focus by maximizing the exposure of the business activity within.*
3. *The storefronts continuous band of display windows, sign frieze, and awnings can create a series of strong horizontal lines which link buildings within a block together.*
4. *The design of the storefront can play a key role in creating visual interest and activity at street level by providing an inviting entrance and an attractive display of merchandise.*

Zoning, Building Code, Fire Code, and Utility Issues:

This proposal requires resolution of various zoning, building code, fire code, accessibility, utility issues, and Plan Commission land use issues. While these issues are not Design Commission matters, resolution of these issues will have an impact on the final building design. Key issues include, but are not limited to:

1. First floor retail. Chapter 28 (Zoning Regulations) requires that dwelling units are allowed in the Downtown only if business uses occupy the ground floor. Additionally, the Downtown Master Plan envisions retail/service user spaces at the ground floor level. This is an opportunity to enliven the streetscape on the north side of the Downtown. As proposed, a retail dead zone would be created mid-block. Additionally, 3 to 4 on street parking spaces will be lost to accommodate the proposed driveway, while only 7 of the required 14 spaces would be provided in the proposed first floor parking garage, with one parking space difficult to access.
2. Building and Fire Code. Preliminary building code review concluded that window openings are not allowed where exterior walls are less than 5 feet from the property line, and for walls that are 5 to 10 feet from the property line, only 25% of the wall area may contain window openings. The petitioner addressed this issue by adding the recessed balconies on the left (east) elevation.
3. Utilities / Easements. The subject property contains underground water and sewer utilities which serve adjacent properties that need to be resolved. Additionally, ComEd easement clearances around the side and back of the proposed building are required and based on a preliminary meeting with ComEd, five feet is sufficient.

Rooftop Mechanical Unit Screening:

Rooftop mechanical units are required to be fully screened from public view. The proposed design indicates that the rooftop mechanical equipment will be placed in the center of the roof with a continuous mechanical screen enclosure.

Dumpster and Utility Screening:

Trash dumpsters and electrical equipment are proposed to be located on grade on the right (west) side of the building. Landscaping is proposed to screen the electrical equipment, but the ComEd switchgear/equipment cannot be blocked by landscaping. A solid wrought iron gate is recommended to screen the equipment.

Landscaping:

The petitioner will be required to comply with Village standards for sidewalks, street trees, and site furnishings.

Signage:

Signage is not included in this review. Separate sign permit applications will be required for any proposed signage.

RECOMMENDATION:

It is recommended that the Design Commission **approve** the proposed architectural design for 13 E. Miner Street. This recommendation is subject to compliance with the plans dated and received 10/22/15, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. Approval is based on Option1 for the side and rear elevations (with stacked stone quoins at the corners).
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8. The petitioner is required to comply with Village standards for sidewalks, street trees, and site furnishings.
9. All signage must meet code, Chapter 30.

October 22, 2015

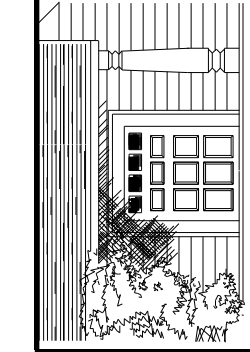
Steve Hautzinger AIA, Design Planner

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Bill Enright, Deputy Director of Planning and Community Development, Petitioner,
DC File 15-097



FRONT ELEVATION

SCALE 1/8" = 1'-0"



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FOUR STORY BUILDING FOR:
FRANK PANZARINO
13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

DATE
OCT 22, 2015

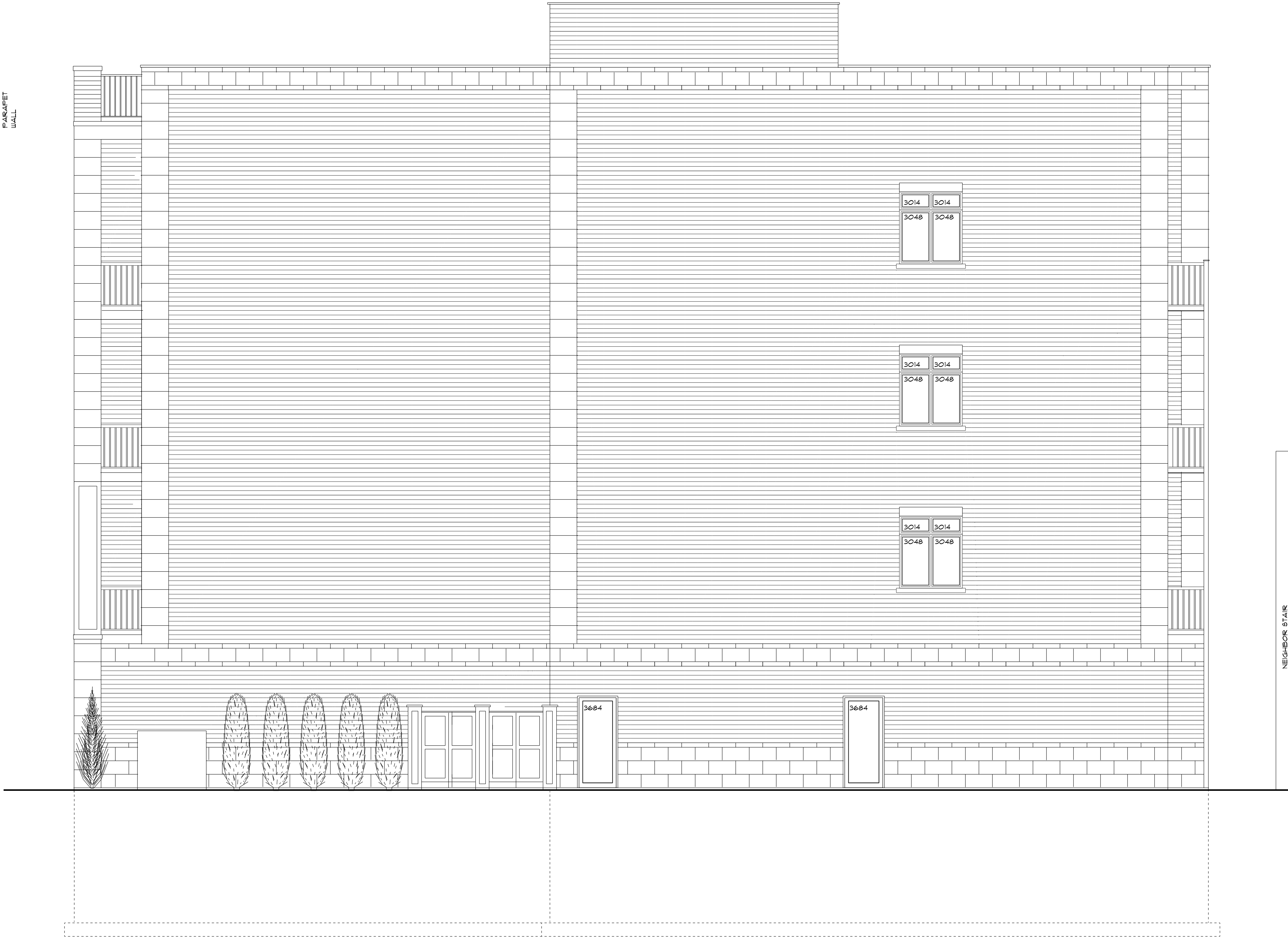
REVISION

JOB #

SHEET #

A1

10'-0"
12'-0"
12'-0"
12'-0"
12'-0"
12'-0"
10'-0"
5'-4"
PARAPET
WALL



RIGHT ELEVATION

SCALE 1/8" = 1'-0"



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JOB #

SHEET #

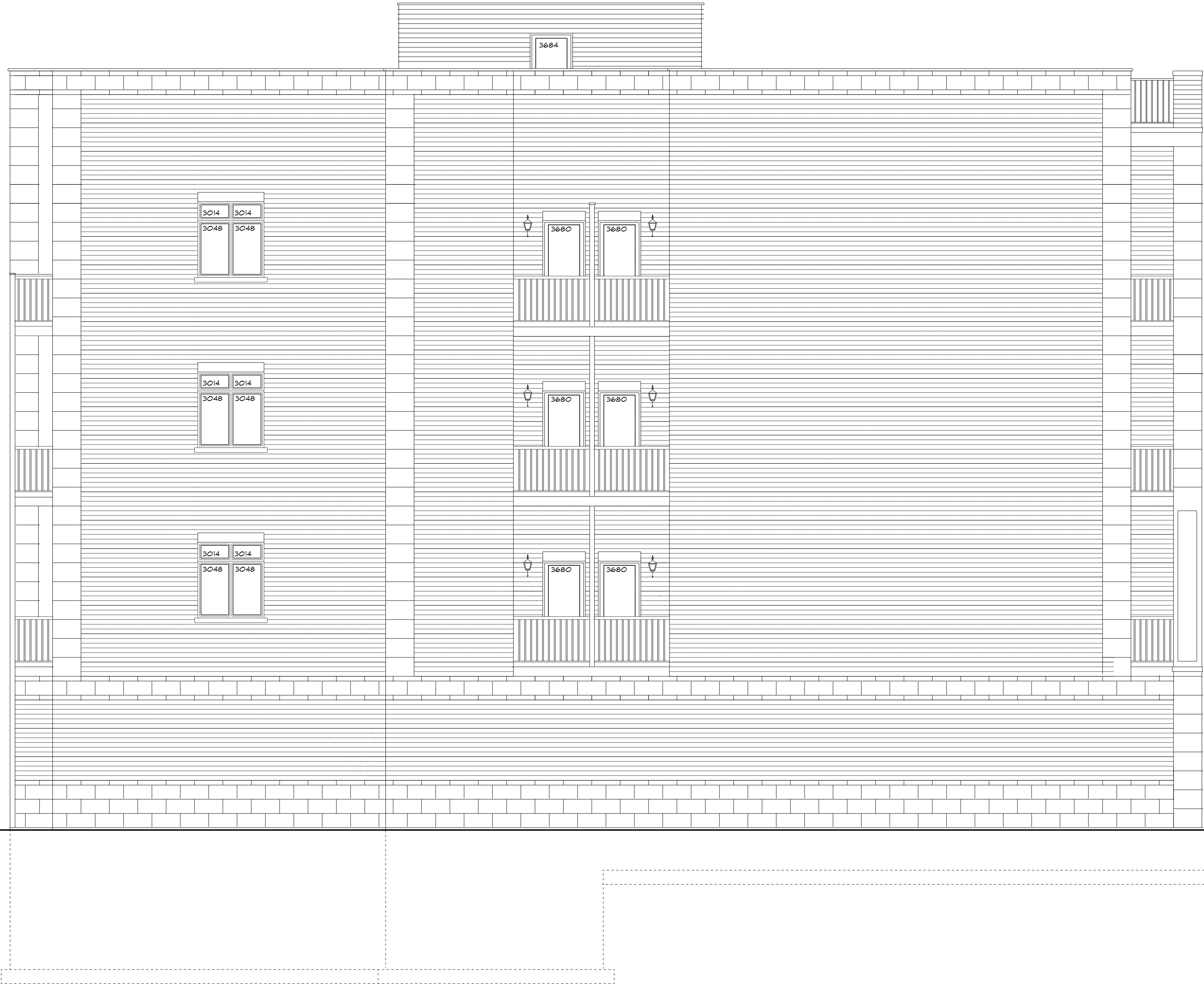
A2



10'-0" 12'-0" 12'-0" 12'-0" 12'-0" 5'-4" 4'-0"

NEIGHBOR BUILDING

NEIGHBOR STAIR



LEFT ELEVATION

SCALE 1/8" = 1'-0"

FOUR STORY BUILDING FOR:
FRANK PANZARINO
13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

DATE
OCT 22, 2015

REVISION

JOB #

SHEET #

A4

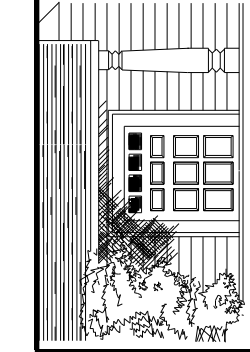


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FRONT ELEVATION

SCALE 1/8" = 1'-0"



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FOUR STORY BUILDING FOR:
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DATE
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REVISION

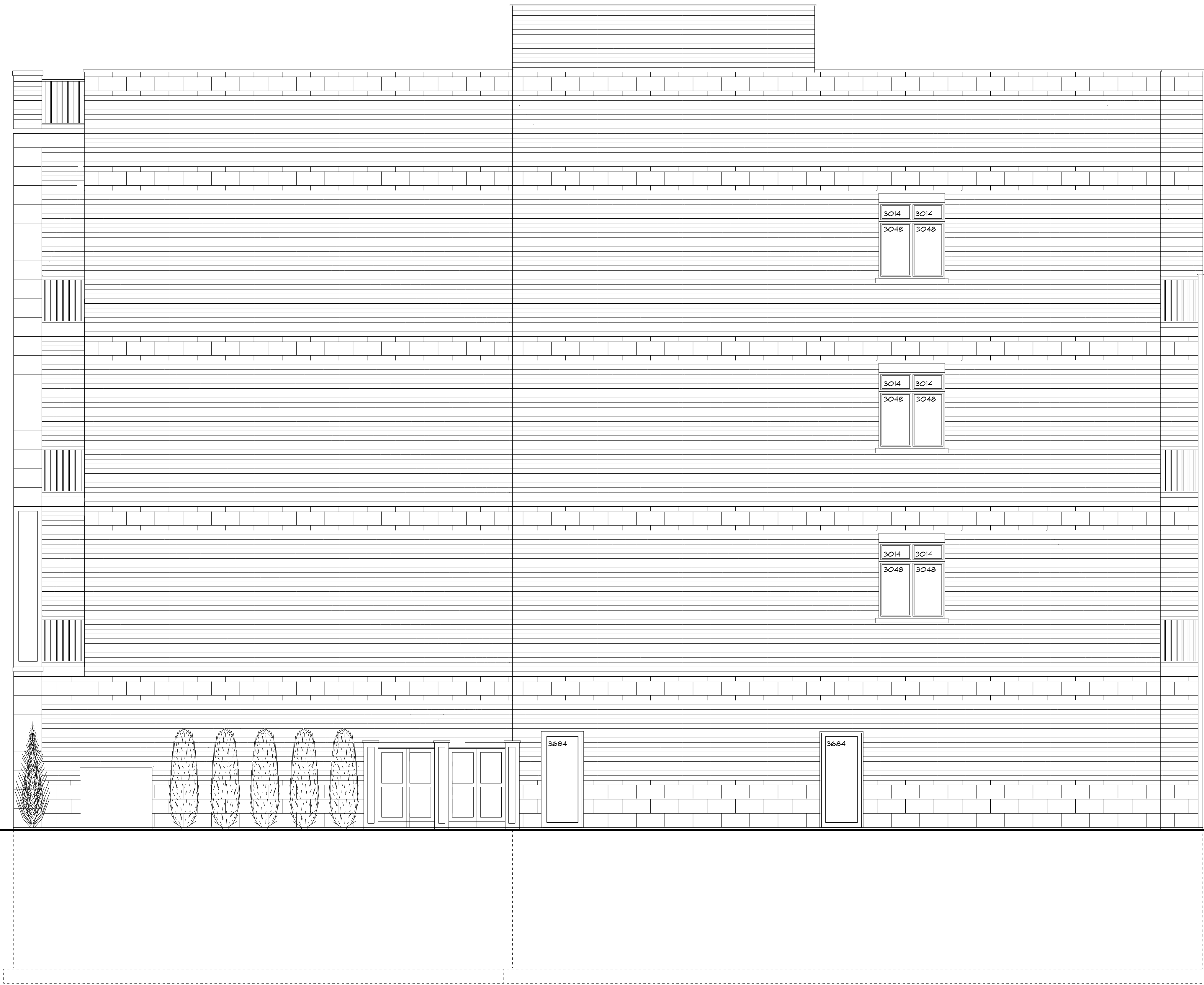
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SHEET #

A1

10'-0" 12'-0" 12'-0" 12'-0" 12'-0" 10'-0"

8'-4" PARAPET WALL

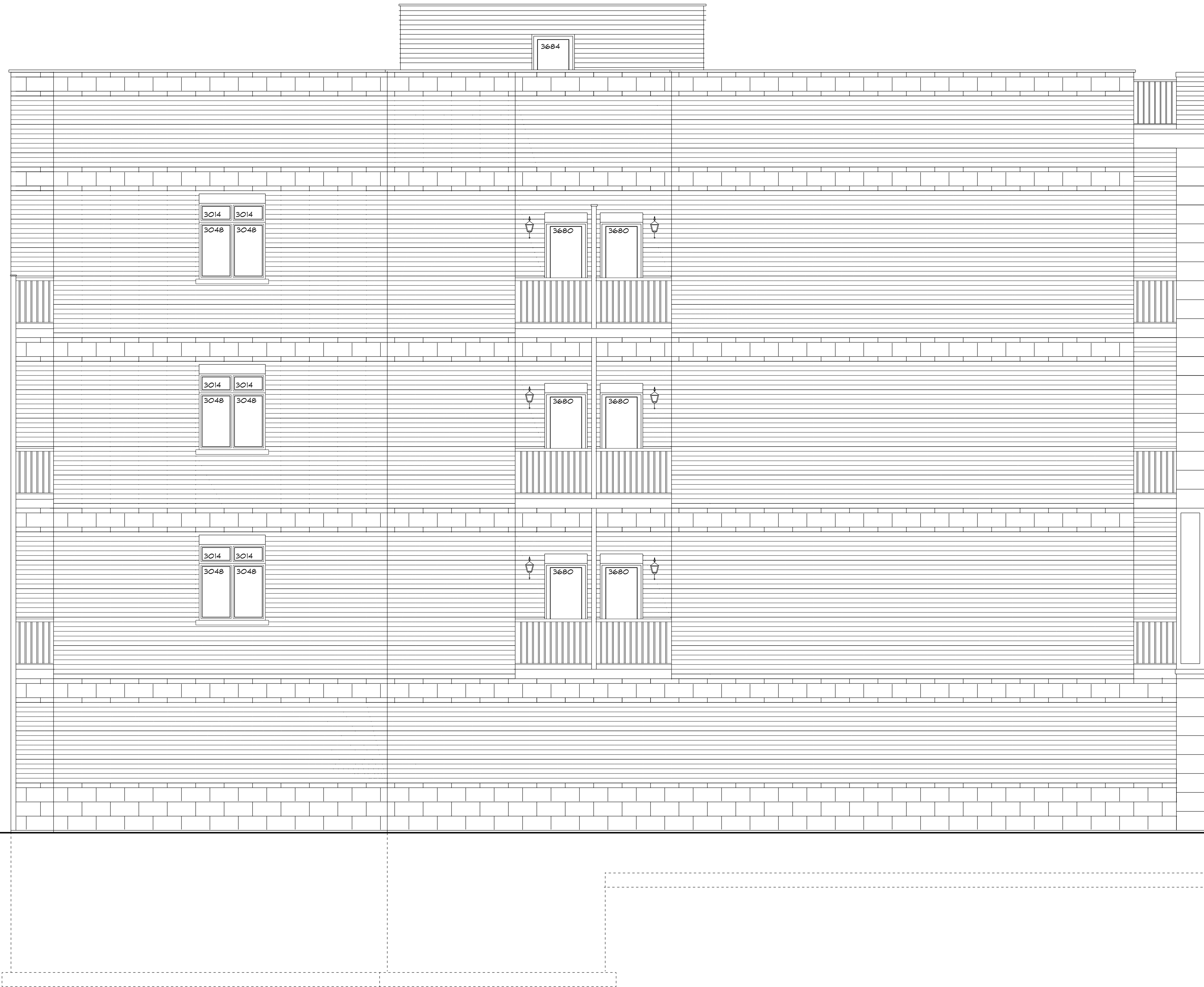


RIGHT ELEVATION SCALE 1/8" = 1'-0"

10'-0" 12'-0" 12'-0" 12'-0" 12'-0" 5'-4" 4'-0"

NEIGHBOR BUILDING

NEIGHBOR STAIR



LEFT ELEVATION

SCALE 1/8" = 1'-0"

FOUR STORY BUILDING FOR:
FRANK PANZARINO
13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

DATE
OCT 22, 2015

REVISION

JOB #

SHEET #

A4



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JWEEBSTER@GMAIL.COM

FOUR STORY BUILDING FOR:
FRANK PANZARINO
13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

DATE
10-19-2015

JOB #
SHEET #
RENDERING

Option 2



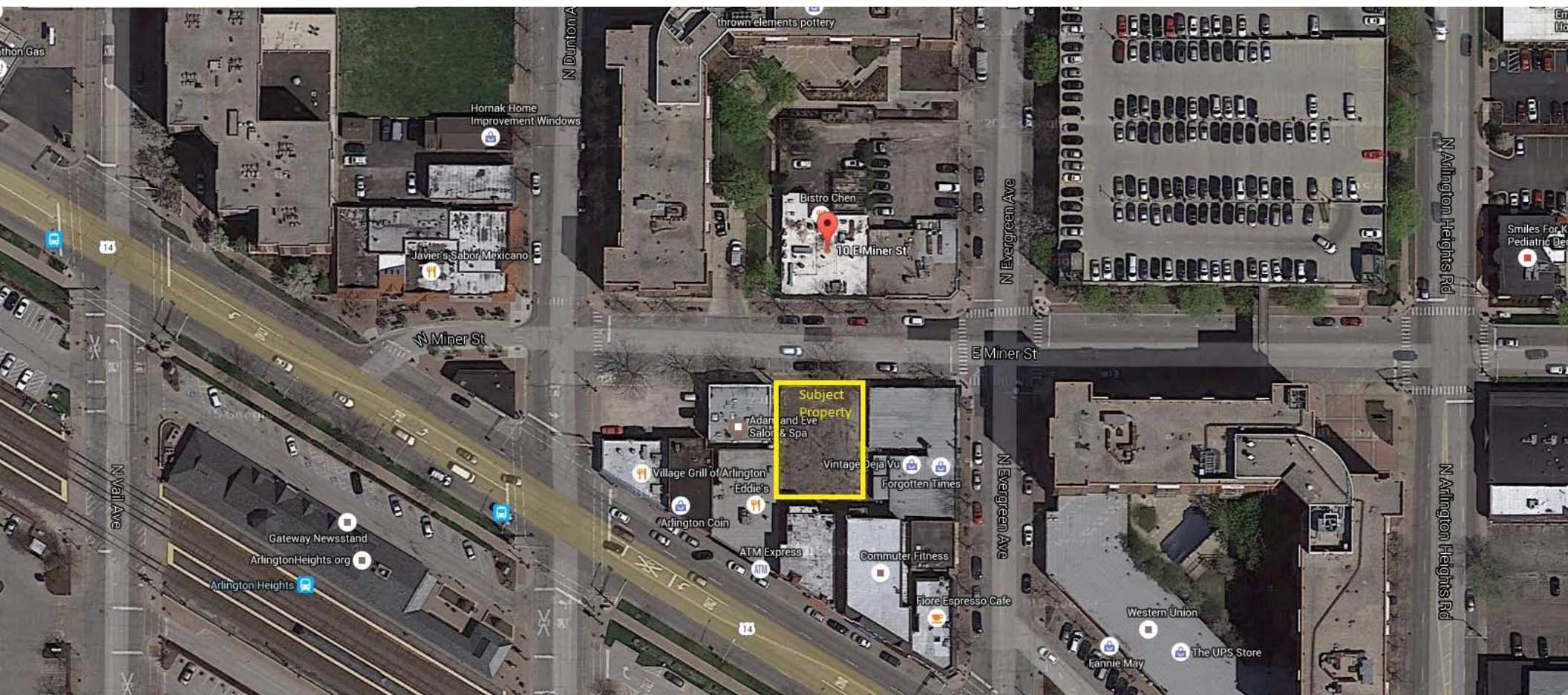
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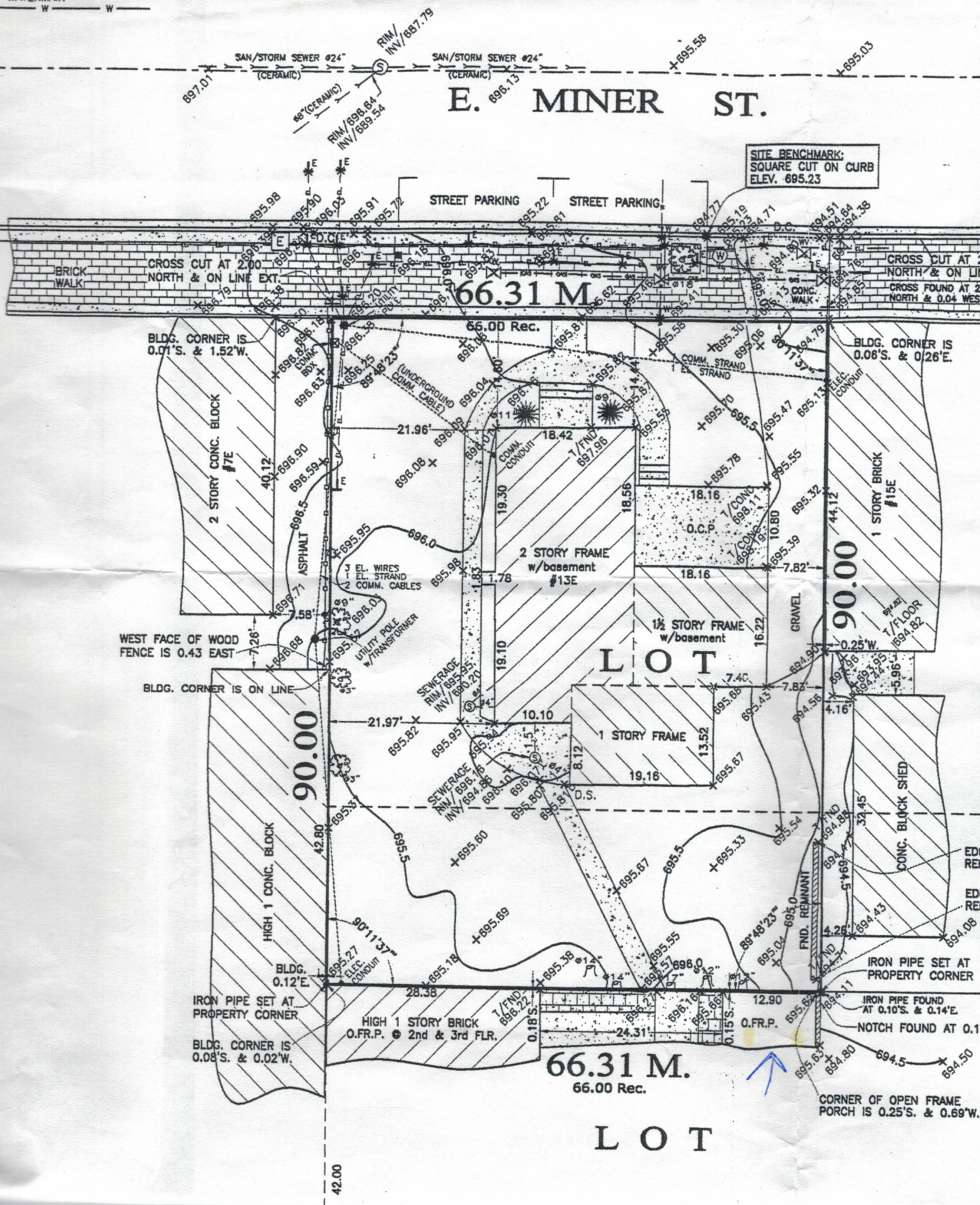
FOUR STORY BUILDING FOR:
FRANK PANZARINO
13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

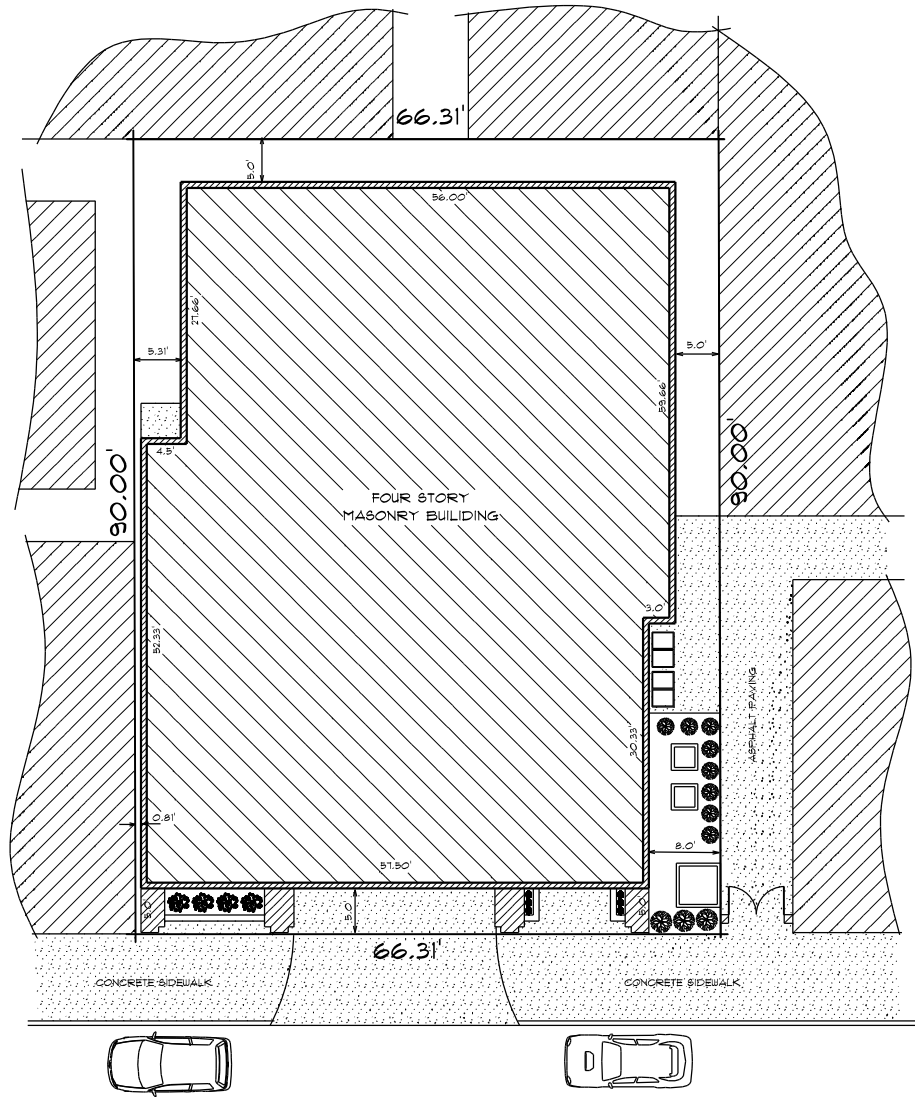
DATE
10-19-2015

JOB #
SHEET #
RENDERING

Option 6







S I T E P L A N

S C A L E 1" = 10' - 0"



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FOUR STORY BUILDING FOR:
FRANK PANZARINO
13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

DATE
JULY 21, 2014

REVISION

JOB #

SHEET #

CS



JW DESIGNS
JWDESIGNS@GMAIL.COM

FOUR STORY BUILDING FOR:
FRANK PANZARINO
13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

DATE
7-12-2015

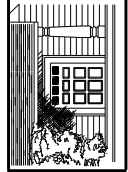
JOB #

SHEET #
RENDERING



FRONT ELEVATION

SCALE 1/8" = 1'-0"



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FOUR STORY BUILDING FOR:
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13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

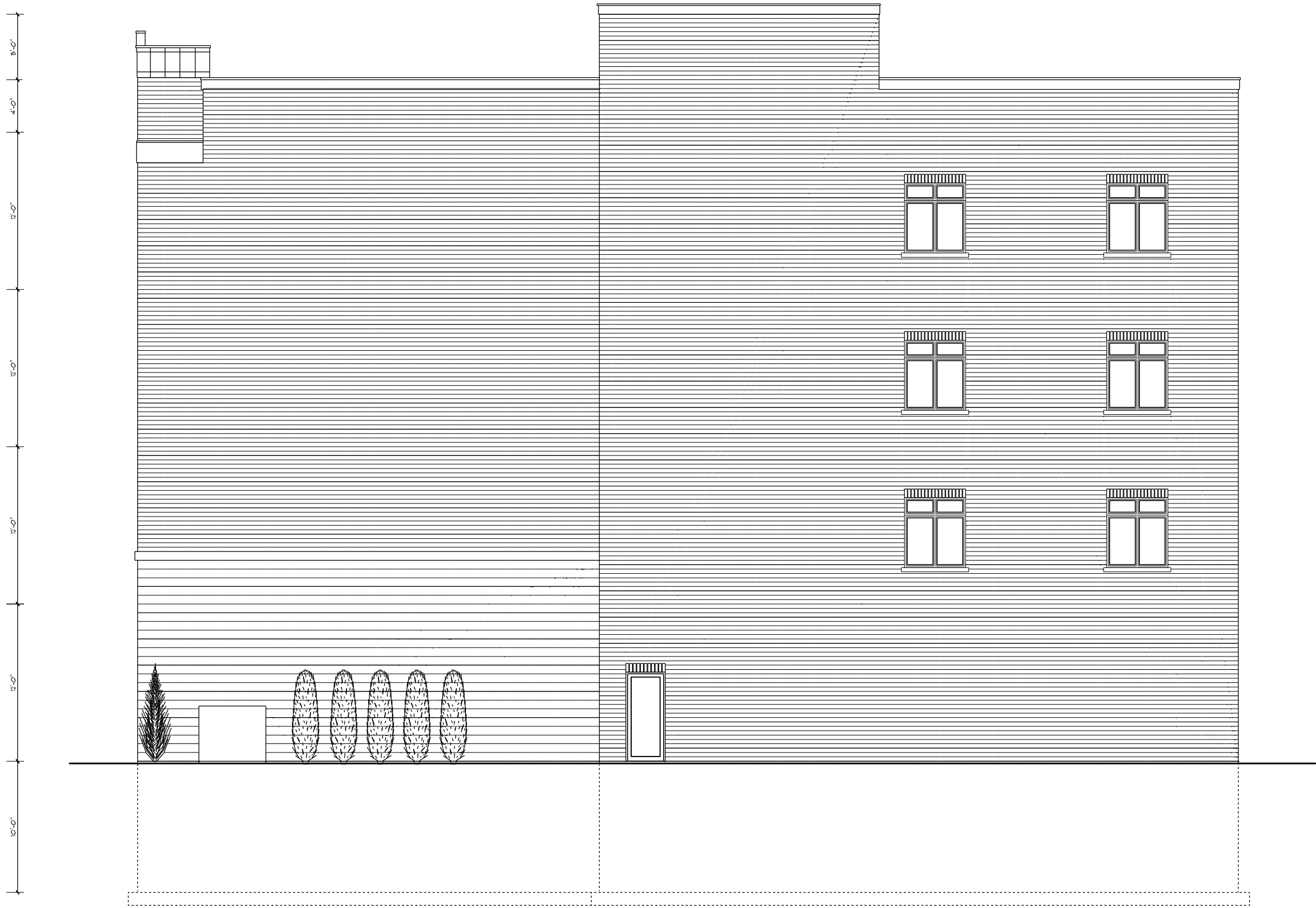
DATE
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REVISION

JOB #

SHEET #

A1



RIGHT ELEVATION

SCALE 1/8" = 1' - 0"



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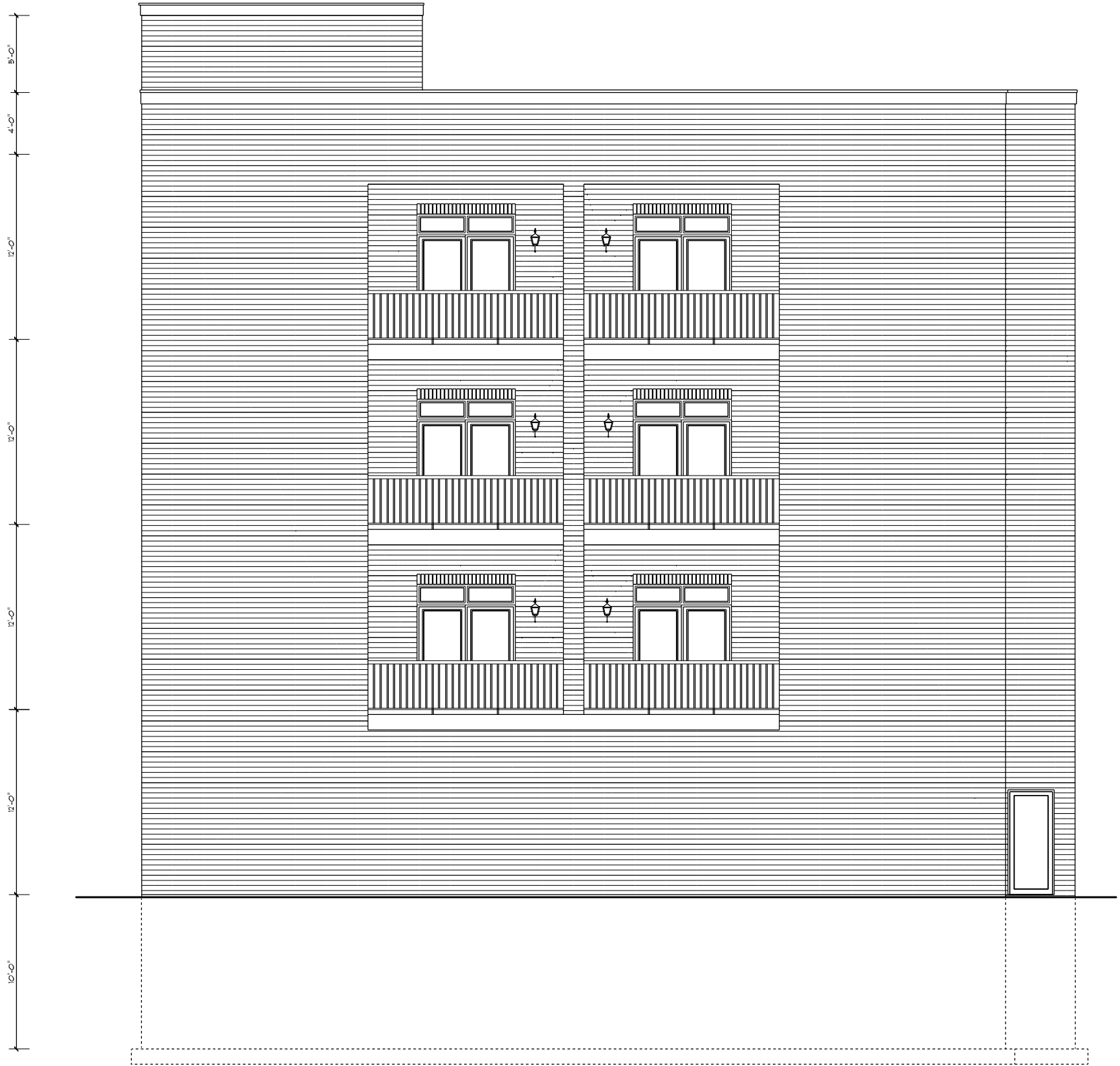
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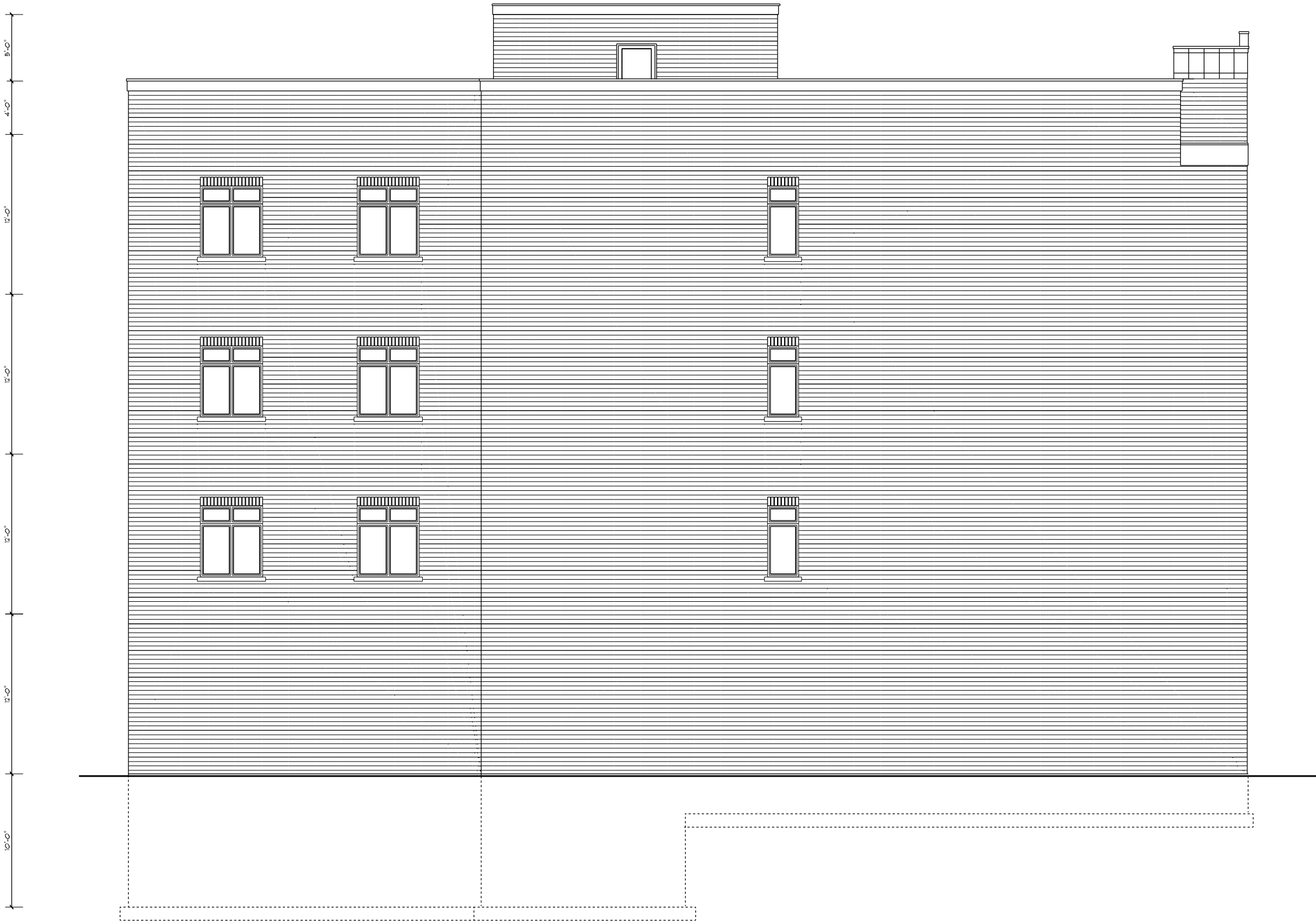
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A2



REAR ELEVATION

SCALE 1/8" = 1' - 0"



LEFT ELEVATION

SCALE 1/8" = 1'-0"



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DATE
JULY 21, 2014

REVISION

JOB #

SHEET #

A4

13 E Miner St
12-unit Building Development
Material List & Landscape Plan

Brick:

Medium Ironspot #46 – Smooth Modnlar

Medium Ironspot #77

Window Casings:

Pella Window – Dark Brown

Balcony Railings:

Aluminum – Dark Color

Garage Door:

Mahogany Metal Door

Stone:

Indiana Lime Stone/ Line Stone

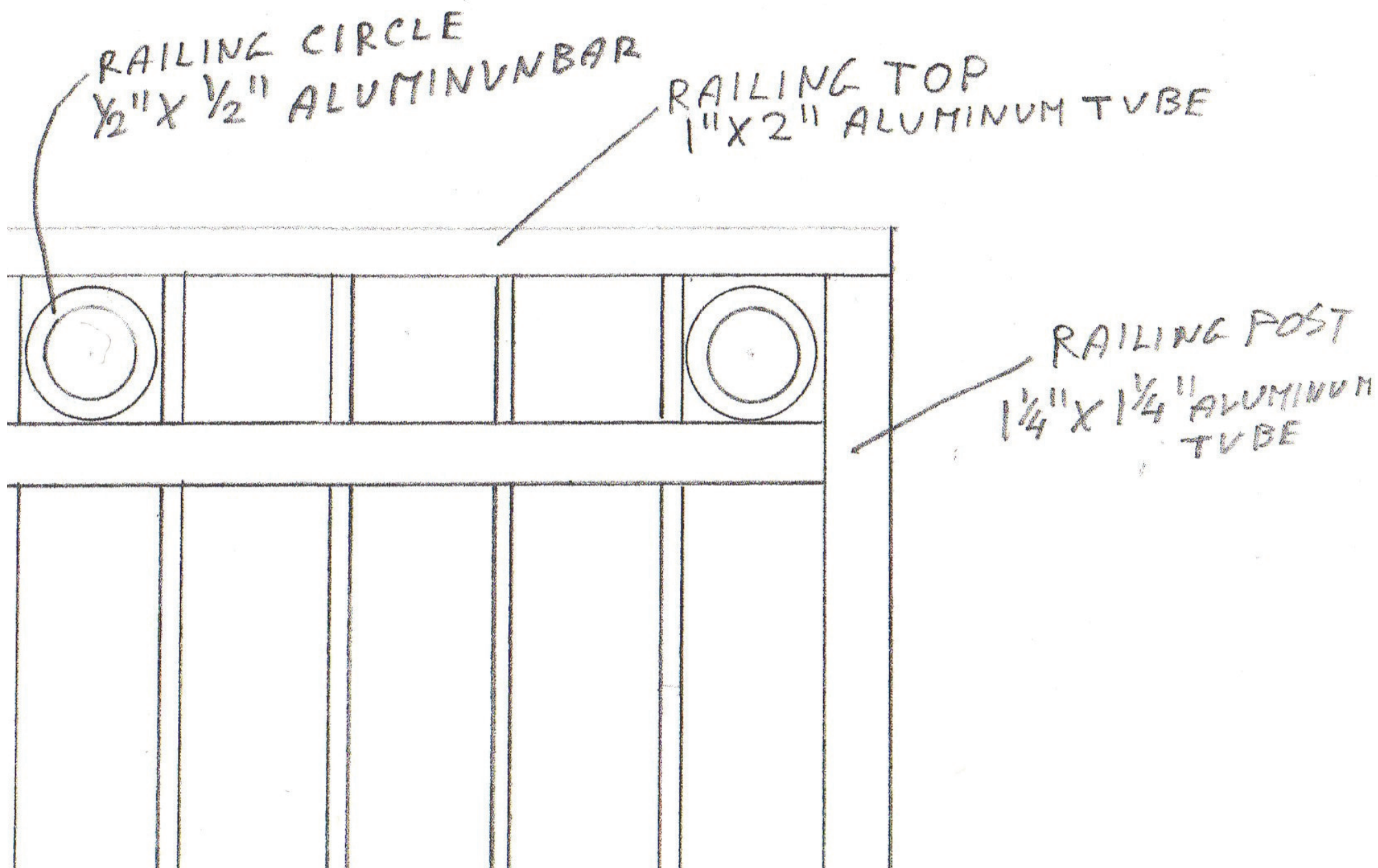
Landscaping:

This landscaping will be surrounding the electrical transfer switch and transfer gear on the side of the building.

Box Wood

Arbor Vitae

Yew Trees/ Schrubs





2-8



10



24

Duton St

E. Miner St.

Evergreen St

5

7-11

13

15-21





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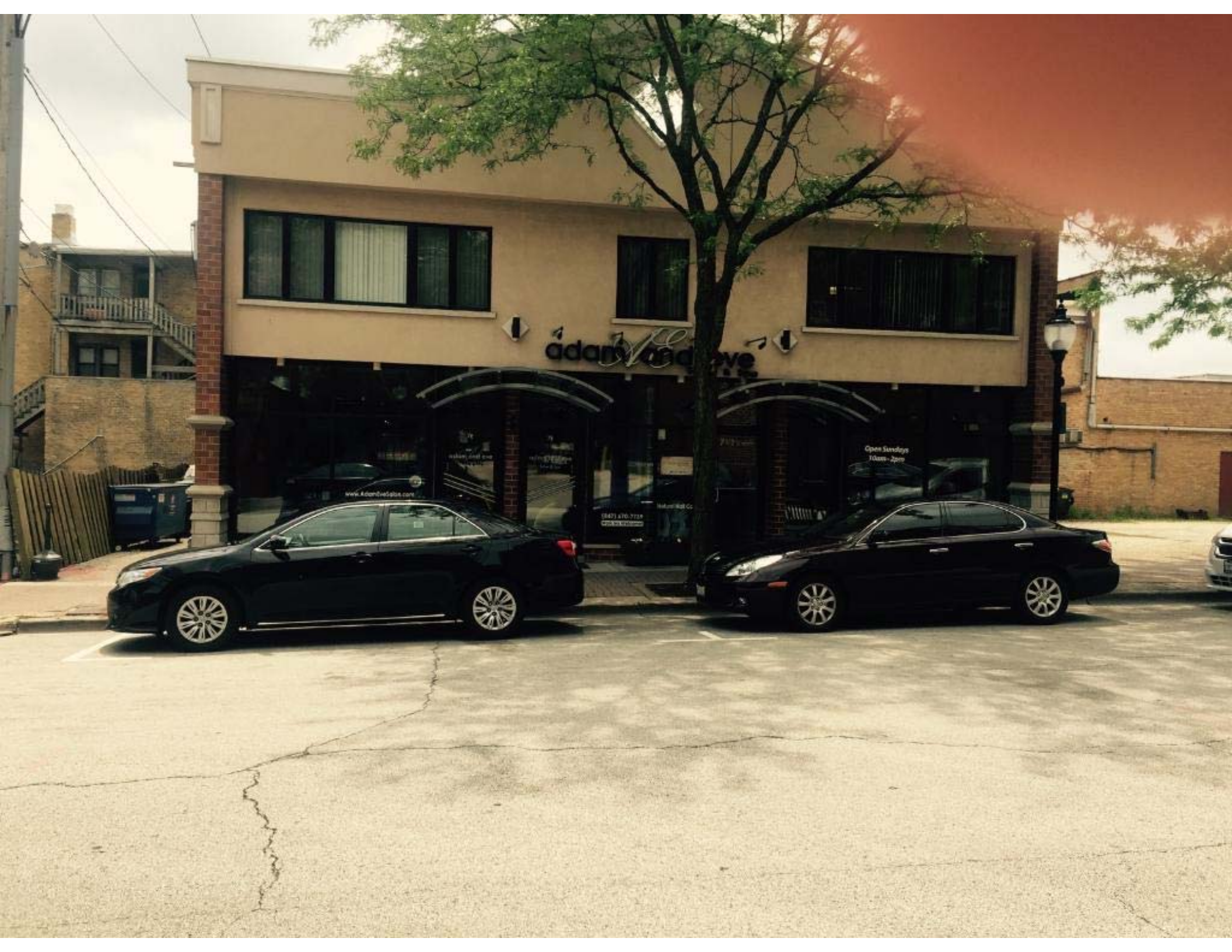
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Item: DC#15-130 - 926 N. Beverly Ln. - SF/Teardown

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission deny and require revisions to the proposed new single-family residence to be located at 926 N. Beverly Lane. This recommendation is based on the plans dated 10/7/15 and received 10/9/15, and the following:

1. Revise the design to eliminate the three car side load garage on the front of the house to comply with the character of the neighborhood.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
3. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report
Drawings & Documents

Type

Board or Commission Report
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 926 N. Beverly Ln.
Project Address: 926 N. Beverly Ln.
Prepared By: Steve Hautzinger

Date Prepared: October 22, 2015

PETITION INFORMATION:

DC Number: 15-130
Petitioner Name: Jack Boryszewski
Petitioner Address: MJ & B Contractors Inc.
7N601 Rodenberg Rd.
Roselle, IL 60172
Meeting Date: October 27, 2015

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to demolish an existing single story residence and detached garage to allow construction of a new two story residence with an attached, three car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 10,698 square feet and the proposed residence will have approximately 4,658 square feet. This project does comply with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 25 feet Side: 5 feet Side: 5 feet Rear: 30 feet	Front: 25 feet Side: 5 feet Side: 5 feet Rear: 104 feet
Building Height	25 feet to the midpoint	25 feet to the midpoint
FAR	4,717 SF	4,658 SF
Building Lot Coverage	3,744 SF	2,617 SF
Impervious Surface Coverage Total	5,349 SF	4,158 SF

The existing neighborhood consists primarily of single-story homes with one car attached garages. However, there have been numerous other teardowns completed on this block indicating that this neighborhood is transitioning to new two story homes.

The proposed design includes an attached three car side load garage on the front of the house. The proposed garage pushes the main body of the house and front door away from the front of the site to the extent that the front door will be behind the back wall of the adjacent home to the north. This arrangement is not in context with the neighborhood, and is not in compliance with the Single Family Design Guidelines.

The purpose of the Single Family Design Guidelines is to provide standards to evaluate improvements throughout the residential neighborhoods of Village of Arlington Heights, including: "evaluation of how the proposed home fits in with the character of the existing neighborhood" and "relationship of the proposed structure to its site and adjacent homes". Section 2 of the Design Guidelines outlines criteria for "fitting in with the neighborhood" and discusses methods to analyze the character of the neighborhood. The character of this neighborhood has an emphasis on the front entrances with predominantly covered front porches and detached garages. Some of the newer homes have attached front loading garages combined with a covered front porch. There are no side load garages on the front of the homes.

If a three car garage is desired, then the petitioner should consider a detached garage or an attached side load garage in the rear of the home. There is a nice example of a newer home across the street with a detached garage in the rear yard (refer to Image 1 below), and another example of a newer home with an attached side load garage in the rear (refer to Image 2 below). Both of these examples keep the main body of the house and front entrance in line with the rest of the block.

There are also examples of new homes on this block that have two car, front load, attached garages. This is another option, but the design should be done to prevent the garage from dominating the front elevation. The property directly to the south of the subject property was recently approved by the Design Commission on August 25, 2015 for teardown and construction of a new home with an attached front loading garage and covered front porch (refer to Image 3 below).



Image 1. 1009 N. Beverly Lane, teardown 2004. Detached garage in rear yard.



Image 2. 917 N. Beverly Lane, teardown 2011. Attached side load garage in rear of house.



Image 3. 922 N. Beverly Lane, teardown approved August 25, 2015. Located directly south of the subject property. The attached front load garage is nicely integrated and does not dominate the front elevation.

RECOMMENDATION:

It is recommended that the Design Commission **deny and require revisions** to the proposed new single-family residence to be located at 926 N. Beverly Lane. This recommendation is based on the plans dated 10/7/15 and received 10/9/15, and the following:

1. Revise the design to eliminate the three car side load garage on the front of the house to comply with the character of the neighborhood.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
3. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

_____, October 22, 2015

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

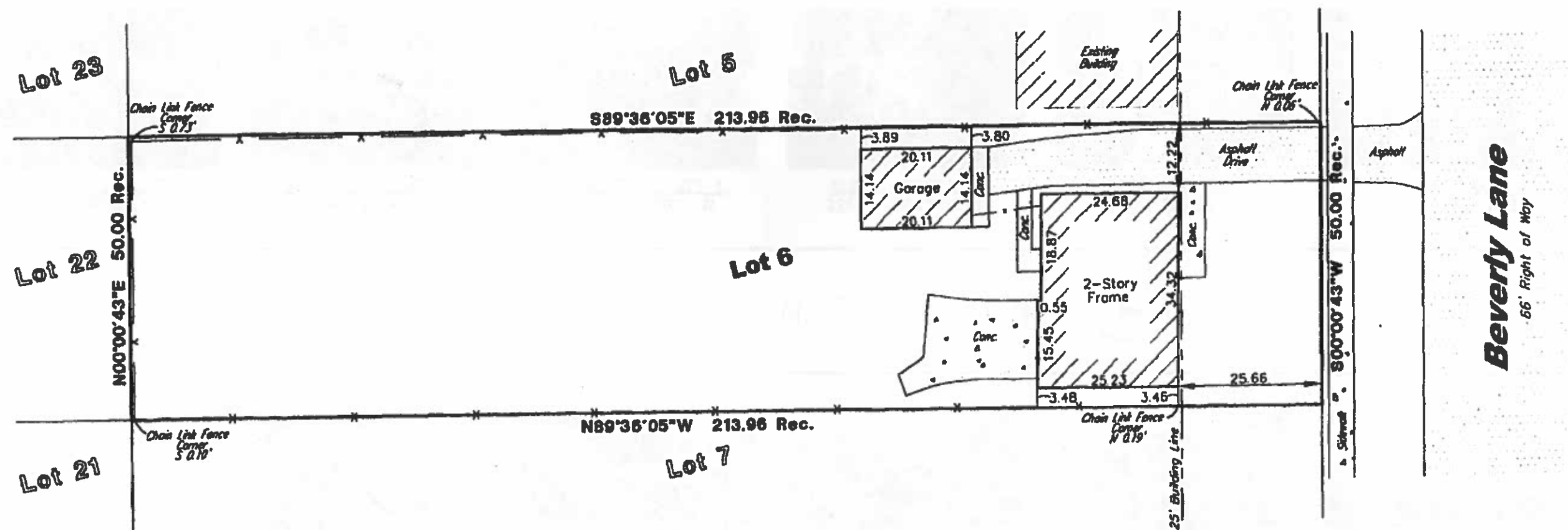
c: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 15-130



Scale: 1" = 20'

PLAT OF SURVEY

LOT 6 IN BLOCK 2 IN CHARLES W. JAMES' SUBDIVISION OF LOTS 1 TO 5, 7 AND 8 IN BLOCK 1 AND LOTS 1 TO 8 IN BLOCK 2, IN ARLINGTON FARMS, BEING A SUBDIVISION OF THE EAST 80 ACRES OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 1, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



Legend:

- - Set 1/2" Iron Pipe
- - Found Iron Pipe
- X - Found Cross

Surveyor Notes:

- Field Work Completed on 07-18-14
- Prepared for Survey Services, Inc., for real estate transaction.
- Site Address: 926 N. Beverly Lane, Arlington Heights, IL
- Pin No.: 03-29-201-024
- The easements shown hereon are provided from the current title and the use of the recorded subdivision plat. No search of the records for easements or encumbrances was made as part of this survey.
- Compare deed description and site conditions with the data given on this plat and report any discrepancies to the surveyor at once.
- Auto Cad Files will not be released under this contract.

RECEIVED
OCT - 9 / 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

State of Illinois) SS)
County of Cook)

We, Land Surveying Services, Inc. do hereby state that we have surveyed the above described property and that this is the Plat that represents the conditions found on the ground.

Given under my hand and seal this 21st day of July, A.D. 2014 in Chicago, Illinois.

Gloria Jean Koter, an agent for Land Surveying Services, Inc.

Illinois Professional Land Surveyor Number 3923
License Expiration Date 11-30-14

This professional service conforms to the current Illinois minimum standards for a boundary survey.



Drawn By:	ID	Checked By:	GLK
Drawing Revisions			
REVISION		Date	Drawn/Checked

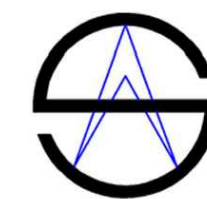
Field Work Completed:	07-18-14
Scale:	1" = 20'
Date:	07-21-14
Site Address:	926 N. Beverly Lane Arlington Heights, Illinois

Land Surveying Services, Inc.
574 W. Cullum Street
Pekin, Illinois 60667
Ph. (847)991-7700 Fax. (847)991-7707
Professional Design Firm License No. 184-003632

Job Number
LS140538

Sheet Name
PLAT OF SURVEY

Sheet Number
SURVEY



SOHN ARCHITECTS, LTD.
1122 N. CLARK ST. #2407
CHICAGO, IL 60610
PH (312) 925-5921

PROJECT:
926 N. BEVERLY LANE
ARLINGTON HEIGHTS, IL 60004

1 OCT-12
2015 ISSUED FOR DESIGN
COMMISSION REVIEW

ISSUED

SHEET TITLE:

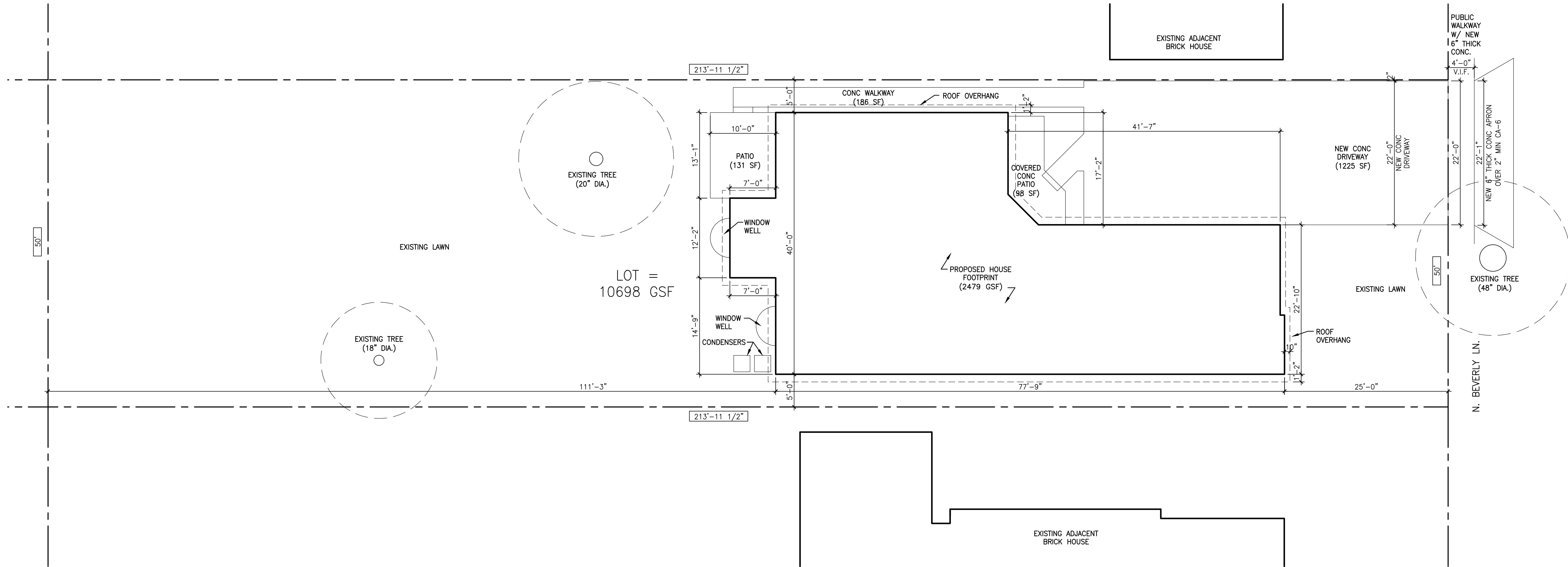
SITE PLAN

PROJECT NUMBER:

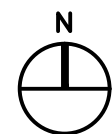
CADD FILE:

SHEET NUMBER:

A 1.0



1 SITE PLAN
SCALE: 1/8" = 1'-0"





PROPERTY TO LEFT 4
910 N. BEVERLY LN.



PROPERTY TO RIGHT 4
1014 N. BEVERLY LN.



PROPERTY TO LEFT 3
914 N. BEVERLY LN.



PROPERTY TO LEFT 2
918 N. BEVERLY LN.



PROPERTY TO LEFT 1
922 N. BEVERLY LN.



SUBJECT PROPERTY
926 N. BEVERLY LN.



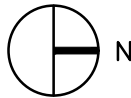
PROPERTY TO RIGHT 1
1002 N. BEVERLY LN.



PROPERTY TO RIGHT 2
1006 N. BEVERLY LN.



PROPERTY TO RIGHT 3
1010 N. BEVERLY LN.

N. BEVERLY LN. 



PROPERTY ACROSS 1
917 N. BEVERLY LN.



PROPERTY ACROSS 2
921 N. BEVERLY LN.



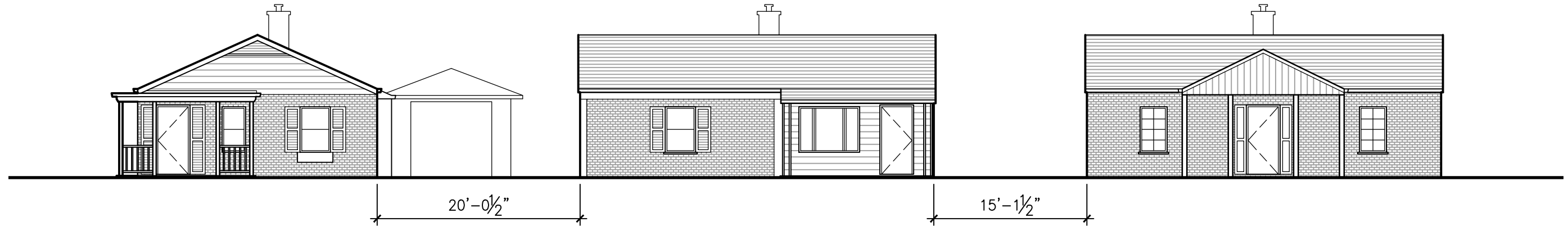
PROPERTY ACROSS 3
925 N. BEVERLY LN.



PROPERTY ACROSS 4
1001 N. BEVERLY LN.



PROPERTY ACROSS 5
1009 N. BEVERLY LN.

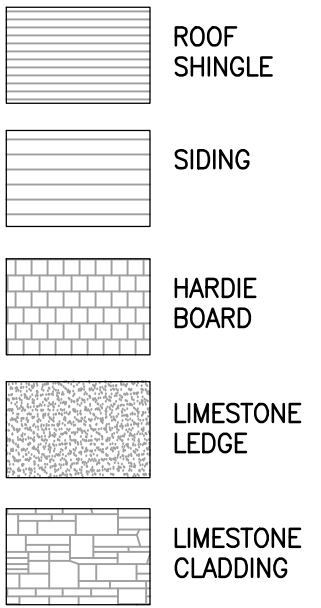


1 EXISTING CONTEXT ELEVATION
SCALE: 3/32" = 1'-0"



2 PROPOSED CONTEXT ELEVATION
SCALE: 3/32" = 1'-0"

MATERIAL
LEGEND



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CHICAGO, IL 60610
PH (312) 925-5921

PROJECT:
926 N. BEVERLY LANE
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SHEET TITLE:

ELEVATIONS

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SHEET NUMBER:

A 2.1

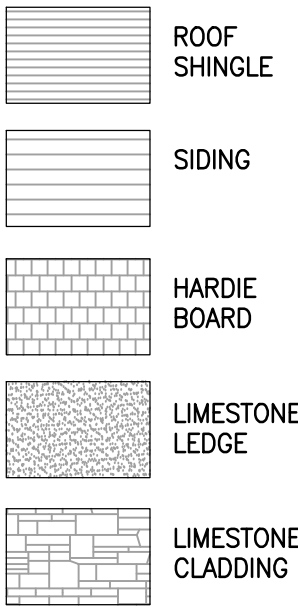


2 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL
LEGEND



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PH (312) 925-5921

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ELEVATIONS

PROJECT NUMBER:

CADD FILE:

SHEET NUMBER:

A 2.2



2 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL SCHEDULE

MATERIAL TYPE	MANUFACTURER	COLOR
STONE	INDIANA LIMESTONE	GRAY
PANEL / SIDING	JAMESHARDIE	COBBLE STONE
GUTTER / TRIM / FASCIA	JAMESHARDIE	WHITE
ROOF SHINGLE	GAF – ROYAL SOVEREIGN	CHARCOAL
WINDOWS	ANDERSON	WHITE FRAME



MATERIAL SAMPLE IMAGES



PANELS & SIDING: JAMESHARDIE, GRAY



TRIM: JAMESHARDIE, WHITE



STONE: INDIANA LIMESTONE, GRAY

