



Agenda
Village of Arlington Heights
Design Commission
Community Room, 3rd Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
October 25, 2016
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Minutes - 10/4/16

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. DC#16-106 - 1116 N. Douglas Ave. - SF/Teardown
- B. DC#16-107 - 1225 N. Walnut Ave. - SF/Teardown
- C. DC#16-124 - Esplanade at Arlington Heights - 2920-3020 W. Euclid Ave. - Sign Variation

VII. OTHER BUSINESS

- A. Medical Office Building - 1519 S. Arlington Heights Rd.
Commercial/Preliminary Review

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Minutes - 10/4/16

Department: Planning & Community Development

ATTACHMENTS:

Description

Minutes 10/4/16

Type

Minutes

DRAFT

**MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
OCTOBER 4, 2016**

Chair Eckhardt called the meeting to order at 6:30 p.m.

Members Present: Ted Eckhardt, Chair
John Fitzgerald
Anthony Fasolo
Kirsten Kingsley
Jonathan Kubow

Members Absent: None

Also Present: Irfan Patel, North Suburban Petro for *Marathon Gas Station*
Mark & Lisa Livesay, Owners of 926 N. Hickory Ave.
Gary Lira, Lira & Associates for 926 N. Hickory Ave.
Jeff Benach, Lexington Homes for *Lexington Heritage Townhomes*
Jay Cox, BSB Design for *Lexington Heritage Townhomes*
Karl Krogstad, Krogstad Land Design Limited for *Lexington Heritage Townhomes*
Steve Hautzinger, Staff Liaison

REVIEW OF MEETING MINUTES FROM SEPTEMBER 20, 2016

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO APPROVE THE MEETING MINUTES OF SEPTEMBER 20, 2016. ALL WERE IN FAVOR. THE MOTION CARRIED.

Chair Eckhardt welcomed Kirsten Kingsley, newly appointed Design Commissioner, who was a former member in years past.

ITEM 1. COMMERCIAL REVIEWDC#16-101 – Marathon Gas Station – 102 W. Northwest Highway

Irfan Patel, representing *North Suburban Petro*, was present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to renovate the exterior of an existing Marathon gas station building in Downtown Arlington Heights. The existing fuel pumps and canopy will remain, but they are planned to be converted from the “Marathon” brand to “Mobil” branding. The existing ground sign will also be changed to a new Mobil sign. This property received Plan Commission and Village Board approval in 1982 as a Special Use for a gasoline service station with a mini-mart.

With regards to the architectural design, the original building exterior was clad in white corrugated metal panels with white storefront window frames, and the petitioner is proposing to cover over the metal siding with a tan (color #3105, “Sandman”) EIFS synthetic stucco, with a stone base around the bottom. The existing white “QUIK MART” signage band is proposed to remain. The petitioner is in the process of installing the EIFS, so the building walls are currently covered with exterior insulation and the first rough coat of gray stucco. The design includes an EIFS sill detail to cap the stone base. Currently, the sill detail terminates at the sides of the windows, but it is recommended that the sill detail be lowered to run continuously under the windows, creating a window sill as well as a continuous cap for the stone base. Additionally, it is recommended that the EIFS sill detail be a contrasting lighter color #3098 “Crescent”, to simulate the appearance of a stone band. The back of the building is painted CMU, which will be repainted to match the new EIFS color. Overall, the proposed makeover will be a nice improvement to the existing building.

There is an existing trash dumpster located on grade behind the building facing Vail Avenue. Village Design Guidelines require that all trash dumpsters be screened from public view. The dumpster is clearly visible from Vail Avenue, so a fenced screen is required to conceal the dumpster from view. Landscaping is required to comply with the originally approved landscape plan from 1982, which includes a continuous row of 6-foot tall landscaping along the north property line to screen the back of the building. Currently, some of the landscaping in that area is either missing or dead. The dead landscaping needs to be replaced, and the voids need to be infilled. Please note, the landscaping within the easternmost 12 feet of this bed needs to be limited to 18 inches in height to maintain visibility at the street intersection. The landscape planting bed at the southwest corner of the site is in poor condition and needs to be improved. The edge of the bed should be improved with new curb or landscape blocks, and the landscape plantings should be trimmed, replaced, and infilled as needed. Signage has not been submitted for review, but the new signage will be required to comply with Chapter 30, Sign Code requirements for Downtown signage, and separate sign permits are required for all signage.

Staff recommends approval of the proposed architectural design for the renovations with the six conditions stated in the Staff report.

Chair Eckhardt asked if there was any public comment on the project and there was no response from the audience.

Mr. Patel stated that modifications to the building include adding stucco at the top and stone at the bottom on the front and sides of the building. They will be submitting for new signage next week, and they will screen the dumpster with a fence as suggested. They agree with all recommendations in the Staff report.

Commissioner Fasolo agreed with the comments and suggestions made by Staff. He also felt the color proposed for the EIFS wall was too similar to the stone, and he suggested using the Synergy color #3098 Crescent for the wall instead. He agreed with the suggestion to lower the EIFS sill to run continuously around the walls and under the windows, and he agreed with the suggestion to paint the exposed conduits and downspouts on the back of the building the same color as the EIFS, and make the landscape improvements as suggested by Staff.

Commissioner Kubow agreed with the recommendations from Staff, which the petitioner said he was not opposed to doing.

Commissioner Fitzgerald also agreed with the recommendations from Staff, including everything said by the other commissioners; however, he was not opposed to the lighter color on the sill and the color as proposed for the walls.

Commissioner Kingsley agreed with the previous comments. She also agreed with Staff's suggestion that the sill be a lighter color, and she asked for clarification on the color of the existing 'Quik Mart' signage band. **Mr. Hautzinger** explained that the band would stay the existing white color, and the wall behind it would be the proposed new EIFS color. **Mr. Patel** stated that they were fine with either of the two EIFS colors being proposed. After reviewing the rendering more closely, **Commissioner Fasolo** said that he preferred the sill to be a white color to match the white 'Quik Mart' band color.

Commissioner Kingsley felt #3098 'Crescent' was a nice color for the sill; and although she liked #3105 'Sandman', she felt the color should be less brown and slightly darker; something that would go with the 'Crescent' color. **Chair Eckhardt** asked if Mobil was intending on coming in with a new set of colors, and **Mr. Patel** said that they are not.

Commissioner Fitzgerald liked the 'Sandman' color more than the 'Peanut' color for the walls, and the 'Crescent' color for the trim. He felt that a lighter, less sand color than 'Sandman' might make the white band tie in better, such as the 'Porridge' color. **Commissioner Fasolo** preferred 'Crescent' for the wall color, and **Commissioner Kubow** preferred #610 'Porridge' for the walls and 'Crescent' for the sill.

Chair Eckhardt acknowledged the petitioner's agreement to Staff's comments 1 – 8 in the Staff report. He supported the 'Crescent' color for sill and the 'Porridge' color for the walls of the building.

Commissioner Kingsley asked about the fence material and color and **Mr. Patel** replied that a cedar fence was being proposed, which would not be stained.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER FASOLO, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR THE RENOVATIONS TO THE MARATHON GAS STATION LOCATED AT 102 W. NORTHWEST HIGHWAY. THIS APPROVAL IS BASED ON THE RENDERING AND MATERIAL SAMPLES DATED 8/18/16, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT THAT THE EIFS SILL DETAIL BE LOWERED TO RUN CONTINUOUSLY AROUND THE WALLS AND UNDER THE WINDOWS.
2. A REQUIREMENT THAT THE EIFS SILL DETAIL BE SYNERGY COLOR #3098 'CRESCENT', AND THE EIFS WALL COLOR BE SYNERGY COLOR #610 'PORRIDGE'.
3. A REQUIREMENT THAT THE BACK OF THE BUILDING, EXPOSED CONDUITS, AND DOWNSPOUTS BE PAINTED TO MATCH THE NEW EIFS 'PORRIDGE' WALL COLOR.
4. A REQUIREMENT FOR A SCREEN TO CONCEAL THE TRASH DUMPSTER FROM PUBLIC VIEW.
5. REPLACE DEAD LANDSCAPING AND INFILL VOIDS TO PROVIDE CONTINUOUS 6-FOOT TALL LANDSCAPING IN THE BED ALONG THE NORTH PROPERTY LINE. THE PLANTINGS SHALL BE LIMITED TO 18-INCHES IN HEIGHT WITHIN 12-FEET OF THE STREET INTERSECTION.
6. IMPROVE THE EXISTING LANDSCAPE PLANTER AT THE SOUTHWEST CORNER OF THE SITE WITH NEW CURBS OR LANDSCAPE BLOCKS AND TRIM, REPLACE, INFILL THE PLANTINGS AS REQUIRED.
7. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER

REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.

8. ALL SIGNAGE MUST MEET CODE, CHAPTER 30.

FASOLO, AYE; FITZGERALD, AYE; KUBOW, AYE; KINGSLEY, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 2. SINGLE-FAMILY TEARDOWN REVIEW

DC#16-108 – 926 N. Hickory Ave.

Gary Lira, representing *Lira & Associates*, and **Mark & Lisa Livesay**, the owners, were present on behalf of the project.

Chair Eckhardt asked if there was any public comment on the project and there was no response from the audience.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing single story residence and detached garage to allow construction of a new two and a half story residence with an attached, two car garage. This project received approval of the following zoning variations by the Zoning Board of Appeals on September 19, 2016:

1. A 0.2 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new home with a side yard setback of 4.8 feet from the north property line instead of the minimum 5.0 feet and an additional 1.0 feet for the eave.
2. A 0.2 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new home with a side yard setback of 4.8 feet from the south property line instead of the minimum 5.0 feet and an additional 1.0 feet for the eave.
3. A variance from Chapter 28, section 5.1-3.4 (Minimum Lot Size) to allow a 49-ft. wide, 6,463 sq. ft. lot to be buildable, where 70 feet wide, 8,750 sq. ft. is required.
4. A 60 square foot variance from Section 5.1-3.7 (Maximum Floor Area Calculation for Single Family Lots in R-3 Zoning District), Section 5.3-3.2 & Section 5.3-2 (Floor Area Ratio, Building Coverage, Height) to allow a Floor Area Ratio (FAR) of 2,968 square feet instead of the maximum allowed 2,908 square feet.
5. A 25 square foot variance from Chapter 28, Section 5.1-3.8 (Maximum Building Lot Coverage) and Table 5.3-2 (Building Coverage) to allow 2,287 square feet of building lot coverage where a maximum of 2,262 square feet is allowed.

Staff feels the proposed home is nicely designed with varying roof forms, nice materials, and full architectural detailing on all four sides of the home. However, there are two primary concerns with the design:

1. **Front loading garage.** With the exception of one house on this block, all of the houses have either detached garages or attached garages located on the back of the house. The one new house on the block with an attached front loading garage was approved by the Design Commission in 2015. It should be noted that there have been numerous teardowns previously approved in this neighborhood, many of which have front loading garages. However, for designs with front loading garages, Staff and the Design Commission have consistently recommended that the front entry portico or porch extend in front of the garage wall to keep the focus on the entrance, instead of the garage doors. The proposed design has the front porch recessed approximately 6 feet behind the garage wall.
2. **Building Height.** The building height is measured to the midpoint of the roof, and the proposed design complies with the 25 foot maximum height. However, the proposed design is a 2 1/2 story arrangement which does get quite tall at the ridge as compared to the existing adjacent houses. The Design Commission should evaluate the scale of the proposed house with the context of the block.

It is recommended that the Design Commission evaluate the proposed new single-family home, based on the comments previously stated.

Mr. Lira said that the homeowners read the comments made by Staff; however, they love the design as proposed.

Commissioner Fitzgerald felt it was a beautiful home and he was not opposed to the height of the roof because the peak of the roof sits so far back. He preferred that the two pillars on the front of the home be centered on the front window, as well as the detail in the railing centered on the window, which would open up the space to the front door. He did not understand the detail between the top of the garage dormer and the other dormer, and he welcomed comments from the other commissioners. He felt the proposed new home was beautiful on all four sides, which the commissioners really appreciate.

Commissioner Fasolo felt the new home was nicely designed and he liked the details being proposed on all four sides. He also agreed with Commissioner Fitzgerald's suggestion to center the front window between the two columns. Although the proposed new home was quite tall, he felt it would fit in well with the homes on either side that are 2-story, and he suggested lowering the roof height if possible. He was also okay with the garage orientation as proposed.

Commissioner Kingsley felt it was a nicely designed home. She liked the color palette and she suggested the petitioner consider a semi-transparent stain for more of the cedar to show. She questioned the color of the trim, which the petitioner said would be a cream color. She agreed with Staff about the front loading garage, that it would be nice if the garage set back behind the porch; however, she was unsure how this would affect the floor plan. She also agreed with Staff about the building height and the suggestion to center the front window between the two columns. **Mr. Lira** replied that he appreciated the comment and would take it under consideration.

Chair Eckhardt felt the petitioner did a good job of breaking down the mass of the front load garage by proposing 2 separate doors and 2 rooflines. He agreed with the suggestion to center the front window between the 2 columns, although he recognized it might not be as noticeable in reality. He was okay with the height of the home because it was set back, with the visual portion about equal to the home next door. He also liked the colors being proposed.

Commissioner Kubow had nothing more to add to the comments already made. He felt it was a beautiful home, and he understood market demand for an attached versus detached garage. Although it is preferred to have the front elevation be flush with the garage, the home was so well detailed and both the home and garage were so nicely designed, that he had no problem with it as proposed.

Commissioner Fitzgerald pointed out that this a 50-foot wide lot and the commissioners have not seen a home this nicely designed and this well-proportioned on a 50-foot wide lot in a long time.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE DESIGN FOR THE PROPOSED NEW SINGLE-FAMILY HOME TO BE LOCATED AT 926 N. HICKORY AVENUE. THIS APPROVAL IS BASED ON THE ARCHITECTURAL PLANS RECEIVED ON 9/16/16, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A RECOMMENDATION TO ADJUST THE FRONT WINDOW IN THE LIVING ROOM TO BE CENTERED BETWEEN THE 2 FRONT PORCH COLUMNS.
2. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

3. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.

Commissioner Fitzgerald clarified his previous point was to move the front column and not the window, if possible.
Chair Eckhardt added that a larger stair would also give a grander entrance.

A MOTION WAS MADE BY COMMISSIONER FASOLO TO AMEND THE MOTION AS FOLLOWS:

1. A RECOMMENDATION TO MOVE THE FRONT COLUMN CLOSEST TO THE FRONT DOOR, SO THE FRONT WINDOW IS CENTERED BETWEEN THE 2 COLUMNS.

COMMISSIONER FITZGERALD SECONDED THE AMENDED MOTION.

FASOLO, AYE; FITZGERALD, AYE; KUBOW, AYE; KINGSLEY, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 3. MULTI-FAMILY REVIEW

DC#16-111 – Lexington Heritage Townhomes – 3216-3240 N. Old Arlington Heights Rd.

Jeff Benach, representing *Lexington Homes*, **Jay Cox**, representing *BSB Design*, and **Karl Krogstad**, representing *Krogstad Land Design Limited*, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing a townhome subdivision consisting of nine buildings with a total of 48 attached townhome units. Three of the nine buildings will be three stories with rear loading garages, and the remaining six buildings will be two stories with front loading garages. The subject site consists of five land parcels. At this time, four of the five lots are developed with single family homes (to be demolished), and the fifth lot is vacant. This project requires Plan Commission review and Village Board approval for: rezoning from M-1 to R-6, amendment to the Village's Comprehensive Plan, Plat of Resubdivision, Planned Unit Development, repeal of the existing Old Arlington Heights Road Overlay Zone, and various corresponding zoning variations. Plan Commission review is currently scheduled for October 26, 2016.

The proposed townhomes are traditional in appearance with a variety of exterior materials including brick, vinyl siding, and asphalt shingles. The proposed designs incorporate a variety of siding profiles including horizontal siding, shake siding, and board & batten siding, which adds interest to the appearance. Two exterior material palettes are proposed. The color palettes are very similar, but they have slightly different brick, siding, and roofing colors. Overall, the proposed designs have a nice appearance, and are well done. The side elevations of the two-story buildings are nicely developed, and there is an adequate level of detailing on the rear elevations. The design style and detailing is consistent between the two-story and three-story buildings, which will provide a nice cohesive feeling for the development.

The following suggestions should be considered to enhance the overall appearance:

1. The two color schemes may be too similar:
 - Consider adjusting the siding colors to provide a bit more contrast.
 - Consider changing the shutter and front door colors between the two palettes to provide more interest.
 - The garage doors are prominent on the front of the two-story buildings, so the style and/or color of the garage doors should be varied between the two different palettes. **Mr. Hautzinger** stated that catalog cut sheets for the garage doors were received today from the petitioner and will be presented for discussion tonight.
2. The application of the two color palettes needs to be established. Should it be alternated with the same palette on every other building, or should the palettes be applied in clusters, such as groups of three?
3. The optional bay windows on the side of the three-story buildings should be provided as standard to enhance the side elevations. Furthermore, the bays should include one of the specialty siding treatments, either shake or board & batten style.

With regards to landscaping, **Mr. Hautzinger** stated that the existing site contains numerous trees that are proposed to be cleared to accommodate the proposed development. Through the Plan Commission review, the quality of the existing trees will be evaluated, and opportunities to preserve quality trees will be explored. Abundant new landscaping is proposed throughout the site. The petitioner has already responded to first round Staff landscape comments, and overall the landscaping plan is nicely designed.

The following suggestions should be considered to enhance the landscape design:

1. Consider adding some specialty paving at key areas, such as at the entry driveways.
 2. The proposed internal roadway lighting should be decorative to complement the architecture of the buildings.
- Mr. Hautzinger** stated that catalog cut sheets for lighting were received earlier today from the petitioner and will be

presented for discussion tonight.

With regards to signage, the proposed "Lexington Heritage" monument style sign is simple, but it is nicely designed and it will fit well with the character of the development. The size complies with code, but the proposed location at the northeast corner of the site is not allowed. The sign should be moved to the entry drive from Old Arlington Heights Road, and a second sign is recommended to be located at the entry drive from Country Lane.

Staff is recommending approval of the proposed architectural design, with all of the recommendations in the Staff report.

Commissioner Kubow asked how many building types are being proposed, and **Mr. Hautzinger** replied that there are 2 building types; a 2-story and a 3-story, which vary in length and number of units. **Commissioner Kubow** also asked about the drive aisle off Country Lane shown on the site plan but not on the grading plan, and **Mr. Hautzinger** explained that the drive aisle is for emergency Fire Department access only. **Mr. Cox** added that the drive aisle will be paved and gated in some way. **Chair Eckhardt** asked about the detention area shown in the middle of the site, and **Mr. Krogstad** replied it is an open area for underground vaulted detention.

Mr. Cox stated that Staff did an excellent job presenting the project, and they have no objections to the recommendations in the Staff report. He clarified that there are 4 different unit types to create pleasing architecture and 4 different sidings, with 2 different exposures of the horizontal siding to create additional break-up of the facade. He welcomed any questions the commissioners had. **Mr. Hautzinger** asked for clarification on the location of the different exposures of horizontal siding, and the petitioner explained that the smaller exposure siding will be located up in the gables.

Commissioner Kubow said that his only issue was that there should be more differentiation in the material and color combinations being proposed. He felt that proposing 4 different building types presented an opportunity to go with more than 2 color options; there has to be a little more differentiation between each of the buildings. **Chair Eckhardt** asked the petitioner to clarify the color schemes for each building. **Mr. Benach** replied that they are trying to create a thematic thread throughout the site by using different brick and siding in the same color family, as well as vary the different exposures of the siding; however, he was cautious about using too many color palettes, similar to their Lexington Park project in Des Plaines, which he did not want to repeat. His inclination would be to alternate the proposed color options by building. **Chair Eckhardt** said that he was more interested in the buildings that face each other; will the buildings match or be different in color scheme? **Mr. Benach** preferred that the buildings that face each other be different colors, with colors alternated, instead of grouping the colors.

Commissioner Kubow had no further comments.

Commissioner Fitzgerald liked the proposed landscape plan as well as the plant selections, which will do well in this environment. Although the 2 siding colors shown in the rendering were nice, he felt that in reality the colors were very close, and he was not opposed to seeing a little more separation and a little more definition between the 2 colors. He was okay with the shutters and front doors being the same color, and he was not opposed to the garage doors being the same color as well, or at a minimum the color of the siding. He felt that Staff could approve each building color, and he agreed that signage for the development should meet code. Adding specialty paving was a good suggestion, and he agreed with Staff's suggestion that the bay windows on the side of the 3-story buildings be standard. **Commissioner Fitzgerald** reiterated that he liked the separation of siding colors shown in the renderings; however, based on the actual samples provided, they were too close, and the garage doors were too bright and too much of a focal point and should be toned down.

Commissioner Kingsley agreed with Commissioner Fitzgerald's comments about the closeness of the 2 siding colors, and the suggestion to change the color of the garage doors to either the front door color or the siding color. She questioned whether each of the siding colors could be used together on the top and bottom areas of the

buildings. She also liked the cream color of the trim shown in the renderings, as opposed to the white color of the sample, and she agreed with Staff's comment to consider adding specialty paving at the entry driveways. Although she was okay with Staff reviewing the final colors for each building, she suggested Buildings 1 & 3 be the same color, and Building 2 be a different color; she felt this made sense and would create a more harmonious environment. She asked what material the driveways will be, and the petitioner responded that they will be black asphalt.

Commissioner Fasolo felt the brick color shown in the renderings looked much better than the samples provided. He felt that a mix of color Scheme 1 and Scheme 2 should be considered with every other unit having a different color scheme on each building, instead of each building being a different color. This would be a solution to having buildings opposite each other with the same colors, as well as break up the monotony of the larger elevations with all the same color. He also felt that the brick colors were too similar and needed more contrast, and the siding colors were too similar as well. He agreed with Staff's recommendation to make the bay windows on the side elevations standard, and to vary the style of the garage door and match the color to the siding. He agreed that ground signage should meet code and be located at the entries, and specialty paving should be added at the entry driveways. He asked if a fence was being proposed around the site and **Mr. Krogstad** replied that a solid wood fence is located along the south and west property line, and some of the existing trees located near the fence would be saved. He added that in going through the Plan Commission process, a revision was made this morning to Building 1, which is that 1 of the 2 proposed retaining walls has been eliminated. **Commissioner Fasolo** also asked if any sustainable features are being proposed, and **Mr. Cox** replied that current energy codes were being met.

Chair Eckhardt supported the petitioner's idea of using 2 color schemes throughout the development, as well as Commissioner Kingsley's comments about using the same color scheme for Buildings 1 & 3, and Commissioner Fitzgerald's suggestion to tone down the color of the garage doors. He asked if the buildings have fire walls that go through the roofline and **Mr. Cox** replied that they do not. **Chair Eckhardt** also supported a mortar color to match the brick color, similar to what is shown in the rendering, and that the bay windows on the side elevations be standard. He could not see much of a difference between the 2 samples of bricks, as opposed to the brick colors shown in the rendering. The petitioner agreed and stated that the brick samples show only a small amount of the overall brick color, and the rendering colors could be slightly off from printing. **Chair Eckhardt** was concerned that the proposed brick colors did not have enough contrast. **Commissioner Kingsley** commented that the 'dark' brick color did not look dark enough and appeared to have a white wash on it; and the 'red' brick color has 2 inclusions, which usually means there will be some dark and some light brick that is not seen in the sample.

The petitioner presented an exhibit showing the proposed layout of the two color schemes for each of the buildings on the site, which the commissioners were not opposed to.

Chair Eckhardt asked the commissioners to comment on the issue of the brick colors. **Commissioner Fasolo** liked the brick colors on the small sample board, but he did not like the brick colors of the larger samples. He was in favor of brick colors similar to the small samples. **Commissioner Kubow** was less concerned about the brick and more concerned about the 2 siding colors that were too similar. **Commissioner Fitzgerald** was okay with the brick colors as proposed, and if the colors changed, he was okay with the change being approved by Staff. He agreed that the 2 siding colors were too similar; however, he was extremely intrigued with the suggestion to use both colors on one building as suggested by Commissioner Fasolo. **Commissioner Kingsley** liked the brick colors on the small sample board better than the large samples, and also felt that the 2 siding colors were too close. She preferred that there be 2 different siding colors on one facade, especially on the rear facades, and felt the garage doors should match the siding color. She also asked for clarification on the window color, and **Mr. Hautzinger** replied that the petitioner's material list indicates white windows; however, the rendering is showing a taupe color for the windows. **Commissioner Kingsley** liked the darker window color shown in the rendering, and strongly felt that the trim color should not be white.

Mr. Cox summarized that the commissioners want to see a mortar color that is complimentary to each brick color; more separation between the 2 field siding colors and an additional accent color for the siding; tone down the garage

door color by relating it to the field siding color; and make the bay windows standard on the sides of the 3-story buildings. He stated that they prefer not to mix the 2 color schemes within the same building, but they should stay with the 2 separate color schemes for the buildings to be applied as shown in the exhibit presented earlier. With regards to the window and trim color, it is their intent that the windows be very close in color to the trim color, which will be '30° White'. **Commissioner Kingsley** felt the white color was very bright, and **Chair Eckhardt** agreed that the bright white color did not look good with the rest of the colors.

Chair Eckhardt asked that the motion call attention to the following:

1. The bay windows on the side of the 3-story buildings be provided as a standard and not an option.
2. Add specialty paving at the key areas such as the entry driveways.
3. The commissioners support the 2 color schemes being proposed, with the layout presented tonight showing the color scheme for each building.
4. More separation between the 2 siding colors, to be reviewed by Staff.
5. Preference for the 2 brick colors shown in the renderings and not the actual samples.
6. A mortar color that is complimentary to each of the brick colors.
7. The commissioners support the 2 color schemes presented.
8. Garage doors to be a color to match the siding color, not a bright color such as white or cream.

Mr. Krogstad said that they considered specialty paving at the entrances; however, they are concerned about long term maintenance by the homeowners association, and prefer not to add the specialty paving.

Chair Eckhardt asked if there was any public comment on the project and there was no one present in the audience.

Mr. Hautzinger asked for clarification about the comment that one of the siding colors be used for all the horizontal siding, and the specialty siding patterns have a slightly darker siding color. The petitioner clarified that they do not want to mix color schemes on the same building; however, they were not opposed to adding a siding color that is complimentary to each of the 2 field siding colors (probably a darker color), for a total of 4 siding colors.

Commissioner Fitzgerald suggested using the 2 siding colors currently being proposed with the brick and then switching the highlighted colors, still staying with 2 siding colors. **Commissioner Kubow** felt this would help; however, he felt the rendering was not a true representation of the actual material palette, which is making the presentation and discussion difficult. **Chair Eckhardt** supported the idea of having 4 siding colors, and **Commissioners Kingsley and Fitzgerald** agreed.

A MOTION WAS MADE BY COMMISSIONER KINGSLEY, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGNS FOR THE *LEXINGTON HERITAGE TOWNHOME SUBDIVISION* LOCATED AT 3216-3240 N. OLD ARLINGTON HEIGHTS ROAD. THIS APPROVAL IS BASED ON THE ARCHITECTURAL PLANS RECEIVED 9/16/16, LANDSCAPE PLANS RECEIVED 9/27/16, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. **A REQUIREMENT THAT THERE BE 4 DIFFERENT SIDING COLORS, AND THE 2 DIFFERENT BASE FIELD COLORS BE REVISED TO HAVE SLIGHTLY MORE CONTRAST, AND IN THE SPECIALTY ACCENT SIDING FIELDS THERE WILL BE AN ACCENT SIDING COLOR.**
2. **A REQUIREMENT THAT THE GARAGE DOORS MATCH THE FIELD COLOR OF THE SIDING WITH THE COLOR SCHEME OF THAT BUILDING.**
3. **A RECOMMENDATION TO REVISE THE DESIGN OF THE GARAGE DOORS, TO BE REVIEWED BY STAFF.**

4. A REQUIREMENT THAT THE APPLICATIONS OF THE COLOR SCHEMES FOR EACH BUILDING BE CONSISTENT WITH THE LAYOUT EXHIBIT SUBMITTED TONIGHT.
5. A REQUIREMENT THAT THE BAY WINDOWS ON THE SIDES OF THE 3-STORY BUILDINGS BE STANDARD, AND THAT THE BAYS BE THE ACCENT SIDING COLOR.
6. A REQUIREMENT THAT THE DEVELOPMENT IDENTIFICATION SIGN BE REVISED TO COMPLY WITH CODE AND BE LOCATED AT THE END OF THE ENTRY DRIVE.
7. A REQUIREMENT THAT SPECIALTY PAVING BE ADDED AT THE ENTRY DRIVES.
8. A REQUIREMENT THAT THE MORTAR COLOR MATCH EACH OF THE BRICK COLORS.
9. A REQUIREMENT THAT THE WINDOWS MATCH THE TRIM COLOR AS CLOSELY AS POSSIBLE, WITH A RECOMMENDATION THAT IT NOT BE BRIGHT WHITE.
10. THAT THE INTERNAL ROADWAY LIGHTING BE SUBMITTED FOR REVIEW BEFORE APPROVAL.
11. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
12. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.

Mr. Benach explained why they felt the corner of the site was a more natural place for signage, including that Country Lane is not a through street. **Mr. Krogstad** added that the entry sign was originally proposed at the Old Arlington Heights Road entrance to the site; however, it felt awkward to be in the front yard of one of the units and conflicted with utilities. Locating signage at the corner of the site would help identify the development when coming from the north. **Mr. Hautzinger** stated that code allows a ground sign at each of the entry drives per street; it is not allowed at the corner as shown. **Chair Eckhardt** explained that sign variations are reviewed by the Design Commission. **Commissioner Kingsley** suggested changing the motion to include a recommendation that signage meet code, leaving it up to the petitioner to decide whether to seek a variation for Design Commission review and Village Board approval.

Chair Eckhardt said that he did not support a variation for the entry sign to be located at the corner as shown tonight and explained how it would set a precedent for similar developments where this has not been allowed. **Mr. Hautzinger** clarified that code did not require there to be 2 ground signs, and a hardship would need to be demonstrated as part of a sign variation request. **Mr. Benach** said that he was not opposed to code compliant ground signs.

The petitioner submitted cut sheets for the exterior lighting. **Commissioner Kingsley** stated that the lighting should be dark sky compliant, and she preferred a more modern fixture less detailed than proposed, to be reviewed by Staff. She also suggested changing the requirement to add specialty paving to a recommendation.

Commissioner Kubow agreed with Commissioner Kingsley's comments about the lighting. He also understood the petitioner's thoughts on going with a traditional paving instead of stamped concrete or a paver because of maintenance issues for the homeowners; he was okay with it being a recommendation. **Commissioner Fitzgerald** agreed with the comments about the lighting; however, he felt the specialty paving should be a requirement. **Commissioner Fasolo** agreed with the lighting comments as well, and felt that specialty paving at the entries should be requirement because if done correctly, it should not be a maintenance issue.

A MOTION WAS MADE BY COMMISSIONER KINGSLEY, SECONDED BY COMMISSIONER FITZGERALD, TO AMEND THE MOTION AS FOLLOWS:

13. A REQUIREMENT THAT THE INTERNAL ROADWAY LIGHTING BE DARK SKY COMPLIANT, WITH A RECOMMENDATION THAT THE LIGHT DESIGN BE MORE MODERN AND LESS TRADITIONAL, TO BE REVIEWED BY STAFF.

Staff reviewed the motion for clarification about the window and trim colors, and to confirm the requirements versus recommendations.

KINGSLEY, AYE; KUBOW, AYE; FASOLO, AYE; FITZGERALD, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 4. GENERAL MEETING

Staff reviewed the upcoming meeting schedule for October and November due to a number of holiday conflicts in these months. The commissioners agreed to meeting on November 15, instead of November 8, due to a conflict with Election Day on November 8. Also, due to the Thanksgiving holiday, it is possible that there may be only one meeting in November, depending on the amount of projects submitted, which Staff will confirm as that time gets closer.

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO ADJOURN THE MEETING AT 8:35 P.M. ALL WERE IN FAVOR. THE MOTION CARRIED.



Item: DC#16-106 - 1116 N. Douglas Ave. - SF/Teardown

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 1116 N. Douglas Avenue. This recommendation is subject to compliance with the architectural plans received on 9/9/16, and the following:

1. Extend the front porch to align with the face of the garage.
2. Return the stone base down the left side wall of the garage to the end of the one story garage wall.
3. Add a window in the left side wall of the garage.
4. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
5. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description	Type
Staff Report	Board or Commission Report
Supporting Documents & Drawings	Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 1116 N. Douglas Ave.
Project Address: 1116 N. Douglas Ave.
Prepared By: Steve Hautzinger

Date Prepared: October 18, 2016

PETITION INFORMATION:

DC Number: 16-106
Petitioner Name: Pam Moros
Petitioner Address: David Weekley Homes
1930 Thoreua Dr., Suite 160
Schaumburg, IL 60173
Meeting Date: October 25, 2016

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to demolish an existing single story residence with an attached one car garage to allow construction of a new two story residence with an attached, two car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of approximately 8,721 square feet and the proposed residence will have approximately 3,406 square feet. The proposed design does comply with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 25 feet Side: 6.1 feet Side: 6.1 feet Rear: 30 feet	Front: 25.83 feet Side: 6.75 feet Side: 6.75 feet Rear: 69.84 feet
Building Height	25 feet to the midpoint	23.7 feet to the midpoint
FAR	3,924 SF	3,406 SF
Building Lot Coverage	3,052 SF	2,174 SF
Impervious Surface Coverage Total	4,361 SF	2,763 SF

The existing neighborhood consists of primarily smaller scale single-story and one-and-a half-story homes with detached garages. However, there is a newer two-story home with an attached front loading garage directly north of the subject site which helps the proposed house fit in at this location. Overall, the front elevation is nicely designed with varying roof forms, abundant detailing, and a nice mix of materials. The single story roof elements help the scale of the house to fit in with the adjacent single story home, and the hipped main roof helps to keep the height of the side walls from being too tall.

Concerns with the design are:

1. The attached two car garage is prominent and it projects in front of the entry porch
2. The side and rear elevations lack the same level of detailing as the front elevation.

The following revisions are recommended to improve the design:

1. Reduce the prominence of the garage wall by extending the front porch to align with the face of the garage.
2. Continue the detailing from the front elevation onto the side of the garage by returning the stone base to the end of the one story garage wall.
3. Add a window in the left side wall of the garage.

RECOMMENDATION:

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 1116 N. Douglas Avenue. This recommendation is subject to compliance with the architectural plans received on 9/9/16, and the following:

1. Extend the front porch to align with the face of the garage.
2. Return the stone base down the left side wall of the garage to the end of the one story garage wall.
3. Add a window in the left side wall of the garage.
4. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
5. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

_____, October 18, 2016

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 16-106

1

SITE DEVELOPMENT PLAN

LEGEND:

- | | |
|--|----------------------------------|
| | SANITARY SEWER |
| | STORM SEWER |
| | COMBINED SEWER |
| | WATER MAIN |
| | FORCE MAIN |
| | UNDERDRAIN |
| | CABLE TV LINE |
| | ELECTRIC LINE |
| | FIBER OPTIC LINE |
| | GAS LINE |
| | TELEPHONE LINE |
| | OVERHEAD WIRE |
| | FENCE |
| | GUARDRAIL |
| | BUSH LINE |
| | TREE LINE |
| | RAILROAD |
| | MANHOLE (STIMH/SAMH) |
| | CATCH BASIN (CB) |
| | INLET (INL) |
| | VALVE VAULT (VV) |
| | VALVE BOX (VB) |
| | BUFFALO BOX (BB) |
| | FIRE HYDRANT (FH) |
| | AERIAL VALVE (AV) |
| | CLEANOUT (CO) |
| | GAS VALVE (GV) |
| | ELECTRIC MANHOLE (EMH) |
| | TELEPHONE MANHOLE (TMH) |
| | HANDHOLE (HH) |
| | TRAFFIC SIGNAL (TSB) |
| | TRAFFIC SIGNAL (TS) |
| | LIGHT (LHT) |
| | GROUND LIGHT (GLHT) |
| | POWER POLE (PP) |
| | CABLE PEDESTAL (PEDC) |
| | ELECTRIC PEDESTAL (PEDE) |
| | TELEPHONE PEDESTAL (PEDT) |
| | SIGN |
| | MAILBOX (MB) |
| | DECIDUOUS TREE (SIZE IN INCHES) |
| | CONIFEROUS TREE (SIZE IN INCHES) |
| | BUSH |
| | CONTOUR LINE |
| | SPOT ELEVATION |
| | PAVEMENT ELEVATION |
| | TOP OF CURB ELEVATION |
| | TOP OF DEPRESSED CURB ELEVATION |
| | WALL ELEVATION |
| | AIR CONDITIONER UNIT |
| | BOTTOM OF WALL |
| | BUILDING SETBACK LINE |
| | DUCTILE IRON PIPE |
| | FINISHED FLOOR |
| | GARAGE FLOOR |
| | GRADE AT FOUNDATION |
| | GAS METER |
| | INVERT |
| | MEASURED |
| | PUBLIC UTILITY EASEMENT |
| | POLYVINYL CHLORIDE PIPE |
| | RECORD |
| | REINFORCED CONCRETE PIPE |
| | RETAINING WALL |
| | SANITARY |
| | STORM |
| | TOP OF FOUNDATION |
| | TOP OF PIPE |
| | TOP OF WALL |
| | CONCRETE (CONC) |
| | GRAVEL |
| | HOT MIX ASPHALT (HMA) |
| | BUILDING |
| | BARRIER CURB |
| | B 6.12 CURB & GUTTER |
| | B 6.24 CURB & GUTTER |
| | DEPRESSED CURB |

PROPERTY DESCRIPTION:

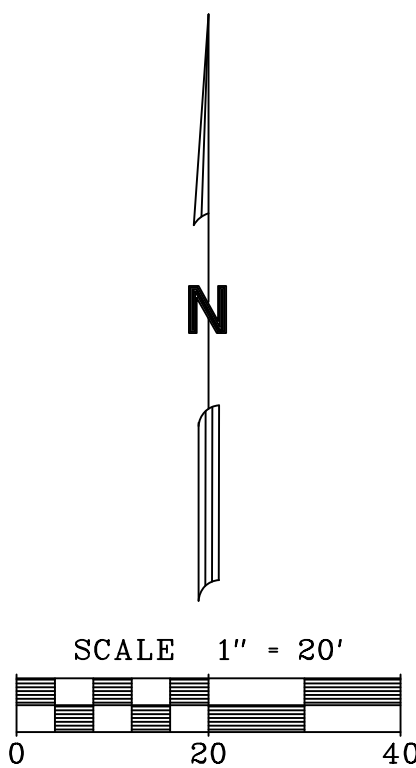
LOT 2 IN BLOCK 5 IN ARLINGTON GREENS UNIT NO. 2, BEING A SUBDIVISION OF LOT 34 IN ALLISON*S ADDITION TO ARLINGTON HEIGHTS, A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

AREA:

PROPERTY CONTAINS 8,721 SQUARE FEET OR 0.200 ACRES MORE OR LESS

P.I.N.:

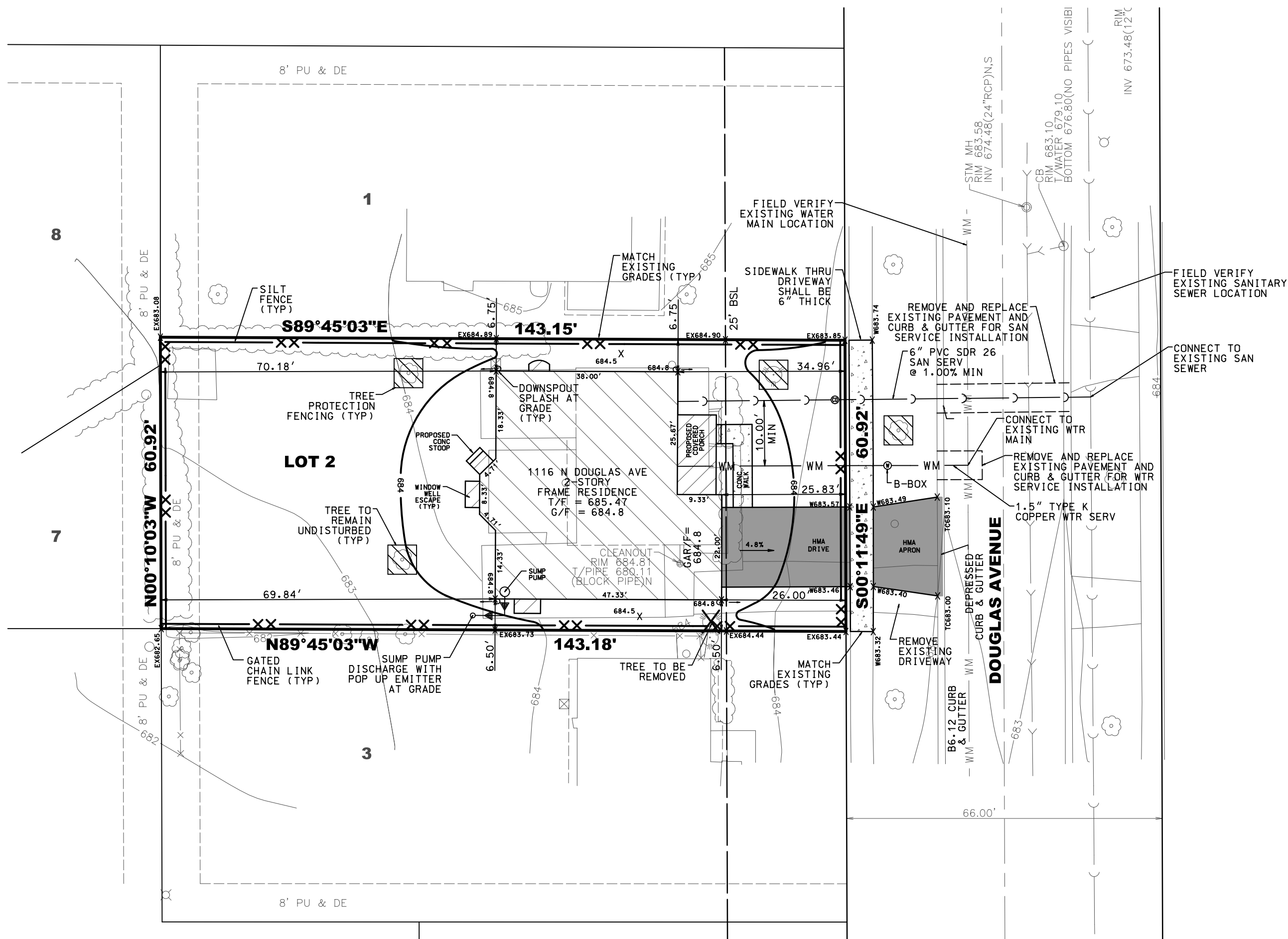
03-20-308-014-0000



DUMPSTER (6'X10' TYP) AND
PORTABLE TOILET TO BE
LOCATED ONSITE DURING
CONSTRUCTION ACTIVITIES

NO CONSTRUCTION ACTIVITIES, EQUIPMENT STORAGE OR CONSTRUCTION MATERIAL STORAGE SHALL OCCUR OUTSIDE OF THE CONSTRUCTION AREA OR WITHIN AREAS OF TREES TO REMAIN

OPEN STREET CUT REPAIR
FOR SERVICES SHALL BE
IN KIND WITH COMPACTED
TRENCH BACKFILL (TYP)

**UTILITY NOTES:**

1. A 1 1/2" TYPE "K" COPPER WATER SERVICE IS REQUIRED ALL THE WAY TO THE PROPOSED B-BOX. THE OLD SERVICE INCLUDING THE EXISTING B-BOX SHALL BE DISCONNECTED AT THE MAIN.
2. SANITARY SERVICE TO BE 6" PVC SD 26 AT 1.0% MINIMUM SLOPE. REUSE EXISTING SERVICE IF POSSIBLE.
3. A SANITARY SEWER CLEANOUT WITH TIGHTRIGT SCREW-DOWN CAP SHALL BE PROVIDED AT LEAST 10- FEET OUTSIDE THE FACE OF BUILDING FOUNDATION.
4. UNLESS IT CAN BE DEMONSTRATED THAT THE EXISTING SERVICE LINES HAVE SUFFICIENT CAPACITY, INTEGRITY, AND CONSTRUCTION TO MEET THE REASONABLE STANDARDS OF THE CITY, IT SHALL BE REMOVED AND DISCONNECTED AT THE MAIN/SEWER AND A NEW SERVICE SHALL BE INSTALLED.
5. ALL SANITARY SEWERS AND WATER MAIN WORK AND MATERIALS SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE STANDARD SPECIFICATION FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION.
6. ALL DOWNSPOUTS AND SUMP PUMP DISCHARGES SHALL SPLASH AT GRADE OR POP-UP.
7. ALL CUTTING, GRADING, AND ROADWAYS FOR UTILITY CONNECTIONS SHALL OCCUR WITHOUT AUTHORIZATION BY THE VILLAGE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

EROSION CONTROL NOTES:

1. SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON THE SITE.
2. VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO A GRAVEL DRIVE. SAID GRAVEL DRIVE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS ABOVE THE TOP OF FOUNDATION.
3. ANY SOIL, MUD OR DEBRIS THAT IS WASHED, TRACKED, OR DEPOSITED ONTO THE STREET SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
4. THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS NOT AT FINAL GRADE THAT WILL REMAIN UNDISTURBED FOR MORE THAN 15 DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION.
5. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.
6. STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.
7. WATER PUMPED OR OTHERWISE DISCHARGED FOR THE SITE DURING CONSTRUCTION Dewatering SHALL BE FILTERED.

BENCHMARKS:

SOURCE BENCHMARK VILLAGE OF ARLINGTON HEIGHTS MONUMENT 39):
3" DIA. ALUMINUM DISC IN GROUND +/ -54 FEET EAST OF THE
CENTERLINE OF ARLINGTON HEIGHTS ROAD AND +/ -47 FEET NORTH
OF THE CENTERLINE OF OLIVE STREET AT THE NORTHEAST CORNER
OF THE INTERSECTION.
ELEVATION = 703.13(NAVD 88 DATUM)

SITE BENCHMARK #1:
SOUTHEAST BOLT OF FRONT HYDRANT LOCATED ON THE EAST SIDE OF
THE STREET IN FRONT OF THE HOUSE AT 1113 N. DOUGLAS AVENUE.
ELEVATION = 685.93

SITE BENCHMARK #2:
CUT CROSS IN SIDE WALK ON THE WEST SIDE OF N. DOUGLAS
AVENUE APPROXIMATELY 45 FEET SOUTH OF SOUTH PROPERTY LINE.
ELEVATION = 683.17

GENERAL NOTES:

1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
2. ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISIONS ARE SHOWN HERE ON. REFER TO THE DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS.
3. COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT AND DISCREPANCIES TO THE SURVEYOR AT ONCE.
4. NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENTS.
5. CERTIFIED COPIES OF THIS SURVEY BEAR AN IMPRESSED SEAL.

SURVEYOR'S NOTES:

1. THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
2. BUILDING DIMENSIONS AND TIES SHOWN HEREON ARE MEASURED FROM THE OUTSIDE FACE OF CONCRETE FOUNDATION.
3. SURVEY IS BASED ON FIELD WORK COMPLETED 07/20/2016.
4. PROPERTY NOT MONUMENTED AT THIS TIME PER CLIENT'S REQUEST.

IMPERVIOUS TABLE:

LOT AREA = 8,721 SF

PROPOSED CONDITIONS:

HOME STRUCTURE =	2,097 SF
GARAGE STRUCTURE =	0 SF
PORCH/PATIO =	155 SF
DRIVEWAY =	432 SF
SIDEWALK =	79 SF

TOTAL = 2,763 SF
31.7%

DECREASE IN IMPERVIOUS AREA = 35 SF

EXISTING CONDITIONS:

HOME STRUCTURE =	1,936 SF
GARAGE STRUCTURE =	0 SF
PORCH/PATIO =	331 SF
DRIVEWAY =	315 SF
SIDEWALK/CONC. WALK =	216 SF

TOTAL = 2,798 SF
32.1%

DRAINAGE CERTIFICATION

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SAID IMPROVEMENTS OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREA, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS.

ENGINEER'S SIGNATURE

ENGINEER'S SEAL



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847)696-1400
www.mackieconsult.com

CLIENT:

David Weekley Homes

1930 THOREAU DRIVE
SUITE 160
SCHAUMBURG, IL 60173

			DESIGNED	KTK
			DRAWN	KTK
			APPROVED	KJM
			DATE	08/02/16
DATE	DESCRIPTION OF REVISION	BY	SCALE	1" = 20'

**SITE DEVELOPMENT PLAN
1116 N DOUGLAS AVENUE
ARLINGTON HEIGHTS, ILLINOIS**

SHEET

1 OF 2

PROJECT NUMBER:	3033
© MACKIE CONSULTANTS LLC, 2016	
ILLINOIS FIRM LICENSE 184-002694	

8/2/2016 10:12:53 AM 10:12:53 AM DP|PI|TS - 01 - Site Development Plan.dcf



1104 Douglas



1112 Douglas



1116 Douglas



1120 Douglas



1124 Douglas



1126 Douglas



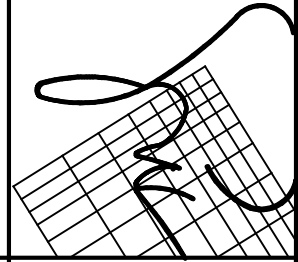
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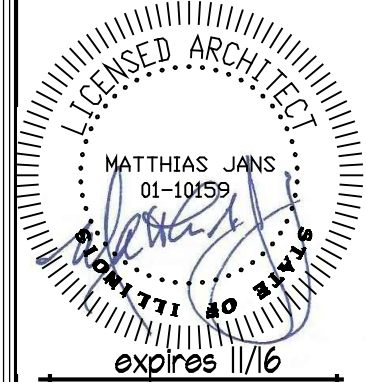
1109 Douglas



1113 Douglas



DAVID WEEKLEY HOMES - XXXX
1116 N. DOUGLAS AVENUE
ARLINGTON HEIGHTS, IL 60004



REVISION DATES
DATE 1

PROJ START
07/12/16

REC

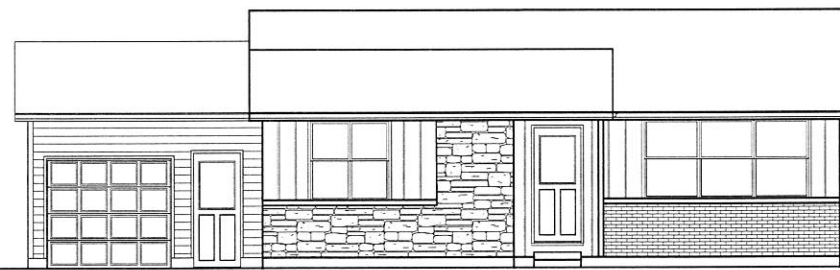
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560300xx

1

MATTHIAS JANS ARCHITECT
602 ACADEMY DR, NORTHBROOK, IL 60062
VOICE (847) 344-5297 FAX (224) 328-2488
mj@matthiasjans.com



1112 DOUGLAS



1116 DOUGLAS - existing



1120 DOUGLAS



1112 DOUGLAS



1116 DOUGLAS - proposed



1120 DOUGLAS

5'-10 3/8"

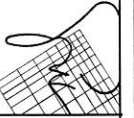
6'-6"

6'-4"

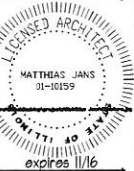
4'-11 5/8"

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602 ACADEMY DR, NORTHBROOK, IL 60062
VOICE (847) 344-5297 FAX (224) 326-2483
m@matthiasjans.com



DAVID WEEKLEY HOMES - 4754Z
1116 N. DOUGLAS AVENUE
ARLINGTON HEIGHTS, IL 60004

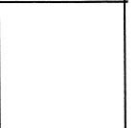


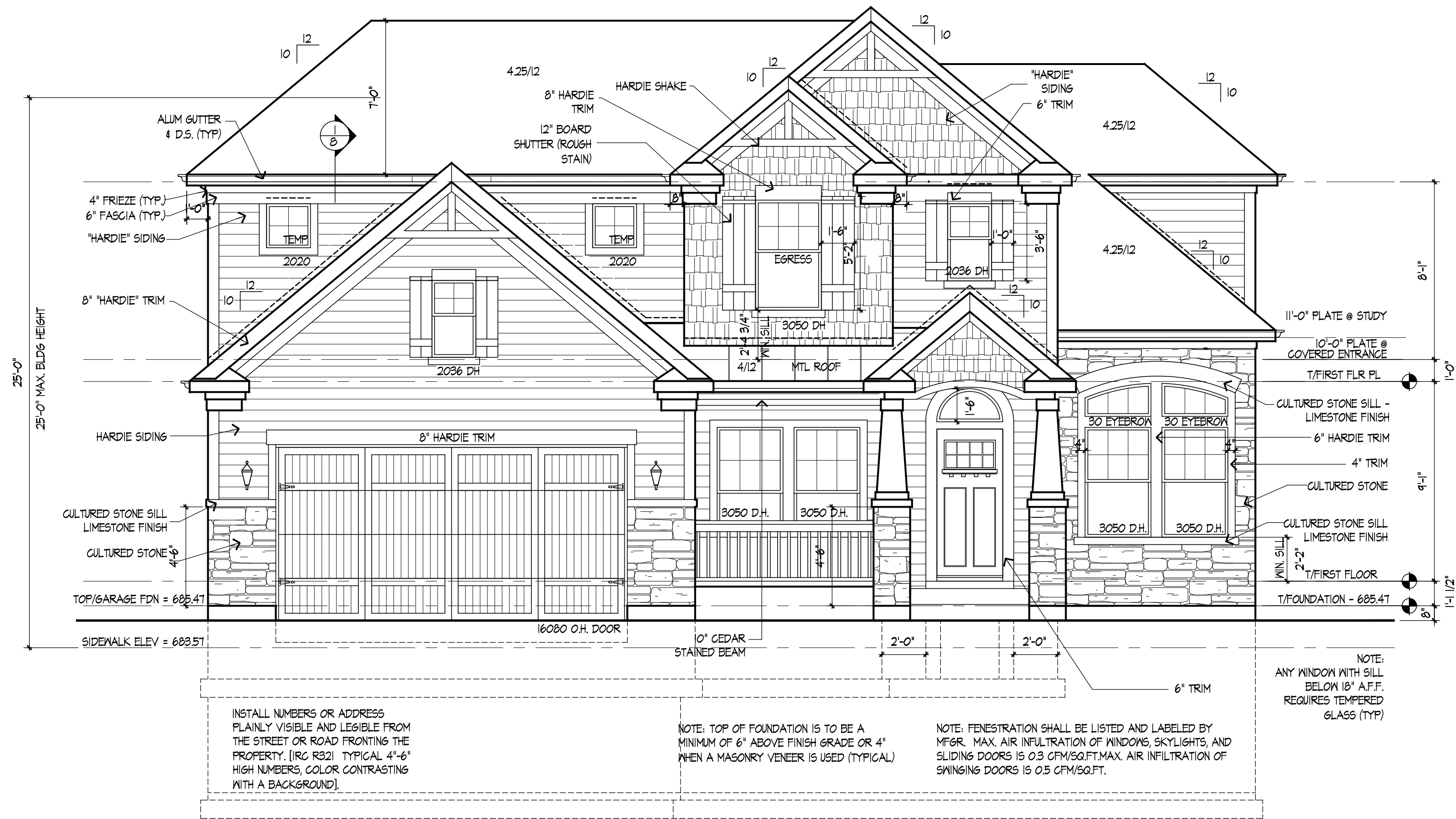
REVISION DATES
DATE 1

PROJ START
07/12/16

REC

JOB #
560300xx

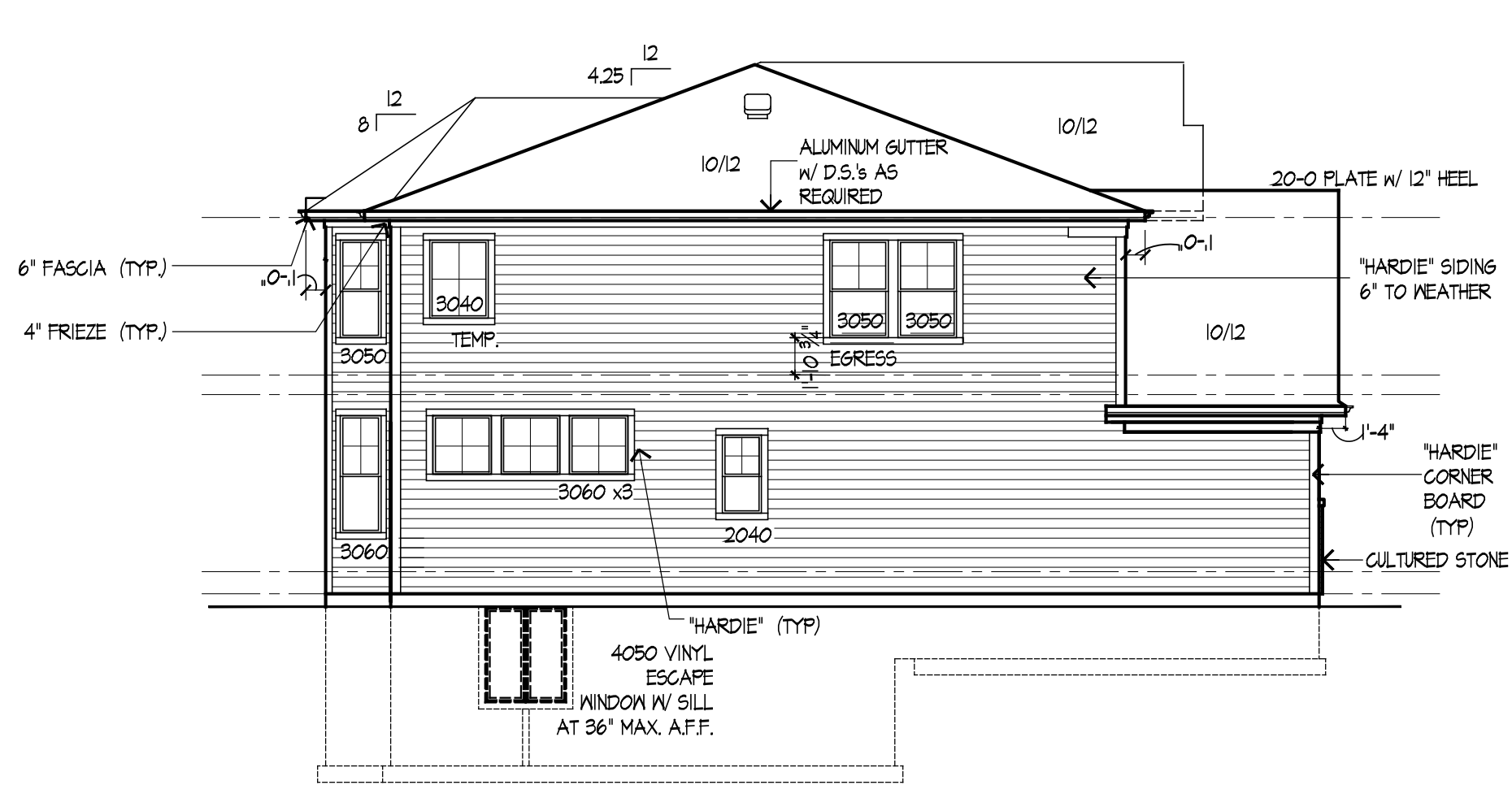




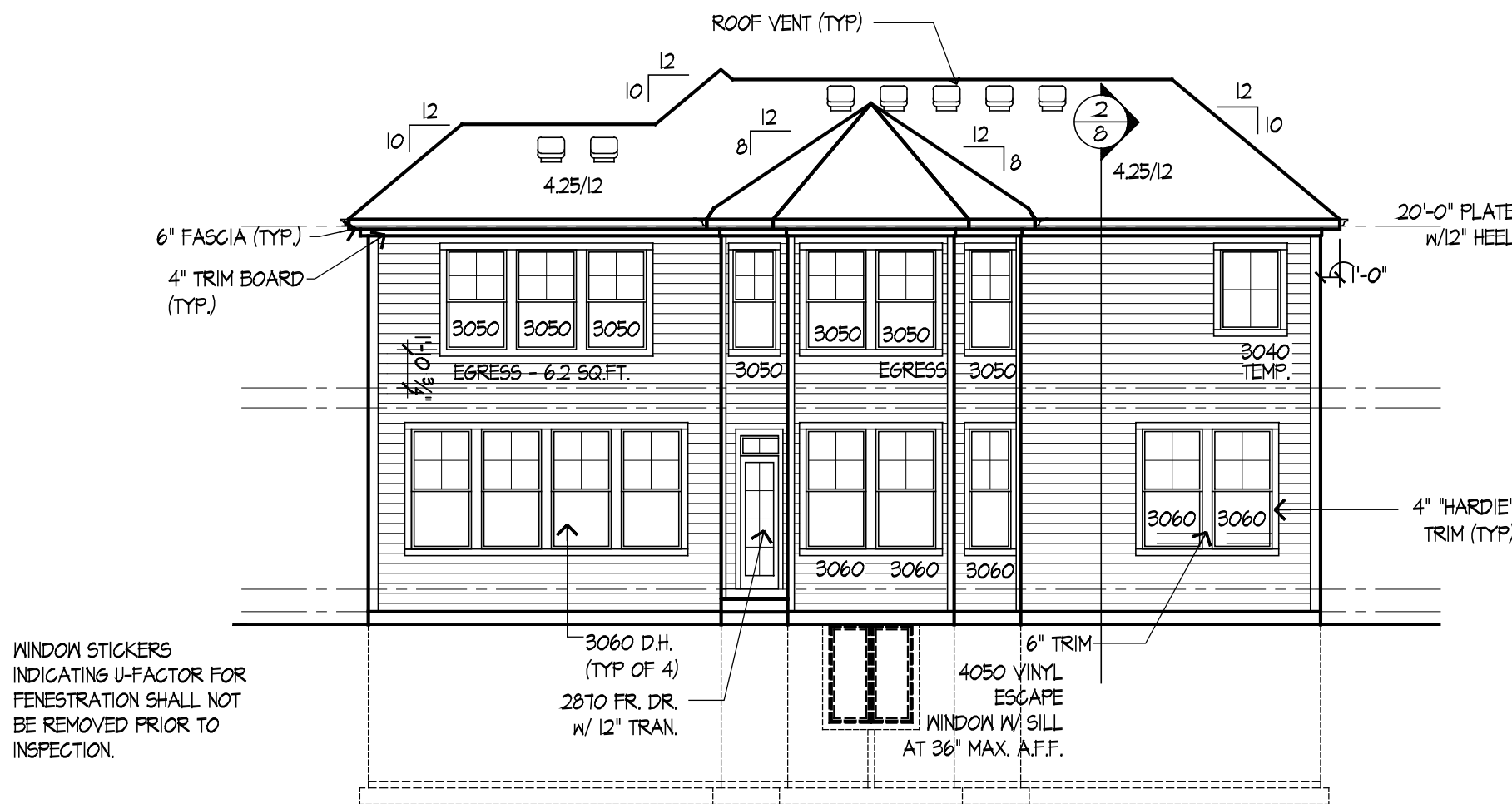
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

STANDARD ELEVATION NOTES

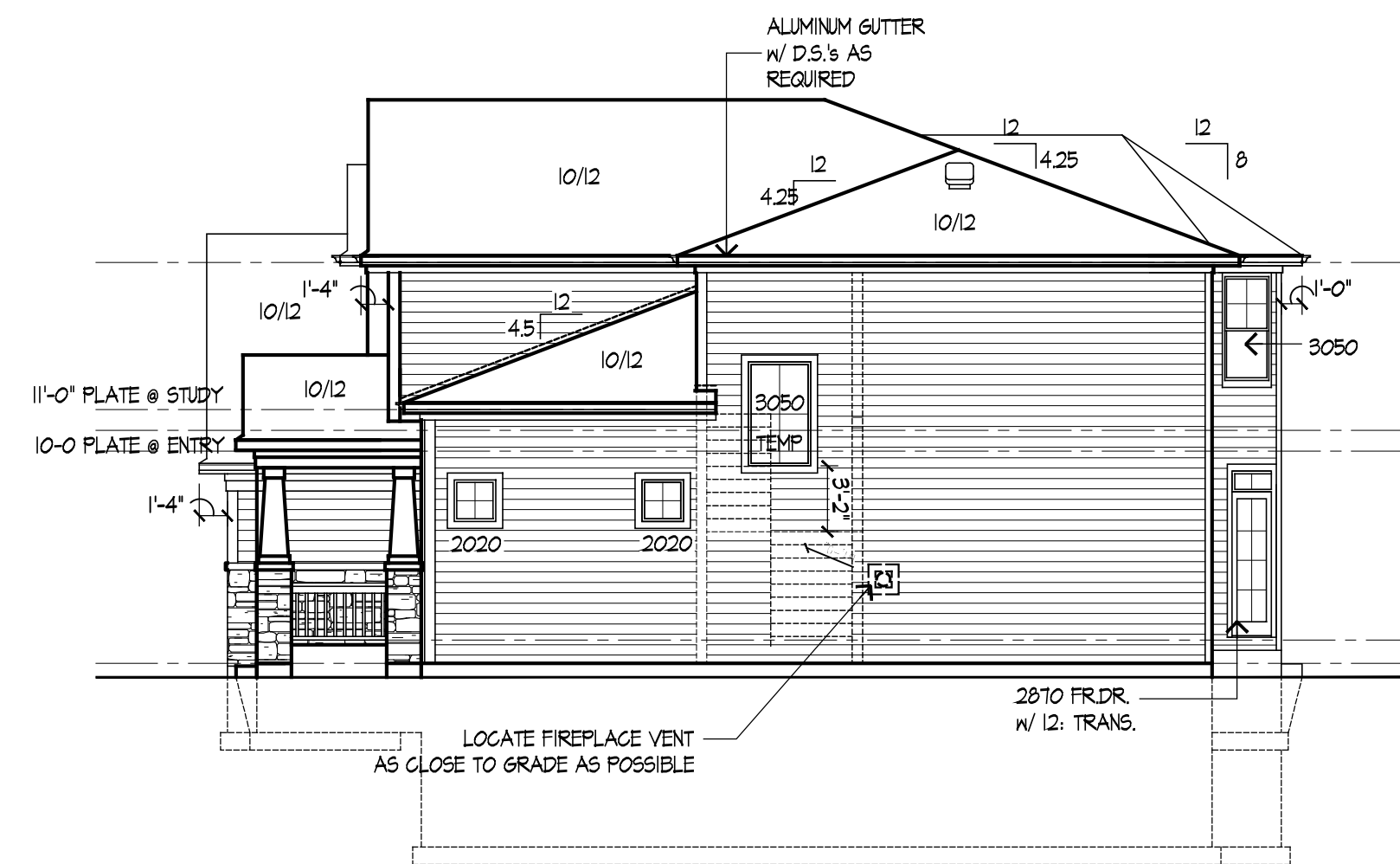
- 30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES
 - ALUMINUM GUTTERS AND DOWNSPOUTS OVER ALUMINUM FASCIA.
 - 'HARDIE' SOFFIT W/ INTERSAL VENT.
 - SHEET METAL FLASHING OVER WINDOWS, DOORS AND WOOD TRIM.
 - SHEET METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS.
 - 1x2 EDGE BOARD OVER 1x8 RAKE BOARD
 - ALL RAKE AND OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED
- INDICATES STONE VENEER
- INDICATES HARDIE SIDING
- HIDDEN GALVANIZED METAL FLASHING
- NOTE: ALL WINDOW SIZES ARE 'SILVERLINE' VINYL DOUBLE HUNG - OR AN APPROVED EQUAL
- ROOF SHINGLES SHALL HAVE A MINIMUM RATINGS OF CLASS 'C' OR BETTER



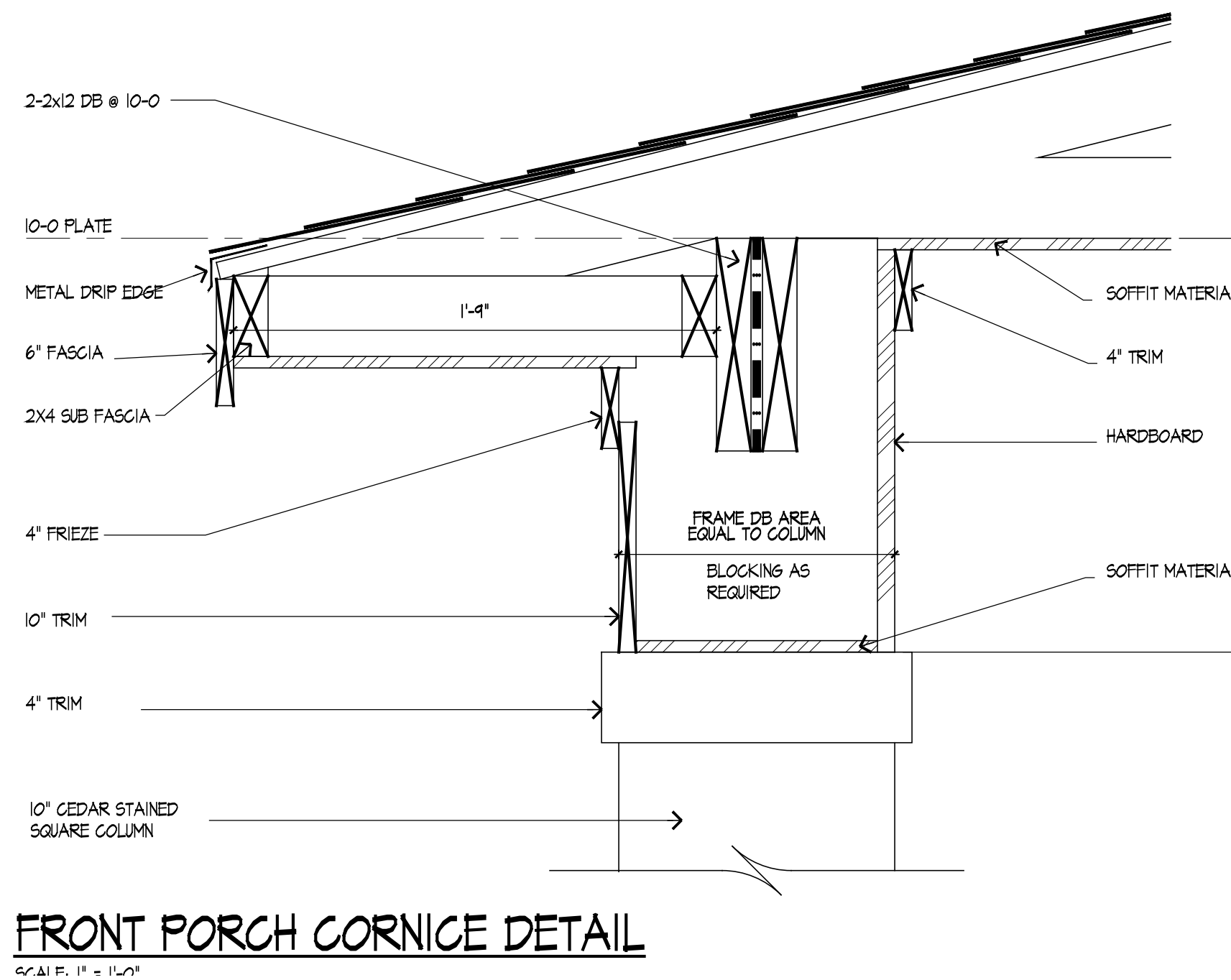
LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



REAR SIDE ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



FRONT PORCH CORNICE DETAIL
SCALE: 1" = 1'-0"

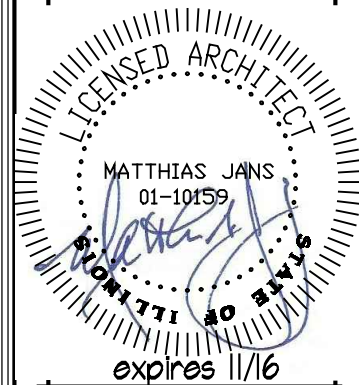
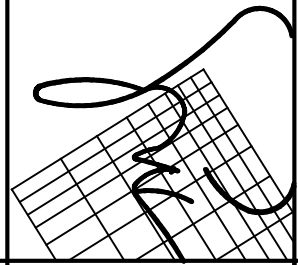
ELEVATION NOTES:

- DO NOT SCALE DRAWINGS
 - PROVIDE SPLASH BLOCKS AT ALL DOWN SPOUTS DISCHARGING AT GRADE. (NOT TO DISCHARGE ACROSS WALKWAY)
 - PROVIDE DRIP CAPS AT ALL WINDOWS AND DOORS
 - ALL ROOF SADDLES TO BE SHEATHED W/ BUILDING PAPER AND SHINGLES.
 - REFER TO FLOOR PLANS FOR DOOR SIZES
 - WINDOW SIZES ARE AS PER ELEVATIONS. WINDOW MFR TO VERIFY ALL BEDROOMS HAVE EGRESS WINDOW
 - ROOF VENTS TO BE SCREENED AND BALANCED INTAKE AND EXHAUST.
 - PROVIDE 'Z' FLASHING ALONG ALL HORIZONTAL TRIM
 - PROVIDE GALV. METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS.
 - FIREPLACE FLUE TO BE MIN. 2'-0" ABOVE ANY ROOF SURFACE WITHIN 10'-0" HORIZONTALLY, MIN. 3'-0" PENETRATION ABOVE ROOF.
 - SAFETY GLAZING AT BATHUB/SHOWER SILL HEIGHTS BELOW 18", EXT. DOORS AND WINDOWS W/ IN 24" OF DOOR (AS PER GOVERNING CODES)
- EXTERIOR FINISH MATERIALS:
- TYPICAL ROOFING WILL BE ARCHITECTURAL GRADE 35 YEAR ASPHALT SHINGLES
 - TYPICAL - ALUMINUM GUTTERS W/ DOWN SPOUTS OVER 1x8 FASCIA AND WITH 1x10 FRIEZE BOARD TYPICAL OTHERWISE NOTED.
 - 1x2 ON 1x8 RAKE BOARD TYPICAL
 - TYPICAL SIDING - 'HARDIE' W/ 6" EXPOSED
 - TYPICAL TRIM - 'HARDIE'
 - ALL EVE AND RAKE OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED.

ADDRESS INFORMATION:
THE ADDRESS NUMBERS SHALL BE AT LEAST 6 INCHES HEIGHT AND SHALL BE LOCATED ON OR OVER THE PRIMARY ENTRANCE TO THE DWELLINGS.

DOWNSPOUTS SHALL BE DIRECTED TO DISCHARGE TO THE FRONT OR REAR OF THE PROPERTY, NOT THE SIDEYARDS.

LIGHT & VENTILATION SCHEDULE							
ROOM NAME	AREA	LIGHT		VENT		MECH CFM	
		REQ.	ACT.	REQ.	ACT.	REQ.	ACT.
BASEMENT	1430 S.F.	28.6	32.3	28.6	25.1	--	--
STUDY	120 S.F.	9.6	34.9	4.8	14.9	--	--
KITCHEN / BREAKFAST	458 S.F.	36.6	56.6	18.3	34.3	--	--
FAMILY ROOM	264 S.F.	21.1	51.9	10.5	24.8	--	--
POUNDER ROOM	24 S.F.	--	4.7	--	--	--	50 CFM
KEEPING	115 S.F.	9.2	54.3	4.8	31.7	--	--
DINING	126 S.F.	10.0	25.9	5.0	14.9	--	--
MASTER BATH	128 S.F.	--	16.1	--	--	--	200 CFM 50 CFM
OWNER'S SUITE	246 S.F.	19.6	42.0	9.8	24.3	--	--
LAUNDRY	52 S.F.	--	--	--	--	--	--
BEDROOM #2	225 S.F.	18.0	24.3	9.0	14.3	--	--
BEDROOM #3	141 S.F.	11.2	21.0	5.6	12.1	--	--
BEDROOM #4	191 S.F.	15.3	13.84	7.6	8.23	--	--
BATH #2	108 S.F.	--	--	--	--	--	100 CFM
BATH #3	34 S.F.	--	--	--	--	--	50 CFM



REVISION DATES
DATE

PROJ START
07/12/16

RBC

JOB #
560300xx

1116 N. Douglas material schedule

item	material	manufacturer	Color
Stone	Limestone	Buechel	Fond Du Lac Country Squire
Roof	Asphalt Shingles	GAF Natural shadow	Pewter Gray
Siding	Fiber Cement	James Hardie color Plus	Aged Pewter
Fascia/Trim	Cedar Strand Substrate	LP	Colormatch Hardie Arctic White
Gutters	Aluminum	ABC	White
Windows	vinyl	Silverline 3000	White
Garage door	Steel	Wayne Dalton 9100 series	White
Shutters	Painted Cedar	Sherwin Williams	SW7675 Sealskin



Item: DC#16-107 - 1225 N. Walnut Ave. - SF/Teardown

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 1225 N. Walnut Avenue. This recommendation is subject to compliance with the architectural plans received on 9/9/16, and the following:

1. Extend the front porch to align with the face of the garage.
2. Return the stone base down the left side wall of the garage to the end of the one story garage wall.
3. Add a window in the left side wall of the garage.
4. Add a continuous row of shrubs or stone base below the first floor line on the rear elevation, and wrap the shrubs or stone base around the side elevations
5. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
6. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description	Type
--------------------	-------------

Staff Report
Supporting Documents & Drawings

Board or Commission Report
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 1225 N. Walnut Ave.
Project Address: 1225 N. Walnut Ave.
Prepared By: Steve Hautzinger

Date Prepared: October 18, 2016

PETITION INFORMATION:

DC Number: 16-107
Petitioner Name: Pam Moros
Petitioner Address: David Weekley Homes
1930 Thoreua Dr., Suite 160
Schaumburg, IL 60173
Meeting Date: October 25, 2016

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to demolish an existing single story residence and a detached garage to allow construction of a new two story residence with an attached, two car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of approximately 7,927 square feet and the proposed residence will have approximately 3,406 square feet. The proposed design does comply with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 20 feet Side: 6 feet Side: 6 feet Rear: 30 feet	Front: 35 feet Side: 6.19 feet Side: 6.25 feet Rear: 49.5 feet
Building Height	25 feet to the midpoint	23.7 feet to the midpoint
FAR	3,567 SF	3,406 SF
Building Lot Coverage	2,774 SF	2,174 SF
Impervious Surface Coverage Total	3,964 SF	2,986 SF

The existing neighborhood consists of primarily smaller scale single-story homes with detached garages. However, there is one teardown and two second floor additions on this block. Overall, the front elevation is nicely designed with varying roof forms, abundant detailing, and a nice mix of materials. The single story roof elements help the scale of the house to fit in with the adjacent single story homes, and the hipped main roof helps to keep the height of the side walls from being too tall.

Concerns with the design are:

1. The attached two car garage is prominent and it projects in front of the entry porch
2. The side and rear elevations lack the same level of detailing as the front elevation.
3. Due to a sloping site, the rear elevation is quite tall.

The following revisions are recommended to improve the design:

1. Reduce the prominence of the garage wall by extending the front porch to align with the face of the garage.
2. Continue the detailing from the front elevation onto the side of the garage by returning the stone base to the end of the one story garage wall.
3. Add a window in the left side wall of the garage.
4. Reduce the visual height of the rear elevation by adding a continuous row of shrubs or a stone base below the first floor line to simulate a stone foundation wall. The shrubs or stone base should wrap around the side elevations.

RECOMMENDATION:

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 1225 N. Walnut Avenue. This recommendation is subject to compliance with the architectural plans received on 9/9/16, and the following:

1. Extend the front porch to align with the face of the garage.
2. Return the stone base down the left side wall of the garage to the end of the one story garage wall.
3. Add a window in the left side wall of the garage.
4. Add a continuous row of shrubs or stone base below the first floor line on the rear elevation, and wrap the shrubs or stone base around the side elevations
5. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
6. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

_____, October 18, 2016

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 16-107

DAVID WEEKLEY HOMES

PLAN 4759Z

1225 N. WALNUT AVENUE
ARLINGTON HEIGHTS, ILLINOIS 60004

ARCHITECT

MATTHIAS JANS ARCHITECT

847/344-5297

NOTE:
SOIL BEARING CAPACITY SHALL BE VERIFIED BY
AN ILLINOIS LICENSED SOILS ENGINEER AND A
COPY OF THE REPORT PROVIDED TO THE
INSPECTOR PRIOR TO POURING THE FOOTINGS.

DATE	PAGES REVISED
01/15/16	ISSUED FOR PERMIT
09/20/16	VILLAGE REVISIONS 

CODES

APPLICABLE BUILDING CODES

2009 INTERNATIONAL RESIDENTIAL CODE, AS AMENDED
2009 INTERNATIONAL MECHANICAL CODE, AS AMENDED
2009 INTERNATIONAL FIRE CODE, AS AMENDED
2000 NFPA 101 LIFE SAFETY CODE, AS AMENDED
2005 NATIONAL ELECTRIC CODE, AS AMENDED
2014 ILLINOIS STATE PLUMBING CODE, AS AMENDED
1997 ILLINOIS STATE ACCESSIBILITY CODE
2015 INTERNATIONAL ENERGY CODE, OR AS ADOPTED BY THE STATE OF ILLINOIS
2007 ASHRAE 90.1

OCCUPANCY

GROUP R3 - SINGLE FAMILY

EXTERIOR WALL/GLAZING PERCENTAGE

FRONT 828 SQ.FT./ 133 SQ.FT. = 16.0%
LEFT 740 SQ.FT./12.0 SQ.FT. = 12.4%
RIGHT 766 SQ.FT./23.0 SQ.FT. = 3.0%
REAR 919 SQ.FT./ 301 SQ.FT. = 32.7%
TOTAL 3253 SQ.FT./549 SQ.FT.= 16.8%

CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA

Ground Snow Load: 30 psf
Wind Speed: 90 mph -3 second gust
Seismic Category: B
Weathering: Severe
Frost Line Depth: 3'-6"
Winter Design temp: -4 F
Ice Barrier Underlayment Required: Yes
Air Freezing Index: 2000
Mean Annual temp: 50

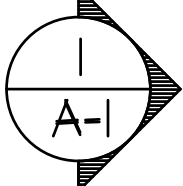
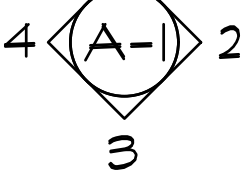
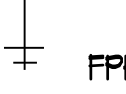
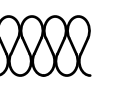
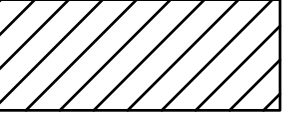
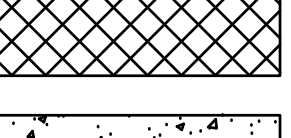
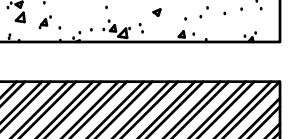
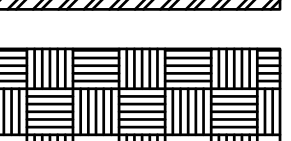
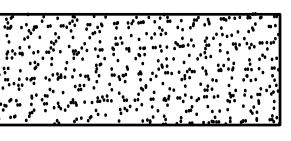
SHEET INDEX

- COVER SHEET
- ELEVATIONS / LIGHT & VENT SCHEDULE
- FOUNDATION PLAN
- 3A FINISHED BASEMENT PLAN
- FIRST FLOOR PLAN / SITE PLAN
- SECOND FLOOR PLAN / ROOF PLAN
- FIRST FLOOR ELECTRICAL PLAN
- SECOND FLOOR ELECTRICAL PLAN
- WALL SECTIONS
- DETAILS / RISER DIAGRAMS
- SPECIFICATIONS

ABBREVIATIONS

	ABOVE FINISH FLOOR	INS	INSULATED/ING
ADH	ADHESIVE	INT	INTERIOR
ADJSH.	ADJUSTABLE SHELF	JNT	JOINT
A/C	AIR CONDITIONING	JST	JOIST
ALT.	ALTERNATE	LAM PLAS	LAMINATED PLASTIC
L.	STEEL ANGLE	LL	LIVE LOAD
AWN.	AWNING	M OP6	MASONRY OPENING
BRK	BRICK	MC	MATERIAL
BM	BEAM	MC	MEDICINE CABINET
BRG.	BEARING	MTL	METAL
CSMT	CASEMENT	N.T.S.	NOT TO SCALE
CLG	CEILING	O.C.	ON CENTER
CL	CENTER LINE	OP6	OPENING
C	STEEL CHANNEL	O.H.	OVERHEAD
CLO	CLOSET	P4T	PLUGGED AND TOP SANDED
P4S	POLE AND SHELF	PC	PIECES
COL	COLUMN	PL	PLATE
CONC	CONCRETE	PLYND	PLYWOOD
CONST	CONSTRUCTION	P.S.F.	POUNDS PER SQUARE FOOT
C.J.	CONTROL JOINT	P.S.I.	POUNDS PER SQUARE INCH
CONT	CONTINUOUS	REINFC	REINFORCING/ED
CO	CASED OPENING	R	RISERS
CI	CAST IRON	RO	ROUGH OPENING
CRS	COURSES	RS	ROUGH SAWN
DL	DEAD LOAD	SH	SHELF
DTL	DETAIL	S.G.	SOLID CORE
DIA	DIAMETER	SHT. MTL.	SHEET METAL
DIM	DIMENSION	SIM	SIMILAR
DW	DISHWASHER	SGD	SLIDING GLASS DOOR
DH	DOUBLE HUNG	STD	STANDARD
DS	DOWNSPOUT	ST	STEEL
EA	EACH	TEMP	TEMPERED
EQ	EQUAL	THLD	THRESHOLD
EXP	EXPANSION	T&G	TONGUE AND GROOVE
EXT	EXTERIOR	T	TREADS
FIN	FINISHED	T/	TOP OF
FP	FIREPLACE	UC	UNDER CABINET
FL	FLOOR	WC	WATER CABINET
FD	FLOOR DRAIN	WH	WATER HEATER
FTG	FOOTING	WP	WEATHER PROOF
FDN	FOUNDATION	WS.	WEATHER STRIPPING
GALV	GALVANIZED	WF.	WIDE FLANGE
GL	GLASS	W	WITH
GYP. BD.	GYPSPUM BOARD	WD	WOOD
HST	HEIGHT	WI.	WROUGHT IRON
HM	HOLLOW METAL	WO.	WRAPPED OPENING
HC	HOLLOW CORE		

SYMBOLS

	DETAIL/SECTION MARK DETAIL NUMBER SHEET NUMBER
	DIRECTION OF DETAIL
	ELEVATION TAG SHEET NUMBER ELEVATION NUMBER
	FROST PROOF HOSE BIB
	FLOOR DRAIN
	DIMENSIONAL LUMBER
	BATT INSULATION
	LOAD BEARING STUD WALL
	BRICK (SECTION)
	DRYVIT/E.I.F.S. (SECTION)
	CONCRETE (SECTION)
	STEEL
	EARTH
	GRAVEL OR SAND FILL

DESIGN LOADS

Floor:	Live Load	40 PSF Minimum
	Dead Load	10 PSF Minimum
	Sleeping Room Live Load	30 PSF Minimum
Roof:	Live Load	30 PSF Minimum
Soil:	Bearing Capacity	3,000 PSF Minimum

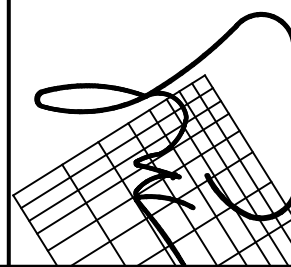
PLUMBING FIXTURE COUNT			
FIXTURE	# OF FIXTURE	# OF SUPPLY FIXTURE UNITS	TOTAL
WATER CLOSETS	5	5	15
LAVATORY	7	1	7
BATH TUBS	3	2	6
SHOWER STALL	2	2	4
KITCHEN SINK	1	2	2
LAUNDRY TRAY	-	1	-
DISHWASHER	1	1	1
LAUNDRY MACHINE	1	2	2
BILL COOK	2	5	10
TOTAL			47

N.S.F.U. = 47
MAIN WATER: 1 1/2" DIA.

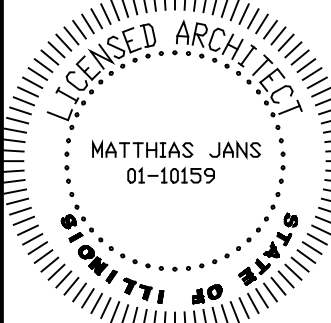
FLOOR JOIST SPANS - TABLE R502.3.(2) RESIDENTIAL LIVING AREAS (LIVE LOAD = 40 PSF)			
JOIST SPACING	SPECIES & GRADE	DEAD LOAD = 10 PSF	
12"	HEM-FIR #2	18'-10" MAX. SPAN	2x12
16"	HEM-FIR #2	15'-2" MAX. SPAN	20'-4" MAX. SPAN
16"	HEM-FIR #2	15'-2" MAX. SPAN	17'-7" MAX. SPAN
FLOOR JOIST SPANS - TABLE R502.3.(1) RESIDENTIAL SLEEPING AREAS (LIVE LOAD = 30 PSF)			
JOIST SPACING	SPECIES & GRADE	DEAD LOAD = 10 PSF	
12"	HEM-FIR #2	18'-6" MAX. SPAN	2x12
16"	HEM-FIR #2	16'-10" MAX. SPAN	19'-8" MAX. SPAN

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DAVID WEEKLEY HOMES - 4759Z
1225 N WALNUT AVENUE
ARLINGTON HEIGHTS, IL 60004



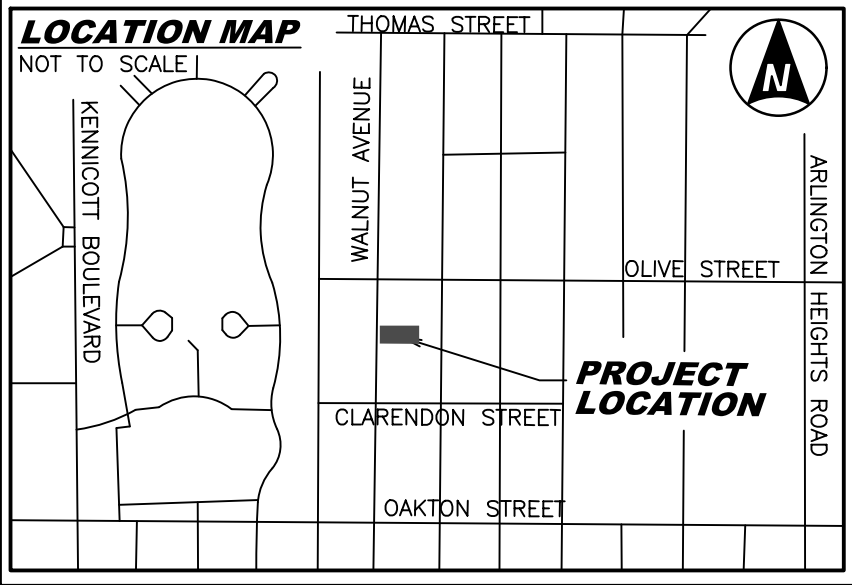
REVISION DATES	
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09/20/16	

PROJ START
07/12/16

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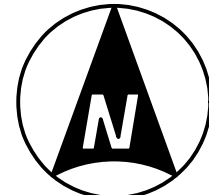
1



PLAT OF SURVEY

PROPERTY DESCRIPTION:

LOT 16 IN BLOCK 11 IN NORTHWEST HIGHLANDS SUBDIVISION OF THE EAST HALF OF THE SOUTHEAST QUARTER (EXCEPT THE TWO ACRES IN EXTREME SOUTHEAST CORNER) OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



20 10 0 20
SCALE: 1" = 20'

AREA:

PROPERTY CONTAINS
7,930 SQUARE FEET OR
0.182 ACRES MORE OR
LESS

P.I.N.:

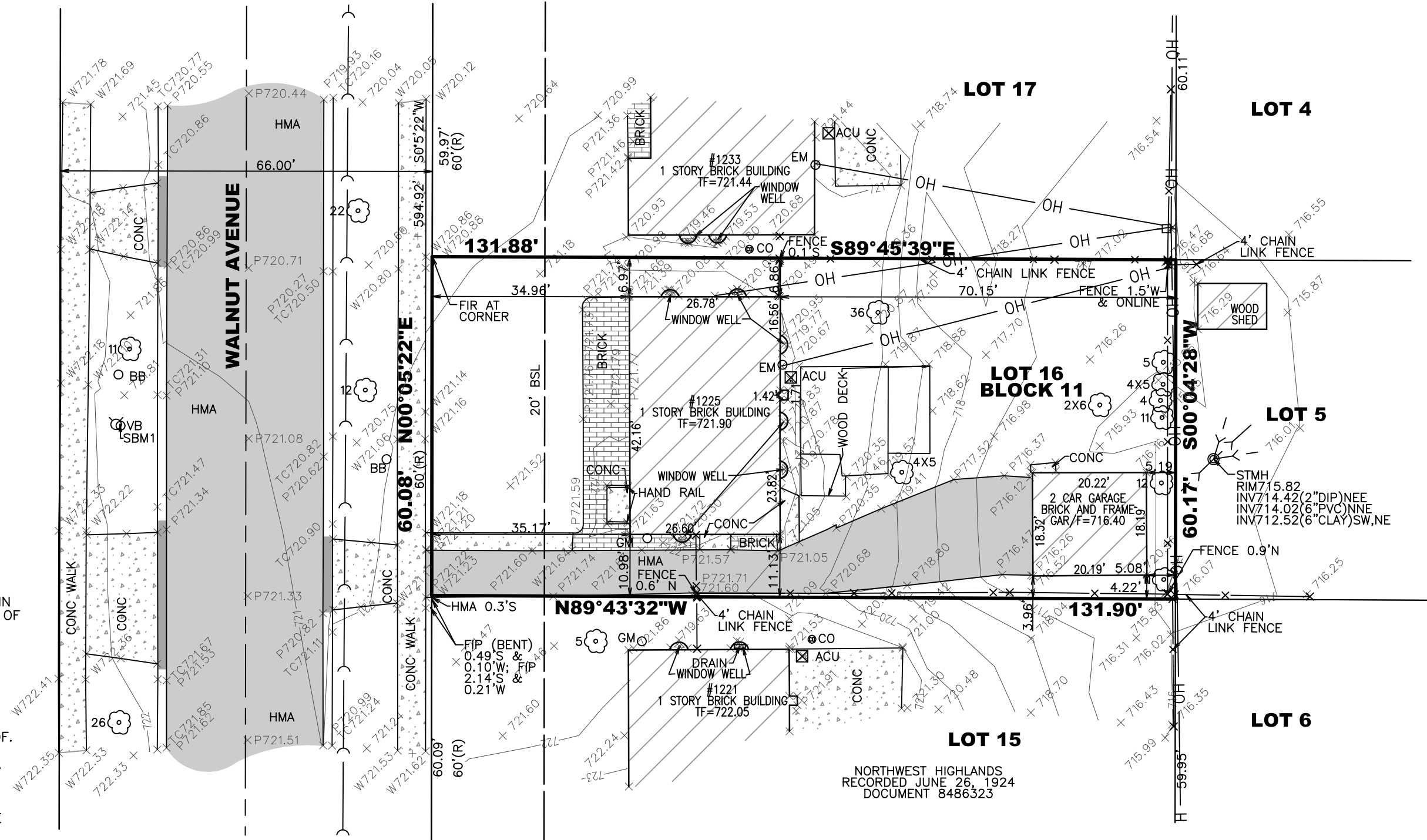
03-19-410-005-0000

LEGEND:

	BOUNDARY LINE
	BUILDING SETBACK LINE (BSL)
	EXISTING RIGHT-OF-WAY LINE
	EXISTING LOT LINE
	SANITARY SEWER
	STORM SEWER
	OVERHEAD WIRE
	FENCE
	MANHOLE (STMH/SAMH)
	DRAIN
	VALVE BOX (VB)
	BUFFALO BOX (BB)
	FIRE HYDRANT (FH)
	CLEANOUT (CO)
	METER (GM/EM)
	POWER POLE (PP)
	DECIDUOUS TREE (SIZE IN INCHES)
	CONTOUR LINE
	SPOT ELEVATION
	PAVEMENT ELEVATION
	TOP OF CURB ELEVATION
	WALK ELEVATION
	AIR CONDITIONER UNIT
	DUCTILE IRON PIPE
	ELECTRIC METER
	FOUND IRON ROD
	FOUND IRON PIPE
	GARAGE FLOOR
	GAS METER
	INVERT
	POLYVINYL CHLORIDE PIPE
	RECORD
	SITE BENCHMARK
	TOP OF FOUNDATION
	CONCRETE (CONC)
	BRICK
	HOT MIX ASPHALT (HMA)
	BUILDING
	DEPRESSED CURB

NOTES:

1. NO COMMITMENT FOR TITLE INSURANCE WAS SUPPLIED FOR USE IN THE PREPARATION OF THIS PLAT. THIS PLAT IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
2. BEARINGS BASED ON ILLINOIS EAST STATE PLANE COORDINATE SYSTEM.
3. BUILDING DIMENSIONS AND TIES SHOWN HEREON ARE MEASURED FROM THE OUTSIDE FACE OF CONCRETE FOUNDATION.
4. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
5. COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT ANY DISCREPANCIES TO THE SURVEYOR AT ONCE.
6. ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISIONS ARE SHOWN HERE ON. REFER TO THE DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS.
7. NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENTS.
8. CONTACT JULIE AT 1-800-892-0123 FOR EXACT LOCATION OF BURIED UTILITIES PRIOR TO DIGGING.
9. OBSERVABLE ABOVE GROUND UTILITIES AND ABOVE GROUND EVIDENCE OF UNDERGROUND UTILITIES LOCATED AND SHOWN HEREON.
10. PLAT IS BASED ON FIELD WORK COMPLETED ON 06-10-16.
11. CERTIFIED COPIES OF THIS SURVEY BEAR AN IMPRESSED SEAL.
12. PROPERTY NOT MONUMENTED AT THIS TIME PER CLIENT'S REQUEST.



BENCHMARKS:

SOURCE BENCHMARK: VILLAGE OF ARLINGTON HEIGHTS STATION KASPAR (4A). MONUMENT IS A 3 INCH DIAMETER BRASS SET IN CONCRETE 1 FOOT NORTH AND WEST OF A 5 FOOT CONCRETE WALK IN THE SOUTH WEST CORNER OF THE INTERSECTION OF OAKTON STREET AND KASPAR AVENUE.
ELEVATION = 719.17 (NAVD 1988)

SITE BENCHMARK #1: TAG BOLT OF FIRE HYDRANT ON THE WEST SIDE OF WALNUT AVENUE.
ELEVATION = 723.08

STATE OF ILLINOIS)
COUNTY OF COOK)

WE, MACKIE CONSULTANTS LLC, AN ILLINOIS PROFESSIONAL DESIGN FIRM NUMBER 184-002694, HEREBY CERTIFY THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT REPRESENTS THE CONDITIONS FOUND AT THE TIME OF SAID SURVEY.

GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____, 20__ IN ROSEMONT, ILLINOIS.

DALE A. GRAY
EMAIL: dgray@mackieconsult.com
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-003057
LICENSE EXPIRES: NOVEMBER 30, 2016

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

CLIENT:

DAVID WEEKLEY HOMES

1930 THOREAU DRIVE
SUITE 1260
SCHAUMBURG, ILLINOIS 60173
PH: 847-241-4163



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847)696-1400
www.mackieconsult.com

DESIGNED

DRAWN

APPROVED

DATE

SCALE

SMP

DAG

06-17-16

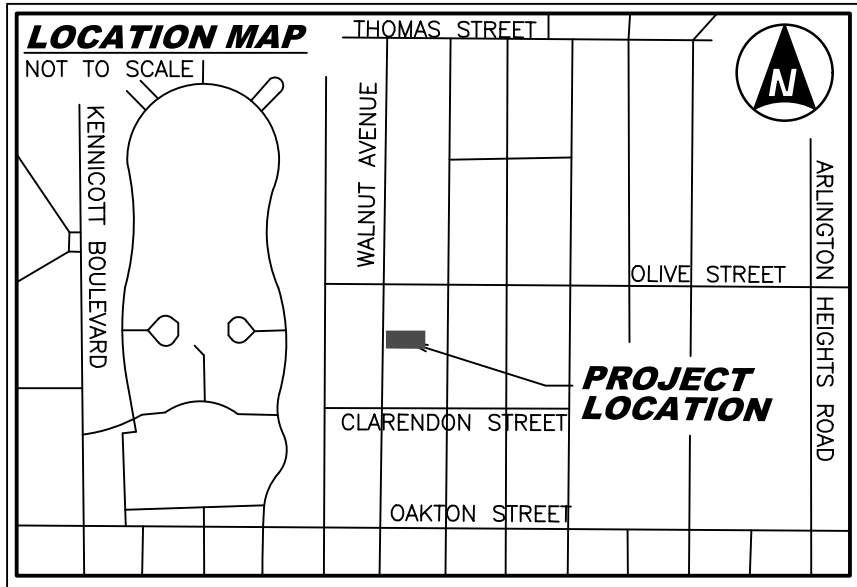
1" = 20'

PLAT OF SURVEY
1225 N. WALNUT AVENUE
ARLINGTON HEIGHTS, ILLINOIS

SHEET

1 OF **1**

PROJECT NUMBER: 2996
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ILLINOIS FIRM LICENSE 184-002694



SITE DEVELOPMENT PLAN

PROPERTY DESCRIPTION:

LOT 16 IN BLOCK 11 IN NORTHWEST HIGHLANDS SUBDIVISION OF THE EAST HALF OF THE SOUTHEAST QUARTER (EXCEPT THE TWO ACRES IN EXTREME SOUTHEAST CORNER) OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

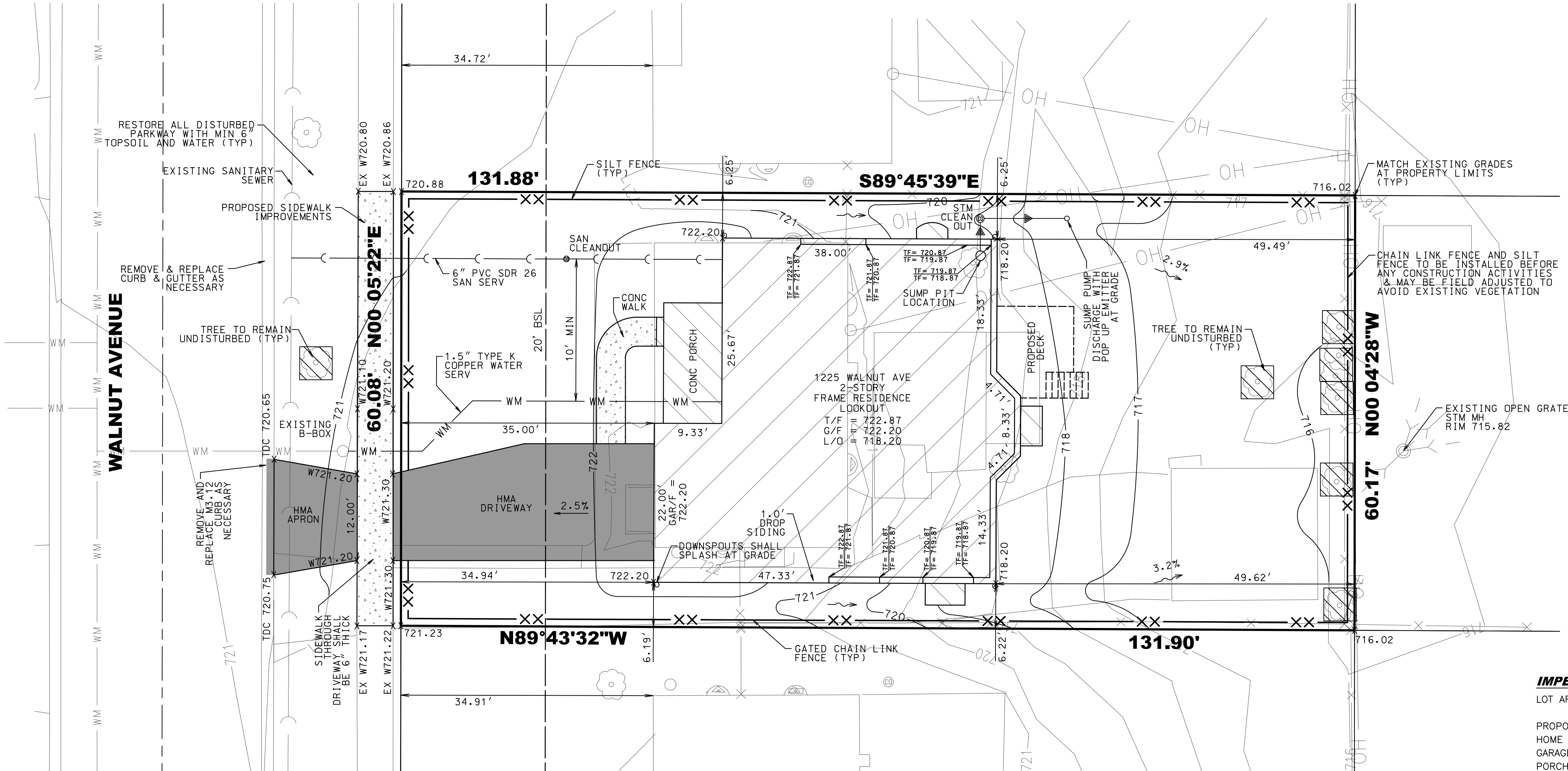
DUMPSTER (6'X10' TYP) AND PORTABLE TOILET TO BE LOCATED ONSITE DURING CONSTRUCTION ACTIVITIES

NO CONSTRUCTION ACTIVITIES, EQUIPMENT STORAGE OR CONSTRUCTION MATERIAL STORAGE SHALL OCCUR OUTSIDE OF THE CONSTRUCTION AREA OR WITHIN AREAS OF TREES TO REMAIN

BENCHMARKS:

SOURCE BENCHMARK: VILLAGE OF ARLINGTON HEIGHTS STATION KASPAR (4A). MONUMENT IS A 3 INCH DIAMETER BRASS SET IN CONCRETE 1 FOOT NORTH AND WEST OF A 5 FOOT CONCRETE WALK IN THE SOUTH WEST CORNER OF THE INTERSECTION OF OAKTON STREET AND KASPAR AVENUE.
ELEVATION = 719.17 (NAVD 1988)

SITE BENCHMARK #1: TAG BOLT OF FIRE HYDRANT ON THE EAST SIDE OF WALNUT AVENUE.
ELEVATION = 723.08



AREA:

PROPERTY CONTAINS
7,930 SQUARE FEET
OR 0.182 ACRES
MORE OR LESS

P.I.N.:

03-19-410-005-0000

LEGEND:

---	BOUNDARY LINE
---	BUILDING SETBACK LINE (BSL)
---	EXISTING RIGHT-OF-WAY LINE
---	EXISTING LOT LINE
---	SANITARY LINE
---	STORM SEWER
---	OVERHEAD WIRE
---	FENCE
---	MANHOLE (STMH/SAMH)
---	DRAIN
---	VALVE BOX (VB)
---	BUFFALO BOX (BB)
---	FIRE HYDRANT (FH)
---	CLEANOUT (CO)
---	METER (GM/EM)
---	POWER POLE (PP)
---	DECIDUOUS TREE (SIZE IN INCHES)
---	CONTOUR LINE
---	SPOT ELEVATION
---	PAVEMENT ELEVATION
---	TOP OF CURB ELEVATION
---	WALK ELEVATION
---	AIR CONDITIONER UNIT
---	DUCTILE IRON PIPE
---	ELECTRIC METER
---	FOUND IRON ROD
---	FOUND IRON PIPE
---	GARAGE FLOOR
---	GAS METER
---	INVERT
---	PVC
---	POLYVINYL CHLORIDE PIPE
---	RECORD
---	SBM
---	SITE BENCHMARK
---	TOP OF FOUNDATION
---	CONCRETE (CONC)
---	BRICK
---	HOT MIX ASPHALT (HMA)
---	BUILDING
---	DEPRESSED CURB

IMPERVIOUS TABLE:

LOT AREA = 7,930 SF

PROPOSED CONDITIONS:

HOME STRUCTURE = 2,097 SF
GARAGE STRUCTURE = 0 SF
PORCH/PATIO = 275 SF
DRIVEWAY = 533 SF
SIDEWALK/CONC. WALK = 81 SF

EXISTING CONDITIONS:

HOME STRUCTURE = 1,127 SF
GARAGE STRUCTURE = 367 SF
PORCH/DECK = 473 SF
DRIVEWAY = 1,110 SF
SIDEWALK/CONC. WALK = 506 SF

TOTAL = 2,986 SF

TOTAL = 3,583 SF

DECREASE IN IMPERVIOUS AREA = 597 SF

DRAINAGE CERTIFICATION

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SAID IMPROVEMENTS OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREA, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS.

ENGINEER'S SIGNATURE



SURVEYOR'S NOTES:

- NO COMMITMENT FOR TITLE INSURANCE WAS SUPPLIED FOR USE IN THE PREPARATION OF THIS PLAT. THIS PLAT IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
- BEARINGS BASED ON ILLINOIS EAST STATE PLANE COORDINATE SYSTEM.
- BUILDING DIMENSIONS AND TIES SHOWN HEREON ARE MEASURED FROM THE OUTSIDE FACE OF CONCRETE FOUNDATION.
- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
- COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT ANY DISCREPANCIES TO THE SURVEYOR AT ONCE.
- ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISIONS ARE SHOWN HERE ON. REFER TO THE DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS.
- NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENTS.
- CONTACT JULIE AT 1-800-892-0123 FOR EXACT LOCATION OF BURIED UTILITIES PRIOR TO DIGGING.
- OBSERVABLE ABOVE GROUND UTILITIES AND ABOVE GROUND EVIDENCE OF UNDERGROUND UTILITIES LOCATED AND SHOWN HEREON.
- PLAT IS BASED ON FIELD WORK COMPLETED ON 06-10-16.
- CERTIFIED COPIES OF THIS SURVEY BEAR AN IMPRESSED SEAL.
- PROPERTY NOT MONUMENTED AT THIS TIME PER CLIENT'S REQUEST.

UTILITY NOTES:

- A 1 1/2" TYPE "K" COPPER WATER SERVICE IS REQUIRED ALL THE WAY TO THE EXISTING B-BOX IF REUSE IS POSSIBLE. IF THE OLD SERVICE DOES NOT MEET REASONABLE STANDARDS OF THE VILLAGE OLD SERVICE INCLUDING THE EXISTING B-BOX SHALL BE DISCONNECTED AT THE MAIN AND A NEW SERVICE SHALL BE INSTALLED.
- SANITARY SERVICE TO BE 6" PVC SDR 26 AT 1.0% MINIMUM SLOPE. REUSE EXISTING SERVICE IF POSSIBLE.
- A SANITARY SEWER CLEANOUT WITH WATERTIGHT SCREW-DOWN CAP SHALL BE PROVIDED AT LEAST 10-FEET OUTSIDE THE FACE OF BUILDING FOUNDATION.
- UNLESS IT CAN BE DEMONSTRATED THAT THE EXISTING SERVICE LINE IS OF SUFFICIENT CAPACITY, INTEGRITY, AND CONSTRUCTION TO MEET THE REASONABLE STANDARDS OF THE VILLAGE, IT SHALL BE REMOVED AND DISCONNECTED AT THE MAIN/SEWER AND A NEW SERVICE SHALL BE INSTALLED.
- ALL SANITARY SEWER AND WATER MAIN WORK AND MATERIALS SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATION FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", CURRENT EDITION.
- ALL DOWNSPOUTS AND SUMP PUMP DISCHARGES SHALL SPLASH AT GRADE OR POP-UP.
- NO OPEN CUTTING OF ROADWAYS FOR UTILITY CONNECTIONS SHALL OCCUR WITHOUT AUTHORIZATION BY THE VILLAGE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

GENERAL NOTES:

- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
- ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISIONS ARE SHOWN HERE ON. REFER TO THE DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS.
- COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT ANY DISCREPANCIES TO THE SURVEYOR AT ONCE.
- NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENTS.
- CERTIFIED COPIES OF THIS SURVEY BEAR AN IMPRESSED SEAL.
- EXISTING WATER AND SANITARY SERVICES SHALL BE FIELD LOCATED AND PROPERLY REMOVED.
- INSTALL CHAIN LINK CONSTRUCTION FENCE, TREE PROTECTION FENCE AND EROSION CONTROL MEASURES PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- ALL TREE AND BRUSH REMOVAL TO BE DONE BY HAND WITH ALL STUMPS TO BE GROUND OUT, NOT BULDOZED.
- ALL DISTURBED AREAS TO BE RESTORED WITH MIN 6" TOPSOIL AND SOD OR PLANTED WITH APPROVED GROUND COVER WITHIN 30 DAYS OF SUBSTANTIAL COMPLETION OF STRUCTURE EXTERIOR.
- DOWNSPOUT SHALL BE DIRECTED TO THE FRONT OR REAR YARDS AS APPLICABLE

EROSION CONTROL NOTES:

- SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON THE SITE.
- VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO A GRAVEL DRIVE. SAID GRAVEL DRIVE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS ABOVE THE TOP OF FOUNDATION.
- ANY SOIL, MUD OR DEBRIS THAT IS WASHED, TRACKED, OR DEPOSITED ONTO THE STREET SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
- THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS NOT AT FINAL GRADE THAT WILL REMAIN UNDISTURBED FOR MORE THAN 15 DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION.
- IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.
- STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.
- WATER PUMPED OR OTHERWISE DISCHARGED FOR THE SITE DURING CONSTRUCTION DEWATERING SHALL BE FILTERED.



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847)696-1400
www.mackieconsult.com

CLIENT:

David Weekley Homes
1930 THOREAU DRIVE
SUITE 160
SCHAUMBURG, IL 60137

DESIGNED	MSR
DRAWN	KTK
APPROVED	KJM
DATE	07/28/16
SCALE	1"=10'
08/10/16	REVISED PER CLIENT
DATE	DESCRIPTION OF REVISION

SITE DEVELOPMENT PLAN
1225 N. WALNUT AVENUE
ARLINGTON HEIGHTS, ILLINOIS

SHEET

1 OF **2**

PROJECT NUMBER: 2996
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ILLINOIS FIRM LICENSE 184-002694



1241



1237



1231



1225



1221



1215



1211



1222



1226



1232

 **FILE**

RECEIVED
SEP 09 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

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MATTHIAS JANS ARCHITECT
602 ACADEMY DR, NORTHBROOK, IL 60062
VOICE (847) 344-5297 FAX (224) 326-2483
mj@matthiasjans.com



DAVID WEEKLEY HOMES - XXXX
1225 N WALNUT AVENUE
ARLINGTON HEIGHTS, IL 60004



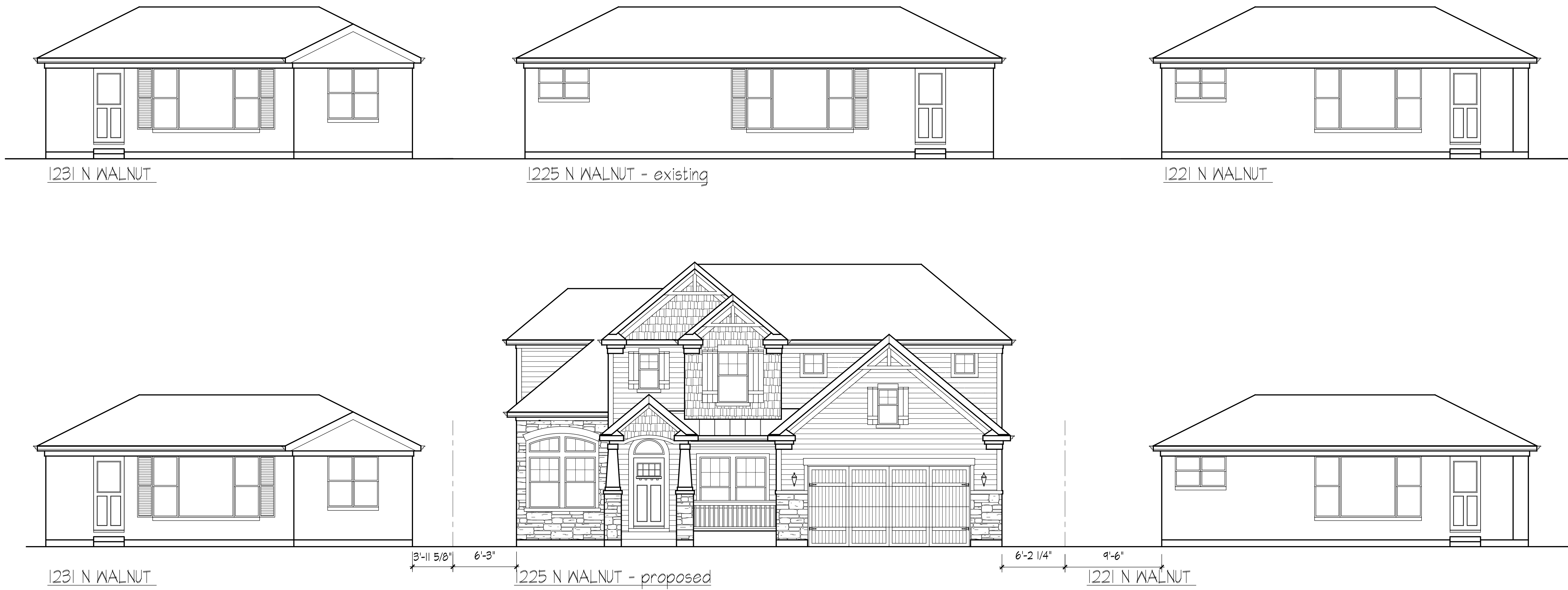
REVISION DATES
DATE 1

PROJ START
07/12/16

RBC

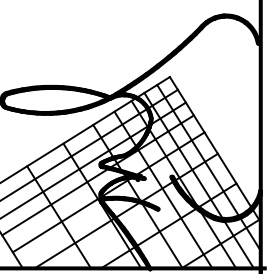
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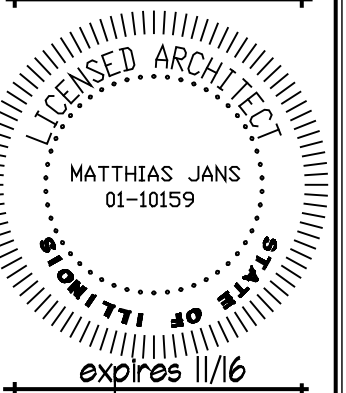


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DAVID WEEKLEY HOMES - 4159Z
1225 N WALNUT AVENUE
ARLINGTON HEIGHTS, IL 60004

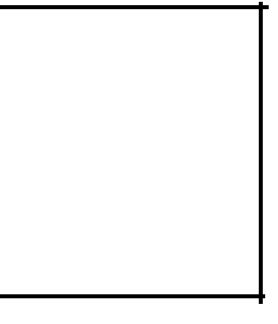


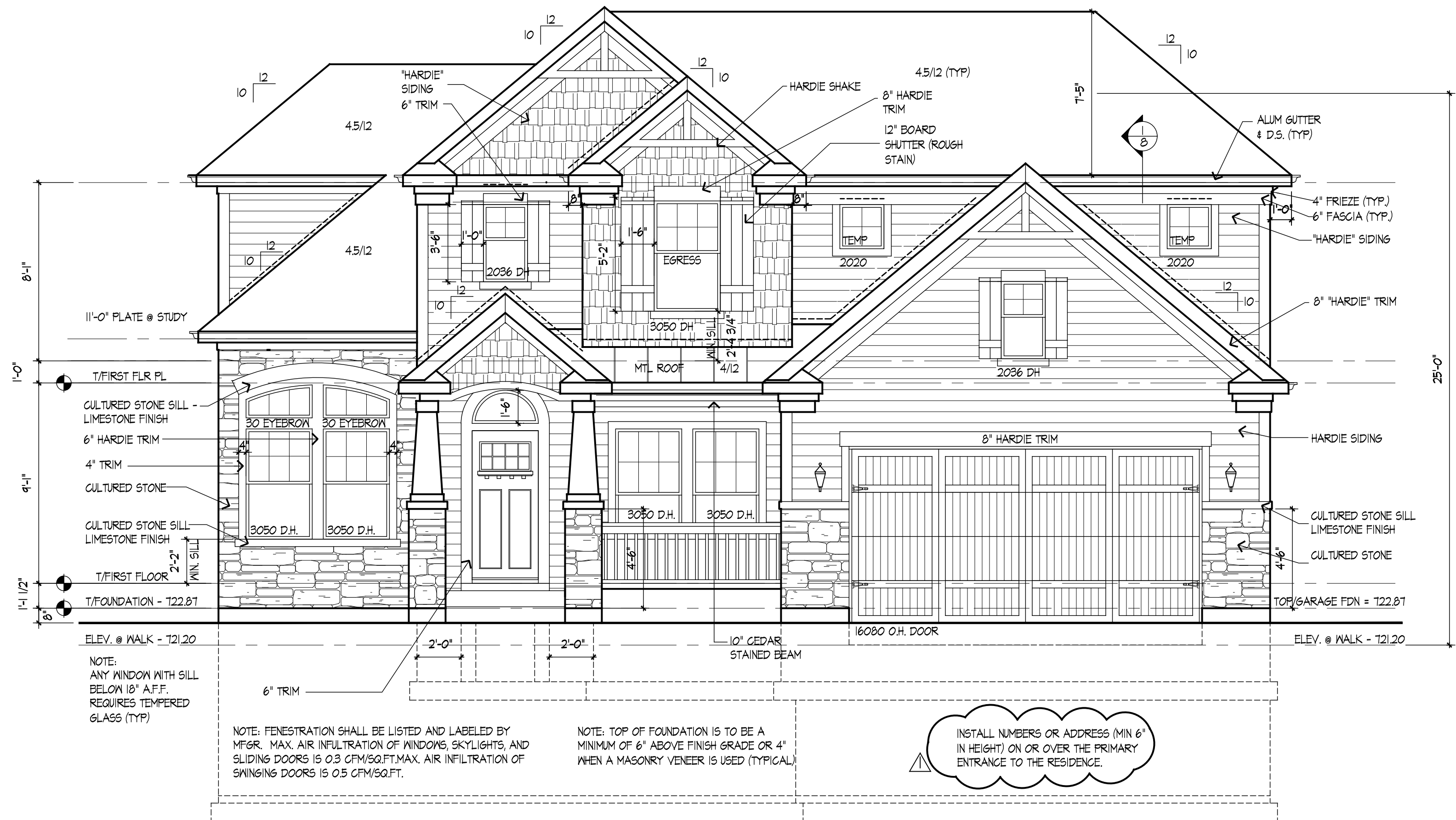
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DATE 1
09/20/16

PROJ START
07/12/16

REC

JOB #
560300xx





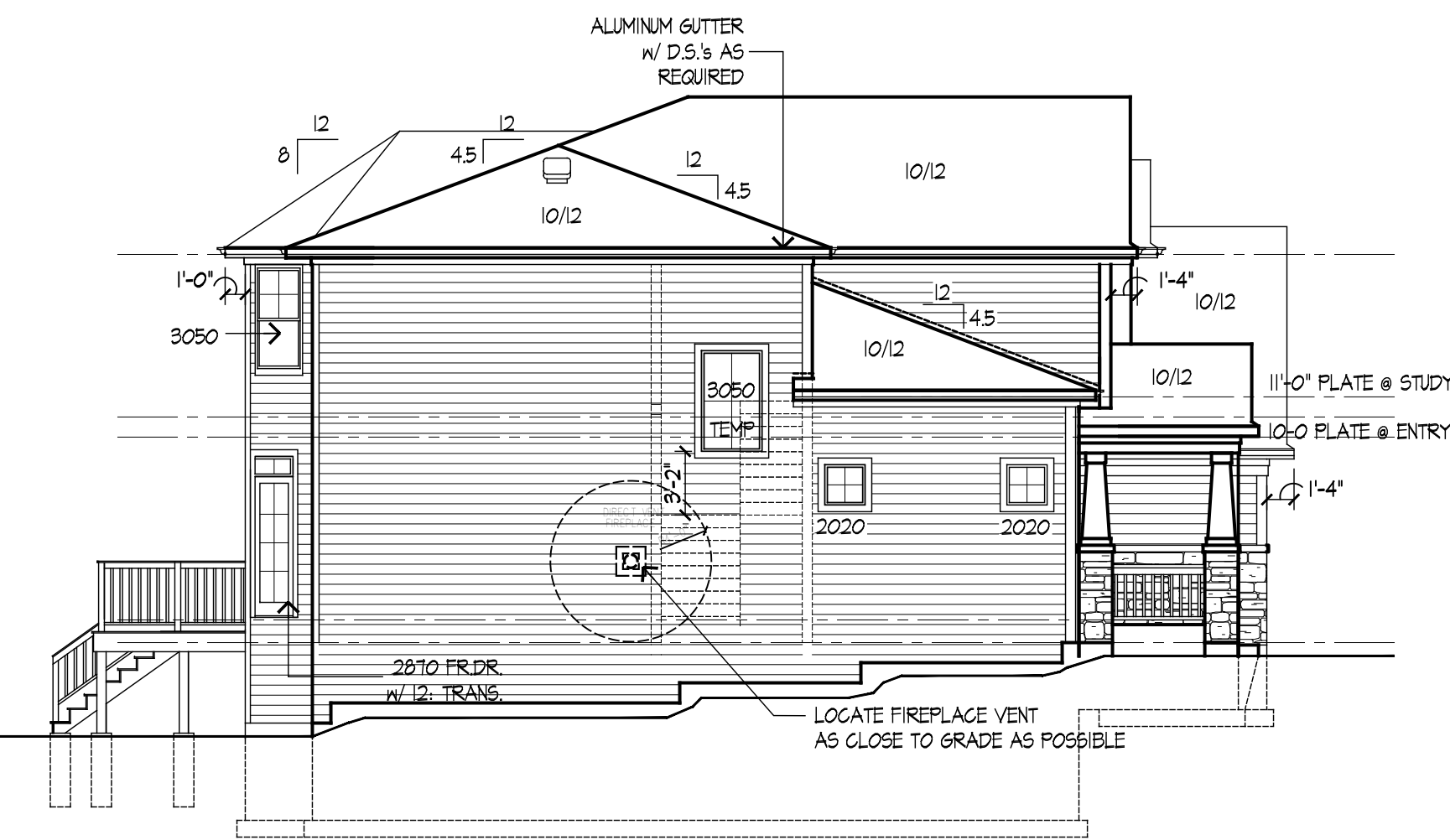
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

STANDARD ELEVATION NOTES

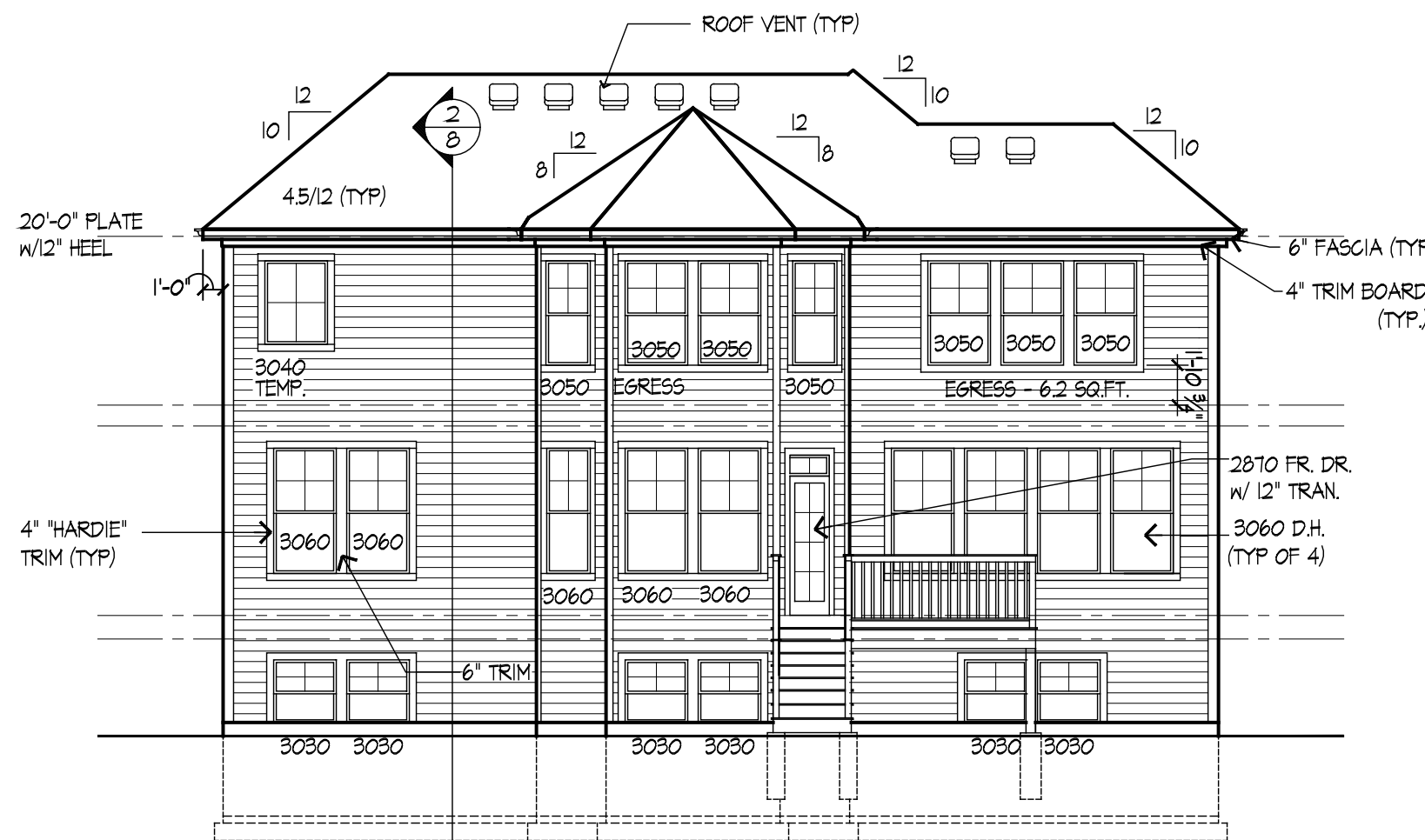
- 30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES
- ALUMINUM GUTTERS AND DOWNSPOUTS OVER ALUMINUM FASCIA.
- 'HARDIE' SOFFIT W/ INTERGAL VENT.
- SHEET METAL FLASHING OVER WINDOWS, DOORS AND WOOD TRIM.
- SHEET METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS.
- 1X2 EDGE BOARD OVER 1X8 RAKE BOARD
- ALL RAKE AND OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED

- INDICATES STONE VENEER
 - INDICATES HARDIE SIDING
 - HIDDEN GALVANIZED METAL FLASHING
- NOTE: ALL WINDOW SIZES ARE 'SILVERLINE' VINYL DOUBLE HUNG - OR AN APPROVED EQUAL

- ROOF SHINGLES SHALL HAVE A MINIMUM RATINGS OF CLASS 'C' OR BETTER



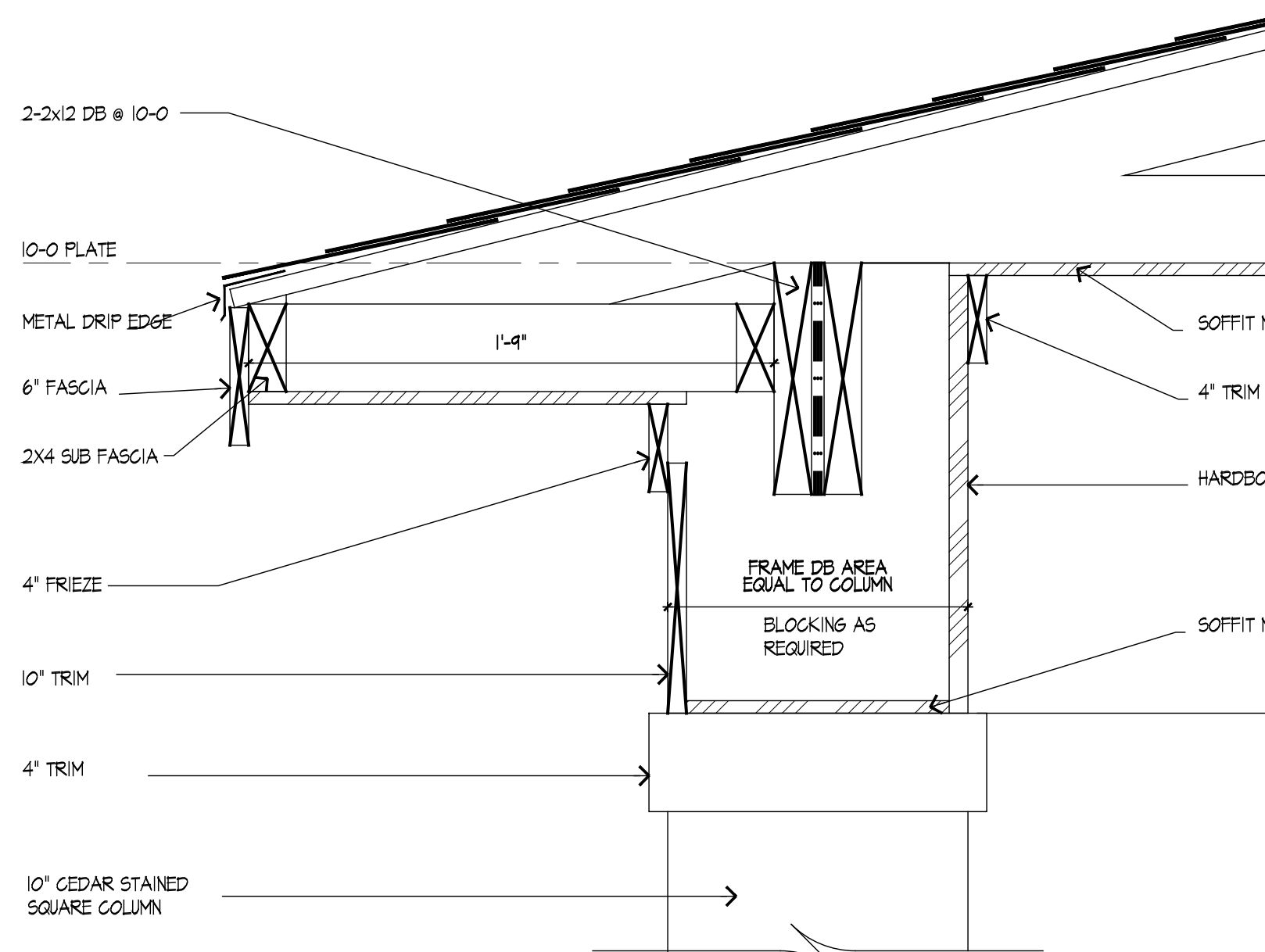
LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



REAR SIDE ELEVATION
SCALE: 1/8" = 1'-0"

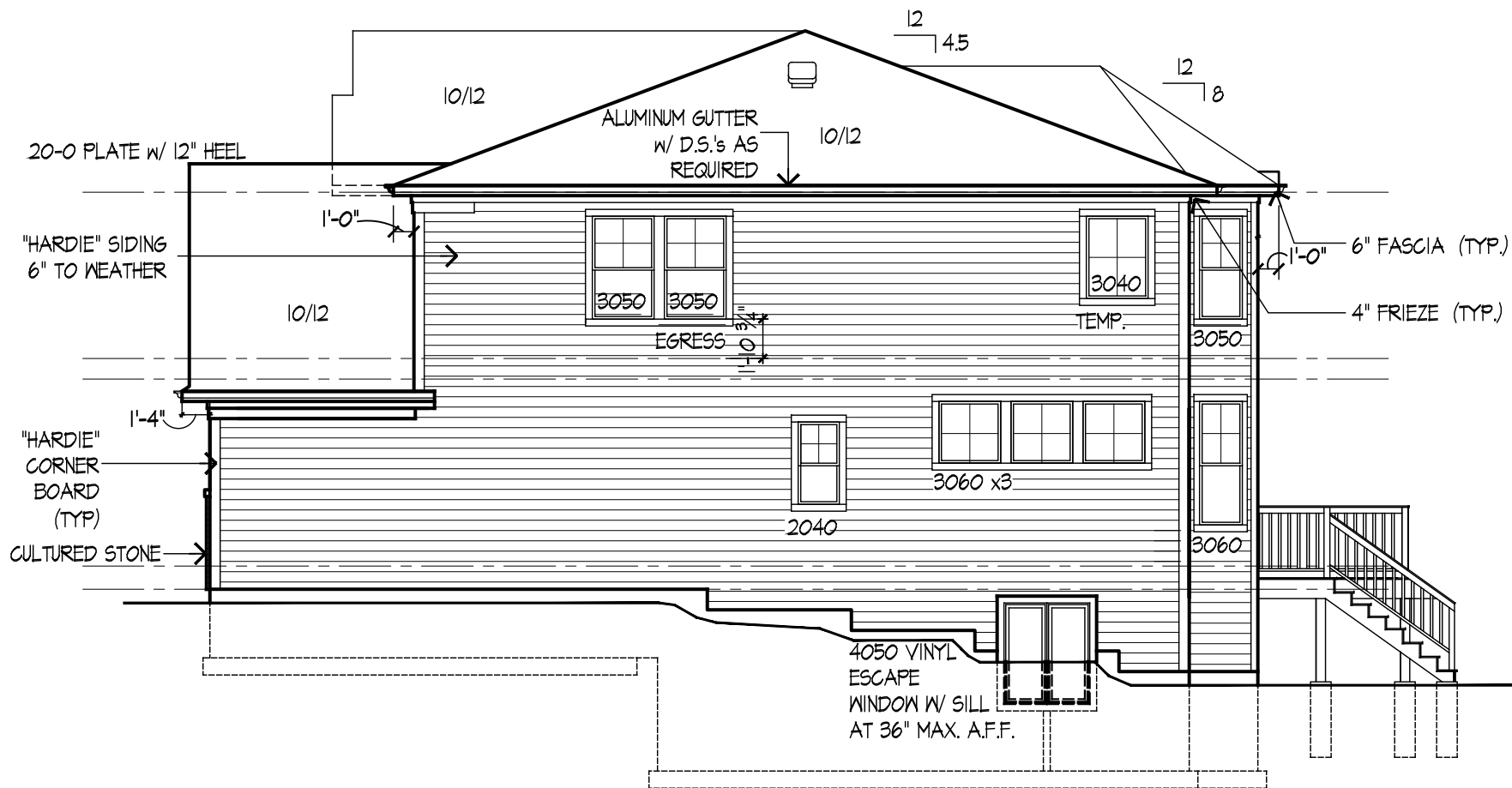
NOTE: MAX U-FACTOR OF .32 FOR ALL WINDOWS AND GLAZED DOORS BETWEEN CONDITIONED AND UNCONDITIONED SPACES

WINDOW STICKERS INDICATING U-FACTOR FOR FENESTRATION SHALL NOT BE REMOVED PRIOR TO INSPECTION.



FRONT PORCH CORNICE DETAIL
SCALE: 1" = 1'-0"

LIGHT & VENTILATION SCHEDULE							
ROOM NAME	AREA	LIGHT		VENT		MECH CFM	
		REQ.	ACT.	REQ.	ACT.	REQ.	ACT.
BASEMENT	1430 S.F.	28.6	32.3	28.6	25.1	--	--
STUDY	120 S.F.	9.6	34.9	4.8	14.9	--	--
KITCHEN / BREAKFAST	458 S.F.	36.6	56.6	18.3	34.3	--	--
FAMILY ROOM	264 S.F.	21.1	51.9	10.5	24.8	--	--
POUNDER ROOM	24 S.F.	--	4.7	--	--	--	50 CFM
KEEPING	115 S.F.	9.2	54.3	4.8	31.7	--	--
DINING	126 S.F.	10.0	25.9	5.0	14.9	--	--
MASTER BATH	128 S.F.	--	16.1	--	--	--	200 CFM 50 CFM
OWNER'S SUITE	246 S.F.	19.6	42.0	9.8	24.3	--	--
LAUNDRY	52 S.F.	--	--	--	--	--	--
BEDROOM #2	225 S.F.	18.0	24.3	9.0	14.3	--	--
BEDROOM #3	141 S.F.	11.2	21.0	5.6	12.1	--	--
BEDROOM #4	191 S.F.	15.3	13.84	7.6	8.23	--	--
BATH #2	108 S.F.	--	--	--	--	--	100 CFM
BATH #3	34 S.F.	--	--	--	--	--	50 CFM



RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION NOTES:

- DO NOT SCALE DRAWINGS
 1. PROVIDE SPLASH BLOCKS AT ALL DOWN SPOUTS DISCHARGING AT GRADE. (NOT TO DISCHARGE ACROSS WALK-WAY)
 2. PROVIDE DRIP CAPS AT ALL WINDOWS AND DOORS
 3. ALL ROOF SADDLES TO BE SHEATHED W/ BUILDING PAPER AND SHINGLES.
 4. REFER TO FLOOR PLANS FOR DOOR SIZES
 5. WINDOW SIZES ARE AS PER ELEVATIONS. WINDOW MFR TO VERIFY ALL BEDROOMS HAVE EGRESS WINDOW
 6. ROOF VENTS TO BE SCREENED AND BALANCED INTAKE AND EXHAUST.
 7. PROVIDE '12" FLASHING ALONG ALL HORIZONTAL TRIM
 8. PROVIDE GALV. METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS.
 9. FIREPLACE FLUE TO BE MIN. 2'-0" ABOVE ANY ROOF SURFACE WITHIN 10'-0" HORIZONTALLY, MIN. 3'-0" PENETRATION ABOVE ROOF.
 10. SAFETY GLAZING AT BATHUB/SHOWER, SILL HEIGHTS BELOW 18", EXT. DOORS AND WINDOWS W/ IN 24" OF DOOR (AS PER GOVERNING CODES)
- EXTERIOR FINISH MATERIALS:
11. TYPICAL ROOFING WILL BE ARCHITECTURAL GRADE 35 YEAR ASPHALT SHINGLES
 12. TYPICAL - ALUMINUM GUTTERS W/ DOWN SPOUTS OVER 1X8 FASCIA AND WITH 1X10 FRIEZE BOARD TYPICAL OTHERWISE NOTED.
 13. 1X2 ON 1X8 RAKE BOARD TYPICAL
 14. TYPICAL SIDING - 'HARDIE' W/ 6" EXPOSED
 15. TYPICAL TRIM - 'HARDIE'
 16. ALL EVE AND RAKE OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED.

ADDRESS INFORMATION:
THE ADDRESS NUMBERS SHALL BE AT LEAST 6 INCHES HEIGHT AND SHALL BE LOCATED ON OR OVER THE PRIMARY ENTRANCE TO THE DWELLING.

DOWNSPOUTS SHALL BE DIRECTED TO DISCHARGE TO THE FRONT OR REAR OF THE PROPERTY, NOT THE SIDEYARDS.

1225 N. Walnut material schedule

item	material	manufacturer	Color
Stone	Limestone	Buechel	Fond Du Lac Country Squire
Roof	Asphalt Shingles	GAF Natural shadow	Pewter Gray
Siding	Fiber Cement	James Hardie color Plus	Aged Pewter
Fascia/Trim	Cedar Strand Substrate	LP	Colormatch Hardie Arctic White
Gutters	Aluminum	ABC	White
Windows	vinyl	Silverline 3000	White
Garage door	Steel	Wayne Dalton 9100 series	White
Shutters	Painted Cedar	Sherwin Williams	SW7675 Sealskin



Item: DC#16-124 - Esplanade at Arlington Heights - 2920-3020 W. Euclid Ave. - Sign Variation

Department: Planning & Community Development

Requested Action

1. A variation from Chapter 30, section 30-302 Number a, to allow a 281'-4" separation between the office park sign and the multi-tenant project identification sign on Euclid Avenue where the minimum separation is 800 feet.
2. A variation from Chapter 30, section 30-302 Number a, to allow a 503'-8" separation between the multi-tenant project identification sign on Euclid Avenue and the multi-tenant project identification sign on Salt Creek Lane where the minimum separation is 800' feet.

Recommendation

It is recommended that the Design Commission approve the requested sign variations for the Esplanade at Arlington Heights at 2920-3020 W. Euclid Avenue. This recommendation is subject to compliance with the plans received on 10/07/16, Federal, State, and Village Codes, regulations, and policies, the issuance of all required permits, and resolution of the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

ATTACHMENTS:

Description

Staff Report
Drawings & Documents
2008 Reports & Minutes

Type

Board or Commission Report
Exhibits
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: Esplanade at Arlington Heights
Project Address: 2920-3020 W. Euclid Ave.
Prepared By: Steve Hautzinger

PETITIONER INFORMATION:

DC Number: 16-124
Petitioner Name: C. Josh Wohlreich
Petitioner Address: Stonestreet Esplanade LLC
760 W. Main Street, Suite 140
Barrington, IL 60010
Meeting Date: October 25, 2016

Date Prepared: October 17, 2016

Requested Action:

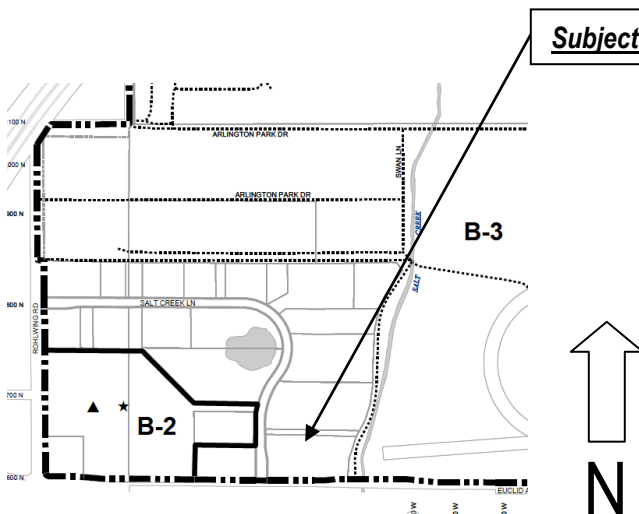
1. A variation from Chapter 30, section 30-302 Number a, to allow a 281'-4" separation between the office park sign and the multi-tenant project identification sign on Euclid Avenue where the minimum separation is 800 feet.
2. A variation from Chapter 30, section 30-302 Number a, to allow a 503'-8" separation between the multi-tenant project identification sign on Euclid Avenue and the multi-tenant project identification sign on Salt Creek Lane where the minimum separation is 800' feet.

Previously Approved Sign Variations from 2008 (for reference only):

1. A variation from Chapter 30, section 30-302 Number a, to allow for 340'-6" feet separation between the relocated office park sign and the multi-tenant project identification sign on Euclid Avenue where the minimum separation is 800 feet.
2. A variation from Chapter 30, section 30-302 Number a, to allow for 562'-10" feet separation between the multi-tenant project identification sign on Euclid Avenue and the multi-tenant project identification sign on Salt Creek Lane where the minimum separation is 800' feet.
3. A variation from Chapter 30, section 30-302 Number a, to allow 3 ground signs where only two are allowed.

ANALYSIS:

The subject design is being forwarded to the Design Commission for review pursuant to Chapter 6 of the Municipal Code, specifically Section 6-501 (e)(1), which states that the Design Commission "shall review all Plan Commission, Zoning Board of Appeals, Building Permit and Sign Permit applications for new construction...to determine whether it meets with the standards, requirements and purposes of the Design Guidelines and Chapter 30, Sign Code."



Zoning Map of Property



Aerial of Property

Summary:

The Esplanade at Arlington Heights is an existing retail center located at the northeast corner of Euclid Avenue and Salt Creek Lane. The property is located on the south end of the Arlington Business Center. The business park has two "Arlington Business Center" identification signs, one sign is on the northeast corner of Rohlwing Road and Salt Creek Lane and the second sign is on the southwest corner of the petitioner's property. In addition to the "Arlington Business Center" sign, there are two existing monument style, multi-tenant, Esplanade ground signs on the subject site, one facing Euclid Avenue, and one facing Salt Creek Lane. These three existing ground signs were approved by sign variation in 2008, to allow three ground signs, where only two are allowed, as well as a reduction to the 800 foot separation required between ground signs.

At this time, the petitioner is requesting an amendment to the previously approved separation distances to allow relocation of the existing Euclid facing multi-tenant Esplanade ground sign from the east side of the Euclid entry drive to the west side of the entry drive. Relocation of the sign is required to accommodate development of the east end of the site with a new Westgate Dental building and corresponding parking area. The relocation of the existing sign results in a 59'-2" reduction in the required separation distance between the signs, so new sign variations are required.

There will be no change to the overall size of the three signs, but the signage area on the two Esplanade signs will be slightly increased due to converting the existing "ESPLANADE" sign panel to tenant panels, and adding new "ESPLANADE" signage on the top portion of the existing signs. Chapter 30 (sign code) establishes the maximum size for ground signs based upon the fronting street size and speed limit, which in this case is 80 sf maximum along Euclid, and 66 sf maximum along Salt Creek Lane. The fact that the three ground signs are less than the maximum sizes allowed per street frontage was a factor when approving the original sign variations. However, Staff is not concerned with the small increase in signage area on the two Esplanade signs.

Table 1: Existing and Proposed Ground Signs Summary:

Ground Sign	Frontage	Sign Height (16'-6" allowed)	Sign Area	Separation Distance (800 feet required)	Remarks
EXISTING					
Sign A: Multi-Tenant Esplanade sign	Salt Creek Lane	10'-0"	44.85 sf	222'-4" between A & B	
Sign B: Business Center sign	At corner	5'-9"	21 sf		
Sign C: Multi-Tenant Esplanade sign	Euclid Avenue	10'-0"	44.85 sf	340'-6" between B & C 562'-10" between A & C	Variations approved in 2008 for separation. Variation approved in 2008 for quantity.
PROPOSED					
Sign A: Multi-Tenant Esplanade Sign	Salt Creek Lane	10'-0"	52 sf	222'-4" between A & B	
Sign B: Business Center sign	At corner	5'-9"	21 sf		
Sign C: Multi-Tenant Esplanade sign	Euclid Avenue	10'-0"	52 sf	281'-4" between B & D 503'-8" between A & D	Variations required for separation. Variation approved in 2008 for quantity.

Sign Variation Criteria:

The Village Sign Code, Chapter 30, Section 30-901 sets out the criteria for granting a sign variation.

- a. *That the particular difficulty or peculiar hardship is not self-created by the Petitioner.*
- b. *That the granting of said variation will not create a traffic hazard, a depreciation of nearby property values or otherwise be detrimental to the public health, safety, morals and welfare;*
- c. *That the variation will serve to relieve the Petitioner from a difficulty attributable to the location, topography, circumstances on nearby properties or other peculiar hardship, and will not merely serve to provide the Petitioner with a competitive advantage over similar businesses;*
- d. *That the variation will not alter the essential character of the locality;*
- e. *That the Petitioner's business cannot reasonably function under the standards of this chapter.*

The petitioner has submitted a letter addressing the above criteria, with the primary hardship identified as the existing sign location being in conflict with the approved parking for the new dental office. The petitioner for the original sign variations justified the need for two retail ground signs based on the fact that the business park sign occupies the prime location at the corner where a single retail center sign could have been located. This unique circumstance still exists today, and Staff does not object to the three existing ground signs. Furthermore, Staff has no objection to the requested reduction in separation distance between the ground signs because of the sign location conflict with the new parking to be constructed.

RECOMMENDATION

It is recommended that the Design Commission **approve** the requested sign variations for the *Esplanade at Arlington Heights* at 2920-3020 W. Euclid Avenue. This recommendation is subject to compliance with the plans received on 10/07/16, Federal, State, and Village Codes, regulations, and policies, the issuance of all required permits, and resolution of the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

Steve Hautzinger AIA, Design Planner
Department of Planning & Community Development

c: Charles Witherington-Perkins, Director of Planning and Community Development, Petitioner, DC File 16-124

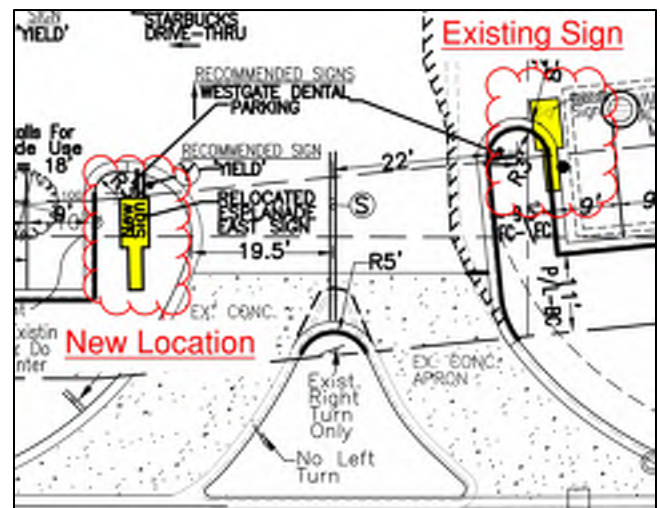


Design Commission Review Submittal

- a. 1 set – Fully dimensioned, detailed site plans including building locations, driveways, yards, setbacks, proposed sign and existing sign with dimensions. **ATTACHED**
- b. 1 set – Existing and proposed elevations of building facades. Must be architectural scale, i.e., ¼-inch equals 1-foot or 1/8-inch equals 1-foot. Colored renderings are required to indicate proposed signage. **PER STEVE HAUTZINGER, NOT REQUIRED**
- c. 1 set – Fully dimensioned drawings of proposed signs with scale. Fully dimensioned and scaled drawing of any existing signage. **ATTACHED**
- d. 1 set – Color photographs of subject property and surrounding properties: 3 sites to the left, 3 sites to the right, and 3 sites across the street. Color photos of any existing signage. **ATTACHED**
- e. 1 – Written list of all sign materials. (See attached SAMPLE on Page 7) **ATTACHED**
- f. 1 – Letter for variation and hardship request, per Chapter 30, Section 30-802 (**SEE FOLLOWING**)

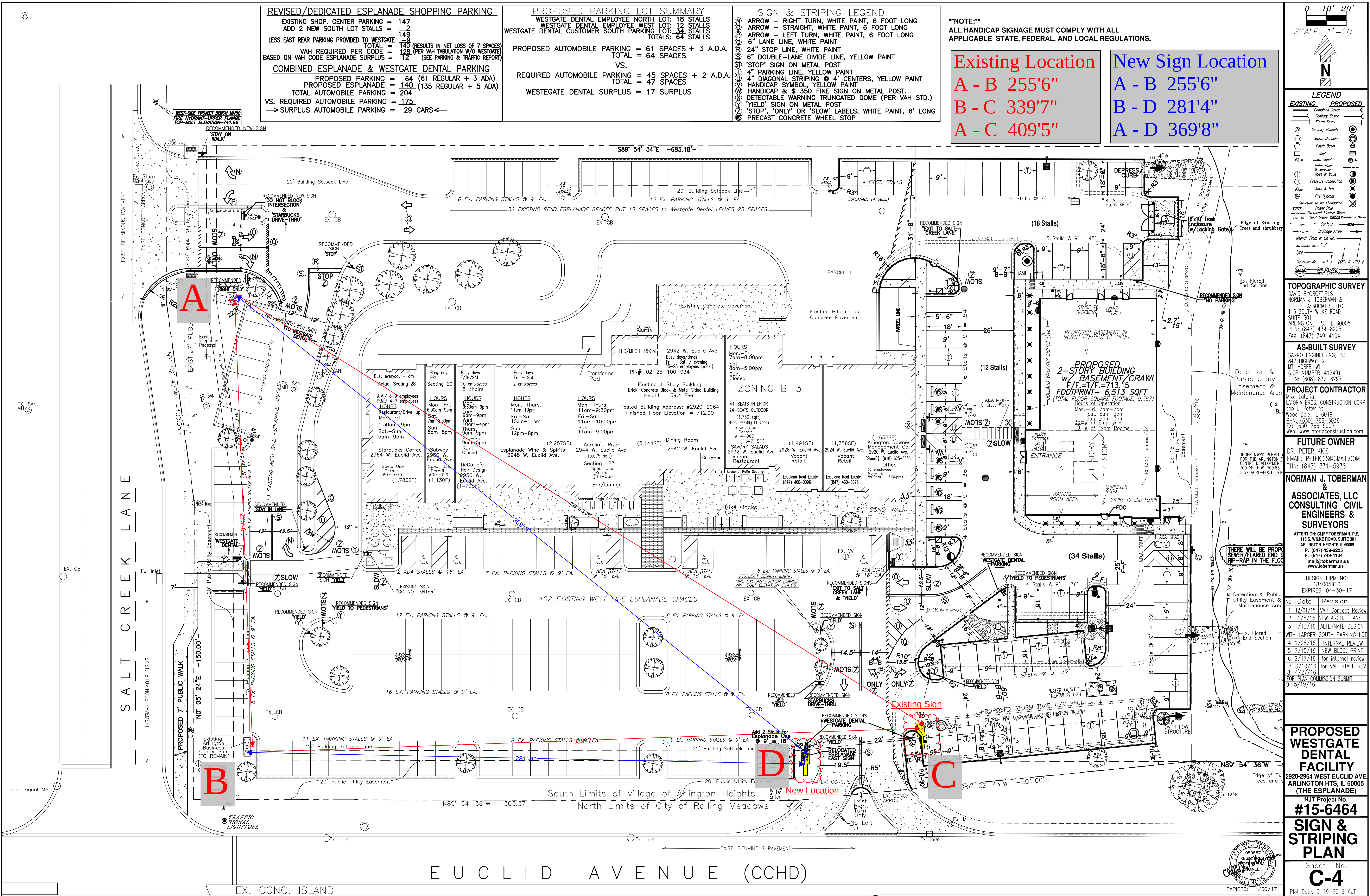
Section 30-802 Standards. The Design Commission and the Village Board of Trustees will base their recommendation for a variation on the following facts:

- a. **Petitioner is required to relocate the existing sign as part of the construction plans for the recently approved dental office. Please see the plan to the right. The existing sign conflicts with the revised and approved curbs and parking configuration. Requesting a minor modification variations approved when the facility was constructed in 2008 by a previous owner.**
- b. **The relocated sign will be located outside of the 12' visibility triangle so it will not create a traffic hazard, the sign is existing and is nicely designed so there will be no negative impact on nearby property values.**
- c. **The sign needs to be relocated to accommodate development of the east end of the site with a new building and new parking area.**
- d. **The sign is existing so there will be no change to the character of the locality**
- e. **A sign is required in this location for visibility along Euclid Avenue.**





- g. 1 – Sample of major sign materials including colors, textures and finishes being proposed on an 8.5” X 11” material board. **PER STEVE HAUTZINGER, ATTACHED PHOTOS WILL SUFFICE**
- h. 1 – Completed application form (Page 5), including signatures and \$300 fee. (Check shall be made out to: The Village of Arlington Heights) **ATTACHED**
- i. Notification to property owners/taxpayers of record within 100-feet, Section 30-804a (Page 8) no less than 7 days prior to the meeting. Affidavit (Page 11), list of property owners and receipts of certified mailings must be submitted to Staff 7 days prior to meeting. **PETITIONER WILL COMPLY**
- j. Sign posting requirement, Section 30-804b (Pages 8 & 9), no less than 15 days prior to the meeting. Affidavit (Page 10) and photograph of sign installed at site must be submitted to Staff 15 days prior to meeting. **PETITIONER WILL COMPLY**
- k. Electronic (pdf) files of Items a thru f. **PROVIDED**



REVISED/DEDICATED ESPLANADE SHOPPING PARKING EXISTING SHOP. CENTER PARKING = 147 ADD 2 NEW SOUTH LOT STALLS = 2 LESS EAST REAR PARKING PROVIDED TO WESTGATE = 149 TOTAL = 140 (RESULTS IN NET LOSS OF 7 SPACES) VAH REQUIRED PER CODE = 128 (PER VAH TABULATION W/O WESTGATE) BASED ON VAH CODE ESPLANADE SURPLUS = 12 (SEE PARKING & TRAFFIC REPORT)	PROPOSED PARKING LOT SUMMARY WESTGATE DENTAL EMPLOYEE NORTH LOT: 18 STALLS WESTGATE DENTAL EMPLOYEE WEST LOT: 12 STALLS WESTGATE DENTAL CUSTOMER SOUTH PARKING LOT: 34 STALLS TOTALS: 64 STALLS PROPOSED AUTOMOBILE PARKING = 61 SPACES + 3 A.D.A. TOTAL = 64 SPACES VS. REQUIRED AUTOMOBILE PARKING = 45 SPACES + 2 A.D.A. TOTAL = 47 SPACES WESTGATE DENTAL SURPLUS = 17 SURPLUS	SIGN & STRIPING LEGEND N ARROW - RIGHT TURN, WHITE PAINT, 6 FOOT LONG O ARROW - STRAIGHT, WHITE PAINT, 6 FOOT LONG P ARROW - LEFT TURN, WHITE PAINT, 6 FOOT LONG R 6" LANE LINE, WHITE PAINT S 24" STOP LINE, WHITE PAINT D 6" DOUBLE-LANE DIVIDE LINE, YELLOW PAINT ST STOP SIGN ON METAL POST T 4" PARKING LINE, YELLOW PAINT V 4" DIAGONAL STRIPING @ 4" CENTERS, YELLOW PAINT W HANDICAP SYMBOL YELLOW PAINT X HANDICAP & 350 FINE SIGN ON METAL POST. Y DETECTABLE WARNING TRUNCATED DOME (PER VAH STD.) Z YIELD SIGN ON METAL POST O ONLY OR SLOW LABELS, WHITE PAINT, 6' LONG P PRECAST CONCRETE WHEEL STOP
--	---	--

****NOTE:****
ALL HANDICAP SIGNAGE MUST COMPLY WITH ALL APPLICABLE STATE, FEDERAL, AND LOCAL REGULATIONS.

Existing Location A - B 255'6" B - C 339'7" A - C 409'5"	New Sign Location A - B 255'6" B - D 281'4" A - D 369'8"
--	--

0 10' 20'
SCALE: 1"=20'

LEGEND

EXISTING	PROPOSED
Combined Sewer	Combined Sewer
Sanitary Sewer	Sanitary Sewer
Storm Sewer	Storm Sewer
Sanitary Manhole	Sanitary Manhole
Storm Manhole	Storm Manhole
Catch Basin	Catch Basin
Inlet	Inlet
Down Spout	Down Spout
Water Mains & Services	Water Mains & Services
Valve & Vault	Valve & Vault
Pressure Connection	Pressure Connection
Valve & Box	Valve & Box
Fire Hydrant	Fire Hydrant
Structure to be Abandoned	Structure to be Abandoned
Power Pole	Power Pole
Overhead Electric Wires	Overhead Electric Wires
Spot Code 10000000000000000000	Spot Code 10000000000000000000
Contour	Contour
Drainage Arrow	Drainage Arrow
Neonath From & Lid No.	Neonath From & Lid No.
Structure Size "x"y"	Structure Size "x"y"
Type	Type
Structure No. 1-A (487) R-172-B	Structure No. 1-A (487) R-172-B
Structure Invert Elevation	Structure Invert Elevation

TOPOGRAPHIC SURVEY
DAVID BYCROFT
NORMAN J. TOBERMAN & ASSOCIATES, LLC
115 SOUTH WILKE ROAD
SUITE 301
ARLINGTON HTS., IL 60005
PHN: (847) 439-8225
FAX: (847) 749-4104

AS-BUILT SURVEY
SARKO ENGINEERING, INC.
847 HIGHWAY JG
MT. PROS, IL
(JOB NUMBER-41249)
PHN: (608) 832-6297

PROJECT CONTRACTOR
Mike Latorio
LATORIO BROS. CONSTRUCTION CORP.
355 E. Potter St.
Wood Dale, IL 60191
PHN: (630) 766-3036
FX: (630) 766-9907
Web: www.latorioconstruction.com

FUTURE OWNER
DR. PETER KICS
EMAIL: PETEKICS@GMAIL.COM
PHN: (847) 331-5938

NORMAN J. TOBERMAN & ASSOCIATES, LLC
CONSULTING CIVIL ENGINEERS & SURVEYORS
ATTENTION: CLIFF TOBERMAN, P.E.
115 S. WILKE ROAD, SUITE 301
ARLINGTON HEIGHTS, IL 60005
P. (847) 439-8225
F. (847) 749-4104
mail@toberman.us
www.toberman.us

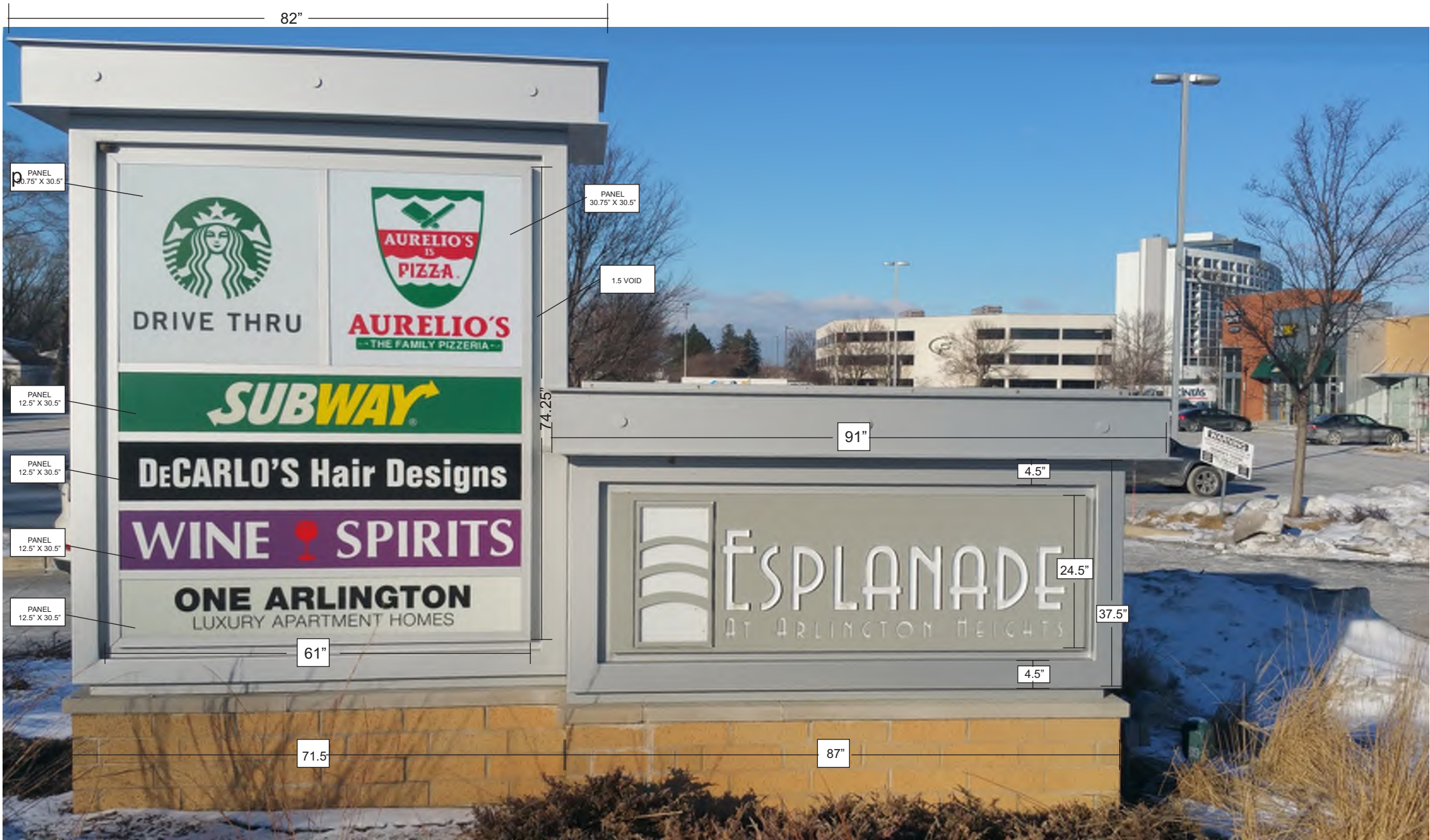
DESIGN FIRM NO: 184005910
EXPIRES: 04-30-17

No.	Date	Revision
1	12/01/15	VAH Concept Review
2	1/8/16	NEW ARCH. PLANS
3	1/13/16	[ALTERNATE DESIGN WITH LARGER SOUTH PARKING LOT]
4	1/28/16	INTERNAL REVIEW
5	2/15/16	NEW BLDG. PRINT
6	2/17/16	for internal review
7	3/10/16	for VAH STAFF REV
8	4/27/16	FOR PLAN COMMISSION SUBMIT
9	5/19/16	

PROPOSED WESTGATE DENTAL FACILITY
2920-2964 WEST EUCLID AVE.
ARLINGTON HTS., IL 60005
(THE ESPLANADE)
NJ Project No. #15-6464
SIGN & STRIPING PLAN
Sheet No. C-4
Plot Date: 5-19-2016-CJT

EXPIRES: 11/30/17

Existing sign and dimensions



Targin Sign Systems

Office: 630.766.7667
targin1@sbcglobal.net | www.targin signs.com
160 W. Irving Park Rd | Wood Dale, IL | 60191

Date: 10-5-16
Pro: -
Drawn By: Steve/Mike
Rev: -

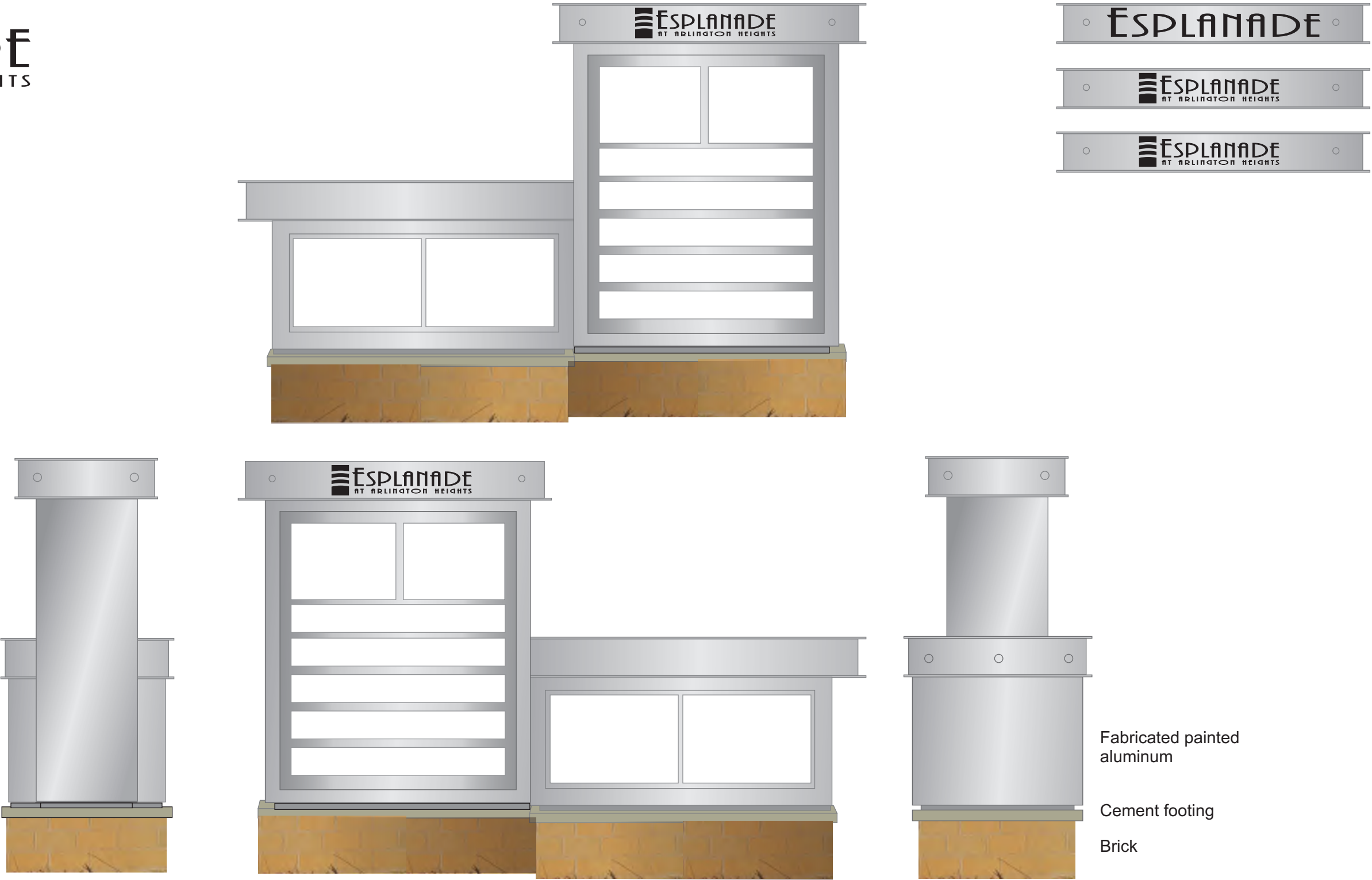
Account Representative:
Steve Gruber

Notes:
Existing sign to be relocated on property

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Comp layout



Date: 10-5-16	Account Representative: Steve Gruber	Notes: Comps for alteration of existing structure	COPYRIGHT NOTICE c This drawing and all reproductions thereof are the property of Targin Sign Systems and may not be reproduced, published changed or used in any way without written consent.
Pro:			
Drawn By: Steve/Mike			
Rev:			

3/4"=1"
A-1



Targin Sign Systems

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targin1@sbcglobal.net | www.targin signs.com
160 W. Irving Park Rd | Wood Dale, IL | 60191

Date: 10-5-16	Account Representative: Steve Gruber	Notes:	COPYRIGHT NOTICE c This drawing and all reproductions thereof are the property of Targin Sign Systems and may not be reproduced, published changed or used in any way without written consent.
Pro:			
Drawn By: Steve/Mike			
Rev:			

3/4"=1"

A-2



Targin Sign Systems

Office: 630.766.7667
targin1@sbcglobal.net | www.targinsigns.com
160 W. Irving Park Rd | Wood Dale, IL | 60191

Date: 10-5-16

Pro:

Drawn By: Steve/Mike

Rev:

Account Representative:
Steve Gruber

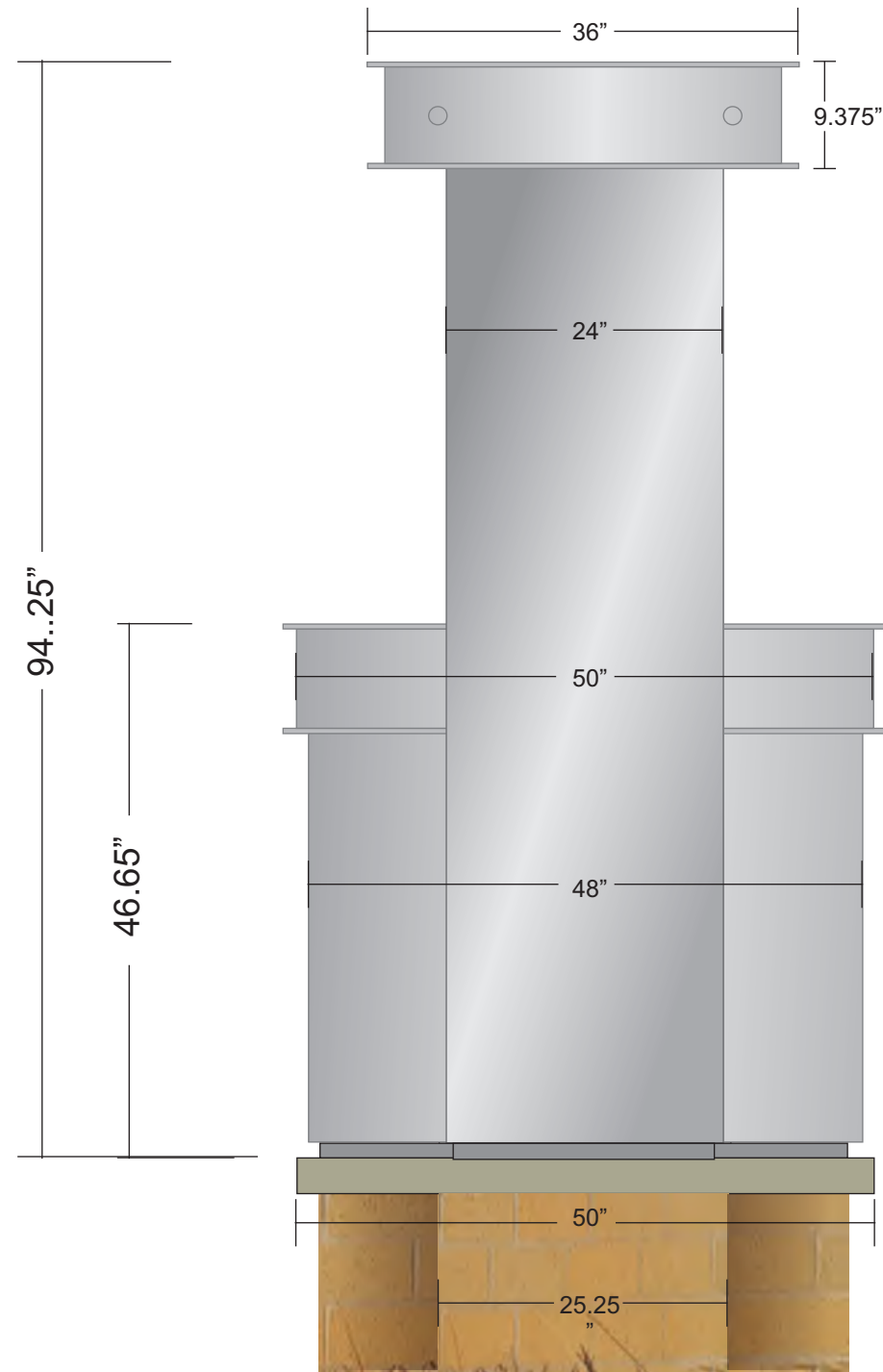
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3/4"=1"

B-1



Fabricated painted
aluminum

Cement footing

Brick



Targin Sign Systems

Office: 630.766.7667
targin1@sbcglobal.net | www.targin signs.com
160 W. Irving Park Rd | Wood Dale, IL | 60191

Date: 10-5-16
Pro: _____
Drawn By: Steve/Mike
Rev: _____

Account Representative:
Steve Gruber

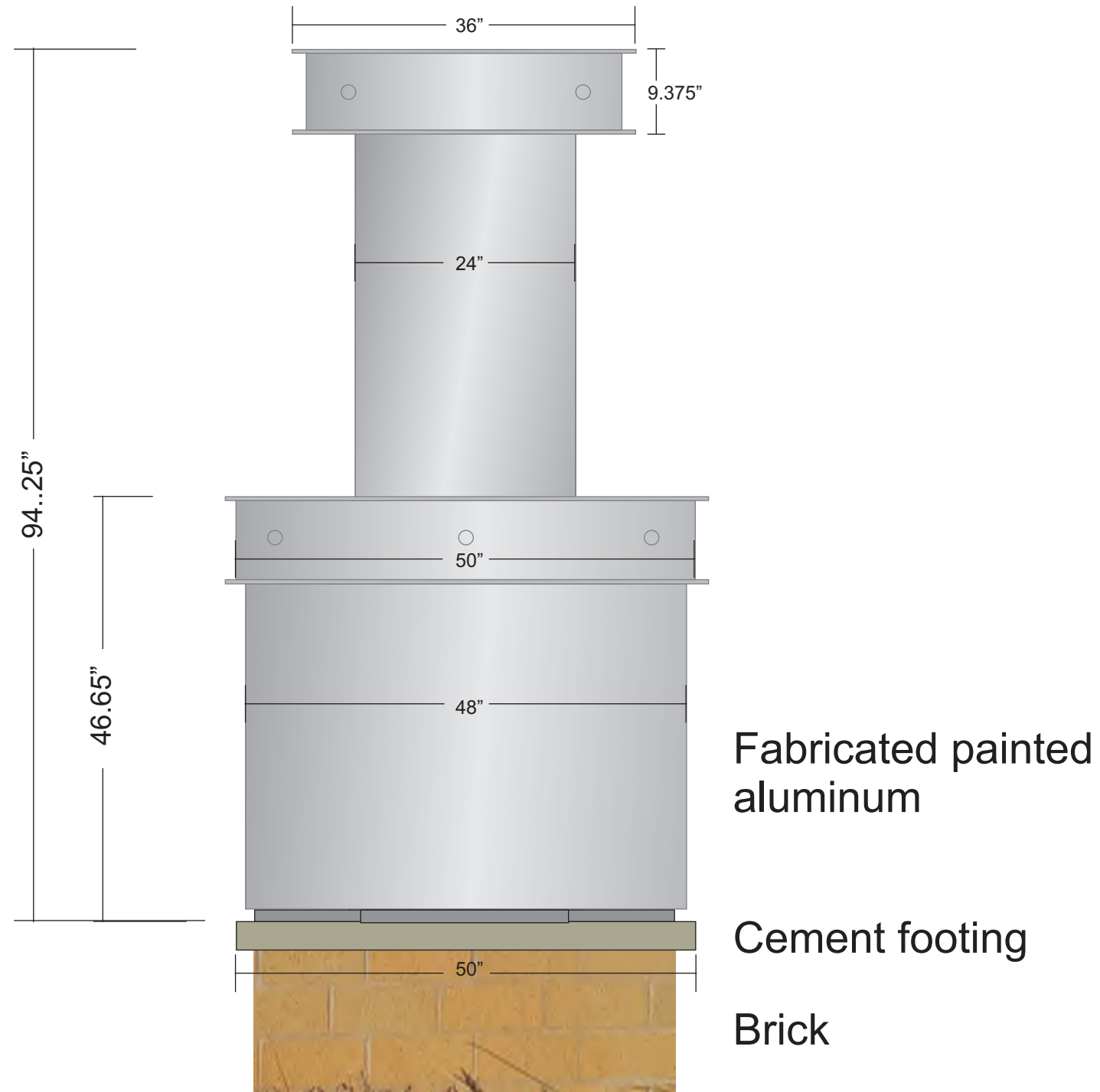
Notes:

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3/4"=1"

B-2



Targin Sign Systems

Office: 630.766.7667
targin1@sbcglobal.net | www.targin signs.com
160 W. Irving Park Rd | Wood Dale, IL | 60191

Date: 10-5-16

Pro: _____

Drawn By: Steve/Mike

Rev: _____

Account Representative:
Steve Gruber

Notes:

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Existing Esplanade Center



Existing Esplanade Center



Existing Esplanade Center



Existing Esplanade Center



Existing Euclid Sign Looking East
Down Euclid



Existing Euclid Sign Looking East
Down Euclid



Existing Euclid Sign Looking South



Existing Euclid Sign Looking North-West



Existing Euclid Sign Looking West
Down Euclid





DRIVE THRU



AURELIO'S
THE FAMILY PIZZERIA

SUBWAY

DeCARLO'S Hair Design

WINE & SPIRIT

ONE ARLINGTON
LUXURY APARTMENT HOMES

View West Down Euclid (new sign
location designated by the yellow box)



Sign on Corner of Salt Creek and
Euclid looking North-East



Sign on Corner of Salt Creek and
Euclid looking West

ARLINGTON
BUSINESS CENTER



Sign on Corner of Salt Creek and Euclid looking South



Sign on Corner of Salt Creek and
Euclid looking East



ARLINGTON
BUSINESS CENTER

The image shows a large, rectangular sign for the Arlington Business Center. The sign is composed of a white upper section and a red brick lower section. The text 'ARLINGTON' is in a large, bold, serif font, and 'BUSINESS CENTER' is in a smaller, bold, serif font below it. The sign is situated in a landscaped area with green shrubs and tall grass in the foreground. In the background, there is a parking lot with several cars, including a white SUV and a dark sedan, and a line of trees under a cloudy sky.

Sign on Salt Creek Looking North
Down Salt Creek



Sign on Salt Creek looking South



Sign on Salt Creek looking South



ESPLANADE
AT ARLINGTON HEIGHTS



DRIVE THRU



AURELIO'S
PIZZA
THE FAMILY PIZZERIA

SUBWAY

DeCARLO'S Hair Designs

WINE SPIRITS

ONE ARLINGTON
LUXURY APARTMENT HOMES

Sign on Salt Creek looking West



View East Down Euclid of
Neighboring Property



View West Down Euclid (neighboring
property to the west)



STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: Esplanade at Arlington Park
Project Address: 2920 W. Euclid Ave.
Petitioner Name: Gregory Ratas

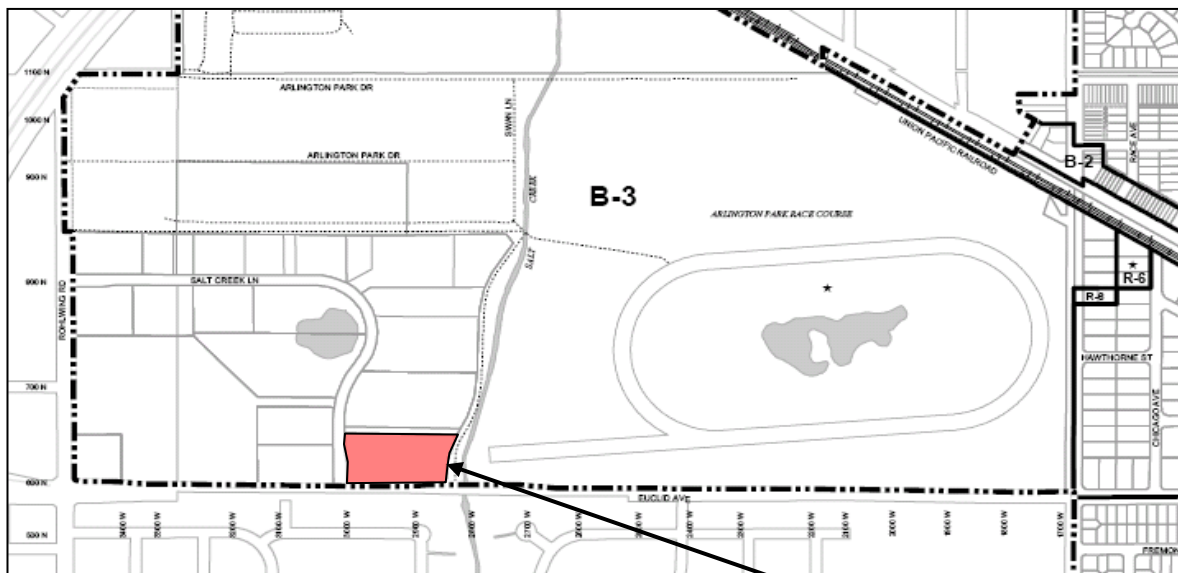
PETITIONER INFORMATION:

DC Number: 08-041
Prepared By: Afshan Hamid
Petitioner Address: Arlington Realty Partners
13965 W. Burleigh Rd. #202
Brookfield, WI 53005
Meeting Date: June 24, 2008

Date Prepared: June 19, 2008

Requested Action:

1. A variation from Chapter 30, section 30-302 Number a, to allow for 340'-6" feet separation between the relocated office park sign and the multi-tenant project identification sign on Euclid Avenue where the minimum separation is 800' feet.
2. A variation from Chapter 30, section 30-302 Number a, to allow for 562'-10" feet separation between the multi-tenant project identification sign on Euclid Avenue and the multi-tenant project identification sign on Salt Creek Lane where the minimum separation is 800' feet.
3. A variation from Chapter 30, section 30-302 Number a, to allow 3 ground signs where only two are allowed.



**SUBJECT
PROPERTY**

ANALYSIS:

Summary

The subject design is being forwarded to the Design Commission for review pursuant to Chapter 6 of the Municipal Code, specifically Section 6-501 (e)(1), which states that the Design Commission "shall review all Plan Commission, Zoning Board of Appeals, Building Permit and Sign Permit applications for new construction...to determine whether it meets with the standards, requirements and purposes of the Design Guidelines and Chapter 30, Sign Code."

The Petitioner is located in a B-3 zoning district, on the northeast corner of Euclid Avenue and Salt Creek Lane. The petitioner was approved for a strip retail center by the Village Board on December 3, 2007, known as the Esplanade. The petitioner is located on the end of the Arlington Business Center, which consists of separately platted lots in one location for the purpose of a business park. The business park has two identification signs, one on the northeast corner of Rohlwing Road and Salt Creek Lane and the second on the northeast corner of Euclid Avenue and Salt Creek Lane. The current

signs were issued permits in 1982 for Arlington Business Center, each sign has a height of 4'-6" and a width of 16 feet, 230 square feet total for both faces. One identification sign for the Arlington Business Center is currently located on the southwest corner of the petitioner's property. The petitioner is proposing to demolish the current identification sign and construct a new sign further to the south on the same property. The petitioner is also proposing two multi-tenant signs on the property for the approved strip retail center.

The petitioner is requesting a variation to allow a total of three ground sign on the site where only two are allowed. The petitioner is also seeking a variation for less than the 800 feet of separation required between signs.

PROPOSAL

Ground Sign

The petitioner is proposing the following signs:

Type of Sign	Height Proposed	Square Footage Proposed	Total Sign area per face allowed	Variations Identified
Relocated Office Park Sign (A)	5'-9"	21 sf Meets code	80 sf	30-302, 340'-6" separation Between sign A and sign B
Multi-tenant project identification sign on Euclid Ave. (B)	10'-0"	44.85 sf Meets code	80 sf	30-302, 562'-10" separation Between sign B & sign C
Multi-tenant project identification sign on Salt Creek Lane (C)	10'-0"	44.85 sf Meets code	66 sf	-----

Chapter 30 states the following:

30-302a: *No more than one ground sign shall be installed per frontage of a building or buildings, which share a common wall. If a building has more than one frontage, an additional ground sign may be permitted, provided that there is a minimum of 800 feet of separation between the ground signs as measured along the right-of-way line.*

A variation will be required for three ground signs where two are allowed.

A variation will be required between the relocated office park sign (A) and the multi-tenant project identification sign on Euclid Avenue (B).

A variation will be required between the multi-tenant project identification sign on Euclid Avenue (B) and the multi-tenant project identification sign on Salt Creek Lane (C).

30-301 e: *The area under a ground sign must be landscaped a minimum of two feet out from the signs base.*

The petitioner is proposing landscaping around the base of all three signs. The landscaping is generous and meets code requirements.

Sign Variation Criteria

The Village Sign Code, Chapter 30, Section 30-901 sets out the criteria for granting a sign variation. The Petitioner has provided a letter that outlines how they believe the criteria is being met (see Attachment). The petitioner has stated that the due to the existing office park sign being relocated at the corner of Euclid Avenue and Salt Creek Lane, one main project identification sign cannot be located at this prime location. Staff has reviewed the above request and the letter submitted in view of the hardship criteria, and does not object to the variations requested. The petitioner has commented on the requested variations as follows:

- a. *Per the office Park Declaration and the subject property's title report there is no legal basis for the office park sign to be installed on the subject property. The owner has proposed to re-install a new office park sign on the subject property as a sole gesture of good will to the office park tenants, however, it has no legal obligation to do so.*
- b. *Per the title report an easement does not exist for the office park sign to be installed on the subject property, therefore it is within the owner's legal rights to remove it upon its own discretion.*

The site is unique in that it is adjacent to a Business Park. Although the owner is not required to construct a sign for the Business Park, it is critical to recognize the Business Park.

SIMILAR SIGNS:

In researching similar signs for business districts, the Village constructed a Kensington Business District Sign which is 3' – 6" in height and 17.33 square feet. The identification sign is important in signifying that set of businesses within the specified area.

In researching past variations for business identification signs, staff has researched these types of signs, and they are limited in Arlington Heights. The two that staff is aware of are the Kensington Business District sign and the current Arlington Business District sign. There are no records of variations for this type of signage.

The following are Staff recommendations for the sign:

1. If the Design Commission does not object, then the current variation request should be approved conditioned upon the Relocated Office Park sign maintaining a height of 5'-9" and 21 sf as per the submitted drawings.

RECOMMENDATION

It is recommended that the proposed ground sign variation request for *Esplanade* located at 2920 W. Euclid Avenue, be **approved**. This recommendation is subject to compliance with the plans received 05/07/08, and Design Commission recommendations.

1. That the current variation request should be approved conditioned upon the Relocated Office Park sign maintaining a height of 5'-9" and 21 sf as per the submitted drawings.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

Afshan Hamid, Design Planner

c: William C. Dixon, Village Manager, Charles Witherington-Perkins, Director of Planning and Community Development, Nicholas Gadzekpo, Director of Building, Jack Treanor, Permit Division Supervisor, Petitioner, DC File 08-041

APPROVED

**MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
JUNE 24, 2008 AT 6:30 P.M.**

Chairman Eckhardt called the meeting to order at 6:30 p.m.

Members Present: Ted Eckhardt, Commission Chair
John Fitzgerald
Alan Bombick
Jim Tinaglia

Members Absent: Kirsten Kingsley

Also Present: Mr. & Mrs. Koczaj, Owners of *11 N. Waterman Ave.*
John Berta, Capital Architects for *11 N. Waterman Ave.*
Javier Villarreal, Owner of *Javier's*
Greg Ratas, Arlington Realty Partners for *The Esplanade*
Jared Gagliardo, HKM Architects for *The Esplanade*
Mark Battista, The Bob Rohrman Group for *Dodge/Chrysler/Jeep*
Jim Powell, GHA Architects for *Sheraton Outlot*
George Maurides, Attorney for *Sheraton Outlot*
The developer for *Sheraton Outlot*
Afshan Hamid, Staff Liaison
Pat DiMatteo, Recording Secretary

REVIEW OF MEETING MINUTES FROM MAY 13, 2008

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER TINAGLIA, TO APPROVE THE MEETING MINUTES OF MAY 13, 2008. ALL WERE IN FAVOR. THE MOTION CARRIED. COMMISSIONER BOMBICK ABSTAINED.

REVIEW OF MEETING MINUTES FROM JUNE 10, 2008

A MOTION WAS MADE BY COMMISSIONER TINAGLIA, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE MEETING MINUTES OF JUNE 10, 2008. ALL WERE IN FAVOR. THE MOTION CARRIED. CHAIRMAN ECKHARDT ABSTAINED.

Chairman Eckhardt changed the order of agenda items because there was no one present yet for the Dodge/Chrysler/Jeep project. The commissioners were not opposed to this.

ITEM 3. SIGN VARIATION REVIEW

DC# 08-041 – The Esplanade at Arlington Park

Mr. Greg Ratas, representing *Arlington Realty Partners*, and **Mr. Jared Gagliardo**, representing *HKM Architects*, were present on behalf of the project.

Ms. Hamid said that the petitioner was located in a B-3 zoning district, on the northeast corner of Euclid Avenue and Salt Creek Lane, and was approved for a strip retail center by the Village Board on December 3, 2007, known as The Esplanade. The site is located on the end of the Arlington Business Center, which consists of separately platted lots in one location for the purpose of a business park. The business park has two existing identification signs (Arlington Business Center), one on the northeast corner of Rohlwing Road and Salt Creek Lane and the second on the northeast corner of Euclid Avenue and Salt Creek Lane, which photos of were provided to the commissioners. The existing identification signs are each a height of 4'-6" and a width of 16 feet, 230 square feet total for both faces, and one identification sign is currently located on the southwest corner of the petitioner's property. The petitioner is proposing to demolish this existing identification sign and construct a new ground sign to be located further to the south on the same property. The petitioner is also proposing two multi-tenant ground signs on the property for the approved strip retail center; one to be located at the entrance off Euclid Avenue and the other to be located at the entrance off Salt Creek Lane, north of Euclid Avenue, both of which meet code in terms of size. The variations being requested are as follows: to allow a total of three ground signs on the site where only two signs are allowed, and 2 separate variations to allow less than the 800-feet of separation required between ground signs.

Ms. Hamid said that a landscape plan was submitted by the petitioner, which identified the amount, size and species of plant material to be located beneath each ground sign. Staff felt that the proposed landscape plan, which met code, complimented the existing landscape plan for the approved strip retail center. **Ms. Hamid** also explained that the petitioner has stated that due to the existing office park sign being relocated at the corner of Euclid Avenue and Salt Creek Lane, one of the proposed main project identification signs cannot be located at this prime location. Staff has reviewed the above request and the letter submitted in view of the hardship criteria, and does not object to the variations requested. The petitioner made the following comments on the requested variations: per the office Park Declaration and the subject property's title report, there is no legal basis for the office park sign to be installed on the petitioner's property, and the owner has proposed to re-install a new office park sign on their property as a sole gesture of good will to the office park tenants, however, it has no legal obligation to do so; per the title report an easement does not exist for the office park sign to be installed on the subject property, therefore it is within the owner's legal rights to remove it upon its own discretion. **Ms. Hamid** added that the site is unique in

that it is adjacent to a Business Park, and although the owner is not required to construct a sign for the Business Park, it is critical to recognize the Business Park and also to identify the shopping center.

Staff recommends the Design Commission approve the sign variation requests conditioned upon that the relocated Office Park ground sign maintain the height of 5'9" and 21SF, per the drawings submitted by the petitioner.

Commissioner Fitzgerald said that he was okay with the variations being requested. **Commissioner Tinaglia** had no problem with it. **Commissioner Bombick** said that the variations were fine with him. **Chairman Eckhardt** had no problem with the variations either. **Chairman Eckhardt** asked if there was any public comment on the project and there was no response from the audience.

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER TINAGLIA, TO RECOMMEND APPROVAL TO THE VILLAGE BOARD OF TRUSTEES FOR THE SIGN VARIATION REQUEST FOR THE ESPLANADE AT ARLINGTON PARK LOCATED AT 2920 W. EUCLID AVENUE, AS SUBMITTED. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE PLANS RECEIVED 05/07/08, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

- 1. A SIGN VARIATION FROM CHAPTER 30, SECTION 30-302, NUMBER a, TO ALLOW FOR 340'-6" OF SEPARATION BETWEEN THE RELOCATED OFFICE PARK GROUND SIGN AND THE NEW MULTI-TENANT PROJECT IDENTIFICATION GROUND SIGN ON EUCLID AVENUE, WHERE THE MINIMUM SEPARATION IS 800-FEET;**
- 2. A SIGN VARIATION FROM CHAPTER 30, SECTION 30-302, NUMBER a, TO ALLOW FOR 562'-10" OF SEPARATION BETWEEN THE NEW MULTI-TENANT PROJECT IDENTIFICATION GROUND SIGN ON EUCLID AVENUE AND THE NEW MULTI-TENANT PROJECT IDENTIFICATION GROUND SIGN ON SALT CREEK LANE, WHERE THE MINIMUM SEPARATION IS 800-FEET;**
- 3. A SIGN VARIATION FROM CHAPTER 30, SECTION 30-302, NUMBER a, TO ALLOW 3 GROUND SIGNS, WHERE ONLY 2 GROUND SIGNS ARE ALLOWED.**
- 4. THAT THE CURRENT VARIATION REQUEST BE APPROVED CONDITIONED UPON THE RELOCATED OFFICE PARK GROUND SIGN MAINTAINING A HEIGHT OF 5'9" AND 21 SF, AS PER THE SUBMITTED DRAWINGS;**
- 5. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING, SIGN CODE OR BUILDING OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE ARCHITECT/HOMEOWNER/BUILDER'S RESPONSIBILITY TO COMPLY WITH THE DESIGN COMMISSION APPROVAL AND ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS**

COMPLY WITH ALL ZONING CODE, BULDING CODE AND SIGN CODE REQUIREMENTS.

Chairman Tinaglia asked whether or not all 3 ground signs would be constructed at the same time, and **Mr. Ratas** replied that they would be. **Mr. Ratas** also said that they would do their best to coordinate the timing of removal of the existing office park sign and installation of the new one.

**TINAGLIA, AYE; ECKHARDT, AYE; BOMBICK, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. THE MOTION CARRIED.**

F. AERIAL UNIT AND CHASSIS

It is recommended that the Board of Trustees reject all bids for the Aerial Unit and chassis.

LEGAL

1. **A RESOLUTION APPROVING A FOURTH AMENDMENT TO A CONTRACT BETWEEN THE VILLAGE OF ARLINGTON HEIGHTS AND GROOT RECYCLING AND WASTE SERVICES FOR COLLECTION AND REMOVAL OF SINGLE-FAMILY RESIDENTIAL SOLID WASTE**
(1-year contract extension 04/01/09 through 03/31/10)
R08-031/A08-025

Trustee Scaletta moved adoption of the Consent Agenda. Trustee Stengren seconded the motion and roll was called with:

AYES: Scaletta, Stengren, Kucera, Jensen, Rosenberg, Breyer, Farwell, Mulder

NAYS: None

AYES 8 NAYS 0 – MOTION CARRIED.

NEW BUSINESS

A. PETITIONER: Arlington Realty Partners
Greg Ratas
13965 W. Burleigh Rd. #202
Brookfield, WI 53005
DC#08-041

PROPERTY: Esplanade at Arlington Park
2920 W. Euclid Ave.

REQUEST:

- Approval of the following sign variation:
 1. A variation from Chapter 30, section 30-302 Number a, to allow for 340'-6" feet separation between the relocated office park sign and the multi-tenant project identification sign on Euclid Avenue where the minimum separation is 800' feet.
 2. A variation from Chapter 30, section 30-302 Number a, to allow for 562'-10" feet separation between the multi-tenant

project identification sign on Euclid Avenue and the multi-tenant project identification sign on Salt Creek Lane where the minimum separation is 800' feet.

3. A variation from Chapter 30, section 30-302 Number a, to allow 3 ground signs where only two are allowed.

A public meeting was held by the Design Commission on June 24, 2008 to consider the matter detailed above.

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER TINAGLIA, TO RECOMMEND APPROVAL TO THE VILLAGE BOARD OF TRUSTEES FOR THE SIGN VARIATION REQUEST FOR THE ESPLANADE AT ARLINGTON PARK LOCATED AT 2920 W. EUCLID AVENUE, AS SUBMITTED. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE PLANS RECEIVED 05/07/08, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

- 1. A SIGN VARIATION FROM CHAPTER 30, SECTION 30-302, NUMBER a, TO ALLOW FOR 340'-6" OF SEPARATION BETWEEN THE RELOCATED OFFICE PARK GROUND SIGN AND THE NEW MULTI-TENANT PROJECT IDENTIFICATION GROUND SIGN ON EUCLID AVENUE, WHERE THE MINIMUM SEPARATION IS 800-FEET;**
- 2. A SIGN VARIATION FROM CHAPTER 30, SECTION 30-302, NUMBER a, TO ALLOW FOR 562'-10" OF SEPARATION BETWEEN THE NEW MULTI-TENANT PROJECT IDENTIFICATION GROUND SIGN ON EUCLID AVENUE AND THE NEW MULTI-TENANT PROJECT IDENTIFICATION GROUND SIGN ON SALT CREEK LANE, WHERE THE MINIMUM SEPARATION IS 800-FEET;**
- 3. A SIGN VARIATION FROM CHAPTER 30, SECTION 30-302, NUMBER a, TO ALLOW 3 GROUND SIGNS, WHERE ONLY 2 GROUND SIGNS ARE ALLOWED.**
- 4. THAT THE CURRENT VARIATION REQUEST BE APPROVED CONDITIONED UPON THE RELOCATED OFFICE PARK GROUND SIGN MAINTAINING A HEIGHT OF 5'9" AND 21 SF, AS PER THE SUBMITTED DRAWINGS;**
- 5. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN**

APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING, SIGN CODE OR BUILDING OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE ARCHITECT/HOMEOWNER/BUILDER'S RESPONSIBILITY TO COMPLY WITH THE DESIGN COMMISSION APPROVAL AND ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

TINAGLIA, AYE; ECKHARDT, AYE; BOMBICK, AYE FITZGERALD, AYE. ALL WERE IN FAVOR. THE MOTION CARRIED.

Mr. George Ratas, Arlington Realty Partners, and Mr. Jared Gagliardo, Gateway Architecture appeared before the Board.

President Mulder asked what other stores will be in the center. Mr. Ratas said they have Starbucks, Subway, a Cellular business, a medical clinic and they are talking to a sit-down restaurant and a pizza operator. He said that they are currently negotiating with about 13,000 square feet total tenants.

Trustee Scaletta said the Design Commission fully voted for this and he thinks the new development look great and people need to be able to see signs in order to know that the businesses are there.

Trustee Scaletta moved to grant a 1. A SIGN VARIATION FROM CHAPTER 30, SECTION 30-302, NUMBER a, TO ALLOW FOR 340'-6" OF SEPARATION BETWEEN THE RELOCATED OFFICE PARK GROUND SIGN AND THE NEW MULTI-TENANT PROJECT IDENTIFICATION GROUND SIGN ON EUCLID AVENUE, WHERE THE MINIMUM SEPARATION IS 800-FEET; 2. A SIGN VARIATION FROM CHAPTER 30, SECTION 30-302, NUMBER a, TO ALLOW FOR 562'-10" OF SEPARATION BETWEEN THE NEW MULTI-TENANT PROJECT IDENTIFICATION GROUND SIGN ON EUCLID AVENUE AND THE NEW MULTI-TENANT PROJECT IDENTIFICATION GROUND SIGN ON SALT CREEK LANE, WHERE THE MINIMUM SEPARATION IS 800-FEET; 3. A SIGN VARIATION FROM CHAPTER 30, SECTION 30-302, NUMBER a, TO ALLOW 3 GROUND SIGNS, WHERE ONLY 2 GROUND SIGNS ARE ALLOWED. 4. THAT THE CURRENT VARIATION REQUEST BE

**APPROVED CONDITIONED UPON THE RELOCATED OFFICE PARK
GROUND SIGN MAINTAINING A HEIGHT OF 5'9" AND 21 SF, AS PER
THE SUBMITTED DRAWINGS; 5. THIS REVIEW DEALS WITH
ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED
TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY
OTHER ZONING, SIGN CODE OR BUILDING OR ANY OTHER REVIEWS.
IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT
DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE
DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD
APPROVAL CONDITIONS. IT IS THE
ARCHITECT/HOMEOWNER/BUILDER'S RESPONSIBILITY TO COMPLY
WITH THE DESIGN COMMISSION APPROVAL AND ENSURE THAT
BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH
ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.**
TRUSTEE STENGREN SECONDED THE MOTION AND ROLL WAS
CALLED WITH:
AYES: SCALETTA, STENGREN, KUCERA, BREYER, FARWELL,
ROSENBERG, JENSEN, MULDER
NAYS: NONE
AYES 8 NAYS 0 – **MOTION CARRIED.**

PETITIONS AND COMMUNICATIONS

President Mulder said that she wanted to remind the residents that they have the opportunity to enjoy Community Days at Arlington Park September 13th and 14th. Also, with school starting she hopes residents will drive carefully. She also remembered the 9-11 tragedy and said that there are a lot of functions going on.

Trustee Jensen said that her church, Church of Christ, at 1100 West Kirchoff Road, is dedicating a peace pole on Sunday, September 7th at 1:00 PM.

ADJOURNMENT

Trustee Stengren moved to adjourn the meeting at 8:58 PM. Trustee Scaletta
seconded the motion and it carried unanimously.

Edwina Corso, Village Clerk