



Agenda
Village of Arlington Heights
Design Commission
Virtual Meeting

October 13, 2020
6:30 PM

I. CALL TO ORDER

- A. In response to the COVID-19 pandemic, this meeting is closed to in-person, public attendance. The meeting is being held virtually, which permits the public to fully participate via their computers or using their phones.

To participate in the virtual meeting, please follow these instructions: <https://bit.ly/3jDejs0>

Individuals who wish to comment or ask a question on an item on the Agenda may either participate virtually or send an email to the Village at shautzinger@vah.com. Please limit emails to 200 words or less. To be shared at the meeting, the email must be received by 3:00 p.m. on October 13, 2020.

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Minutes - 9/22/20

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. DC#20-055 - 1141 N. Chestnut Ave. - SF/Teardown
B. DC#20-056 - 1145 N. Chestnut Ave. - SF/Teardown

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an

American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



**Design Commission
10/13/2020**

Item: Minutes - 9/22/20

Department: Planning and Community Development

ATTACHMENTS:

Description

Minutes - 9/22/20

Type

Minutes

DRAFT

MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION
VIRTUAL MEETING
SEPTEMBER 22, 2020

Chair Fitzgerald called the meeting to order at 6:30 p.m.

Members Present: John Fitzgerald, Chair
Kirsten Kingsley
Scott Seyer

Members Absent: Ted Eckhardt
Jonathan Kubow

Also Present: Gerald Becker, FastSigns for *The Goddard School*
Erin Witt for *The Goddard School*
Steve Hautzinger, Staff Liaison

Chair Fitzgerald read the following statement as requested by the Village: I find that the public health concerns related to the coronavirus pandemic render in-person attendance at the regular meeting location not feasible.

Chair Fitzgerald stated that with only 3 commissioners in attendance tonight, a positive vote was needed from all three commissioners for a project to be approved. He also asked the petitioners and anyone speaking from the public, to state their name before speaking. **Mr. Hautzinger** added instructions for muting when not speaking and how to raise hand when someone wants to speak.

REVIEW OF MEETING MINUTES FOR AUGUST 25, 2020

A MOTION WAS MADE BY COMMISSIONER SEYER, SECONDED BY COMMISSIONER KINGSLEY, TO APPROVE THE MEETING MINUTES OF AUGUST 25, 2020. ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 1. SIGN VARIATION REVIEW**DC#20-053 – The Goddard School – 1316 N. Arlington Heights Rd.**

Gerald Becker, representing *FastSigns*, and **Erin Witt**, Site Development Manager for *The Goddard School*, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The Goddard School is currently completing an extensive renovation of an existing building to create a new day care facility. This project received approval as a Land Use Variation to allow a day care facility in an O-T Office Transitional Zoning District, where typically only office uses are allowed. Since O-T Zoning Districts are intended to be light commercial uses adjacent to Residential Zoning Districts, signage is limited. Chapter 30 sign code only allows one freestanding monument sign per development, and walls signs are prohibited.

The petitioner is requesting the following variation:

1. A variation from Chapter 30, section 30-202, to allow three wall signs totaling 47.4 sf, where wall signs are not allowed in the O-T Zoning District.

The main wall Sign #1 indicates the name of the business and is proposed to be located on the front (east) elevation facing Arlington Heights Road. A second small round logo, Sign #2, is proposed on the front elevation, and the third wall Sign#3, is proposed to be located above the main building entrance, which is located at the southwest corner of the building. In addition to the wall signs, one code-compliant ground sign has been approved facing Arlington Heights Road.

The petitioner submitted a letter addressing the sign variation criteria, stating that the primary need for the wall signs is to identify the business, and to identify the location of the main entrance that is towards the rear of the building. The petitioner states that the signs will not be illuminated, so there will be no impact on the adjacent residences. The design of the signs is based on corporate guidelines, and they feel there will be no competitive advantage over the neighboring Kinder Care day care, which has a similar wall sign and ground sign.

With regards to Staff comments, Staff agrees that some wall signage is necessary to identify the business. If this business was located in a commercial zoning district, they would be allowed one wall sign facing Arlington Heights Road, but the two additional wall signs would not be allowed. However, Staff does not object to the proposed additional wall sign located above the main entrance, which will help with wayfinding on the site. In regards to the third small logo wall sign on the front of the building, it is located above a classroom exit door, so Staff does not understand the need for, or purpose of this sign, and recommends it be omitted. Overall, the signs are nicely designed, and Staff agrees that since the proposed wall signs are not illuminated, there will be no negative impact on the adjacent residences.

Staff recommends that the Design Commission recommend **denial** to the Village Board for the following sign variation for *The Goddard School* at 1316 N. Arlington Heights Road:

1. A variation from Chapter 30, section 30-202, to allow three wall signs totaling 47.4 sf, where wall signs are not allowed in the O-T Zoning District.

Staff recommends that the Design Commission recommend **approval** to the Village Board for the following sign variation for *The Goddard School* at 1316 N. Arlington Heights Road:

1. A variation from Chapter 30, section 30-202, to allow **two** wall signs (signs #1 & 3) totaling 45.1 sf, where wall signs are not allowed in the O-T Zoning District.

Mr. Becker said that the 3 wall signs being proposed are all part of the branding and identification of The Goddard School. The signs are all the same HDU material and are proportional to the specs that The Goddard School has created in terms of identifying the building and the logo. **Ms. Witt** said that their branding is trademarked to include both the logo and the name of the school in the same horizontal line, and since this is a prototype building, they want to have their branding as close to the road as possible. Since it is not feasible to have both the logo and school name where Sign #2 is being located, just the logo is being proposed there to give extra branding to the school.

Chair Fitzgerald asked if there was any public comment on the project at this time, and **Mr. Hautzinger** said there was none.

The commissioners summarized their comments. **Commissioner Kingsley** said that the signs being proposed are pleasant and necessary, especially Signs #1 and #3, and she had no issue with the variations being requested for those signs. She also appreciated that Sign #1 is the larger of these two signs, which **Mr. Becker** confirmed. **Commissioner Kingsley** had concerns with Sign #2, the small logo wall sign, because it did not indicate an entrance, and she was inclined to not support a variation for it. She added that the code compliant monument sign being proposed looks nice.

Commissioner Seyer agreed with Commissioner Kingsley's comments about Signs #1 and #3, which include the name of the school. He felt these two signs are appropriate and necessary, and he liked the way they fit on the two facades and that they will not be illuminated. He was in support of the variations for these 2 signs; however, he had concerns about Sign #2, the round logo wall sign. He did not understand the purpose of this sign and asked for clarification. He wanted to work with the petitioner on their signage, while recognizing issues with precedence for having more than 1 or 2 sign variations on a particular project.

Chair Fitzgerald agreed with the comments made by the other commissioners. He liked Sign #1 at the north end on the front (east) elevation, Sign #3 over the main entrance on the south elevation, and the monument ground sign being proposed. He was not in favor of Sign #2, which is the logo wall sign, because it looked stuck on the building, it was not needed, and it did not indicate a specific entrance.

Commissioner Seyer said that it appears as though all 3 commissioners are fairly unanimous in their lack of support for Sign #2, the logo wall sign being proposed at the south end of the east elevation. He asked the petitioner how important it was to have this sign. **Ms. Witt** pointed out the blue playground area located somewhat in front of the wall sign at the north end of the east elevation, and said that they were looking at the logo wall sign as an unobstructed view of signage on the front elevation, in case the playground structure was obstructing the other wall signage. She completely understood the commissioners' comments about the logo wall sign, which they would love to have if possible.

Chair Fitzgerald said that because of how nice the monument sign is, he wanted to keep with his original support of the variations for Signs #1 and #3 only. **Commissioner Kingsley** asked to see the site plan, and said that while she understood the petitioner's comments about the close proximity of the wall sign at the front entry and the adjacent playground structure, she felt that 2 wall signs would be adequate for the building, especially with the monument sign. She was comfortable in supporting variations for Signs #1 and #3 only.

A MOTION WAS MADE BY COMMISSIONER KINGSLEY, SECONDED BY COMMISSIONER SEYER, TO RECOMMEND TO THE VILLAGE BOARD OF TRUSTEES, DENIAL OF THE FOLLOWING SIGN VARIATION REQUEST FOR *THE GODDARD SCHOOL* LOCATED AT 1316 N. ARLINGTON HEIGHTS ROAD:

1. A VARIATION FROM CHAPTER 30, SECTION 30-202, TO ALLOW THREE WALL SIGNS TOTALING 47.4 SF, WHERE WALL SIGNS ARE NOT ALLOWED IN THE O-T DISTRICT.

A MOTION WAS MADE BY COMMISSIONER KINGSLEY, SECONDED BY COMMISSIONER SEYER, TO RECOMMEND TO THE VILLAGE BOARD OF TRUSTEES, APPROVAL OF THE FOLLOWING SIGN VARIATION REQUEST FOR *THE GODDARD SCHOOL* LOCATED AT 1316 N. ARLINGTON HEIGHTS ROAD:

1. A VARIATION FROM CHAPTER 30, SECTION 30-202, TO ALLOW TWO WALL SIGNS, (SIGNS #1 & 3), TOTALING 45.1 SF, WHERE WALL SIGNS ARE NOT ALLOWED IN THE O-T DISTRICT.

THIS RECOMMENDATION IS BASED ON THE PLANS RECEIVED 8/11/20, FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

SEYER, AYE; KINGSLEY, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

Mr. Hautzinger explained to the petitioner that the Design Commission is a recommending body to the Village Board for all sign variations, and he will coordinate with the petitioner to schedule the review with the Village Board.

ITEM 2. GENERAL MEETING

Mr. Hautzinger gave an update on this year's Alan F. Bombick Award. The recipients of the award have been selected and notified, and he is currently working on getting the plaques ordered; however, presentation of the award has not yet been determined. There is hope to host the meeting in person, so we are waiting for November to see when in-person meetings might possibly resume.

Commissioner Kingsley wanted to talk about the inspection process of homes under construction in the Village. She recently became aware of a home under construction that was not following the design drawings that were approved by this commission which involved the setback of dormers. Issues like this should be caught during inspection, but since the inspection is done late in the building process, she wondered what will happen when issues like this are found when the building is so far along in construction. She was unsure how often this actually happens, but she felt this topic should be discussed because she took issue with working hard on this commission if it is difficult to enforce.

Chair Fitzgerald agreed that this is an important issue, and he recalled years ago when a project had to come back to the Design Commission for approval of changes that were made in the field.

Mr. Hautzinger gave background on the specific project Commissioner Kingsley was talking about, and explained that this issue was reported to the Building Department for enforcement. Revised construction plans were then submitted to reflect the field change, and after reviewing it with Commissioners Kingsley, Staff approved the change. However, he acknowledged Kirsten's concerns about avoiding this same issue from happening again in the future.

Mr. Hautzinger felt that this was somewhat of an isolated situation. He explained the process that after Design Commission or Staff administrative design approval, Staff then reviews the building permit plans for compliance with the approved design plans as well as confirming that all required design revisions are incorporated into the permit plans. Plans are then required to be followed in the field, and inspectors review the construction for compliance.

Chair Fitzgerald stated that the approved look of each project should occur unless it is decided to leave it open ended for Staff to decide before a permit is issued. In this particular case, he was glad to hear that it had to come back to Staff for approval, and he had faith in Staff's approval that the change that was made was still acceptable and does not look ridiculous. He hoped that if it looked really bad, then they would either be required to change it or brought back to the Design Commission for approval.

Commissioner Kingsley reiterated her concern that because the inspections happen so late in the building process, it can become impractical to make corrections to the construction. She acknowledged that the timing of the inspections is not going to change, but she wanted there to be some teeth in the process to enforce the Design Commission's requirements.

Mr. Hautzinger reiterated that he felt this was somewhat of an isolated situation, and it is not a problem that comes up often at all. Sometimes things can happen, but in his perception, this has not been a recurring problem. He reiterated that Staff works very thoroughly on each project to enforce the Design Commission's requirements. He does not personally inspect each project during construction, but for those projects that are observed, his observations are that the approved plans are being followed in the finished construction.

Commissioner Kingsley asked Staff to let the Design Commission know if this happens again, but she just wanted to bring this up because it highlights the potential that it can happen. She thanked everyone for discussing this matter.

Mr. Hautzinger encouraged the Design Commissioners to report these matters to Staff if they ever observe them. He reiterated that unapproved changes in the field can be brought back to the Design Commission for review, and he assured the Design Commissioners that their hard work and attention to detail is not getting lost in the process.

A MOTION WAS MADE BY COMMISSIONER SEYER, SECONDED BY COMMISSIONER KINGSLEY, TO ADJOURN THE MEETING AT 7:10 PM.

KINGSLEY, AYE; SEYER, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

DRAFT



Design Commission 10/13/2020

Item: DC#20-055 - 1141 N. Chestnut Ave. - SF/Teardown

Department: Planning and Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission approve the proposed architectural design for the new (teardown) single-family home to be located at 1141 N. Chestnut Avenue. This recommendation is subject to compliance with the architectural plans received 9/28/20, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. A recommendation to add some masonry accents to the design to better fit with the character of the neighborhood.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
3. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report
Drawings & Documents

Type

Board or Commission Report
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 1141 N. Chestnut Avenue
Project Address: 1141 N. Chestnut Avenue
Prepared By: Steve Hautzinger

Date Prepared: October 7, 2020

PETITION INFORMATION:

DC Number: 20-055
Petitioner Name: Kevin Purdom
Petitioner Address: JRC Design Build
1275 E. Davis Street
Arlington Heights, IL 60005
Meeting Date: October 13, 2020

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines.

The petitioner is proposing to demolish an existing single-story residence on a double lot to allow construction of two new two-story residences with attached, two-car garages (refer to DC:20-056 for 1145 N. Chestnut). The subject site is zoned R-3, One Family Dwelling District. This lot has a total land area of 7,392 square feet. Variations were granted by the Zoning Board of Appeals on September 14, 2020 to allow a 7,397 sf to be buildable where 8,750 sf is required, and to allow a lot width of 56 feet where 70 feet minimum is required.

The proposed house will have approximately 3,326 square feet, and it does comply with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 20 feet Side: 5.6 feet Side: 5.6 feet Rear: 30 feet	Front: 31 feet Side: 5.6 feet Side: 5.6 feet Rear: 42.7 feet
Building Height	25 feet to the midpoint	24.3 feet to the midpoint
FAR	3,326 SF	3,326 SF
Building Lot Coverage	2,587 SF	2,587 SF
Impervious Surface Coverage Total	3,696 SF	3,637 SF

The existing neighborhood has a variety of homes including single-story and two-story homes. However, the subject property is located on a block that is primarily single-story homes with a mix of attached and detached garages. It should be noted that there are five newer two-story homes with attached garages previously built on the southern end of this block.

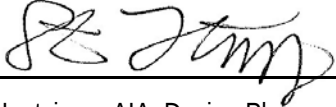
Overall, the proposed design is nicely done in a traditional style that will generally fit well in this location. The single-story front porch, the eave detail above the garage, and the single-story third car garage space help the design to relate and transition to the adjacent single-story house. The all siding exterior has a nice appearance, but all of the houses on this block have some masonry incorporated in the design, which the proposed design lacks.

RECOMMENDATION:

It is recommended that the Design Commission **approve** the proposed architectural design for the new (teardown) single-family home to be located at 1141 N. Chestnut Avenue. This recommendation is subject to compliance with the architectural plans received 9/28/20, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. A recommendation to add some masonry accents to the design to better fit with the character of the neighborhood.

2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
3. Compliance with all applicable Federal, State, and Village codes, regulations and policies.



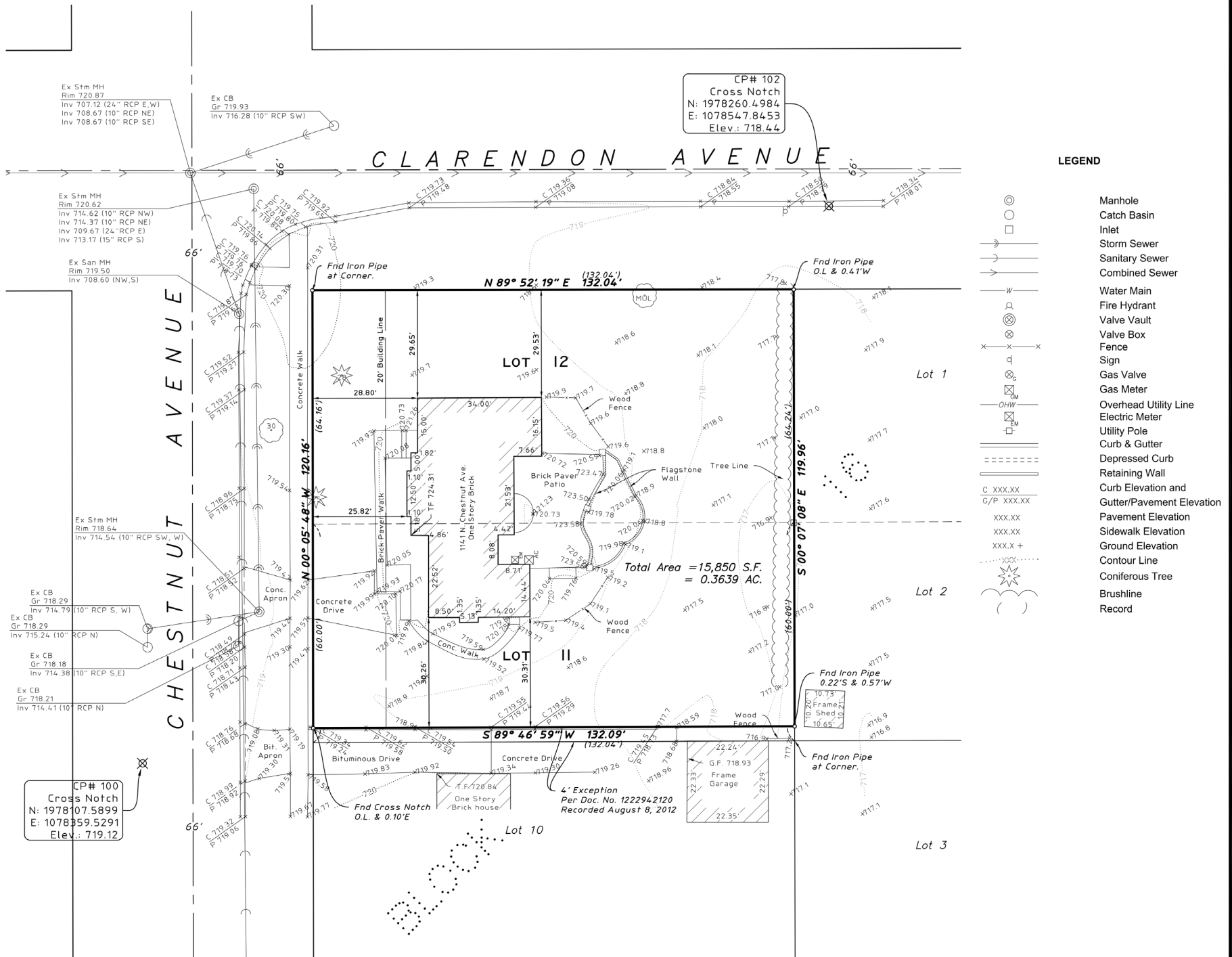
October 7, 2020

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 20-055

LEGAL DESCRIPTION

LOTS 11 AND 12 (EXCEPT THE SOUTH 4.0 FEET OF LOT 11) IN BLOCK 16 IN NORTHWEST HIGHLANDS, A SUBDIVISION OF THE EAST HALF OF THE SOUTHEAST QUARTER (EXCEPT 2 ACRES IN THE EXTREME SOUTHEAST CORNER) OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



Site Benchmark

CP # 100 (See Survey)
Description: Cross Notch
Elevation: 719.12 NAVD 88 (Geoid 12A)

CP # 102 (See Survey)
Description: Cross Notch
Elevation: 718.44 NAVD 88 (Geoid 12A)

Surveyor's Notes:

- Field work was completed on June 3, 2020.
- The Horizontal coordinates and basis of bearing shown hereon are based on NAD 83(2012) Illinois East Zone 1201 State Plane Coordinates as referenced from Kara Company's RTK Network.
- The Vertical Datum referenced hereon is based on NAVD 88 (Geoid 12A) as referenced from Kara Company's RTK Network.
- A title commitment policy was not provided for this survey. This property may be subject to easements and/or restrictions not provided to the surveyor prior to the completion of this survey.
- Utility information shown hereon is based upon field measurements, available records. Information from field data is limited to that which is visible and can be measured. This survey does not exclude the possibility of the existence of other underground utilities and/or structures. Record information is based upon data collected from both public and private sources. The completeness and/or accuracy of these records cannot be guaranteed, except for those items that can be verified by field measurement. Prior to any excavation contact J.U.L.I.E. (1-800-892-0123).

State of Illinois)
County of Cook) SS:

This professional service conforms to the current Illinois minimum standards for a boundary topographic survey.

Schaumburg, Illinois June 16, 2020

By: _____ Illinois Professional Land Surveyor No. 3695

Ordered By: JRC Builders
Order No.: 20-080

EXPIRES 11-30-20

BOUNDARY & TOPOGRAPHIC SURVEY

1141 N. CHESTNUT AVE
ARLINGTON HEIGHTS, IL

HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60173 • Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003152
www.haegerengineering.com

No. _____ Date _____ Revision _____



Scale: 1" = 20'

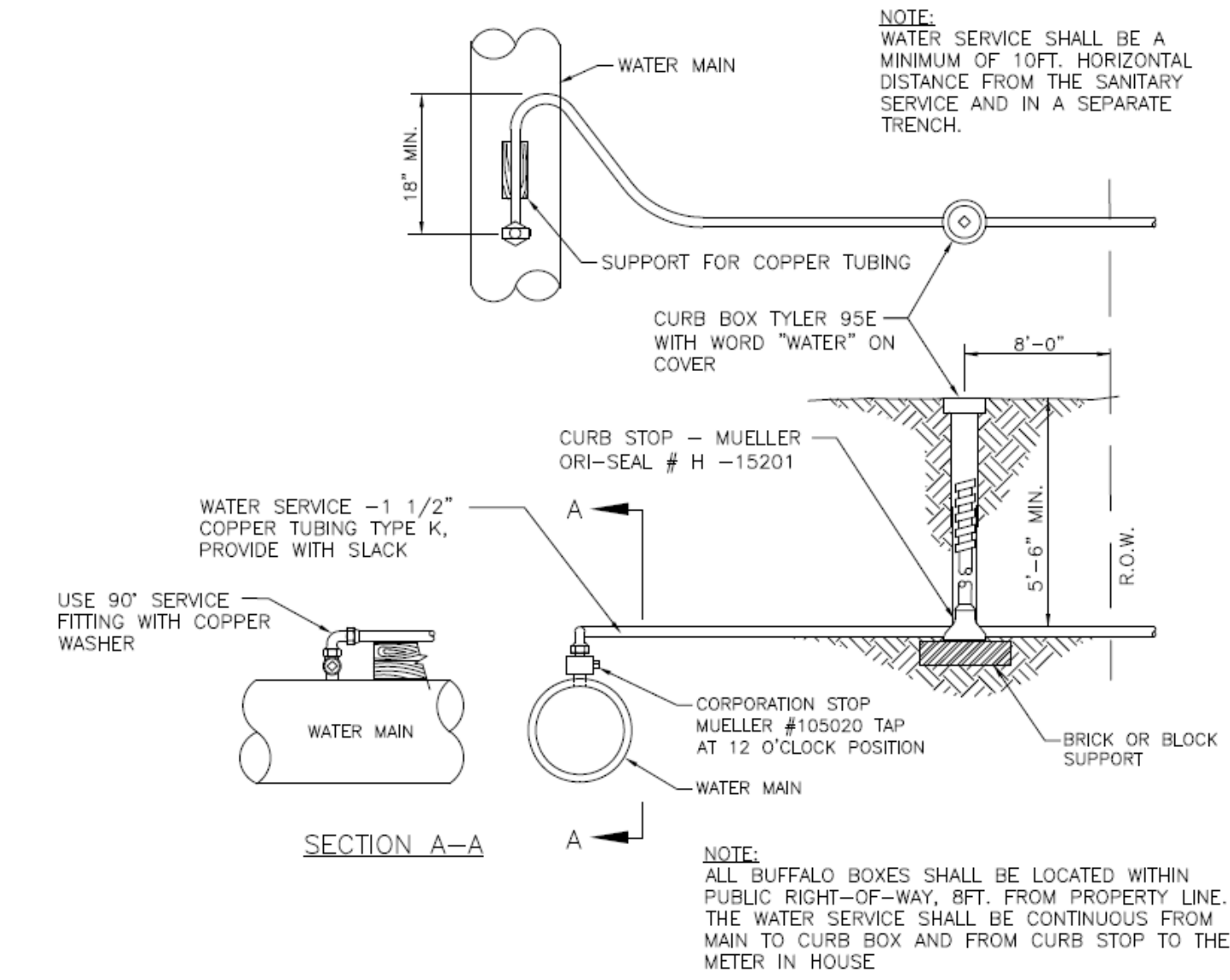
SITE SETBACKS (R-3)		
	REQUIRED	PROPOSED
FRONTYARD	27'-8"	31'-10"
INTERIOR SIDEYARD 10% LOT WIDTH	5.6'	5.6'
INTERIOR SIDEYARD 10% LOT WIDTH	5.6'	5.6'
REARYARD	30'-0"	42'-7"
HEIGHT - MEAN	MAX 25'-0"	23'-8"

AVERAGE SETBACKS	
ADDRESS	FRONT YARD
1141 CHESTNUT (SUBJECT PROPERTY)	25'-2"
1137 CHESTNUT AVE	27'-2"
1133 CHESTNUT AVE	25'-8"
1127 CHESTNUT AVE	29'-4"
1119 CHESTNUT AVE	29'-0"
1111 CHESTNUT AVE	28'-3"
1105 CHESTNUT AVE	29'-4"
216 W OAKTON ST	28'-1"
AVERAGE SETBACK	27'-8"

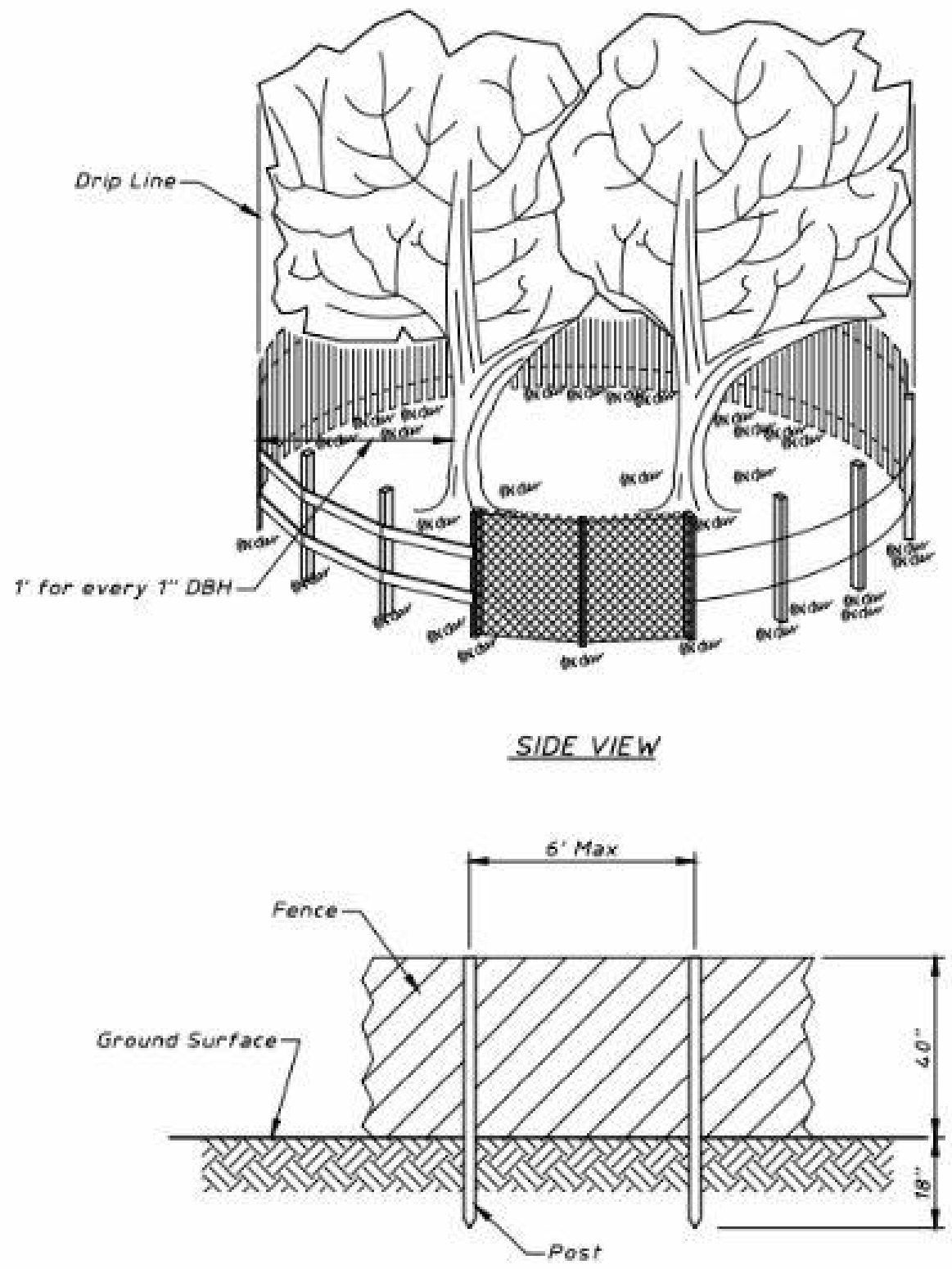
SITE PLAN LEGEND & NOTES

- INFORMATION ON THIS DRAWING IS ACCUMULATED FROM EXISTING DOCUMENTATION AND MUST BE CONFIRMED BY THE CONTRACTOR AND COORDINATED WITH THE ARCHITECT PRIOR TO CONSTRUCTION. ARCHITECTURAL SITE PLAN IN FOR SCHEMATIC PURPOSES ONLY. SEE SITE ENGINEERING PLAN AND LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- VERIFY LOCATIONS OF ALL UTILITIES AND OTHER BUILDING SERVICES PRIOR TO EXCAVATION.
- PROTECT EXISTING LANDSCAPING DURING CONSTRUCTION, TO GREATEST EXTENT POSSIBLE.
- PROVIDE TEMPORARY CONSTRUCTION/SECURITY FENCING AROUND ALL OPEN EXCAVATIONS; HEIGHT AS REQ'D BY LOCAL CODES.
- VERIFY LOCATIONS OF ALL MATERIAL STOCKPILES AND DUMPSTERS WITH OWNER.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCIES IN FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.
- PLEASE NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- STATE LAW: BEFORE DIGGING, CALL JULIE (811 OR 1-800-892-0123) FOR LOCATION OF PUBLIC AND PRIVATE UTILITIES AT WORK SITE. 48 HOUR NOTICE IS REQUIRED.
- THE HOUSE SHALL PASS A BLOWER DOOR TEST AND A COPY OF THE RESULTS SHALL BE PROVIDED TO THE BUILDING DEPARTMENT PRIOR TO SCHEDULING THE FINAL INSPECTIONS.
- CONSTRUCTION DEBRIS AND REFUSE CONTAINMENT SHALL BE REQUIRED FOR ALL JOB SITES. CONTAINMENT SHALL OCCUR ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT & SHALL BE WITHIN A DUMPSTER, STRUCTURE, OR CONTAINER THAT CAN BE COVERED TO PREVENT WINDBLOWN DEBRIS. ALL SUCH DUMPSTERS, STRUCTURES, OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.
- ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH NEW SOD ON 6" OF TOPSOIL. ALL SOD SHALL BE WATERED AS REQ'D TO SUSTAIN GROWTH.
- ALL PARKWAY TREES SHALL HAVE A SNOW FENCE THAT EXTENDS TO THE DRIP LINE. NO TRAFFIC SHALL GO OVER THE ROOT SYSTEM. SURFACE DRAINAGE TO BE DIVERTED FROM STRUCTURE SO AS NOT TO CREATE A HAZARD ON THIS OR ADJACENT PROPERTY. GRADE FROM FOUNDATION TO DROP A MINIMUM OF 6" IN 10'-0". PROVIDE SWALES OR DRAINS TO ENSURE DRAINAGE FROM STRUCTURE AND ADJACENT PROPERTY.
- TOILET FACILITIES SHALL BE PROVIDED AT ALL JOB SITES PER ILLINOIS PLUMBING CODE. THIS WILL BE A CONDITION OF THE PERMIT.
- PROVIDE AND MAINTAIN A 5'-0" HIGH FENCE ALONG THE FULL LENGTH OF INTERIOR SIDE YARDS UNTIL EXTERIOR CONSTRUCTION IS COMPLETE.
- PROVIDE AND MAINTAIN A 5'-0" HIGH CONSTRUCTION FENCE DURING NON-WORKING HOURS THAT WILL ENCLOSE ALL OPEN EXCAVATIONS UNTIL FOUNDATION IS BACK-FILLED & FIRST FLOOR DECK IS COMPLETED.
- ERECT PROTECTIVE SNOWFENCE PRIOR TO ANY CONSTRUCTION ACTIVITY. DO NOT STORE ANY EQUIPMENT OR MATERIALS WITHIN THE PROTECTION AREA. REMOVE THE PROTECTIVE SNOW FENCE ONLY AFTER CONSTRUCTION IS COMPLETE.
- ALL TREES ARE TO BE PROTECTED DURING CONSTRUCTION WITH FENCING FOR EVERY 1" OF TREE DIAMETER. MAINTAIN 1'-0" DISTANCE AWAY FOR FENCING.

- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- E ELECTRIC
- G GAS
- (— STORM SEWER
- < — SANITARY SEWER
- W — WATER



TYPICAL 1 1/2" DOMESTIC WATER SERVICE



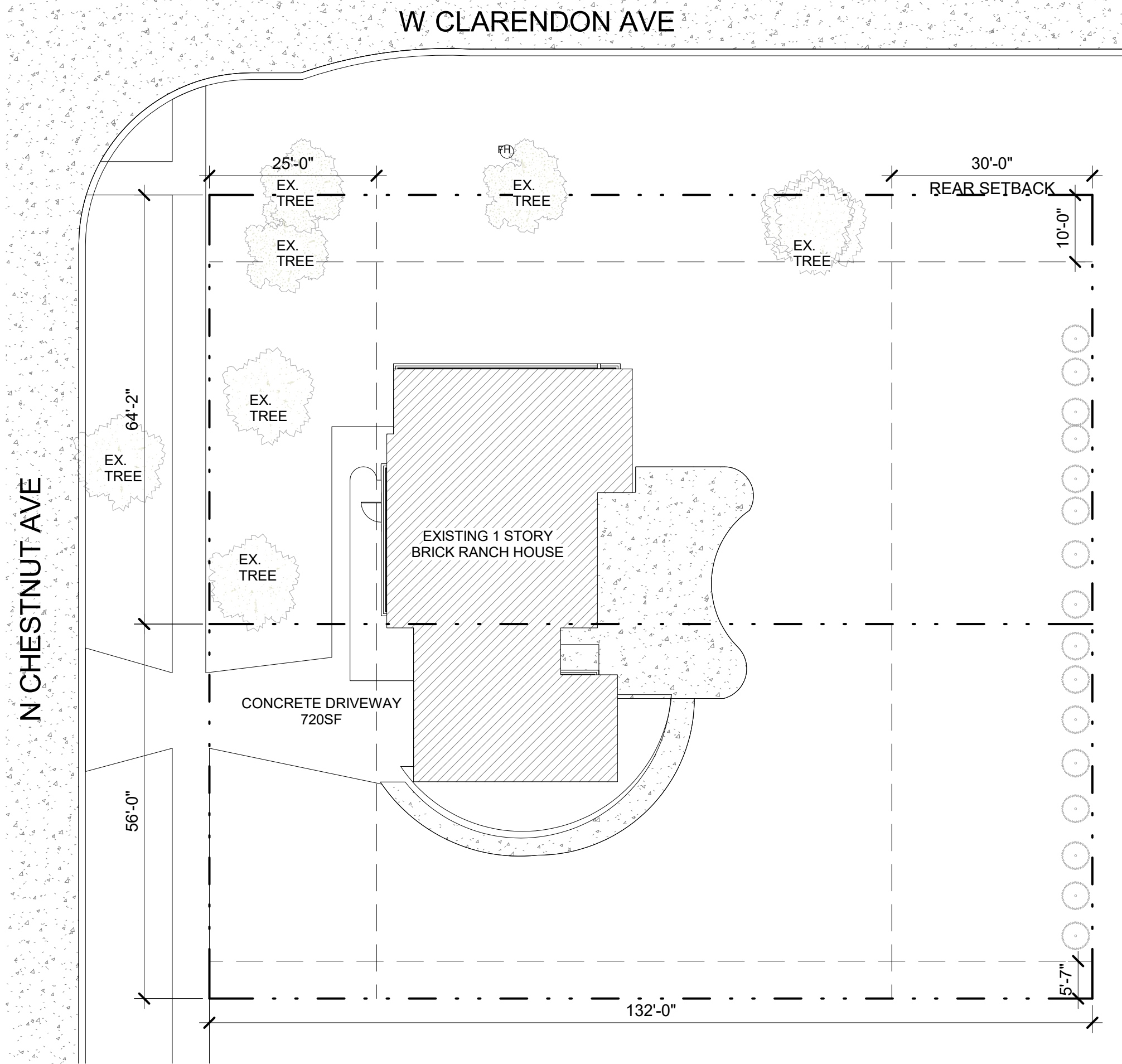
SIDE VIEW

POST AND FENCE DETAIL

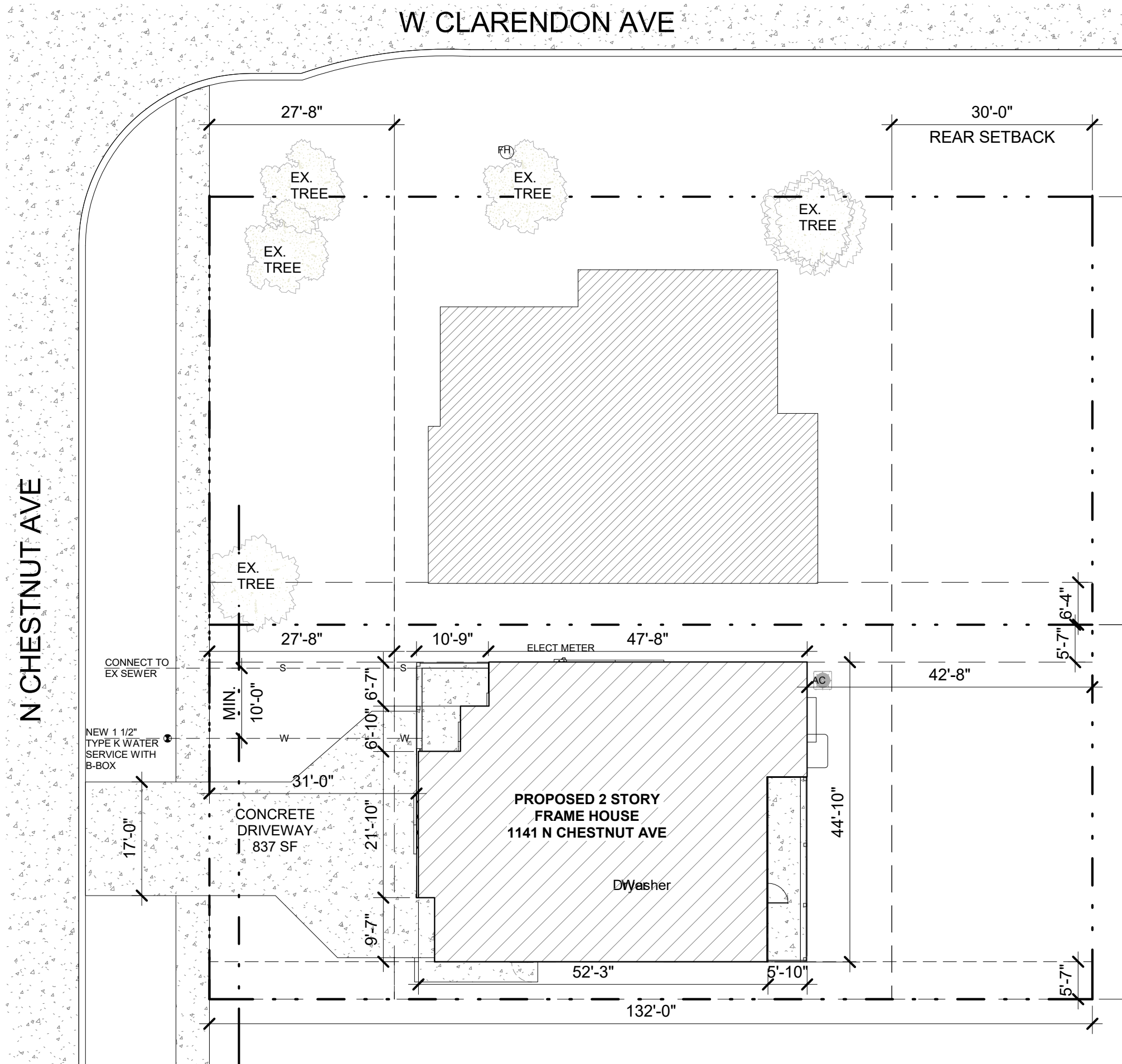
NOTES:

- The fence shall be located outside the drip line of the tree to be saved and in no case closer than 1 foot for every 1" DBH to the trunk of any tree.
- Fence posts shall be either standard steel posts or wood posts with a minimum cross sectional area of 3.0 sq. in.
- The fence may be either 4.0" high snow fence, 4.0" plastic web fencing or any other material as approved by the engineer.

TREE PROTECTION - FENCING



1 SITE PLAN - EXISTING
A1.0 1/16" = 1'-0"



2 SITE PLAN - PROPOSED
A1.0 1/16" = 1'-0"



1275 E. DAVIS, ARLINGTON HEIGHTS, IL 60005
PHONE: (847)255-2322
EMAIL: JIMJRC@GMAIL.COM
C 2020 COPYRIGHT. ALL RIGHTS RESERVED

NEW SINGLE FAMILY
RESIDENCE
1141 N CHESTNUT AVE
ARLINGTON HEIGHTS, IL
60004

DATE

09/25/2020

ISSUE DATE

09/08/2020

1 - DESIGN REVIEW
REV01

09/25/2020

ISSUE FOR PERMIT

THESE DRAWINGS ARE NOT FOR
CONSTRUCTION AND ARE FOR CONCEPT ONLY.
DIMENSIONS, HEIGHTS, AND WALL LOCATIONS
TO BE VERIFIED.

SHEET TITLE
SITE PLAN

SHEET NUMBER

A1.0

NEW SINGLE FAMILY
RESIDENCE
1141 N CHESTNUT AVE
ARLINGTON HEIGHTS, IL
60004

DATE
09/08/2020

ISSUE DATE
09/08/20201 - DESIGN REVIEW
REV01

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SHEET TITLE
SURROUNDING PROPERTIES

SHEET NUMBER

A5.1



PROPERTY TO LEFT 3
1211 N CHESTNUT



PROPERTY TO LEFT 2
1207 N CHESTNUT



PROPERTY TO LEFT 1
1201 N CHESTNUT

W CLARENDON ST

N CHESTNUT AVE



PROPERTY TO ACROSS 1
1146 N CHESTNUT



PROPERTY TO ACROSS 2
1142 N CHESTNUT



PROPERTY TO ACROSS 3
1138 N CHESTNUT



SUBJECT PROPERTY
1141 N CHESTNUT



PROPERTY TO RIGHT 1
1137 N CHESTNUT



PROPERTY TO RIGHT 2
1133 N CHESTNUT



PROPERTY TO RIGHT 3
1127 N CHESTNUT



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**NEW SINGLE FAMILY
RESIDENCE**
1141 N CHESTNUT AVE
ARLINGTON HEIGHTS, IL
60004

DATE
09/08/2020

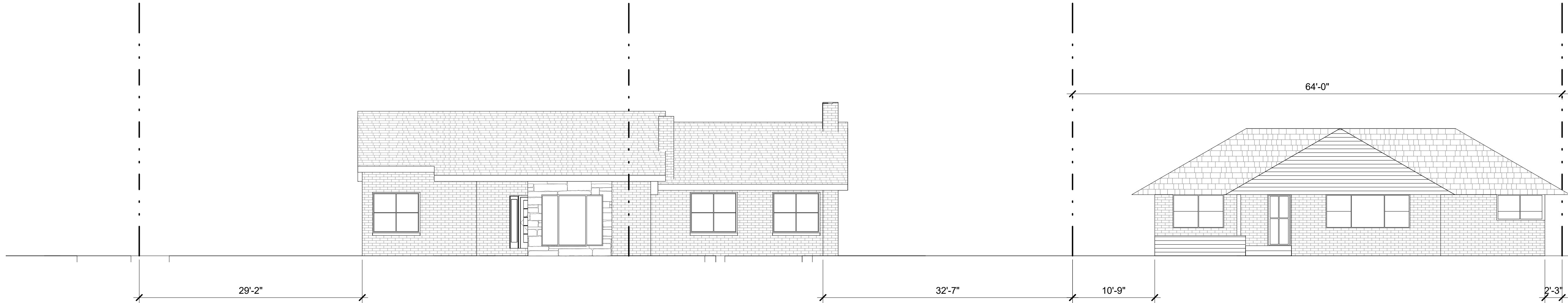
ISSUE DATE
09/08/2020 1 - DESIGN REVIEW
REV01

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SHEET TITLE
ELEVATION STUDIES & NOTES

SHEET NUMBER

A5.0A



1141 N CHESTNUT AVE
EXISTING HOUSE AND GARAGE TO BE REMOVED



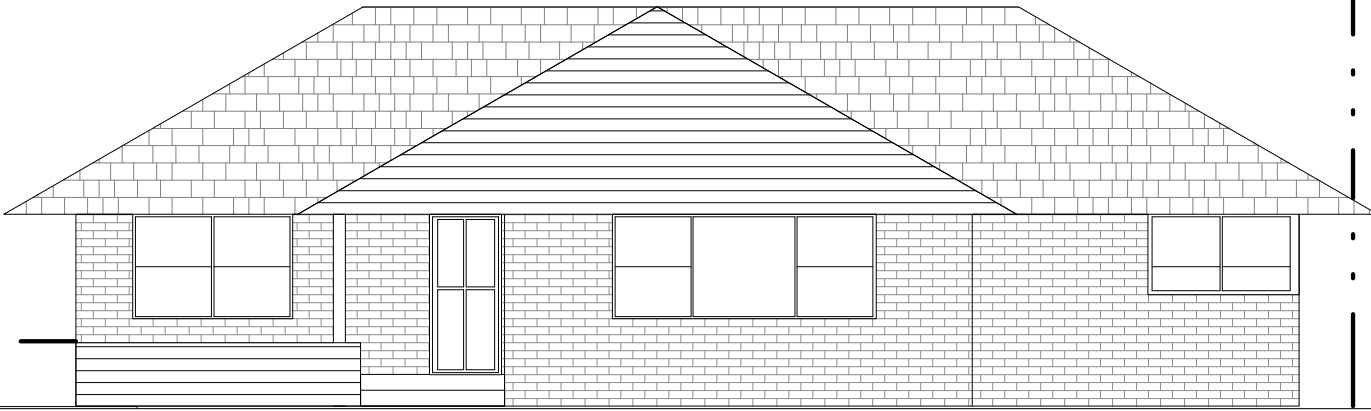
1137 N CHESTNUT AVE
PROPERTY TO RIGHT



1145 N CHESTNUT
NEW RESIDENCE TO LEFT



1141 N CHESTNUT AVE
SUBJECT PROPERTY



1137 N CHESTNUT AVE
PROPERTY TO RIGHT



NEW SINGLE FAMILY
RESIDENCE
1141 N CHESTNUT AVE
ARLINGTON HEIGHTS, IL
60004

DATE

09/25/2020

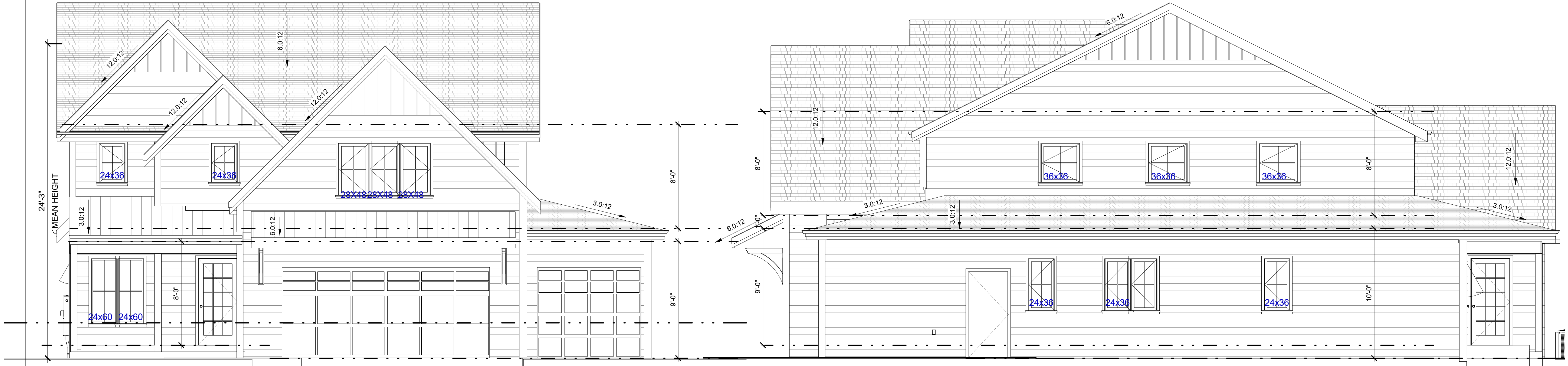
ISSUE DATE

09/08/2020

1 - DESIGN REVIEW
REV01

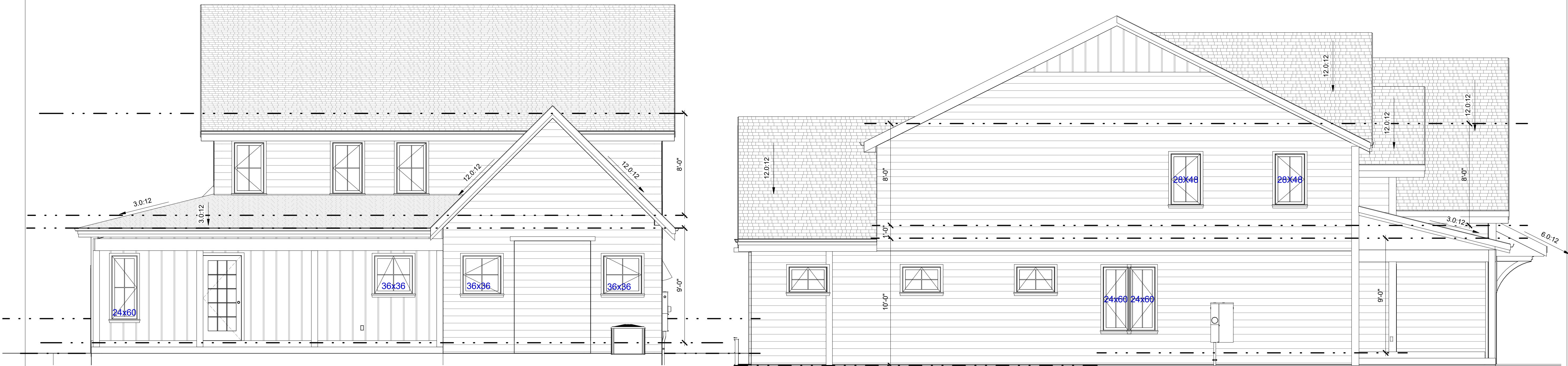
09/25/2020

ISSUE FOR PERMIT



1 WEST ELEVATION - FRONT
A2.0 1/4" = 1'-0"

3 SOUTH ELEVATION - SIDE
A2.0 1/4" = 1'-0"



2 EAST ELEVATION - BACK
A2.0 1/4" = 1'-0"

4 NORTH ELEVATION - SIDE
A2.0 1/4" = 1'-0"

ELEVATION MATERIALS

LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.		HATCH PATTERN	DESCRIPTION	MANUF.
SIDING (1)		HORIZ HARDPLANK LAP SIDING [NIGHT GRAY]	JAMES HARDIE BOARD	TRIM AND FASCIA		TRIM [NAVAJO BEIGE]	JAMES HARDIE BOARD
SIDING (2)		VERTICAL BOARD & BATTEN [NAVAJO BEIGE]		SOFFIT AND FASCIA		ALUMINUM - VENTED [NAVAJO BEIGE]	
ROOFING (1)		ASPHALT SHINGLES [ONYX BLACK IN COLORS]		COLUMNS		NAVAJO BEIGE	
ROOFING (2)		STANDING SEAM METAL ROOFING [BLACK IN COLOR]		GUTTERS, DOWNSPOUTS		ALUMINUM [NAVAJO BEIGE]	
DOORS		NAVAJO BEIGE IN COLOR]		WINDOWS		FIBERGLASS [NAVAJO BEIGE]	

- WINDOW SIZES : ROUGH OPENING TO BE VERIFIED IN FIELD W/ CHOSEN WINDOW MANUF. & CONTRACTOR PRIOR TO CONSTRUCTION
- GLASS SIZES TO BE FOLLOWED AS CLOSE AS POSSIBLE PER DIFFERENT MANUF.
- BEDROOM WINDOWS TO HAVE EGRESS HARDWARE & FOLLOW EGRESS REQUIREMENTS AS LABELED ON ELEVATIONS.
- WINDOWS IN WHICH THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" ABOVE THE TOP OF THE FLOOR ARE REQUIRED TO BE TEMPERED.
- FIELD VERIFY EMERGENCY ESCAPE & RESCUE OPENINGS IN SLEEPING ROOMS EGRESS WINDOW REQUIREMENTS
PROVIDE A NET CLEAR OPENING OF 5.7 SF OR GREATER, ACHIEVED BY SIMPLY OPENING THE WINDOW
PROVIDE A NET CLEAR OPENING OF 5.0 SF OR GREATER FOR GRADE LEVEL WINDOWS.
A MINIMUM CLEAR WIDTH OF 20"
A MINIMUM CLEAR HEIGHT OF 24"
A SILL HEIGHT OF LESS THAN 44" AFF
ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.32
-

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DIMENSIONS, HEIGHTS, AND WALL LOCATIONS
TO BE VERIFIED.

SHEET TITLE

EXTERIOR ELEVATIONS & MATERIALS

SHEET NUMBER

A2.0



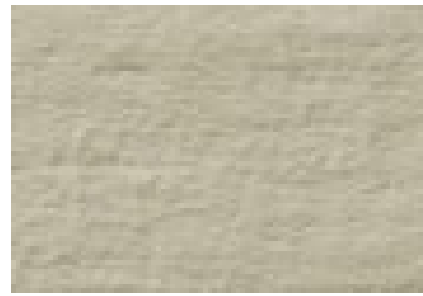
HORIZONTAL LAP SIDING
JAMES HARDIE BOARD NIGHT GRAY



BOARD AND BATTEN
NAVAJO BEIGE IN COLOR TO MATCH TRIM



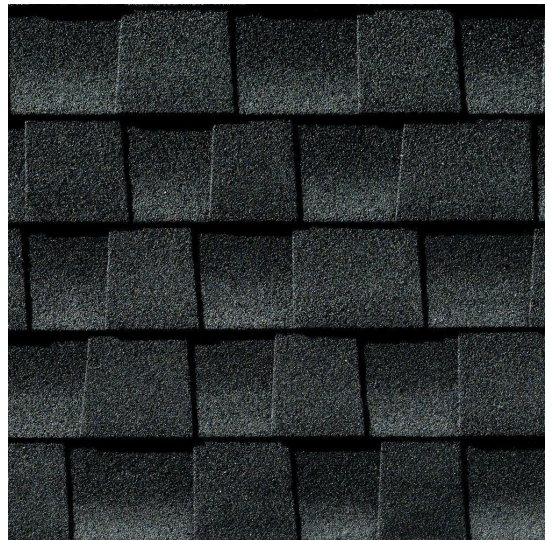
STANDING SEAM ROOF
BLACK



WINDOW AND DOOR TRIM
NAVAJO BEIGE TO MATCH TRIM



TRIM
JAMES HARDIE - NAVAJO BEIGE



ROOF SHINGLES
GAF ARCHITECTURAL SHINGLES - CHARCOAL



Design Commission 10/13/2020

Item: DC#20-056 - 1145 N. Chestnut Ave. - SF/Teardown

Department: Planning and Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission evaluate the proposed architectural design for the new (teardown) single-family home to be located at 1145 N. Chestnut Avenue. This recommendation is subject to compliance with the architectural plans received 9/21/20, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. A revised design is recommended with the garage relocated to the east side of the house, or at least with more living space located towards Chestnut.
2. It is recommended that the depth of the wrap around porch on the east and west be made equal to center the porch columns on the north elevation.
3. A recommendation to add some masonry accents to the design to better fit with the character of the neighborhood.
4. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
5. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:**Description**

Staff Report

Drawings & Documents

Type

Board or Commission Report

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 1145 N. Chestnut Avenue
Project Address: 1145 N. Chestnut Avenue
Prepared By: Steve Hautzinger

Date Prepared: October 7, 2020

PETITION INFORMATION:

DC Number: 20-056
Petitioner Name: Kevin Purdom
Petitioner Address: JRC Design Build
1275 E. Davis Street
Arlington Heights, IL 60005
Meeting Date: October 13, 2020

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines.

The petitioner is proposing to demolish an existing single-story residence on a double lot to allow construction of two new two-story residences with attached, two-car garages (refer to DC:20-055 for 1141 N. Chestnut). The subject site is zoned R-3, One Family Dwelling District. This corner lot has a total land area of 8,469 square feet. Variations were granted by the Zoning Board of Appeals on August 18, 2020 to allow an 8,469 sf to be buildable where 8,750 sf is required, to allow a lot width of 64 feet where 90 feet minimum is required for a corner lot, and a 12.3 foot variation to allow an exterior side yard setback of 11 feet where 23.3 feet is required.

The proposed house will have approximately 3,777 square feet, and it does comply with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 20 feet Side: 6.4 feet Exterior Side: 11 feet Rear: 30 feet	Front: 28.3 feet Side: 6.7 feet Exterior Side: 11 feet Rear: 31.7 feet
Building Height	25 feet to the midpoint	24 feet to the midpoint
FAR	3,811 SF	3,777 SF
Building Lot Coverage	2,964 SF	2,902 SF
Impervious Surface Coverage Total	4,235 SF	3,472 SF

The existing neighborhood has a variety of homes including single-story and two-story homes. However, the subject property is located on a block that is primarily single-story homes with a mix of attached and detached garages. It should be noted that there are five newer two-story homes with attached garages previously built on the southern end of this block, and there are also two-story homes located directly across the street to the north and to the east.

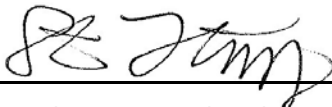
Overall, the proposed design is done in a traditional style that will generally fit well in this location. However, the west elevation facing Chestnut is dominated by the garage, so a revised design is recommended with the garage relocated to the east side of the house, or at least with more living space located towards Chestnut. Additionally, the porch columns on the north (front) elevation are not centered on the symmetrical façade. It is recommended that the depth of the wrap around porch on the east and west be made equal to center the porch columns on the north elevation. Finally, the all siding exterior has a nice appearance, but all of the houses on this block have some masonry incorporated in the design, which the proposed design lacks.

RECOMMENDATION:

It is recommended that the Design Commission evaluate the proposed architectural design for the new (teardown) single-family home to be located at 1145 N. Chestnut Avenue. This recommendation is subject to compliance with the architectural plans received 9/21/20, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all

required permits, and the following:

1. A revised design is recommended with the garage relocated to the east side of the house, or at least with more living space located towards Chestnut.
2. It is recommended that the depth of the wrap around porch on the east and west be made equal to center the porch columns on the north elevation.
3. A recommendation to add some masonry accents to the design to better fit with the character of the neighborhood.
4. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
5. Compliance with all applicable Federal, State, and Village codes, regulations and policies.



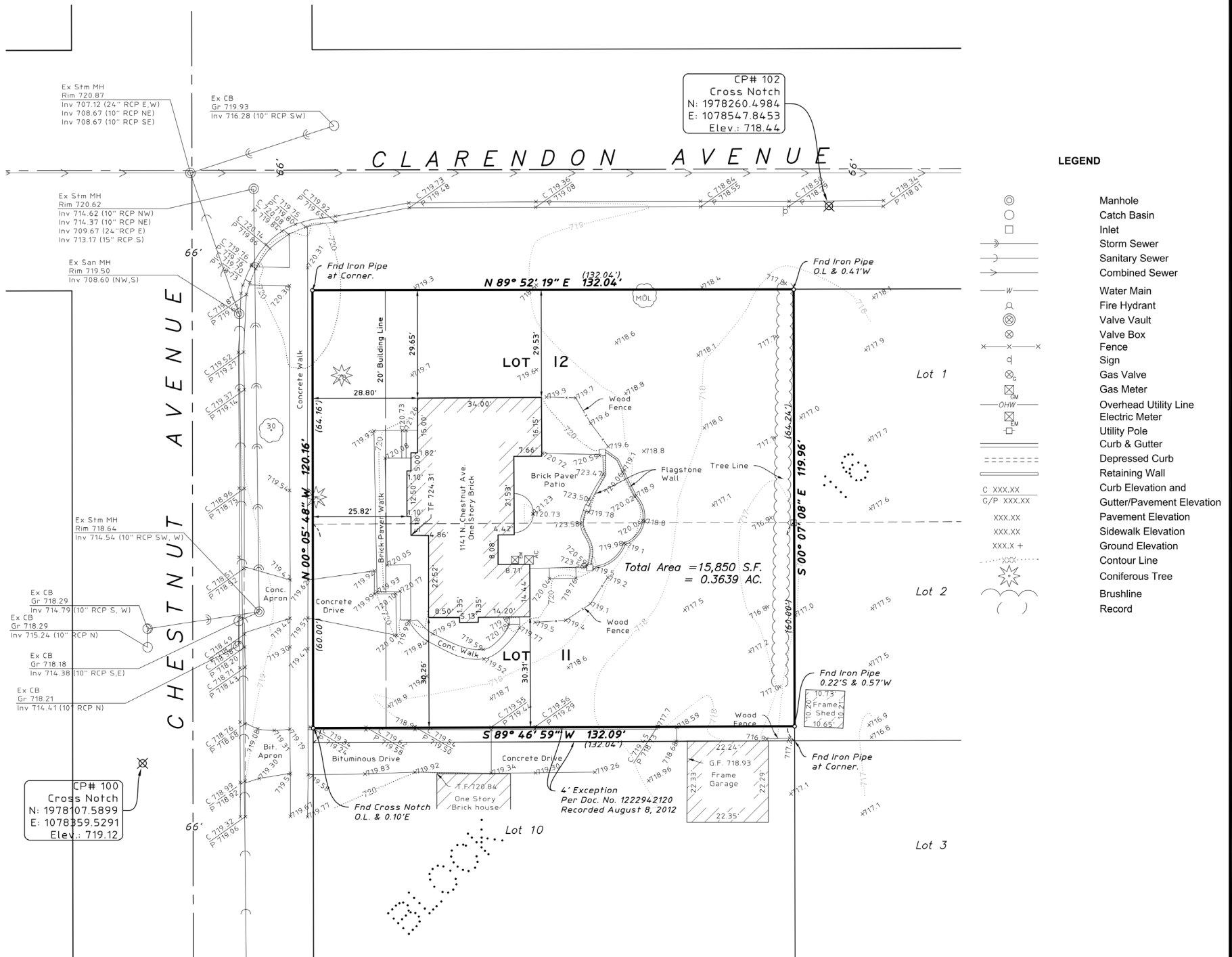
October 7, 2020

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 20-055

LEGAL DESCRIPTION

LOTS 11 AND 12 (EXCEPT THE SOUTH 4.0 FEET OF LOT 11) IN BLOCK 16 IN NORTHWEST HIGHLANDS, A SUBDIVISION OF THE EAST HALF OF THE SOUTHEAST QUARTER (EXCEPT 2 ACRES IN THE EXTREME SOUTHEAST CORNER) OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



Site Benchmark

CP # 100 (See Survey)
Description: Cross Notch
Elevation: 719.12 NAVD 88 (Geoid 12A)

CP # 102 (See Survey)
Description: Cross Notch
Elevation: 718.44 NAVD 88 (Geoid 12A)

Surveyor's Notes:

- Field work was completed on June 3, 2020.
- The Horizontal coordinates and basis of bearing shown hereon are based on NAD 83(2012) Illinois East Zone 1201 State Plane Coordinates as referenced from Kara Company's RTK Network.
- The Vertical Datum referenced hereon is based on NAVD 88 (Geoid 12A) as referenced from Kara Company's RTK Network.
- A title commitment policy was not provided for this survey. This property may be subject to easements and/or restrictions not provided to the surveyor prior to the completion of this survey.
- Utility information shown hereon is based upon field measurements, available records. Information from field data is limited to that which is visible and can be measured. This survey does not exclude the possibility of the existence of other underground utilities and/or structures. Record information is based upon data collected from both public and private sources. The completeness and/or accuracy of these records cannot be guaranteed, except for those items that can be verified by field measurement. Prior to any excavation contact J.U.L.I.E. (1-800-892-0123).

State of Illinois)
County of Cook) SS:

This professional service conforms to the current Illinois minimum standards for a boundary topographic survey.

Schaumburg, Illinois June 16, 2020

By: _____ Illinois Professional Land Surveyor No. 3695

Ordered By: JRC Builders
Order No.: 20-080



EXPIRES 11-30-20

BOUNDARY & TOPOGRAPHIC SURVEY

1141 N. CHESTNUT AVE
ARLINGTON HEIGHTS, IL

HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60173 • Tel: 847.394.6600 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003152
www.haegerengineering.com

No. Date Revision



Scale: 1" = 20'

SITE SETBACKS (R-3)	REQUIRED	PROPOSED
FRONTYARD	27'-8"	28'-4"
INTERIOR SIDE YARD	6'-4"	6'-8"
EXTERIOR SIDEYARD 10% LOT WIDTH	10'-0"	12'-10"
REARYARD	30'-0"	37'-2"
HEIGHT - MEAN	25'-0"	24'-0"

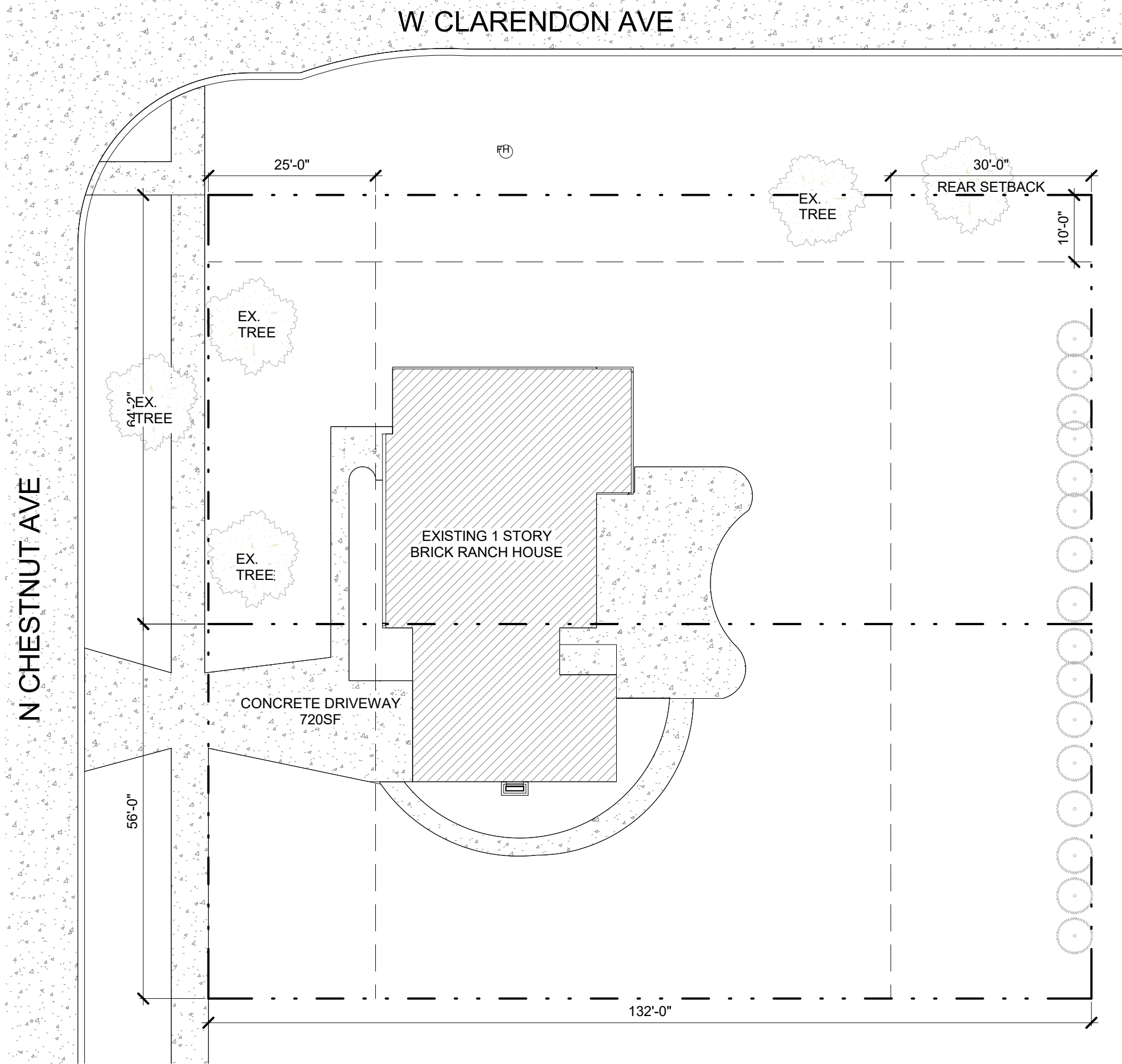
SITE PLAN LEGEND & NOTES

1. INFORMATION ON THIS DRAWING IS ACCUMULATED FROM EXISTING DOCUMENTATION AND MUST BE CONFIRMED BY THE CONTRACTOR AND COORDINATED WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
2. VERIFY LOCATIONS OF ALL UTILITIES AND OTHER BUILDING SERVICES PRIOR TO EXCAVATION.
3. PROVIDE REQUIRED WORK TO ACCOMMODATE EXISTING UTILITIES OR OTHER BUILDING SERVICES.
4. PROTECT EXISTING LANDSCAPING DURING CONSTRUCTION, TO GREATEST EXTENT POSSIBLE.
5. PROVIDE TEMPORARY CONSTRUCTION/SECURITY FENCING AROUND ALL OPEN EXCAVATIONS; HEIGHT AS REQ'D BY LOCAL CODES.
6. VERIFY LOCATIONS OF ALL MATERIAL STOCKPILES AND DUMPSTERS WITH OWNER.
7. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCIES IN FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.
8. PLEASE NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
9. STATE LAW: BEFORE DIGGING, CALL JULIE (811 OR 1-800-892-0123) FOR LOCATION OF PUBLIC AND PRIVATE UTILITIES AT WORK SITE. 48 HOUR NOTICE IS REQUIRED.
10. THE HOUSE SHALL PASS A BLOWER DOOR TEST AND A COPY OF THE RESULTS SHALL BE PROVIDED TO THE BUILDING DEPARTMENT PRIOR TO SCHEDULING THE FINAL INSPECTIONS.
11. CONSTRUCTION DEBRIS AND REFUSE CONTAINMENT SHALL BE REQUIRED FOR ALL JOB SITES. CONTAINMENT SHALL OCCUR ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT & SHALL BE WITHIN A DUMPSTER, STRUCTURE, OR CONTAINER THAT CAN BE COVERED TO PREVENT WINDBLOWN DEBRIS. ALL SUCH DUMPSTERS, STRUCTURES, OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.
12. ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH NEW SOD ON 6" OF TOPSOIL. ALL SOD SHALL BE WATERED AS REQ'D TO SUSTAIN GROWTH.
13. ALL PARKWAY TREES SHALL HAVE A SNOW FENCE THAT EXTENDS TO THE DRIP LINE. NO TRAFFIC SHALL GO OVER THE ROOT SYSTEM.
14. SURFACE DRAINAGE TO BE DIVERTED FROM STRUCTURE SO AS NOT TO CREATE A HAZARD ON THIS OR ADJACENT PROPERTY. GRADE FROM FOUNDATION TO DROP A MINIMUM OF 6" IN 10'-0". PROVIDE SWALES OR DRAINS TO ENSURE DRAINAGE FROM STRUCTURE AND ADJACENT PROPERTY.
15. TOILET FACILITIES SHALL BE PROVIDED AT ALL JOB SITES PER ILLINOIS PLUMBING CODE. THIS WILL BE A CONDITION OF THE PERMIT.
16. PROVIDE AND MAINTAIN A 5'-0" HIGH FENCE ALONG THE FULL LENGTH OF INTERIOR SIDE YARDS UNTIL EXTERIOR CONSTRUCTION IS COMPLETE.
17. PROVIDE AND MAINTAIN A 5'-0" HIGH CONSTRUCTION FENCE DURING NON-WORKING HOURS THAT WILL ENCLOSE ALL OPEN EXCAVATIONS UNTIL FOUNDATION IS BACK-FILLED & FIRST FLOOR DECK IS COMPLETED.
18. ERECT PROTECTIVE SNOWFENCE PRIOR TO ANY CONSTRUCTION ACTIVITY. DO NOT STORE ANY EQUIPMENT OR MATERIALS WITHIN THE PROTECTION AREA. REMOVE THE PROTECTIVE SNOW FENCE ONLY AFTER CONSTRUCTION IS COMPLETE.
19. ALL TREES ARE TO BE PROTECTED DURING CONSTRUCTION WITH FENCING FOR EVERY 1" OF TREE DIAMETER. MAINTAIN 1'-0" DISTANCE AWAY FOR FENCING.

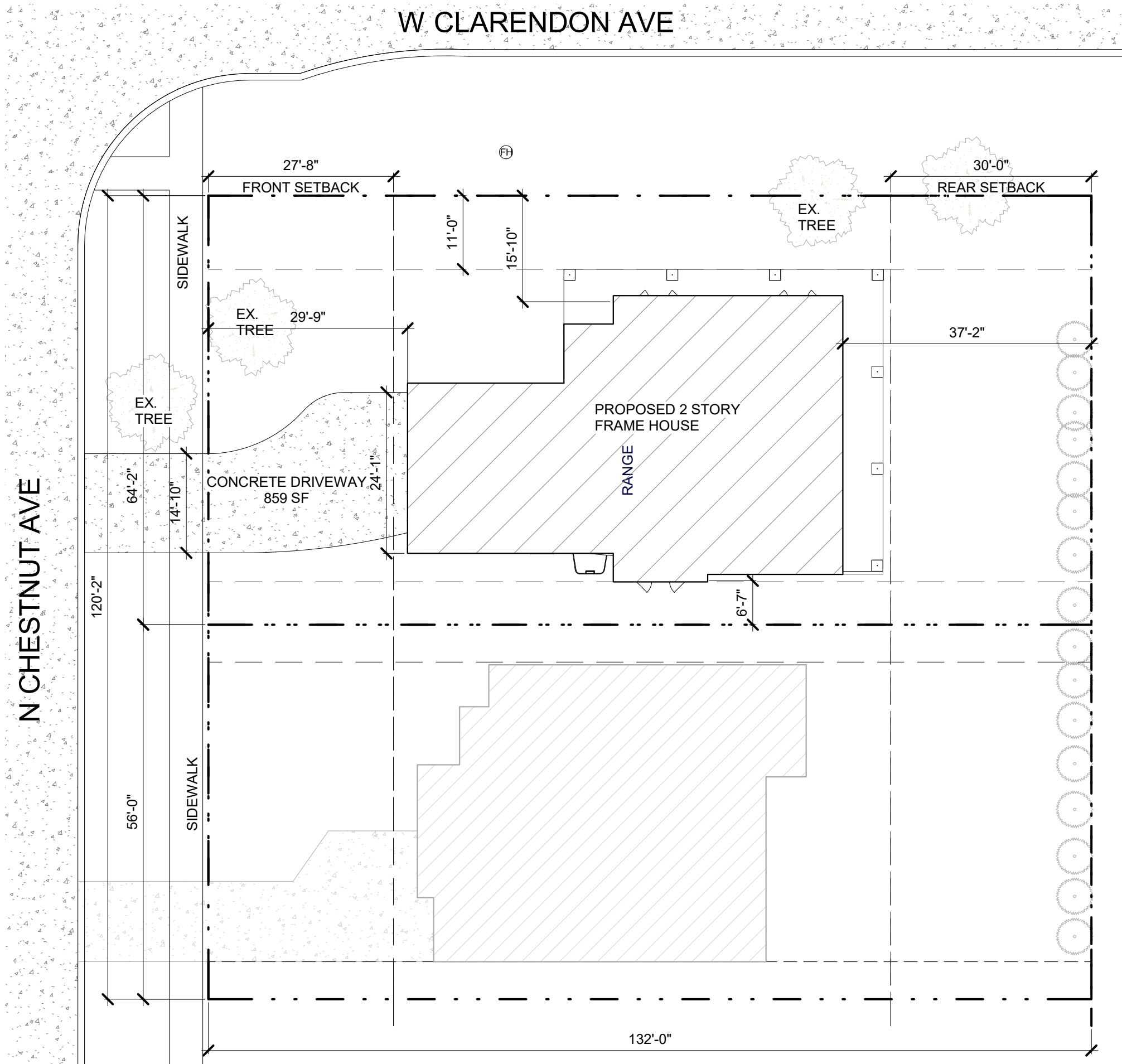
- NEW FIRST CONSTRUCTION
- PROPERTY LINE
- SETBACK LINE
- EXISTING CONTOUR TO REMAIN
- EXISTING CONTOUR REMOVED
- NEW CONTOUR

AVERAGE SETBACKS

ADDRESS	FRONT YARD
1141 CHESTNUT (SUBJECT PROPERTY)	25'-2"
1137 CHESTNUT AVE	27'-2"
1133 CHESTNUT AVE	25'-8"
1127 CHESTNUT AVE	29'-4"
1119 CHESTNUT AVE	29'-0"
1111 CHESTNUT AVE	28'-3"
1105 CHESTNUT AVE	29'-4"
216 W OAKTON ST	28'-1"
AVERAGE SETBACK	27'-8"



1 SITE PLAN - EXISTING
A1.0 1/16" = 1'-0"



2 SITE PLAN - PROPOSED
A1.0 1/16" = 1'-0"



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EMAIL: JIMJRC@GMAIL.COM
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1145 N CHESTNUT AVE
ARLINGTON HEIGHTS, IL 60004

DATE	09/21/2020
ISSUE DATE	09/08/2020
	DESIGN REVIEW REV01
	09/21/2020 REV02

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SHEET TITLE
SITE PLAN

SHEET NUMBER

A1.0

NEW SINGLE FAMILY
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1145 N CHESTNUT AVE
ARLINGTON HEIGHTS, IL
60004

DATE

09/08/2020

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DESIGN REVIEW REV01

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SHEET TITLE

SURROUNDING PROPERTIES

SHEET NUMBER

A5.1



PROPERTY TO LEFT 3
1211 N CHESTNUT



PROPERTY TO LEFT 2
1207 N CHESTNUT



PROPERTY TO LEFT 1
1201 N CHESTNUT

W CLARENDON ST

N CHESTNUT AVE



PROPERTY TO ACROSS 1
1146 N CHESTNUT



PROPERTY TO ACROSS 2
1142 N CHESTNUT



PROPERTY TO ACROSS 3
1138 N CHESTNUT



SUBJECT PROPERTY
1141 N CHESTNUT



PROPERTY TO RIGHT 1
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PROPERTY TO RIGHT 2
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PROPERTY TO RIGHT 3
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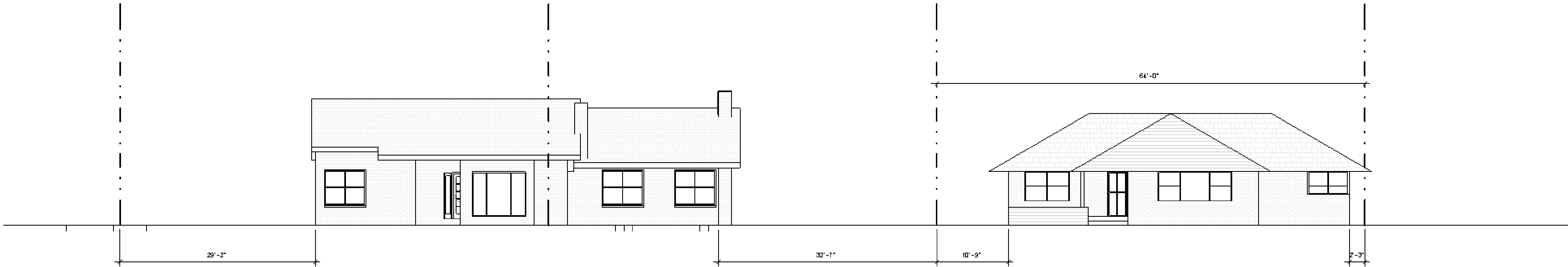
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SHEET TITLE
ELEVATION STUDIES

SHEET NUMBER

A5.0



1141 N CHESTNUT AVE
EXISTING HOUSE AND GARAGE TO BE REMOVED



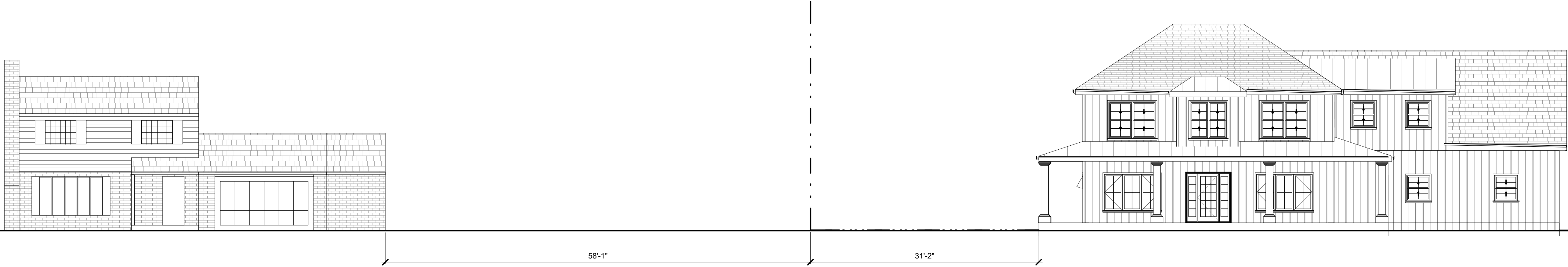
1137 N CHESTNUT AVE
PROPERTY TO RIGHT



SUBJECT PROPERTY
1145 N CHESTNUT

PROPOSED PROPERTY TO RIGHT
1141 N CHESTNUT

PROPERTY TO RIGHT 2
1137 N CHESTNUT



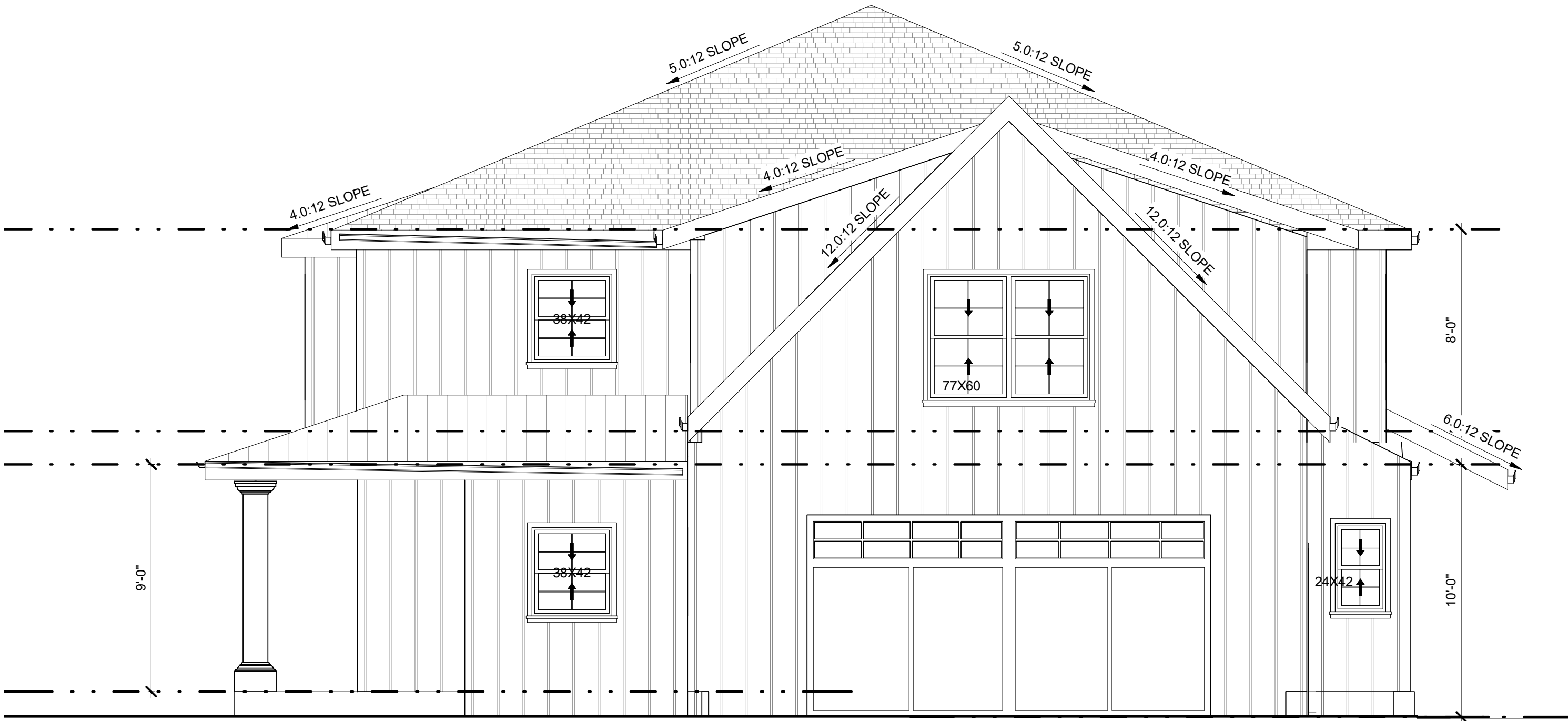
PROPERTY TO LEFT
205 W CLARENDON ST

SUBJECT PROPERTY
1145 N CHESTNUT



NEW SINGLE FAMILY
RESIDENCE
1145 N CHESTNUT AVE
ARLINGTON HEIGHTS, IL
60004

DATE		09/21/2020
ISSUE DATE	09/08/2020	DESIGN REVIEW REV01
	09/21/2020	REV02



1 WEST ELEVATION
A4.0 1/4" = 1'-0"



2 NORTH ELEVATION
A4.0 1/4" = 1'-0"

ELEVATION MATERIALS

LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.		HATCH PATTERN	DESCRIPTION	MANUF.
SIDING (1)		VERTICAL BOARD & BATTEN [WHITE IN COLOR]	LP SMARTSIDE	TRIM AND FASCIA		LP SMARTSIDE TRIM [WHITE IN COLOR]	LP SMARTSIDE
ROOFING (1)		ASPHALT SHINGLES [CHARCOAL BLACK IN COLORS]	GAF	SOFFIT AND FASCIA		ALUMINUM - VENTED [WHITE IN COLOR]	
ROOFING (2)		STANDING SEAM METAL ROOFING [BLACK IN COLOR]		COLUMNS		WHITE	
WINDOWS		VINYL [BLACK/EBONY IN COLOR]		GUTTERS, DOWNSPOUTS		ALUMINUM [WHITE IN COLOR]	
DOORS		[BLACK IN COLOR]					

ELEVATION NOTES:

1. WINDOW SIZES: ROUGH OPENING TO BE VERIFIED IN FIELD W/ CHOSEN WINDOW MANUF. & CONTRACTOR PRIOR TO CONSTRUCTION
2. GLASS SIZES TO BE FOLLOWED AS CLOSE AS POSSIBLE PER DIFFERENT MANUF.
3. BEDROOM WINDOWS TO HAVE EGRESS HARDWARE & FOLLOW EGRESS REQUIREMENTS AS LABELED ON ELEVATIONS.
4. WINDOWS IN WHICH THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" ABOVE THE TOP OF THE FLOOR ARE REQUIRED TO BE TEMPERED.
5. FIELD VERIFY EMERGENCY ESCAPE & RESCUE OPENINGS IN SLEEPING ROOMS
EGRESS WINDOW REQUIREMENTS
PROVIDE A NET CLEAR OPENING OF 5.7 SF OR GREATER, ACHIEVED BY SIMPLY OPENING THE WINDOW
PROVIDE A NET CLEAR OPENING OF 5.0 SF OR GREATER FOR GRADE LEVEL WINDOWS.
A MINIMUM CLEAR WIDTH OF 20"
A MINIMUM CLEAR HEIGHT OF 24"
A SILL HEIGHT OF LESS THAN 44" AFF
6. ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.32

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TO BE VERIFIED.

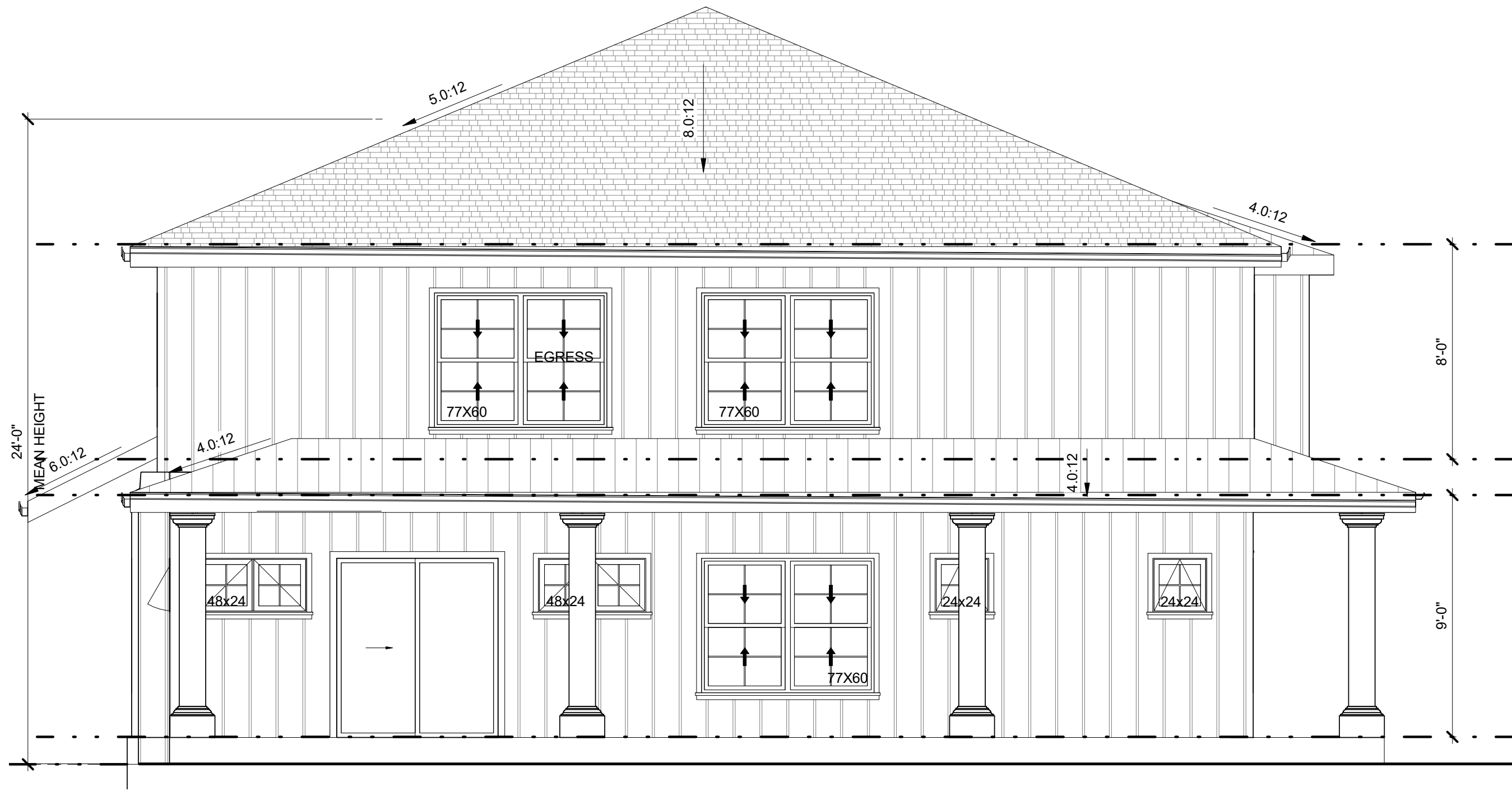
SHEET TITLE
NORTH AND WEST ELEVATIONS

SHEET NUMBER

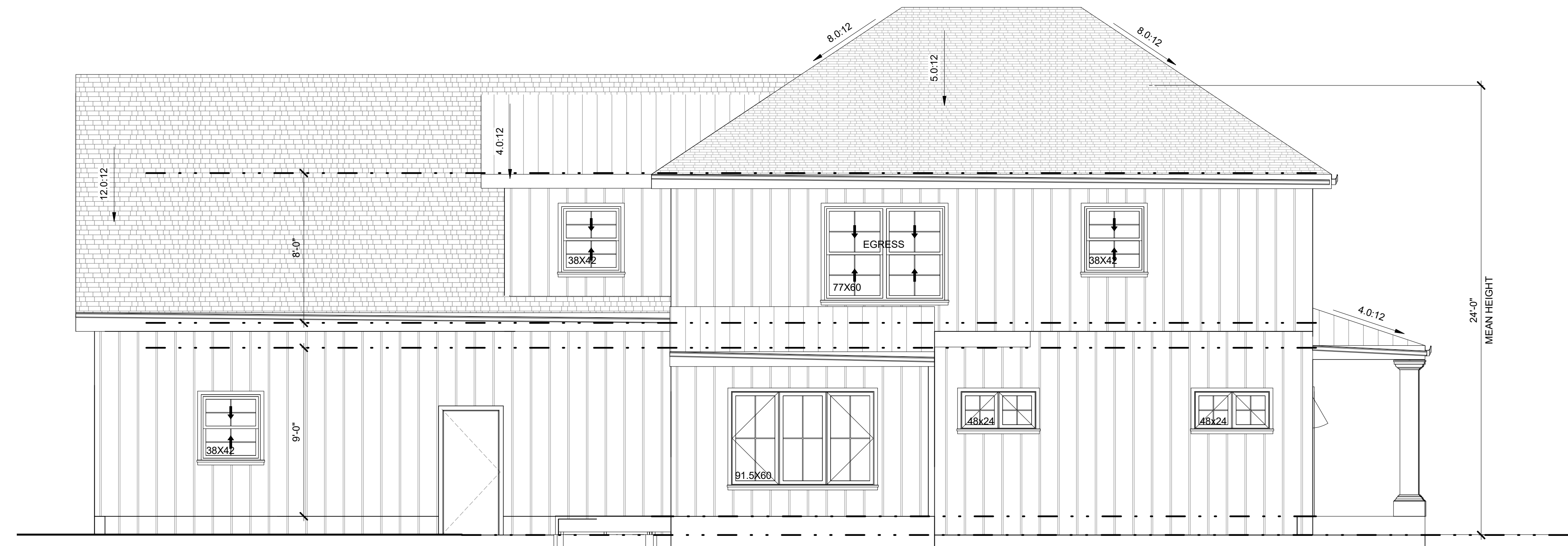
A4.0

NEW SINGLE FAMILY
RESIDENCE
1145 N CHESTNUT AVE
ARLINGTON HEIGHTS, IL
60004

DATE	
09/21/2020	
ISSUE DATE	
09/08/2020	DESIGN REVIEW REV01
09/21/2020	REV02



1 EAST ELEVATION
A4.1 1/4" = 1'-0"



2 SOUTH ELEVATION
A4.1 1/4" = 1'-0"

ELEVATION MATERIALS

LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.		HATCH PATTERN	DESCRIPTION	MANUF.
SIDING (1)	[Hatch Pattern]	VERTICAL BOARD & BATTEN [WHITE IN COLOR]	LP SMARTSIDE	TRIM AND FASCIA		LP SMARTSIDE TRIM [WHITE IN COLOR]	LP SMARTSIDE
ROOFING (1)	[Hatch Pattern]	ASPHALT SHINGLES [CHARCOAL BLACK IN COLORS]	GAF	SOFFIT AND FASCIA		ALUMINUM - VENTED [WHITE IN COLOR]	
ROOFING (2)	[Hatch Pattern]	STANDING SEAM METAL ROOFING [BLACK IN COLOR]		COLUMNS		WHITE	
WINDOWS		VINYL [BLACK/EBONY IN COLOR]		GUTTERS, DOWNSPOUTS		ALUMINUM [WHITE IN COLOR]	
DOORS		[BLACK IN COLOR]					

ELEVATION NOTES:

- WINDOW SIZES: ROUGH OPENING TO BE VERIFIED IN FIELD W/ CHOSEN WINDOW MANUF. & CONTRACTOR PRIOR TO CONSTRUCTION
- GLASS SIZES TO BE FOLLOWED AS CLOSE AS POSSIBLE PER DIFFERENT MANUF.
- BEDROOM WINDOWS TO HAVE EGRESS HARDWARE & FOLLOW EGRESS REQUIREMENTS AS LABELED ON ELEVATIONS.
- WINDOWS IN WHICH THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" ABOVE THE TOP OF THE FLOOR ARE REQUIRED TO BE TEMPERED.
- FIELD VERIFY EMERGENCY ESCAPE & RESCUE OPENINGS IN SLEEPING ROOMS
- EGRESS WINDOW REQUIREMENTS
PROVIDE A NET CLEAR OPENING OF 5.7 SF OR GREATER, ACHIEVED BY SIMPLY OPENING THE WINDOW
PROVIDE A NET CLEAR OPENING OF 5.0 SF OR GREATER FOR GRADE LEVEL WINDOWS.
A MINIMUM CLEAR WIDTH OF 20"
A MINIMUM CLEAR HEIGHT OF 24"
A SILL HEIGHT OF LESS THAN 44" AFF
ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.32

THESE DRAWINGS ARE NOT FOR
CONSTRUCTION AND ARE FOR CONCEPT ONLY.
DIMENSIONS, HEIGHTS, AND WALL LOCATIONS
TO BE VERIFIED.

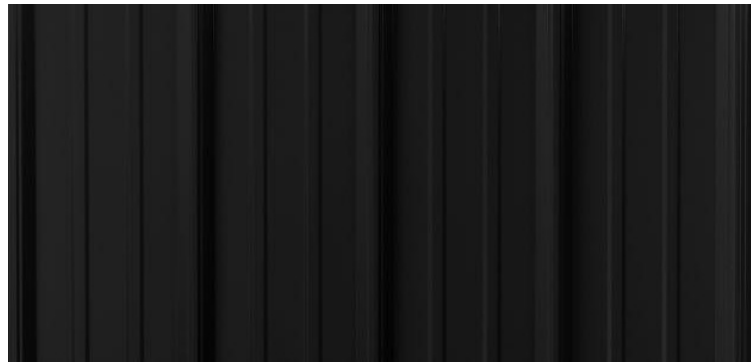
SHEET TITLE
SOUTH AND EAST ELEVATIONS

SHEET NUMBER

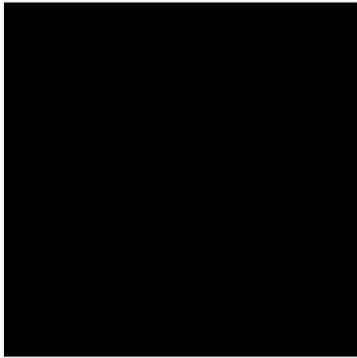
A4.1



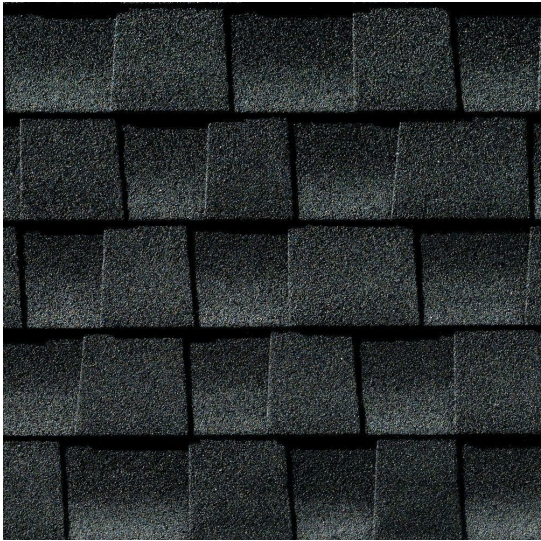
BOARD AND BATTEN
WHITE



STANDING SEAM ROOF
BLACK



Ebony WINDOW AND DOOR TRIM
EBONY



ROOF SHINGLES
GAF ARCHITECTURAL SHINGLES - CHARCOAL