



Agenda
Village of Arlington Heights
Design Commission
Community Room, 3rd Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
October 10, 2017
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

A. Minutes - 9/26/17

IV. REPORTS

V. OLD BUSINESS

A. 107 N. Pine Ave. - SF/New - DC#17-070

VI. NEW BUSINESS

A. AT&T - 585 E. Palatine Rd. - Commercial - DC#17-119

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Minutes - 9/26/17

Department: Planning & Community Development

ATTACHMENTS:

Description

Minutes 9/26/17

Type

Minutes

DRAFT

**MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
SEPTEMBER 26, 2017**

Chair Fitzgerald called the meeting to order at 6:30 p.m.

Members Present: John Fitzgerald, Chair
Ted Eckhardt
Aaron Coon
Kirsten Kingsley
Jonathan Kubow

Members Absent: None

Also Present: Tom Meyer, Lexington Homes for *Lexington Heritage*
Michael Bova, Top to Bottom Construction for *1805 N. Walnut Ave.*
Robert Kolososki, Prairie Tech Ltd. for *1805 N. Walnut Ave.*
Robert Flubacker, Robert Flubacker Architects for *619 N. Arlington Heights Rd.*
Mr. & Mrs. Vincent, Owners of *619 N. Arlington Heights Rd.*
Matt Peota for *Passero*
Alex Perry, Right Way Signs for *Passero*
Dr. John Kotis for *Kotis Surgical Center*
Douglas Hammen, Douglas Design & Associates for *Kotis Surgical Center*
Susan Maish, JNKA Architects for *St. Edna Church*
Mike Maloni, Building Rep for *St. Edna Church*
Chris Stair for *Aldi*
Tom Strehmann for *Aldi*
David McCallum, McCallum Associates for *Aldi*
T.J. Doyle, Doyle Signs for *Aldi*
Steve Hautzinger, Staff Liaison

REVIEW OF MEETING MINUTES FROM SEPTEMBER 12, 2017

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER KUBOW, TO APPROVE THE MEETING MINUTES OF SEPTEMBER 12, 2017. ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 1. OLD BUSINESS - MULTI-FAMILY RE-REVIEW**DC#16-111 – Lexington Heritage Townhome Subdivision**

Mr. Tom Meyer, representing *Lexington Homes*, was present on behalf of the project.

Mr. Hautzinger presented Staff comments. Lexington Heritage is a new townhome subdivision consisting of nine buildings and a total of 48 attached townhome units. Three of the nine buildings are three stories with rear loading garages, and the remaining six buildings are two stories with front loading garages. This project has received Design Commission, Plan Commission, and Village Board approval in 2016, and site work is currently in progress. At the conclusion of the previous Design Commission approval, there were 5 requirements specific to the exterior finishes.

At this time, the petitioner has decided to change the two exterior color scheme packages for the townhomes, so the project is returning to the Design Commission for re-review of the color selections only. The revised color packages have addressed the previous requirements as follows:

- **Siding Colors.** The revised color packages include 4 different siding colors, with the accent siding colors used on the areas of specialty siding.
 - The revised siding colors look good and comply with the Design Commission's previous requirement.
- **Garage Doors.** The garage doors in package #1 are specified to match the siding color as required by the Design Commission, but the garage doors in package #2 are specified to match the trim color.
 - The garage door color in package #2 looks too dark. It is recommended that they be revised to match the "slate" siding color.
- **Color Scheme Layout.** The applications of the color schemes for each building will be in compliance with the previously approved layout.
- **Mortar Color.** The mortar color is specified to match the brick colors as required by the Design Commission.
- **Window Color.** The window color in package #1 are white to match the trim color as required by the Design Commission, but the trim color in package #2 is specified to be "charcoal gray" which does not match the white window color.
 - The "charcoal gray" trim color in package #2 looks dull and dreary. It is recommended that the trim color be changed to white to match the window color.

Staff recommends approval of the revised exterior color packages, with recommendations to change the garage door color in package #2 to match the "slate" siding color, and change the gutters, soffit, fascia, and trim color in package #2 to "Lomar White".

Mr. Meyer stated that one of the original comments was to develop two different color schemes using four different colors. Package #2 was created, which they like and feel is very popular right now. They are not opposed to Staff's suggestions to change the garage door color to match the 'Slate' siding color, and change the gutters, soffit, fascia, and trim color to 'Lomar White'. They are currently under construction and plan to open the middle of October.

Commissioner Kingsley agreed with Staff's suggestion to change the garage door color to match the 'Slate' siding color, and she was okay with the gutters, soffit, fascia and trim color being dark and the windows being white.

Commissioner Eckhardt was in support of the revisions to the exterior color scheme. **Commissioner Coon** agreed as well. **Commissioner Kubow** said he was a big fan of Color Package #1 and preferred to see more color differentiation on the rear elevation, and felt that Package #2 was very interesting and different from the consistent color palette currently in the Village, which he appreciates. He was in agreement with the other commissioners.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER COON, TO APPROVE THE REVISED EXTERIOR COLOR PACKAGES FOR THE *LEXINGTON HERITAGE TOWNHOME SUBDIVISION* LOCATED AT 3216-3240 N. OLD ARLINGTON HEIGHTS ROAD, AS SUBMITTED. THIS APPROVAL IS SUBJECT TO COMPLIANCE WITH THE REVISED EXTERIOR COLOR PACKAGES RECEIVED ON 9/15/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

KUBOW, AYE; COON, AYE; KINGSLEY, AYE; ECKHARDT, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 2. SINGLE-FAMILY TEARDOWN REVIEW**DC#17-113 – 1805 N. Walnut Ave.**

Robert Kolososki, representing *PrairieTech Ltd.*, and **Michael Bova**, representing *Top to Bottom Construction*, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing single story residence with a one car attached garage to allow construction of a new two-story residence with an attached, three-car garage. This project received approval by the Zoning Board of Appeals on 9/11/17 for a zoning variation to allow an exterior side setback of 26 feet, where 32.5 feet is required. Otherwise, the project complies with all R-3 zoning requirements. The existing neighborhood consists of primarily single story homes with a mix of one car and two car attached garages. However, the Design Commission has previously approved numerous teardowns in this neighborhood, and there are four newer homes adjacent to the subject site.

Overall, the proposed design is nicely done in a traditional style that is consistent with the other newer homes approved in this neighborhood. The design includes a single story roof line that wraps around the corner of the site, which helps to break down the scale of the two story home. A nice detail on the design is the stone base that is continued on all sides of the home, which is always encouraged, especially on a corner lot where the side and back of the house are highly visible. The design also includes a small roof above the rear patio door which is a nice detail to break up the large two-story wall.

The primary concern with the proposed design is the three-car garage that faced the exterior side of the corner lot. The garage is prominently located towards the front corner of the lot, where it would be preferred to have living space as a focal point of the design. A better arrangement would be to locate the garage on the interior side of the lot, away from the corner. However, a three-car garage would not fit on the interior side, so if the Design Commission agrees with the proposed three-car garage, then this may be the best arrangement on this shallow corner lot. The proposed garage door elevation is nicely detailed the stone base, garage door windows, and carriage light fixtures. The only other concern is that the left side elevation is large and flat with only two small windows. It is recommended that additional windows be added in the Dining Room and in the second floor bedrooms to help break up the large wall.

Mr. Kolososki said that this corner lot offers the opportunity for a side-load garage; however, this is a very small corner lot that required a variation for the exterior side yard. In response to Staff's comments about the location of the garage, he pointed out that there is another garage located directly across the street on Mitchell Avenue, and the proposed floor plan would not work with a front-load garage. He agreed with Staff's suggestion to add windows on the left side elevation to add more fenestration to the side of the home.

Commissioner Eckhardt was sympathetic to the need for the 3-car garage; it was not offensive to him, and there is a lot of character on the front of the home; he was okay with the 3-car garage as proposed. He also supported Staff's suggestion to add windows on the side of the home. He had no issues with the proposed new home.

Commissioner Coon agreed that the front elevation was attractively designed, and he pointed out the large tree at the corner that will obscure a lot of the visibility of the garage. He was in support of the design as proposed.

Commissioner Kubow said he is a big fan of context in a neighborhood and this is not the first 3-car garage in the neighborhood. He pointed out the existing 3-car garage located next door, which helps him support this design. He also felt the petitioner went out of his way to detail all 4 sides of the home, which is important to the commission. He was in full support of the design.

Commissioner Kingsley felt it was a nicely designed home, and she did not mind the 3-car garage on Mitchell Avenue; she almost preferred the garage on Mitchell because the home across the street on Mitchell has its front facing Walnut,

and this will not be the first 3-car garage in the neighborhood. She suggested adding windows on the left side elevation to help bring down the scale, and evaluating the colors to consider a cool scheme or a warm scheme.

Chair Fitzgerald agreed with the comments made by the commissioners. He suggested a requirement or recommendation to add a small amount of landscaping on each side of the driveway, to help soften the garage doors and the expanse of the driveway, to be approved by Staff.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER ECKHARDT, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR THE NEW SINGLE-FAMILY HOME TO BE LOCATED AT 1805 N. WALNUT AVENUE. THIS APPROVAL IS BASED ON THE ARCHITECTURAL PLANS DATED 8/22/17 AND RECEIVED 8/30/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT TO ADD WINDOWS TO THE LEFT SIDE ELEVATION IN THE DINING ROOM AND SECOND-FLOOR BEDROOMS.
2. A RECOMMENDATION TO CONSIDER A COOL COLOR SCHEME.
3. A RECOMMENDATION TO ADD LANDSCAPING ON EACH SIDE OF THE DRIVEWAY.
4. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

Commissioner Eckhardt acknowledged that furniture placement plays a part when adding windows; however, he felt that at a minimum, a window should be added in both the Master Bedroom and in Bedroom #4 on the left side elevation, with an option to add either a single or double window in the Dining room. **Mr. Bova** expressed concerns about windows interfering with furniture placement in the Dining room. **Commissioner Kubow** clarified that his requirement would be to add 2 transom windows in the Master bedroom on the left side elevation, which would not interfere with any furniture placement. This would be his only requirement for the left side elevation, as well as a recommendation to add a window in Bedroom #4 and the Dining room. **Mr. Bova** was not opposed to adding windows on the second-floor, left side elevation; however, he reiterated his concerns about adding a window in the Dining room.

Commissioner Kingsley felt that adding landscaping on either side of the driveway should be a requirement and not a recommendation. **Mr. Bova** was not opposed to adding landscaping because it helps make the home very approachable.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER ECKHARDT, TO AMEND THE MOTION AS FOLLOWS:

1. A REQUIREMENT TO ADD 2 TRANSOM WINDOWS IN THE MASTER BEDROOM, LEFT SIDE ELEVATION.
3. A REQUIREMENT TO ADD LANDSCAPING ON EACH SIDE OF THE DRIVEWAY ON THE RIGHT AND FRONT ELEVATIONS, AND A RECOMMENDATION TO ADD LANDSCAPING TOWARDS TO THE REAR AND LEFT ELEVATION.

KUBOW, AYE; COON, AYE; KINGSLEY, AYE; ECKHARDT, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 3. SINGLE-FAMILY ADDITION REVIEW**DC#17-115 - 619 N. Arlington Heights Rd.**

Robert Flubacker, representing *Robert Flubacker Architects*, and **Mr. & Mrs. Vincent**, the homeowners, were present on behalf of the project.

Chair Fitzgerald asked if there was any public comment on the project and there was no response from the audience.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to add a new two-car garage addition to an existing two-story house. The proposed addition complies with all R-3 zoning requirements. This house was built in 1869 by the Dunton family, founders of Arlington Heights. The house was included in a Community Preservation Report prepared by the School of the Art Institute in 2004, and is rated as "Exceptional".

The proposed two-car attached garage addition is beautifully designed to match the style, massing, and detailing of the existing house, and it is nicely located towards the rear of the home creating the appearance of a detached garage. This project is appearing before the Design Commission due to the historical significance of this property, but the proposed garage addition is recommended for approval as submitted.

Mr. Flubacker had no comments to add at this time.

Commissioner Coon felt it was a beautiful home, although if it were his home he would not add a garage onto the home; however, looking at the site and how it is viewed from the street, he felt the addition was set back far enough. His only concern is that the James Hardie siding will not be an effective match to the traditional wood lap board siding that exists on the home; the existing height between the boards appears shorter than what the James Hardie product is, as well as the wood texture, which he felt should be smooth. He acknowledged the effort that went into the cornice work and the window trim, which he felt were all very good matches to the existing architecture. The homeowner stated that the existing siding on the home is aluminum, not wood. **Mr. Flubacker** added that the Hardi board product is available to match the height between the existing boards, as well as smooth texture. **Commissioner Coon** said that he would approve the project with a recommendation to match the height of the existing lap board siding, and that it be a smooth texture.

Commissioner Kubow had no comments, he was in support of the project.

Commissioner Kingsley said it was a nice addition and she was happy to see it set back, which is very appropriate. Her only hesitation is that the existing home is probably one of the most iconic historic homes in the Village, and although the Village does not have a register of historic buildings in town, with mandatory guidelines to be followed, one of the guidelines of the National Historic Preservation Guidelines for additions is to make the addition not appear as if it were original. She felt that the petitioner has done that by setting the addition back; however, perhaps a different color for the siding or designing the addition more simply should be considered so that it can be seen where history took its place. She was glad to see clad windows being proposed instead of wood, and she asked if the windows would be simulated divided lights, which she preferred. **Mr. Flubacker** replied that the new windows will match the existing windows.

Commissioner Eckhardt felt the addition was beautifully detailed, and if this were his home, he would want the addition to match the existing home as opposed to looking different. He asked about the trim on the double window above the garage doors that appears to interfere with the frieze board, and **Mr. Flubacker** replied that there are areas on the existing home where this happens. **Commissioner Eckhardt** was okay with this detail, and he was in favor of matching the existing windows and siding as proposed.

Chair Fitzgerald liked the proposed addition and felt it was done extremely well, and knowing that it is going to be set so far back, he felt it would fit in beautifully. He also commented that it would be nice to have the old barn in the rear yard removed.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER KUBOW, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR THE ADDITION TO THE EXISTING SINGLE-FAMILY HOME LOCATED AT 619 N. ARLINGTON HEIGHTS ROAD, AS SUBMITTED. THIS APPROVAL IS BASED ON THE ARCHITECTURAL PLANS DATED 8/31/17 AND RECEIVED 9/01/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

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KUBOW, AYE; COON, AYE; KINGSLEY, AYE; ECKHARDT, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 4. CBD SIGNAGE REVIEW**DC#17-112 – Passero Restaurant – 5 W. Campbell St.**

Alex Perry, representing *Right Way Signs*, and **Matt Peota**, representing *Passero*, were present on behalf of the project.

Chair Fitzgerald asked if there was any public comment on the project and there was no response from the audience.

Mr. Hautzinger presented Staff comments. The petitioner is opening a new restaurant at 5 W. Campbell Street in the Downtown, and is proposing one new wall sign to face Campbell Street, which complies with code. He clarified that this is a design review only, not a sign variation.

The proposed wall sign is intended to have a rustic appearance, fabricated from reclaimed pine wood. The lettering on the sign is proposed to be hand painted black with a distressed finish. The sign will be externally illuminated with new gooseneck lighting mounted on the building wall above. Staff feels that overall, the rustic sign concept on reclaimed wood with gooseneck lighting is very nice. However, the concern with the design is that the intentional loose-style hand painted lettering could be misinterpreted as having an unprofessional, homemade appearance.

Staff suggestions are as follows:

- Add some precise supplemental wording on the sign so that it is clear that the “PASSERO” lettering is intentionally loose. An example of this is shown in the Staff report.
- Consider routing the “PASSERO” lettering into the sign and painting the recessed pocket for a more finished appearance. An example of this is shown in the Staff report.
- Consider applying black metal letters to the sign for a more finished appearance. A sample of this is shown in the Staff report.

Staff recommends the Design Commission evaluate the proposed design, with the three suggestions made by Staff.

Mr. Perry said that different types of materials and methods for the new signage were discussed at length with the restaurant owner. They have concerns about keeping to the integrity of the logo, which is used consistently on the interior space as well as the exterior signage. The actual design and logo is meant to look hand painted, and is better represented in the color rendering than on the projector screen being used tonight.

Commissioner Kubow said that after hearing the petitioner’s comments about the consistent theme being proposed on both the interior and exterior, he is in full support of the proposed sign. He felt the sign was different from what is currently in the Village, and it is certainly better than what is there now. This is an improvement and he is excited to see the new restaurant open. The petitioner added that the white brick on the building was cleaned up to allow the new sign to have more presence on the building.

Commissioner Kingsley understood the consistent theme being carried on both the interior and exterior of the building, and she had no issues with the new sign.

Commissioner Eckhardt said that it is really difficult to look artsy and sloppy at the same time, and he felt the new sign achieved that. He asked for clarification on the color of the bird, and the petitioner explained that the bird is actually a cutout that will show through to the white brick building. **Commissioner Eckhardt** had no issue with the proposed sign, which is similar to signs he sees in Bucktown at very sophisticated restaurants. He welcomed the new restaurant to Arlington Heights.

Chair Fitzgerald loved the combination of the wood, the brick and the windows, which is right on trend and really cool. He is excited to see the new restaurant.

Commissioner Coon said that he lives near the downtown and is looking forward to the new restaurant opening. He liked the proposed sign, which he felt completes the street with the other signs and window displays that are there, and is far better than the previous sign.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER KINGSLEY, TO APPROVE THE PROPOSED SIGN DESIGN FOR *PASSERO* LOCATED AT 5 W. CAMPBELL STREET, AS SUBMITTED. THIS APPROVAL IS BASED ON THE PLANS RECEIVED 8/30/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

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KUBOW, AYE; COON, AYE; KINGSLEY, AYE; ECKHARDT, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 5. COMMERCIAL REVIEW**DC#17-105 – Kotis Surgical Center – 3443 N. Kennicott Ave.**

Dr. John Kotis, representing *Kotis Surgical Center*, and **Douglas Hammen**, representing *Douglas Design & Associates*, were present on behalf of the project.

Chair Fitzgerald asked if there was any public comment on the project and there was no response from the audience.

Mr. Hautzinger presented Staff comments. The petitioner is seeking approval of the architectural design for an addition and complete renovation of their existing medical office building. The existing building is approximately 2,554 sf, and it is a single story. The proposed addition will add approximately 2,445 sf of floor area for a total of 4,999 sf. The scope of the project also includes a complete redevelopment of the site including a new parking lot and landscaping.

The proposed addition is on the front of the building, creating an entirely new look for the building. The proposed design is an exciting modern style using glass curtain walls and a sloping fiber cement rainscreen wall to create a unique and sculptural façade. The existing brick portions on the back of the building will be painted a dark "Plum Brown" color. Overall, the proposed design is very nicely done, and the unique appearance will fit in well in this location, surrounded by other commercial properties. All rooftop mechanical equipment will be completely screened from view by walls and mechanical screens. A trash enclosure is located on the rear of the building to store one trash dumpster.

An "Arlington Medical Arts" wall sign is proposed on the front wall of the building, and a "K" logo is proposed on the north side wall. Only one wall sign is allowed per street frontage, so the "K" logo on the side wall should be omitted. One existing ground sign is being removed. Separate sign permits are required for all signage. A variety of landscaping is proposed in and around the new stormwater detention basin behind the building, and new shade trees are provided in all of the parking islands.

Staff recommends approval of the proposed design for the addition and renovation to the existing building, as submitted.

Mr. Hammen said that they are proposing a small addition that will double the size of the original building. The design is pretty aggressive and will fit in the community very well, and they are excited to move forward.

Commissioner Kingsley was excited that the design is different and unique, and she appreciated the effort that went into the design, which will be eye-catching from Dundee Road. She asked for clarification on the rainscreen material, the color of the reveal, the fasteners, the angle of the elevation, and how the windows behind are being detailed, which **Mr. Hammen** explained. **Commissioner Kingsley** had no further comments.

Commissioner Eckhardt loved the building; this is the kind of architecture he would expect to see from this type of medical practice. He had no issues with the design and encouraged the petitioner to consider a sign variation request for the "K" logo shown on the building, which he felt was part of the building.

Commissioner Coon liked the design a lot and agreed with Staff's comment that the "K" logo is not necessary and detracts from the design; however, he liked the angled sign on the front of the building. He suggested a penetrating stain product instead of painting the brick.

Commissioner Kubow felt that the proposed design was exceptional; this is one of the most amazing proposals he has seen since he has been a commissioner, and he loved it. He agreed with Commissioner Coon that the "K" logo does not fit and takes away from the amazing architecture of the building; the building speaks for itself. **Commissioner Eckhardt** pointed out that a ground sign is allowed by code, which **Commissioner Kubow** said could be consistent with the design and materials on the building. **Commissioner Eckhardt** asked where the address numbers would be

located on the building, and **Mr. Hammen** pointed them out on the glass on the front elevation, which **Commissioner Eckhardt** felt were too low.

Chair Fitzgerald felt the design was spectacular and was very excited to see the building. He was okay with the "K" logo, which he would support as a variation.

Chair Fitzgerald again asked if there was any public comment on the project and there was no response from the audience.

Commissioner Kubow said that if the petitioner were to come back with a variation request for the "K" logo, he would not say no to it; he just felt strongly about the architecture.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER COON, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR KOTIS SURGICAL CENTER, LOCATED AT 3443 N. KENNICOTT AVENUE, AS SUBMITTED. THIS APPROVAL IS BASED ON THE PLANS DATED 8/10/17, RECEIVED ON 8/16/17, REVISED SITE AND LANDSCAPE PLANS RECEIVED ON 9/20/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

- 1. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.**

Commissioner Eckhardt felt the address numbers on the building were too low and not visible because of the landscaping on the front of the building. He encouraged the petitioner to have a ground sign with the Doctor's name and address on it.

**KUBOW, AYE; COON, AYE; KINGSLEY, AYE; ECKHARDT, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.**

Mr. Hautzinger asked the commissioners for their preliminary feedback on a sign variation request for the "K" logo so that the petitioner would know if it was worth pursuing or not. **Commissioner Kubow** did not recommend it but was okay with it; **Commissioner Coon** felt it was not needed, but he would not oppose it. The petitioner referred to the sample of the white fiber cement panel and explained that the "K" logo is actually a piece of the same material, cut out in an embossed shape, to be applied on the building or engraved into the panel itself; it would not be illuminated. **Chair Fitzgerald** said he would be okay with a variation for this logo, as was **Commissioner Eckhardt**. **Commissioner Kingsley** was okay with it as well, although she felt it was nice without it too.

ITEM 6. CHURCH REVIEW**DC#17-110 – St. Edna Church – 2525 N. Arlington Heights Rd.**

Susan Maish, representing *JNKA Architects*, and **Mike Maloni**, *St. Edna Building Rep*, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing a new Multi-Purpose Parish Center addition to the existing St. Edna Church building. The new building will consist of a multi-purpose assembly/gymnasium room with a raised stage, kitchen, and toilet rooms. A two-story rectory residence has been demolished to make way for the construction of the new addition. The new building will be connected to the existing building with a new corridor structure, but otherwise, the existing building will remain as is. The scope of the project includes site and landscape work around the new addition as well as a new 45 space parking area. This project requires Plan Commission review and Village Board approval for an amendment to an existing PUD.

This project was previously reviewed and approved by the Design Commission in 2013. At that time, the proposed Parish Center addition was 2,625 sf smaller and 5'-4" shorter than this current proposal:

- 13,425 sf currently proposed (10,800 sf previously approved)
- 31'-0" to the top of the wall currently proposed (25'-8" to the top of the wall previously approved)
- 36'-0" to the peak of the gable currently proposed (30'-8" to the peak of the gable previously approved)

The increased building height still complies with the zoning requirements. In 2013, numerous color schemes and massing options were studied for the proposed addition, and the current proposal retains the same basic color scheme and massing as the approved 2013 design.

Three new mechanical units are proposed to be mounted on grade adjacent to the new addition. The mechanical units will be fully screened by wood fences and landscaping. The new rooftop kitchen exhaust fan on the lower roof area is required to be screened from view. Overall, the proposed landscaping work is generally nicely done. The Petitioner will be required to comply with all landscape and parking requirements as part of the Plan Commission approval process.

Staff recommends approval of the proposed design for the church addition, with the comment to incorporate a screen around the rooftop kitchen exhaust.

Chair Fitzgerald asked if there was any public comment on the project and there was no response from the audience.

Ms. Maish said that in response to the Plan Commission comments they received from Staff, additional landscaping has been added on the east side of the parking lot. They are also removing the kalwall on the existing lobby due to deterioration and replacing it with a hip roof. With regards to screening around the rooftop kitchen exhaust, she asked if they could work with Staff to determine the best way to do this; they are trying to blend it in with the existing gable shape. She presented some preliminary concepts showing new gables along the edge of the wall to block the view of the exhaust fan.

With regards to the screening of the kitchen exhaust, **Commissioner Eckhardt** said that he was okay with the three gables shown in the concept, or adding a cementitious fence around the exhaust, or just putting a simple box around it that matches the tan color of the wall. He had no issues with the design and no further comments.

Commissioner Coon felt the new gable on the left side was not warranted; he was in favor of a roof screen around the kitchen exhaust that matches the higher portion of the wall. **Commissioner Kubow** agreed with Commissioner Coon.

Commissioner Kingsley stated that she was not on the commission when the project was previously reviewed and approved. She felt that a third gable was unnecessary to screen the kitchen exhaust; she liked that the first-floor of the building tied in with the rest of the building; she questioned whether the gable end on the second-floor addition was necessary; and suggested something else be brought up there to give it more 'detail', rather than mimic the rest of the building. Her suggestions included not to finish it in white, or have a brown cross just in the middle instead of the brown accent going all the way across, or keep it less ornate so the rest of it can pop. She liked what was done with the kalwall area by introducing a new hip roof. **Commissioner Kingsley** reiterated that she was not on the commission when the color schemes were being reviewed and approved. **Ms. Maish** replied that many color combinations were considered, and she felt the white band at the top of the building helped the building appear less massive; she was concerned about removing it.

Chair Fitzgerald was okay with the size and scale of the new building addition, which he felt was not much different than the previous approval. He felt that something definitely needed to be done with the screening of the rooftop kitchen exhaust, and he was not in favor of adding another gable to screen it. He would make it a requirement to add a tree off to the side of this elevation, left of the walkway, consistent with the tree shown on the other side of this elevation, as well as add a tree on the side, if one will fit there. He would suggest this be reviewed and approved by Staff.

Commissioner Kingsley suggested changing the white finish at the top of the building to the dark color. **Commissioner Eckhardt** remembered that he felt strongly about the white color at the top of the building, instead of brown, because white helped tie it together with all of the buildings on campus. **Chair Fitzgerald** agreed and remembered the commissioners considering both brown and white at the top of the building; the white color was one of the elements that tied everything together for him.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER COON, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR THE ADDITION TO ST. EDNA CHURCH LOCATED AT 2525 N. ARLINGTON HEIGHTS ROAD, AS SUBMITTED. THIS APPROVAL IS BASED ON THE PLANS DATED 8/18/17, RECEIVED ON 8/29/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT THAT A TREE BE ADDED AT THE NORTHWEST CORNER TO HELP SOFTEN THE FUTURE SCREENING OF THE ROOFTOP KITCHEN EXHAUST FAN FROM THE KITCHEN.
2. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
3. THE PETITIONER IS REQUIRED TO MEET ALL LANDSCAPING AND PARKING REQUIREMENTS, PER CHAPTER 28.
4. ALL SIGNAGE MUST MEET CODE, PER CHAPTER 30.

Chair Fitzgerald wanted to add that the screening of the rooftop exhaust fan can be approved by Staff. **Commissioner Kingsley** said the commissioners previously talked about having the screening match the color/material of the building located behind it. **Commissioner Eckhardt** was okay with adding this to the motion.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER COON, TO AMEND THE MOTION AS FOLLOWS:

5. A REQUIREMENT THAT THE SCREENING OF THE ROOFTOP KITCHEN EXHAUST MATCH THE COLOR/MATERIAL OF THE BUILDING BEHIND IT, TO BE REVIEWED BY STAFF.

KUBOW, AYE; COON, AYE; KINGSLEY, AYE; ECKHARDT, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

DRAFT

ITEM 7. COMMERCIAL REVIEW & SIGN VARIATION REVIEW**DC#17-104 & 17-111 – Aldi Store – 550 E. Golf Rd.**

Chris Stair & Tom Strehmann, representing *Aldi*, and **T. J. Doyle**, representing *Doyle Signs*, and **David McCallum**, representing *McCallum Associates*, were present on behalf of the project.

Chair Fitzgerald asked if there was any public comment on the project and there was a response from the audience.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to expand an existing 16,079 sf Aldi grocery store with a 3,287 sf building addition for a total building area of 19,366 sf. The scope of the project also includes new signage, which requires sign variations. The existing parking lot will be modified only as needed to accommodate the new addition. The proposed addition complies with the B-2, General Business, zoning district requirements.

The existing building design is unremarkable with a simple entry design and red brick exterior walls. The proposed addition will extend across the entire front wall of the building facing Golf Road, creating an entirely new façade. The addition includes a new enhanced entry feature with a “bright silver” aluminum entrance canopy and wall cladding above a new clear anodized storefront entrance. Dark brown brick is proposed as an accent material on the vertical piers at the entry and across the front of the building.

While the new entrance is nicely designed, the rest of the building walls are flat brick walls, which lack detail and interest. Other Aldi stores include high transom windows across the front wall which adds interest to the design. It is recommended that high transom windows be added to this project, similar to the photo shown in the Staff report; however, the petitioner has indicated that this will create an issue with the interior of the store. There will be three new rooftop mechanical units that will be screened from view with equipment screens attached to the units. Trash will be stored within an existing trash enclosure located on the west side of the building.

With regards to landscaping, code requires that all landscape islands contain shade trees, and that the perimeter of the parking lot be screened with a continuous three-foot tall landscape hedge. Overall, the landscaping on the site is well maintained, but some of the landscape islands are missing shade trees, and there are some gaps in the perimeter hedge screen along Goebbert Road. The petitioner is proposing to add six shade trees where they are missing in the landscape islands, but three additional trees are required to be added in the remaining landscape islands. Also, the gaps in the perimeter hedge screen along Goebbert Road need to be filled in. Finally, it is recommended that a variety of shrubs and perennials be added around the ground sign at the southeast corner of the site to enhance the appearance.

Staff would recommend approval of the proposed architectural design for the addition, with the recommendation to add transom windows at the top of the wall along the south elevation, provide 3 additional shade trees in the remaining landscape islands, fill in the gaps in the perimeter hedge screen along Goebbert Road, and provide a variety of shrubs and perennials around the ground sign at the southeast corner of the site.

New wall signage is being proposed as part of the new façade and entry. The building currently has code compliant wall signage with one 50 sf “Aldi” wall sign facing each street frontage. New larger 75 sf “Aldi” wall signs are proposed to replace the existing signs, and new decorative halo-lit logo discs are proposed adjacent to the “Aldi” signs.

The requested sign variations are as follows:

South Elevation:

1. A variation from Chapter 30, section 30-402 Number, to allow two wall signs on the south elevation, where only one wall sign is allowed.
2. A variation from Chapter 30, section 30-403.a Dimensions, to allow a 75 sf wall sign on the south elevation, where 50 sf maximum is allowed.

3. A variation from Chapter 30, section 30-403.a Dimensions, to allow a 81.5 sf wall sign on the south elevation, where 0 sf is allowed.

East Elevation:

4. A variation from Chapter 30, section 30-402 Number, to allow two wall signs on the east elevation, where only one wall sign is allowed.
5. A variation from Chapter 30, section 30-403.a Dimensions, to allow a 75 sf wall sign on the east elevation, where 50 sf maximum is allowed.
6. A variation from Chapter 30, section 30-403.a Dimensions, to allow a 81.5 sf wall sign on the east elevation, where 0 sf is allowed.

The petitioner has submitted a letter addressing the hardship criteria with highlights as follows:

- The building size and setbacks justify the quantity and size of the requested signs.
- The requested signs are per Aldi's national corporate standards.
- The new modern signage will enhance the character of the area.
- The proposed signage is required to properly identify the business.

Staff agrees that the proposed signage is consistent with Aldi's national brand standards, and the new signage will enhance the appearance of the building, especially at night, but the amount of signage requested is three times the current amount on the building. The proposed number and size of wall signs is similar to other previously approved grocery store sign variations, but the amount of signage is significantly larger than other grocery stores of comparable size. Staff does not object to some amount of variations, but the requested amount is excessive.

Staff recommends the Design Commission evaluate the requested wall sign variations and consider the following options:

1. Reduce the size of the signs.
2. Reduce the number of signs.
3. Omit the second wall sign on the east elevation.

Mr. Stair said that Aldi started a national remodel program in early 2016, to remodel all of their stores around the country within 3 years. Stores are either being remodeled with an expansion and new technology, or closed based on performance, or relocated to another location. This store in Arlington Heights performs well and they want to maintain their long standing relationship with the community by proposing this remodel. He presented a revised drawing showing the new corporate identity that was rolled out nationwide a few weeks ago.

Mr. Stair explained that their new ground-up stores have transom windows on the short wall; however, transom windows were not approved by corporate to roll out on the remodeled stores, and the new interior design of the store will interfere with transom windows. Accent brick is being proposed on the pilasters for contrast. They have no issue with the landscaping suggestions from Staff.

Mr. Doyle stated that Aldi's new program is a fantastic change from their old stores, both inside and outside. The remodeled south elevation of the building will be 170 lineal feet, and the east elevation will be 100 lineal feet. The two Aldi wall signs are designed to fit within the tower elements located at the southeast corner of the building. They believe the proposed new signage is reasonable, appropriate in area and location, as well as in relation to the overall size and setback of the building. It will provide an attractive improvement for this location.

Mr. Doyle also addressed the sign variation criteria. The sign ordinance limits one sign per street frontage and 25% of the signable area, and he felt that there are 3 signable areas on each elevation, with the wall signs being the most attractive part of the elevation. The variations, if granted, will not create a traffic hazard, depreciate property values, or be detrimental to the public health, safety, morals or welfare. The variation, if granted, will not provide Aldi with a

competitive advantage over similar businesses, but will provide continuity and compatibility with their national standards marketing image at all locations. The variation, if granted, will not alter the essential character of the locality; it will be the same store, except 100% better. If the variations are not approved, Aldi's new business and marketing image will be reduced unreasonably and destroy the public image presented by the new logo and the icons. He presented a comparison of what the new signage would look like if it were code compliant, and the signage currently proposed. He said that other major grocery stores in town have been granted variations, such as the produce store located down the street that has a large amount of awning signage. They feel their request is not unreasonable, and that the sign code does not cover every situation.

Mr. McCallum, the landscape architect for the project, addressed the landscape comments. He said that there is an existing tree in the northernmost island, and the reason trees are not shown in other islands is because there are light poles there that do not allow for sufficient room for a tree. The southernmost island does have some perennials that will remain, and additional shrubs are proposed for the northernmost island. Adding a tree to the west of the monument sign would interfere with the visibility of the monument sign when traveling west to east.

Commissioner Kubow liked the simple and utilitarian architecture of the building, which is cost effective and similar to the shopping experience at Aldi, which he respects. He felt that an Aldi store has a very distinct look to it, especially the logo, which is a classic 60's or 70's design. **Mr. Stair** clarified that the logo was revised on the drawing he presented tonight, and **Commissioner Kubow** felt it still had a classic color scheme. In terms of signage, **Commissioner Kubow** was in support of what is being proposed as well as the code compliant option that was presented tonight by the petitioner. He had no issue accepting the sign variations because he felt the logo discs were more of an icon graphic and not necessarily signage. For that reason alone, he was okay with what is being proposed, although he liked both comparisons.

Commissioner Kingsley felt it was a great addition and had no issue with the new building design being rolled out nationwide by Aldi; she also liked the materials. She did not mind the wall sign, although she asked if the revised Aldi sign presented tonight was the same size as the previous new wall sign, and if the background panel of the tower was the same size. **Mr. Stair** replied that the size of the Aldi sign and the size of the background panel did not change. **Commissioner Kingsley** also asked about the material of the 3 logos discs, and the color of the coping at the top of the building. **Mr. Stair** replied that the logos would brushed aluminum mounted on a fiber cement board wall cladding, the coping would be 'Slate' grey aluminum, and the doors would be "Keystone" gray.

Mr. Hautzinger asked for clarification of the style of wall sconce light fixtures being proposed, which were inconsistent between the drawings submitted and the reference photos of an Aldi store at another location. The petitioner stated that the reference photo accurately reflected the location and type of the light fixtures being proposed for the building. **Commissioner Kingsley** liked the fixtures being proposed, but was concerned that some of them were not dark sky compliant. She also asked about the rooftop screening, and the petitioner said it would be a horizontal composite wall screen. **Commissioner Kingsley** had no objections to the changes being made to the existing building, which were a really nice upgrade; she felt the colors were great, although she preferred the pilasters to be in the same color. Her only issues were with the exterior lights shining out, and that 3 trees be added either in the parking lot islands that are missing trees or elsewhere on the site.

Commissioner Eckhardt felt the proposed design was a great upgrade to the existing building; he liked the color palette and the 3-tiered arrival at the entrance. He supported the simple sign and the new logo discs being proposed, as well as the backlighting, and felt it was important to replicate the sign at the entrance on both sides of the building. He also supported the sign variance and felt the size of the signs were proportionately equivalent. He cautioned the petitioner about the light fixtures and uplighting, and he was interested with the concerns about dark sky compliance. Otherwise, he is in full support of the project.

Commissioner Coon asked about the clerestory windows located further down the elevation shown in the photograph of another Aldi store. The petitioner replied that clerestory windows are only used on ground-up stores, not on remodeled stores like this one, and the windows would interfere with the first aisle of the store that is located on the

south elevation. **Commissioner Coon** said he was struggling with the long expanse of brick on the south elevation, and pointed out that both the Valli produce store and the strip center to the west have a 'front' elevation, and Aldi does not. If the petitioner had come in with the proposed corner design on the existing building without the expansion, he would love it; it was a great improvement for that corner feature; however, he felt there was a missed opportunity to have an actual front elevation for the building. He understood the petitioner's concerns about windows interfering with product inside the building; however, there are details other than windows that can be added on the long south elevation. He pointed out that the loading already exists on the front of the building, although he liked that the new south wall projects forward and obscures some of that; however, he wanted to see more landscaping added to the west of the loading dock area to help obscure it more. With regards to signage, **Commissioner Coon** was not opposed to the scale of the signage if another bay of the tall wood feature wall was added and the logos were moved over; it seems too crowded as proposed. He preferred signs that are 75% of the size being proposed. He felt a lot of effort was put into the corner element of the building, and he wanted to see more of that effort put into the south elevation, given its prominence on Golf Road, whether it be through additional landscaping or an extension of the corner element.

Chair Fitzgerald was okay with the signage as proposed and felt it looked appropriate with the building. He was very much intrigued with the 3 logo discs, especially at night, and felt the material is a great contrast and interesting. He liked everything being proposed with the exception of the south elevation west of the 3 logo discs; he could not remember a project where the commissioners did not require landscaping or some details on a long expanse of wall like this. He asked the petitioner why there was no landscaping on the south elevation, from the area where the push carts are stored over to the garage door bay that is now set back. The petitioner referred to the sidewalk along the south elevation that is adjacent to the drive aisle and stated that bumping the area out for landscaping would result in the drive aisle becoming too small for trucks. **Chair Fitzgerald** questioned the need for a sidewalk on the south elevation, and the petitioner explained that this sidewalk would be used by customers parking at the west end of the parking lot, versus having to walk through the drive aisle to get to the front entrance.

Chair Fitzgerald wanted some kind of detail added in each of the bays on the south elevation because the majority of the building that faces Golf Road looks like it is the back or side of the building. He suggested adding a square lattice made of wood, or a round light fixture that spreads light in a circle. The petitioner replied that they were given strict instructions to not vary the design of the remodeled stores to achieve uniformity across the country. **Commissioner Eckhardt** pointed out that 31' is shown from the parking stall to the 5' sidewalk, which is substantially wider than a standard drive aisle, and he questioned why this would not allow for the addition of 2' for plantings. The petitioner replied that he would need to reconfirm the truck movements.

Chair Fitzgerald reiterated that he liked the building, he liked the materials, and he was okay with the signs; his only comment is about the south elevation.

PUBLIC COMMENT

Lynn Guercio, 588 E. Windgate Court. She is an advocate for the homeowners that live near the Aldi store and is here tonight from the perspective of a homeowner. This is a blended area, and the store is right on top of their property, and they have all kinds of issues as a result of that. When the store first moved in, it was more demure and more neighborly, and it fit in because it was less commercial and more of that blended type of community, given the fact that they are right on top of us. However, since the store first opened, the store hours have been extended, bringing trucks at all hours, some of which park on the property and idle, contributing to extra noise on their property. She said that Goebbert Road is the only road going in and out of the Wingate properties, the nursing center, the low income housing, and the Goebbert Plaza. This results in traffic light issues and difficulty exiting their property in a timely manner, with the entrance onto Goebbert Road being very steep as well. She asked if the trash area would be redesigned because it is completely unmanaged, with the Health Department out there countless times and the homeless living behind the store, there are dead trees back there, and part of the fence is falling down. She was also concerned about noise impacts from the rooftop equipment. She felt the Aldi store at this location when they first moved in was wonderful, but it has really gone downhill. **Chair Fitzgerald** stated that most of these concerns are not under the purview of the Commission and Staff can direct the resident to the appropriate Village contact.

The petitioner stated that screening for the rooftop equipment will be a heavy duty material that will reduce some noise, compared to having no screening, and the number of existing rooftop units will be reduced to one condenser and 2 rooftop units. They can address any truck concerns with store management. The trash enclosure will be contained by a wood fence. **Commissioner Kingsley** asked if the fence along the rear (north) of the property will be replaced and the petitioner replied that the existing fence will be evaluated and repaired where necessary. **Commissioner Kingsley** suggested a fence around the entire detention area, and a different type of material for the trash enclosure to better match the aesthetics of the building.

Commissioner Eckhardt encouraged the resident to talk with the petitioner tonight about her concerns, and contact Staff for direction on the issues not under the purview of this commission. He added that the motion will include a requirement to add landscaping along the loading dock area. He felt the changes being proposed were a great improvement to the existing store, which looks old and tired, and the changes will help everyone in the neighborhood.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER KINGSLEY, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR THE ADDITION TO ALDI LOCATED AT 550 E. GOLF ROAD. THIS APPROVAL IS BASED ON THE PLANS RECEIVED ON 8/16/17, THE REVISED DRAWING (EXHIBIT A) RECEIVED TONIGHT, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT TO ADD A MINIMUM OF 60 LINEAL FEET OF LANDSCAPING AT THE LOADING DOCK, TO BE REVIEWED BY STAFF.
2. A REQUIREMENT THAT THE SOUTH ELEVATION OF THE ADDITION BE ENHANCED WITH 2 DIFFERENT BRICK TYPES AS PROPOSED, AND EITHER REMOVE THE SIDEWALK TO ALLOW FOR A 2-FOOT PLANTING BED, OR REMOVE THE SIDEWALK TO ALLOW FOR PLANT MATERIAL IN PLANTERS ON THE SIDEWALK, TO BE REVIEWED BY STAFF.
3. A REQUIREMENT TO ENHANCE THE LANDSCAPING AROUND THE 2 ISLANDS THAT HAVE LIGHT POLES, IN LIEU OF TREES.
4. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
5. ALL SIGNAGE MUST MEET CODE, PER CHAPTER 30.

Commissioner Kingsley asked that consideration be given to the exterior lighting and the 3 icon discs, that these be dark sky compliant. Also, clarification should be made that this approval is for the drawing submitted tonight (Exhibit A) that shows the wood behind the 3 logo discs, not the aluminum composite on the original proposal, as well as the different color brick on the pilasters. She also asked that the motion include a recommendation to look at the fence at the loading dock.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER KINGSLEY, TO AMEND THE MOTION AS FOLLOWS:

6. THAT EXTERIOR LIGHT FIXTURES BE DARK SKY COMPLIANT.
7. THAT THE PETITIONER WILL EVALUATE THE EXISTING FENCE AND REPAIR WHERE NECESSARY.

8. THAT THE PETITIONER WORK WITH STAFF TO CONSIDER A MATERIAL MORE IN CHARACTER WITH THE BUILDING (NOT WOOD) THAT IS SYMPATHETIC TO THE ADJACENT HOMES, FOR THE FENCE AROUND THE TRASH ENCLOSURE.
9. A REQUIREMENT THAT THE PETITIONER PROVIDE A VARIETY OF SHRUBS AND PERENNIALS AROUND THE GROUND SIGN AT THE SOUTHEAST CORNER OF THE SITE.

Mr. Hautzinger stated that code requires all parking islands to have a tree; therefore, the requirement to enhance the landscaping around the 2 islands that have light poles, in lieu of trees, should be a recommendation. Staff can work with the petitioner on this item.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER KINGSLEY, TO AMEND THE MOTION AS FOLLOWS:

3. A RECOMMENDATION TO ENHANCE THE LANDSCAPING AROUND THE 2 ISLANDS THAT HAVE LIGHT POLES, IN LIEU OF TREES.

KUBOW, AYE; COON, AYE; KINGSLEY, AYE; ECKHARDT, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

A MOTION WAS MADE BY COMMISSIONER KINGSLEY, TO RECOMMEND TO THE VILLAGE BOARD OF TRUSTEES, APPROVAL OF THE FOLLOWING SIGN VARIATION REQUESTS FOR THE ALDI STORE LOCATED AT 550 E. GOLF ROAD:

SOUTH ELEVATION:

1. A VARIATION FROM CHAPTER 30, SECTION 30-402 NUMBER, TO ALLOW TWO WALL SIGNS ON THE SOUTH ELEVATION, WHERE ONLY ONE WALL SIGN IS ALLOWED.
2. A VARIATION FROM CHAPTER 30, SECTION 30-403.A DIMENSIONS, TO ALLOW A 75 SF WALL SIGN ON THE SOUTH ELEVATION, WHERE 50 SF MAXIMUM IS ALLOWED.
3. A VARIATION FROM CHAPTER 30, SECTION 30-403.A DIMENSIONS, TO ALLOW A 81.5 SF WALL SIGN ON THE SOUTH ELEVATION, WHERE 0 SF IS ALLOWED.

EAST ELEVATION:

4. A VARIATION FROM CHAPTER 30, SECTION 30-402 NUMBER, TO ALLOW TWO WALL SIGNS ON THE EAST ELEVATION, WHERE ONLY ONE WALL SIGN IS ALLOWED.
5. A VARIATION FROM CHAPTER 30, SECTION 30-403.A DIMENSIONS, TO ALLOW A 75 SF WALL SIGN ON THE EAST ELEVATION, WHERE 50 SF MAXIMUM IS ALLOWED.
6. A VARIATION FROM CHAPTER 30, SECTION 30-403.A DIMENSIONS, TO ALLOW A 81.5 SF WALL SIGN ON THE EAST ELEVATION, WHERE 0 SF IS ALLOWED.

THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE REVISED ELEVATION 'EXHIBIT A' RECEIVED ON 9/26/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

7. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE

CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

There was no second to the motion.

Mr. Hautzinger said that there needed to be clarification of the variations in light of the revised drawing (Exhibit A) that was presented tonight. The size of the Aldi wall sign was slightly increased in size from 75 sf to 76 sf, and the space between the 3 logo discs was increased from 11" to 2'-1 ¾", which adds approximately 12 sf to the overall sign area. Originally proposed, the 3 logo discs were considered to be one sign; however, increasing the space between each logo disc now made the logo discs appear like 3 separate signs, for a total of 4 signs on each elevation. He suggested two options to consider: revise the variations to show a total of 4 signs being proposed on each elevation, with the new sizes shown on Exhibit A; or continue to treat the 3 logo discs as one sign at 93.6 sf instead of 81.5 sf that was originally proposed. The Design Commission should consider that, if approved as one sign, the 3 logo discs could potentially be replaced in the future with one 93.6 sf wall sign.

Commissioner Kingsley suggested amending the motion to approve the revised Aldi wall sign at 76 sf on each elevation, and 3 individual logo disc signs at the revised size on each elevation, for a total of 8 signs. **Mr. Hautzinger** replied that this would change the variations to allow a total of 4 wall signs on the south and east elevation, where only 1 wall sign is allowed; allow 76 sf of wall sign on the south and east elevation, where 50 sf is allowed; allow three 24.2 sf wall signs on the south and east elevation, where 0 sf is allowed.

Commissioner Kingsley wanted to approve as 4 separate wall signs on each facade. **Commissioner Eckhardt** pointed out that approving them as 4 separate signs would then need to include a requirement for the spacing between the 3 logo discs, as opposed to approving them as one wall sign. He felt the logo discs looked better spaced farther apart, as shown in the revised design presented tonight, and he was more comfortable approving the variations as 2 wall signs on each elevation.

A MOTION WAS MADE BY COMMISSIONER KINGSLEY, SECONDED BY COMMISSIONER ECKHARDT, TO RECOMMEND TO THE VILLAGE BOARD OF TRUSTEES, APPROVAL OF THE FOLLOWING SIGN VARIATION REQUESTS FOR THE ALDI STORE LOCATED AT 550 E. GOLF ROAD:

SOUTH ELEVATION:

1. A VARIATION FROM CHAPTER 30, SECTION 30-402 NUMBER, TO ALLOW TWO WALL SIGNS ON THE SOUTH ELEVATION, WHERE ONLY ONE WALL SIGN IS ALLOWED.
2. A VARIATION FROM CHAPTER 30, SECTION 30-403.A DIMENSIONS, TO ALLOW A 76 SF WALL SIGN ON THE SOUTH ELEVATION, WHERE 50 SF MAXIMUM IS ALLOWED.
3. A VARIATION FROM CHAPTER 30, SECTION 30-403.A DIMENSIONS, TO ALLOW A 93.6 SF WALL SIGN ON THE SOUTH ELEVATION, WHERE 0 SF IS ALLOWED.

EAST ELEVATION:

4. A VARIATION FROM CHAPTER 30, SECTION 30-402 NUMBER, TO ALLOW TWO WALL SIGNS ON THE EAST ELEVATION, WHERE ONLY ONE WALL SIGN IS ALLOWED.
5. A VARIATION FROM CHAPTER 30, SECTION 30-403.A DIMENSIONS, TO ALLOW A 76 SF WALL SIGN ON THE EAST ELEVATION, WHERE 50 SF MAXIMUM IS ALLOWED.
6. A VARIATION FROM CHAPTER 30, SECTION 30-403.A DIMENSIONS, TO ALLOW A 93.6 SF WALL SIGN ON THE EAST ELEVATION, WHERE 0 SF IS ALLOWED.

THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE REVISED ELEVATION 'EXHIBIT A' RECEIVED ON 9/26/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

8. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

KUBOW, AYE; KINGSLEY, AYE; ECKHARDT, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 8. GENERAL MEETING

There was no further discussion.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER COON, TO ADJOURN THE MEETING AT 9:00 P.M. ALL WERE IN FAVOR. THE MOTION CARRIED.

DRAFT



Item: 107 N. Pine Ave. - SF/New - DC#17-070

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 107 N. Pine Avenue. This recommendation is subject to compliance with the revised architectural plans dated received 9/19/17, and the following:

1. Add at least one window on the side of the Dining Room, similar to the window in the Library.
2. Evaluate the proposed exterior colors. Consider a lighter gray or earth tone siding color.
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description	Type
Staff Report	Board or Commission Report
Exhibits 10-10-17	Exhibits
Exhibits 6-13-17	Exhibits

STAFF DESIGN COMMISSION REPORT RE-REVIEW

PROJECT INFORMATION:

Project Name: 107 N. Pine Ave.
Project Address: 107 N. Pine Ave.
Prepared By: Steve Hautzinger

Date Prepared: June 6, 2017
Date Revised: October 4, 2017

PETITION INFORMATION:

DC Number: 17-070
Petitioner Name: Dustin Bucalo
Petitioner Address: 25999 W. Sunset Rd.
Barrington, IL 60010
Original Meeting Date: June 13, 2017
Re-Review Meeting Date: October 10, 2017

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to build a new two-story residence with an attached, two-car garage on an existing vacant lot. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 8,712 square feet and the proposed residence will have approximately 3,802 square feet. The project complies with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 20 feet Side: 6.6 feet Side: 6.6 feet Rear: 30 feet	Front: 27.5 feet Side: 6.6 feet Side: 6.76 feet Rear: 47.6 feet
Building Height	25 feet to the midpoint	24.1 feet to the midpoint
FAR	3,920 SF	3,802 SF
Building Lot Coverage	3,049 SF	2,442 SF
Impervious Surface Coverage Total	4,356 SF	3,186 SF

Project Update:

This project was previously reviewed by the Design Commission on June 13, 2017, at which time the project was CONTINUED so that concerns with the proposed design could be addressed. There were only three Commissioners in attendance at the meeting, which meant that a unanimous vote was required to obtain approval. Two of the Commissioners were in support of the proposed design with minor revisions discussed. However, Chairman Fitzgerald felt that the proposed design was not appropriate in this location, and he cited comments made by the petitioner from the Design Commission's meeting minutes (when they were seeking approval for the new house at 103 N. Pine, directly south of this site) as follows:

- The petitioner said he was intending to build a new home of suitable size and style (at 107 N. Pine).
- The petitioner said he would consider a Bungalow style home (for 107 N. Pine)
- The petitioner said that the new home (for 107 N. Pine) would simulate this home as well as tie with the Bungalow style.

Chairman Fitzgerald stated that, based on the petitioner's previous comments, he was expecting a farmhouse or bungalow style home that would fit with the neighborhood. He felt the scale of the proposed house looked bigger than the new home to the south, and he recommended a simpler design.

The two neighbors to the north attended the June 13 meeting, and both agreed with Chairman Fitzgerald's comments. They felt the home looked too big, and they wanted to see a better transition to the scale of their homes.

Revised Design:

In response to the comments from June 13, the petitioner has made changes to the design as follows:

- The floor plan is the same (with a few minor changes), but the layout of the house on the site has been flipped to place the smaller scale garage to the north to help ease the transition to the existing adjacent homes.
- The overall height of the house has been reduced (approximately 10 inches) by lowering the second floor wall height to 7'-0" on the front and back.
- The style of the house has been changed with simpler farmhouse detailing, including a full front porch and board and batten siding on all sides of the second floor.
- A bump out was added in the stairwell on the south elevation to break up the large flat wall.

Overall, Staff feels that the revised farmhouse style has a more authentic appearance that is an improvement from the original design, and will fit better with the neighborhood. The revised orientation is a big improvement with the main body of the house fitting in well with the scale of the new house to the south, and the garage side stepping down to the smaller scale of the existing homes to the north.

The side elevations could benefit from additional windows. It is recommended to at least add one window on the side of the Dining Room, similar to the window in the Library.

Staff still has concerns about the proposed colors for the house, which will be similar to the new house next door using black, white, and charcoal gray as the primary colors. The new house next door has all white siding with black windows and a charcoal metal porch roof. The proposed house is iron grey (very dark) siding on the first floor, white board and batten siding on the second floor with white windows. An earth tone or light gray siding color is recommended to avoid the repetitive combinations of white, gray, and black.



Image 1. New house at 103 N. Pine Avenue, directly south of the subject site.

RECOMMENDATION:

It is recommended that the Design Commission **approve** the proposed new single-family residence to be located at 107 N. Pine Avenue. This recommendation is subject to compliance with the revised architectural plans dated received 9/19/17, and the following:

1. Add at least one window on the side of the Dining Room, similar to the window in the Library.
2. Evaluate the proposed exterior colors. Consider a lighter gray or earth tone siding color.
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

_____, October 4, 2017

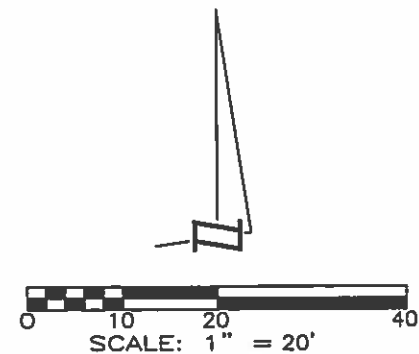
Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 17-070

JUN -5 2017
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PROFESSIONAL LAND SURVEYING, INC.

E-MAIL: info@plslisle.com



PARCEL INDEX NUMBER
03-29-337-003

NORTH PINE AVENUE
(66' R.O.W.)

Concrete Curb-

— FOUND CROSS
1.9' W. & ON LINE

-FOUND IRON PIPE

132.00' (R&M)

Frame Shed

— Fence Cor.
0.3' N. & 1.2' E.

—FOUND IRON PIPE
0.2' W. & ON LINE

**Frame
Garage**

56.00' (R&M)

FOUND IRON PIPE

—Garage Cor.
2.2' E.

**Frame
Garage**

SURVEYED AREA: 8,712± SQ. FT.

REFER TO YOUR DEED, ABSTRACT, TITLE POLICY
AND LOCAL BUILDING AND ZONING ORDINANCE
FOR ITEMS NOT SHOWN HEREON.

NO MEASUREMENTS ARE TO BE ASSUMED BY SCALING

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

PROFESSIONAL LAND SURVEYING, INC. HEREBY CERTIFIES THAT IT HAS SURVEYED THE TRACT OF LAND ABOVE DESCRIBED, AND THAT THE HEREON DRAWN PLAT IS A CORRECT REPRESENTATION THEREOF.

FIELD WORK COMPLETED AND DATED
THIS 26TH DAY OF DECEMBER, 2016.
UPDATED THIS 27TH DAY OF MARCH, 2017.

IPLS No. 3483
MY LICENSE EXPIRES 11/30/2018

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT
ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

NOTE:
POSSIBLE EASEMENT OF ANY PUBLIC
SERVICE CORPORATION AS DISCLOSED
BY SERVICE POLES AND/OR WIRES
ON REAR OF LAND.

LEGAL DESCRIPTION

LOT 6 IN BLOCK 6 IN GEORGE W. DUNTON'S ADDITION
NUMBER 2 IN THE EAST ½ OF THE SOUTHWEST ¼ (LYING
NORTH OF RAILWAY) OF SECTION 29, TOWNSHIP 42
NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL
MERIDIAN SITUATED IN THE VILLAGE OF ARLINGTON
HEIGHTS, COUNTY OF COOK, STATE OF ILLINOIS.

PREPARED FOR: DESIGNERS & BUILDERS

ADDRESS: 107 N. PINE AVENUE, ARLINGTON HEIGHTS, ILLINOIS

BOOK & PG:FILE _____ DATE: 5/24/2017 JOB NO: 1714296

DRAWN BY: JHH CHECK BY: SAR

REVISÉ:

SYMBOL LEGEND

 - CONCRETE SURFACE

-X-X- - FENCE LINE

(R) - RECORD DATA

(M) - MEASURED DATA

□ - UTILITY POLE

~~-OHW-~~ - OVERHEAD WIRES

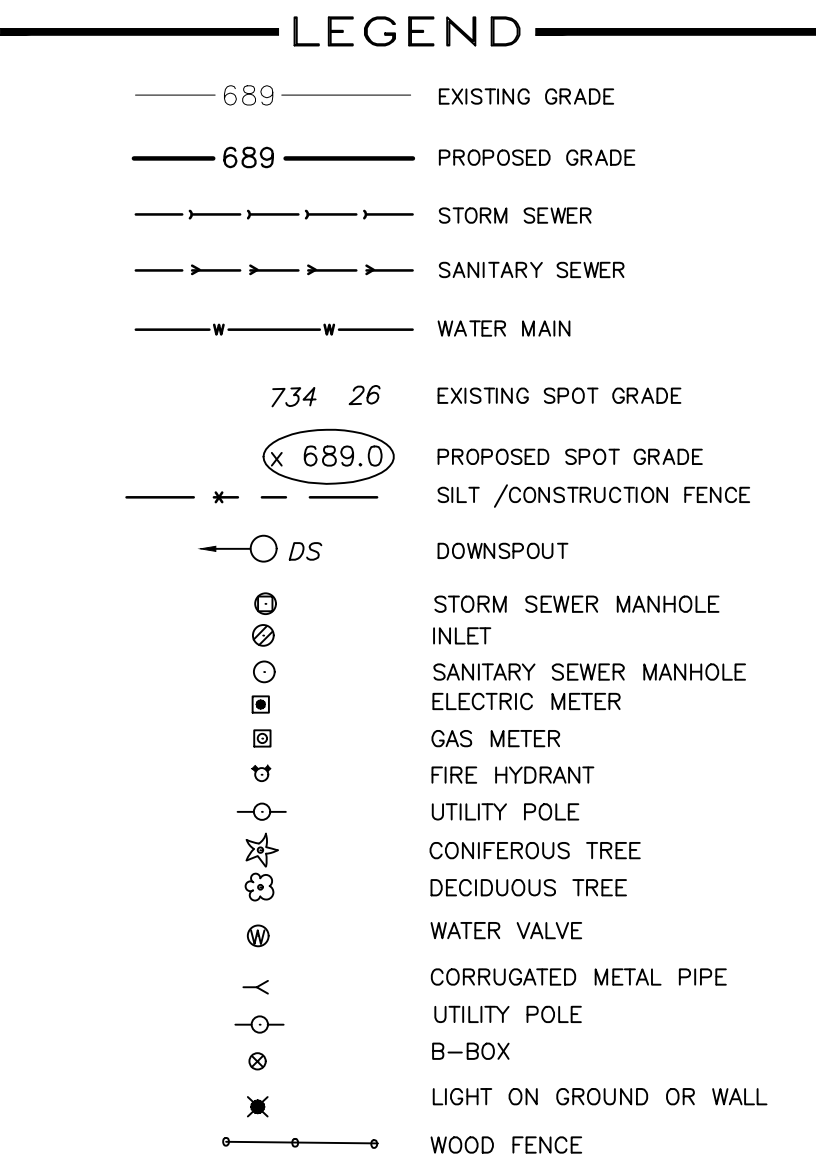
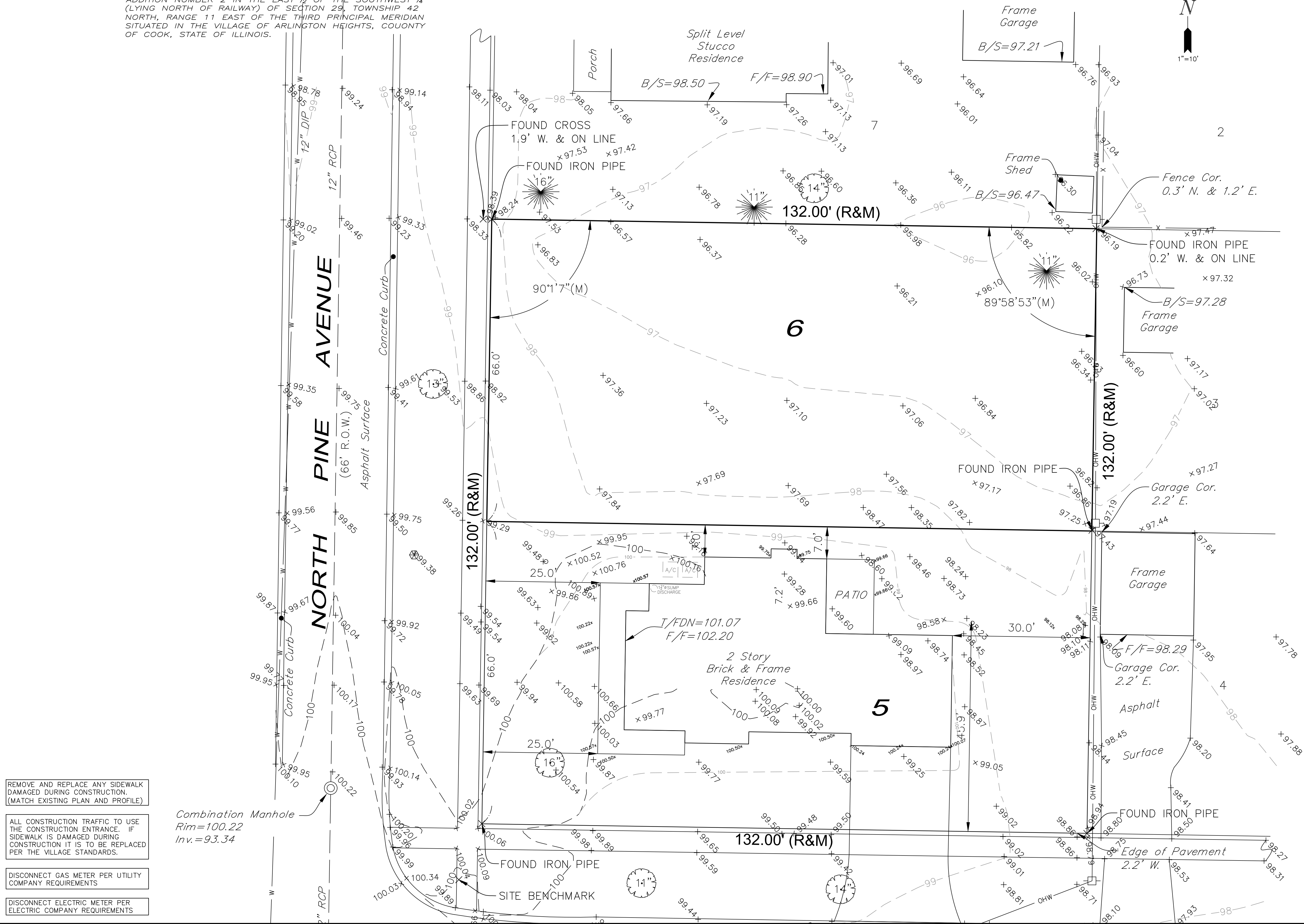


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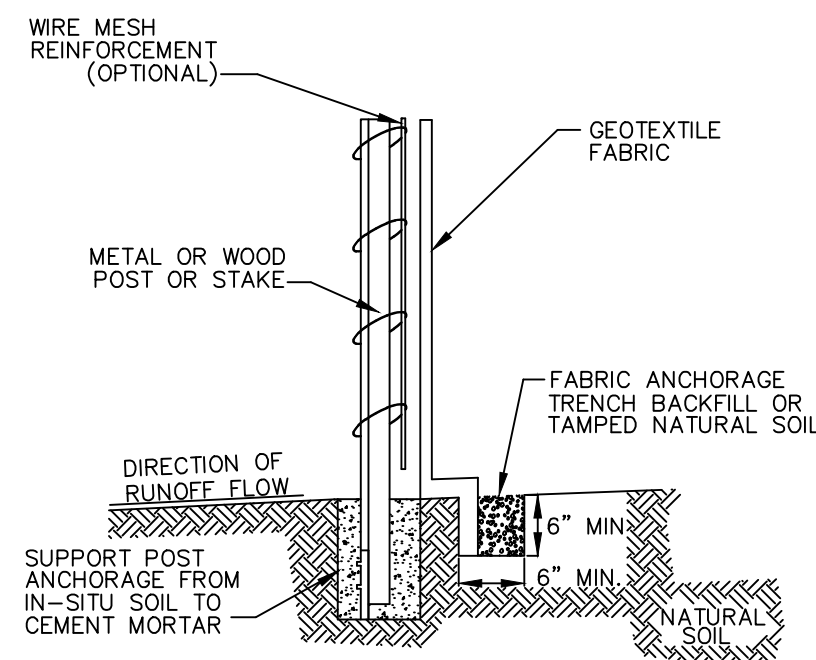
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EXISTING CONDITIONS PLAN

OF
LOTS 5 AND 6 IN BLOCK 6 IN GEORGE W. DUNTON'S
ADDITION NUMBER 2 IN THE EAST $\frac{1}{2}$ OF THE SOUTHWEST $\frac{1}{4}$
(LYING NORTH OF RAILWAY) OF SECTION 29, TOWNSHIP 42
NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN
SITUATED IN THE VILLAGE OF ARLINGTON HEIGHTS, COUNTY
OF COOK, STATE OF ILLINOIS.



TYPICAL DETAILS FOR SILT FENCE CONSTRUCTION



NOTE:
DEPENDENT UPON CONFIGURATION, ATTACH FABRIC
TO WIRE MESH w/HOG RINGS, STEEL POSTS w/TIE
WIRES, WOOD POSTS w/NAILS.

REMOVE AND REPLACE ANY SIDEWALK
DAMAGED DURING CONSTRUCTION.
(MATCH EXISTING PLAN AND PROFILE)

ALL CONSTRUCTION TRAFFIC TO USE
THE CONSTRUCTION ENTRANCE. IF
SIDEWALK IS DAMAGED DURING
CONSTRUCTION IT IS TO BE REPLACED
PER THE VILLAGE STANDARDS.

DISCONNECT GAS METER PER UTILITY
COMPANY REQUIREMENTS

DISCONNECT ELECTRIC METER PER
ELECTRIC COMPANY REQUIREMENTS

Combination Manhole
Rim=100.22
Inv.=93.34

- PROPOSED CONTRACTOR ON SITE PARKING
- PROPOSED MATERIAL LAY DOWN AREA
- DEMOLISHED AND REMOVED
- TREES TO BE REMOVED

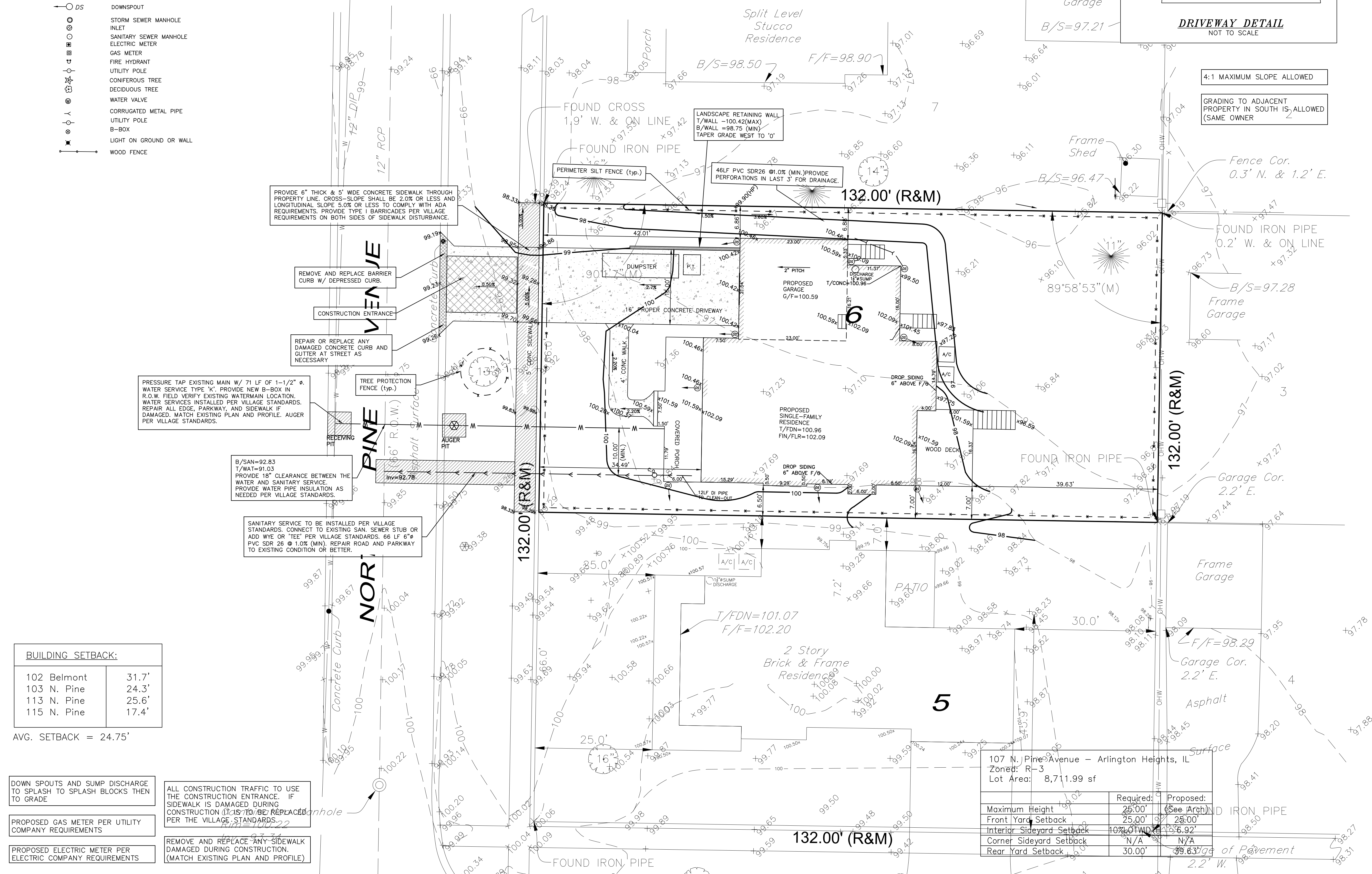
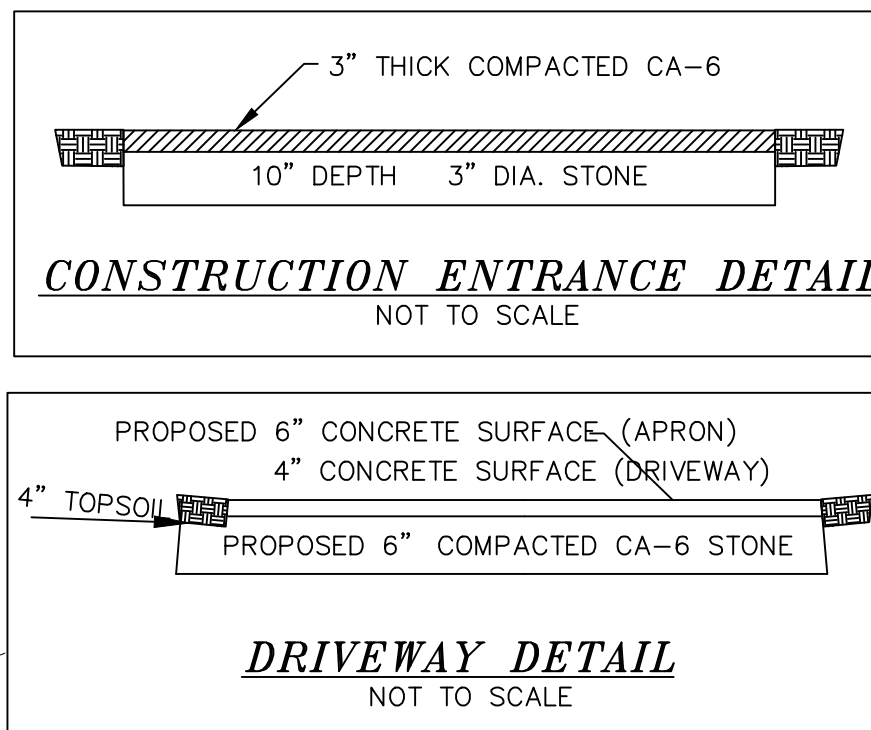


KOZIOL ENGINEERING SERVICES
Professional Engineers
1621 OGDEN AVE.
Lisle, IL 60532
630/435-8686
CIVIL / CONSULTING ENGINEERS

SCALE	REV	DATE	PREPARER
1"=10'	0	05/11/17	JEK
17132			
PAGE			
2 of 2			

	689	EXISTING GRADE
	689	PROPOSED GRADE
		STORM SEWER
		SANITARY SEWER
		WATER MAIN
	734 26	EXISTING SPOT GRADE
		SILO / CONSTRUCTION FENCE
	DS	DOWNSPOUT
		STORM SEWER MANHOLE INLET
		SANITARY SEWER MANHOLE
		ELECTRIC METER
		GAS METER
		FIRE HYDRANT
		UTILITY POLE
		CONIFEROUS TREE
		DECIDUOUS TREE
		WATER VALVE
		CORRUGATED METAL PIPE
		UTILITY POLE B-BOX
		LIGHT ON GROUND OR WALL
		WOOD FENCE

LOTS 5 AND 6 IN BLOCK 6 IN GEORGE W. DUNTON'S
ADDITION NUMBER 2 IN THE EAST ½ OF THE SOUTHWEST ¼
(LYING NORTH OF RAILWAY) OF SECTION 29, TOWNSHIP 42
NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN
SITUATED IN THE VILLAGE OF ARLINGTON HEIGHTS, COUNTY
OF COOK, STATE OF ILLINOIS.



- NOTES:
- 1) WATER SERVICES IS TO BE 1 1/2" DIA. COPPER, TYPE K, CONNECT TO EXISTING B-BOX, ADJ. SPIGOT AT FOUNDATION FOR SITE WATER SOURCE DURING CONSTRUCTION.
- 2) SANITARY SERVICE TO BE 6" PVC SDR 26 @ 1.0% MIN. CONNECT TO EXISTING SERVICE STUB MAIN PER VILLAGE REQUIREMENTS.
- 3) SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON THE SITE.
- 4) ANY SOIL, MUD OR DEBRIS THAT IS WASHED, TRACKED OR DEPOSITED ONTO A STREET SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
- 5) A 5' ST. CHAIN LINK FENCE & SILT FENCE IS TO BE PLACED AROUND THE ENTIRE SITE FOR EROSION CONTROL AND DEBRIS CONTROL.
- 6) OFFSITE / ROW AREAS DISTURBED ARE TO BE RESTORED TO THE ORIGINAL CONDITION AND SLOPED.
- 7) ALL PARKWAY TREES ARE TO BE PROTECTED PER THE VILLAGE TREE PROTECTION STANDARDS.
- 8) ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE VILLAGE STANDARDS AND ORDINANCES.
- 9) GRADING ALONG THE PERIMETER OF THE ENTIRE LOT SHALL MEET THE EXISTING GRADES.
- 10) ANY PUBLIC SIDEWALKS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED PER THE VILLAGE STANDARD DETAIL.
- 11) NO PARKING ON OR BLOCKING OF SIDEWALKS IS PERMITTED.
- 12) WATER TRUCK TO BE ON-SITE DURING DEMOLITION TO WET DOWN STRUCTURE TO BE DEMOLISHED. WATER AS NECESSARY TO PREVENT DUST FROM LEAVING THE SITE.
- 13) ALL WATER PUMPED OR OTHERWISE DISCHARGED FROM SITE DURING CONSTRUCTION IS TO BE FILTERED.
- 14) IF EXISTING SIDEWALK CURB DEPRESSION IS NOT USED, REMOVE AND REPLACE W/ BARRIER CURB TO MATCH EXISTING CURB PROFILE. SAW CUT OR RE-POUR DEPRESSIONED CURB FOR NEW DRIVE LOCATION.
- 15) THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION FROM THE DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS NOT AT FINAL GRADE THAT WILL REMAIN UNDISTURBED FOR MORE THAN 15 DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION.
- 16) ALL EXISTING AND NEW DRAINAGE SHALL BE PROTECTED WITH SEDIMENT TRAPPING FILTER CONTROL DEVICES DURING CONSTRUCTION.
- 17) OPEN CUT EXISTING ROAD TO CONSTRUCT SANITARY SERVICE CONSTRUCTION ROAD TO MATCH EXISTING CROSS SECTION OR DIRECTED BY THE VILLAGE ENGINEER.
- 18) VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO A GRAVEL DRIVE. SAID GRAVEL DRIVE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS ABOVE THE TOP OF THE EXISTING DRIVE.
- 19) IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.
- 20) ALL SANITARY SEWER AND WATER MAIN WORK AND MATERIALS SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE EDITIONS OF THE STANDARDS OF PRACTICE SPECIFICATION FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, 1995 EDITION, CURRENT EDITION.

- 1) ANY NEW STRUCTURE OR IMPERVIOUS AREA SHOWN ON THE FINAL GRADING SURVEY THAT WAS NOT ON THE APPROVED SITE PLAN OR OTHERWISE APPROVED BY DEVELOPMENT REVIEW SHALL BE SUBJECT TO A REVIEW BY THE DEVELOPMENT REVIEW BOARD. UNAPPROVED WORK CONSTITUTES AS WORKING WITHOUT A PERMIT AND IS IN VIOLATION OF THE CITY OF SAN JOSE DEVELOPMENT ORDINANCE.
- 2) IMPERVIOUS AREA IS DEFINED AS ANY AREAS COMPOSED OF MATERIAL WHICH IS GENERALLY INCAPABLE OF BEING PENETRATED BY STORMWATER, INCLUDING WITHOUT LIMITATION, ROOFTOPS, BUILDINGS, PARKING LOTS, DRIVEWAYS, ROADS, SIDEWALKS, AND PATIOS. WOE 26.7.3.
- 3) FINAL GRADING SURVEY SHALL NOT BE COMPLETED UNTIL SOD HAS BEEN INSTALLED.
- 4) AN APPROVED FINAL GRADING SURVEY SHALL BE REQUIRED PRIOR TO ALLOWING A COMMENCEMENT OF DEVELOPMENT. ANY INSUFFICIENTLY INSPECTED PERIOD FOR ALL SUBMITTED FINAL GRADING SURVEYS IS APPROXIMATELY 10 DAYS.
- 5) SWALES SHALL BE CONSTRUCTED OF ESTABLISHED VEGETATION, SUBJECT TO VILLAGE APPROVAL.

EROSION CONTROL NOTES

A) THE SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE ANY LAND IS DISTURBED ON THE SITE.

B) STOCKPILES OF SOIL SHALL NOT BE LOCATED WITHIN SPECIAL MANAGEMENT AREAS.

C) AN INITIAL SEDIMENT AND EROSION CONTROL INSPECTION IS REQUIRED PRIOR TO STARTING CONSTRUCTION. THE APPLICANT IS DIRECTED TO CONTACT THE COMMUNITY DEVELOPMENT DEPARTMENT AT 626-434-5529 TO SCHEDULE THIS INSPECTION. THIS NOTIFICATION SHALL BE AT LEAST 24 HOURS IN ADVANCE OF CONSTRUCTION.

D) SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR ANY STOCKPILE IF IT IS TO REMAIN IN PLACE FOR MORE THAN 7 DAYS.

E) PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM FROM THE SITE SHALL BE PROTECTED FROM EROSION IF THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES OF STORMWATER RUNOFF ARE TEMPORARILY INCREASED BY CONSTRUCTION.

F) STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER DEVICES DURING CONSTRUCTION.

G) THE PERCENT OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN FIFTEEN DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS THAT WILL REMAIN UNDISTURBED FOR MORE THAN FIFTEEN DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION.

H) WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING THE CONSTRUCTION Dewatering SHALL BE FILTERED.

I) A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO PREVENT THE DEPOSITION OF SOIL ONTO PUBLIC OR PRIVATE ROADWAYS, AND TO PREVENT PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.

J) ALL TEMPORARY EROSION CONTROL MEASURES NECESSARY TO MEET THE REQUIREMENTS OF THE LOCAL GOV. OF POWERS-GOVERNED STORMWATER AND FLOOD CONTROL DISTRICT SHALL BE OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SEDIMENT AND EROSION CONTROL MEASURES ARE OPERATIONAL.

K) ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN (30) DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED AREAS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO PERMANENT STABILIZATION.

CROSS CUT IN CONCRETE WALK NEAR SOUTHWEST CORNER OF
SUBJECT PROPERTY, AS SHOWN HEREON.

ELEVATION = 100.00 (ASSUMED)

TOTAL LOT AREA: 8,711.99 sf	
Existing Impervious:	0.00 sf (00.00%)
Total Proposed Impervious:	3,552.31 sf (40.77%)
Total Decreased Impervious:	3,552.31 sf (40.77%)

I, JAMES E. KOZIOL, A REGISTERED PROFESSIONAL ENGINEER IN THE
STATE OF ILLINOIS, HEREBY CERTIFY THAT THIS SITE PLAN
HAS BEEN PREPARED UNDER MY DIRECTION WITH KNOWLEDGE
OF THE EXISTING SURVEYS.

I, ALSO CERTIFY THAT THE DEVELOPMENT OF THE SUBJECT SITE IN ACCORDANCE WITH THIS PLAN WILL NOT INCREASE THE AMOUNT OR RATE OF RUN-OFF SO AS TO ADVERSELY AFFECT THE QUALITY OR SURFACE WATER DRAINING ONTO ADJACENT PROPERTIES AND WILL NOT DAMAGE OTHER PROPERTIES.

DATED THIS 17th DAY OF January 2017 A.D.

JAMES E. KOZIOL LIC. NO. 062-41326
ILLINOIS REGISTERED PROFESSIONAL ENGINEER (EXP. 11-30-19)
(2 PAGES)



KOZIOL ENGINEERING SERVICES
Professional Engineers
1621 OGDEN AVE.
LISLE, IL. 60532
630/435-8686
CIVIL / CONSULTING ENGINEERS

107 N. PINE AVENUE ARLINGTON HEIGHTS, IL	SCALE	REV	DATE	PREPARER
	1"=10'	0	05/11/17	JEK
	17132	1	09/25/17	JEK
	PAGE			





1C
A201

EXISTING FRONT ELEVATION

1/8"=1'-0"

3C
A201

EXISTING FRONT ELEVATION

SUBJECT PROPERTY
107 N. PINE AVE

1/8"=1'-0"

5C
A201

EXISTING FRONT ELEVATION

1/8"=1'-0"

1C
A201

EXISTING FRONT ELEVATION

1/8"=1'-0"

3C
A201

FRONT ELEVATION

SUBJECT PROPERTY
107 N. PINE AVE

1/8"=1'-0"

5C
A201

EXISTING FRONT ELEVATION

1/8"=1'-0"

1E
A201

EXISTING FRONT ELEVATION

1/8"=1'-0"

3E
A201

FRONT ELEVATION STREETSCAPE W/ TREES

SUBJECT PROPERTY
107 N. PINE AVE

1/8"=1'-0"

5E
A201

EXISTING FRONT ELEVATION

1/8"=1'-0"

DESIGN STAGE		REVISIONS	
CONCEPTUAL DESIGN	04-04-17 BA	1	04-04-17 BA
PRELIMINARY DESIGN	04-04-17 BA	2	04-04-17 BA
DESIGN DEVELOPMENT	04-04-17 BA	3	04-04-17 BA
PERMITTING	04-04-17 BA	4	04-04-17 BA
RELEASE FOR PERMIT	04-04-17 BA	5	04-04-17 BA

DESIGNERS & BUILDERS DEV., INC.
107 N. PINE AVE.
ARLINGTON HEIGHTS, ILLINOIS

CONTEXT ELEVATIONS

Architects & Planners, Inc.
2000 Belton Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax: 815-788-9201

Job Number: 17068
Sheet Number: A202
File Name: 17068202

RELEASED FOR
DESIGN COMMISSION
NOT FOR CONSTRUCTION

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1C
A200

REAR ELEVATION

1/4"=1'-0"



1E
A200

FRONT ELEVATION

1/4"=1'-0"

- ELEVATION NOTES**
- DO NOT SCALE ELEVATIONS, VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
 - WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE.
 - SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
 - IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS
- WINDOW NOTES**
- TOP OF WALKOUT WINDOWS 6'-8" A.F.F.
 - TOP OF WINDOWS 106 3/4" ABOVE SUB-FLOOR
 - FOR 10'-0" PLATES, UNLESS OTHERWISE NOTED
 - TOP OF WINDOWS 94 3/4" ABOVE SUB-FLOOR
 - FOR 9'-0" PLATES, UNLESS OTHERWISE NOTED
 - TOP OF WINDOWS 82 3/4" ABOVE SUB-FLOOR
 - FOR 8'-0" PLATES, UNLESS OTHERWISE NOTED
 - ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET AND INCHES
 - EXAMPLE: 2555 = 2'-5" X 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED)
 - PROVIDE (2)2 X 12'S ABOVE ALL WINDOWS AND OPENINGS UNLESS OTHERWISE NOTED
 - PROVIDE SAFETY GLAZING IN ALL WINDOWS WITHIN 24" OF MAIN ENTRY DOOR, WITHIN 18" OF FLOOR, IN TUB/SHOWER ENCLOSURES, AND IN STAIR WELLS
 - PROVIDE WINDOW GUARDS THAT COMPLY WITH ASTM F2006 OR F2090
 - WHEN SILL IS LESS THAN 24" HIGH ABOVE THE FLOOR
 - ALL FENESTRATIONS SHALL HAVE A MAXIMUM U-VALUE AS FOLLOWS:
WINDOWS & DOORS - 0.32, SKYLIGHTS - 0.55
- ① - EGRESS WINDOW
② - TEMPERED GLASS
③ - FIXED WINDOW

- EXTERIOR COLOR PACKAGE**
- HORIZONTAL SIDING:
IRON GREY
- VERTICAL SIDING:
IRON GREY
- ROOFING:
WEATHERED WOOD
- SOFFIT/TRIM:
ULTRA WHITE
- GUTTERS:
ULTRA WHITE
- GARAGE DOOR:
ULTRA WHITE
- BRICK:
PALMETTO ASHLAND
- WINDOWS:
ULTRA WHITE
- METAL SEAM ROOF:
DARK BRONZE

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NOT FOR CONSTRUCTION

DESIGNERS & BUILDERS DEV., INC.
107 N. PINE AVE.
ARLINGTON HEIGHTS, IL

ARCHITECTS & PLANNERS, INC.
2000 Bala Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax 815-788-9201

Job Number: 17068
Sheet Number: A200
File Name: 17068200

FRONT ELEVATION
REAR ELEVATION

REVISIONS

NO.	DATE	BY	REVISION
1	04-04-17 BA		CONCEPTUAL DESIGN
2	05-04-17 BA		PRELIMINARY DESIGN
3	06-04-17 BA		DESIGN DEVELOPMENT
4	07-04-17 BA		DESIGN COMMISSION
5	08-04-17 BA		PERMIT FOR PERMIT



1C
A201
LEFT ELEVATION

1/4"=1'-0"



1E
A201
RIGHT ELEVATION

1/4"=1'-0"

RELEASED FOR
DESIGN COMMISSION
NOT FOR CONSTRUCTION

DESIGN STAGE	REVISIONS
CONCEPTUAL DESIGN	1
PRELIMINARY DESIGN	2
DESIGN DEVELOPMENT	3
DESIGN COMMISSION	4
PERMIT REVIEW	5
PERMIT FOR CONSTRUCTION	
REVISION	

DESIGNERS & BUILDERS DEV., INC.
107 N. PINE AVE.
ARLINGTON HEIGHTS, IL

RIGHT ELEVATION
LEFT ELEVATION

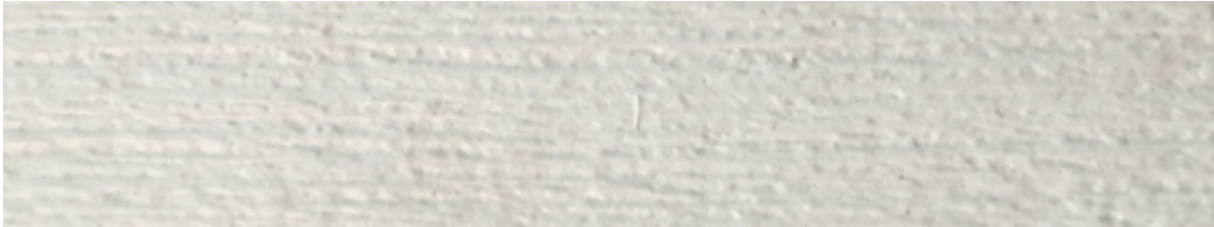
Architects & Planners, Inc.
2000 Bala Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax 815-788-9201

ALA
Job Number: 17068
Sheet Number: A201
File Name: 17068201

107 N. Pine Color Sheet



Roof – Weathered Wood



Trim, garage door, window trim, and board and batten areas - Ultra White



Metal Seam Roof – Dark Bronze



Brick Chimney – Palmetto Ashland



Lap Siding: Iron Grey

**107 N. Pine
Material Schedule**

Item	Material	Manufacturer	Color
Brick	clay	Sioux City Brick	Palmetto Ashland
Siding,	Pressed wood	LP	Iron Grey
Gutters	aluminum	ACM	white
Windows	Wood/Aluminum clad exterior	Pella	White
Garage Door	steel insulated	clopay	white
Roof	asphalt shingles	GAF	Weathered Wood
Trim, soffits, and fascia	pressed wood	LP	White

 **FILE**

RECEIVED

SEP 19 2017

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

RECEIVED
JUN -2 2017
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PLAT OF SURVEY

PROFESSIONAL LAND SURVEYING, INC.

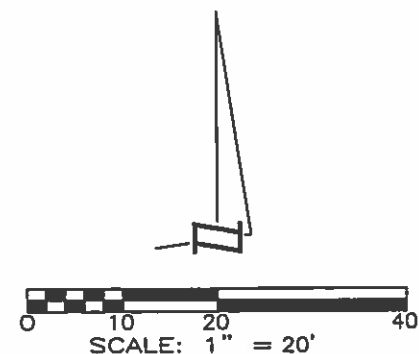
3080 OGDEN AVENUE SUITE 307

LISLE, ILLINOIS 60532

PHONE: 630-778-1757

PROF. DESIGN FIRM # 184-004196

E-MAIL: info@plslisle.com



PARCEL INDEX NUMBER
03-29-337-003

NOTE:
POSSIBLE EASEMENT OF ANY PUBLIC
SERVICE CORPORATION AS DISCLOSED
BY SERVICE POLES AND/OR WIRES
ON REAR OF LAND.

LEGAL DESCRIPTION

LOT 6 IN BLOCK 6 IN GEORGE W. DUNTON'S ADDITION
NUMBER 2 IN THE EAST ½ OF THE SOUTHWEST ¼ (LYING
NORTH OF RAILWAY) OF SECTION 29, TOWNSHIP 42
NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL
MERIDIAN SITUATED IN THE VILLAGE OF ARLINGTON
HEIGHTS, COUNTY OF COOK, STATE OF ILLINOIS.

PREPARED FOR: DESIGNERS & BUILDERS

ADDRESS: 107 N. PINE AVENUE, ARLINGTON HEIGHTS, ILLINOIS

BOOK & PG:FILE _____ DATE: 5/24/2017 JOB NO: 1714296

DRAWN BY: JHH CHECK BY: SAR

REVISÉ:

SYMBOL LEGEND

-  - CONCRETE SURFACE
 -X-X- - FENCE LINE
 (R) - RECORD DATA
 (M) - MEASURED DATA
 - UTILITY POLE
 -OHW- - OVERHEAD WIRES

PROFESSIONAL LAND SURVEYING, INC. HEREBY CERTIFIES THAT IT HAS
SURVEYED THE TRACT OF LAND ABOVE DESCRIBED, AND THAT THE
HEREON DRAWN PLAT IS A CORRECT REPRESENTATION THEREOF.

FIELD WORK COMPLETED AND DATED
THIS 26TH DAY OF DECEMBER, 2016.
UPDATED THIS 27TH DAY OF MARCH, 2017.

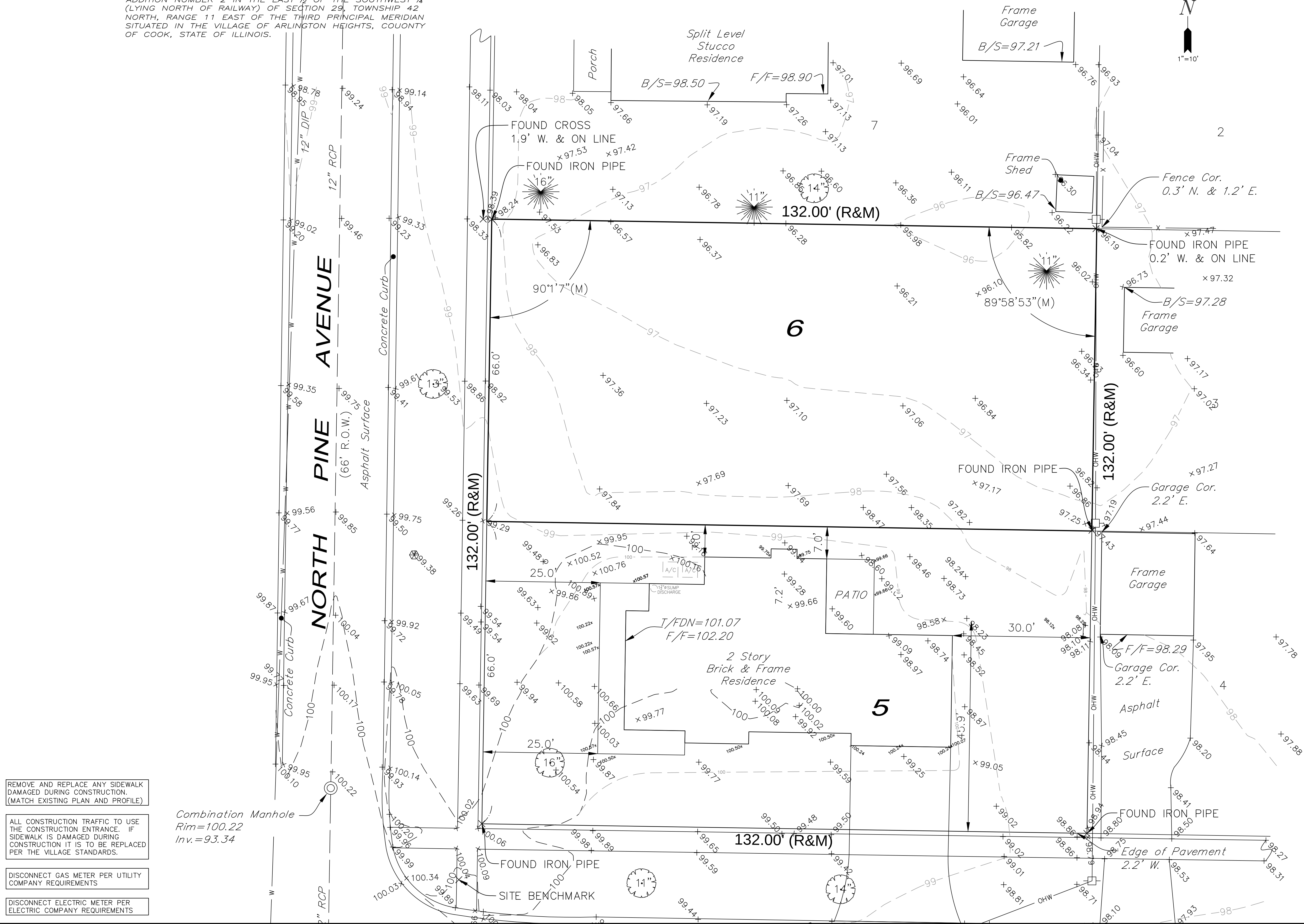


IPLS No. 3483
MY LICENSE EXPIRES 11/30/2018

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT
ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

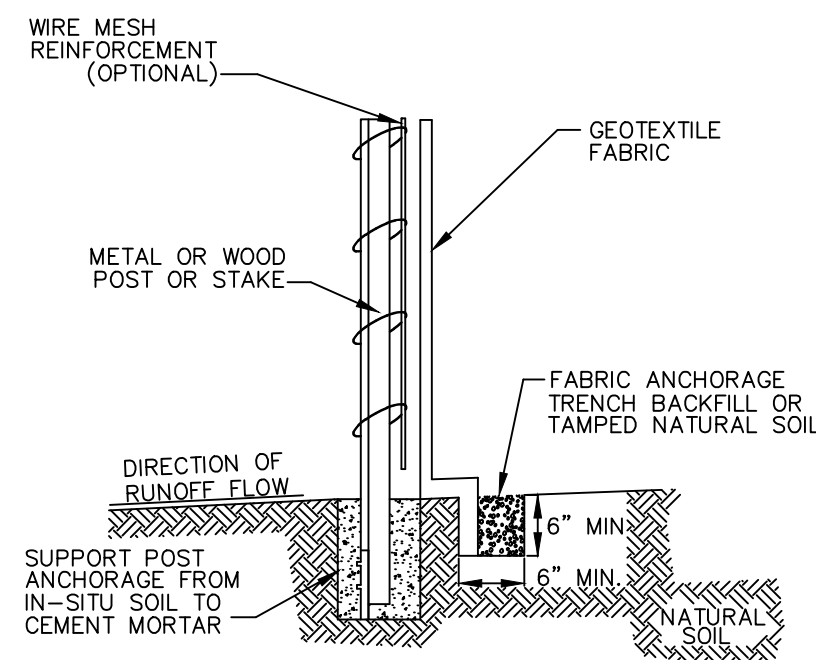
EXISTING CONDITIONS PLAN

OF
LOTS 5 AND 6 IN BLOCK 6 IN GEORGE W. DUNTON'S
ADDITION NUMBER 2 IN THE EAST $\frac{1}{2}$ OF THE SOUTHWEST $\frac{1}{4}$
(LYING NORTH OF RAILWAY) OF SECTION 29, TOWNSHIP 42
NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN
SITUATED IN THE VILLAGE OF ARLINGTON HEIGHTS, COUNTY
OF COOK, STATE OF ILLINOIS.



LEGEND	
689	EXISTING GRADE
689	PROPOSED GRADE
---	STORM SEWER
---	SANITARY SEWER
---	WATER MAIN
734 26	EXISTING SPOT GRADE
689.0	PROPOSED SPOT GRADE
---	SILT /CONSTRUCTION FENCE
DS	DOWNSPOUT
⊙	STORM SEWER MANHOLE
⊙	INLET
⊙	SANITARY SEWER MANHOLE
⊙	ELECTRIC METER
⊙	GAS METER
⊙	FIRE HYDRANT
⊙	UTILITY POLE
⊙	CONIFEROUS TREE
⊙	DECIDUOUS TREE
⊙	WATER VALVE
⊙	CORRUGATED METAL PIPE
⊙	UTILITY POLE
⊙	B-BOX
⊙	LIGHT ON GROUND OR WALL
⊙	WOOD FENCE

TYPICAL DETAILS FOR SILT FENCE CONSTRUCTION



NOTE:
DEPENDENT UPON CONFIGURATION, ATTACH FABRIC
TO WIRE MESH w/HOG RINGS, STEEL POSTS w/TIE
WIRES, WOOD POSTS w/NAILS.

REMOVE AND REPLACE ANY SIDEWALK
DAMAGED DURING CONSTRUCTION.
(MATCH EXISTING PLAN AND PROFILE)

ALL CONSTRUCTION TRAFFIC TO USE
THE CONSTRUCTION ENTRANCE. IF
SIDEWALK IS DAMAGED DURING
CONSTRUCTION IT IS TO BE REPLACED
PER THE VILLAGE STANDARDS.

DISCONNECT GAS METER PER UTILITY
COMPANY REQUIREMENTS

DISCONNECT ELECTRIC METER PER
ELECTRIC COMPANY REQUIREMENTS

Combination Manhole
Rim=100.22
Inv.=93.34

- PROPOSED CONTRACTOR ON SITE PARKING
- PROPOSED MATERIAL LAY DOWN AREA
- DEMOLISHED AND REMOVED
- TREES TO BE REMOVED

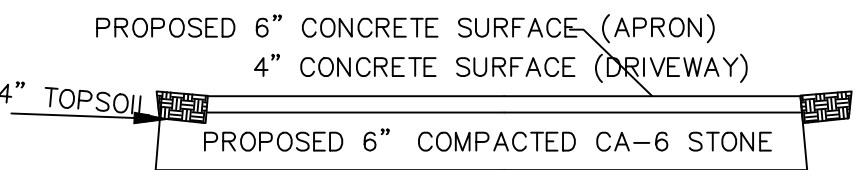
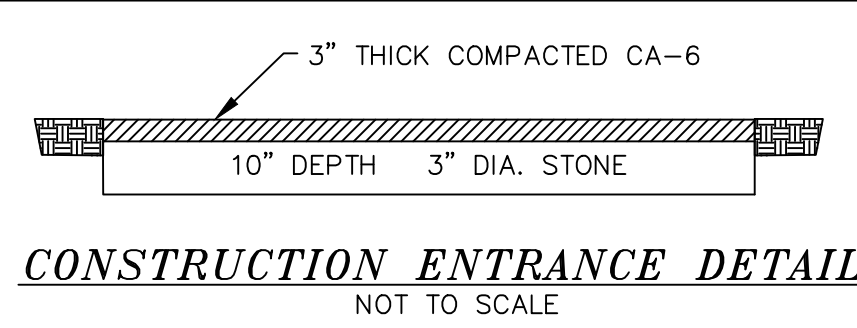
107 N. PINE AVENUE ARLINGTON HEIGHTS, IL	KOZIOL ENGINEERING SERVICES Professional Engineers 1621 OGDEN AVE. Lisle, IL 60532 630/435-8686 CIVIL / CONSULTING ENGINEERS			
	SCALE	REV	DATE	PREPARER
	1"=10'	0	05/11/17	JEK
	PAGE			

- LEGEND**
- 689 EXISTING GRADE
 - 689 PROPOSED GRADE
 - STORM SEWER
 - SANITARY SEWER
 - WATER MAIN
 - 734 26 EXISTING SPOT GRADE
 - 689.0 PROPOSED SPOT GRADE
 - SILT /CONSTRUCTION FENCE
 - DS DOWNSPOUT
 - STORM SEWER MANHOLE
 - INLET
 - SANITARY SEWER MANHOLE
 - ELECTRIC METER
 - GAS METER
 - FIRE HYDRANT
 - UTILITY POLE
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - WATER VALVE
 - CORRUGATED METAL PIPE
 - UTILITY POLE
 - B-BOX
 - LIGHT ON GROUND OR WALL
 - WOOD FENCE

SITE ENGINEERING PLAN

OF
LOTS 5 AND 6 IN BLOCK 6 IN GEORGE W. DUNTON'S
ADDITION NUMBER 2 IN THE EAST 1/2 OF THE SOUTHWEST 1/4
(LYING NORTH OF RAILWAY) OF SECTION 29, TOWNSHIP 42
NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN
SITUATED IN THE VILLAGE OF ARLINGTON HEIGHTS, COUONTY
OF COOK, STATE OF ILLINOIS.

N
1"=10'



4:1 MAXIMUM SLOPE ALLOWED

GRADING TO ADJACENT
PROPERTY IN SOUTH IS ALLOWED
(SAME OWNER)

PROVIDE 6" THICK & 5' WIDE CONCRETE SIDEWALK THROUGH
PROPERTY LINE. CROSS-SLOPE SHALL BE 2.0% OR LESS AND
LONGITUDINAL SLOPE 5.0% OR LESS TO COMPLY WITH ADA
REQUIREMENTS. PROVIDE TYPE II BARRICADES PER VILLAGE
REQUIREMENTS ON BOTH SIDES OF SIDEWALK DISTURBANCE.

SANITARY SERVICE TO BE INSTALLED PER VILLAGE
STANDARDS. CONNECT TO EXISTING SAN. SEWER STUB OR
ADD WYE OR 'TEE' PER VILLAGE STANDARDS. 66 LF 6" Ø
PVC SDR 26 @ 1.0% (MIN). REPAIR ROAD AND PARKWAY
TO EXISTING CONDITION OR BETTER.

B/SAN=92.83
T/WAT=91.03
PROVIDE 18" CLEARANCE BETWEEN THE
WATER AND SANITARY SERVICE.
PROVIDE WATER PIPE INSULATION AS
NEEDED PER VILLAGE STANDARDS.

PRESSURE TAP EXISTING MAIN W/ 76 LF OF 1-1/2" Ø.
WATER SERVICE TYPE 'K'. PROVIDE NEW B-BOX IN
R.O.W. FIELD VERIFY EXISTING WATERMAIN LOCATION.
WATER SERVICES INSTALLED PER VILLAGE STANDARDS.
REPAIR ALL EDGE, PARKWAY, AND SIDEWALK IF
DAMAGED. MATCH EXISTING PLAN AND PROFILE. AUGER
PER VILLAGE STANDARDS.

REMOVE AND REPLACE BARRIER
CURB W/ DEPRESSED CURB.

REPAIR OR REPLACE ANY
DAMAGED CONCRETE CURB AND
GUTTER AT STREET AS
NECESSARY

BUILDING SETBACK:

102 Belmont	31.7'
103 N. Pine	24.3'
113 N. Pine	25.6'
115 N. Pine	17.4'

AVG. SETBACK = 24.75'

DOWN SPOUTS AND SUMP DISCHARGE
TO SPLASH TO SPLASH BLOCKS THEN
TO GRADE

PROPOSED GAS METER PER UTILITY
COMPANY REQUIREMENTS

PROPOSED ELECTRIC METER PER
ELECTRIC COMPANY REQUIREMENTS

ALL CONSTRUCTION TRAFFIC TO USE
THE CONSTRUCTION ENTRANCE. IF
SIDEWALK IS DAMAGED DURING
CONSTRUCTION IT IS TO BE REPLACED
PER THE VILLAGE STANDARDS.

REMOVE AND REPLACE ANY SIDEWALK
DAMAGED DURING CONSTRUCTION.
(MATCH EXISTING PLAN AND PROFILE)

Inv.=93.34

107 N. Pine Avenue - Arlington Heights, IL
Zoned: R-3
Lot Area: 8,711.99 sf

	Required:	Proposed:
Maximum Height	25.00'	(See Arch)
Front Yard Setback	25.00'	25.00'
Interior Sideyard Setback	10% LOT WIDTH	6.92'
Corner Sideyard Setback	N/A	N/A
Rear Yard Setback	30.00'	39.63'

NOTES:

- 1) WATER SERVICES IS TO BE 1 1/2" DIA. COPPER, TYPE K, CONNECT TO EXISTING B-BOX.
ADD SPOUT AT FOUNDATION FOR SITE WATER SOURCE DURING CONSTRUCTION.
- 2) SANITARY SERVICE TO BE 6" PVC SDR 26 @ 1.0% MIN. CONNECT TO
EXISTING SERVICE STUB MAIN PER VILLAGE REQUIREMENTS.
- 3) SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS
OTHERWISE DISTURBED ON THE SITE.
- 4) ANY SOIL, MUD OR DEBRIS THAT IS WASHED, TRACKED OR DEPOSITED ONTO THE
STREET SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
- 5) A 5' CHAIN LINK FENCE & SILT FENCE TO BE PLACED AROUND
THE ENTIRE SITE FOR EROSION CONTROL AND DEBRIS CONTROL.
- 6) OFFSITE / ROW AREAS DISTURBED ARE TO BE RESTORED TO THE ORIGINAL
CONDITION AND SLOPED.
- 7) ALL PARKWAY TREES ARE TO BE PROTECTED PER THE VILLAGE
TREE PROTECTION STANDARDS.
- 8) ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE VILLAGE
STANDARDS AND ORDINANCES.
- 9) GRADING ALONG THE PERIMETER OF THE ENTIRE LOT SHALL MEET THE
EXISTING GRADES.
- 10) ANY PUBLIC SIDEWALKS DAMAGED DURING CONSTRUCTION SHALL BE
REPLACED PER THE VILLAGE STANDARD DETAIL.
- 11) NO PARKING ON OR BLOCKING OF SIDEWALKS IS PERMITTED.
- 12) WATER TRUCK TO BE ON-SITE DURING DEMOLITION TO WET DOWN
STRUCTURE TO BE DEMOLISHED. WATER AS NECESSARY TO PREVENT
DUST FROM LEAVING THE SITE.
- 13) ALL WATER PUMPED OR OTHERWISE DISCHARGED FROM SITE DURING CONSTRUCTION
TO BE FILTERED.
- 14) IF EXISTING DRIVEWAY CURB DEPRESSION IS NOT USED, REMOVE AND REPLACE
W/ BARRIER CURB TO MATCH EXISTING CURB PROFILE. SAW CUT OR RE-POUR
DEPRESSED CURB FOR NEW DRIVE LOCATION.
- 15) THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY
PROTECTED FROM SOIL EROSION WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED.
STRIPPED AREAS NOT AT FINAL GRADE THAT WILL REMAIN UNDISTURBED FOR MORE
THAN 15 DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION.
CONTROL DEVICES DURING CONSTRUCTION.
- 16) STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER
CONTROL DEVICES DURING CONSTRUCTION.
- 17) OPEN CUT EXISTING ROAD TO CONSTRUCT SANITARY SERVICE
REPAIR ROAD TO MATCH EXISTING CROSS SECTION OR DIRECTED
BY THE VILLAGE ENGINEER.
- 18) VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO A GRAVEL DRIVE.
SAID GRAVEL DRIVE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS ABOVE
THE TOP OF THE FOUNDATION.
- 19) IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN
SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.
- 20) ALL SANITARY SEWER AND WATER MAIN WORK AND MATERIALS
SHALL BE SUPPLIED TO THE SITE IN ACCORDANCE WITH THE
APPLICABLE SECTIONS OF THE ILLINOIS STANDARD SPECIFICATION FOR
CONSTRUCTION, LATEST EDITION.

ADDITIONAL NOTES:

- 1) ANY NEW STRUCTURE OR IMPERVIOUS AREA SHOWN ON THE FINAL GRADING SURVEY
THAT WAS NOT ON THE APPROVED SITE PLAN OR OTHERWISE APPROVED BY PROFESSIONAL
ENGINEERING WILL BE SUBJECT TO ADDITIONAL REVIEW AND RUMFORD STORAGE FEES.
UNAPPROVED WORK CONSTITUTES AS WORKING WITHOUT A PERMIT AND IS IN VIOLATION OF
THE DOWNERS GROVE STORMWATER AND FLOOD PLAN ORDINANCE.
- 2) IMPERVIOUS AREA IS DEFINED AS ANY AREAS COMPOSED OF MATERIAL WHICH IS
GENERALLY INCAPABLE OF BEING PENETRATED BY STORMWATER, INCLUDING WITHOUT
LIMITATIONS: ROOFTOPS, BUILDINGS, PARKING LOTS, DRIVEWAYS, ROADS, SIDEWALKS, AND
PATIO. VDOT 26-73.
- 3) FINAL GRADING SURVEY SHALL NOT BE COMPLETED UNTIL SOD HAS BEEN INSTALLED.
- 4) AN APPROVED FINAL GRADING SURVEY SHALL BE REQUIRED PRIOR TO ALLOWING A
COMMUNITY DEVELOPMENT FINAL OCCUPANCY INSPECTION. THE REVIEW PERIOD FOR ALL
SUBMITTED FINAL GRADING SURVEYS IS APPROXIMATELY 10 DAYS.
- 5) SWALES SHALL BE CONSTRUCTED OF ESTABLISHED VEGETATION, SUBJECT TO VILLAGE
APPROVAL.

VILLAGE OF ARLINGTON HEIGHTS STANDARD NOTES

EROSION CONTROL NOTES

- A) THE SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE ANY LAND IS
DISTURBED ON THE SITE.
- B) STOCKPILES OF SOIL SHALL NOT BE LOCATED WITHIN SPECIAL MANAGEMENT AREAS.
AN INITIAL SEDIMENT AND EROSION CONTROL INSPECTION IS REQUIRED PRIOR TO STARTING
CONSTRUCTION. THE APPLICANT IS DIRECTED TO CONTACT THE COMMUNITY DEVELOPMENT
DEPARTMENT AT 630-434-5529 TO SCHEDULE THIS INSPECTION. THIS NOTIFICATION
SHALL BE AT LEAST 24 HOURS IN ADVANCE OF CONSTRUCTION.
- C) SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR ANY STOCKPILE IF IT IS TO
REMAIN IN PLACE FOR MORE THAN THREE DAYS.
- D) PROPERTIES AND SPECIAL MANAGEMENT AREAS DOWNSTREAM FROM THE SITE SHALL BE
PROTECTED FROM EROSION IF THE VOLUME, VELOCITY, SEDIMENT LOAD, OR PEAK FLOW RATES
OF STORMWATER RUNOFF ARE TEMPORARILY INCREASED DURING CONSTRUCTION.
- E) STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL
DEVICES DURING CONSTRUCTION.
- F) THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM
SOIL EROSION WITHIN FIFTEEN DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS THAT
WILL REMAIN UNDISTURBED FOR MORE THAN FIFTEEN DAYS AFTER INITIAL DISTURBANCE SHALL
BE PROTECTED FROM EROSION.
- G) WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING THE CONSTRUCTION
OPERATIONS SHALL BE FILTERED.
- H) A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO PREVENT THE DEPOSITION OF
SOIL ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE
ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
- I) ALL TEMPORARY EROSION CONTROL MEASURES NECESSARY TO MEET THE REQUIREMENTS OF THE
VILLAGE OF DOWNERS GROVE STORMWATER AND FLOOD PLAN ORDINANCE SHALL BE KEPT
OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE
UNTIL PERMANENT SEDIMENT AND EROSION CONTROL MEASURES ARE OPERATIONAL.
- J) ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN (30)
DAYS AFTER FINAL STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT AND OTHER DISTURBED
SOILS RESULTING FROM TEMPORARY MEASURES SHALL BE PROPERLY DISPOSED OF PRIOR TO
PERMANENT STABILIZATION.

BENCHMARK

CROSS CUT IN CONCRETE WALK NEAR SOUTHWEST CORNER OF
SUBJECT PROPERTY, AS SHOWN HEREON.

ELEVATION = 100.00 (ASSUMED)

TOTAL LOT AREA: 8,711.99 sf	
Existing Impervious:	0.00 sf (00.00%)
Total Proposed Impervious:	3,552.31 sf (40.77%)
Total Decreased Impervious:	3,552.31 sf (40.77%)

I, JAMES E. KOZIOL, A REGISTERED PROFESSIONAL ENGINEER IN THE
STATE OF ILLINOIS, HEREBY CERTIFY THAT THIS SITE PLAN
HAS BEEN PREPARED UNDER MY DIRECTION WITH KNOWLEDGE
OF THE EXISTING SURVEYS.

I, ALSO CERTIFY THAT THE DEVELOPMENT OF THE SUBJECT SITE IN
ACCORDANCE WITH THIS PLAN WILL NOT INCREASE THE AMOUNT OR
RATE OF RUN-OFF SO AS TO ADVERSELY AFFECT THE QUALITY OR
SURFACE WATER DRAINING ONTO ADJACENT PROPERTIES AND WILL
NOT DAMAGE OTHER PROPERTIES.

DATED THIS 17th DAY OF January, 2017, A.D.

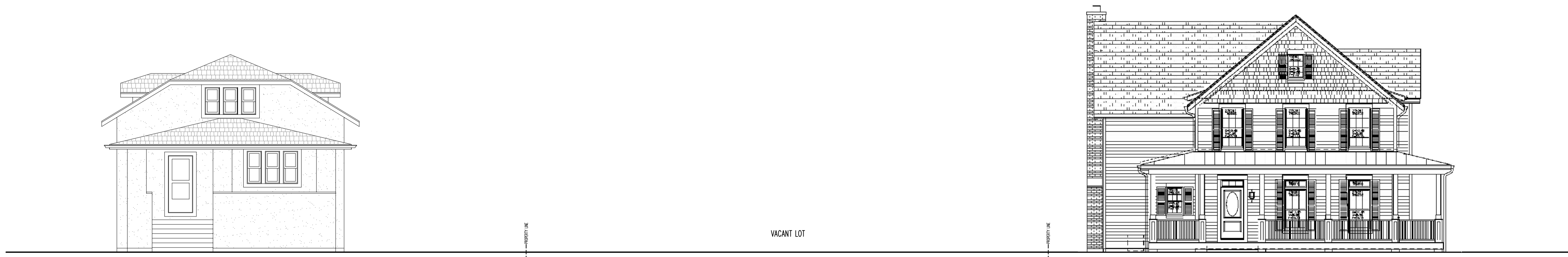
JAMES E. KOZIOL LIC. NO. 062-41326
ILLINOIS REGISTERED PROFESSIONAL ENGINEER (EXP. 11-30-17)
(2 PAGES)



KOZIOL ENGINEERING SERVICES
Professional Engineers
1621 OGDEN AVE.
Lisle, IL 60532
630/435-8886
CIVIL / CONSULTING ENGINEERS

SCALE	REV	DATE	PREPARED
1"=10'	0	05/11/17	JEK
107 N. PINE AVENUE ARLINGTON HEIGHTS, IL			
PAGE			
1 of 2			





1C
A201
EXISTING FRONT ELEVATION
1/8"=1'-0"

3C
A201
EXISTING FRONT ELEVATION
SUBJECT PROPERTY
107 N. PINE AVE
1/8"=1'-0"

5C
A201
EXISTING FRONT ELEVATION
1/8"=1'-0"



1C
A201
EXISTING FRONT ELEVATION
1/8"=1'-0"

3C
A201
FRONT ELEVATION
SUBJECT PROPERTY
107 N. PINE AVE
1/8"=1'-0"

5C
A201
EXISTING FRONT ELEVATION
1/8"=1'-0"

RELEASED FOR
DESIGN COMMISSION
NOT FOR CONSTRUCTION

DESIGN STAGE		1	2	3	4	5
CONCEPTUAL DESIGN	04-04-17 BA					
PRELIMINARY DESIGN	05-04-17 BA					
DESIGN DEVELOPMENT	05-04-17 BA					
PERMIT APPLICATION	05-04-17 BA					
PERMIT REVIEW	05-04-17 BA					
RELEASE FOR PERMIT	05-04-17 BA					
REVISION						

DESIGNERS & BUILDERS DEV., INC.
107 N. PINE AVE.
ARLINGTON HEIGHTS, ILLINOIS

CONTEXT ELEVATIONS

Architects & Planners, Inc.
2000 Belmont Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax: 815-788-9201

ALA
Job Number: 17068
Sheet Number: A202
File Name: 17068202



REAR ELEVATION



FRONT ELEVATION

ELEVATION NOTES

- DO NOT SCALE ELEVATIONS, VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
- WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE.
- SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
- IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS

WINDOW NOTES

- TOP OF WALKOUT WINDOWS 6'-8" A.F.F.
- TOP OF WINDOWS 106 3/4" ABOVE SUB-FLOOR
- FOR 10'-0" PLATES, UNLESS OTHERWISE NOTED
- TOP OF WINDOWS 94 3/4" ABOVE SUB-FLOOR
- FOR 9'-0" PLATES, UNLESS OTHERWISE NOTED
- TOP OF WINDOWS 82 3/4" ABOVE SUB-FLOOR
- FOR 8'-0" PLATES, UNLESS OTHERWISE NOTED
- ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET AND INCHES
- EXAMPLE: 2555 = 2'-5" X 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED)
- PROVIDE (2)2 X 12'S ABOVE ALL WINDOWS AND OPENINGS UNLESS OTHERWISE NOTED
- PROVIDE SAFETY GLAZING IN ALL WINDOWS WITHIN 24" OF MAIN ENTRY DOOR, WITHIN 18" OF FLOOR, IN TUB/SHOWER ENCLOSURES, AND IN STAIR WELLS
- PROVIDE WINDOW GUARDS THAT COMPLY WITH ASTM F2006 OR F2090
- WHEN SILL IS LESS THAN 24" HIGH ABOVE THE FLOOR
- ALL FENESTRATIONS SHALL HAVE A MAXIMUM U-VALUE AS FOLLOWS:
WINDOWS & DOORS - 0.32, SKYLIGHTS - 0.55

- EGRESS WINDOW
- TEMPERED GLASS
- FIXED WINDOW

EXTERIOR COLOR PACKAGE

SIDING:
IRON GREY

ROOFING:
WEATHERED WOOD

SOFFIT/TRIM:
ULTRA WHITE

GUTTERS:
ULTRA WHITE

GARAGE DOOR:
ULTRA WHITE

BRICK:
PALMETTO ASHLAND

WINDOWS:
ULTRA WHITE

METAL SEAM ROOF:
DARK BRONZE

DESIGN STAGE	REVISIONS
CONCEPTUAL DESIGN	1
PRELIMINARY DESIGN	2
DESIGN DEVELOPMENT	3
DESIGN COMMISSION	4
PERMIT REVIEW	5
RELEASE FOR PERMIT	6
REVISION	7

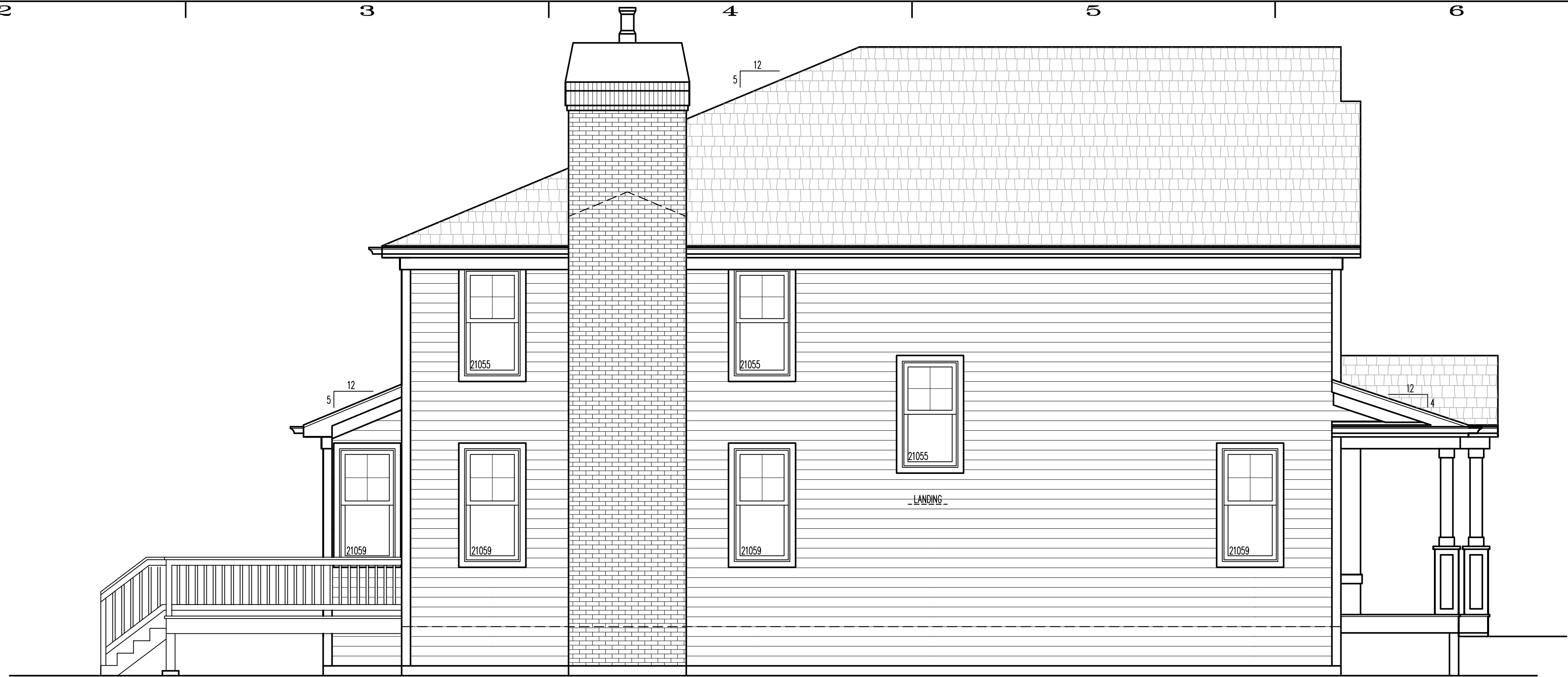
DESIGNERS & BUILDERS DEV., INC.
107 N. PINE AVE.
ARLINGTON HEIGHTS, IL

FRONT ELEVATION
REAR ELEVATION

Architects & Planners, Inc.
2000 Belton Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax 815-788-9201

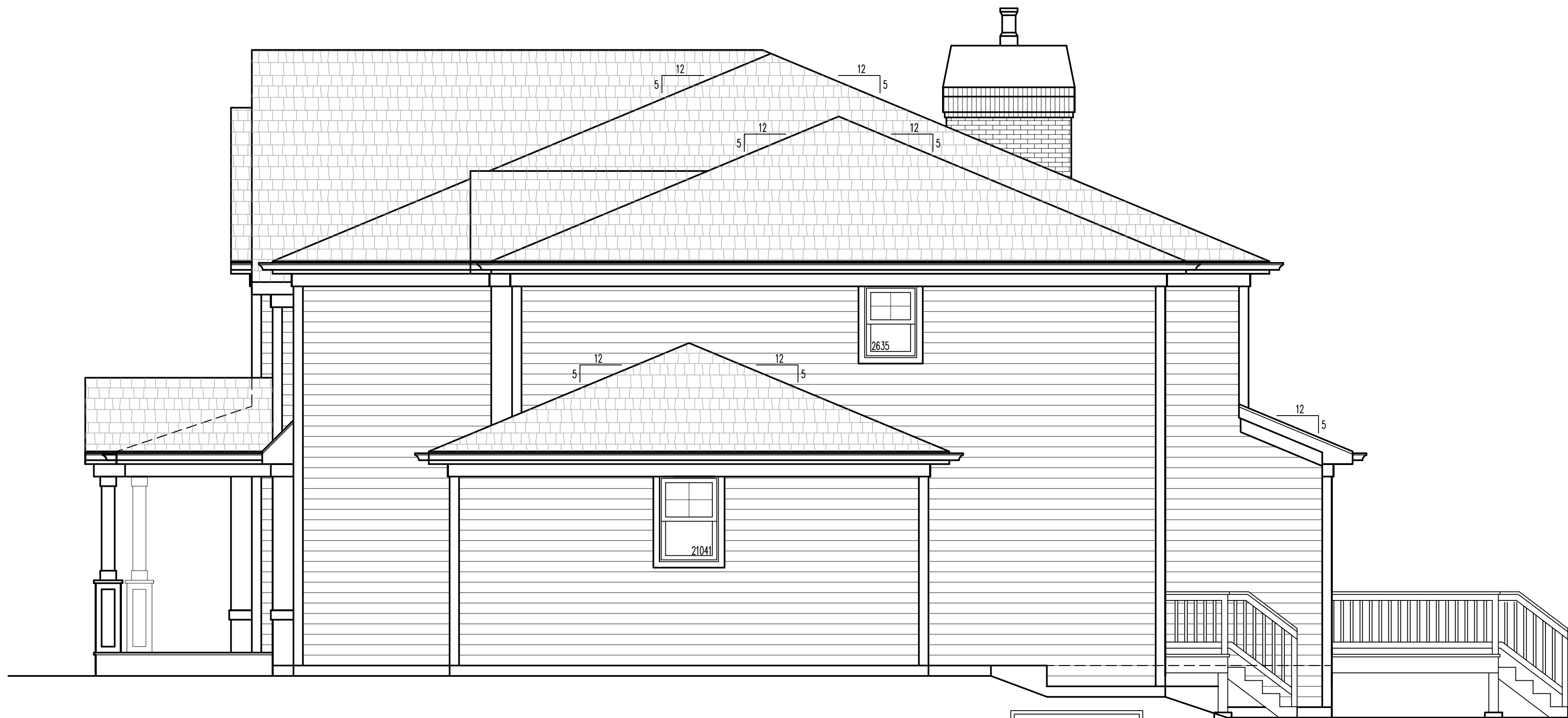
Job Number: 17068
Sheet Number: A200
File Name: 17068200

RELEASED FOR
DESIGN COMMISSION
NOT FOR CONSTRUCTION



1C
A201
LEFT ELEVATION

1/4"=1'-0"



1E
A201
RIGHT ELEVATION

1/4"=1'-0"

RELEASED FOR
DESIGN COMMISSION
NOT FOR CONSTRUCTION

DESIGN STAGE		1	2	3	4	5
CONCEPTUAL DESIGN						
PRELIMINARY DESIGN						
DESIGN DEVELOPMENT						
DESIGN COMMISSION						
PERMIT FOR CONSTRUCTION						
REVISION						

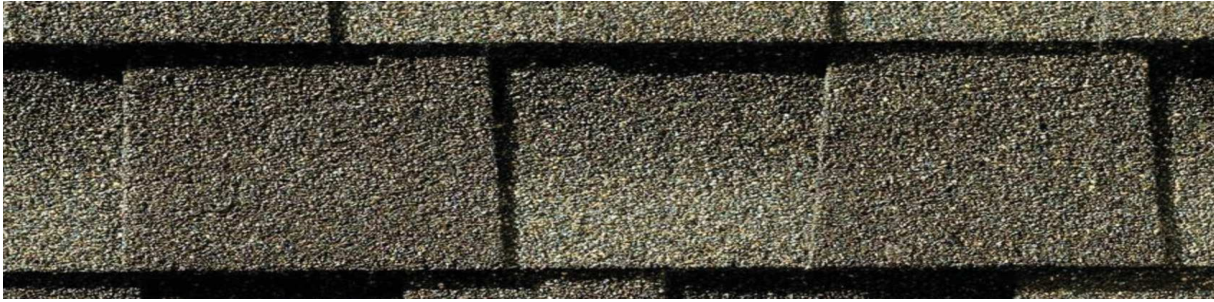
DESIGNERS & BUILDERS DEV., INC.
107 N. PINE AVE.
ARLINGTON HEIGHTS, IL

RIGHT ELEVATION
LEFT ELEVATION

Architects & Planners, Inc.
2000 Bala Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax 815-788-9201

ALA
Job Number: 17068
Sheet Number: A201
File Name: 17068201

107 N. Pine Color Sheet



Roof – Weathered Wood



Trim, garage door, window trim, and board and batten areas - Ultra White



Metal Seam Roof – Dark Bronze



Brick Chimney – Palmetto Ashland



Lap Siding: Iron Grey

Table 1

[illegible]



Item: AT&T - 585 E. Palatine Rd. - Commercial - DC#17-119

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for an exterior façade renovation of an existing AT&T store.

Recommendation

It is recommended that the Design Commission approve the proposed architectural design for the façade renovation to AT&T located at 585 E. Palatine Road. This recommendation is subject to compliance with the plans dated 8/31/17 and received on 9/15/17, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following conditions:

1. Consider a cooler gray paint color for the exterior masonry walls.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on nor represent any tacit approval or support for the proposed land use or any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
3. All signage must meet code, Chapter 30.

ATTACHMENTS:

Description

Staff Report
Exhibits
2010 Approved Landscape Plan

Type

Board or Commission Report
Exhibits
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: AT&T
Project Address: 585 E. Palatine Road
Prepared By: Steve Hautzinger

Date Prepared: October 3, 2017

PETITION INFORMATION:

DC Number: 17-119
Petitioner Name: Douglas Dohan
Petitioner Address: 1420 Fifth Ave. S2400
Seattle, WA 98101
Meeting Date: October 10, 2017

Requested Action(s):

1. Approval of the proposed architectural design for an exterior façade renovation of an existing AT&T store.

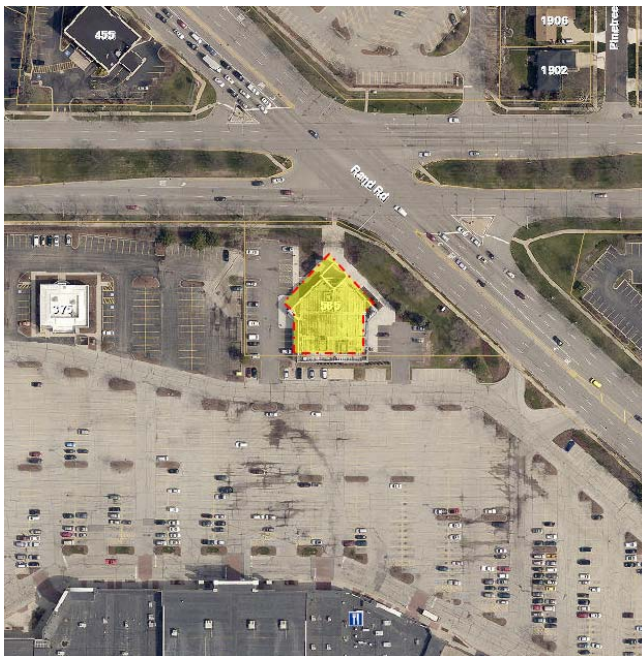
ANALYSIS:

Summary

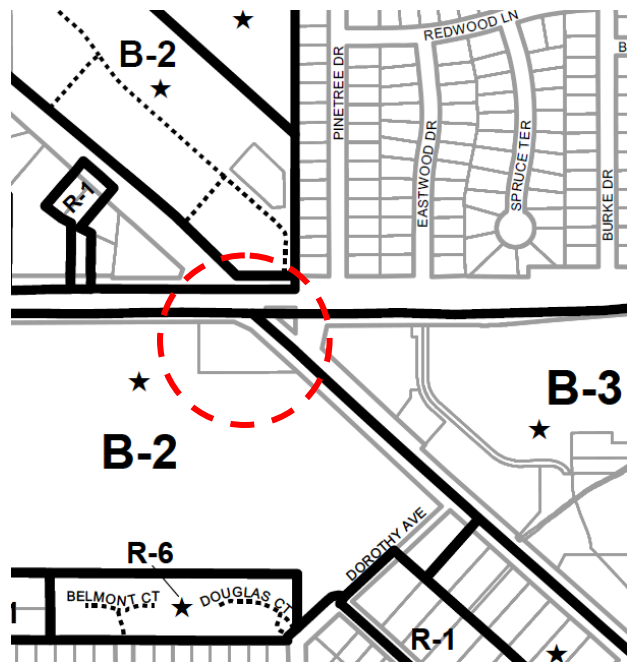
The subject design is being forwarded to the Design Commission for review pursuant to Chapter 6 of the Municipal Code, specifically Section 6-501 (e)(1), which states that the Design Commission "shall review all Plan Commission, Zoning Board of Appeals, Building Permit and Sign Permit applications for new construction and those improvements which affect the architectural design of the building, site improvements or signage to determine whether it meets with the standards, requirements and purposes of the Design Guidelines and Chapter 30, Sign Regulations."

The petitioner is proposing to update the exterior of an existing AT&T building with a new paint scheme and an updated entry design. The scope of the project also includes new signage. There are no site improvements proposed at this time.

ANALYSIS



Aerial of Property



Zoning Map of Property

Surrounding Land Uses:

Direction	Existing Zoning	Existing Use	Comprehensive Plan
Subject Property	B-2, General Business District	AT&T	Commercial
North	B-2, General Business District	Northpoint Shopping Center	Commercial
South	B-2, General Business District	Town & Country Shopping Center	Commercial
East	B-3, General Service, Wholesale, and Motor Vehicle District	Southpoint Shopping Center	Commercial
West	B-2, General Business District	Town & Country Shopping Center	Commercial

Architectural Design:

The existing AT&T building has an all masonry exterior with alternating bands of ribbed masonry units in a tan color, and smooth masonry units in a natural limestone color. There is an EIFS tower feature on the north end of the building facing the street.

The petitioner is proposing the following architectural changes to the exterior:

- **Main entrance.** Clad over the existing masonry walls with new smooth aluminum composite panels. The entrance walls will be a silvery gray color and will be outlined on the sides and top with charcoal gray aluminum panels highlighted with a blue aluminum reveal.
- **Tower Feature.** Paint the existing tower a dark gray color, "Iron Ore".
- **Exterior Walls.** Paint all of the ribbed and smooth exterior masonry walls in a warm gray color, "Repose Gray".

Overall, Staff welcomes the fresh new look for the building, which is highly visible in the "Uptown" shopping district:

- **Main Entrance.** The new entry feature is a very nice enhancement to the existing building design. The new aluminum panels provide a distinct look, which highlights the entrance, whereas the existing entry blends in with the rest of the building.
- **Tower Feature.** The charcoal colored tower feature pairs well with new entry feature and creates a bold look for the building.
- **Exterior Walls.** In regards to the main body of the building, the painting of masonry walls always creates some concern due to the long-term maintenance associated with a painted exterior. However, in this case, it would be difficult to work with the existing tan masonry colors and achieve the modern gray/charcoal/blue color palette that the petitioner is proposing. Therefore, Staff does not object to the painted exterior. However, the proposed "Repose Gray" is a warm gray color with a beige tone that may not pair well with the silvery gray aluminum entrance wall panels. The renderings illustrate a cool gray paint color that looks quite different than the actual "Repose Gray" sample. Consider using a cooler gray paint color to better match the design intent as illustrated in the renderings.

Signage:

The petitioner is proposing to replace all of the exterior wall signs with updated "AT&T" signage. The existing wall signs received sign variation approvals in 2011 to allow additional wall signs due to the unique layout and orientation of the building. The new signs appear to be substantially compliant with the previously approved signs, so new variations should not be required. The exact dimensions of the proposed signs need to be confirmed to verify compliance with the previously approved variations. See summary below.

Separate sign permits are required for all signs.

WALL SIGN SUMMARY:

	EXISTING SIGNS	PROPOSED SIGNS	REMARKS
East Elevation - (facing Rand Rd)	AT&T with logo on tower: 64 sf	AT&T with logo on tower: 39.6 sf (max)	Complies with code
West Elevation (facing Palatine Rd and parking area)	AT&T with logo on tower: 64 sf AT&T with logo at entry: 12.8 sf <u>AT&T with logo at entry: 12.8 sf</u> Total: 89.6 sf	AT&T with logo on tower: 39.6 sf (max) logo at entry: 25 sf <u>logo at entry: 25 sf</u> Total: 89.6 sf	Variation approved in 2011 to allow three wall signs on the west elevation, 89.6 sf total.
South Elevation (facing parking area)	AT&T with logo: 34.17 sf	AT&T with logo: 24 sf (Note: sign must be lowered to the center masonry band per condition of the sign variation approval.)	Variation approved in 2011 to allow one wall sign on the south elevation, 34.17 sf total.
TOTAL	Total of five wall signs: 187.77 sf	Total of five wall signs: 153.2 sf	



Location of wall signs, highlighted in red.

Landscaping:

AT&T originally received Design Commission approval when they occupied the building in 2010. At that time, a detailed landscape plan for the site was approved. Overall, the existing landscaping is in compliance with the approved plan, but the petitioner is required to maintain the landscaping and replace any dead or missing landscaping per the previously approved landscape plan.

RECOMMENDATION:

It is recommended that the Design Commission **approve** the proposed architectural design for the façade renovation to AT&T located at 585 E. Palatine Road. This recommendation is subject to compliance with the plans dated 8/31/17 and received on 9/15/17, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following conditions:

1. Consider a cooler gray paint color for the exterior masonry walls.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on nor represent any tacit approval or support for the proposed land use or any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
3. All signage must meet code, Chapter 30.

_____, October 3, 2017

Steve Hautzinger AIA, Design Planner
Planning and Community Development Department

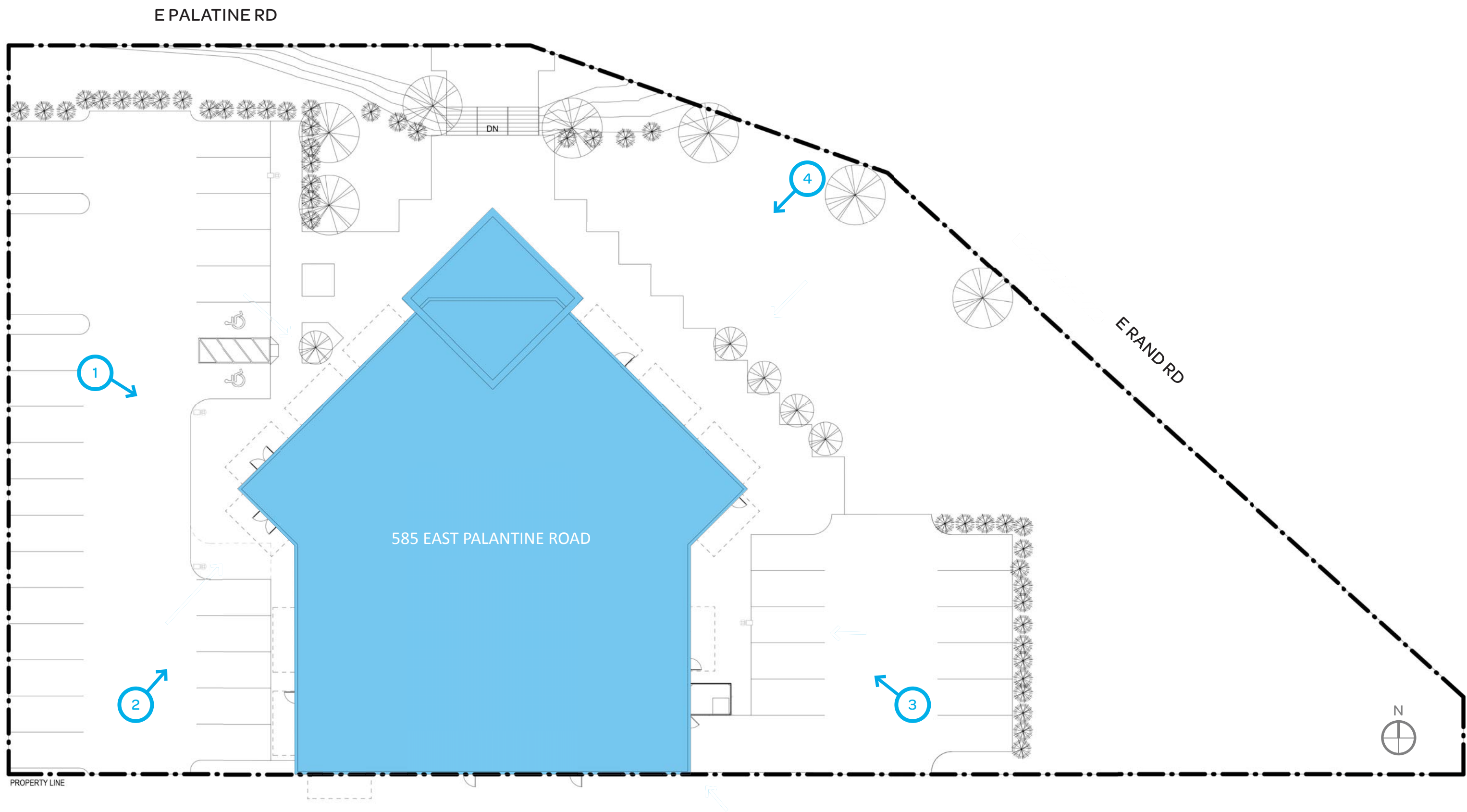
Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 17-119

AT&T 585 E. Palantine Rd.-2017 Exterior Branding

DESIGN COMMISSION REVIEW - Village of Arlington Heights, IL

August 31, 2017





EXISTING SITE PHOTOS



1 Main Entry - View from West parking lot near E. Palantine Rd.



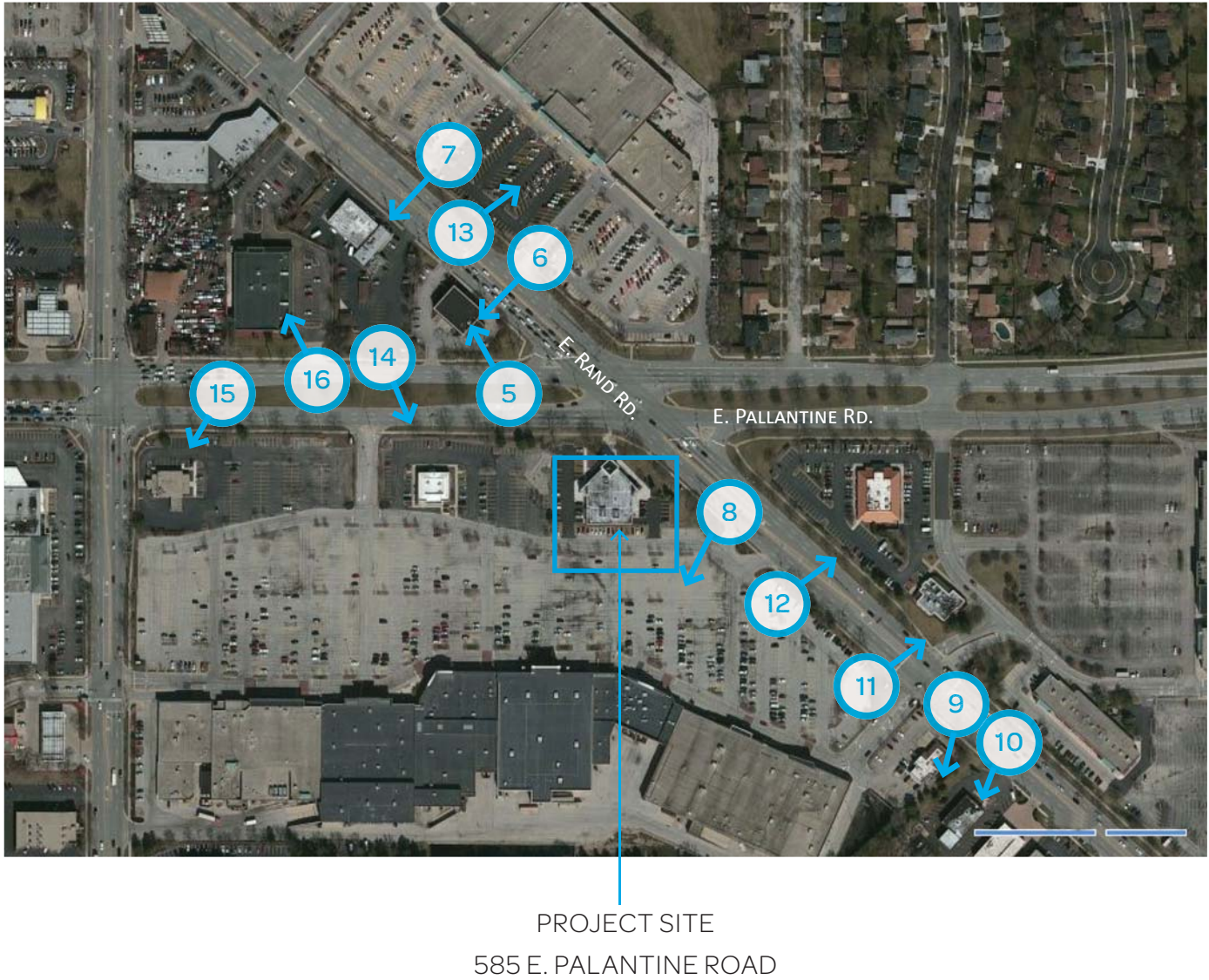
2 View from west parking lot near southwest corner of store.



3 View from sidewalk on East Rand Rd. adjacent to store.



4 View from east parking lot at southeast corner of store.



EXISTING ADJACENT SITE PHOTOS



5 Site one - corner of Palantine and E. Rand rd.



6 Site two northwest on E Rand Rd.



7 Site three northwest on E Rand Rd.



8 Site one southeast on E Rand Rd- strip mall behind site.



9 Site two southeast on E Rand Rd.



10 Site three southeast on E Rand Rd.

EXISTING ADJACENT SITE PHOTOS



11 Site one across E. Rand Rd.



12 Site two across E. Rand Rd.



13 Site three across E. Rand Rd., north of Palatine Rd.



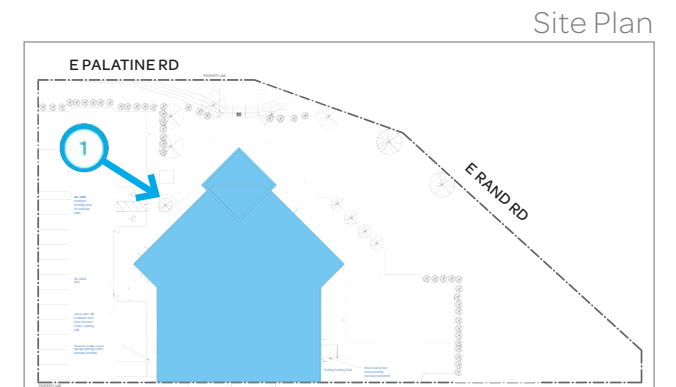
14 Site one Palantine Road to west



15 Site two Palantine Road to west.



16 Site three Palantine road., northwest.



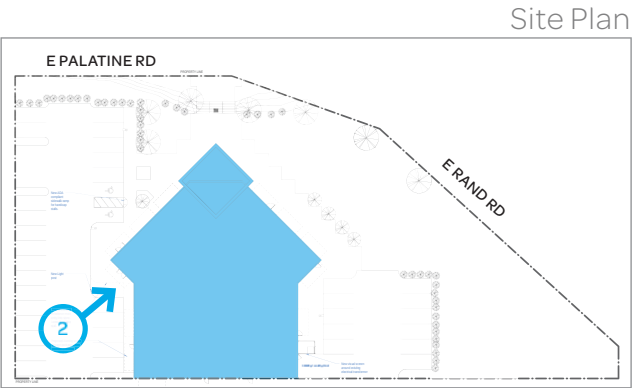
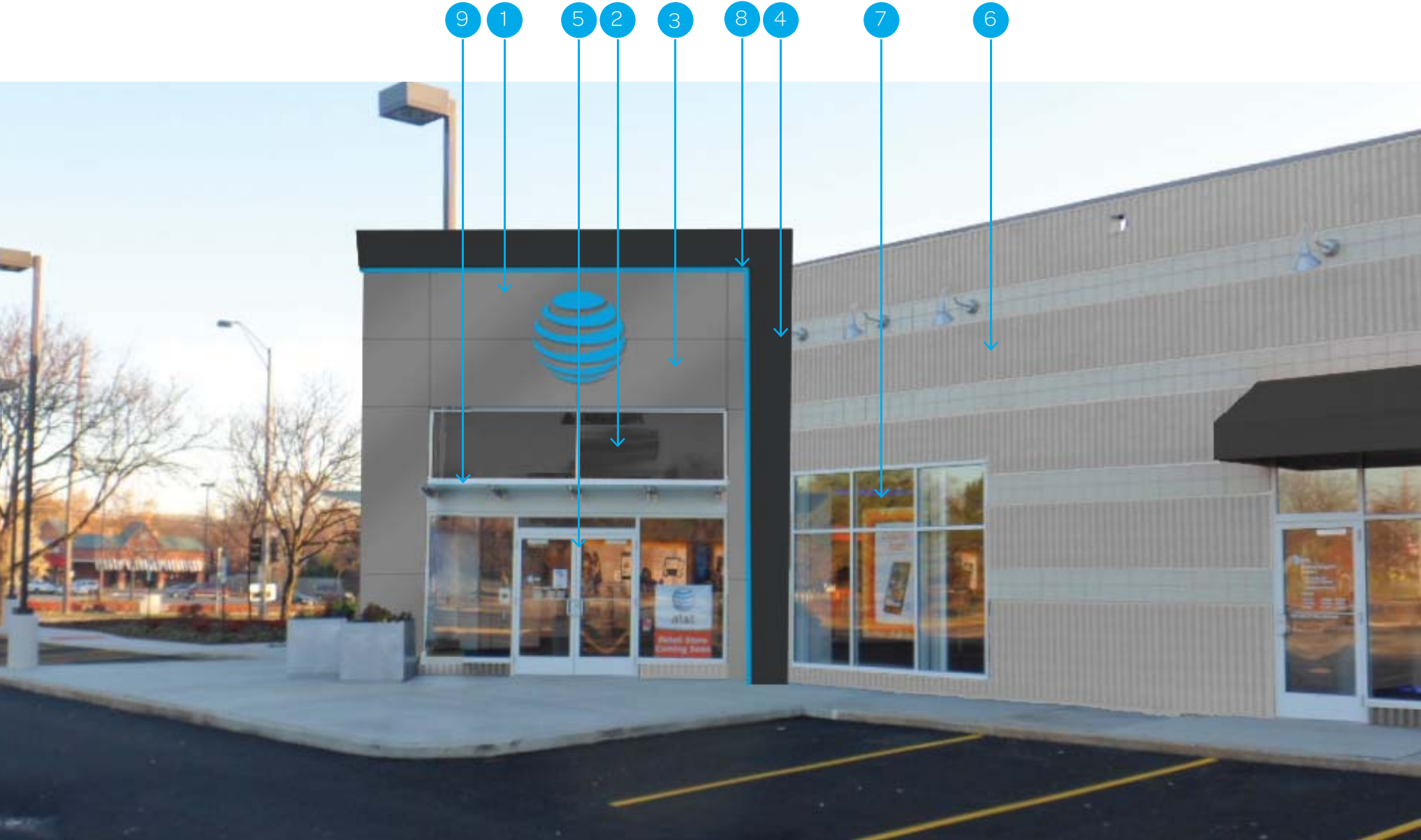
Existing View

1 Storefront Entrance

KEY NOTES:

- 1 5'-0" diameter Globe sign.
- 2 Existing double door entry.
- 3 CP-4 Aluminum Composite Panel- Mlca MFS Grey
- 4 CP-1-Charcoal aluminum composite panels with blue reveal.
- 5 Existing canopy to remain.
- 6 Paint building SW7015 Repose Gray.
- 7 CP-3 -TLK Blue Aluminum composite panel reveal
- 8 Infill inset and paint tower SW7069 Iron Ore.
- 9 5'-0" diameter globe sign with vertical lock-up .
- 10 Existing window to remain. Interior wall to be painted to match SW7069 Iron Ore.





Existing View



2 View from southwest parking lot

KEY NOTES:

- 1

5'-0" diameter Globe sign.
- 2

Existing window to remain. Interior wall to be painted to match P-28 SW7069 Iron Ore.
- 3

CP-4 Aluminum Composite Panel- Mlca MFS Grey
- 4

CP-1 Charcoal aluminum composite panels with CP-3 blue reveal.
- 5

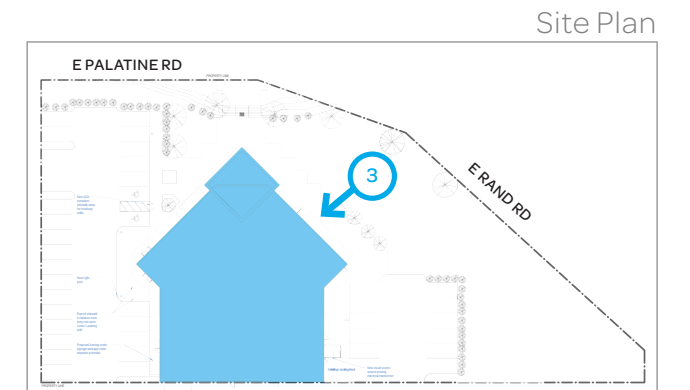
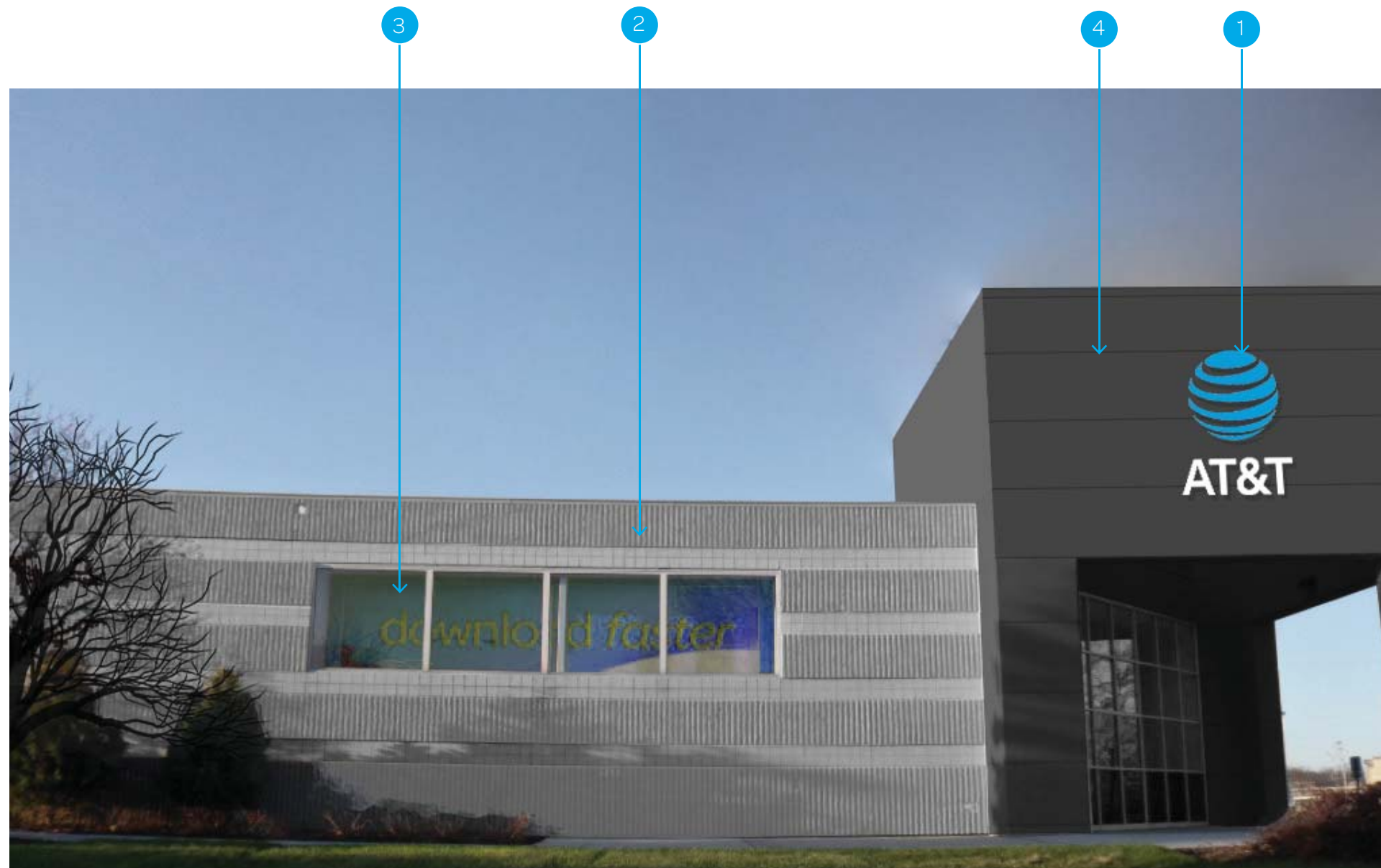
Existing double door entry.
- 6

Paint building P-20-SW7015 Repose Gray.
- 7

Replace existing graphics with new brand graphics.
- 8

CP-3 -TLK Blue Aluminum composite panel reveal
- 9

Existing awning to remain



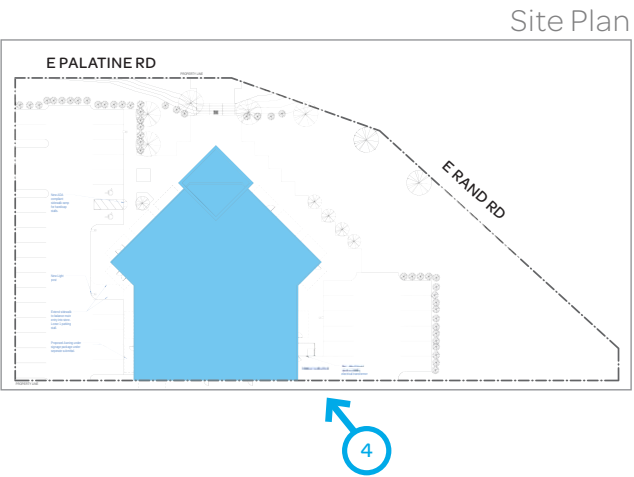
Existing View



3 View from E Rand Rd.

KEY NOTES:

- 1 5'-0" diameter Globe sign with vertical lock-up.
- 2 Paint Building P-20 SW7015 Repose Gray.
- 3 Replace existing graphics with new brand graphics.
- 4 Infill inset and paint tower P-28 SW7069 Iron Ore.



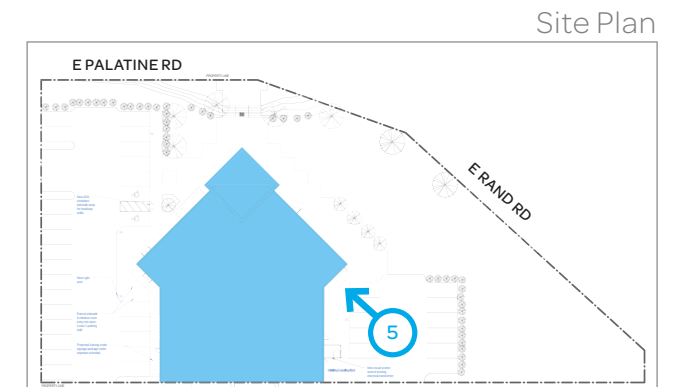
Existing View



4 Southeast View

KEY NOTES:

- 1 3'-0" diameter globe sign with vertical lock-up and CP-1 charcoal backer.
- 2 Paint building P-20- SW7015 Repose Gray.



Site Plan

Existing View



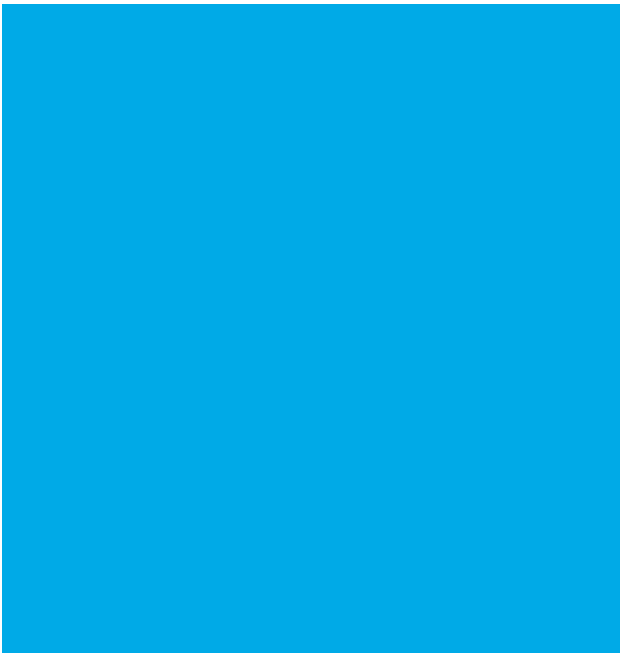
5 View from Town and County Center parking lot

KEY NOTES:

- 1 Paint building P-20- SW7015 Repose Gray.
- 2 Replace existing graphics with new brand graphics.



CP-1



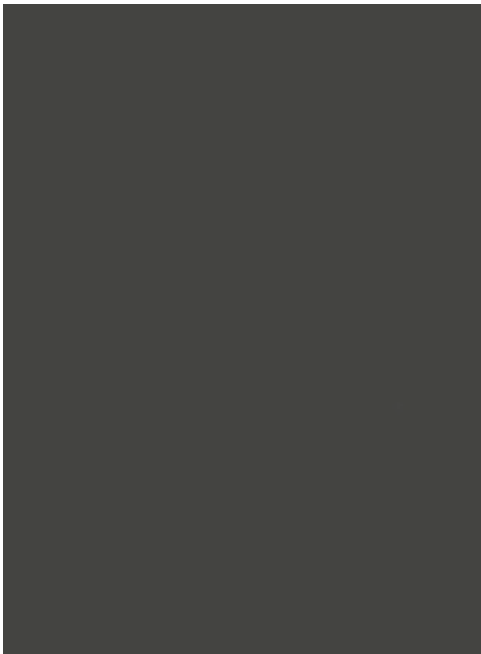
CP-3



CP-4

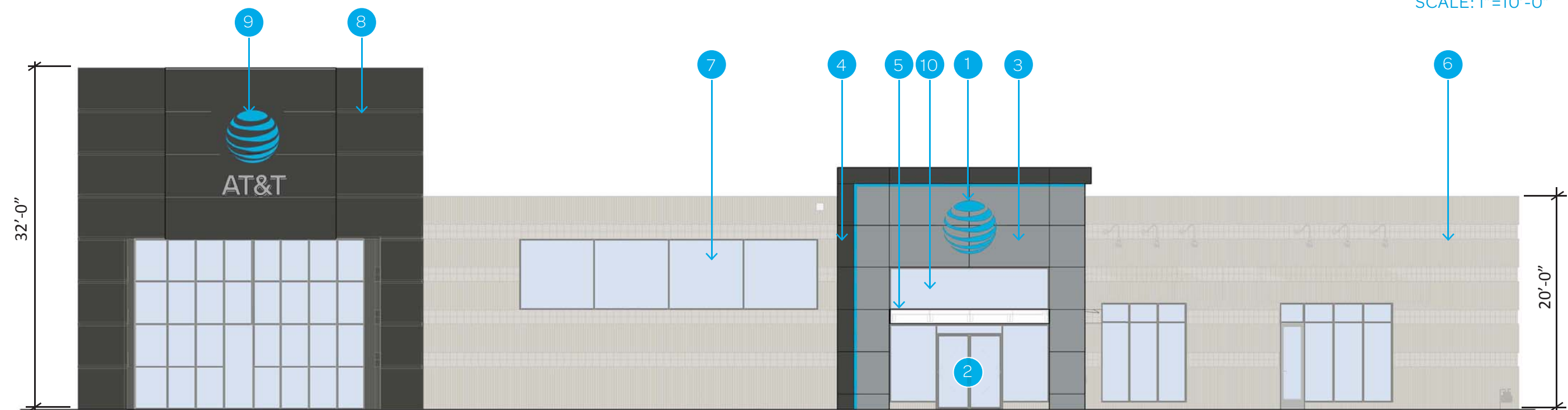


P-20



P-28

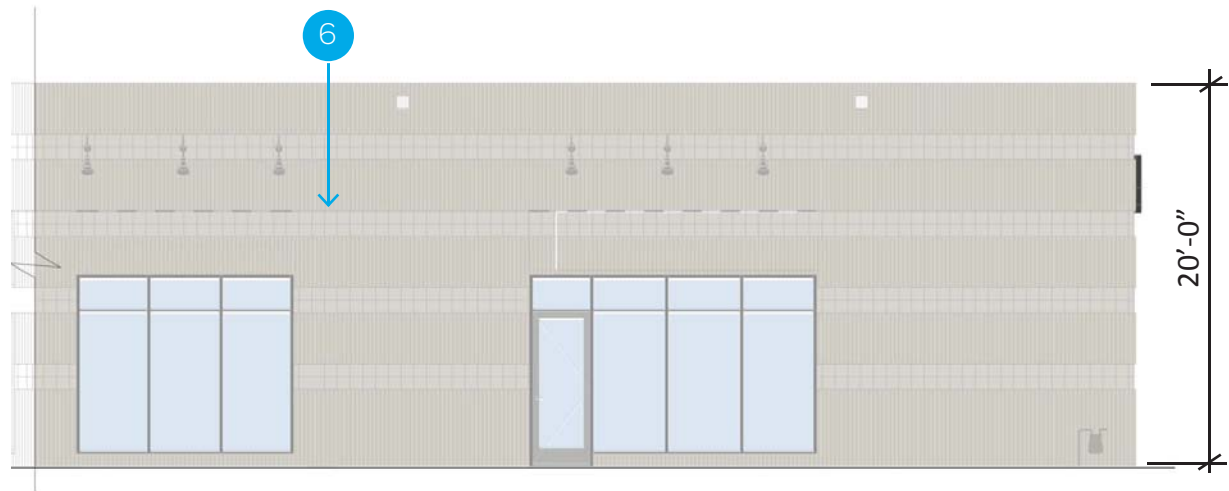
SYMBOL	ITEM	STYLE	MANUFACTURER	LOCATION
CP-1	ALUMINUM COMPOSITE PANEL	COLOR: CHARCOAL (CNC)	ALPOLIC	ENTRANCE PORTAL
CP-3	ALUMINUM COMPOSITE PANEL	CUSTOM COLOR: ALPOLIC P/N TLK BLUE	ALPOLIC	ENTRANCE PORTAL REVEAL
CP-4	ALUMINUM COMPOSITE PANEL	CUSTOM COLOR: ALPOLIC P/N MICA MFS GREY	ALPOLIC	ENTRANCE PORTAL FIELD
P-20	PAINT	MNFG: SHERWIN WILLIAMS COLOR: REPOSE GRAY / SW7015	SHERWIN WILLIAMS P888.731.7379	EXTERIOR WALLS
P-28	PAINT	MNFG: SHERWIN WILLIAMS COLOR: IRON ORE / SW7069 SATIN EXTERIOR LATEX	SHERWIN WILLIAMS P888.731.7379	EXTERIOR TOWER WALLS



1 NORTHWEST ELEVATION - PALATINE RD

KEY NOTES:

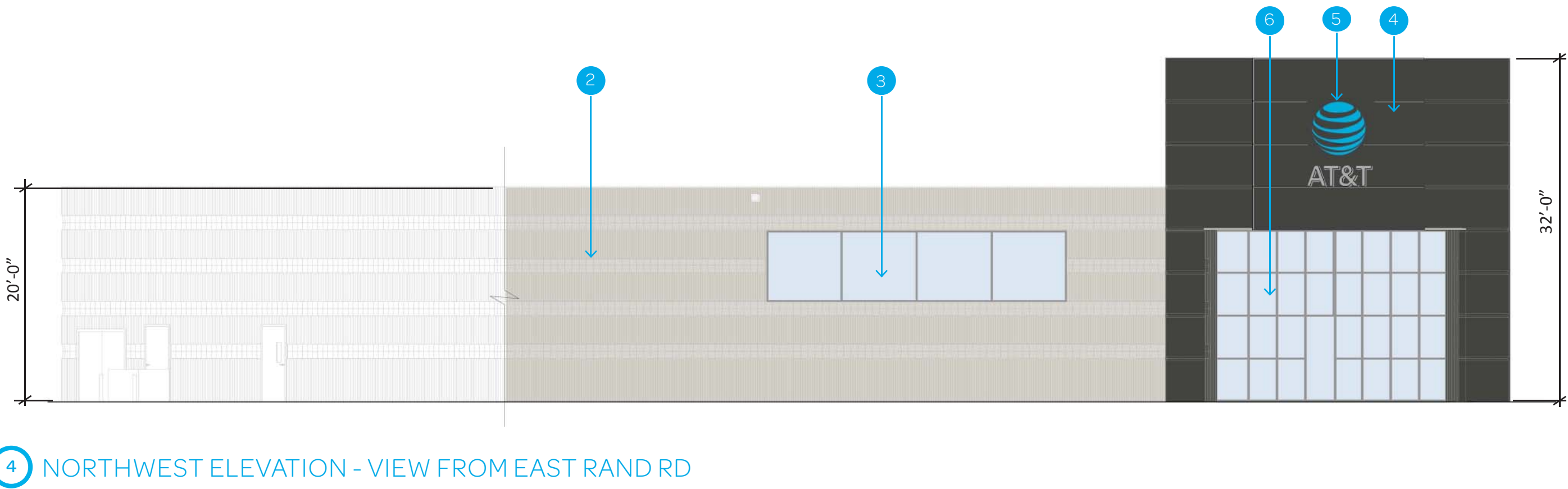
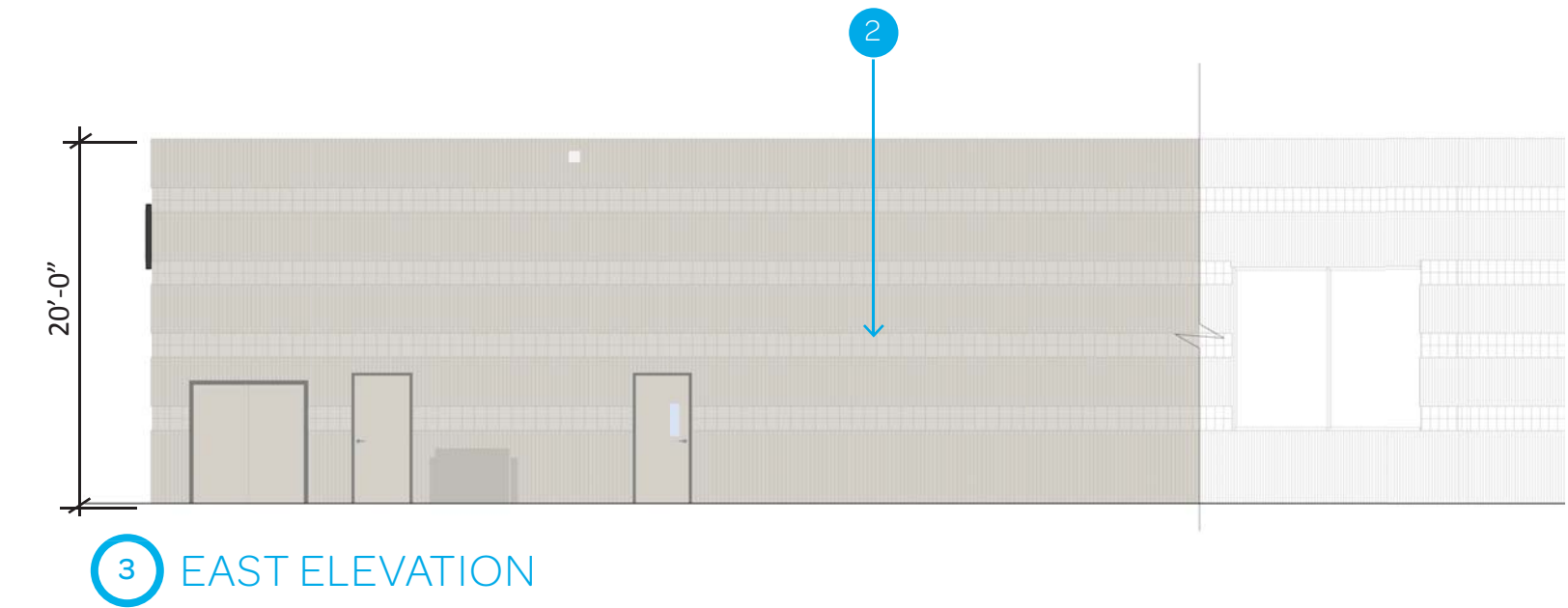
- 1 5'-0" diameter Globe sign.
- 2 Existing double door entry.
- 3 CP-4 Aluminum Composite Panel- Mlca MFS Grey
- 4 CP-1 Charcoal aluminum composite panels with CP-3 blue reveal.
- 5 Existing canopy to remain.
- 6 Paint building -P-20-SW7015 Repose Gray.
- 7 Replace existing graphics with new brand graphics.
- 8 Infill inset and paint tower -P-28SW7069 Iron Ore.
- 9 5'-0" diameter globe sign with vertical lock-up .
- 10 Existing window to remain. Interior wall to be painted to match -P-28-SW7069 Iron Ore.

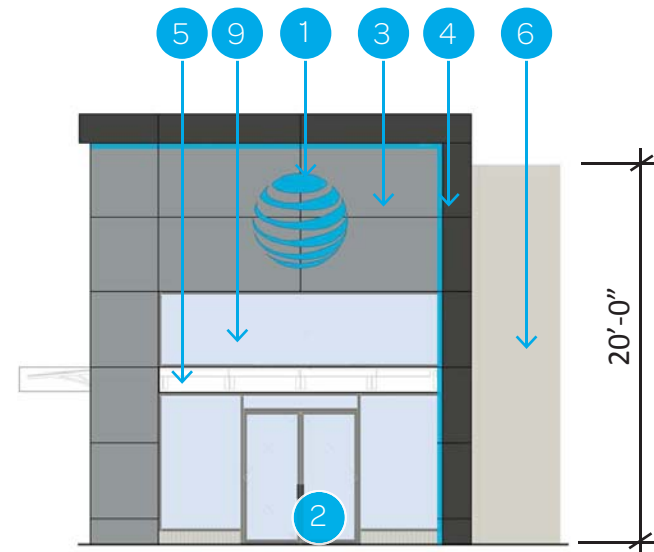


2 WEST ELEVATION

KEY NOTES:

- 1 Existing window display to remain.
- 2 Paint building P-20- SW7015 Repose Gray.
- 3 Replace existing graphics with new brand graphics.
- 4 Infill inset and paint tower-P-28-SW7069 Iron Ore.
- 5 5'-0" diameter globe sign with vertical lock-up .
- 6 Existing storefront to remain..

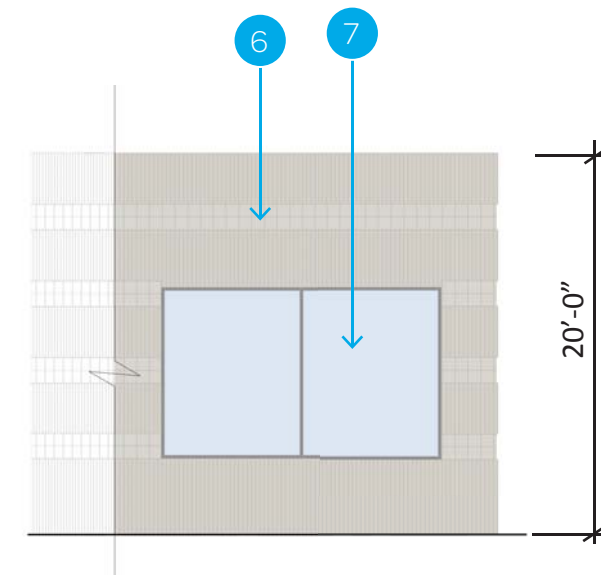




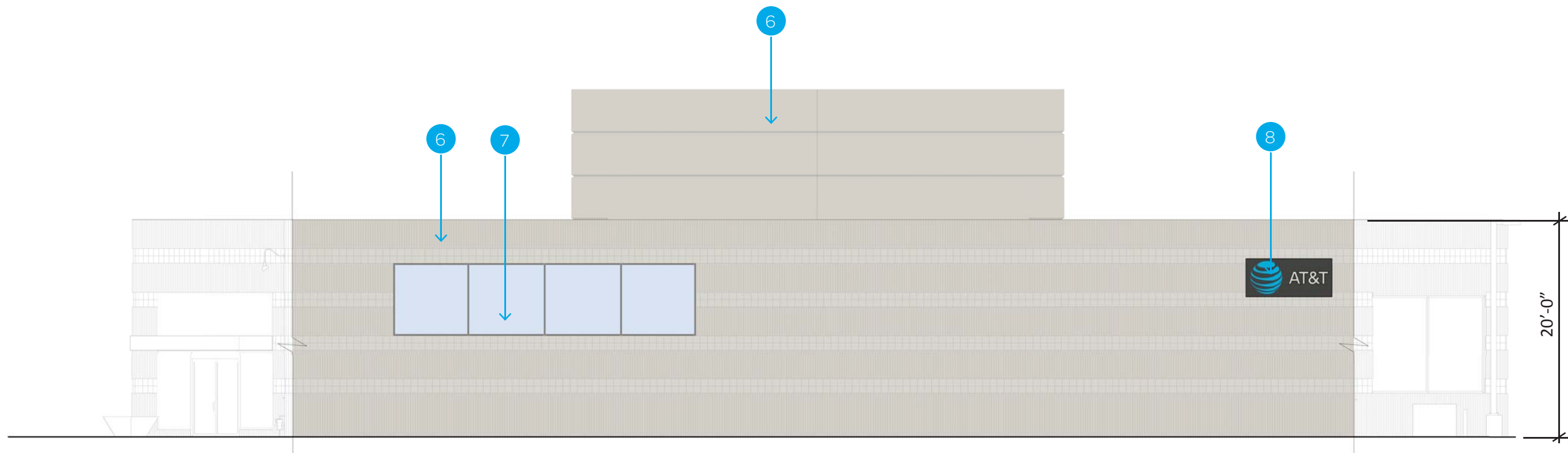
5 SOUTHWEST ELEVATION

KEY NOTES:

- 1 5'-0" diameter Globe sign.
- 2 Existing double door entry.
- 3 CP-4 Aluminum Composite Panels- Mlca MFS Grey
- 4 CP-1 Charcoal aluminum composite panels with CP-3 blue reveal.
- 5 Existing canopy to remain.
- 6 Paint building P-20 -SW7015 Repose Gray.
- 7 Replace existing graphics with new brand graphics.
- 8 3'-0" diameter globe sign with verical lock-up and CP-1 charcoal backer
- 9 Existing window to remain. Interior wall to be painted to match P-28 -SW7069 Iron Ore.



7 SOUTHEAST ELEVATION



6 SOUTH ELEVATION



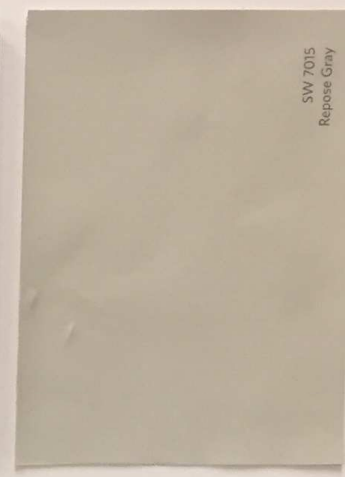
CP-1



CP-3



CP-4



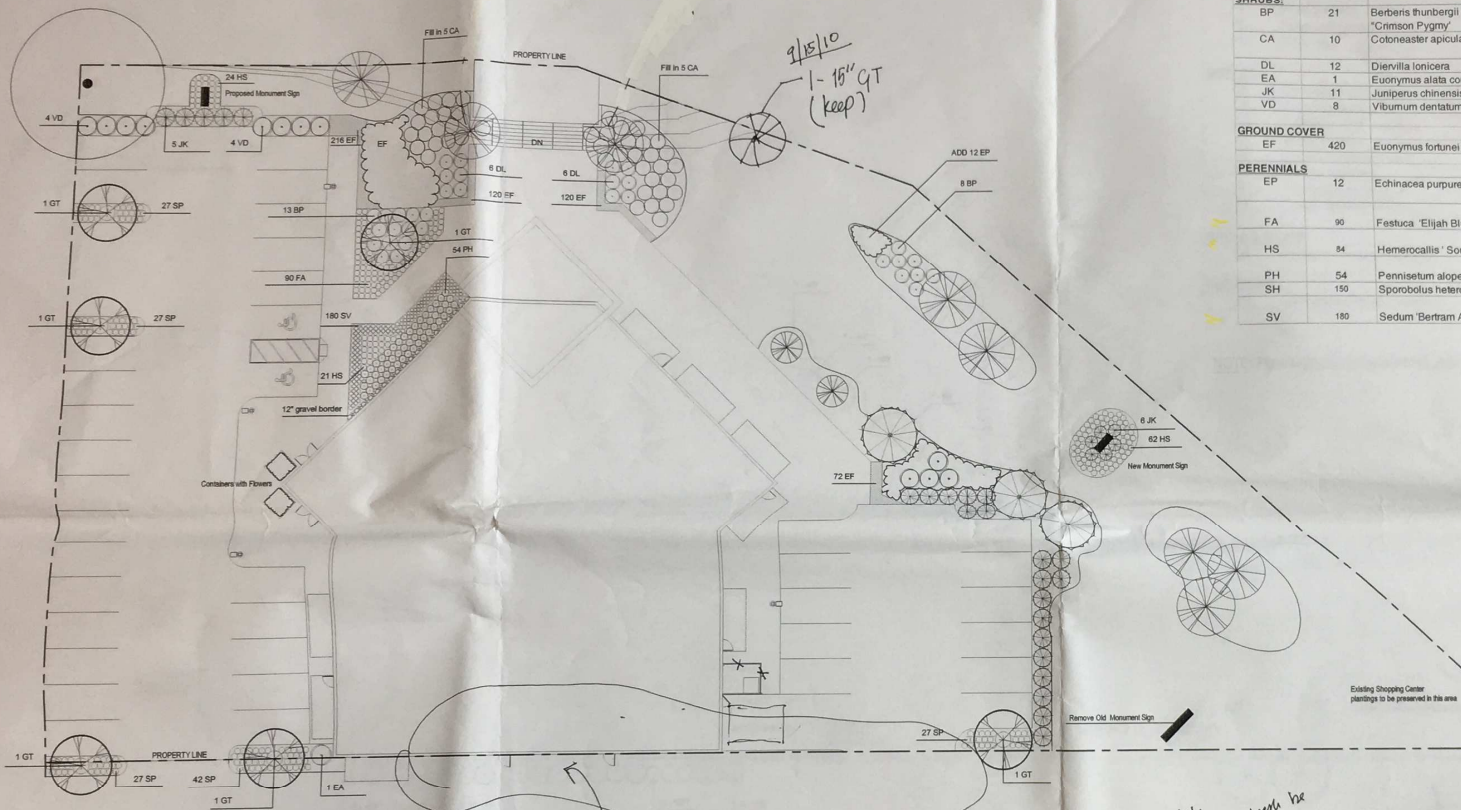
P-20



P-28

SYMBOL	ITEM	STYLE	MANUFACTURER	LOCATION
CP-1	ALUMINUM COMPOSITE PANEL	COLOR: CHARCOAL (CNC)	ALPOLIC	ENTRANCE
CP-3	ALUMINUM COMPOSITE PANEL	CUSTOM COLOR: ALPOLIC P/N TLK BLUE	ALPOLIC	ENTRANCE
CP-4	ALUMINUM COMPOSITE PANEL	CUSTOM COLOR: ALPOLIC P/N MICA MFS GREY	ALPOLIC	ENTRANCE
P-20	PAINT	MNFG: SHERWIN WILLIAMS COLOR: REPOSE GRAY / SW7015	SHERWIN WILLIAMS P888.731.7379	EXTERIOR WALL
P-28	PAINT	MNFG: SHERWIN WILLIAMS COLOR: IRON ORE / SW7069 SATIN EXTERIOR LATEX	SHERWIN WILLIAMS P888.731.7379	EXTERIOR WALL

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PROPOSED PLANT LIST					
KEY	QTY	Botanical Name	Common Name	Height	Size/Spacing
TREES:					
GT	6	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	45'	3" cal. B&B
SHRUBS:					
BP	21	Berberis thunbergii var. atropurpurea	Crimson Pygmy Barberry	2'	24" cont./3' O.C.
CA	10	Coloneaster apiculatus	Spreading Coloneaster	18"	24" cont./fill in bare spots
DL	12	Diervilla lonicera	Southern Bush honeysuckle	3'	5 gal. cont./3' O.C.
EA	1	Euonymus alata compacta	Burning Bush	5'	24" cont./3' O.C.
JK	11	Juniperus chinensis 'Pfitzeriana Compacta'	Compact Pfitzer Juniper	2'-1/2'	24" cont./3' O.C.
VD	8	Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrowwood Viburnum	5'	24" B&B/3' O.C.
GROUND COVER					
EF	420	Euonymus fortunei coloratus	Purple-leaf Wintercreeper		
PERENNIALS					
EP	12	Echinacea purpurea 'Magnus'	Purple Cone Flower		1 gal. cont./18" O.C.
FA	90	Festuca 'Elijah Blue'	Blue Fescue		1 gal. cont./18" O.C.
HS	94	Heimerocallis 'South Seas'	South Seas Daylily		1 gal. cont./18" O.C.
PH	54	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass		1 gal. cont./18" O.C.
SH	150	Sporobolus heteroterpis	Prairie Dropseed		1 gal. cont./18" O.C.
SV	180	Sedum 'Bertram Anderson'	Purple stonecrop		1 gal. cont./15" O.C.

PROPOSED LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

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LANDSCAPE ARCHITECTS

AT & T - Proposed Landscape Plan

Rand and Palatine Roads, Arlington Heights, Illinois

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FILE

I certify that this drawing has been prepared under my
direct supervision and I am a duly Licensed Professional Engineer.
Date: 9/15/10
No. 317
N.L.H.