



Agenda
Village of Arlington Heights
Design Commission
Community Room, 3rd Floor
Arlington Heights Village Hall, 33 S. Arlington Heights Rd.
September 26, 2023
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

A. Minutes - 8/22/23

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

A. DC#23-040 - 1222 N. Walnut Ave - SF/Teardown

VII. OTHER BUSINESS

A. Public Comment

VIII. PUBLIC COMMENT

IX. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Erin Mercado, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, emercado@vah.com or (847)368-5793.



Design Commission
9/26/2023

Item: Minutes - 8/22/23

Department: Planning & Community Development Department

ATTACHMENTS:

Description

Minutes - 8/22/23

Type

Minutes

DRAFT

MINUTES OF THE VILLAGE OF ARLINGTON HEIGHTS DESIGN COMMISSION

HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
AUGUST 22, 2023

Chair Kubow called the meeting to order at 6:30 p.m.

Members Present: Jonathan Kubow, Chair
Ted Eckhardt
John Fitzgerald
Scott Seyer
Kirsten Kingsley

Members Absent: None

Also Present: Tom Budzik, Thomas Architects for 227 S. *Mitchell Ave.*
Bernard Citron, Thompson Coburn for 116-120 W. Eastman St.
Katie Lambert, OKW Architects for 116-120 W. Eastman St.
Thomas Roszak, Mocer & Roszak for *Arlington Heights Gateway*
Mike Mocer, Mocer & Roszak for *Arlington Heights Gateway*
Steve Hautzinger, Planning Staff

REVIEW OF MEETING MINUTES FOR AUGUST 8, 2023

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER SEYER, TO APPROVE THE MEETING MINUTES OF AUGUST 8, 2023. ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 1. SINGLE-FAMILY TEARDOWN REVIEW**DC#23-036 – 227 S. Mitchell Ave.**

Tom Budzik, representing *Thomas Architects*, was present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is here tonight seeking approval to demolish an existing single-story residence with an attached one car garage, to build a new two-story residence with an attached two car garage. This is an R-3 zoning district and the project does comply with all of the R-3 regulations. This property is on a block that is comprised predominantly of 1-1/2 story, historic Bungalow and Cape Cod style homes with detached garages. There is one, 2-story home located almost directly across the street; it is an older two-story home, and then further north on the block there is one previously approved teardown.

The proposed new home is nicely designed, in a traditional style that in general would fit very well in this location. The unique situation here though is the consistent fabric of this particular block, with 1-1/2 story style homes; therefore, an ideal design in this location would be more of a 1-1/2 story, Bungalow style or Cape Cod style home with a detached garage. Staff has no specific comments about the proposed design, however, Staff has concerns about how an attached garage in this location fits with the rest of the block, as well as a two-story home instead of a 1-1/2 story scale. Staff is asking the Design Commission to evaluate the proposed design.

Mr. Budzik said this is the fourth project they have done in the area with this homeowner/builder, who previously built a new home on Highland and on Vail. They are trying to do a few things different with this home than what is otherwise seen in this neighborhood. They tried to play a little bit with the eaves of the home, and not do just a straight up modern farmhouse. They are playing a little bit with the color palette, a little bit with some of the detailing and the eaves, and creating those one-story elements to reflect the character of the neighborhood. They understand Staff's concerns that the block is predominantly 1-1/2 story homes; however, the new home approved at 206 S. Mitchell is a very comparable massing to what they are proposing tonight, so there is some precedent for approval. The existing home has an attached garage; however, the existing home is functionally obsolete and it is not possible to expand or build further upon it. Also, there are some other homes further down the street on Mitchell that also have attached garages. Lastly, **Mr. Budzik** pointed out that most of the homes on Chestnut Avenue have a similar form to what is being presented tonight. He welcomed any questions from the commissioners.

Chair Kubow asked if there was any public comment on this project and there was no response from those in the audience.

The commissioners summarized their comments. **Commissioner Seyer** appreciated the design and the rendered exhibit presented tonight. He was in favor of the design and said it is a nice looking home. His only comment is about the front roof above the porch; it has kind of a hip to it, whereas the back of the home has a straight slope, and he was curious if it might look better without the hip roof on the north side of the porch. The porch corner seems awkward, and he felt a similar roof on the back of the home would clean things up and make it more consistent. Other than these comments, **Commissioner Seyer** had no concerns with the new home.

Commissioner Kingsley asked the petitioner how they felt about Staff's comment that a detached garage would be better on this site. **Mr. Budzik** replied that since there is precedent on the street, and the existing

home has an attached garage, the owner is pretty adamant about the proposed attached garage, primarily due to the marketability of this spec home. **Commissioner Kingsley** also asked the petitioner how a detached garage would work with the current plans, if the commissioners want to see that change made, and **Mr. Budzik** replied that obviously it would be substantially different because another 10-feet or so would need to be taken off the home to make that work.

Commissioner Kingsley wanted to see a detached garage on this site, because most of the homes on this block have one. She said it is a nicely designed home and she appreciated all the details put into it, especially trying to bring the sides of the home down. The rear elevation is great and works really well; however, she had some hesitation with the front elevation and how the north side of the gable is truncated, which is quirky; however, she still preferred the rear elevation to the front elevation and how it is a little more symmetrical. She understood Commissioner Seyer's comments about the hipped porch, which could be changed to a shed roof, which could help with the truncation concern she has.

Commissioner Eckhardt echoed Commissioner Seyer's comments, but asked the petitioner about the asymmetrical roof over the bay window, which he felt did not need to be done. **Mr. Budzik** replied that the owner wants this new home to be a little more niche and different than what is seen everywhere. He wants to market a slightly different buyer that will appreciate some of the quiriness of this home. **Commissioner Eckhardt** felt this looked odd and would be interesting to see it when the home is built. He was okay with the attached garage being proposed and understood how that opens up this home to more buyers than a one car garage. He had no further comments.

Commissioner Fitzgerald liked the details of the new home and the quiriness of it, and said it will look great once it is built and landscaping is added. He was okay with the size of the home because the large roof is set back pretty far and the height will not be that noticeable from the street. He also appreciated what was done on the side and front roof lines to make the home look smaller. He agreed with the petitioner that an attached garage is more attractive to today's buyers, and he is okay with that. He was also okay with the front porch hip roof being changed.

For the most part, **Chair Kubow** agreed with the other commissioners' comments. Starting with context, he said that the neighborhood just south towards Chestnut Avenue has a very eclectic array of housing types of architecture, which he appreciates; however, he also understands the context statement from Staff that this is a bit different than what is there. He enjoys a bit of diverse architecture in neighborhoods and is in favor of this new home. He did not notice the difference in the gable; at first, he thought it seemed a little odd, but he liked the quiriness of it. He was fine with the new home as designed.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE ARCHITECTURAL DESIGN FOR THE PROPOSED NEW SINGLE-FAMILY HOME TO BE LOCATED AT 227 S. MITCHELL AVENUE, AS SUBMITTED. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE ARCHITECTURAL PLANS RECEIVED 7/28/23, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATION AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A RECOMMENDATION THAT THE PETITIONER STUDY THE FRONT LEFT EAVE LINE TO PUT IT INTO BALANCE.
2. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT

APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

FITZGERALD, AYE; ECKHARDT, AYE; SEYER, AYE; KINGSLEY, AYE; KUBOW, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 2. MULTI-FAMILY RE-REVIEW**DC#23-099 – 116-120 W. Eastman St.**

Bernard Citron, representing *Thompson Coburn*, and **Katie Lambert**, representing *OKW Architects*, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner team is here tonight seeking approval of the architectural design for this new multi-story apartment building in the Downtown. This project was previously reviewed and approved by the Design Commission on April 11, 2023; however, on May 24, 2023 the project appeared before the Plan Commission, at which time residents that live primarily directly north of the site raised a number of concerns about the design being too modern of appearance in this location, as well as other zoning issues. In response to the feedback that the petitioner received at the Plan Commission hearing, the petitioner has made substantial changes to the plans, including a complete redesign of the exterior. **Mr. Hautzinger** clarified that the Design Commission is here to look at the architectural design, the appearance of the building, and signage only. Any other matters regarding zoning, building height, parking, etc. will be discussed at the upcoming Plan Commission meeting for this project.

Mr. Hautzinger touched on key points from Staff. Overall, Staff feels the new design direction works well to address the residents' concerns regarding the context of the design fitting in with the Downtown as well as the residential neighborhood to the north; having a primarily brick exterior with more traditional detailing. However, Staff has some concerns for the Design Commission to consider in their review tonight.

Massing: Looking at the south elevation, which is the front of the building facing Northwest Highway, Staff is interested in the petitioner's explanation of the design, primarily with introducing the recess in the wall that divides the facade into a feeling of 2 separate buildings, with the one on the right being very narrow with vertical proportions, and the one on the left being more traditional with a base, body, and top, which is more horizontal. Also, the large arched entry in the left portion of the façade is offset to the right and cramped. The composition is unusual, which the Design Commission should evaluate.

Materials: Brick was discussed at the last meeting and the addition of more brick to the design is a nice enhancement. However, in the courtyard, the walls are red and dark gray stucco to mimic the red brick and dark gray brick. The Design Commission should evaluate the actual samples brought tonight by the petitioner.

Cornice: There is a nice decorative cornice at the top of the building, however, the north elevation is lacking some detail at the top of the brick portion. This is an area where Staff is recommending some additional detailing to enhance the design.

East Elevation: The east elevation was not discussed much in the previous review of this project, but where the building abuts the existing adjacent building, there are no window openings. The north and south ends of the east elevation are large blank walls, and further design development is recommended to add additional interest and break up the large blank walls.

Signage: The wall signs include the building address, and an additional new sign at the entrance has been added. Because these are separate signs, per code this would be interpreted as two wall signs, and only one wall sign is allowed per street frontage.

Mr. Hautzinger requested the Design Commission's evaluation of the revised design and Staff's concerns.

Bernard Citron said they understand this is a design review commission that is not looking at the zoning of the property, but the changes they made to try to work with the Neighborhood Association (HANA) are fairly extensive and did drive a lot of design elements seen here tonight. The entire building was lowered; there is now a full level of parking below the building, which is more of a zoning issue, but it does lower the whole massing of the building, and along with that, other things happened. On the north elevation, the building was set back, which lowered the height of that end of the building. He asked the commission to keep that in mind, even though it is not this commission's purview because that is the context that they are doing this in. He introduced Katie Lambert, the architect.

Katie Lambert gave a presentation. Since they were last here a few months ago, they had an extensive collaboration with the neighborhood group, primarily about changes in massing. She presented an image to show an overlay of where the massing from the north had been several months ago, versus where it sits today. The other thing that has changed is the carve out on the south facade on Eastman, which was eliminated to try to more substantially carve out from the north, which is in response to the neighbors. The other issue they heard from HANA is that a brick building was going to be more contextual within the world of Arlington Heights in general. They took inspiration from a lot of the Downtown district buildings in Arlington Heights, in an attempt to be as responsive and respectful to some of the great architecture that is already here.

In addition to a 10-foot setback at grade, a 30-foot set back at the top floor has been incorporated, in order to have a more substantial stepping profile on the north. The basic premise is a U-shaped building, opening with a courtyard facing Highland Avenue, a pool in the middle, and residential amenity in the middle. The total unit count has been reduced from 151 to 136 as part of these changes, and parking spaces were also lost to fit into a basement level and a partial first-floor garage.

A major change made at the first-floor relates to the ingress and egress from the parking garage. Previously, everyone would enter and exit off of Highland; however, trying to be respectful towards the idea of headlights facing neighbors on Saint James, the concept now being proposed is for ingress on Eastman and egress south only onto Highland. The garage had previously been an open garage, and now that the garage is partially submerged underground, they are proposing an entirely mechanically ventilated garage, which is going to be pretty much concealed from the residents. The basement level parking was shown, which is pretty straightforward, and the units up above. They are still looking at a concept that would have pretty substantial amenities at both the first-floor and at the second-floor. This building is really all about incorporating that social space into the design and highlighting that space, especially from the Eastman side of the building.

The sixth-floor plan shows the set back on the north side, which is more than 50-feet from the property line, until the sixth-floor of the building. The context of Arlington Heights was presented because it had been part of the conversation with the neighborhood, although **Ms. Lambert** acknowledged that the building is not necessarily just a historic building, but there are some really nice things already happening in the Downtown district that they want to call attention to, such as the full arch elements of the Arlington Heights Police Department building, and the Metropolis Arts Center, which they feel makes sense in the context of this new building. The general idea for the front door being on Eastman was inspired from a lot of these, and their approach to the elevation on Eastman has been that they are interloping forms, things that stretch the entire block. The idea of having a different material at the sixth-floor penthouse helps to break up the facade and introduce a little bit more of a dynamic quality on this block and break down the mass. Another important

thing to understand is that the building plan itself is not a symmetrical plan; what is happening on the east side with the entrance into the garage is very different from what is happening with the restaurants. They want a design that really relates to that, and the location of the arch opening is primarily driven by this location being at the residential entrance and at the core. They feel strongly about the idea to be able to take a brand and use it in a way that was interesting and well detailed.

The Highland Avenue facade was presented, which incorporates some detail along the outside of the garage. **Ms. Lambert** pointed out the parking spaces that are fronting Highland, with the wall behind it to be a fully enclosed wall that would not show lights into the garage. On the north elevation they want to find a way to have an expression on the north side of the garage that introduces some detail, but also keep it fully enclosed to not see any headlights. The wall at the sixth-floor is set back 30-feet.

Ms. Lambert said they can continue to look at finding ways to introduce additional detail at the north and south ends of the east elevation, maybe a vertical detail there. Fire Department requirements were basically driving the lack of windows, but they could look at that as well to see if there are areas that can be knocked back a few feet. The courtyard elevations were presented, with true stucco being proposed and not EIFS, a stone product similar in tone to the proposed brick, along with a system of reveals. The other stucco color will be the color of the coping.

The section of the building along St. James shows some of the stepping profile where the project is most substantially different from when it was last presented. The view from the southwest was shown where the primary red brick is being proposed, which is relatively desaturated in color and complimentary to the huge range of color and brick in Downtown Arlington Heights. Dark gray is also being proposed, and the lighter brick will be at the garage portion of the building.

Looking at the north elevation, a close-up shows some of the partial arched elements as well as the brick corbel being proposed around the body of this plinth, with a capstone cap on top of that. **Mr. Hautzinger** asked if it is a solid wall behind that and **Ms. Lambert** said yes. She said there may be portions of it that might need to be louvered, but the intent is that it be solid where it can be. Details at the entrance were shown, with some of the details surrounding the arched element with a metal inset arch within that. It is intended to be a full-service restaurant, with a combination of a stone base, brick soldier course above, metal louvers, as well as a very small narrow projection of the canopy. Mortar samples were also presented, with the thought being that the vibe of this building seemed to make sense to have a tinted mortar to keep it relatively taught in terms of the color palette that we are using, but they are open to other options.

Commissioner Eckhardt asked where the break point is on the stucco material and the masonry at the corner, and **Ms. Lambert** pointed out where it wraps around the corner and ends at the brick.

Chair Kubow asked if there was any public comment and there was response from those in the audience.

PUBLIC COMMENT

Vivian Menzies, 212 W. Fremont St. She is a Board member of HANA, which has about 600 homes in the HANA area, with the majority of the homes being historic. Since they last met with the Design Commission, they are pleased to announce that the down zoning of the 7 homes on Saint James, which is the southern border of HANA, was unanimously approved by the Village Board. A lot has happened in the last several months since the Plan Commission rejected this project. The project team came back to HANA with these initial revisions and she felt a lot of the changes are really great, and they are really pleased with much of it. Overall, the HANA reaction was very favorable toward the changes; however, they feel that a lot more can

be done. She understood that height and density are not addressed here tonight, but those really are the areas that they still have an issue with. They are happy with the level of collaboration between the Village, the Design Commission, the Plan Commission, the Board, the neighbors, and the developer; everybody has worked together on this and they hope that level of cooperation continues so the project can be the absolute best fit for her neighborhood. They really appreciate the Design Commission and their insight and guidance to help make that happen. Thank you, and they look forward to more.

Sarah McKinney, 203 W. Fremont St. Many residents still have lingering concerns about this project, herself included, however, she said it is great that the developer and the architect have made so much progress in integrating the building into the surrounding area. They have managed to address some aspects that they previously deemed impossible, which is wonderful. She appreciates seeing them demonstrate the architectural details of other large municipal buildings that have been scattered through the Village as inspiration. She asked about other opportunities for this design to be even more cohesive with its surrounding structures, namely the single-family homes across the street and in the immediate area. This is where this commission can help because she has seen the Design Commission use their thoughtfulness and expertise to scrutinize architectural details for \$1,000,000 new builds on Dunton Street that are situated next to historic homes. Witnessing that in one of the previous meetings is what inspired her to create a bunch of visuals of our neighborhood so this commission is able to have that context. She is asking the Design Commission to use their collective expertise here and apply the same level of scrutiny for this project, which is easily 50 to 60 times the cost and size of a new single-family home and resides next to many historic homes. We look forward to further collaboration with the Village, the developer, and the architect, to make this project the best fit it can be in our community. She felt the developer and architect have considered the context of this neighborhood, and she wants to make sure the Design Commission sees her neighborhood too. Elena will come up and show some slides, which is what the residents presented to Plan Commission to show their area that they are so proud of and want this commission to look at the whole picture. Thank you so much.

Elena Cochran, 121 W. Fremont St. She has been asked by the neighborhood to present pictures to walk everyone through what their neighborhood that they are so passionate about and what they have been working so hard for over a year of meeting with Compass Point to protect. These are the HANA boundaries, just north of the tracks and across the street from this new building. The red is where the new building would be and these are the boundaries of their neighborhood. She showed the historical grounds and the museum where there are many events held. There was representation of the existing multi-family housing that is in the triangle right now, which shows there is nothing even close to the drastic design that is being talked about tonight. The existing multi-housing is really beautiful and blends in with the neighborhood, or at least does not tower over and stand out. This is a collection of their slice of Arlington Heights heaven that they are all working so hard to protect, with a lot of this being close to the building and there are some differences between this design and what will be right across the street. A visual was shown of what is directly across the street from this massive development. You can see that these people have put a lot of time and effort and sweat equity into their homes, and they are so thankful to have this Commission to help them work with Compass Point to try to make a beautiful design that will really enhance their neighborhood.

Eileen Devine, 201 W. Euclid Avenue. She has been a member of HANA for 36 years. She gave a little history about what happened with these homes. During the first meeting with the Design Commission, Christine Murray, a resident of Fremont, gave a heartfelt reminder that this is not just about buildings, but about people in the neighborhood. She has thought about Christine's comments, about the challenges we have as residents, developers, and Board members. When she tells people that she lives in Arlington Heights, a few homes west of the Historical Society, they are impressed with this beautiful area. When she purchased her almost 100-year old home, it was referred to as the witches haunted house. After World War II, it was

turned into a rooming house, then condemned and closed by the Village, later rezoned and configured to a 2-flat. She and her husband purchased the home in 1986 and the zoning changed back to single-family, so together with neighbors and family they slowly restored their home into this beautiful lady. This is a very common thread with the stories of homes on Saint James, Fremont, Park Street, and Euclid. So many of them were abandoned and left to rot or be demolished. This area was built by visionaries to create a neighborhood community and they did it. Generations later, they have kept that vision alive, joining together the past and the present. The present is all of us here tonight as we try to collectively create the very best design for the Eastman project. Hopefully we can reach a respectful balance. I agree with Joe Taylor when he referred to the apartment building that Compass Point is developing in his village of Barrington, and I'm sure he applies that same thought to Arlington Heights. We aim to enhance what is already here. Compass Point has proposed to invest millions in our community and I understand why, because it is a beautiful place in our neighborhood. But please remember, the people that Christine Murray spoke about at the last Design meeting; we are here, we are the first investors. Collectively, we have invested millions of dollars in this neighborhood, in our homes and in our community. Thank you.

Chair Kubow closed the public comment.

The commissioners summarized their comments. **Commissioner Fitzgerald** appreciated the changes that were made, he always hoped that the building would be brick to help it fit in better. He liked the colors of the brick, he liked the colors of the stucco, and he was okay with the stucco wrapping around the top. He liked the front entrance, it does not feel cramped, and he liked the way the front of the building is off-set. With regards to the 2 signs shown tonight, he was okay with the petitioner asking for a variation, if the signage is similar to what is shown tonight. He agreed that the north side of the building could use some detail at the top, and a little more detail on the east elevation. Overall, he liked the changes and he liked the materials.

Commissioner Eckhardt thanked the residents for coming tonight. He loves and appreciates this neighborhood and the homes, and as a resident, he understands the trauma going on with the residents and this project. He appreciated the petitioner's 100% turnaround on the design of this building, which to him looks like an old loft building in Chicago that has been rehabbed and elegantly detailed with new windows and given a new life. There is a contrast of materials and the brick palette is soft. Although there was discussion at the last review of this project about things that were not the purview of the Design Commission, tonight he was going to focus on the architecture of the building. He said that the only thing that seems a little out of place is the lower-level arcade with the arch tops, which is difficult to visualize and he is unsure about. The south elevation is very nice, elegant and detailed, and the north elevation is a different building. This is still a tall structure, and as a standalone building, he felt it was fine; however, he was still torn about whether or not the building fits in with the neighborhood. He appreciated the efforts to set the building back and he did not dislike that it is 6-stories tall; however, he felt the building could also be 3-stories tall by lowering the side of the building to step it down, which would be the natural thing to do because it is on the edge of the HANA neighborhood and faces a community that is a very important community. He had no further comments at this time and wanted to hear from the other commissioners.

Commissioner Kingsley concurred with Commissioner Eckhardt's comments, which were well stated. She commended all the neighbors for doing what they are doing and for rezoning the street, which is huge for them and for the Village. This project is really the first really large building next to historic homes, so it should be looked at closely, and stepped down zoning should be done here. Although that is not this commission's purview, she is a proponent of that. She was impressed that the petitioner came back with changes, and she felt there were a lot of really great things about the changes. She really liked the front elevation and the division between the east side and the west side, she liked that there is a straight cornice on the red brick

building and a more detailed cornice in the stucco area, and she was not in favor of making it more detailed on the red brick areas, on any elevation. She said the color palette is a bit dark, but will work really well, and she liked the colored mortar that will dress it up. **Commissioner Kingsley** was concerned about the north elevation, and similar to Commissioner Eckhardt, she wondered if it should step down. She commented that the black stucco portion of the building that is set back from St. James looks a little tall, especially the stair tower. She also agreed with Commissioner Eckhardt's comments about the arches at the arcade area, although she understood the inspiration for them. Overall, she felt the detailing of what is presented tonight is very nice and the materials are very noble.

Commissioner Seyer appreciated all the comments from the neighbors who spoke tonight, which he felt were important. Keeping his comments to the materials and the design presented tonight, he said it was a great improvement and lower in scale. He did not have a lot to add to the comments from the other commissioners, with the exception that he could go either way with the base and the shallow arch. It would be interesting to see it another way, but he also understood why it is there. His biggest issue is that the building feels like a loft building with the vertical brick bands and the red brick with the gray brick underneath, and working left to right, the vertical bands line up with the piers below and are the same width, but in other areas they do not. It would look a lot cleaner if there was some consistency to the verticals lining up with the actual columns. There is something similar on the south elevation where there is consistency on the left side where it comes down in the middle, but there is no rhyme or reason to anything at the garage. He said that this could be playful, but he preferred more consistency to this and wanted to hear how the other commissioners felt. He liked the reveals, the breakdown, the massing, and the materials, but felt it could be a little more cleaned up to make it a better building.

Chair Kubow was very impressed with the participation tonight by the neighbors; their love and thoughtfulness for their neighborhood really shows and the collaboration being shown with the architect and the developer is impressive. This goes to show the type of community Arlington Heights is. He was also very impressed by the architecture team and the development team, because compared to where things were before and where they are now, some large, substantial changes have been made. He reiterated that this commission should only focus on the architecture, but with a project like this it is almost impossible to do so because of the context and the neighborhood, which really defines this project. **Chair Kubow** said that although he really liked the previous modern architecture of this project, he understood why the petitioner made changes. What is being presented tonight and the thought behind some of the precedence in Arlington Heights is very well thought out; however, he felt that more development on the details could be done. He acknowledged the previous comment that the cornice could probably use something more and he did not want to talk about step backs because it is not the purview of this commission.

Focusing on the architecture, **Chair Kubow** said that he loved the strong entrance on the south elevation and the detail in the arch is beautiful. He was fine with the signage being shown and suggested reducing the size of the '116' address. In terms of the arches, he could go either way, but he applauded the petitioner for the impressive change in architecture from the previous design. He felt the building would be a great addition to the Village and fits with what we have here, and comments related to zoning, height, massing and density are not the purview of this commission. He commended everyone in the collaboration of this impressive project.

Commissioner Eckhardt agreed with the other commissioners' comments about the very top of the building on the north elevation that needs more detail, similar to the beauty that has been developed on the south elevation. As a standalone building, he felt that a lot was done to make the building fit as its own unit, with the number of units being reduced, and the parking situation being fixed. Although the proposed colors

appear a bit dark, in the bright sunlight they would not. He was in favor of moving this project forward the way it has been designed and presented tonight, with a requirement for more detailing and the petitioner submitting some alternative arcade designs for Staff review. He felt the changes presented tonight were meaningful, although they might not be loved by everyone in the neighborhood.

Commissioner Fitzgerald echoed the comments of Commissioner Eckhardt. **Commissioner Seyer** agreed as well. **Commissioner Kingsley** also agreed and said the commissioners did not talk about the east facade, although Staff did comment about it, and she felt there should be a recommendation or requirement that the petitioner address Staff's comments about the east elevation. **Ms. Lambert** said that the east side of the building is on the property line and would need to be moved 3-feet back in order to add small windows there, which they are not opposed to looking into the possibility of doing. **Commissioner Eckhardt** pointed out that the adjacent site to the east could produce a tall building in the future, and he had concerns about this new building being right on the property line. **Mr. Citron** said they previously approached AT&T about the adjacent building to the east and were told fairly emphatically that while AT&T is selling off a lot of their infrastructure, there are no current plans to redevelop that particular site; however, it is unknown about what might happen in five or ten years. **Commissioner Eckhardt** asked the petitioner about their design intent for the garage elevation on the east side, from the second-floor down. Will it be set back far enough for masons to install similar material even though it is buried behind the building. **Ms. Lambert** replied that it will be tricky because it will have to be built from the inside, so a product with a finished face will need to be used.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR 116-120 W. EASTMAN STREET. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE PLANS AND RENDERINGS RECEIVED 8/2/23, EXTERIOR ELEVATIONS, MATERIAL LIST, AND SAMPLE BOARD RECEIVED 8/17/23, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATION AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

- 1. A REQUIREMENT TO STUDY THE CORNICE ON THE NORTH ELEVATION WITH ALTERNATE DETAILING OPTIONS SUBMITTED TO STAFF FOR REVIEW.**
- 2. A REQUIREMENT THAT THE PETITIONER STUDY THE SHALLOW ARCHES ALONG THE FIRST-FLOOR OF THE BUILDING, WITH THE POSSIBILITY OF CHANGING THEM TO STRAIGHT LINTELS INSTEAD OF ARCHES.**
- 3. A RECOMMENDATION TO STUDY THE LAYOUT OF THE VERTICAL BRICK PIERS ON THE BUILDING TO ALIGN THE UPPER STORIES WITH THE GROUND FLOOR BELOW WHEREVER POSSIBLE, TO FURTHER DEVELOP THE AUTHENTICITY OF WHAT APPEARS TO BE AN OLDER WAREHOUSE BUILDING.**
- 4. A REQUIREMENT TO DEVELOP A PLAN FOR THE APPEARANCE OF THE WALLS ON THE EAST SIDE OF THE BUILDING BEHIND THE EXISTING ADJACENT AT&T BUILDING, TO PROVIDE A FINISHED APPEARANCE IN THE EVENT THAT THE AT&T BUILDING WERE TO BE DEMOLISHED IN THE FUTURE, TO BE REVIEWED BY STAFF.**
- 5. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER**

COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

Commissioner Seyer wanted the vertical pilaster spacing to be a requirement. He felt it could easily be solved to become a little more cohesive, and Staff could review and determine if there is a reason not to do this.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER KINGSLEY, TO AMEND THE MOTION AS FOLLOWS:

3. A REQUIREMENT TO STUDY THE LAYOUT OF THE VERTICAL BRICK PIERS ON THE BUILDING TO ALIGN THE UPPER STORIES WITH THE GROUND FLOOR BELOW WHEREVER POSSIBLE, TO FURTHER DEVELOP THE AUTHENTICITY OF WHAT APPEARS TO BE AN OLDER WAREHOUSE BUILDING.

Commissioner Kingsley wanted the motion to include the petitioner looking at the exposed areas on the east elevation, which the architect already said that they would. She said she is okay with the requirement to study the cornice on the north elevation, but she did not want to require a cornice if it is just going to be on the north elevation. **Commissioner Eckhardt** clarified that the requirement is to study the cornice on the north elevation, not to provide something specific. **Commissioner Kingsley** was okay with that. **Commissioner Fitzgerald** agreed with Commissioner Kingsley comment to add a requirement that the petitioner look at the exposed areas on the east elevation, and **Commissioner Eckhardt** asked the architect to clarify these areas on the east elevation.

Looking at the east elevation, **Ms. Lambert** pointed out the center portion of the wall that is inset, and the two walls that sit on the property line, which is a fire issue and why windows were not added there. Options would be to add some sort of metal panel detailing on the two walls that sit on the property line, or some sort of opaque treatment. Another option would be to potentially take a portion and inset it 3-feet. **Commissioner Kingsley** felt there should be a recommendation that the petitioner look at this detail and that Staff review it.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER FITZGERALD, TO AMEND THE MOTION TO ADD THE FOLLOWING:

6. A REQUIREMENT FOR ADDITIONAL DETAILING ON THE BLANK PORTIONS OF THE EAST ELEVATION, SUCH AS RECESSED WINDOWS OR BREAKING DOWN THE MASS WITH A MIX OF MATERIALS.

KINGSLEY, AYE; FITZGERALD, AYE; ECKHARDT, AYE; SYER, AYE; KUBOW, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

The petitioner thanked the commissioners for their time and consideration.

Commissioner Seyer left the meeting due to a family commitment.

ITEM 3. MIXED-USE PRELIMINARY REVIEW

Arlington Heights Gateway – SE Corner of Algonquin Rd. & Arlington Heights Rd.

Thomas Roszak and **Mike Moceri**, representing *Thomas Roszak Architecture* and *Moceri & Roszak*, were present on behalf of the project.

Mr. Roszak gave a presentation and overview of the proposed project to be located at the southeast corner of Arlington Heights, Algonquin, & Tonne Road. Phase 1 of the project is proposed to be an 8-story building with 300 apartments and 25,000 square feet of retail. Parking for the residential and the retail meet the zoning requirements. The existing driveway to the south of Phase 1 is being called an access road that will probably be named in the future. Future phases are also proposed for the site, including three other structures that will make this a mixed-use development. They are providing new, quality housing to this part of Arlington Heights and they took a cohesive approach with landscaping, beautiful architecture, nice scale, and lots of building amenities that the market is looking for. The 300 apartments will range in size from studios, one-bedroom, 2-bedroom, and 3-bedroom. Their goal is to start construction sometime next Spring and deliver the building about a year and a half later. **Mr. Roszak** presented a site plan showing all phases of the project. Future phases include either more residential, a hotel, an accessory parking structure, and renovations to the existing Daily Herald building.

The residential units in Phase 1 will be from 550 square feet up to 1300 square feet, based on market information for this area. There will be 4 different retail areas, with the existing Guitar Center possibly being moved into Retail A at the corner of the site. **Mr. Roszak** pointed out the access point for the residential lobby of the building, with amenities on the first-floor, a residential drop off area, and the retail parking area. There will be loading docks, garbage areas, and nice landscaping throughout the site with shade trees, ornamental trees, and a lot of flower beds with perennials and annuals at all the focus points. For the overlay district, there will be focal point sculptures that will be further designed, but are now being shown as obelisk sculptures to be lit and possibly used for wayfinding. They want something artful and fun that will become a signature piece to the development. The building will have 10% affordable housing, with 30 of the 300 units being affordable, which they are proud of. This will be a highly amenitized building with 24,000 sf nested throughout the first-floor and fourth-floor, and include things like an outdoor spa, pool, sundeck, yoga studio, golf simulator, a lot of work-at-home areas, a business center, dog walk, dog spa, and private grilling.

Parking for Phase 1 will be integrated into the building, with the second-floor and third-floor having residential and parking. Looking at the building, the parking will be hidden because of the way it has been fenestrated using the same brick and same punched window details, which is intentional to keep the residential feel. The fourth-floor will have residential throughout, with some green spaces at the lower-level retail, the pool, with landscaping and amenities tied in there. Floors 5 through 8 will be all residential, with 52 floor plans to meet market demands. This building will be sustainable and they are using Enterprise Grand Communities as their certification. There will be a lot of energy efficient things in terms of the HVAC systems, a thermal envelope, interior and exterior lighting, high efficiency plumbing, heating, electrical charging stations, stormwater detention, a lot of green spaces, dog walking, and a butterfly garden. All the roofs will be green roofs, with low maintenance plantings and array area for solar panels.

Mr. Roszak said these are smart, desirable units that are straightforward, efficient, well lit, and they are catalysts to rejuvenate this area. This is a very interesting location with a lot of potential, and they are creating something out of nothing here, with their own context and their own architecture. They found that people want to live in something like a piece of art, so they looked at the scale and the building materials and how it feels to see this building, and came up the Chevron focal points on the building, which are at a slight angle to create a fun rhythm. Four different colors of fiber cement siding are proposed for the upper floors of the building (white, light grey, medium gray, and a darker grey), large punched openings, and green fins that mimic dancing prairie grass across the building. The lower three floors of the building will be brick, including all the retail spaces. They want to create a lot of visual delight when walking through the site and the building, and break down the scale to feel residential, while not making it overwhelming. The details and experience of entering the site as a pedestrian and by car will be the same, with the architecture going from big to small, and include lights, striped concrete, and exterior porcelain tile to all celebrate the entrance. There will be a comprehensive signage plan for the entire project, with consistent signage language throughout, and some sort of system for the obelisks for a wayfinding element.

Mr. Roszak referred to the site plan and said that all setback requirements are being met, which include moving the sidewalk 8-feet back from the street, and a 15-foot property line setback below the third-floor of the building and a 50-foot setback above the third-floor, with the retail space pushed towards the 15-foot setback. There will be green space on both sides of the sidewalk, and all the sidewalks will be bike lane width, with the entire property to have a circuit for the bike lanes. Sketches of the obelisks at both daytime and dusk were shown, which **Mr. Roszak** said are still a work in progress with inspiration from the Design Commission to create a focal point for the development. He welcomed any questions from the commissioners.

Commissioner Eckhardt liked the color palette being shown, and asked for clarification of the locations of the colors being proposed, specifically the articulated corners of the building. **Mr. Roszak** explained that 3 colors are being proposed; the chevron focal points at the corners of the building will be white, the other chevron areas will be dark grey, the masonry up to the third-floor will be dark gray, a few areas at the top of the building will be light grey, with the middle of the building to be white. **Commissioner Eckhardt** summarized his comments. He liked the project which is really fun, playful and pretty well thought out. The site is strong for this type of development because of all the fast-moving traffic in the area and will be a very nice front door to Arlington Heights. He commented that the circulation through the middle of the site could be an issue with the Fire Department, and the corner expression for the retail space is a good step down for pedestrian friendliness.

Chair Kubow loved the project that is very ambitious, really cool, and well thought out. This area is a true gateway to the Village and having a dynamic development like this will be very special. He loved the modern, minimalist, subdued color palette; however, given this is a gateway into the Village and because the Village does use a lot of the color red, he suggested thoughtfully placing red brick into the project, if possible, without negatively affecting the design. He also suggested a bike shop amenity with bike parking in the development, because of nearby Busse Woods. He further commented that the obelisks being shown tonight appear similar to elements previously considered for the Uptown gateway plan in the Village. **Chair Kubow** also asked about the storefront glass on the garage, and the petitioner said it would be translucent glass.

Commissioner Kingsley agreed that the project is ambitious and it is fun to see something like this; however, she disagreed with the suggestion to add red brick. She asked about the green elements shown on the building and **Mr. Roszak** said they are painted aluminum, 6 inches wide and 6 inches deep, similar to large mullions. **Commissioner Kingsley** said that these elements should be very bold and she referenced

the pediatric building off Route 53 near Itasca that has different colored fins that are really cool. She had concerns about how the chevron on the building will work with the fiber cement material, and **Mr. Roszak** explained that a material called Easy Trim will be used when turning the corner of the building, which is basically an aluminum transition strip that will work with the chevron pieces. The coping at the top of the building will be aluminum and match. **Commissioner Kingsley** liked the black windows on the white siding, but she was unsure about the black balcony railings, unless they are really delicate. She asked about the visitor parking and **Mr. Roszak** said there are currently six parking spaces shown for visitors, but they anticipate an increase in parking that would provide for more spaces. With regards to the commercial retail space, **Commissioner Kingsley** commented that since there is no foot traffic in this area, she suggested having a grocery store use to improve the live, work, stay, play concept being shown in the model presented tonight. She also asked about the sustainability of this development and how much will be value engineered out, and **Mr. Roszak** replied that they are very experienced at incorporating sustainability into their projects, including the green roof. **Commissioner Kingsley** was happy to see affordable housing in the building and asked if the units will be interspersed, and **Mr. Roszak** said that they will be.

Commissioner Fitzgerald liked the project and said it is really interesting from just about any vantage point. He liked the colors as presented tonight, but he was not in favor of adding any red as suggested. His only concern was with the obelisks; he was surprised that something that tall could be built, and the prototypes shown tonight look like a modern Leaning Tower of Pisa. He preferred an obelisk design that is more modern. The project is really exciting.

Mr. Roszak thanked the commissioners for their comments and said they will be back with a formal presentation to the Design Commission, Plan Commission and Housing Commission.

ITEM 4. OTHER BUSINESS

Public Comment

There were no members of the public in the audience at this time.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER FITZGERALD, TO ADJOURN THE MEETING AT 8:45 P.M. ALL WERE IN FAVOR. THE MOTION CARRIED.



Design Commission 9/26/2023

Item: DC#23-040 - 1222 N. Walnut Ave - SF/Teardown

Department: Planning & Community Development Department

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission approve the proposed architectural design for the new (teardown) single-family home to be located at 1222 N. Walnut Avenue. This recommendation is subject to compliance with the architectural plans received 8/11/23, revised site plan received 9-12-23, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. A recommendation to further recess the third car garage space from the front garage wall.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
3. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report

Type

Board or Commission Report

Exhibits

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 1222 N. Walnut Avenue
Project Address: 1222 N. Walnut Avenue
Prepared By: Steve Hautzinger

Date Prepared: September 20, 2023

PETITION INFORMATION:

DC Number: 23-040
Petitioner Name: Kevin Davis
Petitioner Address: Fairfield Homes
530 S. Arthur Avenue
Arlington Heights, IL 60005
Meeting Date: September 26, 2023

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines.

The petitioner is proposing to demolish an existing single-story residence and detached two-car garage to allow construction of a new two-story residence with an attached, three-car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 7,920 square feet and the proposed residence will have approximately 3,549 square feet. The project does comply with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 20 feet Side: 6 feet Side: 6 feet Rear: 30 feet	Front: 34 feet Side: 6.13 feet Side: 6.24 feet Rear: 40 feet
Building Height	25 feet to the midpoint	24.8 feet to the midpoint
FAR	3,564 SF	3,549 SF
Building Lot Coverage	2,772 SF	2,480 SF
Impervious Surface Coverage Total	3,960 SF	3,541 SF

The existing neighborhood consists of primarily smaller scale, single-story houses with detached garages. However, there are three teardowns with attached two-car garages and two second-floor additions previously completed on this block. The subject property is located across the street from two of the newer two-story houses.

Overall, the proposed design is nicely done in a traditional style which will generally fit well in this location. The single-story front porch and single-story garage roof helps the house to fit in with the scale of the adjacent homes, and the hipped main roof limits the height of the side walls. However, the proposed three-car front loading garage would be the only three-car garage on the block, which the Design Commission should evaluate. The amount of garage makes the front porch look small, but it helps that the porch projects out in front of the garage wall. To soften the impact of the three-car garage, it is recommended that the third car garage space be further recessed from the front garage wall.

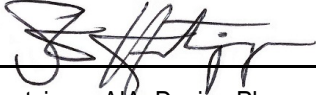
RECOMMENDATION:

It is recommended that the Design Commission **approve** the proposed architectural design for the new (teardown) single-family home to be located at 1222 N. Walnut Avenue. This recommendation is subject to compliance with the architectural plans received 8/11/23, revised site plan received 9-12-23, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. A recommendation to further recess the third car garage space from the front garage wall.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In

addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

3. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

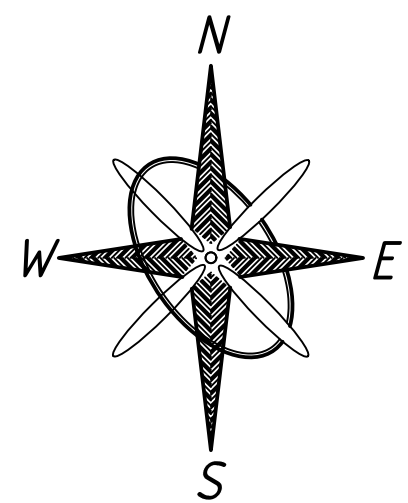


September 20, 2023

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 23-040



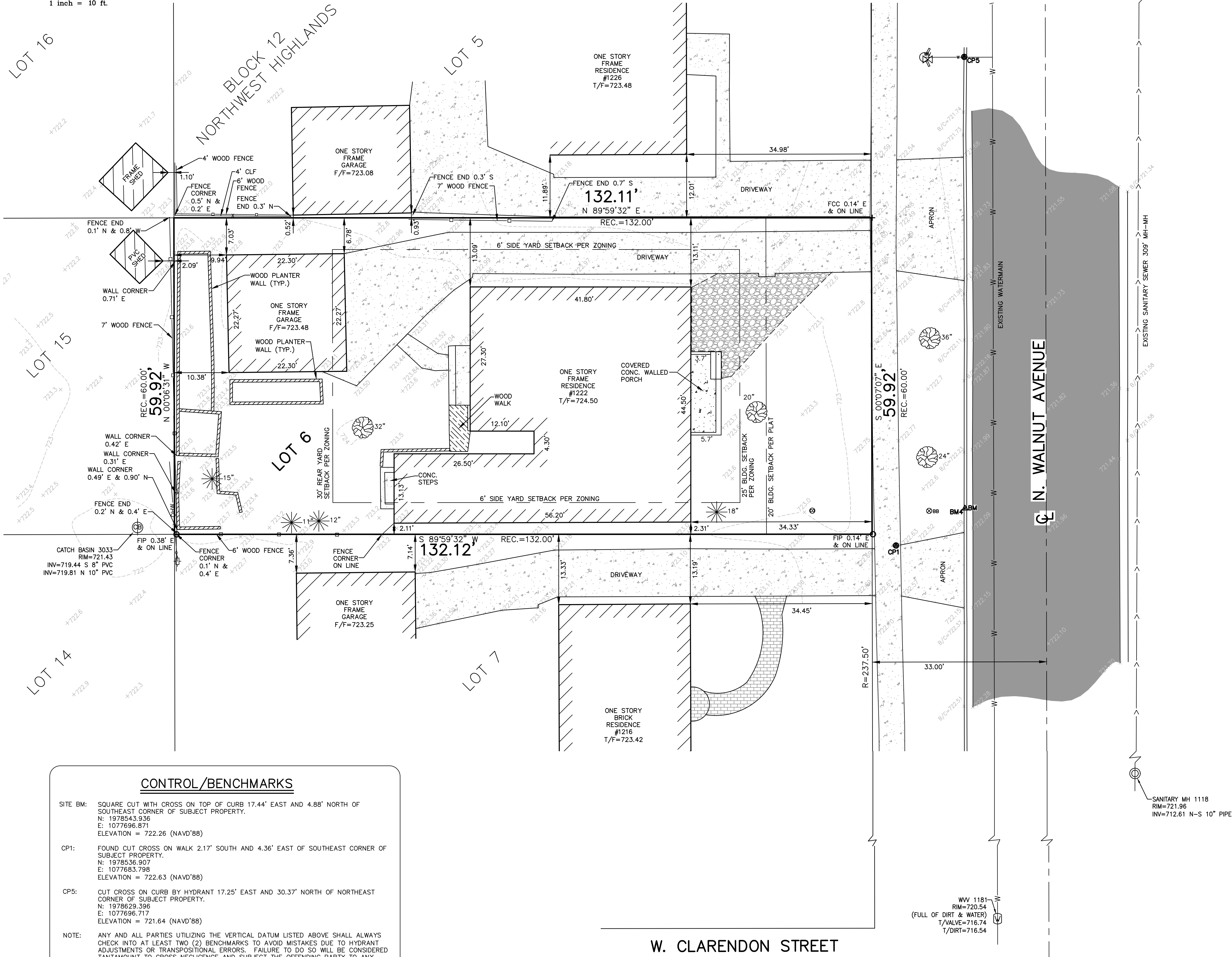


BOUNDARY AND TOPOGRAPHIC SURVEY

LOT 6 IN BLOCK 12 IN THE NORTHWEST HIGHLANDS A SUBDIVISION OF THE EAST HALF OF THE SOUTHEAST QUARTER (EXCEPT 2 ACRES IN EXTREME SOUTHEAST CORNER) IN SECTION 19, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

ADDRESS: 1222 NORTH WALNUT AVENUE, ARLINGTON HEIGHTS, 60004
CONTAINING AN AREA OF 7,916 SQ.FT OR 0.182 ACRES, MORE OR LESS

GRAPHIC SCALE
(IN FEET)
1 inch = 10 ft.



CONTROL/BENCHMARKS

SITE BM: SQUARE CUT WITH CROSS ON TOP OF CURB 17.44' EAST AND 4.88' NORTH OF SOUTHEAST CORNER OF SUBJECT PROPERTY.
N: 1978543.936
E: 1077696.871
ELEVATION = 722.26 (NAVD'88)

CP1: FOUND CUT CROSS ON WALK 2.17' SOUTH AND 4.36' EAST OF SOUTHEAST CORNER OF SUBJECT PROPERTY.
N: 1978536.907
E: 1077683.798
ELEVATION = 722.63 (NAVD'88)

CP5: CUT CROSS ON CURB BY HYDRANT 17.25' EAST AND 30.37' NORTH OF NORTHEAST CORNER OF SUBJECT PROPERTY.
N: 1978629.396
E: 1077696.717
ELEVATION = 721.64 (NAVD'88)

NOTE: ANY AND ALL PARTIES UTILIZING THE VERTICAL DATUM LISTED ABOVE SHALL ALWAYS CHECK INTO AT LEAST TWO (2) BENCHMARKS TO AVOID MISTAKES DUE TO HYDRANT ADJUSTMENTS OR TRANPOSITIONAL ERRORS. FAILURE TO DO SO WILL BE CONSIDERED TANTAMOUNT TO GROSS NEGLIGENCE AND SUBJECT THE OFFENDING PARTY TO ANY DAMAGES ATTENDANT THEREOF.

- LEGEND**
- | | | | |
|-------|-------------------------------|--------------------------|----------------------------------|
| △BM | BENCHMARK | XXX.X | PROPOSED SPOT ELEVATIONS |
| + FCC | FOUND CROSS-CUT | AS-BUILT SPOT ELEVATIONS | |
| ● SCC | SET CROSS-CUT | — | DRAINAGE FLOW ARROW |
| ○ FIP | FOUND IRON PIPE | — | EXISTING SPOT ELEVATIONS |
| ● SIP | SET IRON PIPE | ⊗ | EXISTING WATER BUFFALO BOX |
| ● FIR | FOUND IRON ROD | ⊗ | EXISTING GAS BUFFALO BOX |
| ● SIR | SET IRON ROD | ⊗ | EXISTING CLEANOUT |
| + FPK | FOUND P.K. NAIL | ⊗ | EXISTING SANITARY WYE CONNECTION |
| + FPM | FOUND MAG NAIL | ⊗ | EXISTING WATER VALVE VAULT |
| + SPK | SET P.K. NAIL | ⊗ | EXISTING STORM CATCH BASIN |
| ⊗ SCM | SET CONCRETE MONUMENT | ⊗ | EXISTING STORM CURB INLET |
| ⊗ | EXISTING TRAFFIC LIGHT | ⊗ | EXISTING MANHOLE |
| ⊗ | EXISTING POWER POLE | ⊗ | EXISTING DECIDUOUS TREE W/ SIZE |
| ⊗ | EXISTING GUY ANCHOR | ⊗ | EXISTING CONIFEROUS TREE W/ SIZE |
| ⊗ | EXISTING TRAFFIC CONTROL BOX | ⊗ | EXISTING BOLLARDS |
| ⊗ | EXISTING LIGHT STANDARD | ⊗ | EXISTING FIRE HYDRANTS |
| ⊗ | EXISTING TRANSFORMER PAD | ⊗ | EXISTING STREET SIGN |
| ⊗ A/C | EXISTING AIR CONDITIONER UNIT | ⊗ | EXISTING DOWNSPOUT |
| ⊗ | EXISTING ELECTRIC PEDESTAL | ⊗ | EXISTING WELL |
| ⊗ | EXISTING TELEPHONE PEDESTAL | ⊗ | EXISTING MONITORING WELL |
| ⊗ | EXISTING CABLE PEDESTAL | ⊗ | EXISTING HEADWALL |
| ⊗ | EXISTING ELECTRIC METER | ⊗ | EXISTING MAILBOX |
| ⊗ | EXISTING GAS METER | ⊗ | EXISTING RAILROAD SIGNAL |
| ⊗ | EXISTING WATER METER | ⊗ | EXISTING BUSH |
| ⊗ | EXISTING HAND HOLE | ⊗ | EXISTING POP-UP EMITTER |
| ⊗ | EXISTING DOUBLE HAND HOLE | | |
| ⊗ | EXISTING UTILITY FLAGGING | | |
| ⊗ | EXISTING GAS VALVE | | |
| ⊗ | EXISTING WATER VALVE | | |

- ABBREVIATIONS**
- | | |
|-------------|------------------------------------|
| B/C | BACK OF CURB |
| B/W | BOTTOM OF WALL |
| BIT. | BITUMINOUS |
| CALC. | CALCULATED DATUM |
| CHD | CHORD |
| CLF | CHAIN LINK FENCE |
| CMP | CORRUGATED METAL PIPE |
| CONC. | CONCRETE |
| D.E. | DRAINAGE EASEMENT |
| D/C | DEPRESSED CURB |
| DEED | DEED DATUM |
| DIP | DUCTILE IRON PIPE |
| E | EAST |
| E/P | EDGE OF PAVEMENT |
| EXIST./EX | EXISTING |
| F/F | FINISHED FLOOR |
| F/L | FLOW LINE |
| FES | FLARED END SECTION |
| I.E.C. | INGRESS EGRESS EASEMENT |
| INV | INVERT |
| MEAS./M | MEASURED DATUM |
| MH | MANHOLE |
| N | NORTH |
| P.U. & D.E. | PUBLIC UTILITY & DRAINAGE EASEMENT |
| P.U.E. | PUBLIC UTILITY EASEMENT |
| PC | POINT OF CURVE |
| PCC | POINT OF COMPOUND CURVE |
| PRC | POINT OF REVERSE CURVE |
| PROP. | PROPOSED |
| PT | POINT OF TANGENCY |
| RAD | RADIUS |
| RCP | REINFORCED CONCRETE PIPE |
| REC./R | RECORD DATUM |
| S | SOUTH |
| SAN | SANITARY |
| T/C | TOP OF CURB |
| T/F | TOP OF FOUNDATION |
| T/P | TOP OF PIPE |
| T/W | TOP OF WALL |
| U.E. | UTILITY EASEMENT |
| VCP | VITRIFIED CLAY PIPE |
| W | WEST |
| WW | WINDOW WELL |

GENERAL NOTES:

1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
2. COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA SHOWN HEREON AND REPORT ANY DISCREPANCIES AT ONCE.
3. NO DIMENSIONS SHALL BE DERIVED FROM SCALED MEASUREMENT.
4. ONLY THOSE BUILDING SETBACK LINES AND EASEMENT WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISION ARE SHOWN HEREON, UNLESS INDICATED OTHERWISE. REFER TO DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS WHICH MAY OR MAY NOT EXIST.
5. LEGAL DESCRIPTION PER PREVIOUS SURVEY PROVIDED BY CLIENT.
6. PER PLAT BUILDING LINE TAKEN FROM BOUNDARY SURVEY PREPARED BY EXACTA LAND SURVEYORS, LLC SURVEY NUMBER 2304.4316, DATED APRIL 25, 2023.

PLAT NOTES:

1. BEARINGS BASED ON ILLINOIS STATE PLANE COORDINATES, EAST ZONE, GPS DERIVED.
2. VERTICAL DATUM BASED ON NAVD'88, GPS DERIVED.
3. THIS SURVEY WAS PERFORMED ON THE GROUND MAY 9, 2023.
4. ONLY THE IMPROVEMENTS THAT WERE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY AND THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE ARE SHOWN ON THE FACE OF THIS PLAT. LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS PLAT.
5. SURFACE INDICATIONS OF UTILITIES ON THE PLATED PARCEL HAVE BEEN SHOWN. UNDERGROUND AND OFFSITE OBSERVATIONS HAVE NOT BEEN MADE TO DETERMINE THE EXTENT OF UTILITIES SERVING OR EXISTING ON THE PROPERTY. PUBLIC AND/OR PRIVATE RECORDS HAVE NOT BEEN SEARCHED TO PROVIDE ADDITIONAL INFORMATION. OVERHEAD WIRES, IF ANY, ARE EXISTING AND THEIR POLES HAVE BEEN SHOWN, HOWEVER THEIR FUNCTION AND DIMENSIONS HAVE NOT BEEN NOTED.
6. OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS PLAT MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY SERVICE OR UTILITY LINE. CONTROLLED UNDERGROUND EXPLORATORY EFFORT TOGETHER WITH J.U.L.I.E. LOCATIONS IS RECOMMENDED TO DETERMINE THE FULL EXTENT OF UNDERGROUND SERVICE AND UTILITY LINES. CONTACT J.U.L.I.E. AT: 1-800-892-0123.
7. MISSING PROPERTY CORNERS WILL BE SET AFTER CONSTRUCTION DURING FINAL AS-BUILT SURVEY PER CLIENT'S REQUEST.
8. BEARINGS AND DISTANCES ARE MEASURED UNLESS OTHERWISE NOTED.

STATE OF ILLINOIS } SS
COUNTY OF COOK }

WE, GSG CONSULTANTS INC., AN ILLINOIS PROFESSIONAL DESIGN FIRM NO. 164-002852, HEREBY CERTIFY THAT THE PROPERTY HEREON DESCRIBED WAS SURVEYED UNDER THE DIRECT SUPERVISION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR, AND THAT THIS PLAT REPRESENTS THE CONDITIONS FOUND AT THE TIME OF SAID SURVEY.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 20____ IN CHICAGO, ILLINOIS.

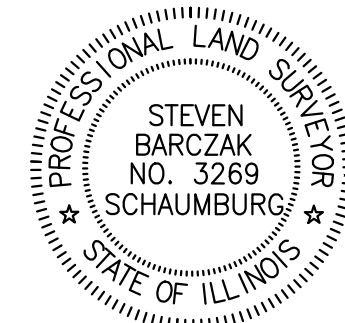
GSG CONSULTANTS, INC.

PRELIMINARY

STEVEN BARCZAK, IPLS NO. 035.003269
LICENSE EXPIRES: 11/30/2024

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY & TOPOGRAPHIC SURVEY.

ORIGINAL COPIES OF THIS PLAT CONTAIN A SIGNATURE AND A RAISED SEAL.



REVISIONS

NO.	DATE	DESCRIPTION
1		
1		
1		
1		

GSG CONSULTANTS, INC.
735 E. REMINGTON RD., SCHAMBURG, IL 60173
TEL: 630.994.2400 | WWW.GSG-CONSULTANTS.COM
ILLINOIS PROFESSIONAL DESIGN FIRM# 164-002852



BOUNDARY & TOPOGRAPHIC SURVEY

1222 NORTH WALNUT AVENUE

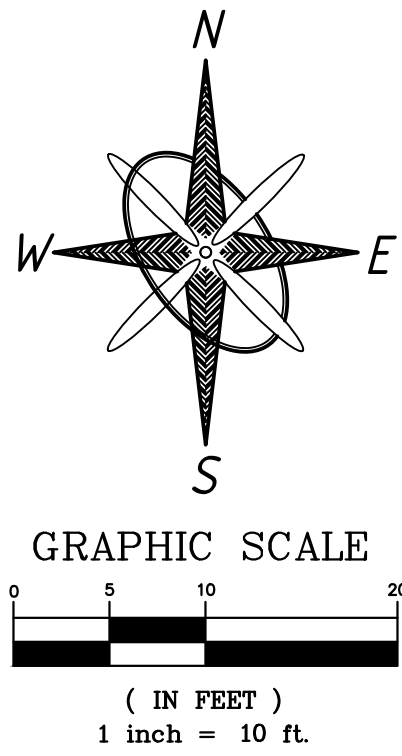
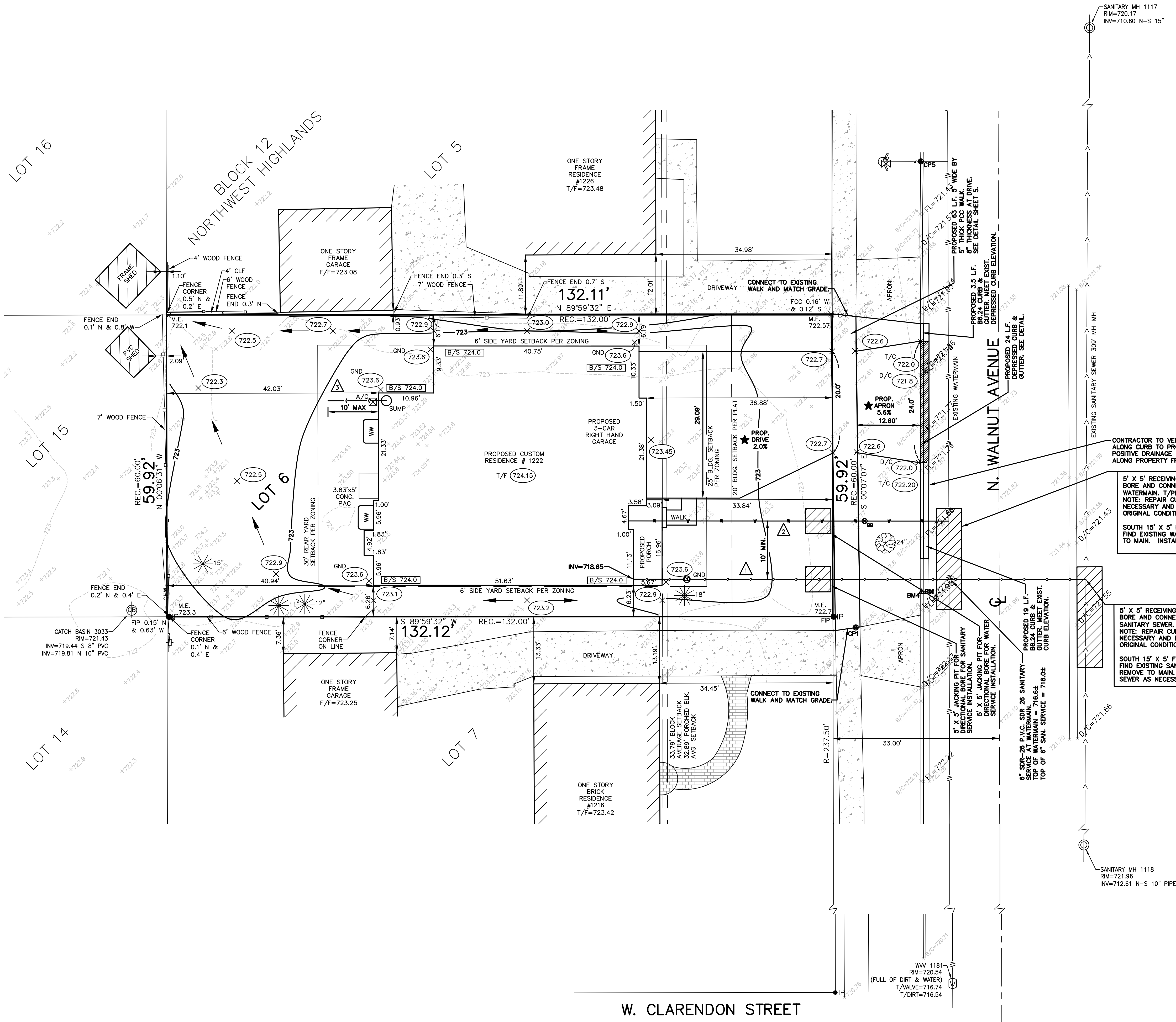
ARLINGTON HEIGHTS, ILLINOIS 60004

FAIRFIELD HOMES, INC.

530 S. ARTHUR AVENUE

ARLINGTON HEIGHTS, ILLINOIS 60005

DRAWN BY:	PROJECT:
JV	23-10006
CHECKED BY:	SCALE:
SB	1"=10'
DATE:	SHEET #:
08/10/2023	2 OF 7
FILE NAME:	
1222 WALNUT_02 TOPO	



- NOTES:**
1. ALL CONSTRUCTION EXCAVATION SPOIL SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF. NO STOCKPILING OF EXCAVATION SPOIL SHALL OCCUR ON SITE.
 2. ROOT-PRUNE TO ALLOW FOUNDATION EXCAVATION.
 3. THE CONTRACTOR MUST NOTIFY THE VILLAGE DEPARTMENT OF PUBLIC WORKS (847) 368-5800 PRIOR TO PLACING THE DRIVEWAY.
 4. GUTTERS SHALL DISCHARGE TOWARDS THE CENTER OF THE FRONT OR REAR YARDS, NO MORE THAN 10 FEET FROM THE BUILDING AND AT LEAST 5 FEET FROM THE PROPERTY LINE.
 5. PROPOSED WALKS SHALL BE IN ACCORDANCE WITH THE ILLINOIS ACCESSIBILITY CODE.
 6. DOWNSPOUTS SHALL DISCHARGE WITHIN 10' OF THE FOUNDATION AND AT LEAST 5' FROM ANY PROPERTY LINE. DOWNSPOUTS SHALL BE DIRECTED TOWARDS THE FRONT AND REAR OF THE PROPERTY.
 7. CONTRACTOR SHALL RESTORE THE PARKWAY AND PAVEMENT TO PRE-CONSTRUCTION CONDITIONS.

AREA CALCULATIONS:

LOT AREA: 7,916 SQ.FT.
BUILDING AREA: 2,488 SQ.FT.
BUILDING LOT COVERAGE: 31%
TOTAL IMPERVIOUS AREA: 3,519 SQ.FT.
TOTAL LOT COVERAGE: 44%

SERVICES

- 1. 6" SDR-26 P.V.C. SDR 26 SANITARY SERVICE W/ CLEANOUT (RIM=723.5) 1.0% MIN. SLOPE. CONNECT TO EXISTING SAN. SEWER W/ RISER CONNECTION. SEE DETAIL.
- 2. 1-1/2" TYPE "K" COPPER WATER SERVICE W/ B-BOX (RIM=722.7). CONNECT TO EXISTING WATER MAIN. SEE DETAIL.
- 3. 4" P.V.C. SUMP DISCHARGE, IN ACCORDANCE TO VILLAGE CODE. MINIMUM 1.0% SLOPE. DISCHARGE A MAXIMUM OF 10 FT. FROM BUILDING.

- ★ DRIVEWAY & APRON CONSTRUCTION SPECIFICATIONS:**
- A. DRIVEWAY SHALL BE CONSTRUCTED OF A MINIMUM 5" P.C.C. CONCRETE SURFACE OVER A 2" COMPACTED CA-6 CRUSHED STONE BASE.
 - B. APRON SHALL BE CONSTRUCTED OF A MINIMUM 6" P.C.C. CONCRETE SURFACE OVER A 2" COMPACTED CA-6 CRUSHED STONE BASE.

REVISIONS			
NO.	DATE	DESCRIPTION	DRIVE PER VILLAGE REVIEW
1	09/11/23		

GSG CONSULTANTS, INC.
735 E. BIRMINGHAM RD., SCHMIDT, IL 60173
TEL: 630.994.2400 | WWW.GSG-CONSULTANTS.COM
ILLINOIS PROFESSIONAL DESIGN FIRM # 16-002852



SITE ENGINEERING PLAN
1222 NORTH WALNUT AVENUE
ARLINGTON HEIGHTS, ILLINOIS 60004
FAIRFIELD HOMES, INC.
530 S. ARTHUR AVENUE
ARLINGTON HEIGHTS, ILLINOIS 60005

DRAWN BY:	PROJECT:
JV	23-10006
CHECKED BY:	SCALE:
WC	1"=10'
DATE:	SHEET #:
09/11/2023	4 OF 7
FILE NAME:	
1222 WALNUT_04.ENG	



Surrounding Properties

Village of Arlington Heights 1222 N Walnut Ave Arlington Heights



Property to left 3
1208 N Walnut Ave



Property to left 2
1212 N Walnut Ave



Property to left 1
1216 Walnut Ave



Subject Property
1222 N Walnut Ave



Property to right 1
1226 N Walnut Ave



Property to right 2
1232 N Walnut Ave



Property to right
1236 N Walnut Ave

N Walnut Ave

N Walnut Ave

N Walnut Ave

Property Across to right 1
1215 N Walnut Ave

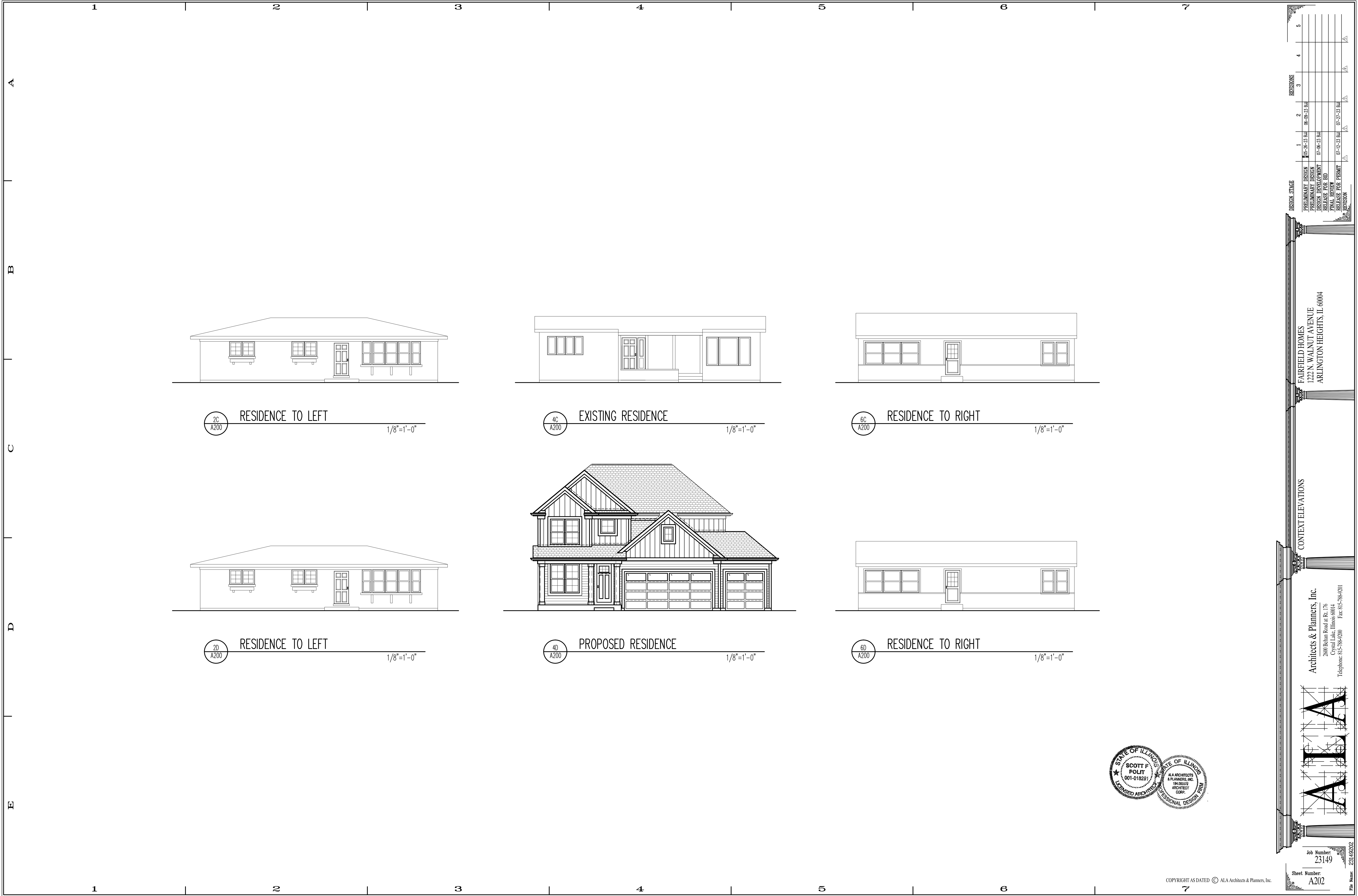


Property Across
1221 N Walnut Ave



Property Across to left 1
1225 N Walnut Ave





DESIGN STAGE

PRELIMINARY DESIGN	06-27-23	BA
DESIGN DEVELOPMENT	07-06-23	BA
RELEASE FOR BID	07-06-23	BA
FINAL REVIEW	07-12-23	BA
RELEASE FOR PERMIT	07-27-23	BA
REVISION		

EXTENSIONS

5		
4		
3		
2		
1		

CONTEXT ELEVATIONS

Fairfield Homes
1222 N. Walnut Avenue
Arlington Heights, IL 60004

ALA Architects & Planners, Inc.

2000 Belton Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-0200 Fax: 815-788-0201

SCOTT F. POLIT

001-018281

STATE OF ILLINOIS

ARCHITECTS & PLANNERS, INC.

184.000572

ARCHITECT

PROFESSIONAL DESIGN FIRM

Job Number

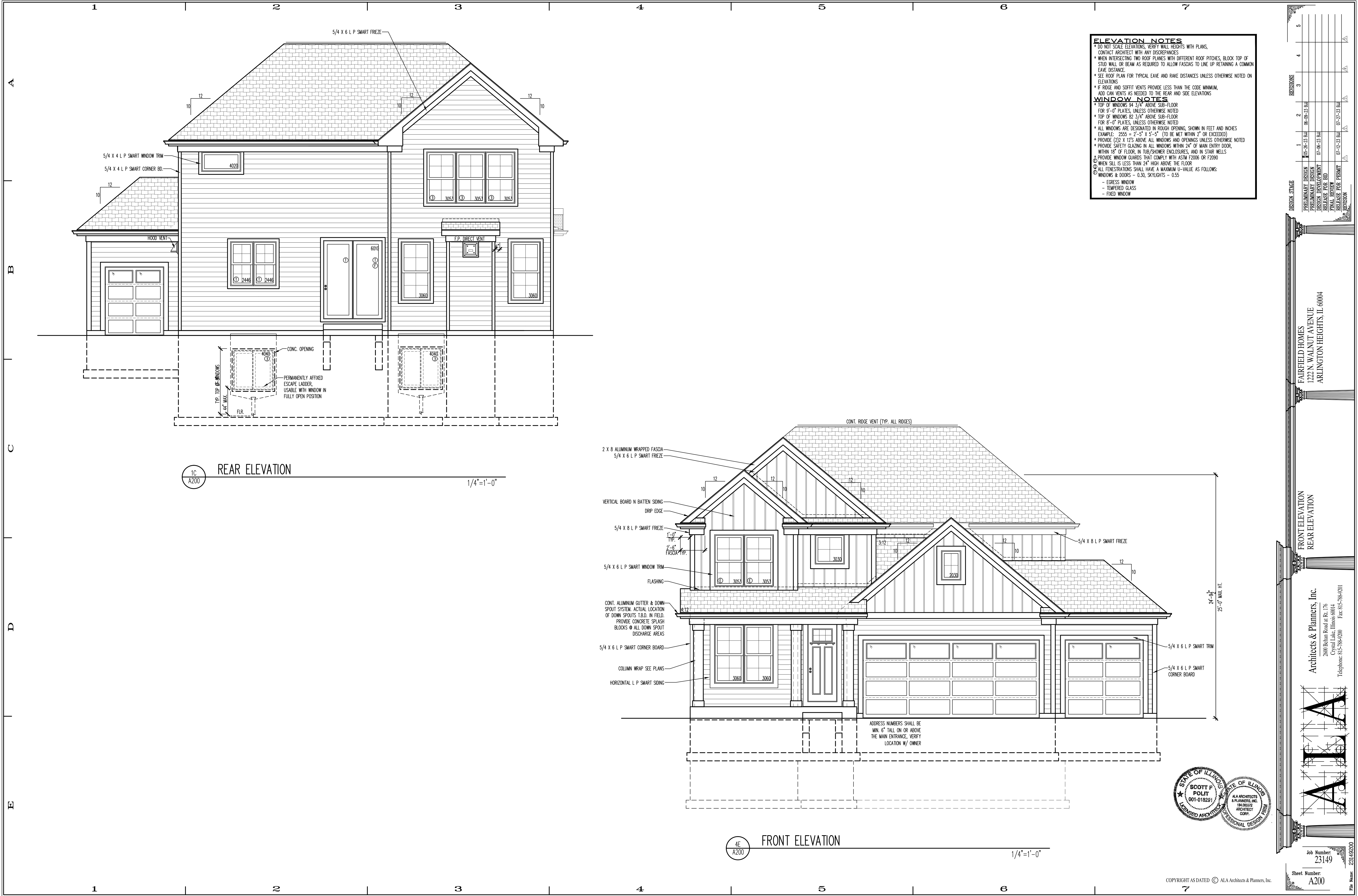
23149

Sheet Number

A202

23149/202

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- ELEVATION NOTES
- DO NOT SCALE ELEVATIONS. VERIFY WALL HEIGHTS WITH PLANS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
 - WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE.
 - SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS.
 - IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS.
- WINDOW NOTES
- TOP OF WINDOWS 94 3/4" ABOVE SUB-FLOOR FOR 9'-0" PLATES, UNLESS OTHERWISE NOTED.
 - TOP OF WINDOWS 82 3/4" ABOVE SUB-FLOOR FOR 8'-0" PLATES, UNLESS OTHERWISE NOTED.
 - ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET AND INCHES. EXAMPLE: 2555 = 2'-5" X 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED).
 - PROVIDE (2)2 X 12'S ABOVE ALL WINDOWS AND OPENINGS UNLESS OTHERWISE NOTED.
 - PROVIDE SAFETY GLAZING IN ALL WINDOWS WITHIN 24" OF MAIN ENTRY DOOR, WITHIN 18" OF FLOOR, IN TUB/SHOWER ENCLOSURES, AND IN STAIR WELLS.
 - PROVIDE WINDOW GUARDS THAT COMPLY WITH ASTM F2006 OR F2090.
 - WHEN SILL IS LESS THAN 24" HIGH ABOVE THE FLOOR.
 - ALL PENETRATIONS SHALL HAVE A MAXIMUM U-VALUE AS FOLLOWS:
 - WINDOWS & DOORS - 0.30, SKYLIGHTS - 0.55
 - EGRESS WINDOW
 - TEMPERED GLASS
 - FIXED WINDOW

REVISIONS	DATE	BY	DESCRIPTION
1	07-27-23	BA	PRELIMINARY DESIGN
2	08-22-23	BA	DESIGN DEVELOPMENT
3	07-26-23	BA	RELEASE FOR BID
4	07-27-23	BA	FINAL REVIEW FOR PERMIT
5			REVISION

DESIGN STAGE

FAIRFIELD HOMES
1222 N WALNUT AVENUE
ARLINGTON HEIGHTS, IL 60004

FRONT ELEVATION
REAR ELEVATION

ALA Architects & Planners, Inc.
2000 Belton Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-786-0200 Fax: 815-786-0201

STATE OF ILLINOIS
SCOTT F. POLIT
001-018281
LICENSED ARCHITECT

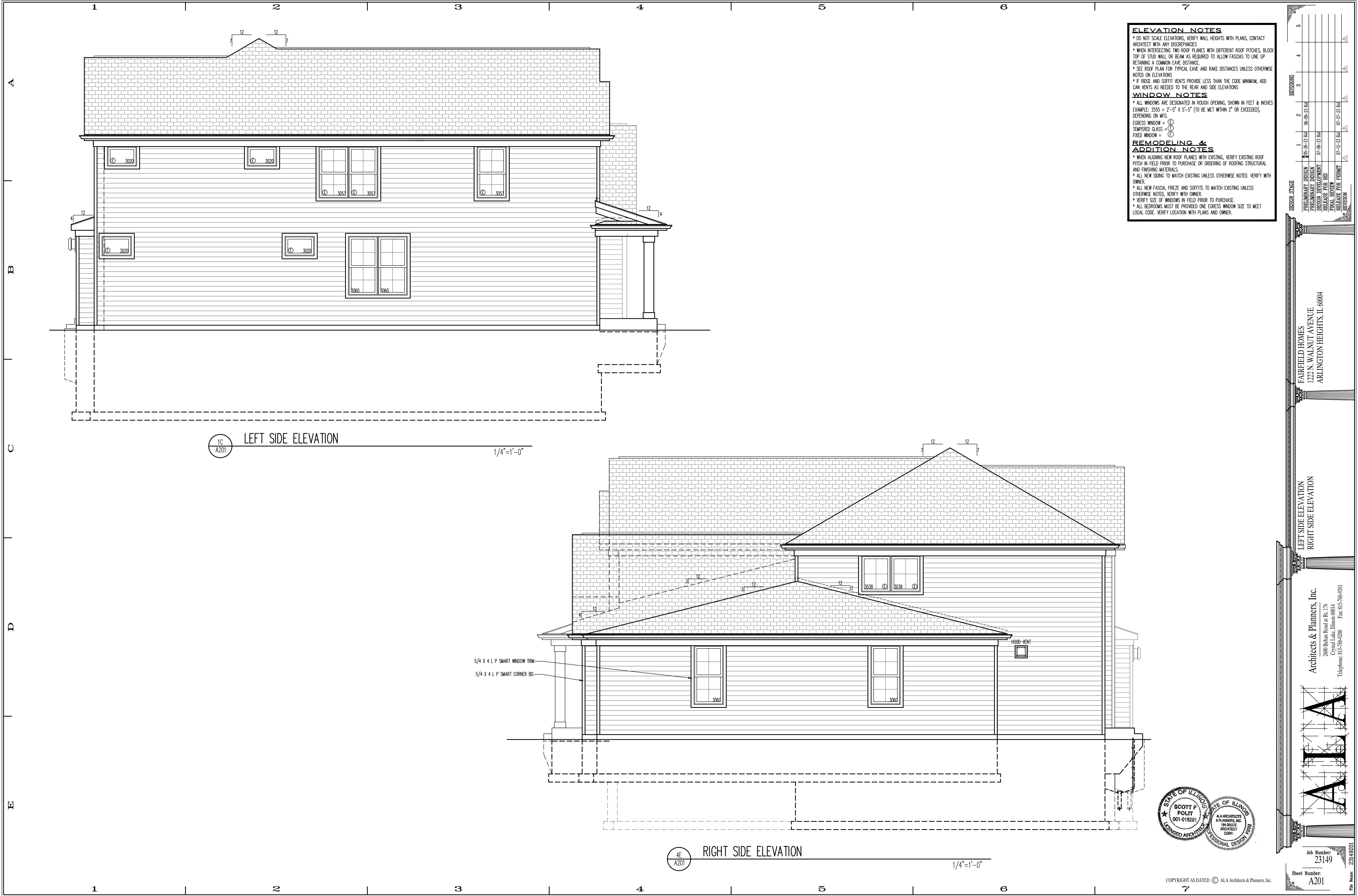
STATE OF ILLINOIS
ALA ARCHITECTS & PLANNERS, INC.
184-000272
ARCHITECT CORP.
PROFESSIONAL DESIGN FIRM

Job Number:
23149

Sheet Number:
A200

23149/200

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ELEVATION NOTES

- * DO NOT SCALE ELEVATIONS. VERIFY WALL HEIGHTS WITH PLANS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.
- * WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP, RETAINING A COMMON EAVE DISTANCE.
- * SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS.
- * IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS.

WINDOW NOTES

- * ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET & INCHES. EXAMPLE: 2555 = 2'-5" X 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED), DEPENDING ON MFG.
- EGRESS WINDOW = (E)
- TEMPERED GLASS = (T)
- FIXED WINDOW = (F)

REMODELING & ADDITION NOTES

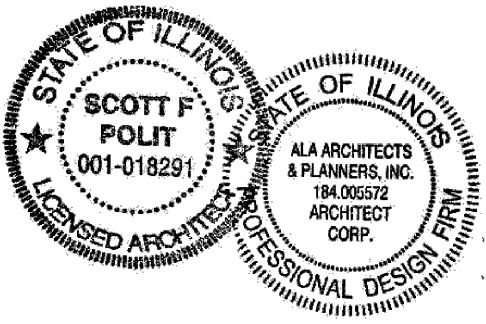
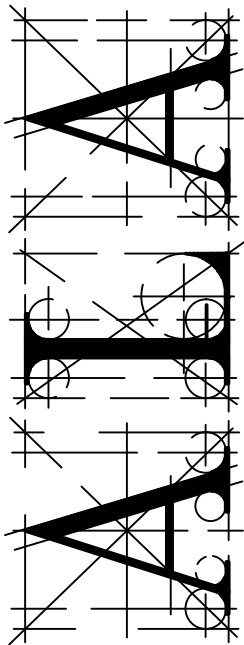
- * WHEN ALIGNING NEW ROOF PLANES WITH EXISTING, VERIFY EXISTING ROOF PITCH IN FIELD PRIOR TO PURCHASE OR ORDERING OF ROOFING STRUCTURAL AND FINISHING MATERIALS.
- * ALL NEW SIDING TO MATCH EXISTING UNLESS OTHERWISE NOTED. VERIFY WITH OWNER.
- * ALL NEW FASCIA, FRIEZE AND SOFFITS TO MATCH EXISTING UNLESS OTHERWISE NOTED. VERIFY WITH OWNER.
- * VERIFY SIZE OF WINDOWS IN FIELD PRIOR TO PURCHASE.
- * ALL BEDROOMS MUST BE PROVIDED ONE EGRESS WINDOW SIZE TO MEET LOCAL CODE. VERIFY LOCATION WITH PLANS AND OWNER.

DESIGN STAGE	REVISION
PRELIMINARY DESIGN	06-25-23 Bld
DESIGN DEVELOPMENT	07-06-23 Bld
RELEASE FOR BID	07-12-23 Bld
FINAL REVIEW	07-12-23 Bld
RELEASE FOR PERMIT	07-27-23 Bld
REVISION	

FAIRFIELD HOMES
1222 N WALNUT AVENUE
ARLINGTON HEIGHTS, IL 60004

LEFT SIDE ELEVATION
RIGHT SIDE ELEVATION

Architects & Planners, Inc.
2000 Belton Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-0200 Fax: 815-788-0201



Job Number:
23149
Sheet Number:
A201
Pia Name:
23149201

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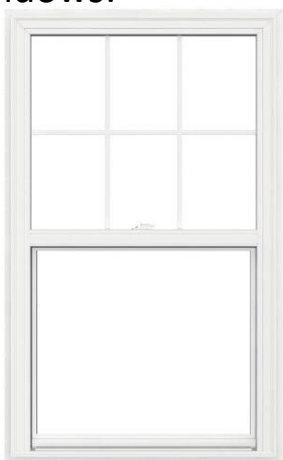
Roofing:



Siding:



Windows:



Garage Door:



Gutters, Fascia, Columns:



Fairfield Homes, Inc.
1222 N Walnut Ave
Material Schedule

ITEM	MATERIAL	MANUFACTURER	COLOR
Brick	NA	NA	NA
Stone	NA	NA	NA
Roof	Asphalt Shingles	Owens Corning	Onyx Black
Siding	Wood	LP	Tundra Gray
Shutters	NA	NA	NA
Gutters/Trim/Fascia	Aluminum	Best Line	White
Columns/Porch Trim	Wood	LP	White
Windows	Vinyl	Simonton	White
Garage Door	Steel	Haas	White