



Agenda
Village of Arlington Heights
Design Commission
Community Room, 3rd Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
September 25, 2018
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Minutes - 9/13/18

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. DC#18-084 - 1006 N. Beverly Ln. - SF/Teardown
B. DC#18-085 - 1711 N. Verde Ave. - SF/Teardown
C. DC#18-086 - 1702 N. Verde Ave. - SF/Teardown
D. DC#18-087 - 508 S. Mitchell Ave. - SF/New

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Minutes - 9/13/18

Department: Planning & Community Development

ATTACHMENTS:

Description

Minutes - 9/13/18

Type

Minutes

DRAFT

MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
SEPTEMBER 13, 2018

Chair Fitzgerald called the meeting to order at 6:30 p.m.

Members Present: John Fitzgerald, Chair
Kirsten Kingsley
Jonathan Kubow

Members Absent: Ted Eckhardt
Scott Seyer

Also Present: Shaun Harris, South Water Signs for *H&R Block*
Mario Valentini, MRV Architects Inc. for *Taco Bell*
Steve Hautzinger, Staff Liaison

REVIEW OF MEETING MINUTES FROM AUGUST 28, 2018

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER KINGSLEY, TO APPROVE THE MEETING MINUTES OF AUGUST 28, 2018. ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 1. MULTI-FAMILY REVIEW

DC#18-078 – Stonebridge Apartments

Mr. Hautzinger stated that this project was reviewed at the last meeting for exterior color changes, with a portion of the proposal approved and a portion not approved. The petitioner was given the option to continue the discussion to tonight's meeting, and submit revised renderings to show a new scheme and potentially new colors. However, the petitioner has not provided any revised elevations or change of colors; therefore, no re-review is required tonight. If the petitioner chooses to come back at some point in the future, they will be required to meet the public notification requirements.

DRAFT

ITEM 2. SIGN VARIATION REVIEWDC#18-081 – H&R Block - 1040 S. Arlington Heights Rd.

Shaun Harris, representing *South Water Signs*, was present on behalf of the project.

Mr. Hautzinger presented Staff comments. H&R Block is located in a two-story, multi-tenant office building, and they partially occupy the first and second floors. They are proposing to install an “H&R Block” wall sign on each side of the building, facing north and facing south. One sign is allowed per code, but a variation is required for the second wall sign. The signs are proposed to be the same size and design, and will be internally illuminated.

The petitioner has submitted a letter stating that two wall signs (one on each side of the building) are required for visibility, because a wall sign on the front of the building would not be visible. Furthermore, the letter explains that a ground sign is not possible due to the tight site constraints.

Staff has reviewed the proposed sign variation request and agrees that the design of the front facade is not accommodating for placement of wall signage. Visibility of signage on the front wall would be limited, and this hardship is not self-created. Allowing the proposed wall signs will serve to relieve the petitioner from a difficulty attributable to this unique location and building setback. The proposed wall signs are nicely designed, and they fit comfortably on the side walls. Staff does not object to the proposed signs, but recommends that if the variation is granted, it should include a condition that no other wall signage shall be allowed on this building.

Chair Fitzgerald asked if there was any public comment and there was no response from the audience.

Commissioner Kingsley agreed with all of Staff's recommendations and had no problem with the variation request. She asked if the raceway color would match the brick, and Mr. Harris said that it would. Commissioner Kingsley had no other comments.

Commissioner Kubow agreed completely; the proposed signage is nicely designed and would be helpful at this location. He asked about the hours for the internal illumination of the signage, and Mr. Harris said that the signage would meet Village regulations in terms of hours of illumination. Mr. Hautzinger clarified that code requirements for illuminated signs located on a lot adjacent to or immediately across the street from any residential district are that the signs must be turned off at all times between the hours of 11 p.m. and 7 a.m. and the petitioner is not seeking a variation from this requirement. Commissioner Kubow also agreed with Staff's requirement to prohibit any other wall signage on the building.

Chair Fitzgerald agreed with the comments made so far, and he suggested the green block on both sides of the building be moved slightly to be centered under the windows, since the building is so perfectly symmetrical. Commissioners Kingsley and Kubow agreed with the suggestion. Chair Fitzgerald also agreed with Staff's requirement to prohibit any other wall signs on the building.

Commissioner Kingsley commented that the illumination of the signs should not exceed the Village parameters for backlit signs.

A MOTION WAS MADE BY COMMISSIONER KINGSLEY, SECONDED BY COMMISSIONER KUBOW, TO RECOMMEND APPROVAL TO THE VILLAGE BOARD OF TRUSTEES, OF THE FOLLOWING SIGN VARIATION REQUEST FOR H&R BLOCK LOCATED AT 1040 S. ARLINGTON HEIGHTS ROAD.:

1. A VARIATION FROM CHAPTER 30, SECTION 30-402 NUMBER, TO ALLOW ONE WALL SIGN ON THE SIDE OF THE BUILDING, WHERE ZERO WALL SIGNS ARE ALLOWED.
2. A VARIATION FROM CHAPTER 30, SECTION 30-403a DIMENSIONS, TO ALLOW A 30.8 SF WALL SIGN ON THE SIDE OF THE BUILDING, WHERE ZERO SF IS ALLOWED.

THIS RECOMMENDATION IS BASED ON THE PLANS DATED 10/3/17 AND RECEIVED 8/14/18, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING CONDITIONS:

1. A REQUIREMENT TO CENTER THE SQUARE LOGO UNDER THE WINDOW ON EACH SIDE OF THE BUILDING.
2. TO PROHIBIT ANY OTHER WALL SIGNS ON THE BUILDING.
3. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

KUBOW, AYE; KINGSLEY, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

Mr. Hautzinger advised the petitioner that the Village Board has final approval on all sign variations, with the Design Commission being a recommending body. He will work with the petitioner to schedule the sign variation request with the Village Board at the next available meeting.

ITEM 2. COMMERCIAL REVIEWDC#18-083 – Taco Bell – 1530 W. Algonquin Rd.

Mario Valentini, representing *MRV Architects*, was present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing, older Taco Bell restaurant building to allow construction of a new Taco Bell restaurant. The proposed restaurant will include indoor dining and a drive through. The scope of the project includes a complete redevelopment of the site including parking areas and landscaping.

The proposed design represents the latest national prototype for Taco Bell. The design has a fresh modern aesthetic, and will be a significant improvement from the existing dated restaurant. The design includes an all brick exterior, which is complemented with 'bronze' color fiber cement accent panels and a faux 'rustwall' tower feature. The exterior materials and colors are very nicely coordinated. Overall, the proposed design is nicely done, and will fit in well in this location, especially with the other adjacent newer national fast food restaurant buildings. The proposed building has multiple rooftop mechanical units which are required to be fully screened from public view. The building design includes tall parapet walls to screen the equipment, which is ideal.

The proposed design includes three wall signs and one ground sign. Per Chapter 30 sign code, only one wall sign is allowed per street frontage. There are no previous sign variations approved for this property, and the existing building only has one wall sign. The number of wall signs should be reduced to comply with code, and the following recommendations should be considered:

1. It is recommended that the second wall sign on the side of the 'rustwall' tower be omitted.
2. The sign above the entry door on the right side of the building should be omitted to comply with code, but it should be noted that there are numerous other similar fast food restaurant buildings that have obtained sign variations for an additional wall sign above the side entry door.
3. The maximum allowed height for a ground sign is 16'-6". The proposed 20'-0" tall ground sign needs to be reduced in height to comply with code.

Staff recommends approval of the proposed design for the existing Taco Bell building with the recommendations regarding signage as summarized in the Staff report.

Mr. Valentini had no comments at this time.

Chair Fitzgerald noted that there was no one in the audience at this time.

Commissioner Kubow said it was a great design and he liked it; it is very sharp and very modern, and although he liked the old school Taco Bell look, he understood the change to a contemporary design. He approved of the design as proposed. With regards to signage, he felt the sign on the west elevation was unnecessary because there is no turn-in at that point, and the sign on the south elevation will become visible when passing the building to turn in. He had no other comments other than the design was fantastic, and he approved as proposed, with Staff's recommendations.

Commissioner Kingsley said it was a really nice design. She liked the brick and the colors being proposed, and asked if the rustwall panels were standard to the new prototype design. Mr. Valentini explained that the new design and materials have been a work in progress, with several locations initially having a material that looked galvanized; however, that material ended up rusting and the rust running down the building, so the material was changed to a pre-finished "rust" product that has been used successfully in several locations. Commissioner Kingsley said that she really liked the materials; however, her only hesitation was that the Urbane Bronze color of the Hardie panels and the

Iron Ore color of the canopy did not go together; one needed to be cooler or one needed to be warmer. Mr. Valentini explained that the metal sample presented tonight is very large in comparison to the actual small, thin size of the canopy that will be on the building. He added that the storefront windows would be clear anodized, which helps define the separation between the fiber cement board and the glazing.

Commissioner Kingsley also asked about the gooseneck lights and what they would light up. Mr. Valentini presented a building design that they previously considered, which included two areas of mosaics that were proposed to help break up the monotony of the solid side walls, and gooseneck lighting to illuminate the mosaic areas. The current, more modern design being presented tonight has eliminated the mosaic areas because they were considered signage; however, the gooseneck lighting has remained to help break up and wash the wall, as well as highlight the landscaping. Mr. Valentini said that they were open to discussions about bringing back the mosaic areas as well. Commissioner Kingsley felt the lighting helped to lighten up that area of the facade in the absence of windows. She added a suggestion to paint the service door a darker color, and Mr. Valentini replied that it could be painted to match the color of the surrounding Hardie-board.

Chair Fitzgerald agreed with painting the service door a darker color, and he liked the building design being proposed, which would stand the test of time. He also felt the two-sided tower element on the building appeared unfinished when heading west on Algonquin Road, and he suggested something be done to return it, or at least back it up with the same material on the front. Mr. Valentini was not opposed to using the same material to add a third side to the tower returning over the parapet wall. Chair Fitzgerald also felt the location of the sign on the east elevation above the entrance appeared oddly placed on the wall, and he suggested moving it more towards the front of the building. Commissioner Kingsley felt that moving the sign on the east elevation would help with balance and make it look like the other facades. Commissioner Kubow agreed, although he understood why the sign was currently located above the entry door on that side. He also asked for clarification on the concerns about the tower element, and Chair Fitzgerald explained that he was suggesting the tower element appear more like a 3-sided tower by returning the material onto the other side.

Mr. Hautzinger reiterated that the sign on the east wall is not allowed by code, and would require a variation. Mr. Valentini asked if the client wants a wall sign on the east and west elevations, as opposed to a sign on the front (south) elevation, would it still require a variation. Mr. Hautzinger reiterated that only wall sign is allowed per code, and more than one wall sign would require a sign variation review by this commission. Commissioner Kubow was in favor of allowing two wall signs; either on the east and west elevations, or on the south and east elevations. Chair Fitzgerald agreed.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER KINGSLEY, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR *TACO BELL* LOCATED AT 1530 W. ALGONQUIN ROAD. THIS APPROVAL IS SUBJECT TO COMPLIANCE WITH THE PLANS RECEIVED 9/5/18, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT TO RETURN THE MATERIAL ON THE TOWER TO MAKE IT THREE-SIDED.
2. A REQUIREMENT TO PAINT THE SERVICE DOOR ON THE EAST ELEVATION A COLOR TO MATCH THE ADJACENT WALL PANEL COLOR.
3. A RECOMMENDATION TO ALLOW TWO WALL SIGNS ON THE BUILDING; ONE ON THE EAST AND ONE ON THE WEST ELEVATION.
4. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS

THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

KUBOW, AYE; KINGSLEY, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

DRAFT

ITEM 3. GENERAL MEETING

There was no further discussion.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER KINGSLEY, TO ADJOURN THE MEETING AT 7:05 P.M. ALL WERE IN FAVOR. THE MOTION CARRIED.

DRAFT



Item: DC#18-084 - 1006 N. Beverly Ln. - SF/Teardown

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 1006 N. Beverly Lane. This recommendation is subject to compliance with the site plan dated 7/24/18 and received 8/27/18, architectural plans dated 8/27/18 and received on 9/14/18, and the following:

1. Add some additional windows to the side elevations to break up the areas of blank walls.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
3. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report
Exhibits

Type

Board or Commission Report
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: Bullock Residence
Project Address: 1006 N. Beverly Ln.
Prepared By: Steve Hautzinger

Date Prepared: September 19, 2018

PETITION INFORMATION:

DC Number: 18-084
Petitioner Name: Joe LaBelle
Petitioner Address: Rize Properties
784 Busse Highway
Park Ridge, IL 60068
Meeting Date: September 25, 2018

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines.

The petitioner is proposing to demolish an existing single-story residence and detached one-car garage to allow construction of a new two-story residence with an attached, two-car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 10,700 square feet and the proposed residence will be approximately 3,143 square feet. This project does comply with the R-3 zoning requirements, as summarized below:

	ALLOWED	PROPOSED
Setbacks	Front: 25 feet Side: 5 feet Side: 5 feet Rear: 30 feet	Front: 25 feet Side: 5.15 feet Side: 5.20 feet Rear: 131 feet
Building Height	25 feet to the midpoint	24.3 feet to the midpoint
FAR	4,718 SF	3,143 SF
Building Lot Coverage	3,745 SF	1,984 SF
Impervious Surface Coverage Total	5,350 SF	2,432 SF

The existing neighborhood consists primarily of single-story homes with one-car attached garages. However, there have been numerous other teardowns completed on this block, one of which is directly north of the subject property.

Overall, the proposed design is consistent in scale and design to many of the other completed teardowns on the block, and the traditional style fits in this neighborhood. The single story porch roof helps the design to relate to the existing adjacent single story home, and the front porch projects out in front of the proposed two-car garage, which keeps the focus of the design on the house instead of the garage. The only recommended revision is to add some additional windows to the side elevations to help break up the areas of blank walls.

RECOMMENDATION:

It is recommended that the Design Commission **approve** the proposed new single-family residence to be located at 1006 N. Beverly Lane. This recommendation is subject to compliance with the site plan dated 7/24/18 and received 8/27/18, architectural plans dated 8/27/18 and received on 9/14/18, and the following:

1. Add some additional windows to the side elevations to break up the areas of blank walls.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design

Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

3. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

_____, September 19, 2018

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

c: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 18-084

PLAT OF SURVEY

PIN
03-29-201-022

BENCHMARKS:

SITE BENCHMARK:
KASPAR STATION- 3" BRONZE DISK IN CONCRETE AT THE NORTHWEST CORNER OF
OAKTON STREET AND KASPAR AVENUE. ELEVATION = 719.17 (NAVD 88 DATUM).

BM "A":
** CUT ON BACK OF CURB OPPOSITE FIRE HYDRANT AT SOUTHWEST CORNER OF
OAKTON STREET AND BEVERLY LANE (WEST SIDE OF BEVERLY). ELEVATION = 694.82.

BM "B":
CUT ** IN SIDEWALK ON LINE & 2.00' EAST OF THE SOUTHEAST CORNER OF SITE (1006
BEVERLY LANE).
ELEVATION = 694.33.

BM "C":
CUT ** ON BACK OF CURB OPPOSITE FIRE HYDRANT IN FRONT OF 922/926 BEVERLY
LANE (WEST SIDE OF BEVERLY). ELEVATION = 693.45.

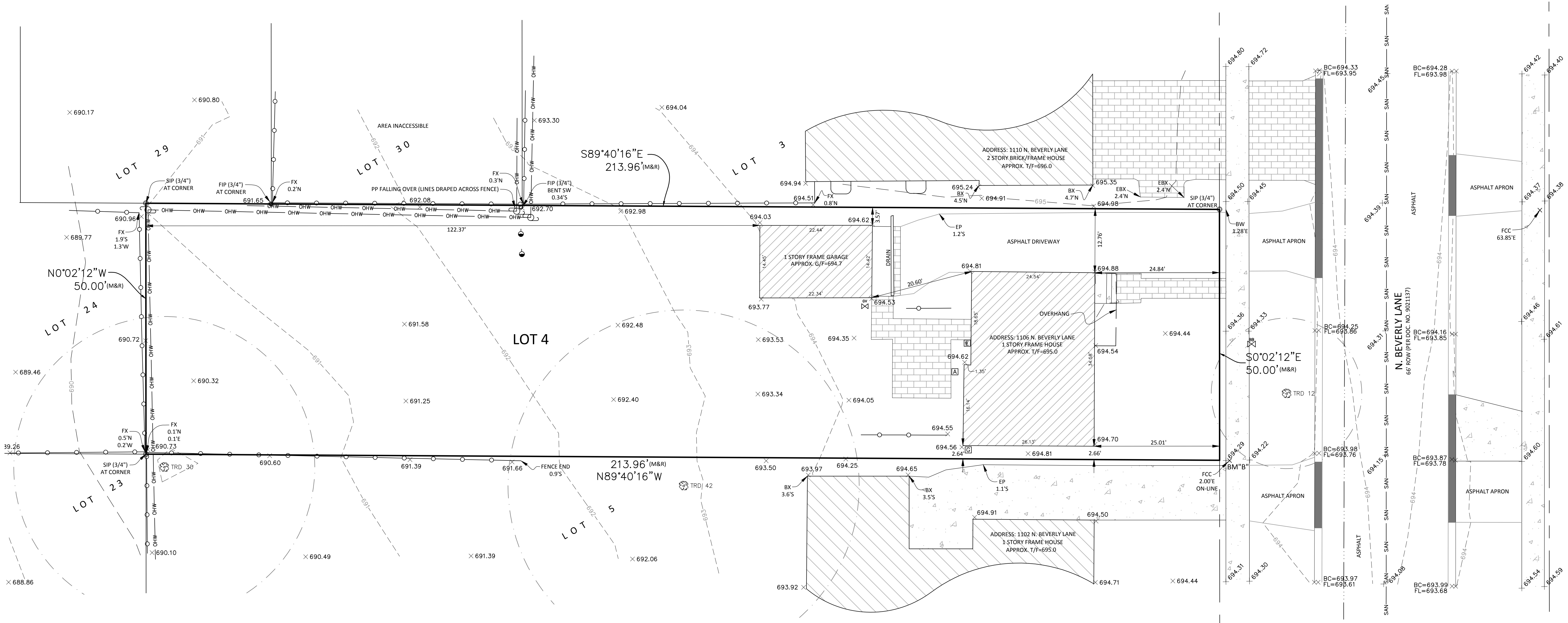
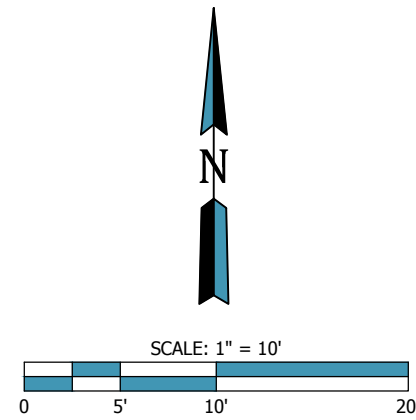
LEGAL DESCRIPTION

LOT 4 IN BLOCK 2 IN CHARLES W. JAMES SUBDIVISION OF LOTS 1,2,3,4,5,7 & 8 IN BLOCK 1 AND LOTS 1 TO 8 IN BLOCK 2 IN
ARLINGTON FARMS, BEING A SUBDIVISION OF THE EAST 80 ACRES OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 29,
TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

LOT AREA = 10,698 SQ.FT.± / 0.24 ACRES±

G/F
T/F
(M)
(R)
FIP
FCC
FX
BX
EP
BW
EBX

GARAGE FLOOR ELEVATION
TOP OF FOUNDATION ELEVATION
MEASURED DIMENSION
RECORD DIMENSION
FOUND IRON PIPE (SIZE)
FOUND ** CUT
FENCE CORNER
BUILDING CORNER
EDGE OF PAVEMENT
BACK OF SIDEWALK
EDGE OF PAVER CORNER



NOTES

- THE BEARINGS SHOWN ON THIS PLAT ARE ASSUMED AND DISPLAY ANGULAR RELATIONSHIPS ONLY.
- ENVIRONMENTAL AND SUBSURFACE CONDITIONS WERE NOT EXAMINED AS PART OF THIS SURVEY.
- FOR SETBACK LINES, EASEMENTS AND BUILDING RESTRICTIONS NOT SHOWN HEREON, REFER TO YOUR ABSTRACT, DEED AND GUARANTEE POLICY AND LOCAL ORDINANCES.
- SURVEY IS BASED UPON FIELD OBSERVATIONS MADE ON 08/22/2018.
- COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCES AT ONCE.
- NO STATEMENT IS MADE CONCERNING SUBSURFACE CONDITIONS, THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
- THE PREMISES IS NOT IN AN AREA IDENTIFIED AS A SPECIAL FLOOD HAZARD AREA, AND LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DETERMINED BY THE FEDERAL INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NUMBER 17031C0201J WITH AN EFFECTIVE DATE OF AUGUST 19, 2008.
- NO TITLE POLICY WAS PROVIDED FOR USE DURING THE PREPARATION OF THIS SURVEY.
- NO SANITARY CLEANOUT WAS OBSERVED IN THE FIELD. SANITARY LINE TO BE VERIFIED IN FIELD BY CONTRACTOR.

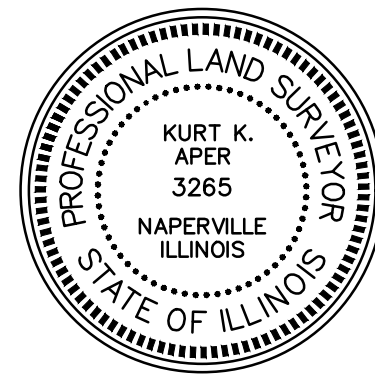
SETBACK AVERAGE:
3 HOUSES TO NORTH - 25.2'
3 HOUSES TO SOUTH - 26.3'
SITE - 24.84'
AVERAGE - 25.7'

SYMBOL LEGEND

- B-BOX
- POWER POLE
- GUY WIRE
- ELECTRIC SERVICE
- GAS METER
- GAS VALVE
- AIR CONDITIONER
- IRON PIPE
- ** CUT
- DECIDUOUS TREE (TRUNK DIAMETER)
- SPOT ELEVATION
- CONCRETE
- PAVER STONES
- CURB DEPRESSION

LINE LEGEND

- BOUNDARY
- EXISTING LOTS
- RIGHT OF WAY
- FENCE LINE (EX.)
- WATERMAIN (APPROX. LOCATION)(EX.)
- STORM LINE (EX.)
- SANITARY LINE (EX.)
- OVERHEAD WIRES (EX.)
- 1' CONTOUR (EX.)
- 5' CONTOUR (EX.)
- APPROXIMATE TREE DRIPLINE



STATE OF ILLINOIS)
COUNTY OF DUPAGE)

I, KURT K. APER, A PROFESSIONAL LAND SURVEYOR, DO CERTIFY
THAT THIS DRAWING HAS BEEN PREPARED UNDER MY DIRECT
SUPERVISION ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS
THEREOF.

DATED THIS 23rd DAY OF AUGUST, 2018.

PROFESSIONAL LAND SURVEYOR NUMBER 3265,
LAND SURVEYOR LICENSE EXPIRES NOVEMBER 30, 2018.
DESIGN FIRM NUMBER 184004465
THIS SURVEY CONFORMS TO THE CURRENT ILLINOIS STANDARD
FOR A BOUNDARY SURVEY.

PREPARED FOR:



PLAT OF SURVEY
1006 N. BEVERLY LANE
ARLINGTON HEIGHTS, ILLINOIS

REVISION DESCRIPTION

DATE

No.

Weaver
Consultants
Group



WEAVER CONSULTANTS GROUP
1316 BOND STREET SUITE 108
NAPERVILLE, ILLINOIS 60563
(630)-717-4848

www.wcgrp.com

REUSE OF DOCUMENTS
This document, and the
designs incorporated herein,
as an instrument of
professional service, is the
property of Weaver
Consultants Group, and is not
to be used in whole or in part,
without the written
authorization of Weaver
Consultants Group.

DRAWN BY: CJS
REVIEWED BY: KJA
DATE: 07/16/2018
FILE: 4291-309-09-01
CAD: BV000001.dwg

SHEET 1 OF 1



PROPERTY TO LEFT 3



PROPERTY TO LEFT 2



PROPERTY TO LEFT 1



SUBJECT PROPERTY
1006 N. BEVERLY



PROPERTY TO RIGHT 1



PROPERTY TO RIGHT 2



PROPERTY TO RIGHT 3

N. BEVERLY LANE, ARLINGTON HEIGHTS



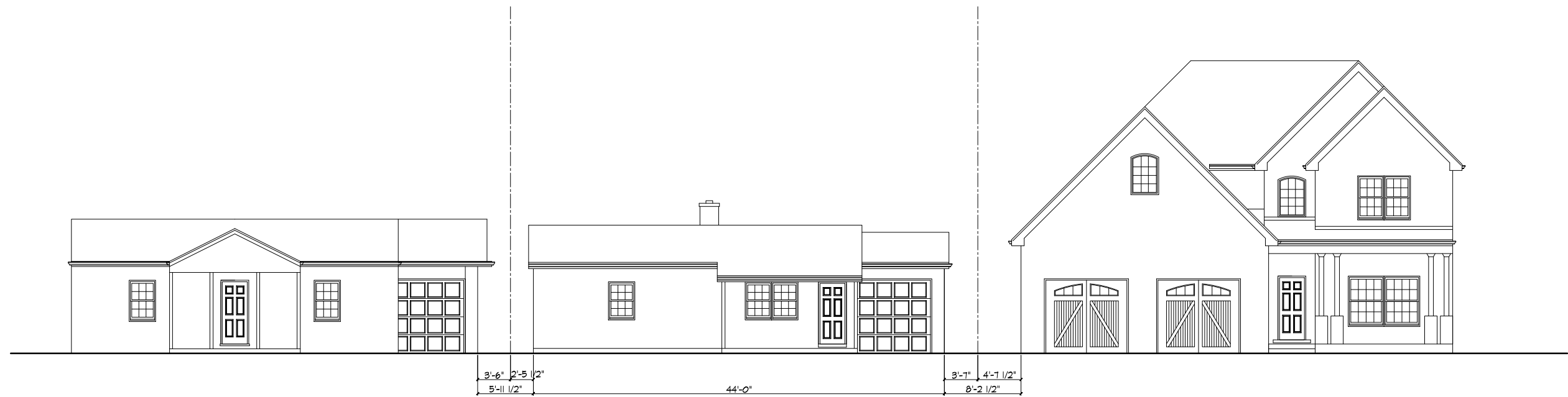
PROPERTY ACCROSS 1



PROPERTY ACCROSS 2



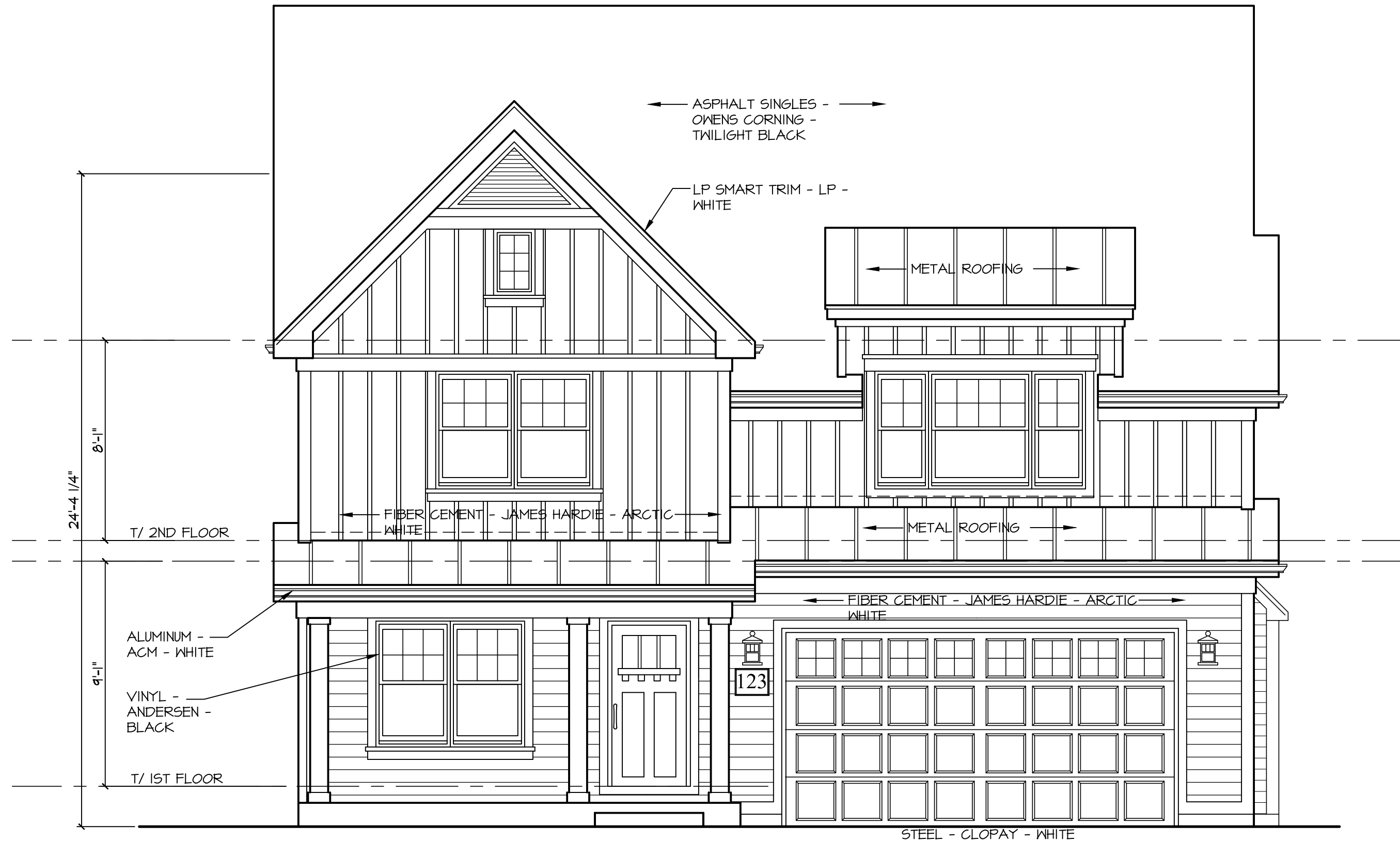
PROPERTY ACCROSS 3



EXISTING CONTEXT ELEVATION



PROPOSED CONTEXT ELEVATION



FRONT ELEVATION

1/4"=1'-0"



LEFT ELEVATION

1/4"=1'-0"



REAR ELEVATION

1/4"=1'-0"



RIGHT ELEVATION

1/4"=1'-0"

REVISIONS

CUSTOM HOME FOR
RIZE PROPERTIES
1006 N. BEVERLY
ARLINGTON HEIGHTS, IL

14334 Town Center Dr.
Homer Glen, Illinois 60491
Tel (708)301-6111
Fax (708)301-2503
E-mail wkolsonarc@aol.com

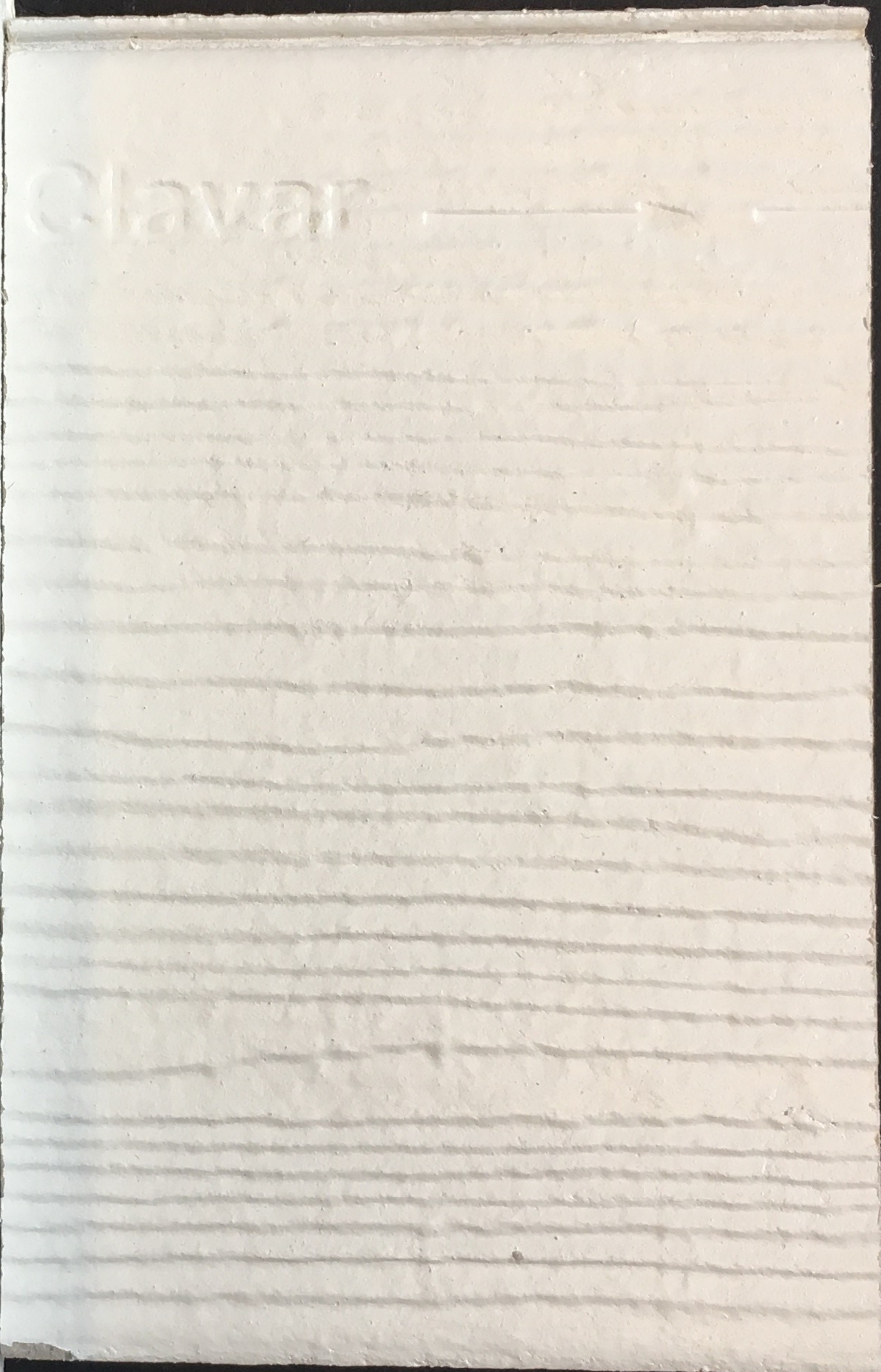
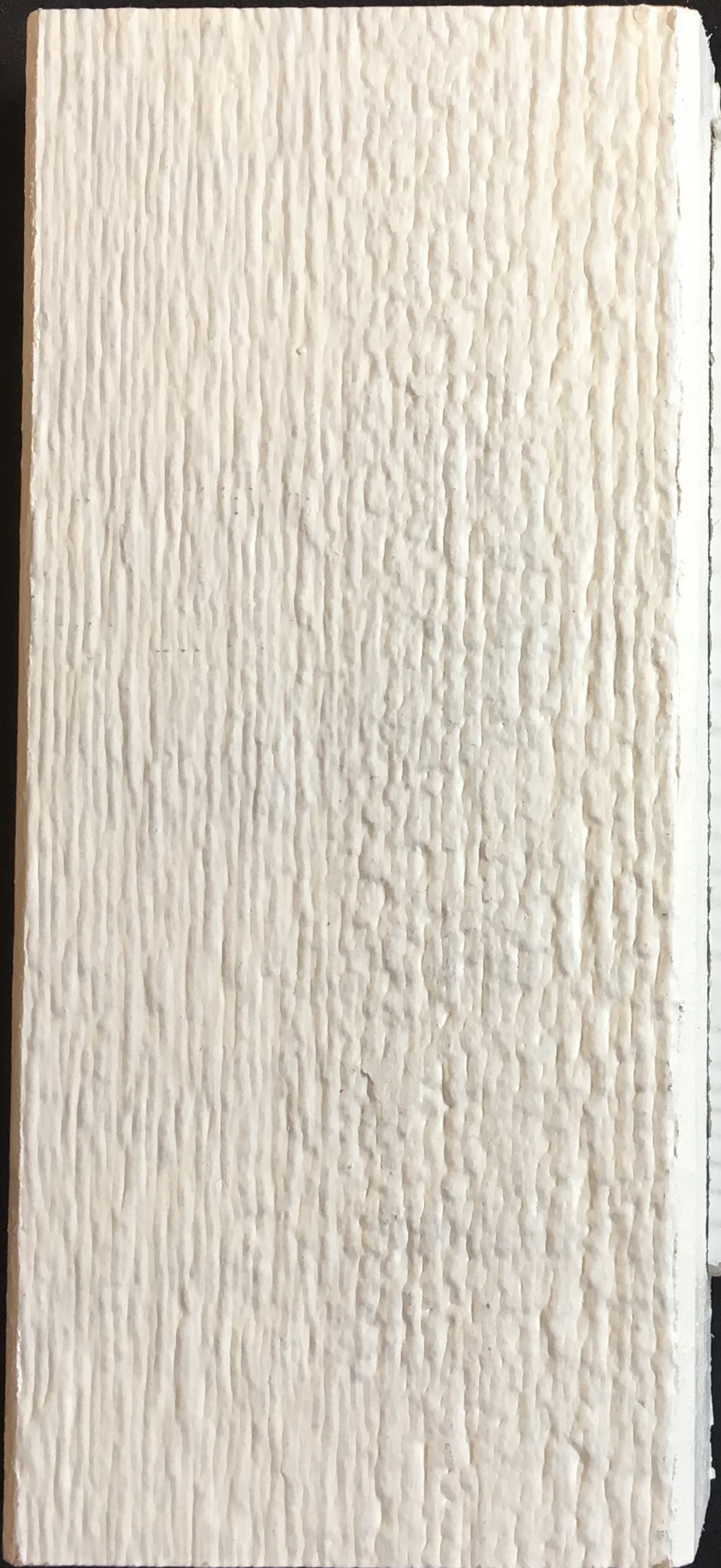
WKO LSON
ARCHITECTS
INC.

PRE-MEETING
ELEVATIONS

APP'D: WKO
CHECKED: WKO
DRAWN: MESLBF5F
DATE: 8/27/18
PROJ NO: 318100
PREV NO: (314146)

SHEET NUMBER

OF -



1006 N. Beverly

Siding: James Hardie – Arctic White
Roofing: Owens Corning – Twilight Black
Trim: LP SmartTrim - White
Gutters/Downspouts: Aluminum - White

Material Schedule
1006 N Beverly Ln
Arlington Heights

ITEM	MATERIAL	MANUFACTURER	COLOR
Roof	Asphalt Shingles	Owens Corning	Twilight Black
Siding	Fiber Cement	James Hardie	Arctic White
Trim/Fasica	LP Smart Trim	LP	White
Gutters	Aluminum	ACM	White
Windows	Vinyl	Andersen	Black
Garage Door	Steel	Clopay	White



Item: DC#18-085 - 1711 N. Verde Ave. - SF/Teardown

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 1711 N. Verde Drive. This recommendation is subject to compliance with the site plan dated 8/24/18 and received 8/28/18, architectural plans dated 7/3/18 and received on 9/14/18, and the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
2. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report
Exhibits

Type

Board or Commission Report
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: Sieck/Powers Residence
Project Address: 1711 N. Verde Ave.
Prepared By: Steve Hautzinger

Date Prepared: September 19, 2018

PETITION INFORMATION:

DC Number: 18-085
Petitioner Name: Joe LaBelle
Petitioner Address: Rize Properties
784 Busse Highway
Park Ridge, IL 60068
Meeting Date: September 25, 2018

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines.

The petitioner is proposing to demolish an existing single-story residence and detached two-car garage to allow construction of a new two-story residence with an attached, three-car garage. The subject site is zoned R-E, One Family Dwelling District. The property has a total land area of 23,129 square feet and the proposed residence will be approximately 3,850 square feet. This project does comply with the R-E zoning requirements, as summarized below:

	ALLOWED	PROPOSED
Setbacks	Front: 38 feet Side: 10 feet Side: 10 feet Rear: 30 feet	Front: 49.2 feet Side: 10.5 feet Side: 17.7 feet Rear: 99 feet
Building Height	25 feet to the midpoint	24.5 feet to the midpoint
FAR	6,939 SF	3,850 SF
Building Lot Coverage	6,939 SF	2,852 SF
Impervious Surface Coverage Total	11,565 SF	4,381 SF

The subject property is located in an R-E zoning district, where the minimum lot size is 20,000 sf. The original homes in this neighborhood are predominantly smaller scale single-story homes. There have been numerous teardowns previously completed in this neighborhood, but there have only been two previous teardowns on this street.

Overall, the proposed design is very nicely done, with varying roof forms, nice materials and details. The overall massing of the house steps down in scale on each side, and the house is buffered from the adjacent homes by detached garages on both sides.

RECOMMENDATION:

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 1711 N. Verde Avenue. This recommendation is subject to compliance with the site plan dated 8/24/18 and received 8/28/18, architectural plans dated 7/3/18 and received on 9/14/18, and the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
2. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

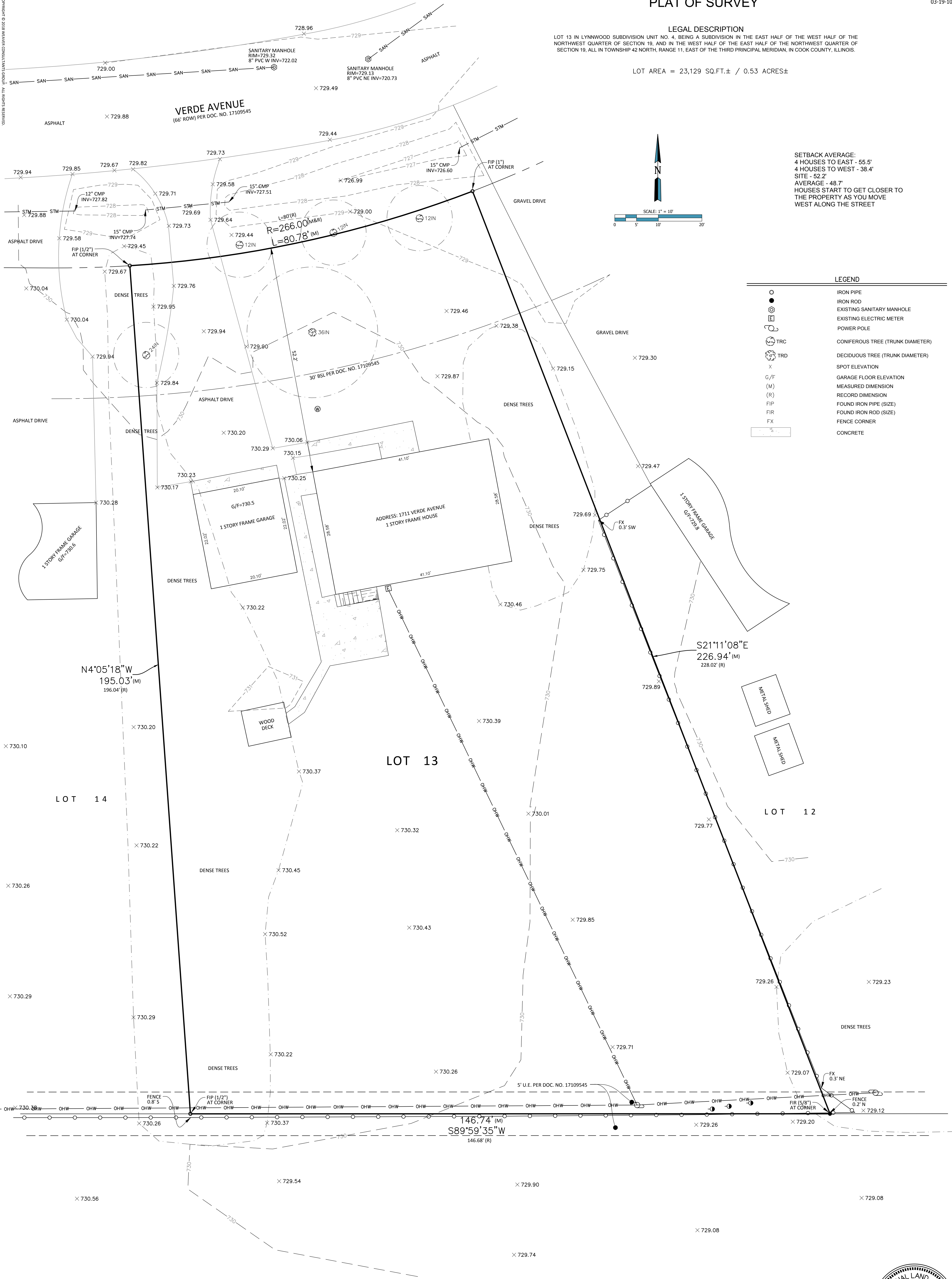
_____, September 19, 2018

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

c: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 18-085

PLAT OF SURVEY

PIN
03-19-108-005



LEGAL DESCRIPTION
LOT 13 IN LYNNWOOD SUBDIVISION UNIT NO. 4, BEING A SUBDIVISION IN THE EAST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 19, AND IN THE WEST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 19, ALL IN TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

LOT AREA = 23,129 SQ.FT.± / 0.53 ACRES±

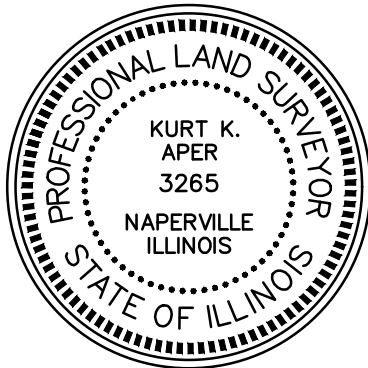
SETBACK AVERAGE:
4 HOUSES TO EAST - 55.5'
4 HOUSES TO WEST - 38.4'
SITE - 52.2'
AVERAGE - 48.7'
HOUSES START TO GET CLOSER TO
THE PROPERTY AS YOU MOVE
WEST ALONG THE STREET

LEGEND	
	IRON PIPE
	IRON ROD
	EXISTING SANITARY MANHOLE
	EXISTING ELECTRIC METER
	POWER POLE
	CONIFEROUS TREE (TRUNK DIAMETER)
	DECIDUOUS TREE (TRUNK DIAMETER)
	SPOT ELEVATION
	GARAGE FLOOR ELEVATION
	MEASURED DIMENSION
	RECORD DIMENSION
	FOUND IRON PIPE (SIZE)
	FOUND IRON ROD (SIZE)
	FENCE CORNER
	CONCRETE

- NOTES
1. THE BEARINGS SHOWN ON THIS PLAT ARE ASSUMED AND DISPLAY ANGULAR RELATIONSHIPS ONLY.
 2. ENVIRONMENTAL AND SUBSURFACE CONDITIONS WERE NOT EXAMINED AS PART OF THIS SURVEY.
 3. FOR SETBACK LINES, EASEMENTS AND BUILDING RESTRICTIONS NOT SHOWN HEREON, REFER TO YOUR ABSTRACT, DEED AND GUARANTEE POLICY AND LOCAL ORDINANCES.
 4. SURVEY IS BASED UPON FIELD OBSERVATIONS MADE ON 07/12/2018.
 5. COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DIFFERENCES AT ONCE.
 6. NO STATEMENT IS MADE CONCERNING SUBSURFACE CONDITIONS, THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
 7. THE PREMISES IS NOT IN AN AREA IDENTIFIED AS A SPECIAL FLOOD HAZARD AREA, AND LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DETERMINED BY THE FEDERAL INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NUMBER 17031C0201J WITH AN EFFECTIVE DATE OF AUGUST 19, 2008.
 8. NO TITLE POLICY WAS PROVIDED FOR USE DURING THE PREPARATION OF THIS SURVEY.
 9. NO SANITARY CLEANOUT WAS OBSERVED IN THE FIELD. SANITARY LINE TO BE VERIFIED IN FIELD BY CONTRACTOR. CLIENT HAS PROVIDED A SKETCH THAT SHOWS A SEPTIC FIELD IN THE REAR OF THE HOUSE, NO SEPTIC SYSTEM WAS OBSERVED IN THE FIELD.
 10. NO WATER MAIN OR SERVICE LINE OBSERVED IN THE FIELD. A WELL WAS OBSERVED AND IS SHOWN HEREON.

	BOUNDARY
	EXISTING LOTS
	RIGHT OF WAY
	FENCE LINE (EX.)
	WATERMAIN (APPROX. LOCATION)(EX.)
	STORM LINE (EX.)
	SANITARY LINE (EX.)
	OVERHEAD WIRES (EX.)
	1' CONTOUR (EX.)
	5' CONTOUR (EX.)
	APPROXIMATE TREE DRIPLINE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS
I, KURT K. APER, A PROFESSIONAL LAND SURVEYOR, DO CERTIFY
THAT THIS DRAWING HAS BEEN PREPARED UNDER MY DIRECT
SUPERVISION ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS
THEREOF.
DATED THIS 16th DAY OF JULY, 2018.
Kurt K. APER
PROFESSIONAL LAND SURVEYOR NUMBER 3265.
LAND SURVEYOR LICENSE EXPIRES NOVEMBER 30, 2018.
DESIGN FIRM NUMBER 184004465
THIS SURVEY CONFORMS TO THE CURRENT ILLINOIS STANDARD
FOR A BOUNDARY SURVEY.



No.	DATE	REVISION DESCRIPTION

PLAT OF SURVEY

1711 VERDE AVENUE
ARLINGTON HEIGHTS, ILLINOIS

PREPARED FOR:



LEGAL DESCRIPTION

PROPERTY IS CURRENTLY IN ZONE: R-E
NOTE: CURRENT ZONING STATES MINIMUM LOT WIDTH OF 100'

SETBACK AVERAGE:
4 HOUSES TO EAST - 55.5'
4 HOUSES TO WEST - 38.4'
SITE - 52.2'
AVERAGE - 48.7'
HOUSES START TO GET CLOSER TO
THE PROPERTY AS YOU MOVE
WEST ALONG THE STREET

IMPERVIOUS AREA TABLE			
DESCRIPTION	PREVIOUS SQ.FT.±	PROPOSED SQ.FT.±	DIFFERENCE
HOUSE & GARAGE	1,618±	2,652±	+1,034±
PORCH	0	217±	+217±
DRIVE	1,100±	1,356±	+256±
CONC.	504±	156±	-348±
DECK	82±	0±	-82±
TOTAL	3,304±	4,381±	+1,077±

LOT 14

LOT 12

THE CONTRACTOR SHALL HAVE THE LIMBS PRUNED THAT MIGHT BE DAMAGED BY EQUIPMENT OPERATIONS PRIOR TO CONSTRUCTION COMMENCING.

EARTH SAWCUT AT THE TREE ROOT PERFORMED AT DIAPHRANE OR AS SHOWN ON THE PLANS (MINIMUM DEPTH - 1' MIN.)

PROTECTIVE TREE FENCE

NOTHING SHALL BE STORED WITHIN THIS AREA.

LIMITS OF CONSTRUCTION

1' MIN.

1. PROTECTIVE TREE FENCE SHALL EXTEND TO THE DRIFLINE OF THE TREE. THE FENCE SHALL BE HIGH ENOUGH SO AS TO BE VISIBLE TO ALL CONSTRUCTION PERSONNEL.
2. GRADE CHANGES, UTILITY TRENCHES, STORAGE OF CONSTRUCTION MATERIAL, DUMPING OF WASTE OR STORAGE OF CONSTRUCTION EQUIPMENT SHALL NOT BE ALLOWED WITHIN FENCING.
3. IF A UTILITY MUST BE WITHIN 15' OF A TREE TRUNK, IT IS RECOMMENDED THAT IT BE AUGERED.
4. ALL TREES TO BE SAVED WHICH HAVE BEEN SUBJECTED TO CONSTRUCTION ACTIVITY WITHIN THE DRIFLINE SHOULD BE SELECTIVELY THINNED 10% BY AN ARBORIST USING THE SELECTED TREE THINNING PROCEDURE. NONE OF THE TREES SHALL BE TOPPED, HEADED BACK, SKINNED (REMOVAL OF THE INTERIOR BRANCHES), OR CLIMBED WITH SPIKES. ALL DEAD WOOD SHOULD BE REMOVED TO AVOID HAZARD.
5. IF IT IS RECOMMENDED THAT FOLLOWING CONSTRUCTION, TREES BE MAINTAINED IN THEIR NATIVE CONDITION. NO LAWN SHOULD BE PLACED AROUND THE TREES. IT IS RECOMMENDED THAT THE AREA BE MULCHED WITH 2" OF DECOMPOSED LEAVES AND 2" OF WOOD CHIPS OR BARK.

GRADING AND CONSTRUCTION EQUIPMENT IS PROHIBITED FROM ENCRANCHING ON THE DRIP LINE OF ANY TREE TO BE PRESERVED.

1. CRUSHED LIMESTONE, OR ANY OTHER MATERIAL, WHICH MAY BE DETRIMENTAL, TO TREES, SHALL NOT BE DISCARDED OR PLACED WITHIN THE DRIP LINE OF ANY TREES NOR SHALL ANY MATERIAL BE DISCARDED OR PLACED WITHIN THE DRIP LINE OF ANY TREES.

2. MATERIALS OR VEHICLES SHALL NOT BE STORED, DRIVEN OR PARKED WITHIN THE DRIP LINE OF ANY TREES.

3. WOODEN LATH, SNOW FENCING, BRIGHTLY COLORED PLASTIC CONSTRUCTION FENCING OR OTHER ALTERNATIVE BARRIER APPROVED BY THE COMMISSIONER OF BUILDING AND ZONING SHALL BE INSTALLED AT THE PERIPHERY OF THE TREE'S DRIP LINE OR BEYOND. THE BARRIER SHALL BE A MINIMUM OF FORTY-EIGHT (48) INCHES IN HEIGHT AND SHALL BE MAINTAINED AT ALL TIMES.

4. UTILITY LINES SHALL BE AUGURED TO PREVENT DAMAGE TO TREE ROOT SYSTEMS WHEN AN UNDERGROUND UTILITY LINE IS TO BE LOCATED WITHIN FIVE (5) FEET OF THE TRUNK OF A TREE DESIGNED FOR PRESERVATION.

5. TREES TO BE THINNED OR PRUNED THAT HAVE BEEN SUBJECTED TO ACTIVITY WITHIN THE DRIP LINE SHOULD BE SELECTIVELY PRUNED OR THINNED TEN (10) PERCENT BY AN ARBORIST OR TREE SURGEON SKILLED AT THE SELECTIVE THINNING PROCEDURE. ALL DEAD WOOD SHALL BE REMOVED.

6. TREE REMOVAL - TO BE PERFORMED IN A SAFE MANNER TO PROTECT ADJOINING PROPERTY AND OTHER TREES TO BE PRESERVED. STUMPS TO BE GROUND OUT WHERE POSSIBLE. WORK IS TO BE RECOMMENDED TO BE PERFORMED IN ADVANCE OF ANY EXCAVATION OR DEMOLITION.

7. TREES TO BE REMOVED SHALL BE PRUNED TO A MINIMUM OF 4-300 STANDARD, CROWN CLEAR (PRUNE OUT) DEADWOOD 1" IN DIAMETER AND LARGER ON ALL TREES THIN BY 15% THE TREES THAT ARE DESIGNATED BY THE ARBORIST. CROWN RAISE WHERE REQUIRED FOR ACCESS. SCOPE OF WORK TO BE REVIEWED AT THE JOB SITE BRIEFING BY THE ARBORIST ON SITE WITH CREWS IN ADVANCE OF WORK. WORK IS TO BE RECOMMENDED TO BE PERFORMED IN ADVANCE OF ANY EXCAVATION OR DEMOLITION.

8. TREE REMOVAL AND ROOT REMOVAL

TO BE INSTALLED BEFORE CONSTRUCTION AND AFTER TREE PRUNING AND REMOVALS. LOCATION WILL FOLLOW AT MINIMUM, THE LOCATION OF THE CRITICAL ROOT ZONE, OR ROOT PRUNED ROOTS. IN SOME AREAS IT WILL BE POSSIBLE TO BE LOCATED BEYOND THIS AREA. ALL FENCING WILL BE LOCATED WITHIN THE BOUNDARIES OF THIS PROPERTY. ALL EQUIPMENT FOR CONSTRUCTION/EXCAVATION SHALL BE LIMITED TO AREAS OUTSIDE THE PROTECTION FENCING, ROOT PRUNING WILL BE DESIGNATED BY THE ARBORIST AND WILL BE MADE JUST OUTSIDE THE LOCATED OVERDIP.

9. FERTILIZATION AND WATERING:

ALL TREES TO BE PRESERVED WILL BE FERTILIZED IN ADVANCE OF CONSTRUCTION. THE MATERIAL TO BE USED WILL BE ORGANIC HUMATES AND WILL BE APPLIED TWICE DURING THE GROWING SEASON. SUPPLEMENTAL WATERING WILL BE PERFORMED DURING THE CONSTRUCTION PROCESS IF NATURAL RAINFALL AMOUNTS FALL BELOW NORMAL.

1. DURING CONSTRUCTION PROJECTS IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO MINIMIZE DAMAGE DONE TO TREE LIMBS, TREE TRUNKS AND TREE ROOTS DURING INDIVIDUAL CONSTRUCTION PROJECTS. TO ACCOMPLISH THIS, THE FOLLOWING PRACTICES SHALL BE REQUIRED:

2. TREE TRUNKS SHALL BE PROTECTED BY ERECTING A HIGHLY VISIBLE "SNOW FENCE" BARRIER APPROXIMATELY ALONG THE DRIPLINE OR EDGE OF THE TREE(S) ROOT SYSTEM. ALL "SNOW FENCE" SHALL BE REQUIRED TO BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY THAT COULD POSSIBLY DAMAGE THE TREE(S). REQUIRED "SNOW FENCE" SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITY. THE "SNOW FENCE" BARRIER SHALL NOT BE MOVED OR TAKEN DOWN UNTIL THE COMPLETION OF CONSTRUCTION. GRADE CHANGES, UTILITY TRENCHES, DUMPING OF WASTE AND THE STORAGE OF MATERIALS SHALL NOT BE ALLOWED WITHIN THE "SNOW FENCE" BARRIER.

3. AUGERING: IF A UTILITY MUST BE WITHIN THE DRIPLINE OF A TREE, IT SHALL BE REQUIRED TO BE AUGERED.

4. PRE-CONSTRUCTION ROOT PRUNING: SHOULD IT BE NECESSARY TO EXCAVATE WITHIN THE DRIPLINE OF A TREE, WHERE IT IS NOT POSSIBLE TO AUGER, THE EARTH BETWEEN THE EXCAVATION AND THE TREE TRUNK SHALL BE PROTECTED BY ERECTING A HIGHLY VISIBLE "SNOW FENCE" BARRIER. THIS BARRIER SHALL BE DONE PRIOR TO ANY EXCAVATION ACTIVITY NEAR THE TREE(S). THIS REQUIREMENT IS INTENDED TO MINIMIZE THE EXCESSIVE TEARING OF ROOTS OBTAIN DONE BY EXCAVATING EQUIPMENT.

5. BRANCHES: BRANCHES INCLUDING ANY BRANCHES THAT MIGHT INTERFERE WITH THE ACTUAL CONSTRUCTION PROJECTS SHOULD BE CAREFULLY TIED, IF POSSIBLE, OR PROPERLY PRUNED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.

6. POST CONSTRUCTION PRUNING: ALL TREES TO BE PRESERVED WHICH HAVE BEEN SUBJECTED TO CONSTRUCTION ACTIVITY WITHIN THEIR DRIPLINE SHALL BE PRUNED TO MAINTAIN HEALTH AND RECOVER FOLLOWING CONSTRUCTION PRUNING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A QUALIFIED, TRAINED PERSONNEL SKILLED IN ARBORICULTURE AND PROPERLY CERTIFIED.

7. TREE WATERING: TREES DESIGNATED FOR PRESERVATION SHOULD BE ADEQUATELY WATERED BY DEVELOPER/CONTRACTOR DURING PERIODS OF DROUGHT.

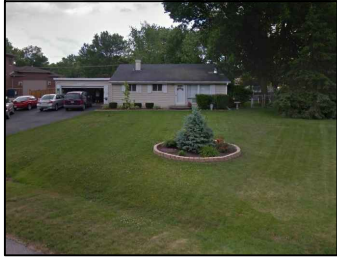
8. MULCH: MULCH SHALL BE APPLIED TO ALL EXPOSED SOILS DURING CONSTRUCTION. MULCH SHALL BE APPLIED TO ALL EXPOSED SOILS DURING CONSTRUCTION. A DURAL MULCH (A TREE ROOT AREA, COMPOSED OF TWO (2) INCHES OF DECOMPOSED LEAVES AND TWO (2) INCHES OF WOODCHIPS OR BARK).

	IRON ROD
	EXISTING SANITARY MANHOLE
	EXISTING ELECTRIC METER
	POWER POLE
	TREE TO BE REMOVED
	TREE PROTECTION (NOT TO SCALE)
	CONIFEROUS TREE (TRUNK DIAMETER)
	DECIDUOUS TREE (TRUNK DIAMETER)
X	SPOT ELEVATION
G/F	GARAGE FLOOR ELEVATION
(M)	MEASURED DIMENSION
(R)	RECORD DIMENSION
FIP	FOUND IRON PIPE (SIZE)
FIR	FOUND IRON ROD (SIZE)
FX	FENCE CORNER
	CONCRETE
BOUNDARY	
EXISTING LOTS	
RIGHT OF WAY	
FENCE LINE (EX.)	
WATERMAIN (APPROX. LOCATION)(EX.)	
STORM LINE (EX.)	
SANITARY LINE (EX.)	
OVERHEAD WIRES (EX.)	
APPROXIMATE TREE DRILIPE	

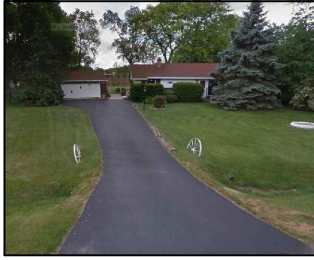
1711 VERDE AVENUE
ARLINGTON HEIGHTS, ILLINOIS

PREPARED FOR:

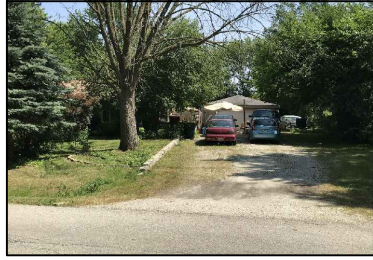




PROPERTY TO LEFT 3



PROPERTY TO LEFT 2



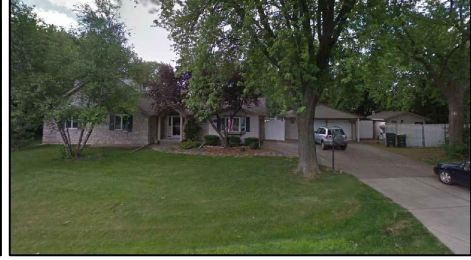
PROPERTY TO LEFT 1



SUBJECT PROPERTY
1711 VERDE AVE.



PROPERTY TO RIGHT 1



PROPERTY TO RIGHT 2



PROPERTY TO RIGHT 3

VERDE AVENUE, ARLINGTON HEIGHTS



PROPERTY ACROSS 1



PROPERTY ACROSS 2



PROPERTY ACROSS 3



EXISTING CONTEXT ELEVATION



PROPOSED CONTEXT ELEVATION



FRONT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

REVISIONS

CUSTOM HOME FOR
RIZE PROPERTIES
1711 VERDE AVE.
ARLINGTON HEIGHTS, ILLINOIS

14334 Town Center Dr.
Homer Glen, Illinois 60491
Tel (708)301-6111
Fax (708)301-2503
E-mail wkolsonarc@aol.com

WKO LSON
ARCHITECTS
INC.

PRE-MEETING
ELEVATIONS

APP'D: WKO
CHECKED: WKO
DRAWN: SEBSF/HK
DATE: 7/3/16
PROJ NO: 318079
PREV NO: (318056)

SHEET NUMBER

OF 15



LEFT ELEVATION 1/4" = 1'-0"



RIGHT ELEVATION 1/4" = 1'-0"

REVISIONS

CUSTOM HOME FOR
RIZE PROPERTIES
1711 VERDE AVE.
ARLINGTON HEIGHTS, ILLINOIS

14334 Town Center Dr.
Homer Glen, Illinois 60491
Tel (708)301-6111
Fax (708)301-2503
E-mail wkolsonarc@aol.com

WKO LSON
ARCHITECTS
INC.

PRE-MEETING
ELEVATIONS

APP'D: WKO
CHECKED: WKO
DRAWN: SEBSF/HK
DATE: 7/3/18
PROJ NO: 318079
PREV NO: (318056)

SHEET NUMBER

OF 15



1711 Verde

Siding: James Hardie – Rich Espresso
Roofing: Owens Corning – Driftwood
Trim: LP SmartTrim - White
Gutters/Downspouts: Aluminum – White
Stone: Buechel Stone FDL Country Squire

Material Schedule
1711 Verde
Arlington Heights

ITEM	MATERIAL	MANUFACTURER	COLOR
Roof	Asphalt Shingles	Owens Corning	Driftwood
Siding	Fiber Cement	James Hardie	Rich Espresso
Trim/Fasica	LP Smart Trim	LP	White
Stone	Stone	Buechel Stone	FDL Country Squire
Gutters	Aluminum	ACM	White
Windows	Vinyl	Pella	White
Garage Door	Steel	Clopay	White



Item: DC#18-086 - 1702 N. Verde Ave. - SF/Teardown

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 1702 N. Verde Avenue. This recommendation is subject to compliance with the site plan received on 8/30/18, architectural plans dated 8/24/18 and received on 8/30/18, and the following:

1. Additional windows are recommended on the left side elevation second floor to break up the areas of blank wall.
2. The stone base should wrap the corner two feet on the left side (to match the detail on the right side).
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report
Exhibits

Type

Board or Commission Report
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 1702 N. Verde Ave.
Project Address: 1702 N. Verde Ave.
Prepared By: Steve Hautzinger

Date Prepared: September 19, 2018

PETITION INFORMATION:

DC Number: 18-086
Petitioner Name: Peter McGovern
Petitioner Address: T.P. Carpentry Inc.
6823 W. Gunnison St., Apt. GA
Harwood Heights, IL 60706
Meeting Date: September 25, 2018

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines.

The petitioner is proposing to demolish an existing split-level residence with attached two-car garage to allow construction of a new two-story residence with an attached, three-car garage. The subject site is zoned R-E, One Family Dwelling District. The property has a total land area of 21,927 square feet and the proposed residence will be approximately 5,362 square feet. The front setback for the proposed house needs to be corrected to comply with code and the driveway width needs to taper within 18 feet of the garage, but otherwise this project complies with the R-E zoning requirements, as summarized below:

	ALLOWED	PROPOSED
Setbacks	Front: 48 feet (verify) Side: 10 feet Side: 10 feet Rear: 30 feet	Front: 42.5 feet Side: 14.9 feet Side: 14.6 feet Rear: 108 feet
Building Height	25 feet to the midpoint	25 feet to the midpoint
FAR	6,578 SF	5,361 SF
Building Lot Coverage	6,578 SF	3,216 SF
Impervious Surface Coverage Total	10,963 SF	5,097 SF

The subject property is located in an R-E zoning district, where the minimum lot size is 20,000 sf. The original homes in this neighborhood are predominantly smaller scale single-story homes. There have been numerous teardowns previously completed in this neighborhood, but there have only been two previous teardowns on this street.

Overall, the proposed design is nicely done with a nice level of detailing on all sides of the house. The house is tall and large, but it fits comfortably on the large lot and there is abundant space between the adjacent homes. The garage is prominent, but it is nicely designed and detailed. The only comments on the design are that additional windows are recommended on the left side elevation second floor to break up the blank wall, and the stone base should wrap the corner two feet on the left side (to match the detail on the right side).

RECOMMENDATION:

It is recommended that the Design Commission **approve** the proposed new single-family residence to be located at 1702 N. Verde Avenue. This recommendation is subject to compliance with the site plan received on 8/30/18, architectural plans dated 8/24/18 and received on 8/30/18, and the following:

1. Additional windows are recommended on the left side elevation second floor to break up the areas of blank wall.
2. The stone base should wrap the corner two feet on the left side (to match the detail on the right side).
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In

addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

September 19, 2018

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

c: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 18-086

EXISTING TOPOGRAPHY AND EROSION CONTROL PLAN

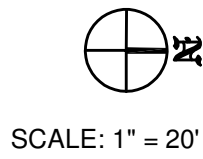
FOR
1702 VERDE AVENUE - ARLINGTON HEIGHTS, IL

GENERAL NOTES:

1. Contractor shall verify in field to determine if utilities are abandoned or non-functional prior to start of construction.

CONSTRUCTION NOTES:

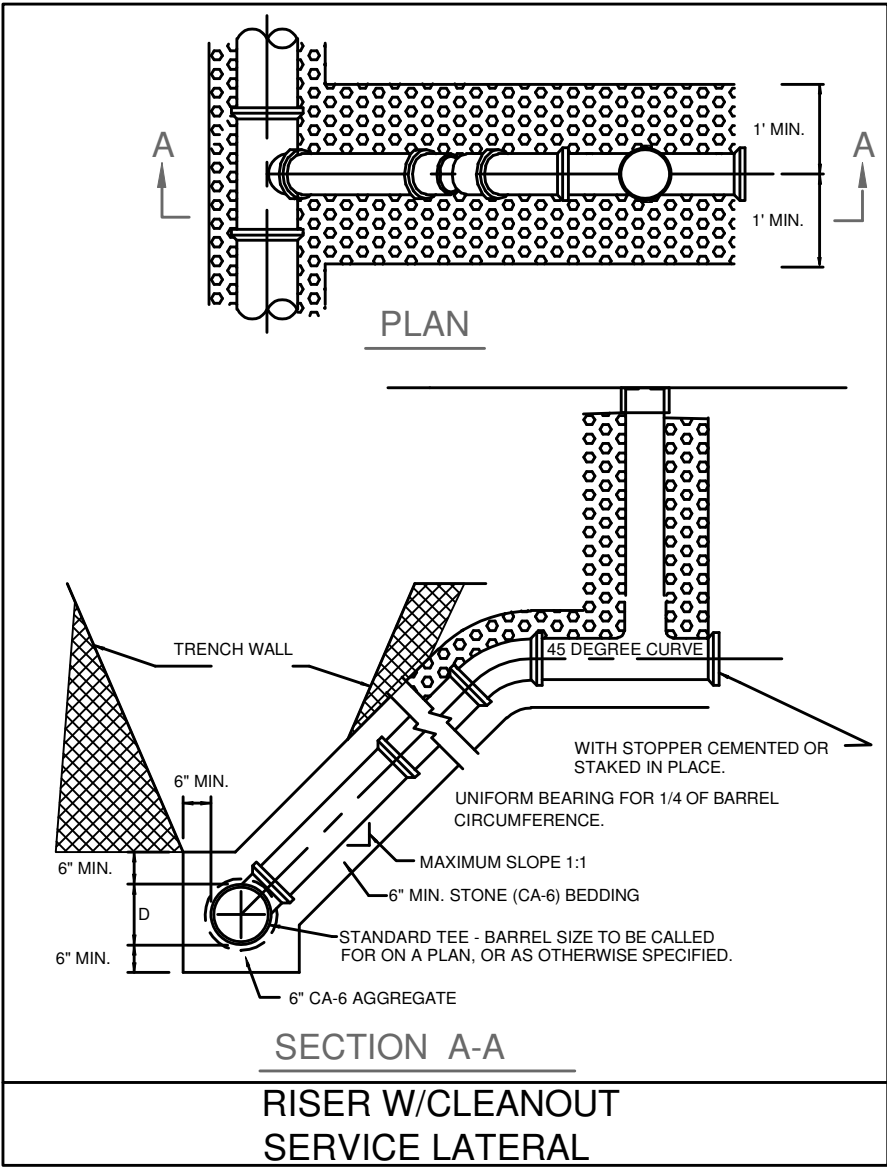
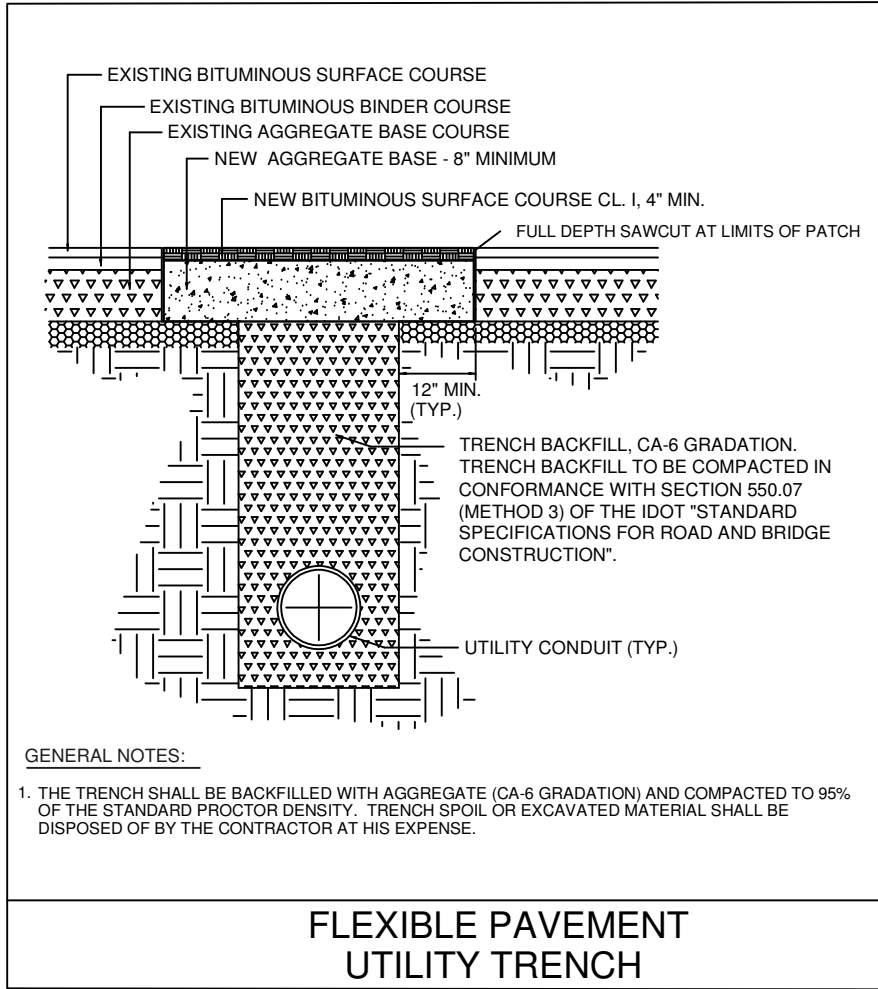
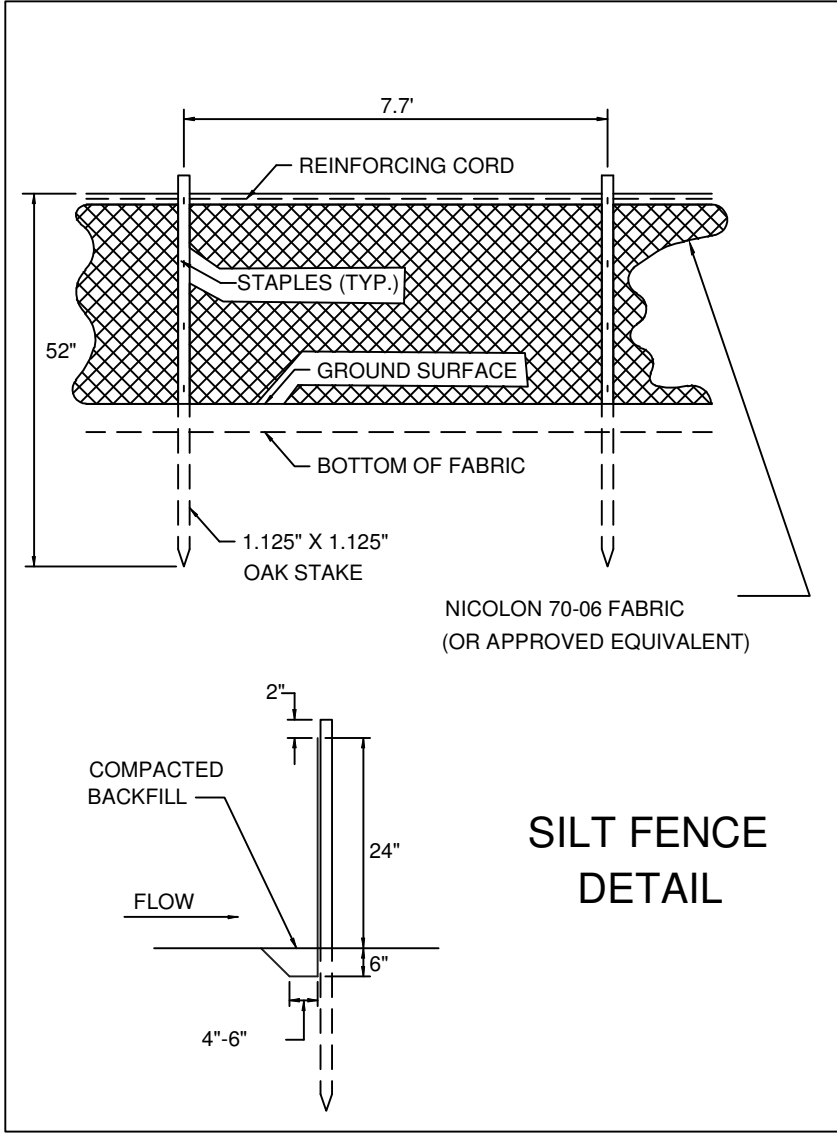
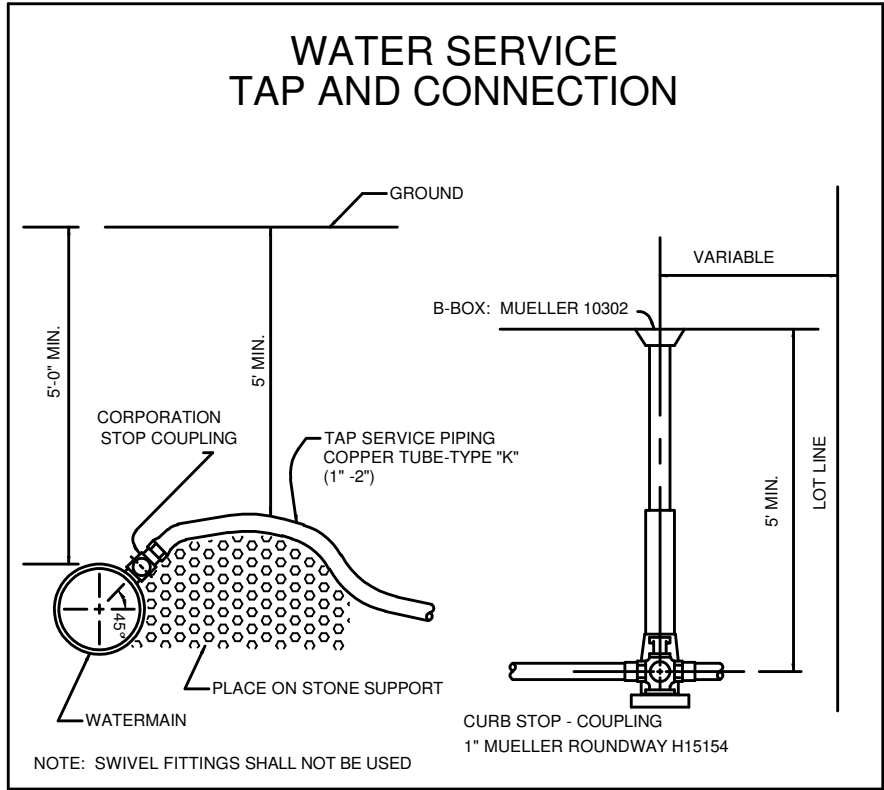
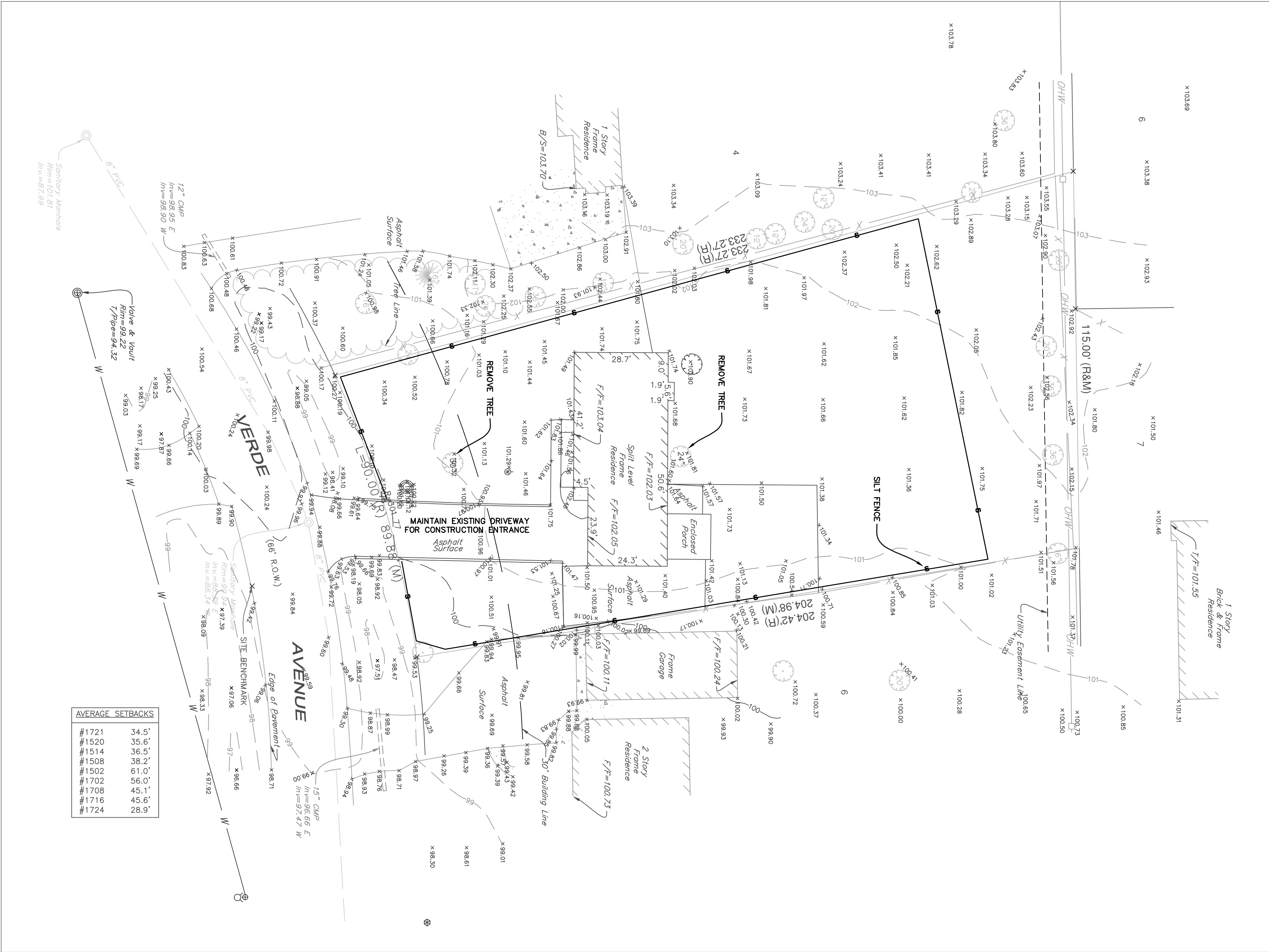
1. Install Silt Fence prior to the start of excavation activities.
2. Install 3" rock for construction entrance prior to excavation activities.
3. Disconnect utilities at their mains.



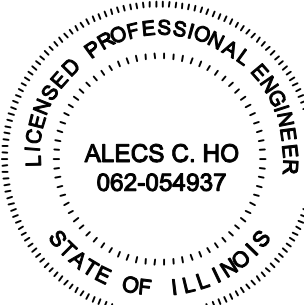
LEGEND

Proposed	
Sanitary Sewer	— C —
Storm Sewer	— < —
Watermain	— W —
Contour Lines	704
Spot Elevations	705.00
Fence	— S —
Fire Hydrant	
Manhole	
Light Pole	
Power Pole	
B-Box	
San. Cleanout	
Tree	
Shrubs	
Drainage Pattern	
Silt Fence	— S —

SITE PLAN BASED ON TOPOGRAPHIC SURVEY
PREPARED BY PROFESSIONAL LAND SURVEYING,
INC., DATED AUGUST 3, 2018



- EROSION CONTROL NOTES**
1. THE SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL AND SEDIMENTATION CONTROL, PROCEDURES AND STANDARDS FOR URBAN SOIL AND SEDIMENTATION CONTROL IN ILLINOIS, AND THE VILLAGE OF ARLINGTON HEIGHTS.
 2. SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED.
 3. SEDIMENTATION BASINS, BARRIERS, AND ALL APPROPRIATE EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO MASS GRADING.
 4. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS DEEMED NECESSARY BY THE VILLAGE OF ARLINGTON HEIGHTS.
 5. INSTALL PERMANENT SEEDING AND SOD IN ALL AREAS AS REQUIRED BY THE VILLAGE OF ARLINGTON HEIGHTS.
 6. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN 3 DAYS, IT SHALL BE SURROUNDED BY SILT FENCE. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN 7 DAYS, IT SHALL BE PROTECTED WITH TEMPORARY SEEDING.
 7. ALL FLARED END SECTIONS SHALL BE PROTECTED BY SEDIMENT SETTLING BASINS. UNTIL GROUND COVER HAS BEEN ESTABLISHED, FILTER FABRIC SHALL BE PLACED UNDER ALL INLET GRATES UNTIL GROUND COVER HAS BEEN ESTABLISHED.
 8. WATER PUMPED, OR OTHERWISE DISCHARGED, FROM THE SITE AS PART OF CONSTRUCTION DEWATERING SHALL BE FILTERED.
 9. ALL SOIL, MUD AND DEBRIS WASHED, TRACKED OR DEPOSITED ONTO THE STREET SHALL BE REMOVED AT THE END OF EACH WORK DAY.
 10. VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO A GRAVEL DRIVE AFTER THE FOUNDATION HAS BEEN BACKFILLED. THE GRAVEL DRIVE SHALL BE INSTALLED WITHIN 7 DAYS OF THE FOUNDATION BACKFILLING AND PRIOR TO THE START OF ANY CONSTRUCTION ABOVE THE TOP OF FOUNDATION.
 11. GROUND COVER (SEED AND MULCH OR SOD) SHALL BE PLACED ON ALL DISTURBED AREAS WITHIN 14 DAYS OF THE COMPLETION OF TOP SOIL PLACEMENT AND FINAL GRADING. IF WEATHER CONDITIONS PRECLUDE THE PLACEMENT OF SEED AND MULCH OR SOD, ALL DISTURBED AREAS SHALL BE PROTECTED WITH EROSION BLANKET.



This is to certify that I, Alecs C. Ho, performed the correct topographical survey and that what is drawn is a correct representation of the field observations

Dated this 10th day of December 2016 at Elmhurst, Illinois.

Alecs Ho

Illinois Professional Engineer Number 062-054937
My License Expires November 30, 2017

EXISTING TOPOGRAPHY & EROSION CONTROL PLAN

1702 VERDE AVENUE - ARLINGTON HEIGHTS, IL

FILE NAME : -

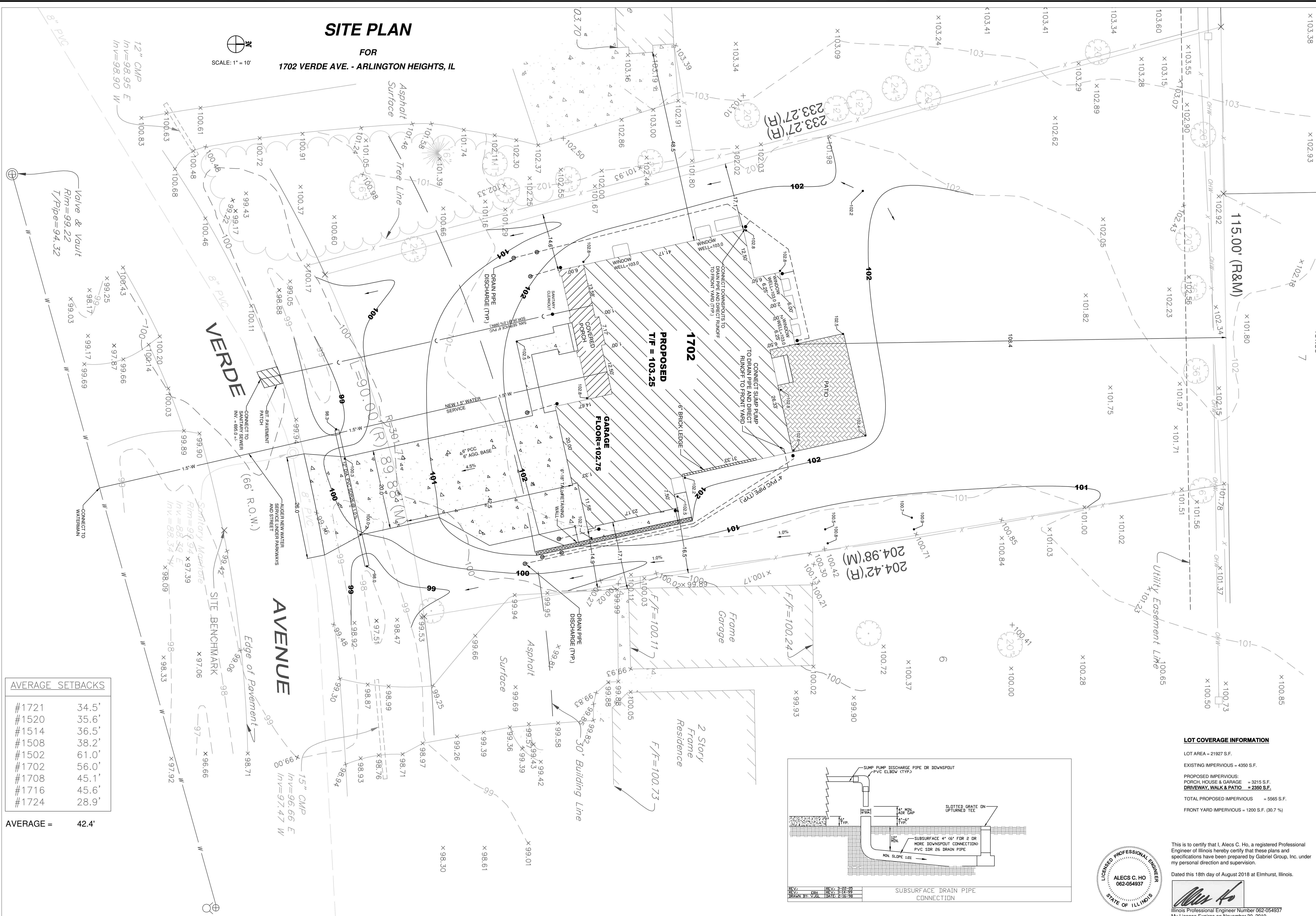
JOB DIRECTORY : -

GENERAL REVISION

PREPARED FOR
PETER MCGOVERN BUILDERS

P.O. Box 5376 - Oak Brook, IL 60552
Tel: 630-772-9393 Fax: 630-756-4151

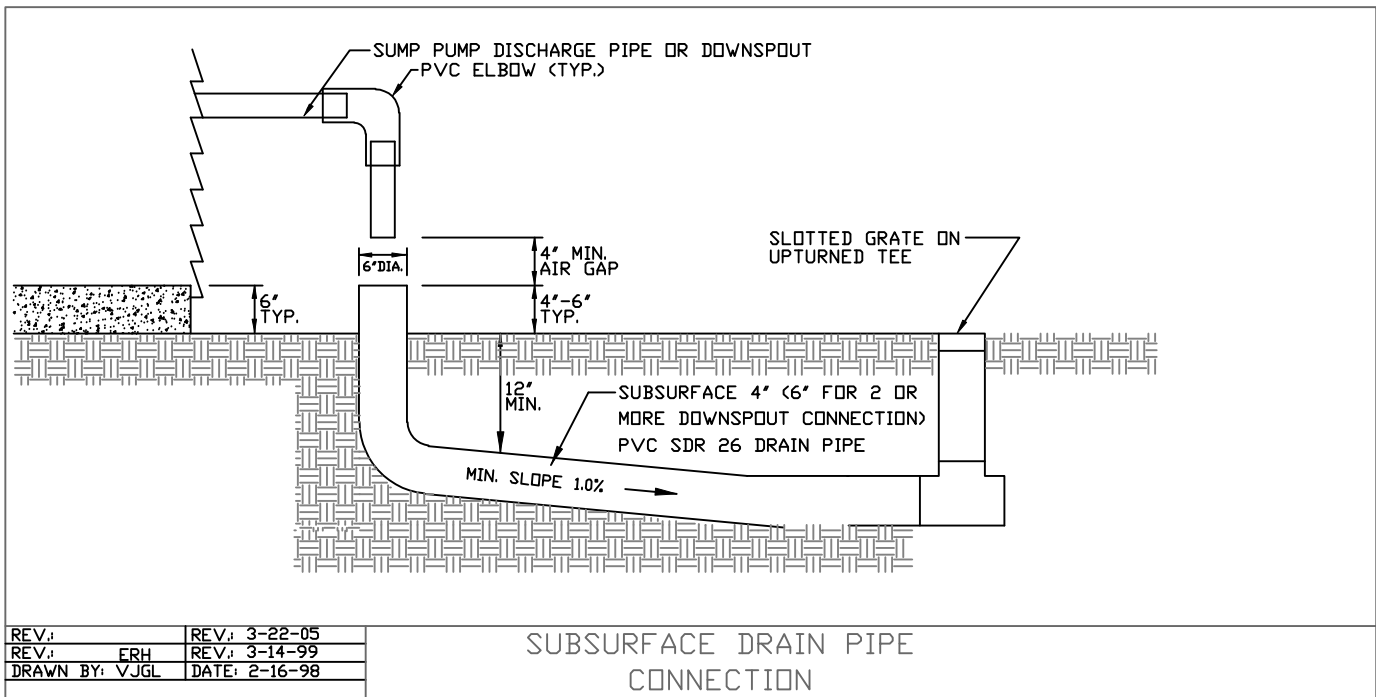
SITE PLAN



AVERAGE SETBACKS	
#1721	34.5'
#1520	35.6'
#1514	36.5'
#1508	38.2'
#1502	61.0'
#1702	56.0'
#1708	45.1'
#1716	45.6'
#1724	28.9'

AVERAGE = 42.4'

Illinois Professional Engineer Number 062-054937
My License Expires on November 30, 2019





Property to Left 3
1706 N Yale Ave



Property to Left 2
1505 N Yale Ave



Property to Left 1
1502 Lillian



Subject Property
1702 N Verde Ave



Property to Right 1
1708 N Verde Ave



Property to Right 2
1716 N Verde ave



Property to Right 3
1724 N Verde Ave

VERDE AVE



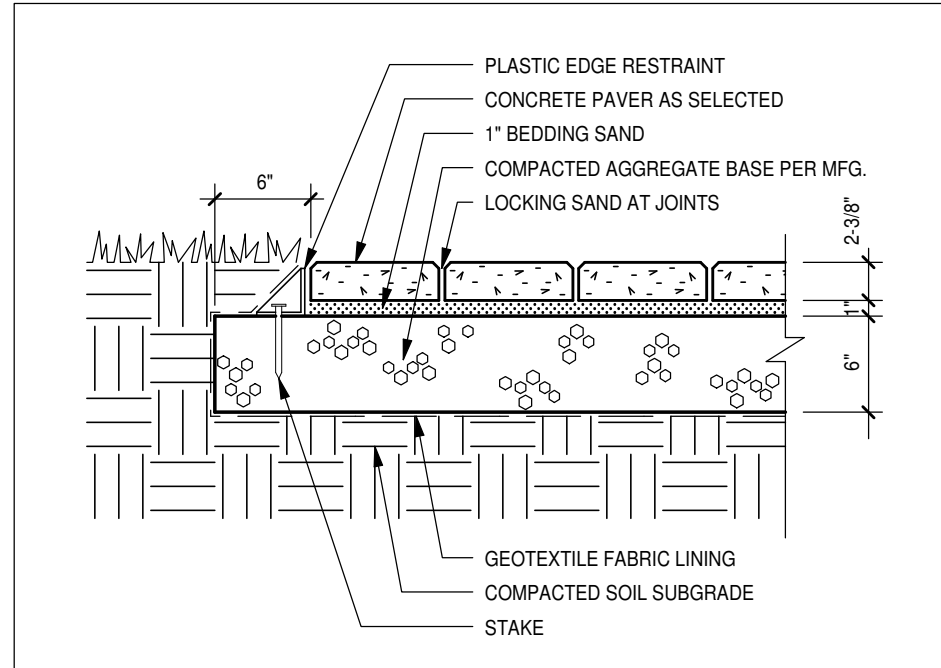
Opposite If of Subject Property
1709 N Verde Ave



Opposite Subject Property
1707 N Verde Ave



Opposite Rt of Subject Property
1705 N Verde Ave

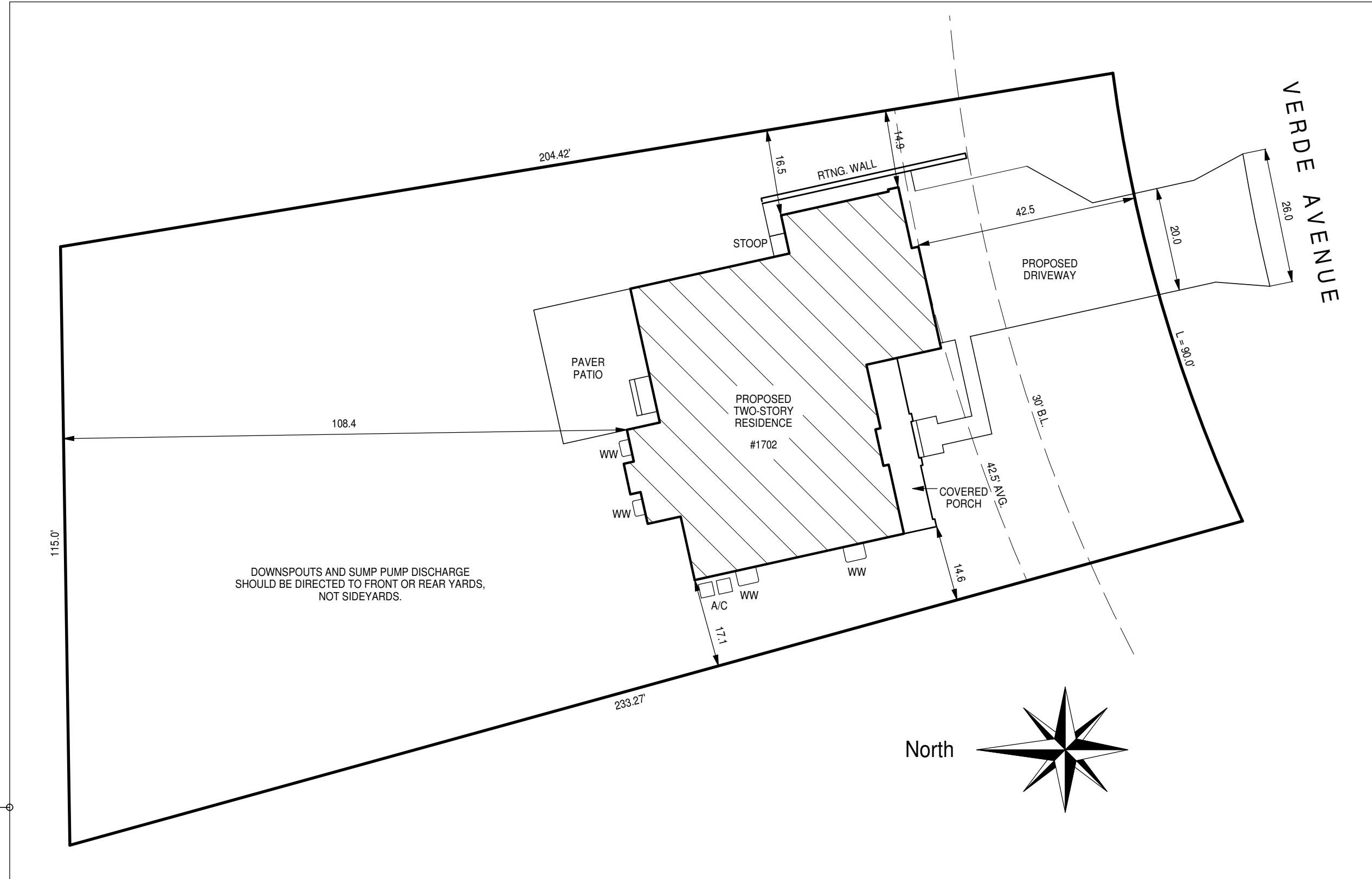


PATIO SECTION

SCALE: 1" = 1' 0"

R-E F.A.R. TABULATION	
LOT AREA PER ENGRG. = 21,927.00	
LOT AREA X 0.30 = MAX. ALLOWABLE = 6,576.10	
FIRST FLOOR AREA:	2,221.82
SECOND FLOOR AREA:	2,172.56
BASEMENT FLOOR AREA:	0.00
ATTIC OR VOLUME AREA:	569.96
(STAIR/OPEN 176.43, ATTIC (MAIN) 254.63, AND ATTIC (GARAGE) 254.43)	
GARAGE AREA (OVER 400 SF):	373.84
TOTAL PROPOSED:	5,361.88

AREA TABULATION		LOT DIMENSIONS: 90.0' X 233.27' X 115.0' X 204.42' FRONT YARD: IRREGULAR SQ.FT. LOT AREA PER ENGRG. PLANS = 21,927.00		AREA = 3,914.8	
R-E F.A.R.: LOT AREA X 0.30 = 6,578.10 ACTUAL = 5,361.88		R-E TOTAL ISC ENTIRE LOT: LA X .50 = 10,963.5 ACTUAL TOTAL ISC = 5,097.28			
R-E BUILDING COVERAGE: LA X 0.30 = 6,578.10 ACTUAL = 3,216.19		R-E ISC FRONT YARD: FRONT LA X .50 = 1,957.4 ACTUAL TOTAL ISC = 1,189.52			
SEE VILLAGE SINGLE FAMILY ZONING WORKSHEET FOR DETAILED FIGURES					



SITE PLAN

SCALE: 1" = 20' 0"

ENERGY CONSERVATION NOTES:

THIS DRAWING HAS BEEN PREPARED IN ACCORDANCE WITH THE ILLINOIS STATE PUBLIC ACT 096-0778 AND THE ADOPTED 2015 IECC CODE. THE VALUES LISTED IN THIS BOX ARE THE MINIMUM 2015 IECC RESIDENTIAL PRESCRIPTIVE REQUIREMENTS. FOLLOW PLANS AND SECTIONS FOR EXACT SPECIFICATIONS THAT MEET OR EXCEED THE 2015 IECC REQUIREMENTS.

CEILING R-VALUE	49
WOOD FRAME WALL R-VALUE	13.0 OR 13.5
MASS WALL R-VALUE	13.17
FLOOR R-VALUE	30
BASEMENT WALL R-VALUE	10.13
SLAB R-VALUE, DEPTH	10.2 FT.
CRAWLSPACE WALL R-VALUE	15.19
FENESTRATION U-FACTOR	0.32
SKYLIGHT U-FACTOR	0.55
GLAZED FENESTRATION SHGC	N/A

ADDITIONALLY THE FOLLOWING ITEMS SHALL BE REQUIRED

1. THE FOLLOWING LOCATIONS MUST BE SEALED:
 - > ATTIC ACCESS OPENINGS
 - > RIM JOIST JUNCTURES
2. BUILDING AIR TIGHTNESS MUST BE DEMONSTRATED BY A BLOWER DOOR TEST. PROVIDE COPY OF RESULTS TO THE BUILDING DEPT. PRIOR TO SCHEDULING ANY FINAL INSPECTIONS.
3. WHERE THE PRIMARY HEATING SYSTEM IS FORCED AIR, A DAILY PROGRAMMABLE THERMOSTAT IS REQUIRED.
4. ALL DUCTS AREA REQUIRED TO BE PRESSURE TESTED. EXCEPTION: DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN THE CONDITIONED SPACE.
5. A MINIMUM OF 75% OF THE PERMANENTLY INSTALLED LAMPS SHALL BE HIGH-EFFICIENCY LAMPS. (R404.1)
6. ALL FIREPLACES SHALL HAVE GASKETED DOORS AND EXTERIOR AIR INTAKE
7. ALL GAS-FIRED FURNACES SHALL BE 80% AFUE MINIMUM
8. ALL AIR CONDITIONING UNITS SHALL BE 13 SEER RATE MINIMUM
9. DWELLING UNIT SHALL BE TESTED AND VERIFIED TO HAVE AIR LEAKAGE RATE NOT TO EXCEED 5 AIR CHANGES PER HOUR. PROVIDE WRITTEN REPORT OF RESULTS INCLUDING THE ACH SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO VILLAGE. (2012 IECC R402.4.1.2 AND STATE OF ILLINOIS AMENDMENT)
10. ALL HEATING AND COOLING EQUIPMENT SHALL BE SIZED ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J OR OTHER APPROVED HEATING AND COOLING CALCULATION METHODOLOGIES. PROVIDE WRITTEN COPY TO THE VILLAGE. 2012 IECC R403.6
11. BUILDING THERMAL ENVELOPE SHALL BE SEALED AS INSTALLED IN ACCORDANCE WITH THE MFG. INSTRUCTIONS AND THE CRITERIA LISTED IN TABLE R402.4.1.1 OF THE 2012 IECC.

H.V.A.C. NOTE:

MECHANICAL SYSTEM TO BE SOLID DUCTED SUPPLIES AND RETURNS. DUCTS SEALED, INSULATED WHERE REQUIRED AND HILOW RETURNS PROVIDED IN EACH ROOM WHICH REQUIRES RETURN PROVISION. NO UNDER CUT DOORS OR SIMILAR.

RESIDENTIAL BUILDING CODES

THE DRAWINGS AND SPECIFICATIONS HEREON HAVE BEEN PREPARED IN ACCORDANCE WITH THE VILLAGE OF ARLINGTON HEIGHTS, IL ADOPTED CODES WITH AMENDMENTS AS LISTED BELOW.

2009 INTERNATIONAL RESIDENTIAL CODE (IRC)
2009 INTERNATIONAL BUILDING CODE (IBC)
2009 INTERNATIONAL FIRE CODE (IFC)
2009 INTERNATIONAL MECHANICAL CODE (IMC)
2009 INTERNATIONAL FUEL GAS CODE (IFGC)
2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2009 INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC)
2005 NATIONAL ELECTRIC CODE
2014 STATE OF ILLINOIS PLUMBING CODE

BUILDING DEPARTMENT NOTE:

> THIS DRAWING HAS BEEN PREPARED FOR USE ON THE PROJECT NOTED AND REPRODUCTION IN PART OR WHOLE IS PROHIBITED UNLESS AUTHORIZED IN WRITING BY S.G. ARCHITECTS, INC.
> OWNER/CONTRACTOR ASSUME ALL LIABILITY IN CONJUNCTION WITH THE USE OF THESE DOCUMENTS AND THE INFORMATION CONTAINED HEREON
> S.G. ARCHITECTS, INC. IS NOT RESPONSIBLE FOR METHODS OF CONSTRUCTION OR INADVERTENT ERRORS OR OMISSIONS.
> THIS DRAWING IS VALID FOR PERMIT ONLY WHEN SEAL IS AFFIXED AND IS INTENDED FOR CONSTRUCTION OF ONE BUILDING ONLY.

GENERAL NOTE:

> SUBSTITUTION FROM LUMBER GRADES DESIGNATED HEREON MUST BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
> ARCHITECT FEES INCURRED DO TO FAILURE TO COMPLY WILL BE THE RESPONSIBILITY OF APPROPRIATE CONTRACTOR.

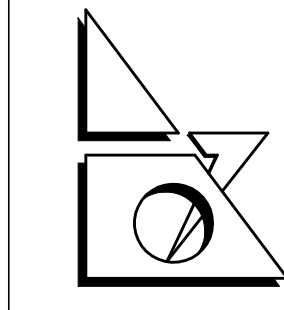
MATERIAL SCHEDULE

MATERIAL TYPE	MFG. OR TYPE	COLOR
STONE	ILLINOIS BRICK	GREY-BLUE
ROOF	OWNES CORNING	BLACK
SIDING	CEMENT BOARD	WHITE
TRIM	CEMENT BOARD	WHITE
SOFFIT/FASCIA	ALUMINUM	BLACK
GUTTERS/DOWNSPOUTS	ALUMINUM	BLACK
WINDOWS	WINDSOR, DBL. HUNG	BLACK



ELEVATION STUDY MODEL

SCALE: 3/32" = 1' 0"



S.G. Architects, Inc.
ARCHITECTS-PLANNERS

718 OGDEN AVE., SUITE 200
DOWNERS GROVE, IL 60515
ph. 630.969.9279
fax 630.969.0692

BUILDING DEPARTMENT NOTE

THESE DOCUMENTS (PLANS & SPECIFICATIONS) ARE VALID FOR PERMITS ONLY WHEN THE ARCHITECTS ORIGINAL SEAL AND SIGNATURE APPEARS AND IS AFFIXED, AND UNLESS OTHERWISE PROVIDED IN WRITING, ARE INTENDED AS A PERMIT SUBMITTAL FOR ONE (1) BUILDING ONLY.

© 2017 S.G. ARCHITECTS, INC.

THESE DRAWINGS HAVE BEEN PREPARED IN MY OFFICE UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE CODES AND ORDINANCES OF THE STATE, COUNTY, CITY OR VILLAGE TO WHICH THEY ARE SUBMITTED.

(VALID ONLY IF SIGNATURE APPEARS IN BLUE INK)

S.G. ARCHITECTS, INC.
STEPHEN L. GAWLIK - PRINCIPLE
No. 001-010152 EXP. 11-30-18
CORPORATE LICENSE
No. 194-000582 EXP. 04-30-19

PROJECT:

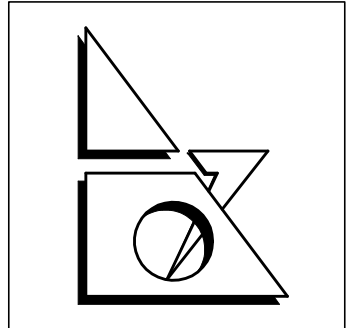
CUSTOM
RESIDENCE
LOT 5
1702 N. VERDE AVENUE
ARLINGTON HEIGHTS

TP Builders
6823 W. GUNNISON
HARWOOD HEIGHTS, IL 60706
PH. 630.272.9142
FAX 708.867.6941

NO.	DATE:	BY:
	ISSUES AND REVISIONS:	
	PRELIM. REVIEW	MDS
	07-23-18	
	FINAL REVIEW	MDS
	07-30-18	
	ISSUE FOR A.R.B. REVIEW	MDS
	08-24-18	

JOB NO. 18043
DATE: 07-17-18
DRAWN BY: MDS
SCALE: AS NOTED

SHEET NO. 1
-SITE PLAN
-STREET STUDY
OF 9



S.G. Architects, Inc.
ARCHITECTS-PLANNERS

718 OGDEN AVE., SUITE 200
DOWNERS GROVE, IL 60515
ph. 630.969.9279
fax 630.969.0692

BUILDING DEPARTMENT NOTE

THESE DOCUMENTS (PLANS & SPECIFICATIONS) ARE VALID FOR PERMITS ONLY WHEN THE ARCHITECTS ORIGINAL SEAL AND SIGNATURE APPEARS AND IS AFFIXED, AND UNLESS OTHERWISE PROVIDED IN WRITING, ARE INTENDED AS A PERMIT SUBMITTAL FOR ONE (1) BUILDING ONLY.

© 2017 S.G. ARCHITECTS, INC.

THESE DRAWINGS HAVE BEEN PREPARED IN MY OFFICE UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE CODES AND ORDINANCES OF THE STATE, COUNTY, CITY, OR VILLAGE TO WHICH THEY ARE SUBMITTED.

(VALID ONLY IF SIGNATURE APPEARS IN BLUE INK)

S.G. ARCHITECTS, INC.
STEPHEN L. GAWLIK - PRINCIPLE
No. 001-010182 EXP. 11-30-18
CORPORATE LICENSE
No. 194-000582 EXP. 04-30-19

PROJECT:

CUSTOM
RESIDENCE
LOT 5
1702 N. VERDE AVENUE
ARLINGTON HEIGHTS

TP Builders
6823 W. GUNNISON
HARWOOD HEIGHTS, IL 60706
PH. 630.272.9142
FAX 708.867.6941

DATE: BY:

NO. ISSUES AND REVISIONS:

PRELIM. REVIEW MDS

07-23-18

FINAL REVIEW MDS

07-30-18

ISSUE FOR A.R.B. REVIEW MDS

08-24-18

JOB NO. 18043

DATE: 07-17-18

DRAWN BY: MDS

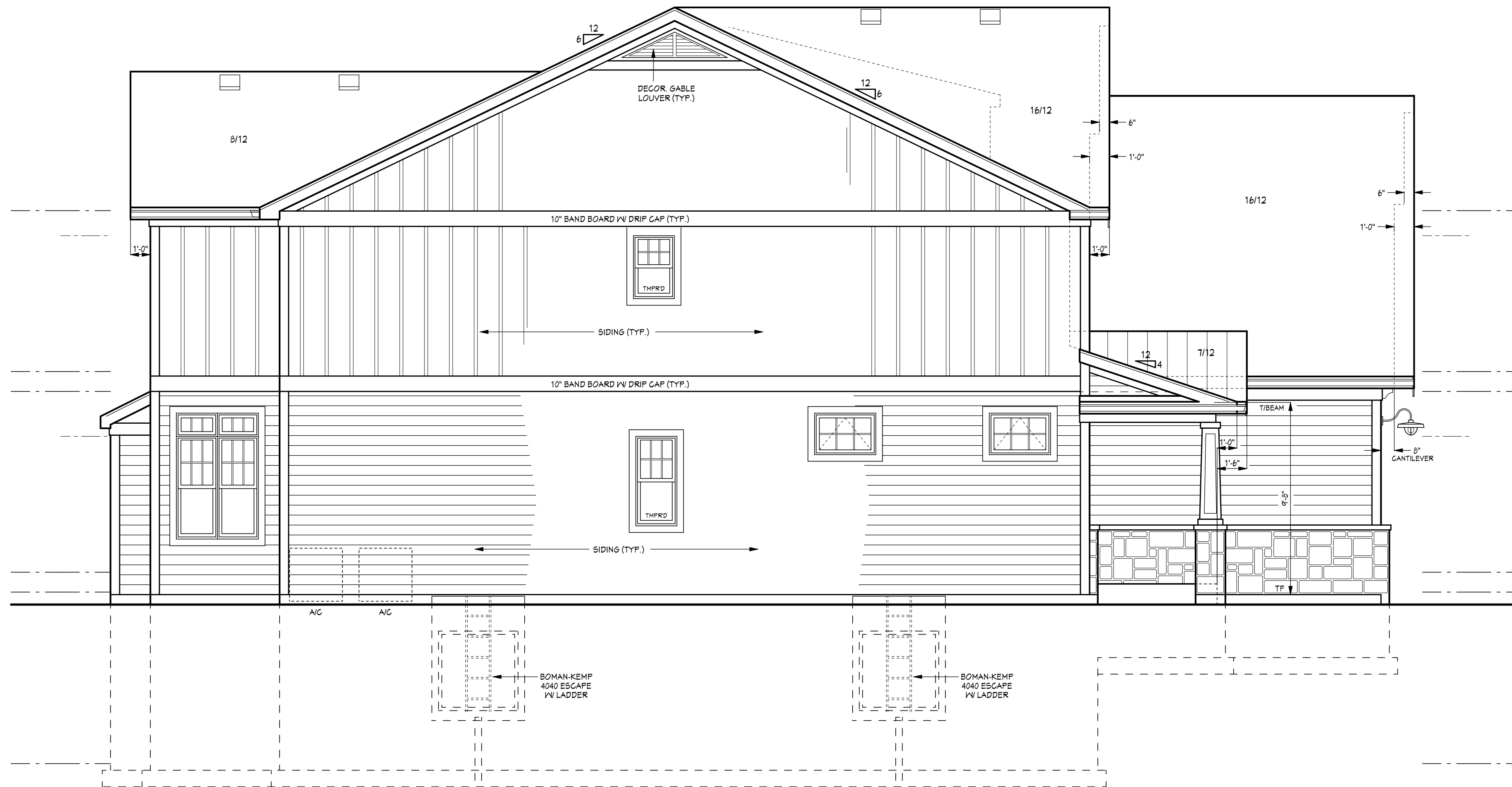
SCALE: AS NOTED

SHEET NO.

2

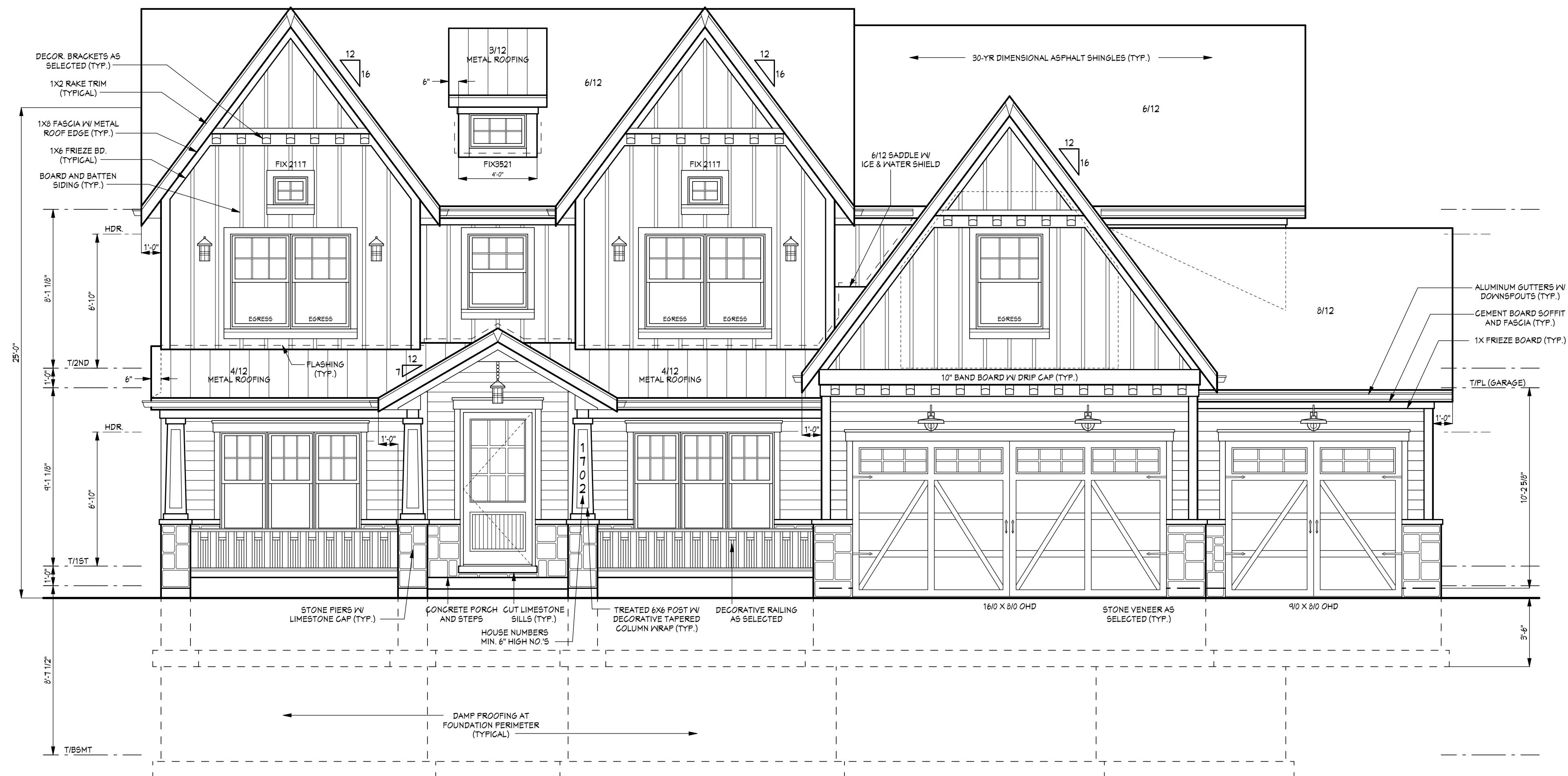
>FRONT ELEVATION
>LEFT SIDE ELEVATION

OF 9



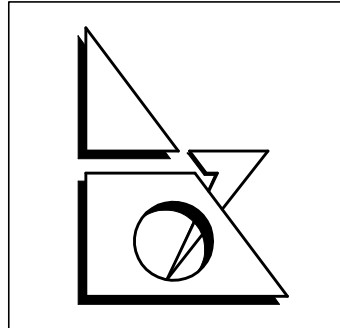
LEFT SIDE ELEVATION

SCALE: 1/4" = 1' 0"



FRONT ELEVATION

SCALE: 1/4" = 1' 0"



S.G. Architects, Inc.
ARCHITECTS-PLANNERS

718 OGDEN AVE., SUITE 200
DOWNERS GROVE, IL 60515
ph. 630.969.9279
fax 630.969.0692

BUILDING DEPARTMENT NOTE

THESE DOCUMENTS (PLANS & SPECIFICATIONS) ARE VALID FOR PERMITS ONLY WHEN THE ARCHITECTS ORIGINAL SEAL AND SIGNATURE APPEARS AND IS AFFIXED, AND UNLESS OTHERWISE PROVIDED IN WRITING, ARE INTENDED AS A PERMIT SUBMITTAL FOR ONE (1) BUILDING ONLY.

© 2017 S.G. ARCHITECTS, INC.

THESE DRAWINGS HAVE BEEN PREPARED IN MY OFFICE UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE CODES AND ORDINANCES OF THE STATE, COUNTY, CITY, OR VILLAGE TO WHICH THEY ARE SUBMITTED.

(VALID ONLY IF SIGNATURE APPEARS IN BLUE INK)

S.G. ARCHITECTS, INC.
STEPHEN L. GAWLIK - PRINCIPLE
No. 001-010152 EXP. 11-30-18
CORPORATE LICENSE
No. 194-000582 EXP. 04-30-19

PROJECT:

CUSTOM
RESIDENCE
LOT 5
1702 N. VERDE AVENUE
ARLINGTON HEIGHTS

TP Builders
6823 W. GUNNISON
HARWOOD HEIGHTS, IL 60706
PH. 630.272.9142
FAX 708.867.6941

NO.	DATE:	BY:
	ISSUES AND REVISIONS:	
	PRELIM. REVIEW	MDS
	07-23-18	
	FINAL REVIEW	MDS
	07-30-18	
	ISSUE FOR A.R.B. REVIEW	MDS
	08-24-18	

JOB NO. 18043
DATE: 07-17-18
DRAWN BY: MDS
SCALE: AS NOTED

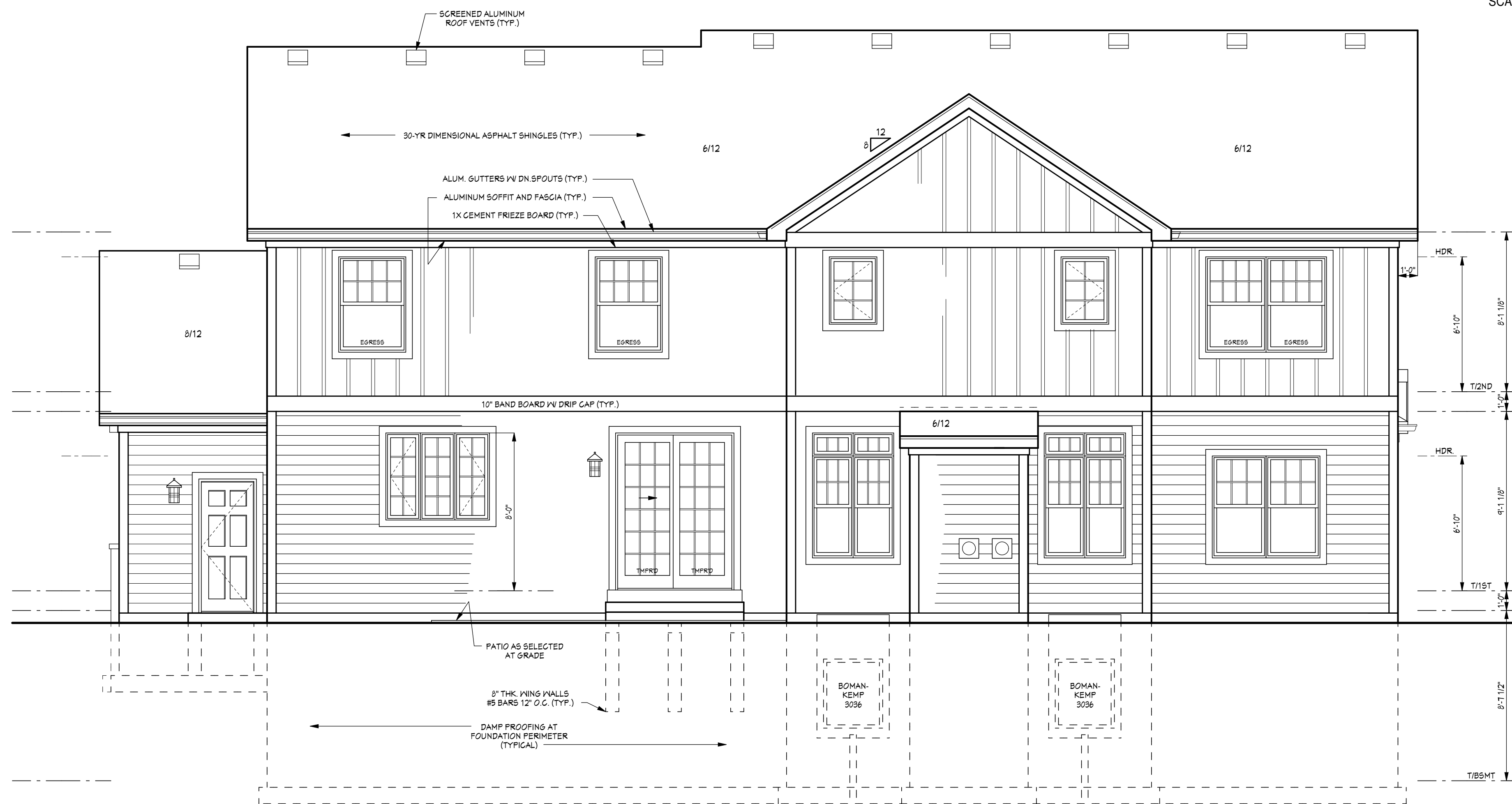
SHEET NO. 3
-REAR ELEVATION
-RIGHT SIDE ELEVATION

OF 9



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1' 0"



REAR ELEVATION

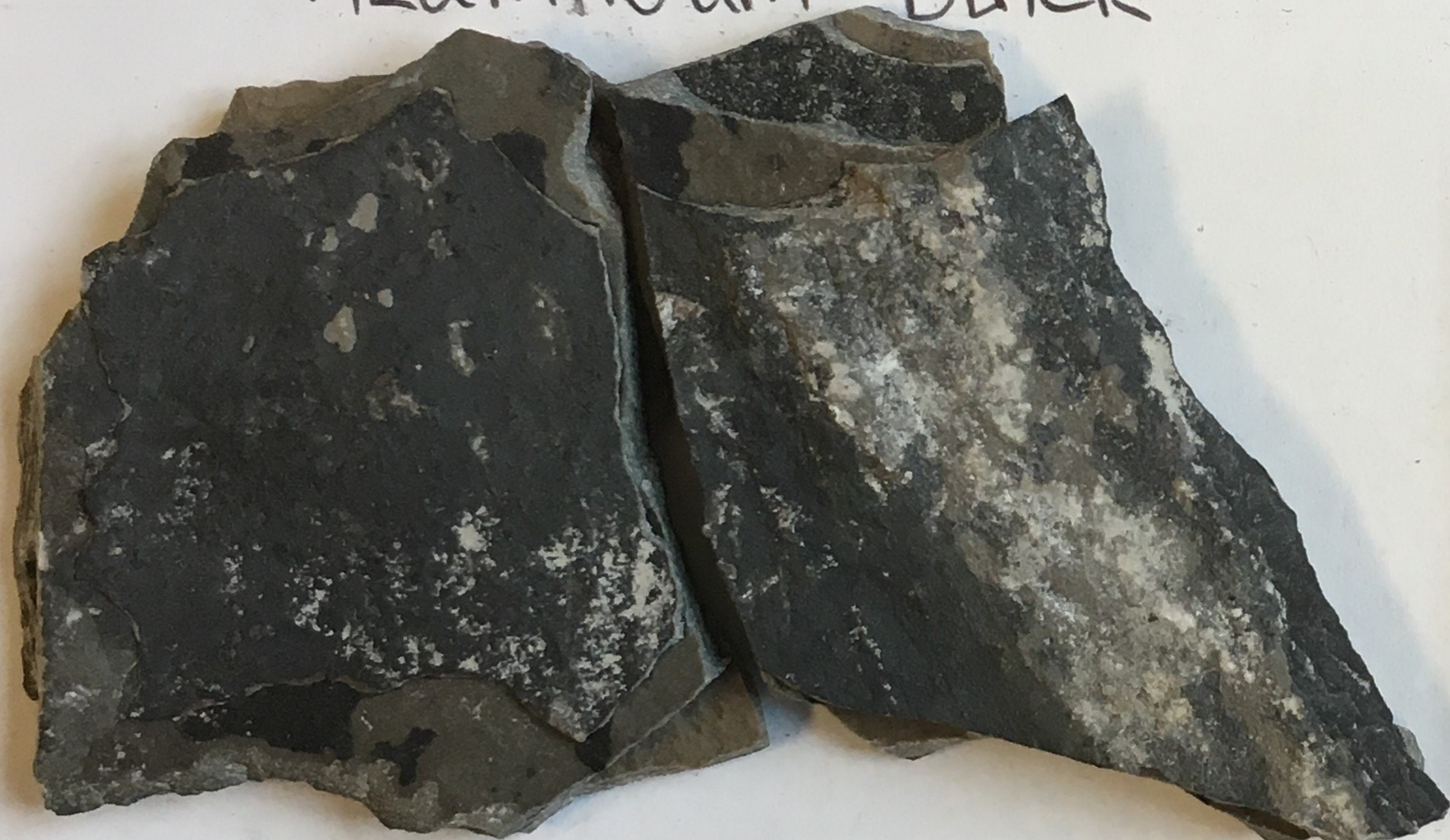
SCALE: 1/4" = 1' 0"

1702 N. VERDE AVE
T.P. CARPENTRY inc



SOFFIT/FASIA, GUTTERS/DOWNSPOUTS
ALUMINUM BLACK

ROOF SHINGLES
WEATHER WOOD



STONE : GREY - BLUE



SIDING : CEMENT BOARD, WHITE



Trim



Item: DC#18-087 - 508 S. Mitchell Ave. - SF/New

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new single-family residence.

Recommendation

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 508 S. Mitchell Avenue. This recommendation is based on the plans dated 8/30/18 and received on 9/4/18, and the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
2. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report
Exhibits

Type

Board or Commission Report
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 508 S. Mitchell Avenue
Project Address: 508 S. Mitchell Avenue
Prepared By: Steve Hautzinger
Date Prepared: September 20, 2018

PETITION INFORMATION:

DC Number: 18-087
Petitioner Name: Steve Pattermann
Petitioner Address: P.O. Box 5877
Naperville, IL 60567
Meeting Date: September 25, 2018

Requested Action(s): Approval of the proposed architectural design for a new single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines.

The petitioner is proposing to build a new two-story residence with an attached, two-car garage on a vacant lot. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 8,432 square feet and the proposed residence will have approximately 3,700 square feet. The following zoning issues will need to be resolved before building permit approval:

- Building Lot Coverage: The maximum allowed building lot coverage is 2,951 sf. The proposed lot coverage is 3,200 which includes the covered outdoor spaces.
- Chimney Encroachment: Chimneys are allowed to encroach into the required side setback up to 20 inches maximum. The proposed chimney encroaches 24 inches.
- Parkway Tree: The proposed driveway is too close to the existing parkway tree. A minimum 8 feet of clearance needs to be provided to maintain the health of the existing tree. The driveway layout will need to be adjusted to provide the required clearance.

Otherwise, the proposed design complies with the R-3 zoning requirements, as summarized below:

	ALLOWED	PROPOSED
Setbacks	Front: 25 feet Side: 7 feet Side: 7 feet Rear: 30 feet	Front: 25.5 feet Side: 7 feet Side: 7 feet Rear: 33.3 feet
Building Height	25 feet to the midpoint	25 feet to the midpoint
FAR	3,794 SF	3,700 SF
Building Lot Coverage	2,951 SF	3,200 SF
Impervious Surface Coverage Total	4,216 SF	3,742 SF

The subject property is part of a new four-lot subdivision that received final approval in April 2017. The new subdivision consists of lots for three new single-family homes, and one lot for stormwater detention. As part of the subdivision approval, two existing trees along the south property line on the subject property, and one existing parkway tree are required to be preserved.

This neighborhood, and this street, consist of a wide variety of houses including single-story, two-story, historic, newer, attached garages, and detached garages. However, the subject site is adjacent to three charming vintage cottage style homes that have a very consistent appearance.

Overall, the proposed design is very nicely done with a traditional style and excellent detailing that will fit well in this location. The one-and-a-half-story massing and steep roof lines complement the adjacent cottage style homes. The garage does project forward and is prominent, but it is very nicely detailed as an integral part of the design.

RECOMMENDATION:

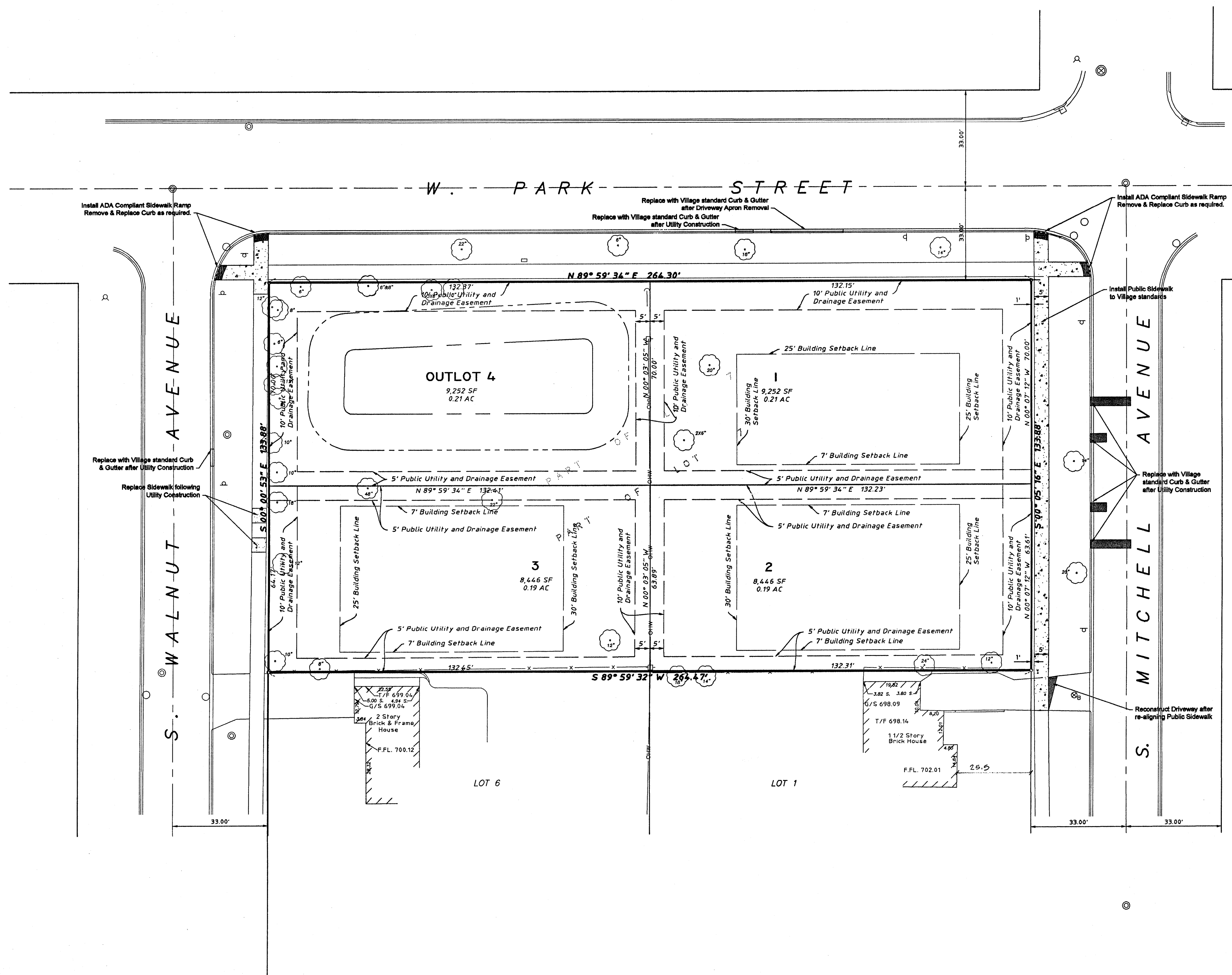
It is recommended that the Design Commission approve the proposed new single-family residence to be located at 508 S. Mitchell Avenue. This recommendation is based on the plans dated 8/30/18 and received on 9/4/18, and the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
2. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

_____, September 20, 2018

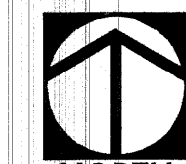
Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 18-087



LEGEND

- RECONSTRUCT PUBLIC STREET PAVEMENT
 - 2.0" HMA SURFACE COURSE
 - 2.25" HMA BINDER COURSE, N-50
 - 6.0" HMA BINDER COURSE, N-30
 - 4.0" CA-6 CRUSHED AGGREGATE BASE
- RECONSTRUCT DRIVEWAY APRON
 - 2.5" HMA SURFACE COURSE
 - 6.0" CA-6 CRUSHED AGGREGATE BASE
- PROPOSED SIDEWALK
 - 5" P.C. CONCRETE
 - 2" AGGREGATE BASE COURSE
- DETECTABLE WARNING
 - EXTEND FULL WIDTH OF DEPRESSED CURB
 - NO GAPS PERMITTED.

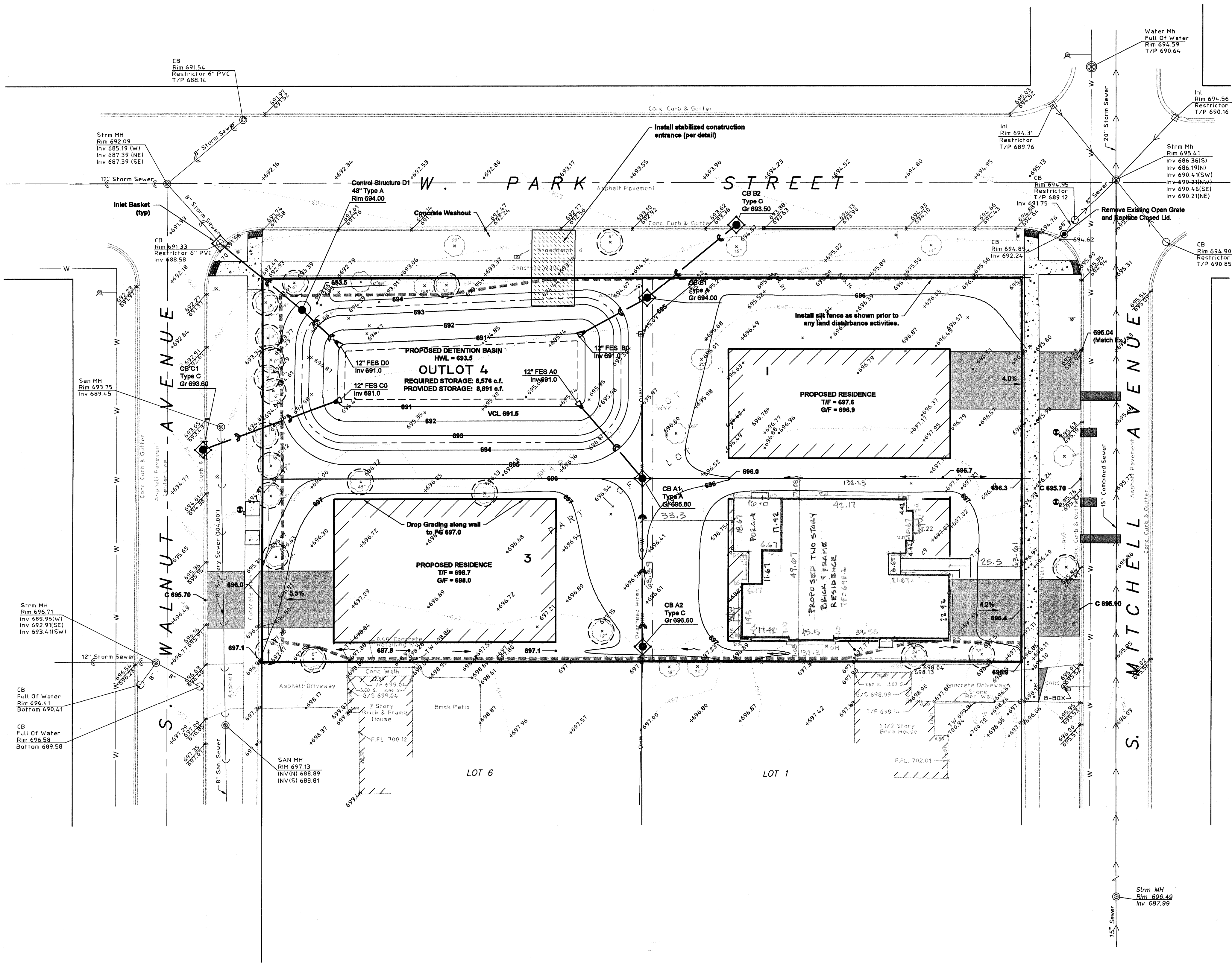
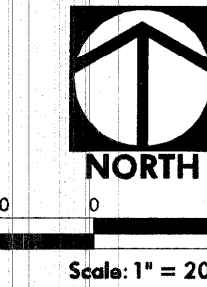
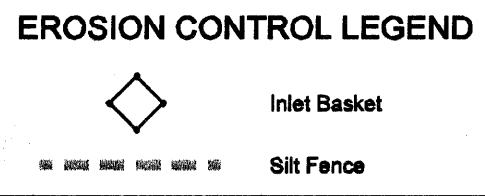


Scale: 1" = 20'

HAEGER ENGINEERING
 consulting engineers • land surveyors
 100 East State Parkway, Schaumburg, IL 60173 • Tel: 847.394.6600 Fax: 847.394.6608
 Illinois Professional Design Firm License No. 184-003132
 www.haegerengineering.com

GEOMETRY &
 PAVING PLAN
 WALNUT PARK SUBDIVISION
 JMC DEVELOPMENT
 504 S. MITCHELL AVE, ARLINGTON HEIGHTS

Project Manager: M.L.A.
 Engineer: M.L.A.
 Date: 01.30.2017
 Project No. 15-084 E
 Sheet 4 / 10



GRADING NOTES:

Downspouts and Sump Pumps from the proposed residences shall be connected to the on-site storm sewer system and routed into the detention pond.

HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60173 Tel: 847.394.6000 Fax: 847.394.6608
Illinois Professional Design Firm License No. 184-003152
www.haengerengineering.com

GRADING & EROSION CONTROL PLAN
WALNUT PARK SUBDIVISION
JMC DEVELOPMENT
504 S. MITCHELL AVE, ARLINGTON HEIGHTS

Project Manager: M.L.A.
Engineer: M.L.A.
Date: 01.30.2017
Project No. 15-084 E
Sheet 6

Design Review Application for 508 Mitchell Avenue



524 S. MITCHELL



520 S. MITCHELL



516 S. MITCHELL



508 S. MITCHELL



502 S. MITCHELL



432-435 S. MITCHELL
OUR LADY OF WAYSIDE

MITCHELL AVENUE



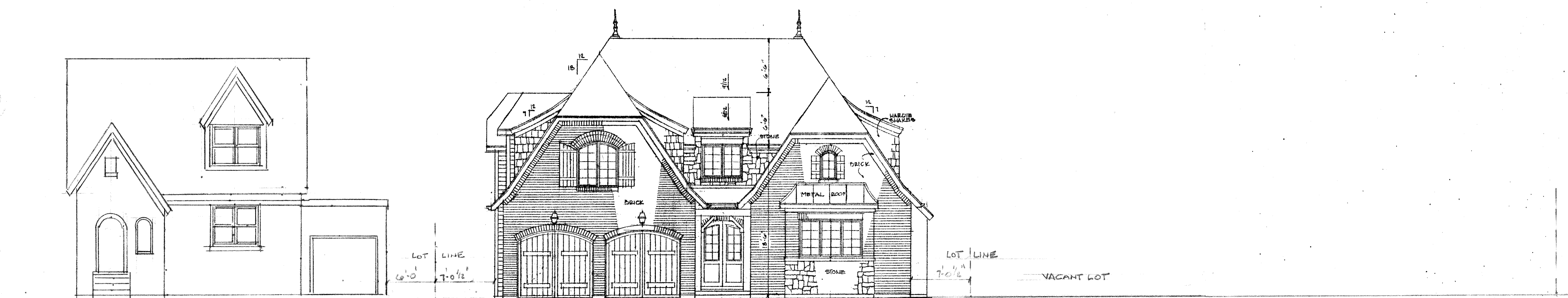
315 W. PARK



509 S. MITCHELL



515 S. MITCHELL

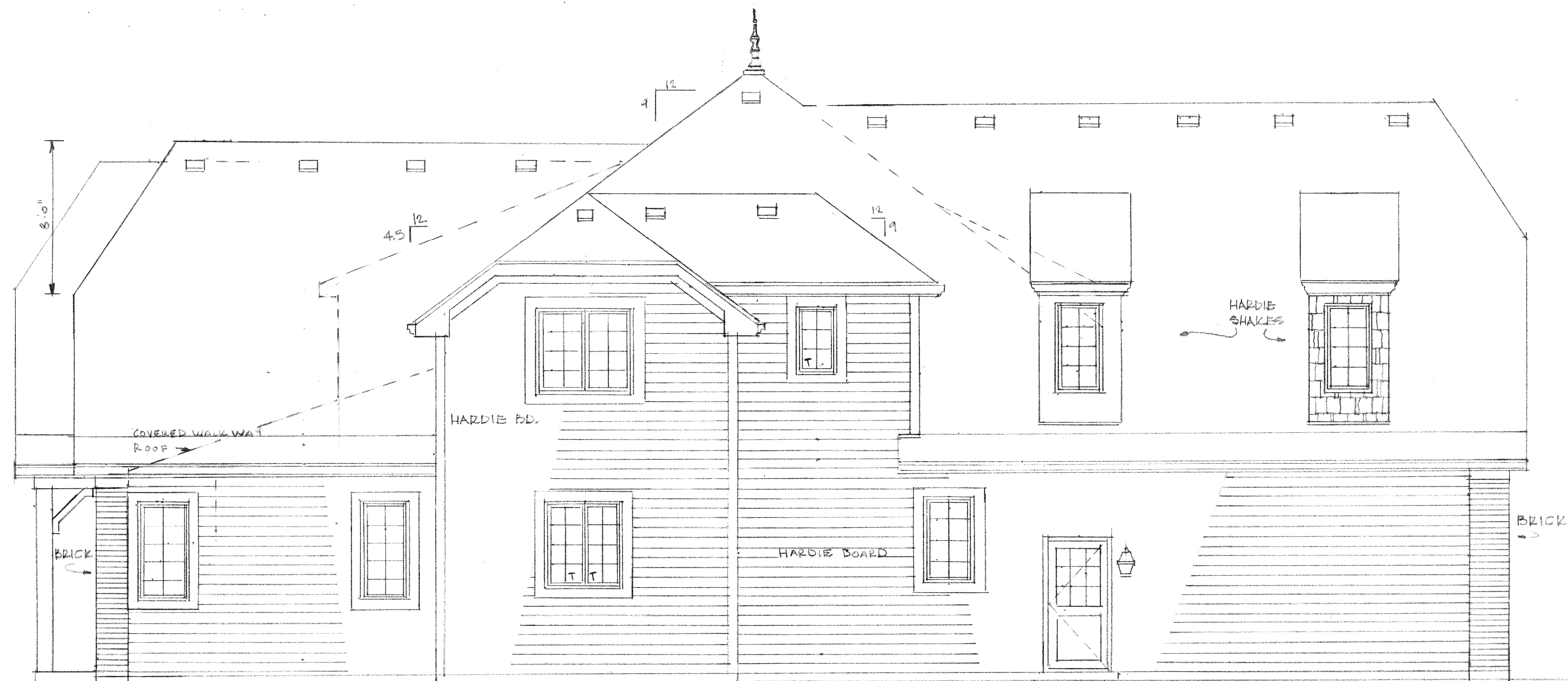


ELEVATION STUDY
1/8" = 1'-0"

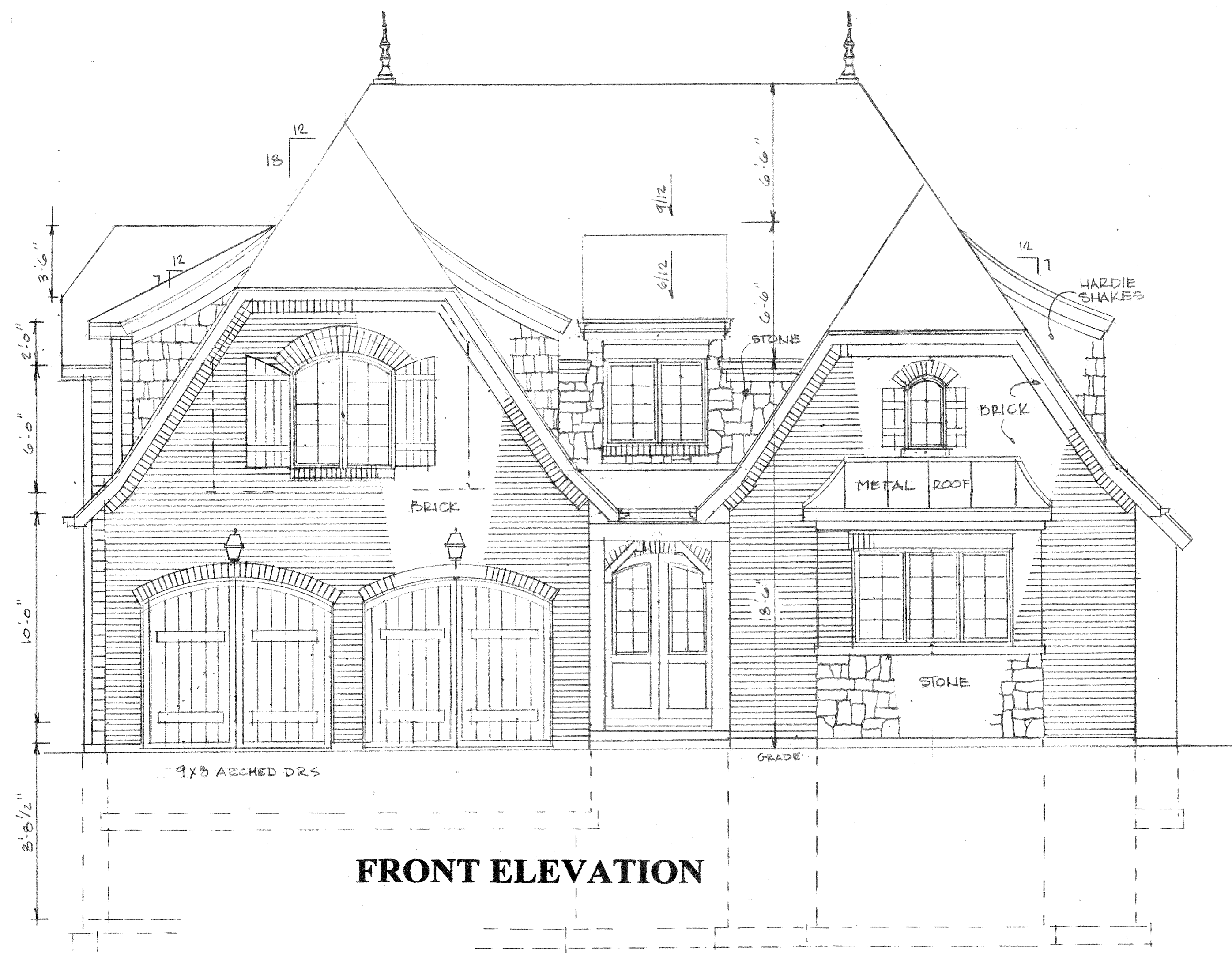
REVISIONS	BY

ARCHITECTS PLUS LTD 10 S 373 NORMANTOWN ROAD NAPERVILLE, IL. 60564 630-978-7670	THE JAQUAYS RESIDENCE 508 S. MITCHELL ARLINGTON HEIGHTS, IL.	S. PATTERMAN COMPANY 630-514-4235
--	--	--------------------------------------

Date	8-30-2009
Scale	1/8" = 1'-0"
Drawn	RS
Job	18-508
Sheet	5
Of	5 Sheets



LEFT ELEVATION



FRONT ELEVATION

ARCHITECTS PLUS LTD
10 S 373 NORMANTOWN ROAD
NAPERVILLE, IL. 60564
630-978-7670

THE JAQUAYS RESIDENCE
508 S. MITCHELL
ARLINGTON HEIGHTS, IL.

S. PATTERMAN COMPANY
630-514-4235

Date 8-30-2014
Scale 1/4" = 1'-0"
Drawn RS
Job 18-509
Sheet 1
Of 1 Sheets



**FOR REFERENCE ONLY –
SAME DESIGN WITH SIMILAR MATERIALS
BUILT IN ANOTHER COMMUNITY**



FOR REFERENCE ONLY –
SAME DESIGN WITH SIMILAR MATERIALS
BUILT IN ANOTHER COMMUNITY



Steve Pattermann
po box 5877
Naperville, IL. 60567
@630-514-4235
Pattermannbuild@gmail.com

BUILDERS since 1976

MATERIAL SCHEDULE for 508 Mitchell, Arlington Heights.

	Material	Manufacturer	Color
BRICK:	Clay,	Sioux city brick,	Williamsburg Adirondack
ROOF:	Asphalt Architectural	GAF	Hickory
SIDING:	Fiber Cement	James Hardie	Timber bark
TRIM/ EAVES:	Wood	James Hardie	Cobble stone
WINDOWS:	Wood/Aluminum	Andersen	Bronze
GARAGE DOOR:	Wood	Ideal Door	Medium wood stain
STONE:	Limestone	Buechel	Chilton Rustic