



Agenda
Village of Arlington Heights
Zoning Board of Appeals
Buechner Room, 1st Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
September 8, 2014
7:00 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Burlini Residence - 2146 N. Lake Shore Circle
- B. Bethke Residence - 705 E. Fairview St.
- C. Grave Residence - 516 E. Fairview St.
- D. Rosado Petition - 1510 E. Northwest Highway
- E. Dorn Residence - 1004 W. Oakton St.

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. ZBA#14-028 - Cerniglia Residence - 1256 E. Kensington Rd.
- B. ZBA#14-023 - Fornagiel Residence - 1124 W. Greenbriar Ct.
- C. ZBA#14-024 - Wagner Residence - 415 S. Windsor Dr.
- D. ZBA#14-025 - Horwath Residence - 1232 N. Race Ave.
- E. ZBA#14-026 - Salituro Residence - 404 N. Haddow Ave.
- F. ZBA#14-027 - Salhani Residence - 1302 S. Princeton Ave.

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Burlini Residence - 2146 N. Lake Shore Circle

Department: Planning & Community Development

Approval of Minutes and Findings from the 8/11/14 hearing.

ATTACHMENTS:

Description	Type
Minutes 8/11/14 - Burlini	Minutes
Findings 8/11/14 - Burlini	Minutes

DRAFT

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: BURLINI RESIDENCE - 2146 NORTH LAKE SHORE CIRCLE

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the
Arlington Heights Village Hall, 33 South Arlington Heights
Road, 1st Floor Beuchner Room, Arlington Heights, Illinois
on the 11th day of August, 2014, at the hour of 7:00 o'clock
p.m.

MEMBERS PRESENT:

TONY PETRILLO, Chairman
JOSEPH SELBKA
DAVID DIVITO
JOSEPH GEISEL
CARL ANFENSON
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Landscape Planner

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CHAIRMAN PETRILLO: All right. Good evening, ladies and gentlemen. We will call the August 11th, 2014 meeting of the Zoning Board of Appeals to order. The first order of business is the pledge of allegiance. If you could join us by standing and reciting the pledge of allegiance?

(Pledge of allegiance.)

CHAIRMAN PETRILLO: Derek, do you want to call the roll for the record?

MR. MACH: Chairman Petrillo.

CHAIRMAN PETRILLO: Here.

MR. MACH: Mrs. Livermore.

(No response.)

MR. MACH: Mr. Anfenson.

MR. ANFENSON: Here.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Here.

MR. MACH: Mr. Geisel.

MR. GEISEL: Here.

MR. MACH: Mr. Divito.

MR. DIVITO: Here.

MR. MACH: Mr. Selbka.

MR. SELBKA: Here.

CHAIRMAN PETRILLO: Next order of business is approval of minutes of our last Board meeting. And has everyone had a chance to review the minutes in the record? Are there any changes or amendments?

None being heard, all those in favor of approval, say aye.

(Chorus of ayes.)

CHAIRMAN PETRILLO: All those against?

(No response.)

CHAIRMAN PETRILLO: Motion passes. Next order of business is, do we have any reports, Derek?

MR. MACH: No, not at this time.

CHAIRMAN PETRILLO: No old business? We'll move on to new business. Tonight, you'll be asked to demonstrate to this Board, we will be weighing your petition, if you can show that a strict application of the terms and conditions of the Zoning Board regulations relating to the construction and alterations of your building or your structure will impose an unusual or practical difficulties and a hardship. So, you'll be asked tonight to address the hardship, what hardship is being pressed upon you if there is a strict imposition of the rules and whether or not

DRAFT

you'll be able to achieve a reasonable return on your investment, that the plight of the owner is due to unique circumstances, and the variation if granted will not alter the essential character of the neighborhood.

Does anybody have any questions on that criteria before we start? Okay. The first petition this evening, and I apologize, I don't have my glasses, is Burlini. If you would step forward? When you step forward, if you would please sign in if you haven't signed in, if you intend to speak or address any petition this evening. And then after you're done signing in, I will swear you in for your testimony.

MR. BURLINI: We're Sue and Joe Burlini.

CHAIRMAN PETRILLO: And have you signed in?

MRS. BURLINI: Yes.

MR. BURLINI: Yes.

CHAIRMAN PETRILLO: Okay. Could you state your name and address please?

MR. BURLINI: Sue and Joe Burlini, we live right now at 1407 East Fleming Drive South. Our new address --

MRS. BURLINI: 2146 Lake Shore Circle.

CHAIRMAN PETRILLO: Would you raise your right hand?
(Witnesses sworn.)

CHAIRMAN PETRILLO: Thank you. I'm sorry, you may proceed.

MR. BURLINI: Okay. We're looking to add a screened porch to our new residence, which we have not moved into yet. It's in Lake Arlington. What we need is another 8 feet on the existing patio. This is what it looks like at an angle. This is not ours but it's the same configuration. This is our present patio and our two sliding doors. It would be 16 by 16 feet.

MRS. BURLINI: About the same --

MR. BURLINI: And I think what we really want is a roof.

MRS. BURLINI: Yes.

CHAIRMAN PETRILLO: And what is the necessity? Why do you seek a variance to achieve this larger covered structure?

MRS. BURLINI: The 14 by 14?

MR. BURLINI: No, 16.

MRS. BURLINI: 16. Because we needed, I have this letter, actually it's from Rush Medical, I cannot be out in the sun. I've had mole surgery, I'll share with the Board.

Some of the people in our area have porches with screens on top. But when you are on a porch with a screen on top, obviously the rain comes down, sun comes down, and it protects you from nothing. So, with that in mind, I need a place where I can

DRAFT

be out of the sun. And one of the reasons we purchased this townhome was we have a view of Lake Arlington from the side of our property where the present deck is. But without being covered, it really wouldn't serve my purpose very well of not being out in the elements of the sun.

Many of our neighbors, a couple of them do have screened porches already. I don't know what their variance was for. But mine is strictly to stay out of the sun and be able to enjoy the views of beautiful Lake Arlington.

CHAIRMAN PETRILLO: And the existing size of the deck or structure is?

MR. BURLINI: 16 by 10.

CHAIRMAN PETRILLO: By 10. And that 16 by 10 building would not suit the needs to be able to sit in a covered outdoor space? Or what's the need for the larger footprint?

MR. BURLINI: Well, we don't get a view of the lake also. We get a very limited view.

MRS. BURLINI: This is, we took this picture to show you this is the view that we have if we moved out a little bit. We do have a daughter currently living in Arlington with three grandchildren. We have four more in Glenview. So, we're a larger group when we're all together and it would certainly accommodate all of our family rather than just being able to put two chairs. So, we could put a table out there and a couple more chairs for everybody to enjoy.

CHAIRMAN PETRILLO: So, for medical reasons and size of the family so if they come over and gather, and even if it were 16 by 10, if you put anything out there where you could be comfortable, it's probably a little bit smaller, is that what you're saying?

MR. BURLINI: Yes.

CHAIRMAN PETRILLO: Okay. All right.

MRS. BURLINI: And that would certainly accommodate our grandchildren and we have our daughter and son-in-law in Arlington.

MR. BURLINI: We're right at the corner of the east end of the lake. So, we get a beautiful view of the sunset on the lake.

MRS. BURLINI: And this is behind us right here. And there's a berm, so we're really not infringing on anyone else's backyard. And next door to us, they have quite a large deck already but it's not covered.

MR. BURLINI: And it goes way beyond our deck.

CHAIRMAN PETRILLO: Are there any questions from members of the Board?

DRAFT

MR. SIAVELIS: And your property line, that rear property line is irregular, correct? That tapers in?

MR. BURLINI: Here, it's right here.

MR. ANFENSON: It's shown there on the plat. We don't know the distance if it were --

MR. SIAVELIS: Squared off.

MR. ANFENSON: Squared off, yes. Do you know what the distance would be from the farthest point of the lot?

MR. BURLINI: No.

MR. SIAVELIS: But that may not be germane because it looks like they're inside the setback anyway with such a close variance.

MR. GEISEL: This is, isn't this the setback?

MR. SIAVELIS: That's the setback, yes. So --

MR. GEISEL: They're well within.

MR. SIAVELIS: Well within, right, so that's not germane.

MR. BURLINI: Do you want to see this also?

CHAIRMAN PETRILLO: Are there any other questions?

MR. ANFENSON: Were you able to speak with the neighbors?

MR. BURLINI: Yes.

MR. ANFENSON: Any comments? Any problems?

MR. BURLINI: Well, actually the neighbor next to us east is going to do the same thing we're doing over there.

MRS. BURLINI: They're going to --

MR. BURLINI: So, they'll be in next. And we have one three doors north on the lake and they've done this. They have already gotten their variance. Theirs is three times the size of ours.

CHAIRMAN PETRILLO: Any other questions from members of the Board? None being heard, is there anyone in the audience that would like to speak to this petition? None being heard, we'll close this and open this to Board comments.

Having reviewed the letter that was provided, medical letter that was provided, I see the necessity for being able to spend time outside and have some coverage. I don't think that there are any encumbrances or any inconveniences it would cause to any of the neighbors. And this will probably enhance the property value as well as others around it. So, those are my feelings. Any other member of the Board?

MR. BURLINI: Can I make a comment? Our present home is in North Gate. We've lived there 40 years in the same home. We built an Amish gazebo because of this with, you know, a beautiful roof and everything.

DRAFT

MR. ANFENSON: Well, Tony, I agree with your comments.
I now make a motion to approve.

MR. DIVITO: I'll second it.

CHAIRMAN PETRILLO: We have a motion to approve and a
second. Derek?

MR. MACH: Mr. Divito.

MR. DIVITO: Yes.

MR. MACH: Mr. Geisel.

MR. GEISEL: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Mr. Anfenson.

MR. ANFENSON: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Chairman Petrillo.

CHAIRMAN PETRILLO: Yes. Your variance is granted,
good luck.

MRS. BURLINI: Thank you.

MR. BURLINI: Thank you very much.

MRS. BURLINI: May I have the medical letter back or
would you --

MR. MACH: I do need to make a copy.

MRS. BURLINI: Okay, could you just make a copy and
then give it back?

MR. MACH: Sure, sure.

MRS. BURLINI: Thank you very, very much. We
appreciate it.

CHAIRMAN PETRILLO: Good luck to you.

MRS. BURLINI: You're all welcome to come sit in it
sometime.

MR. BURLINI: Yes, please.

CHAIRMAN PETRILLO: Can we fish at the lake, too?

MRS. BURLINI: Yes, why not?

(Whereupon, the public hearing on the
above-mentioned petition was adjourned
at 7:15 p.m.)

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ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS August 11, 2014

PETITIONER: Burlini Residence
ADDRESS OF PROPERTY: 2146 N. Lake Shore Circle
VARIATION: 5.1-4.5, 5.4 (Required Minimum Yards, Table of Required Minimum Yards)

A 14' variance to allow a porch with a rear yard setback of 16' instead of the minimum required 30' and an additional 1' for the eave and gutter.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they are proposing a screened porch that is encroaching into the required rear yard setback. The petitioner testified that due to health concerns they need to limit their exposure to the sun.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Anfenson and seconded by Mr. Siavelis. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Anthony Petrillo, Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: Bethke Residence - 705 E. Fairview St.

Department: Planning & Community Development

Approval of Minutes and Findings from 8/11/14 hearing.

ATTACHMENTS:

Description	Type
Minutes 8/11/14 - Bethke	Minutes
Findings 8/11/14 - Bethke	Minutes

DRAFT

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: BETHKE RESIDENCE - 705 EAST FAIRVIEW STREET

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the
Arlington Heights Village Hall, 33 South Arlington Heights
Road, 1st Floor Beuchner Room, Arlington Heights, Illinois
on the 11th day of August, 2014, at the hour of 7:15 o'clock
p.m.

MEMBERS PRESENT:

TONY PETRILLO, Chairman
JOSEPH SELBKA
DAVID DIVITO
JOSEPH GEISEL
CARL ANFENSON
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Landscape Planner

DRAFT

CHAIRMAN PETRILLO: Next in the agenda is the Bethke, if I pronounced that correctly.

MRS. BETHKE: Yes, Bethke. Do we sign in here?

CHAIRMAN PETRILLO: Yes, please. And then I'll swear you in.

MRS. BETHKE: Okay, we're in.

CHAIRMAN PETRILLO: Are you signed in, sir?

MRS. BETHKE: Oh, I signed for him.

MR. BETHKE: I am.

CHAIRMAN PETRILLO: Could you state your name and address for the record please?

MRS. BETHKE: Jane Bethke, 705 East Fairview.

MR. BETHKE: Neil Bethke, 705 East Fairview.

CHAIRMAN PETRILLO: And I'll swear you in.

(Witnesses sworn.)

CHAIRMAN PETRILLO: Thank you.

MRS. BETHKE: Hello, are you ready for us?

CHAIRMAN PETRILLO: Yes.

MRS. BETHKE: Okay. Thank you for your time tonight. We are looking to replace an existing 6-foot fence with another 6-foot fence. And our situation is we are on a corner, at the corner of Fairview and Newbury. And this fence has been there but it's getting a little rundown and we'd like to replace it with a nicer fence.

I have some pictures so that you can see. I hope you have these but these are just, this is our home, just so you see how close we are set to the street. And our lot, the back of our lot is, that's the fence and that's the back of the lot and that's our neighbor's house.

Okay. We've lived in this house for 15 years and we've lived in Arlington for 25 years. So, we lived across the street. And the fence picture that you have in your packet is what we're looking to put up.

We've talked to, we had a little meeting with our neighbors with the plan. You have the plan, too, our landscape plan?

CHAIRMAN PETRILLO: Yes, we do.

MRS. BETHKE: Okay. Okay, and so we had a little get-together with our neighbors. And Anna is the neighbor directly, you know --

MR. BETHKE: To the south of us.

MRS. BETHKE: Exposed to the south of us. And the hardship is that without this fence, we are seeing right into each other all the time. It's our living space. We have a large dining room, a large bay window and with windows on the side. We

DRAFT

spend a lot of time there. Next to our dining room is the kitchen, and then the other side is the living room. And it's front to back windows, 88-inch windows that look right onto her family room and driveway.

And so, we're just looking to, like I said, replace the existing fence just because we're short but we even see through, you know, quite a bit already now with a 6-foot fence. So, a 5-foot fence, we would literally be seeing her patio, every in and out of her driveway. She has young children.

We have one child left at home. And it's just the daily interaction is, there's a lot of exposure there on the corner lot with our backyard being right on her driveway.

I have a letter here from her and she does support it. She thinks it would be great. So, if you would like to see it?

CHAIRMAN PETRILLO: If you could --

MR. ANFENSON: Oh, sorry.

MRS. BETHKE: Okay. No, not that one. Let me get that, okay.

MR. MACH: Thank you.

MR. BETHKE: You want these?

CHAIRMAN PETRILLO: No, thank you. I forgot my glasses.

MRS. BETHKE: Yes, he does that all the time.

CHAIRMAN PETRILLO: Just one quick question. The fence is there, there really is no airflow through either as existing or the proposed. What would this fence accomplish that a combination of a fence and a landscaping could not accomplish insofar as a visual barrier?

MRS. BETHKE: We don't have a lot of space. I mean truly the back of our house, we've got a couple of feet. And so, to put a tree or something would be like kind of invasive. We had our plan done and John Fitzgerald did our plan and he likes plants and he didn't give us plants to screen there hoping that we can get this fence.

The other thing is that our current 6-foot fence is a picket fence, and this does have, what we're looking at is the spindles on the top which will give more airflow than what we currently have.

MR. BETHKE: So, the solid part of the fence comes up to 5 feet and then that last foot is the spindles across the top.

CHAIRMAN PETRILLO: Right now it's 6 solid all the way?

MRS. BETHKE: 6 solid.

MR. BETHKE: Now it's 6 solid all the way up straight, yes.

DRAFT

CHAIRMAN PETRILLO: Okay. Are there any questions from any member of the Board for the Petitioners?

MR. SIAVELIS: Have you talked to any of your other neighbors besides the --

MRS. BETHKE: Yes. Yes, we've talked to almost all of our neighbors. They just think, you know, our plan, they like our plan. They've seen our plan. The neighbors directly to the east of us, he works for the Village, so he isn't here and not writing a letter. But they support it and, you know, they're excited for us. But no one but Anna is really, the one on the south is really affected greatly by it because it's behind our house, it's just the screen for our house.

CHAIRMAN PETRILLO: Any other questions? Is there anybody in the audience that wishes to speak to this petition? None being heard, we'll open this up for Commissioners' comments.

MR. DIVITO: Let's just vote.

CHAIRMAN PETRILLO: Yes. I don't see any issues as this is already an existing barrier that's in place to protect the lot. And there will be more airflow.

MR. SIAVELIS: Right, they're coming closer to the spirit of the code with this.

CHAIRMAN PETRILLO: Right. So, I don't see any issues with this.

MR. DIVITO: No.

CHAIRMAN PETRILLO: Is there a motion on the floor?

MR. DIVITO: I'll motion to approve.

CHAIRMAN PETRILLO: Motion to approve. Is there a second?

MR. SELBKA: Second.

CHAIRMAN PETRILLO: There is a second. Roll call?

MR. MACH: Mr. Anfenson.

MR. ANFENSON: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Mr. Divito.

MR. DIVITO: Yes.

MR. MACH: Mr. Geisel.

MR. GEISEL: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Chairman Petrillo.

CHAIRMAN PETRILLO: Yes.

MR. BETHKE: Thank you.

MRS. BETHKE: Thank you very much.

CHAIRMAN PETRILLO: Good luck to you, thank you.

DRAFT

MRS. BETHKE: You may come over any time for coffee.
(Whereupon, the public hearing on the
above-mentioned petition was adjourned
at 7:20 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS August 11, 2014

PETITIONER: Bethke Residence
ADDRESS OF PROPERTY: 705 E. Fairview Street
VARIATION: 6.13-3b (Location of Fences)

A 1' variance to allow an increase to the maximum fence height from 5' to 6' for a fence located along the interior side property line; and a variation to allow a solid fence along the interior side property line where only a semi-open or open fence is permitted.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner testified that they are proposing to replace an existing six foot high fence with a new six foot high fence. The petitioner testified that the top one foot of the fence is constructed out of a lattice material and will not be solid.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Divito and seconded by Mr. Selbka. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Anthony Petrillo, Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: Grave Residence - 516 E. Fairview St.

Department: Planning & Community Development

Approval of Minutes & Findings from 8/11/14 hearing.

ATTACHMENTS:

Description	Type
Minutes 8/11/14 - Grave	Minutes
Findings 8/11/14 - Grave	Minutes

DRAFT

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: GRAVE RESIDENCE - 516 EAST FAIRVIEW STREET

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the
Arlington Heights Village Hall, 33 South Arlington Heights
Road, 1st Floor Beuchner Room, Arlington Heights, Illinois
on the 11th day of August, 2014, at the hour of 7:20 o'clock
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MEMBERS PRESENT:

TONY PETRILLO, Chairman
JOSEPH SELBKA
DAVID DIVITO
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CARL ANFENSON
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Landscape Planner

DRAFT

CHAIRMAN PETRILLO: The next petition on the agenda is the Grave Residence. If you would step forward and sign in? And then I'll swear each of the individuals wishing to address the Board.

MR. CRAIG: We are signed in.

CHAIRMAN PETRILLO: You know what, if you want to just slide two chairs forward facing together?

MR. CRAIG: Sure.

CHAIRMAN PETRILLO: And I think have you sit on that.

(Pause.)

CHAIRMAN PETRILLO: This is going to make a great school project.

MR. CRAIG: It is.

CHAIRMAN PETRILLO: Have you each signed in?

MR. CRAIG: I did.

CHAIRMAN PETRILLO: If you would just state your name and address?

MS. BERG: I'm Kari Berg with Construction Design Architects, 249 East Prospect Avenue, Mount Prospect.

MR. SHIMOSAWA: Yasuji Shimosawa, same with Construction Design, too.

MR. CRAIG: My name is Craig Grave, I'm the homeowner, 516 East Fairview.

CHAIRMAN PETRILLO: I'll swear you three in.

(Witnesses sworn.)

MS. BERG: Okay, we're --

CHAIRMAN PETRILLO: Ma'am?

MS. BERG: Yes. We are seeking a variance at 451.1 square feet to increase the allowed FAR by adding 198 square-foot addition on the second floor without increasing the footprint of the home. I would like to make a brief presentation about the three review standards.

CHAIRMAN PETRILLO: Please, go ahead.

MS. BERG: Okay. Our hardship, number one, is the practical difficulty of the home. It's the inadequate second floor configuration. This is the existing floor plan. We have the two bedrooms that have a Jack and Jill bathroom. There is an in-law suite with, well, the in-laws stay here. There is currently a laundry room in this back corner. So, we believe that that is most of their hardship that we can't, we have inadequate circulation to the back bedroom. As you can see, it's an unsafe condition.

There's young children that is a boy and a girl. They need to have privacy. And the in-laws come from out of town.

MR. CRAIG: Correct.

DRAFT

MS. BERG: And they need to have their own bathroom. And also, we can't be coming in to the rear laundry back here through the bedroom, through the next bedroom to the laundry. We would like to make a central laundry room.

Lastly, the master bedroom we believe needs to stay where it is because it's at the top of the stairs. It's also accessible to an existing roof deck. We don't want to put the children's bedrooms on this side, we want to leave the children's bedrooms here. So, there, what we need is to cut the corner right through here to get back to this rear bedroom. It wouldn't leave enough room to try and move the master in this area, so we have to leave the master in there.

We're also asking to move the laundry to more of a central location. So, therefore, our solution to the hardship is to remodel the second floor as you see here. So, what we did is we added a 198 square-foot addition to the back here, moving the laundry room to the central location, straightening the corridor, now providing a separated Jack and Jill bathroom for the boy and the girl, and also creating a private bathroom for the out-of-town parents that come in to stay.

We can ask Mr. Grave to fill the void as to the unique conditions, this hardship.

MR. CRAIG: So, we feel that where the existing master bedroom is is where it should be, it's at the top of the stairs. It is the entry point to and from the upstairs. And as described, if you were to try to create this into a master bedroom and bath, it's not the size of the existing master bedroom. So, it would be a very small master bedroom. It would also be on the same side of the house as the kids and I do want to have a little separation from the kids from their bedrooms.

And also, we have this roof deck here that has some concerns. So, our kids are 8 to 10 years old. The railing on it, there's a door that accesses that and there's a railing on that that's not, you know, weight bearing. And as the kids get older, we certainly don't want to have another entry and exit point out of the house.

CHAIRMAN PETRILLO: So, the shaded area, the shaded area with the hash marks, that's currently just a roof line?

MR. CRAIG: Yes.

MS. BERG: Yes.

CHAIRMAN PETRILLO: And on the opposite side of the home, there's still a roof line that you could expand into if you wish but you're not asking to expand into that area, correct?

MS. BERG: You mean right here?

CHAIRMAN PETRILLO: Right. So, you're not taking,

DRAFT

because there's an existing structure underneath there --

MR. CRAIG: Sure, because we're not going back here.

CHAIRMAN PETRILLO: You could build on it if you turn that around, right.

MR. CRAIG: Correct.

CHAIRMAN PETRILLO: Yes, if you turned it around. So, I guess my point is you're taking what you need and not overextending to where your FAR would really be --

MR. CRAIG: Correct.

CHAIRMAN PETRILLO: -- exceeding, in my opinion exceedingly high.

MR. CRAIG: Yes. So, we're just adding just this little section right there because this exists today.

CHAIRMAN PETRILLO: But the rest of this, now just the rest of that, the structure that's underneath, is it sufficient and weight-bearing? Or do you have to do work down to double up any --

MR. CRAIG: No, it is sufficient.

CHAIRMAN PETRILLO: And that would be true of the other end of the house that you're not going to build on that, that is structurally buildable but you're not asking for that?

MR. CRAIG: No.

MS. BERG: No. It probably would have been close to the same square footage anyhow in your instance.

CHAIRMAN PETRILLO: I'm saying you could take not one or the other but both is my point.

MS. BERG: Right. And then, as far as the character of the surrounding homes and bringing this elevation here into a traditional, actually we believe that we are bringing this elevation more into a traditional Georgian look, which is a four-sided box. This side is already that four-sided box, we're bricking the whole thing, so actually we believe that we are actually adding a nice character to the home.

MR. CRAIG: And in addition, we have the support of all the surrounding neighbors. So, our neighbors have signed petitions, which I have a couple of extra signatures that I've got with me today that weren't included.

CHAIRMAN PETRILLO: Yes, if you would like to submit those.

MR. CRAIG: Sure.

CHAIRMAN PETRILLO: We can make them part of the record.

MR. CRAIG: Yes, absolutely.

MR. MACH: Just pass them.

MR. CRAIG: Sure.

DRAFT

MR. SIAVELIS: And just to clarify, I want to make sure the record is clear on this point, the existing second story for that bedroom on the, as is pointed out on the left here, you cannot access that in that laundry room but for going through the --

MR. CRAIG: Yes.

MS. BERG: Right.

MR. SIAVELIS: So, there is no hallway access in the existing configuration.

MS. BERG: No.

MR. SIAVELIS: Certainly with that, in your bedroom or the laundry room, correct?

MR. CRAIG: Correct. It worked when my kids were 1 and 2.

MR. SIAVELIS: It doesn't work so much now.

MR. CRAIG: Less so now that they're getting older and they're --

CHAIRMAN PETRILLO: And is there any reason why you couldn't accomplish, that's going to be adding a bedroom, correct?

MR. CRAIG: No, there would be no bedroom added. It would just be --

CHAIRMAN PETRILLO: No, where the hash, is that --

MR. SHIMOSAWA: Bathroom.

MS. BERG: We're creating a walk-in closet in the master bathroom.

CHAIRMAN PETRILLO: Oh, that's the master bath.

MS. BERG: We took away this bathroom.

MR. CRAIG: Yes.

MS. BERG: That was a smaller bathroom and we made it into that central laundry and that was the master bath.

CHAIRMAN PETRILLO: Oh, okay. Okay.

MS. BERG: So, that's the main reason why we had to do that.

CHAIRMAN PETRILLO: So, you can't, to get this space or this reconfiguration, you can't achieve that by remodeling the first floor?

MR. CRAIG: No, there is no place on the first floor for a bedroom.

CHAIRMAN PETRILLO: How often do the out-of-town guests or in-laws --

MR. CRAIG: Well, it's friends and family. So, I'm from downstate, I have four brothers and sisters that visit with some frequency. Every couple of months we have somebody visiting.

CHAIRMAN PETRILLO: And how old are your children?

MR. CRAIG: 8 and 10.

DRAFT

CHAIRMAN PETRILLO: 8 and 10. Which school do they go to?

MR. CRAIG: Triton.

CHAIRMAN PETRILLO: Triton.

MR. SIAVELIS: How long, Craig, have you lived in this house?

MR. CRAIG: We moved in in 2005. We bought the home and we've done some superficial, external renovation as some of you may know that have gone by.

CHAIRMAN PETRILLO: Any other questions from the Board for the Petitioners?

MR. SELBKA: Is there an issue with the fire separation distance with one of the houses? I know there was one comment here that the proposed addition was going to require fire separation distance. Could you explain that?

MR. SHIMOSAWA: Oh, that's the, yes, it doesn't change any setback, the 5 feet setback. We don't touch any setback, with the foundation, same elevation, same location as existing.

MR. SELBKA: So, it already intrudes on the house --

MR. SHIMOSAWA: Already, yes.

MR. SELBKA: The house already intrudes on the fire separation distance?

MR. SHIMOSAWA: Yes.

MR. SELBKA: Okay.

MR. SHIMOSAWA: All that's at the back --

MS. BERG: It all remains the same, correct.

MR. SHIMOSAWA: All the same. And they are existing, we're going to --

MR. SELBKA: Okay.

CHAIRMAN PETRILLO: And Derek, correct me if I'm wrong, and I made the assumption because of the construction of it being brick and so forth, it meets the fire ratings? And then whatever the roof line that's already there existed, it's just being moved up higher --

MR. MACH: Right.

CHAIRMAN PETRILLO: -- so that would still maintain the fire ratings necessary for the buildings to be collocated in that area?

MR. MACH: Correct. And the Building Department is saying if necessary, they'll have to comply.

CHAIRMAN PETRILLO: Are there any other questions for the Petitioners? None being heard, is there anyone in the audience that wishes to address this petition? If you would sign in when you step forward and then I'll swear you in?

DRAFT

If you'd state your name and address, sir?

MR. NIERMAN: My name is Judson Nierman, I live at 600 East Fairview.

CHAIRMAN PETRILLO: Can I swear you in?

MR. NIERMAN: Yes.

(Witness sworn.)

CHAIRMAN PETRILLO: Thank you.

MR. NIERMAN: My name again is Judson Nierman, and I actually live just east of the subject property at 600 East Fairview, so just on the other side of, well, there's my house there. And I have seen the plans themselves and I just wanted to sit there and say that I have no objections and I think that it would be a nice addition to the property and in character with the surrounding homes.

CHAIRMAN PETRILLO: Okay, thank you very much.

MR. NIERMAN: Thank you.

CHAIRMAN PETRILLO: Is there anyone else here in the audience that wishes to be heard? None being heard, we will close that and open it to Commissioner comments.

MR. SIAVELIS: I'll start. I think this is reasonable. It is kind of a strange layout in the second story, and reconfiguring seems to make sense. He's not going out all the way to the first floor boundaries, he's staying within the normal locations. I think this is pretty minimalistic compared to what he could be doing, you know, if he was going, if he was expanding out to the first floor boundaries. So, I'm in support of it.

MR. DIVITO: And there's really limited options when you look at the first floor plan as well.

CHAIRMAN PETRILLO: I would agree and I appreciate that we're not taking more and extending the floor area ratios even greater. And if they decide at a later date, they'll be back before us again.

Is there a motion on the floor?

MR. DIVITO: I'll move.

CHAIRMAN PETRILLO: Is there a second?

MR. ANFENSON: I'll second.

CHAIRMAN PETRILLO: We have a motion and a second. Roll call please.

MR. MACH: Mr. Anfenson.

MR. ANFENSON: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Mr. Divito.

MR. DIVITO: Yes.

MR. MACH: Mr. Geisel.

DRAFT

MR. GEISEL: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Chairman Petrillo.

CHAIRMAN PETRILLO: Yes. Congratulations.

MR. CRAIG: Can I say a word? Because it's a bathroom, I won't have any of you over. I do have a nice patio and we could have a glass of wine there. Thank you very much, I appreciate it.

CHAIRMAN PETRILLO: All right, good luck.

(Whereupon, the public hearing on the
above-mentioned petition was adjourned
at 7:35 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS August 11, 2014

PETITIONER: Grave Residence
ADDRESS OF PROPERTY: 516 E. Fairview Street
VARIATION: 5.1-3.7, 5.3-3.2, 5.3-2 (Maximum Floor Area Calculation for SF Lots in R-3, Floor Area Ratio, Building Coverage, Height))

A 451.1 SF variance to allow a Floor Area Ratio of 3,413 SF instead of the maximum allowed 2,961.9 SF.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner testified that they are proposing a second story addition that will not expand the footprint of the home. The petitioner further testified that the second floor configuration is inadequate. The petitioner explained that the existing roof deck is not appropriate adjacent to the children's bedrooms and in order to reconfigure the floor plan, the addition is necessary.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Siavelis and seconded by Mr. Divito. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Anthony Petrillo, Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: Rosado Petition - 1510 E. Northwest Highway

Department: Planning & Community Development

Approval of Minutes and Findings from 8/11/14 hearing.

ATTACHMENTS:

Description	Type
Minutes 8/11/14 - Rosado	Minutes
Findings 8/11/14 - Rosado	Minutes

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ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: ROSADO PETITION - 1510 EAST NORTHWEST HIGHWAY

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the
Arlington Heights Village Hall, 33 South Arlington Heights
Road, 1st Floor Beuchner Room, Arlington Heights, Illinois
on the 11th day of August, 2014, at the hour of 7:35 o'clock
p.m.

MEMBERS PRESENT:

TONY PETRILLO, Chairman
JOSEPH SELBKA
DAVID DIVITO
JOSEPH GEISEL
CARL ANFENSON
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Landscape Planner

DRAFT

CHAIRMAN PETRILLO: Our next item on the agenda is the Rosado petition.

If you gentlemen would, you're both signed in?

MR. MOORE: We did, yes.

CHAIRMAN PETRILLO: If you would state your name and address?

MR. MOORE: I'm Tom Moore and I'm Mr. Rosado's attorney.

CHAIRMAN PETRILLO: And Mr. Rosado?

MR. ROSADO: My address?

CHAIRMAN PETRILLO: And where do you reside, sir?

MR. ROSADO: 1144 South Dalton, Arlington Heights.

CHAIRMAN PETRILLO: Can I swear you in?

MR. MOORE: As an attorney --

(Witnesses sworn.)

CHAIRMAN PETRILLO: I don't believe attorneys, I believe they know how to count the meter but we'll hold you to a different standard.

MR. MOORE: Okay. What I would do is ask him questions to put in the evidence, if that's --

CHAIRMAN PETRILLO: Okay.

MR. MOORE: Is that okay?

CHAIRMAN PETRILLO: And however you wish to proceed, that's fine.

MR. MOORE: I mean, and then he can answer questions, too.

CHAIRMAN PETRILLO: Yes, okay.

MR. MOORE: So, you've told them your name, right?

MR. ROSADO: Yes.

MR. MOORE: And where do you currently live?

MR. ROSADO: The address?

MR. MOORE: Where you currently live.

MR. ROSADO: Yes.

MR. MOORE: Did you tell them that?

MR. ROSADO: Yes.

MR. MOORE: Okay. And that's a single family house where you currently live?

MR. ROSADO: Yes, sir.

MR. MOORE: And you're ready, your children are all gone, you're ready to downsize? You've got to answer verbally, tell them. You can talk to them.

MR. ROSADO: Yes. Right.

MR. MOORE: And how long have you lived on the Dalton Street address?

MR. ROSADO: From 1986.

DRAFT

MR. MOORE: Okay. And in June, you purchased this five-unit building, is that right?

MR. ROSADO: Yes.

MR. MOORE: And the idea is that you and your wife will move in to one unit and then you'll have the rents of the other units to support you in your retirement?

MR. ROSADO: Correct.

MR. MOORE: And because of taxes and other reasons, this made economic sense to you?

MR. ROSADO: Yes.

MR. MOORE: Okay. And the lot on the five-unit is an odd-shaped lot, is that right?

MR. ROSADO: Right.

MR. MOORE: And you didn't create that, that's the way it was, right?

MR. ROSADO: Right.

MR. MOORE: And also, the building is 50 years old and more, is that right?

MR. ROSADO: Right.

MR. MOORE: And again, you didn't build that, that's just the way it is, right?

MR. ROSADO: Exactly.

MR. MOORE: But it's never had a garage, is that right?

MR. ROSADO: Never.

MR. MOORE: Except for one condo, all the other buildings in the neighborhood have garages, right?

MR. ROSADO: Yes.

MR. MOORE: And how old are you?

MR. ROSADO: 76.

MR. MOORE: And how old is your wife?

MR. ROSADO: She's 72.

MR. MOORE: Okay. And you would like to have a garage so you can go, especially in the winter, go straight from your apartment straight into the garage, is that right?

MR. ROSADO: Yes.

MR. MOORE: So you don't have to go out in the ice and snow, is that right?

MR. ROSADO: Correct.

MR. MOORE: And because of the buildings there, there is no place on this lot to put a garage except along the back by the alley, is that right?

MR. ROSADO: That's right.

MR. MOORE: And also, you would have an extra spot or two for the other elderly people in the building, is that right?

MR. ROSADO: Yes. There's about two or three more

DRAFT

senior citizens living there.

MR. MOORE: Okay. And so, and you're not doing this purely for economic reasons but it would be necessary for your health and safety as you see it, is that right?

MR. ROSADO: That's correct.

MR. MOORE: Through a better use of the building.

MR. ROSADO: Exactly.

MR. MOORE: And you're going to have your architect comply with all other ordinances and codes of Arlington Heights, is that right?

MR. ROSADO: Yes, sir.

MR. MOORE: Did I miss anything?

MR. ROSADO: The variance.

MR. MOORE: Well, and this isn't going to change the essential character of the neighbor as everyone else has garages, is that right?

MR. ROSADO: That's right.

MR. MOORE: That's all I have.

CHAIRMAN PETRILLO: Your statement that everybody have garages is not true because there's a set of apartments right next to you that there are no garages.

MR. ROSADO: Oh, yes. The condo next --

MR. MOORE: Well, when I first asked the question, I said except for the one condo.

CHAIRMAN PETRILLO: Okay.

MR. MOORE: I'm not trying to mislead you.

CHAIRMAN PETRILLO: Well, I live in that neighborhood. I've had my son, we ride our bikes down that alleyway all the time, so I'm very familiar with that area.

Are there any questions? Oh, I have one question for you. This structure, if your variance is approved and it is built, will that escalate or increase the rent to any of the tenants?

MR. ROSADO: No.

CHAIRMAN PETRILLO: The rent will remain the same?

MR. ROSADO: Maintain the same.

CHAIRMAN PETRILLO: Are there any other questions from any other member of the Board?

MR. GEISEL: Have you received any feedback from any surrounding neighbors?

MR. ROSADO: No, I did receive two letters back but people don't --

MR. MOORE: They didn't pick them up?

MR. ROSADO: They didn't pick them up or they moved or something.

DRAFT

MR. GEISEL: Okay.

MR. MOORE: But you sent out notice and you didn't hear any objections?

MR. ROSADO: No, nothing whatsoever.

MR. GEISEL: Okay. If you were to receive approval, there is no loss of parking, the same number of spaces exist?

MR. ROSADO: I only have one there.

MR. GEISEL: You have one.

MR. MOORE: So, there will be two per unit?

MR. ROSADO: Exactly.

CHAIRMAN PETRILLO: And how many vehicles will this house?

MR. ROSADO: I'm going to try to store two vehicles. In order to do maintenance in the building, right now I can't, I'll have a tractor to cut the grass and maybe the snow. And there are small tools.

MR. MOORE: So, two vehicles and some storage area?

MR. ROSADO: Some storage area.

CHAIRMAN PETRILLO: Will both those vehicles be yours?

MR. ROSADO: Well, one for sure is going to be mine. I have two vehicles, one for sure. The other one will probably be one of the tenants. If they have a problem with the snow, I have two tenants, which are 80-some years old, and probably I'll let them use the garage to try, so they don't move out from me.

CHAIRMAN PETRILLO: Are there any other questions from any other members of the Board? None being heard, is there anyone in the audience who would like to address this petition? None being heard, we'll open it up to Board comments.

MR. ANFENSON: I have to say definitely it's an understandable request. It seems to make it a reasonable condition, I think he's done a nice job, the design of it and the placement of it. I don't see a problem.

CHAIRMAN PETRILLO: And as I stated to the Petitioner, my son and I, we ride our bikes up and down the alleyway that carries I think all the way over near Mariano's and at least over, I think that's over to Dryden. It's very characteristic to have a garage right on top of that curb line where the alley actually ends. I think this is probably one of the few areas that you don't have a garage on one side or the other. And I would estimate maybe half of that alleyway as it carries on westerly, it's very prominent to have them on both sides or a fence right up against the alleyway as well. I think it fits into the character of the neighborhood.

MR. DIVITO: It does not detract.

CHAIRMAN PETRILLO: I'm sorry?

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MR. DIVITO: I said it does not detract from the neighborhood.

CHAIRMAN PETRILLO: Are there any other comments? Is there a motion?

MR. DIVITO: I'll move to approve.

CHAIRMAN PETRILLO: Motion to approve. Is there a second?

MR. ANFENSON: Second.

CHAIRMAN PETRILLO: We have a motion and a second. Derek, would you call the roll?

MR. MACH: Mr. Anfenson.

MR. ANFENSON: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Mr. Divito.

MR. DIVITO: Yes.

MR. MACH: Mr. Geisel.

MR. GEISEL: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Chairman Petrillo.

CHAIRMAN PETRILLO: Yes. Good luck.

MR. ROSADO: Thank you very much.

CHAIRMAN PETRILLO: Have a good move.

MR. MOORE: Thank you very much.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:43 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS August 11, 2014

PETITIONER: 1510 E. Northwest Highway
ADDRESS OF PROPERTY: 1510 E. Northwest Highway
VARIATION: 5.1-6.4.1, 5.4 (Required Minimum Yards, Table of Required Minimum Yards)

A 22.7' variance to allow an attached garage with a rear yard setback of 7.3' instead of the minimum required 30' and an additional 1' for the eave.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they are proposing a three car attached garage. The petitioner testified that the garage will be used for tenant parking and for the storage of maintenance equipment.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Siavelis and seconded by Mr. Anfenson. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Anthony Petrillo, Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: Dorn Residence - 1004 W. Oakton St.

Department: Planning & Community Development

Approval of Minutes and Findings from the 8/11/14 hearing.

ATTACHMENTS:

Description	Type
Minutes 8/11/14 - Dorn	Minutes
Findings 8/11/14 - Dorn	Minutes

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ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: DORN RESIDENCE - 1004 WEST OAKTON STREET

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the
Arlington Heights Village Hall, 33 South Arlington Heights
Road, 1st Floor Beuchner Room, Arlington Heights, Illinois
on the 11th day of August, 2014, at the hour of 7:43 o'clock
p.m.

MEMBERS PRESENT:

TONY PETRILLO, Chairman
JOSEPH SELBKA
DAVID DIVITO
JOSEPH GEISEL
CARL ANFENSON
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Landscape Planner

DRAFT

CHAIRMAN PETRILLO: The next petition is the Dorn Residence.

Have each of you signed in?

MR. DORN: We have not.

CHAIRMAN PETRILLO: If you would please?

(Pause.)

CHAIRMAN PETRILLO: State your name and address please?

MR. DORN: Al Dorn, 1004 West Oakton.

MRS. DORN: And Karen Dorn, 1004 West Oakton.

MR. LOSSELYOUNG: And I'm Rob Losselyoung, I'm with Tinaglia Architects, I'm the architect.

(Witnesses sworn.)

MR. LOSSELYOUNG: I'll begin. On behalf of Mr. and Mrs. Dorn, they came to us looking to modify their existing one-story structure on the east side of their home. It's a current structure that's in pretty bad condition and really don't heat or air, have air conditioning. The inside on grade is in poor condition. It's an existing nonconforming structure, again one-story, off the side of the house here. This is the existing condition, it's the smaller home area.

We're going to tear that structure down and then rebuild. Currently, it's about 4 feet over the average yard setback, which is set by the six houses, the front yard setback of the six houses on Kennicott, a setback there for our exterior side of approximately 33.76 feet. And we're looking to add an additional 3 feet further from what the existing nonconforming structure is in order to provide them with the space.

Mr. Dorn actually just came from a doctor's appointment. He's going to have two, a couple of hip replacements at least. They have more doctor's appointments for some more spine and neck procedures that are possible, and they're looking to have a space, if necessary, to be able to provide for him on the first floor. As well as they want to stay in an even place and eventually would move down to that space as well.

We have an existing condition, you know, being that we're being asked to provide an exterior side yard, you know, that complements the front yard setback of the remainder of the house that's off of Kennicott. Typically, your sidewalk is about one foot off of your property line. In this case, we have approximately 12 feet separation. Plus, you're still going to have an additional 26 and-a-half feet separation to our proposed structure.

And then the reason I brought the pictures for you to see is the whole corner here is heavily provided with landscaping as it is. So, visually, there really is, you know,

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most people would never even notice that we're asking for this variation.

CHAIRMAN PETRILLO: Is the house to the north, I know the setbacks are calculated differently because of the way you're situated on the block, but the house to the north, doesn't their garage set closer to Kennicott than this existing structure and the proposed structure?

MR. LOSSELYOUNG: No, no, the existing structure, it is slightly in front of, our proposed structure will be slightly in front of it.

CHAIRMAN PETRILLO: Okay.

MR. LOSSELYOUNG: But as the average of all six houses on the lot, we'll be I think 7 foot 2 inches past what is now current code. Again, the existing nonconforming structure is approximately 4 feet 2 over the current required setback.

CHAIRMAN PETRILLO: And that's partially due to the radius of the property line?

MR. LOSSELYOUNG: No, it's directly set off of this property line. They don't include the radius as a setback.

CHAIRMAN PETRILLO: Oh, okay.

MR. LOSSELYOUNG: It's a visual straight line and straight line here.

CHAIRMAN PETRILLO: Oh, okay.

MR. LOSSELYOUNG: So, this being the shorter of two dimensions, that makes this our front yard.

CHAIRMAN PETRILLO: So, they don't take it at the point of the structure, the distance. I was reading the review, I was, anyway I was calculating, I thought it was from the, they take it from the full 123.5 that would --

MR. LOSSELYOUNG: Correct, from over here.

CHAIRMAN PETRILLO: Okay.

MR. LOSSELYOUNG: Yes.

MR. MACH: So, just to clarify, it's a 7-foot 2 and-a-half-inch variance, not a 6-foot per the Staff report.

MR. LOSSELYOUNG: Correct, that's right, I blew it. Yes. Yes, when we did it, we'd been in kind of a rush, we went here to help them get through, because when we initially submitted, we were estimating about 33 and a half feet. The reality of it was it was 33.76 foot average setback when we got back to it. We want to be truthful. Do you guys have anything else to add?

MRS. DORN: Well, and the reality is directly to the east of us is the Luther Home addition. So, that's what, right here is the Luther Home addition encompassing all of this. So, our western neighbor just got that big variance which is the

DRAFT

Luther Home. And everyone to the north, Joe's house doesn't look over any part of our house except he has some windows at this part of the property. So, his garage is here close to this front door setback.

Next, Rick and Becky, none of their houses look towards here. Plus, it's all completely wooded. And no one really sees that corner. If you come down Kennicott or Oakton and you look and try to see the existing room, you'd have to come over to this part of our property before you even see it.

And I've watched my cousin's husband try to take care of her in a house, which didn't have a one-story area where he could easily take care of her and get her to a doctor and it's a nightmare. And we have a really dear friend who lives in Scarsdale and it's a nightmare trying to stay in their house that she lived in earlier to make living on them more easy for Jack.

So, we just, we're not asking for a huge bedroom but the possibility to have a bedroom and a small bathroom there, because we want to stay in the house. I have letters, I'm sorry, from neighbors because they all support this. And, but we came right from the doctor and we were a little late so I couldn't go home to pick them up.

CHAIRMAN PETRILLO: Thank you. Are there any questions from any members of the Board? Thank you very much. Questions or comments? I think this is a very reasonable request. The landscaping barriers that exist, I don't think it will take away from the uniqueness of the neighborhood. The hardship in my opinion is very clear for this need. And concern that the Luther Home that's across the street, the impact for me is even --

MR. DIVITO: Agreed.

CHAIRMAN PETRILLO: Is there a motion on the floor?

MR. SELBKA: Motion to approve.

MR. DIVITO: Second.

CHAIRMAN PETRILLO: We have a motion and a second. Roll call please.

MR. MACH: Mr. Anfenson.

MR. ANFENSON: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Mr. Divito.

MR. DIVITO: Yes.

MR. MACH: Mr. Geisel.

MR. GEISEL: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Chairman Petrillo.

DRAFT

CHAIRMAN PETRILLO: Yes. Good luck to you.

MRS. DORN: Thank you.

(Whereupon, the public hearing on the
above-mentioned petition was adjourned
at 7:52 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS August 11, 2014

PETITIONER: Dorn Residence
ADDRESS OF PROPERTY: 1004 W. Oakton St.
VARIATION: 5.1-1.6, 5.4 (Required Minimum Yards, Table of Required Minimum Yards)

A 7.3' variance to allow an addition with an exterior side yard setback of 25.2' instead of the minimum required 32.5' and an additional 1' for the eave.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner testified that they are proposing to expand their first floor living space. The petitioner explained that that due to health reasons they need to rebuild a portion of the home and expand the footprint.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Selbka and seconded by Mr. Divito. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Anthony Petrillo, Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: ZBA#14-028 - Cerniglia Residence - 1256 E. Kensington Rd.

Department: Planning & Community Development

This petition was originally scheduled to appear before the Zoning Board of Appeals on September 8, 2014, however, only one of the two required public meeting signs for this corner property was posted by the petitioner. Therefore, the petition will be continued to the October 13, 2014 ZBA hearing.

ATTACHMENTS:

Description

Type

No Attachments Available



Item: ZBA#14-023 - Fornagieli Residence - 1124 W. Greenbriar Ct.

Department: Planning & Community Development

REQUEST

1. A 9.42 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an expansion to the attached garage with a front yard setback of 20.46 feet from the south property line instead of the minimum 29.88 feet and an additional 1.5 feet for the eave.
2. A 1.8 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an expansion to the attached garage with a side yard setback of 5.0 feet from the east property line instead of the minimum 6.8 feet and an additional 1.5 feet for the eave.

ATTACHMENTS:

Description

Staff Report
Department Comments
Drawings & Documents

Type

Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: September 8, 2014
Date Prepared: September 2, 2014
Project Title: Fornagiel Residence
Address: 1124 W. Greenbrier Ct.

Background Information

Petition Number: ZBA #14-023
Petitioner: Art Fornagiel
Address: 1124 W. Greenbrier Ct.
Arlington Heights, IL 60004
Existing Zoning: R-3, Single-Family

Requested Action/Background Information

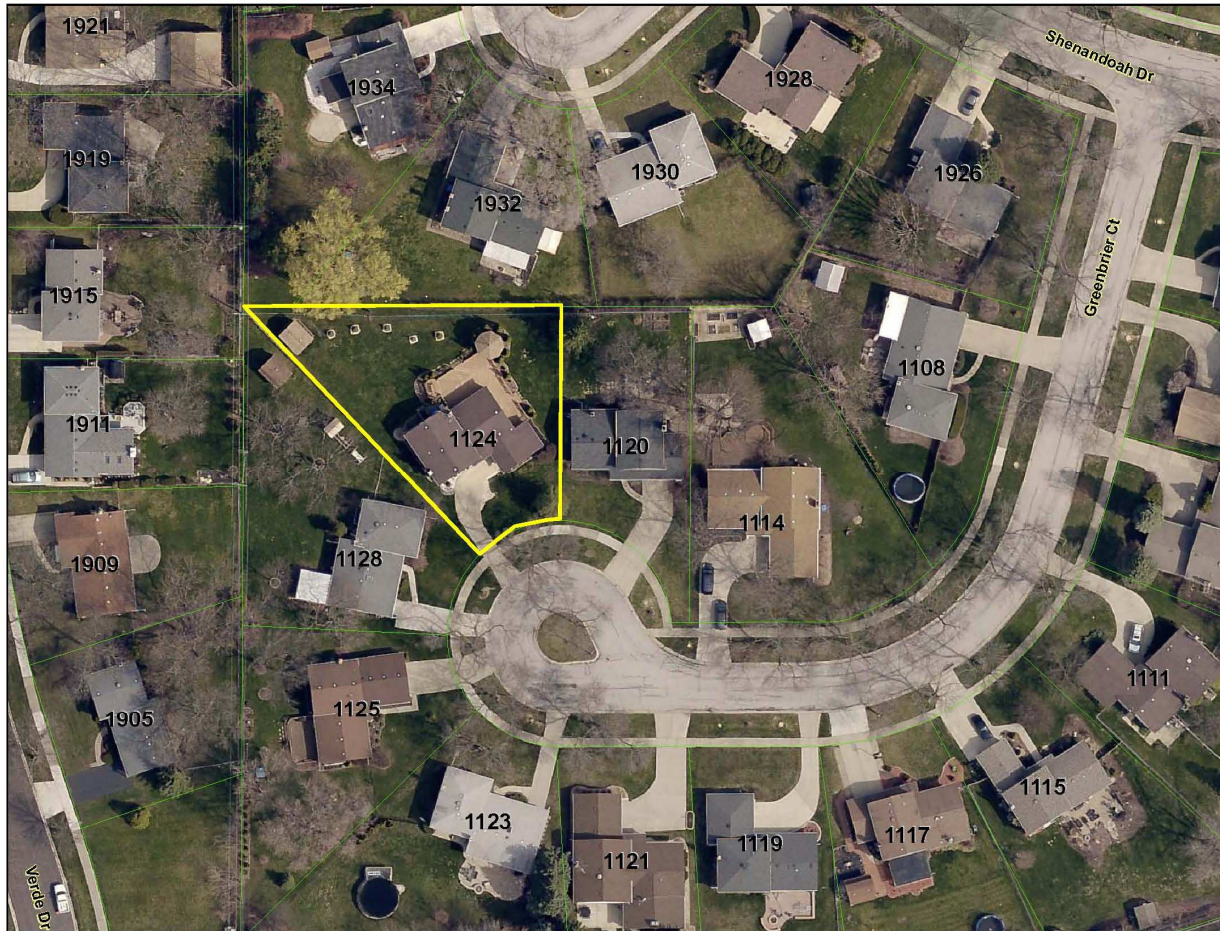
The petitioner proposes to expand the existing one car attached garage and construct a two car attached garage. The proposed garage addition will encroach 9.42 feet into the required front yard setback towards the south property line and will encroach 1.8 feet along the east property line. Therefore, the petitioner requests the following variations:

- A 9.42 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an expansion to the attached garage with a front yard setback of 20.46 feet from the south property line instead of the minimum 29.88 feet and an additional 1.5 feet for the eave.
- A 1.8 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an expansion to the attached garage with a side yard setback of 5.0 feet from the east property line instead of the minimum 6.8 feet and an additional 1.5 feet for the eave.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	8/14/14	
2. List of Property Owners Within 250 feet of Subject Property	✓	8/14/14	
3. Letter that was Mailed	✓	8/14/14	
4. Photographs of Sign on Property	✓	8/14/14	

Photograph of Existing Structure



PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Fornagiel Residence

Project Address: 1124 W. Greenbrier Ct.

ZBA #: 14-023

ZBA Hearing Date: September 8, 2014

To: Jim Massarelli, Director of Engineering
James McCalister, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: September 22, 2014

- A 9.42 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an expansion to the attached garage with a front yard setback of 20.46 feet from the south property line instead of the minimum 29.88 feet and an additional 1.5 feet for the eave.
- A 1.8 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an expansion to the attached garage with a side yard setback of 5.0 feet from the east property line instead of the minimum 6.8 feet and an additional 1.5 feet for the eave.

RECEIVED

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

AUG 25 2014

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Comments: THE GARAGE MUST COMPLY w/ I.R.C. CLEARANCE
REQUIREMENTS. CHARLEY CRAIG A.S.O.

Please review, comment, and return to me no later than Friday, August 29, 2014.

ZBA# 14-023

1124 W Greenbrier Ct - ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering

Submitted: August 25, 2014

Completed – August 26, 2014

994

The proposed ZBA application indicates that the petitioner is seeking:

A 9.42 ft variance to allow an expansion to the attached garage with a front yard setback of 20.46 ft from the south property line instead of the minimum 29.88 ft, and an additional 1.5 ft for the eave; and a 1.8 ft variance to allow an expansion to the attached garage with a side yard setback of 5 ft from the east property line instead of the minimum 6.8 ft and an additional 1.5 ft for the eave.

The Engineering Department has no objection to the requested variance.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Fornagiel Residence

Project Address: 1124 W. Greenbrier Ct.

ZBA #: 14-023

ZBA Hearing Date: September 8, 2014

To: Jim Massarelli, Director of Engineering
James McCalister, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: September 22, 2014

- A 9.42 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an expansion to the attached garage with a front yard setback of 20.46 feet from the south property line instead of the minimum 29.88 feet and an additional 1.5 feet for the eave.
- A 1.8 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an expansion to the attached garage with a side yard setback of 5.0 feet from the east property line instead of the minimum 6.8 feet and an additional 1.5 feet for the eave.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: NO DESIGN CONCERNS.

- S. HAUZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Friday, August 29, 2014.

Art Fornagiel
1124 W. Greenbrier Ct.
Arlington Heights, IL 60004

July 31, 2014

PETITION

Now comes the petitioner, Art Fornagiel

Being the Owner of the property commonly known as: 1124 W. Greenbrier Ct.

And appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a variation from Section 5.1-3.6, Chapter 28, of the Arlington Heights Municipal Code, in order to:

Reduce front yard setback (average) from 29.88' to 20.46', and

Reduce side yard setback from 6.78' to 5.0'

I hereby state that the following hardship would exist if the variation were not granted:

We regularly have 4 drivers at the house and we constantly have to jockey the cars as we only have a single car garage and driveway. There is little available parking on the street due to the hydrant and cul-de-sac. I want my wife and daughter to be able to pull directly into the garage.

I hereby state that the following unique circumstances exist:

The house is located too close to the front property line and the property has an irregular shape with a narrow front yard. The original builder was responsible for locating the house in its current position on the lot.

I hereby state that the variation, if granted, will not alter the essential character of the locality because:

Several homes on the cul-de-sac and street have 2 car attached garages and 2 car width driveways. The addition will be a modest extension of what already exists.

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

AUG 01 2014

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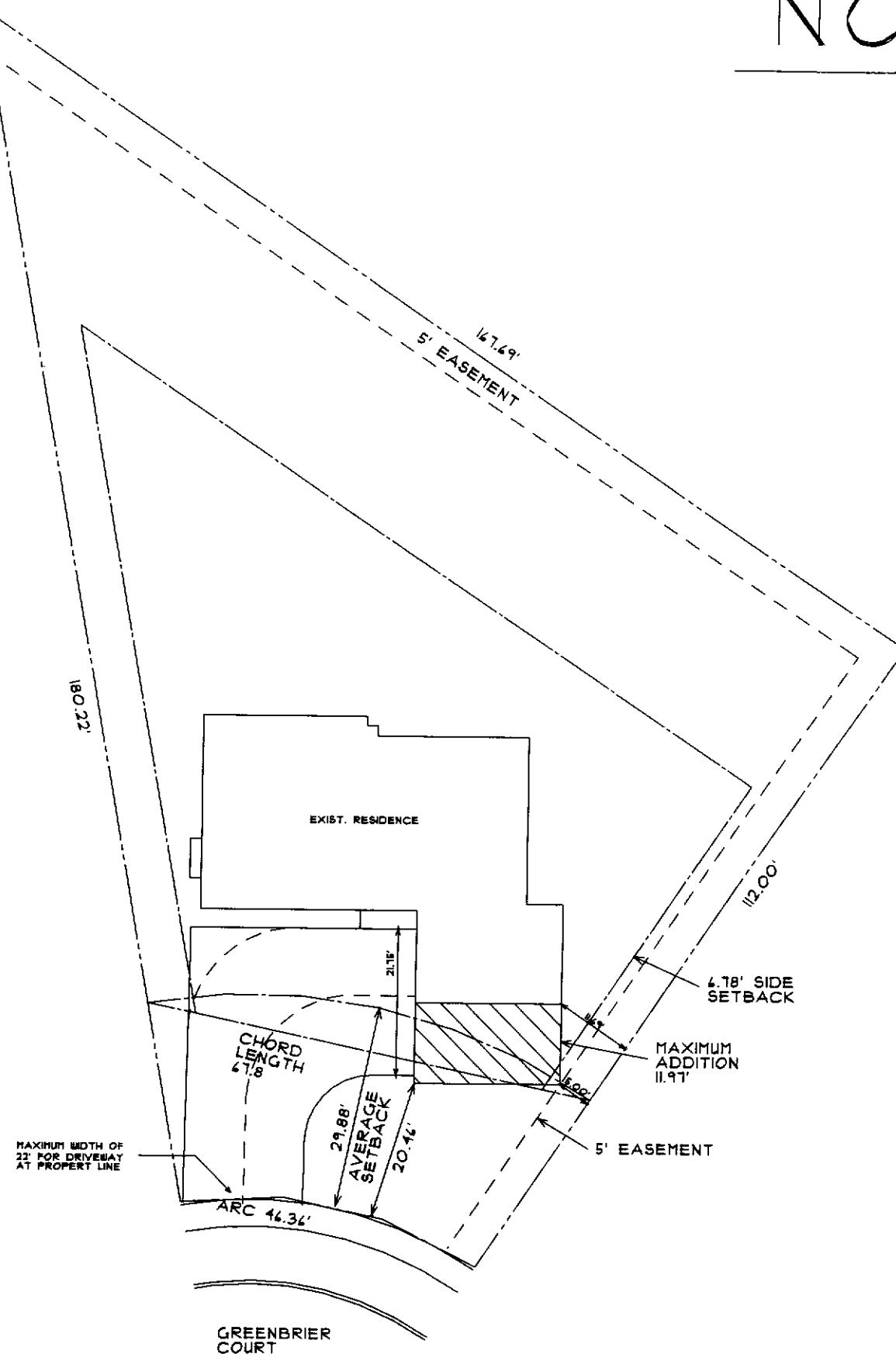
NOT VALID UNLESS EMBOSSED

NOVAK RESIDENCE

710 EAST CAMP McDONALD ROAD
PROSPECT HEIGHTS, ILLINOIS

INDEX OF DRAWINGS

C-1	SITE PLAN
A-1	FLOOR & ROOF PLANS + EXTERIOR ELEVATIONS



SITE PLAN
SCALE 1" = 10'-0"



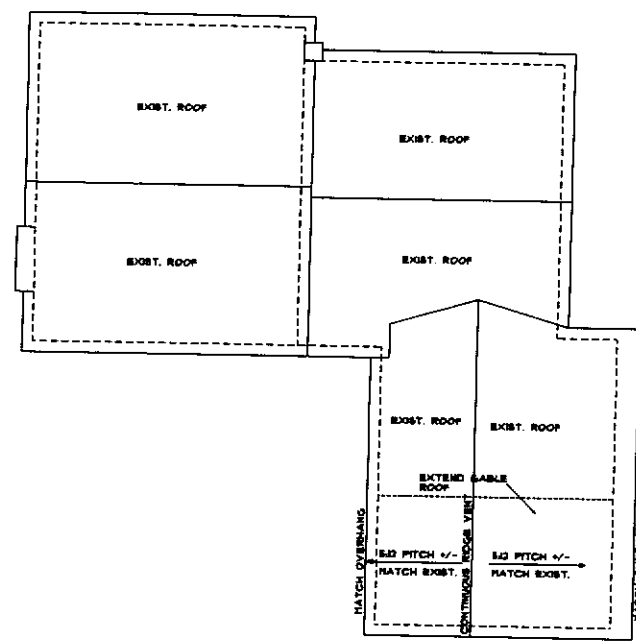
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AUG 01 2014

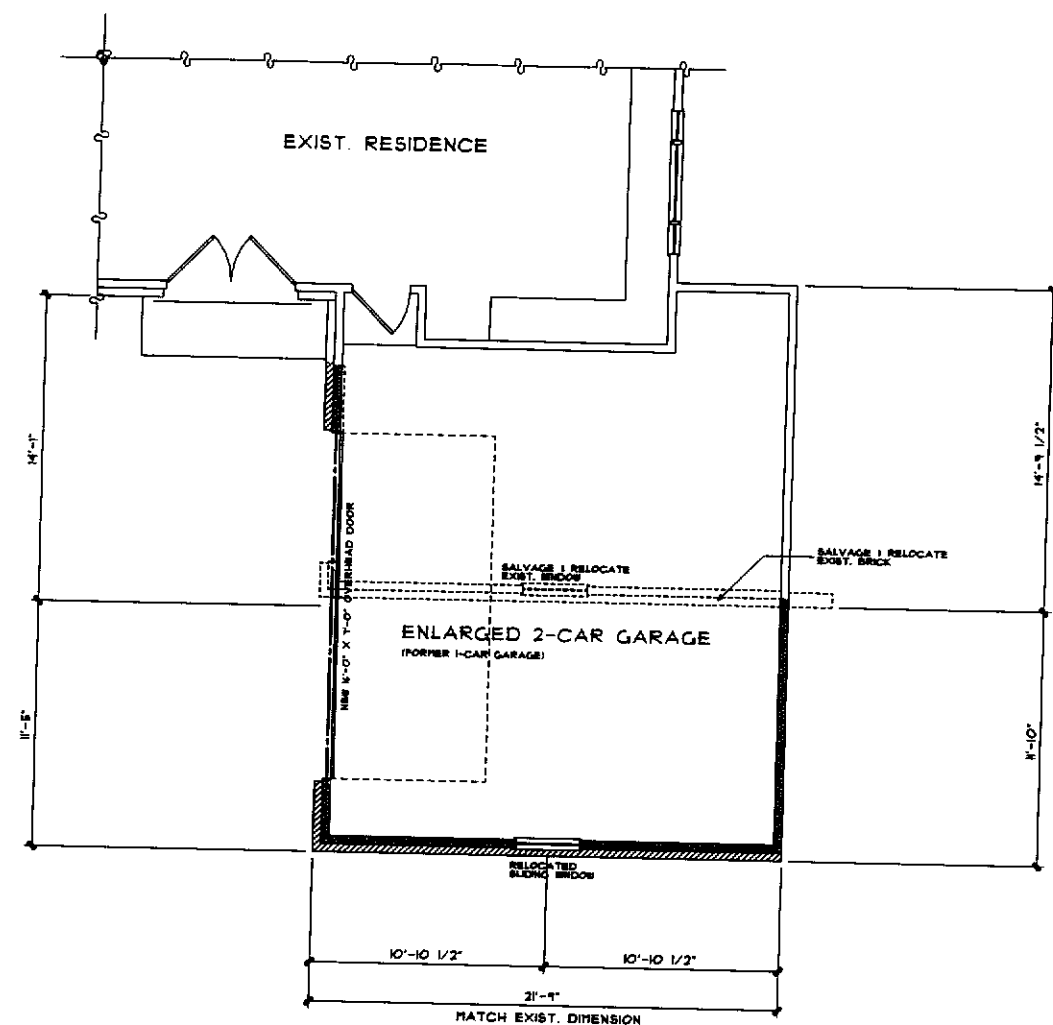
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

8-1-14 RELEASED FOR ZONING BOARD OF APPEALS	PROPOSED GARAGE ADDITION	FORNAGIEL RESIDENCE
ARCHITECT'S CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, BELIEF AND FAITH, ALL ATTACHED NOTES AND REMARKS	THOMAS BUCKLEY ARCHITECT PO BOX 16424 HOFFMAN ESTATES, IL 60136 TEL. 815-340-1530	121 W. GREENBRIAR CT. ARLINGTON HEIGHTS 2014-041 C-1

REDUCED COPY



ROOF PLAN
SCALE 1/8" = 1'-0"

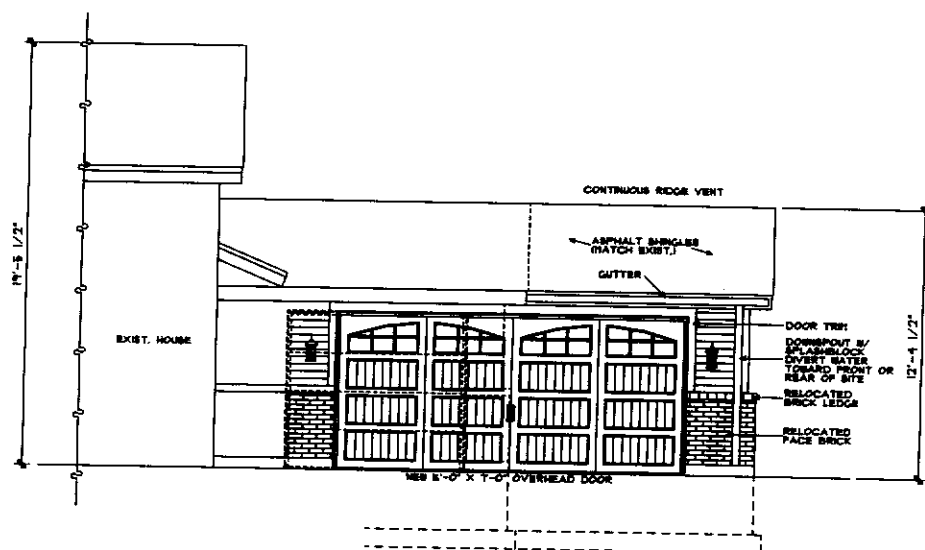


CONSTRUCTION PLAN
SCALE 1/4" = 1'-0"

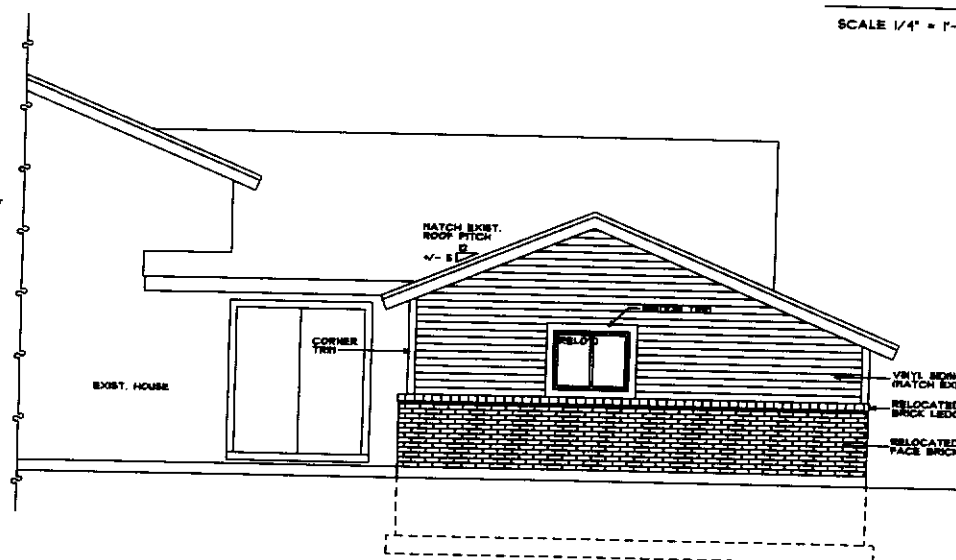


- WALL LEGEND
- EXIST. WALLS
 - NEW FRAME WALLS
 - - - EXIST. WALLS TO BE REMOVED
 - FOUNDATION WALL
 - /// FACE BRICK

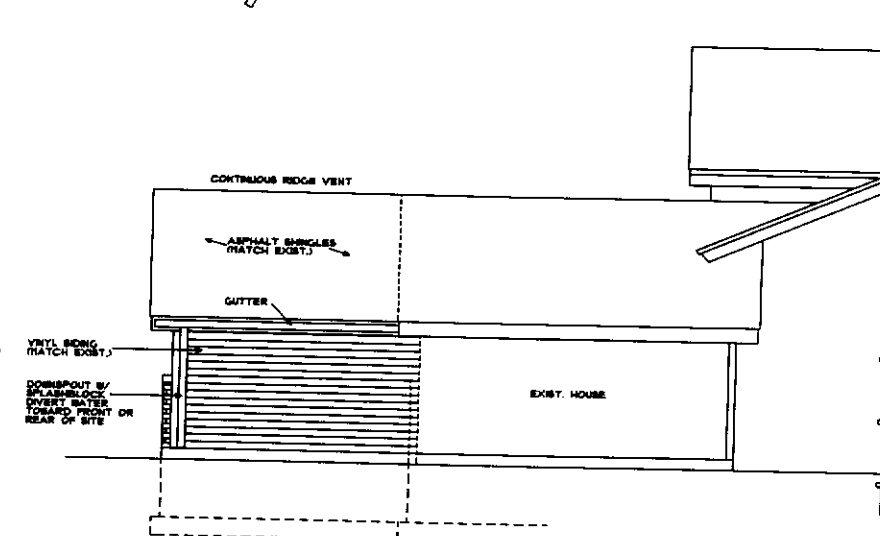
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LEFT ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"

REDUCED COPY

8-1-M RELEASED FOR ZONING BOARD OF APPEALS	PROPOSED GARAGE ADDITION	FORNAGIEL RESIDENCE
THOMAS BUCKLEY ARCHITECT	124 W. GREENBRIAR CT. ARLINGTON HEIGHTS	20M-044 JF
PO BOX 15124 HOFFMAN ESTATES, IL 60139 TEL. 847-340-1530		A-1



Item: ZBA#14-024 - Wagner Residence - 415 S. Windsor Dr.

Department: Planning & Community Development

REQUEST

1. A 4.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a side yard setback of 3.7 feet from the south property line instead of the minimum 7.7 feet and an additional 1 foot for the eave.

ATTACHMENTS:

Description

Staff Report
Department Comments
Drawings & Documents

Type

Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: September 8, 2014
Date Prepared: September 2, 2014
Project Title: Wagner Residence
Address: 415 S. Windsor Ct.

Background Information

Petition Number: ZBA #14-024
Petitioner: Larry Wagner
Address: 1255 W. Prospect Ave. Unit 104
Mt. Prospect, IL 60045
Existing Zoning: R-3, Single-Family

Requested Action/Background Information

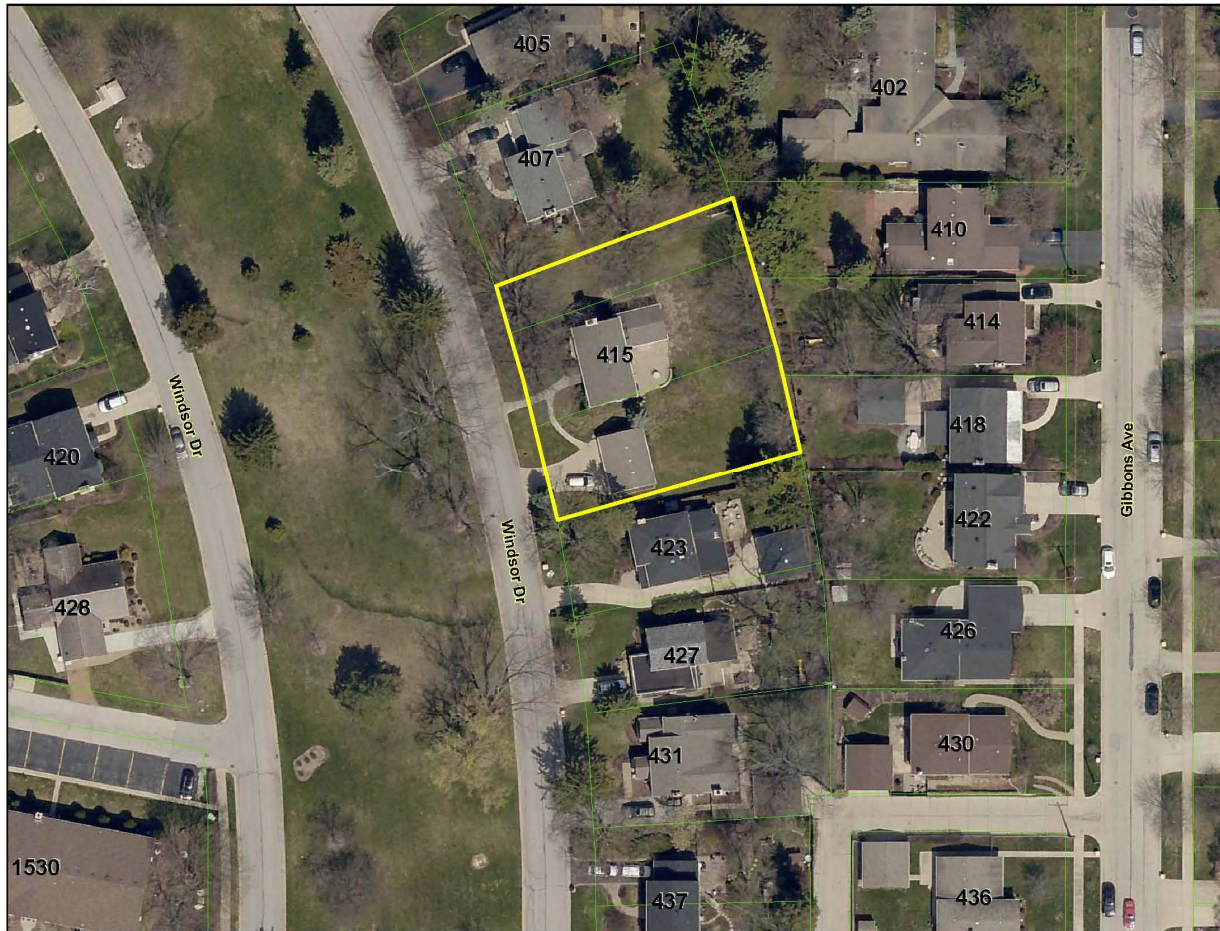
The petitioner proposes to demolish the existing detached garage and sell a portion of their zoning lot (Lot 71) as a buildable lot. In order to sell the lot, a variation is necessary for the existing home located on lot 72 since the sale of lot 71 would create a nonconforming sideyard setback for the existing home. Therefore, the petitioner requests the following variation:

- A 4.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a side yard setback of 3.7 feet from the south property line instead of the minimum 7.7 feet and an additional 1 foot for the eave.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	8/22/14	
2. List of Property Owners Within 250 feet of Subject Property	✓	8/22/14	
3. Letter that was Mailed	✓	8/22/14	
4. Photographs of Sign on Property	✓	8/22/14	

Photograph of Existing Structure



PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Wagner Residence

Project Address: 415 S. Windsor Dr.

ZBA #: 14-024

ZBA Hearing Date: September 8, 2014

To: Jim Massarelli, Director of Engineering
James McCalister, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: September 22, 2014

- A 4.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a side yard setback of 3.7 feet from the south property line instead of the minimum 7.7 feet and an additional 1 foot for the eave

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other:

Comments: THE PROPERTY LINE SETBACK OF 3.7 FT. WILL
REQUIRE A FIRE RATED WALL WHERE LESS THAN

Please review, comment, and return to me no later than Friday, August 29, 2014.

5'. SEE I.R.C. SECTION 302 + TABLE 302.1

CHARLEY CRAIG
A.B.O.

RECEIVED

AUG 25 2014

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

ZBA# 14-024

415 S Windsor Dr - ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering

Submitted: August 25, 2014

Completed – August 26, 2014

9/1

The proposed ZBA application indicates that the petitioner is seeking:

A 4 ft variance to allow a side yard setback of 3.7 ft from the south property line instead of the minimum 7.7 ft and an additional 1 ft for the eave.

The existing home and garage are built over 2 ½ lots. The proposed variation is to separate the lot with the garage and tool shed located on lot #71 (50 ft wide), leaving the single family home located on lot #72 and half of lot #73 (75 ft wide total). There are no existing window wells along the south side of the existing home, allowing 4 ft for drainage.

The Engineering Department has no objection to the requested variance.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Wagner Residence

Project Address: 415 S. Windsor Dr.

ZBA #: 14-024

ZBA Hearing Date: September 8, 2014

To: Jim Massarelli, Director of Engineering
James McCalister, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: September 22, 2014

- A 4.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a side yard setback of 3.7 feet from the south property line instead of the minimum 7.7 feet and an additional 1 foot for the eave.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: NO COMMENT.

S. HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Friday, August 29, 2014.

PETITION

NOW COMES the Petitioner Larry K. Wagner and Jacqueline G. Wagner being the owner of the property commonly known as: 415 South Windsor Drive, Arlington Heights, Illinois 60004 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.6, Chapter 28, for the Arlington Heights Municipal Code, in order for a side yard setback for existing home to create a buildable lot to the South on Lot #71.

I hereby state that the following hardship would exist if the variation were not granted:

1. The variation is needed to allow new home constructed on the 50' lot #71. The existing garage and tool shed on lot #71 would be removed to comply with the zoning code.
2. The variation is needed for the sale of the existing modest home on a large lot. This property has been on and off the market for 4 years. A recent offer for the existing home on lot #72 and ½ of lot #73 was contingent on a side yard setback for this home.

I hereby state that the variation, if granted, will not alter the essential character of the locality because:

1. The relief is not out of character of the neighborhood because there appears to be other homes in the subdivision that have side yard variations.
2. The relief is not out of character of the neighborhood because there are existing homes on 50' lots (#75 north, #70, #69 south, #26, #27, 28 east) of lot #71.
3. The relief is not out of character of the neighborhood because the existing home is a modest home on a large 75' lot (#72=50' & #73+25').

Signed: Larry K. Wagner
Jacqueline G. Wagner
Larry K. Wagner and Jacqueline G. Wagner

Date: August 11, 2014

RECEIVED

AUG 12 2014

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

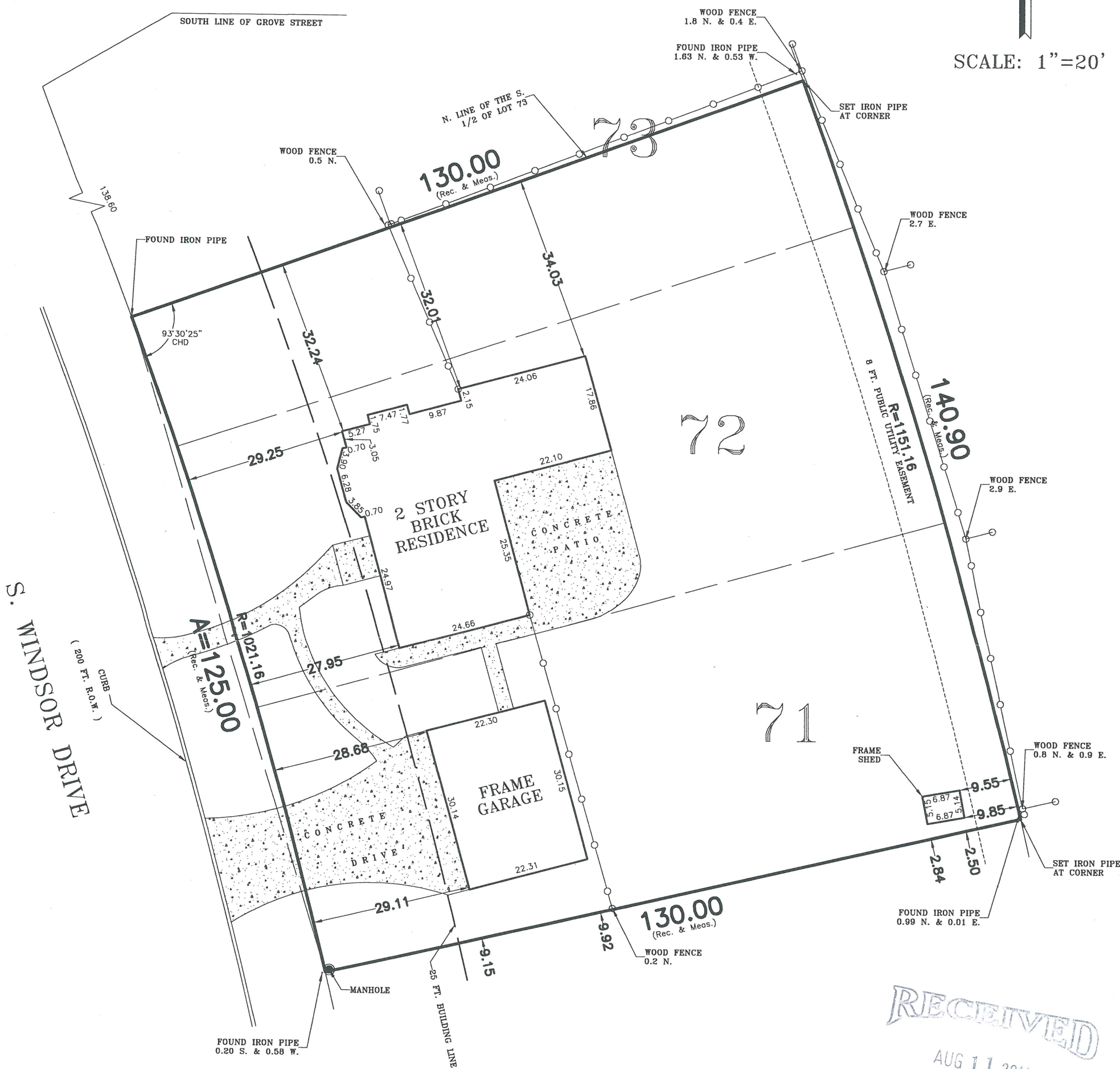
PLAT OF SURVEY

OF LOTS 71, 72 AND THE SOUTH 1/2 OF LOT 73 IN "STONEGATE", BEING A RESUBDIVISION OF H. ROY BERRY COMPANY'S EAST MORELAND, BEING A SUBDIVISION OF THAT PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 33, AND THAT PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 32, LYING NORTHEASTERLY OF THE CHICAGO AND NORTHWESTERN RAILROAD COMPANY, ALL IN TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

ADDRESS: 415 S. WINDSOR DRIVE, ARLINGTON HEIGHTS, ILLINOIS



SCALE: 1"=20'



RECEIVED

AUG 11 2014

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



TO: BRIAN J. COHAN

PROFESSIONAL NATIONAL TITLE NETWORK, INC.

THIS IS TO CERTIFY THAT WE, PREFERRED SURVEY, INC., ILLINOIS PROFESSIONAL LAND SURVEYOR CORPORATION NO. 116 HAVE SURVEYED THE PROPERTY DESCRIBED HEREON AND THAT THE PLAT SHOWN HEREON IS A CORRECT REPRESENTATION OF THAT SURVEY, ALL DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. PROPERTY CORNERS ARE SET OR NOT BY CLIENT AGREEMENT. MY LICENSE RENEWS ON NOVEMBER 30, 2006. GIVEN UNDER OUR HAND AND SEAL AT BRIDGEVIEW, ILLINOIS, THIS

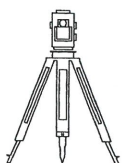
17TH DAY OF SEPTEMBER A.D. 2006

ILLINOIS PROFESSIONAL LAND SURVEYOR CORPORATION #116

P.S.I. NO. 0566109
P.N.T.N. 3114138

FLD CREW AT/MR
CAD RMB

Professional Design Registration #184-002795	
Field Work Completed	10/31/05
Land Area Surveyed	17,285.2 Sq. Ft.
Drawing Revised	11/03/05
Drawing Revised	EASEMENT 09/17/07



PREFERRED SURVEY, INC.

7845 W. 79TH STREET, BRIDGEVIEW, IL, 60455
Phone 708-458-7845 / Fax 708-458-7855

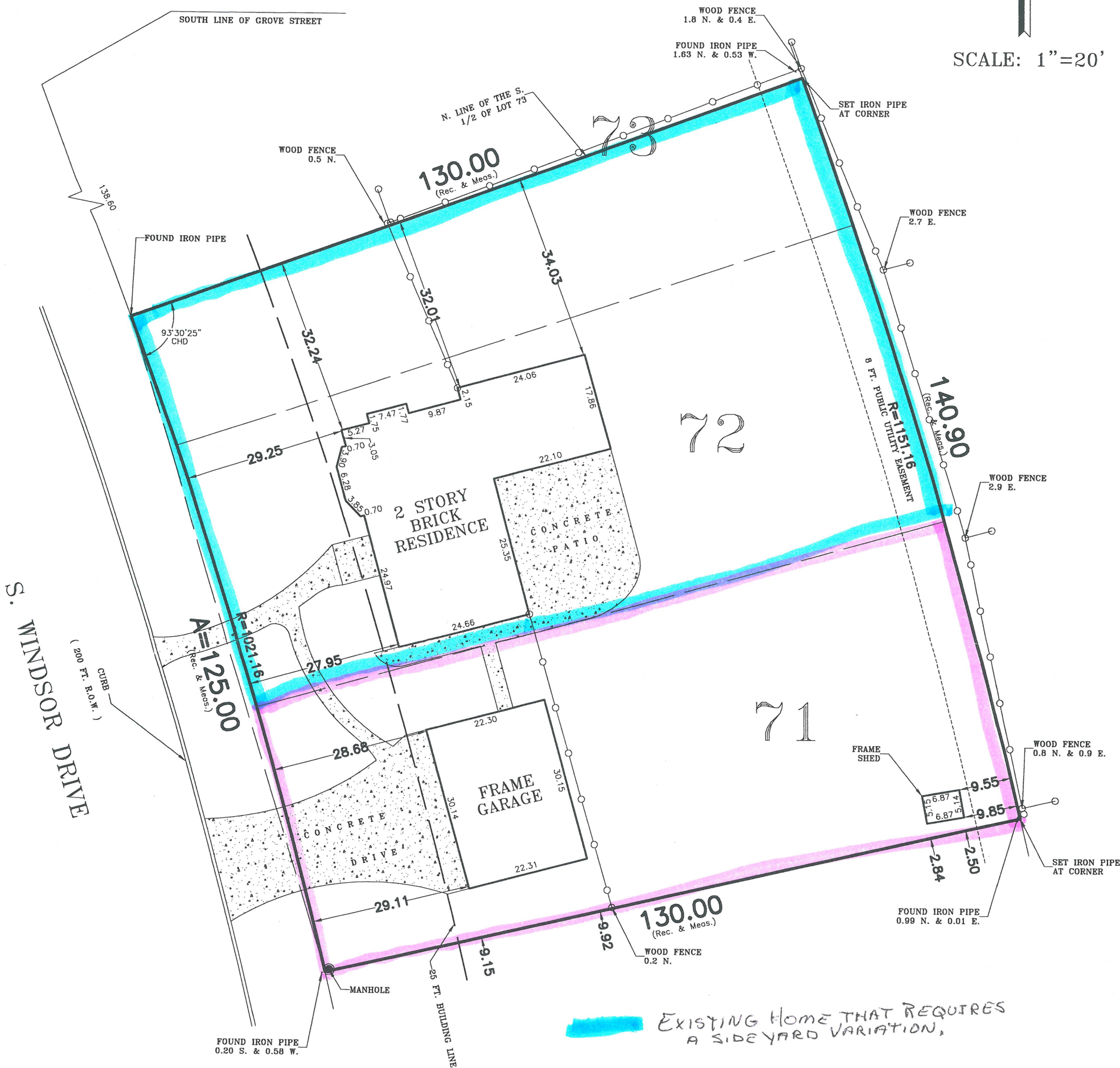
PLAT OF SURVEY

OF LOTS 71, 72 AND THE SOUTH 1/2 OF LOT 73 IN "STONEGATE", BEING A RESUBDIVISION OF H. ROY BERRY COMPANY'S EAST MORELAND, BEING A SUBDIVISION OF THAT PART OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 33, AND THAT PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 32, LYING NORTHEASTERLY OF THE CHICAGO AND NORTHWESTERN RAILROAD COMPANY, ALL IN TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

ADDRESS: 415 S. WINDSOR DRIVE, ARLINGTON HEIGHTS, ILLINOIS



SCALE: 1"=20'



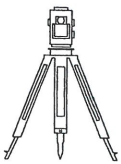
RECEIVED

AUG 11 2014

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



Professional Design Registration #184-002795	
Field Work Completed	10/31/05
Land Area Surveyed	17,285.2 Sq. Ft.
Drawing Revised	11/03/05
Drawing Revised	EASEMENT 09/17/07



PREFERRED SURVEY, INC.

7845 W. 79TH STREET, BRIDGEVIEW, IL, 60455

Phone 708-458-7845 / Fax 708-458-7855

TO: BRIAN J. COHAN

PROFESSIONAL NATIONAL TITLE NETWORK, INC.

THIS IS TO CERTIFY THAT WE, PREFERRED SURVEY, INC., ILLINOIS PROFESSIONAL LAND SURVEYOR CORPORATION NO. 116 HAVE SURVEYED THE PROPERTY DESCRIBED HEREON AND THAT THE PLAT SHOWN HEREON IS A CORRECT REPRESENTATION OF THAT SURVEY, ALL DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. PROPERTY CORNERS ARE SET OR NOT BY CLIENT AGREEMENT. MY LICENSE RENEWS ON NOVEMBER 30, 2006. GIVEN UNDER OUR HAND AND SEAL AT BRIDGEVIEW, ILLINOIS, THIS

17TH DAY OF SEPTEMBER A.D. 2006

ILLINOIS PROFESSIONAL LAND SURVEYOR CORPORATION #116

P.S.I. NO. 0566109

P.N.T.N. 3114138

FLD CREW AT/MR

CAD RMB





Item: ZBA#14-025 - Horwath Residence - 1232 N. Race Ave.

Department: Planning & Community Development

REQUEST

1. A 6.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a 25.0 foot wide covered front porch with a front yard setback of 19.0 feet from the east property line instead of the minimum 25.0 feet and an additional 1 foot for the eave.
2. A 0.5 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a second story addition with a front yard setback of 24.5 feet from the east property line instead of the minimum 25.0 feet.

ATTACHMENTS:

Description

Staff Report
Department Comments
Drawings & Documents

Type

Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: September 8, 2014
Date Prepared: September 2, 2014
Project Title: Horwath Residence
Address: 1232 N. Race Ave.

Background Information

Petition Number: ZBA #14-025
Petitioner: Tim Horwath
Address: 1232 N. Race Ave.
Arlington Heights, IL 60004
Existing Zoning: R-3, Single-Family

Requested Action/Background Information

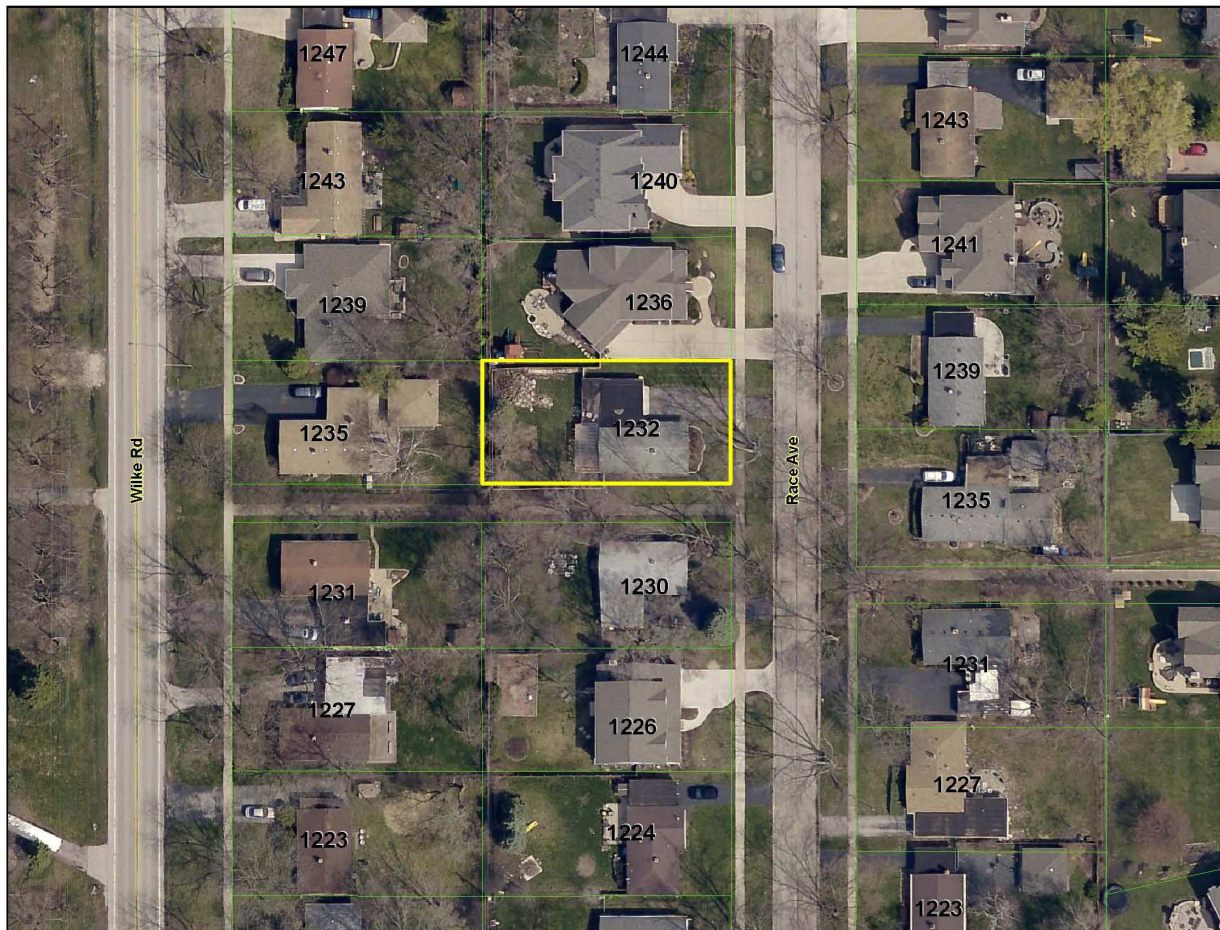
The petitioner is proposing a front porch that is setback 19.0 feet where the required front yard setback is 25.0 feet. The proposed porch spans across the front elevation. In addition, the petitioner is proposing a second story addition that is setback 24.5 feet. Therefore, the petitioner requests the following variations:

- **A 6.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a 25.0 foot wide covered front porch with a front yard setback of 19.0 feet from the east property line instead of the minimum 25.0 feet and an additional 1 foot for the eave.**
- **A 0.5 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a second story addition with a front yard setback of 24.5 feet from the east property line instead of the minimum 25.0 feet.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

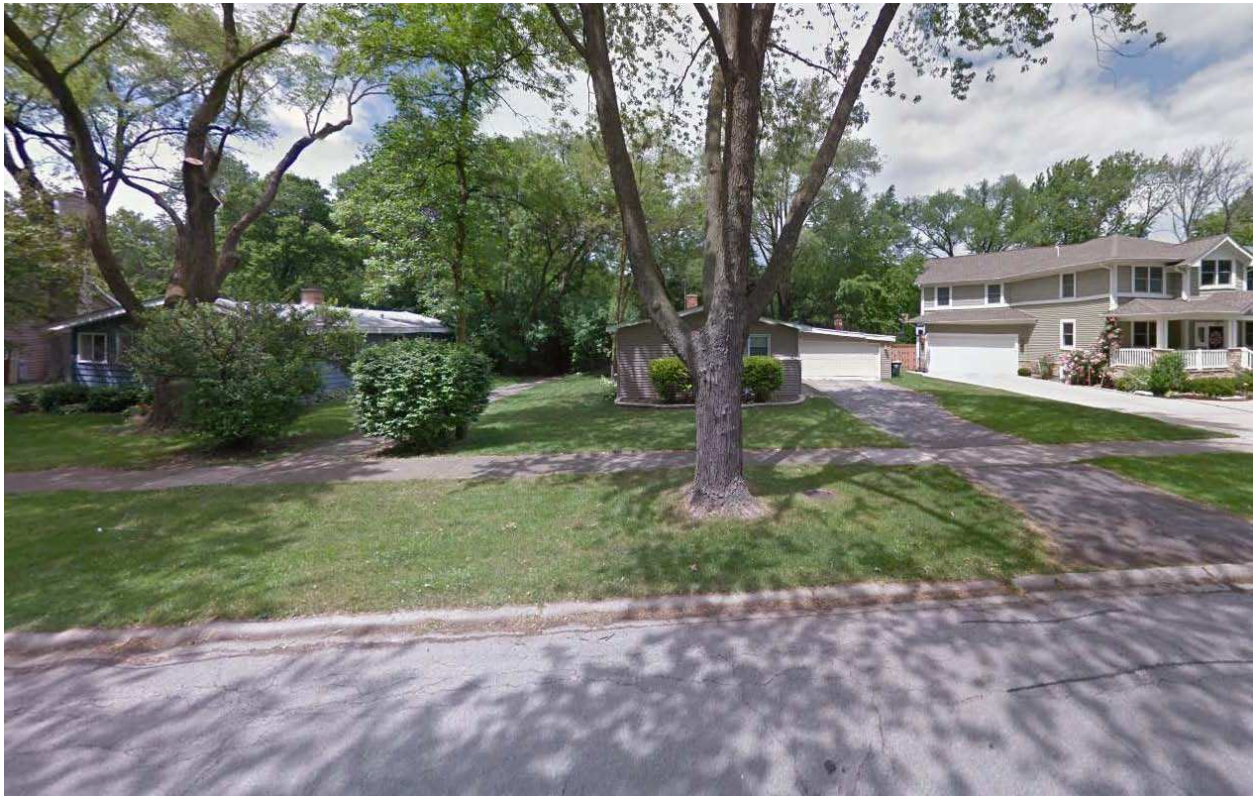
Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	8/22/14	
2. List of Property Owners Within 250 feet of Subject Property	✓	8/22/14	
3. Letter that was Mailed	✓	8/22/14	
4. Photographs of Sign on Property	✓	8/22/14	

Photograph of Existing Structure



PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Horwath Residence

Project Address: 1232 N. Race Ave.

ZBA #: 14-025

ZBA Hearing Date: September 8, 2014

To: Jim Massarelli, Director of Engineering
James McCalister, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: September 22, 2014

- A 5.5 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a 25.0 foot wide covered front porch with a front yard setback of 19.0 feet from the east property line instead of the minimum 25.0 feet and an additional 1 foot for the eave.
- A 0.5 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a second story addition with a front yard setback of 24.5 feet from the east property line instead of the minimum 25.0 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: NO COMMENTS.

RECEIVED

AUG 25 2014

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

CHARLEY CRAIG A.B.O.

Please review, comment, and return to me no later than Friday, August 29, 2014.

ZBA# 14-025

1232 N Race - ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering

Submitted: August 25, 2014

Completed – August 26, 2014

99M

The proposed ZBA application indicates that the petitioner is seeking:

A 5.5 ft variance to allow a 25 ft wide covered front porch with a front yard setback of 19 ft from the east property line instead of the minimum 25 ft and an additional 1 ft for the eave; and a 0.5 ft variance to allow a second story addition with a front yard setback of 24.5 ft from the east property line instead of the minimum 25 ft.

The proposed variances are for an extensive remodel of the existing home. A description of the hardship was not provided. Based on the site plan provided, there is sufficient space in the front yard to address drainage.

The Engineering Department has no objection to the requested variance.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Horwath Residence

Project Address: 1232 N. Race Ave.

ZBA #: 14-025

ZBA Hearing Date: September 8, 2014

To: Jim Massarelli, Director of Engineering
James McCalister, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: September 22, 2014

- A 5.5 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a 25.0 foot wide covered front porch with a front yard setback of 19.0 feet from the east property line instead of the minimum 25.0 feet and an additional 1 foot for the eave.
- A 0.5 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a second story addition with a front yard setback of 24.5 feet from the east property line instead of the minimum 25.0 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THIS PROJECT WILL REQUIRE A DESIGN COMMISSION APPLICATION, BUT NO APPARENT DESIGN CONCERNS.

Please review, comment, and return to me no later than Friday, August 29, 2014.

-S. HAUTZINGER, DESIGN PLANNER

To Clerk

SAMPLE PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner

TIM HORWATH

being the owner of the property commonly known as:

1232 N. RACE AVE.

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section

5.1-3.6

Chapter 28, of the Arlington Heights Municipal Code, in order to:

REDUCE THE FRONT YARD SETBACK TO PROVIDE
COVERED FRONT PORCH ENTRY TO ENHANCE CHARACTER
OF HOME.

I hereby state that the following hardship would exist if the variation were not granted:

- 1) UNCOVERED ENTRY - THROUGH GARAGE NOT NOTICABLE
- 2) NOT APPARENT FRONT ENTRY ACCESS

I hereby state that the following unique circumstances exist:

1) NO APPARENT
FRONT ENTRY.
EXISTING HOME SITS ON FRONT SETBACK

I hereby state that the variation, if granted, will not alter the essential character of the locality because:

ALL HOMES IN SURROUNDING NEIGHBORHOOD
ARE UPDATED AND AESTHETICALLY PLEASING.
OUR HOME APPEARS NOT TO FIT IN - OUTDATED

Signed: _____

Petitioner

Date: _____

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AUG 11 2014

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

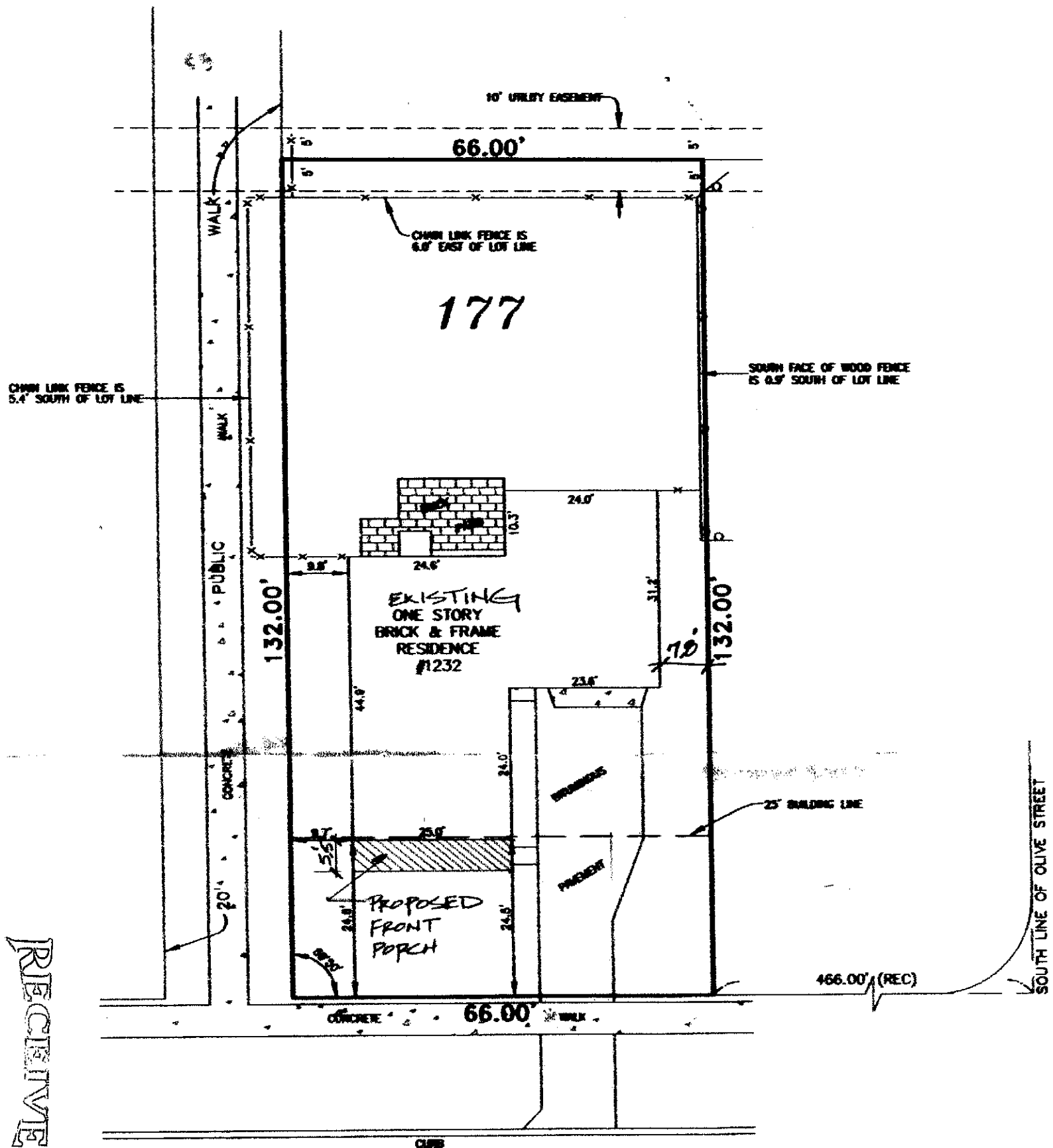


1232 N. RACE

PLAT OF SURVEY

OF

LOT 177 IN RAYMOND L. LUTGERT'S SUBDIVISION OF THE WEST 78 ACRES OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11 (EXCEPT THE SOUTH 25 FEET) IN THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



RACE AVENUE

66.00' R.O.W.

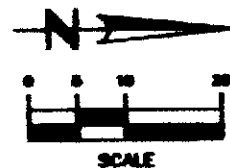
PREPARED FOR: JAMES MESSINEO

gis Greater Illinois Survey Company

120 North LaSalle - Suite 900
Chicago, Illinois 60602
Phone: (312) 236-7300 Fax: (312) 236-0284

NO IMPROVEMENTS SHOULD BE CONSTRUCTED ON THE BASIS OF THIS PLAT ALONE AND NO DIMENSIONS, LENGTHS OR WIDTHS SHOULD BE ASSUMED FROM SCALING. FIELD MONUMENTATION OF CRITICAL POINTS SHOULD BE ESTABLISHED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON, REFER TO DEEDS, ABSTRACTS, TITLE POLICIES, SEARCHES OR COMMITMENTS, CONTRACTS AND LOCAL BUILDING AND ZONING ORDINANCES.



FIELD WORK COMPLETED: 5/28/09

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS STANDARDS FOR A BOUNDARY SURVEY.

DATED: 5/28/09

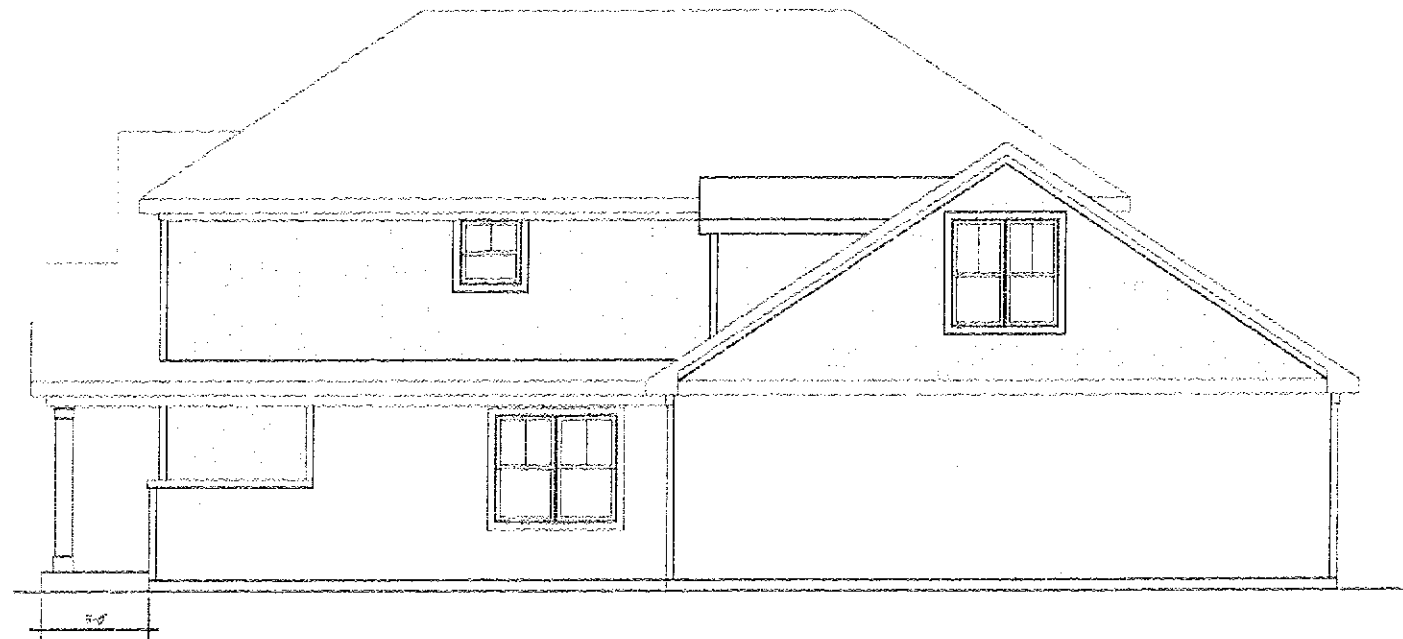
Richard P. Urchell

RICHARD P. URCHELL I.P.L.S. No. 3183
LICENSE RENEWAL DATE: NOVEMBER 30, 2010
ORDER NO. 42488/123138

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

AUG 11 2014

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ZONING	5-9B/14
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CLW

8/5/2014

JRC DESIGN BUILD, INC.
JW DESIGN GROUP, ARCHITECT

TIM AND ERICA HORWATH

14010 00

RECEIVED

AUG 11 2014

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



Item: ZBA#14-026 - Salituro Residence - 404 N. Haddow Ave.

Department: Planning & Community Development

REQUEST

1. A 2.0 foot variance from Chapter 28, Section 6.6-5 (Permitted Obstructions) to allow a generator in the required side yard setback with a setback of 4.6 feet from the north property line instead of the minimum required 6.6 feet.

ATTACHMENTS:

Description

Staff Report
Department Comments
Drawings & Documents

Type

Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: September 8, 2014
Date Prepared: September 2, 2014
Project Title: Salituro Residence
Address: 404 N. Haddow Ave.

Background Information

Petition Number: ZBA #14-026
Petitioner: Chris Salituro
Address: 404 N. Haddow Ave.
Arlington Heights, IL 60004
Existing Zoning: R-3, Single-Family

Requested Action/Background Information

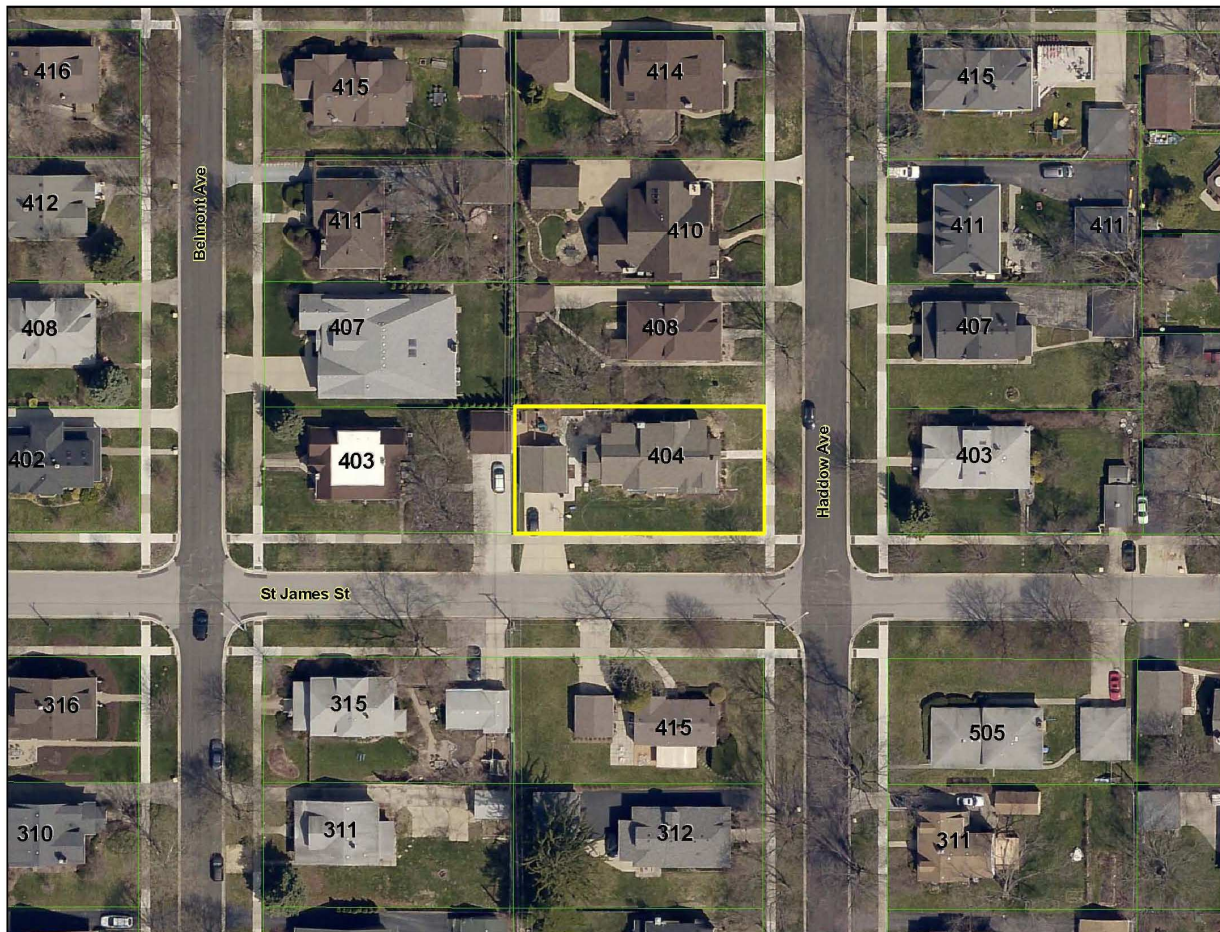
The petitioner is proposing a natural gas generator located in the side yard with a setback of 4.6 feet where the minimum required setback is 6.6 feet. Therefore, the petitioner requests the following variation:

- **A 2.0 foot variance from Chapter 28, Section 6.6-5 (Permitted Obstructions) to allow a generator in the required side yard setback with a setback of 4.6 feet from the north property line instead of the minimum required 6.6 feet.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	8/22/14	
2. List of Property Owners Within 250 feet of Subject Property	✓	8/22/14	
3. Letter that was Mailed	✓	8/22/14	
4. Photographs of Sign on Property	✓	8/22/14	

Photograph of Existing Structure



PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Salituro Residence

Project Address: 404 N. Haddow Ave.

ZBA #: 14-026

ZBA Hearing Date: September 8, 2014

To: Jim Massarelli, Director of Engineering
James McCalister, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: September 22, 2014

- A 2.0 foot variance from Chapter 28, Section 6.6-5 (Permitted Obstructions) to allow a generator in the required side yard setback with a setback of 4.6 feet from the north property line instead of the minimum required 6.6 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other:

Comments: THE PROPERTY LINE SETBACK VARIANCE DOES NOT
CHANGE REQUIRED CLEARANCES TO HOME, OPENINGS + ETC.

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AUG 25 2014

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Please review, comment, and return to me no later than Friday, August 29, 2014.

CHARLEY CRAIG
A.B.O.

ZBA# 14-026

404 N Haddow - ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering

Submitted: August 25, 2014

Completed – August 26, 2014 

The proposed ZBA application indicates that the petitioner is seeking:

A 2 ft variance to allow a generator in the required side yard setback with a setback of 4.6 ft from the north property line instead of the minimum required 6.6 ft.

The location of the generator was not shown on the plat provided.

The Engineering Department has no comment to the requested variance.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Salituro Residence

Project Address: 404 N. Haddow Ave.

ZBA #: 14-026

ZBA Hearing Date: September 8, 2014

To: Jim Massarelli, Director of Engineering
James McCalister, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: September 22, 2014

- A 2.0 foot variance from Chapter 28, Section 6.6-5 (Permitted Obstructions) to allow a generator in the required side yard setback with a setback of 4.6 feet from the north property line instead of the minimum required 6.6 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: NO COMMENT.

-S. HAUZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Friday, August 29, 2014.

PETITION

NOW COMES the Petitioner Christopher J. Salituro being the owner of the property commonly known as: 404 N. Haddow Ave. Arlington Heights, IL 60004 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 6.6-5 (Permitted Obstructions), Chapter 28 of the Arlington Heights Municipal Code, in order to: allow a generator 22 inches into the required side yard setback.

I hereby state that the following hardship would exist if the variation were not granted because this is a corner lot, the generator would be an eyesore on two sides of the house.

I hereby state that the following unique circumstances exist: The back of the house is very small and covered in pavers with no practical space for the generator. The way the house is situated, even if the generator was behind my garage, it would be very close to my neighbor on the west of me. Besides aesthetics, the generator requires both gas and electric so the only place the generator makes sense is on the side yard to the north where these utilities are located.

I hereby state that the variation if granted will not alter the essential character of the locality because the current house on that lot is set quite far back from the property line. Additionally, the generator in the requested location would allow for my neighbor to connect to power using a "good neighbor plug" in the event of a power outage. The generator is small and could be placed between the chimney and the adjacent bump out. We would only need the variance to be 22 inches extra.

Signed: _____

Christopher J. Salituro

Date: _____

10/11/14

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PLAT OF SURVEY

OF

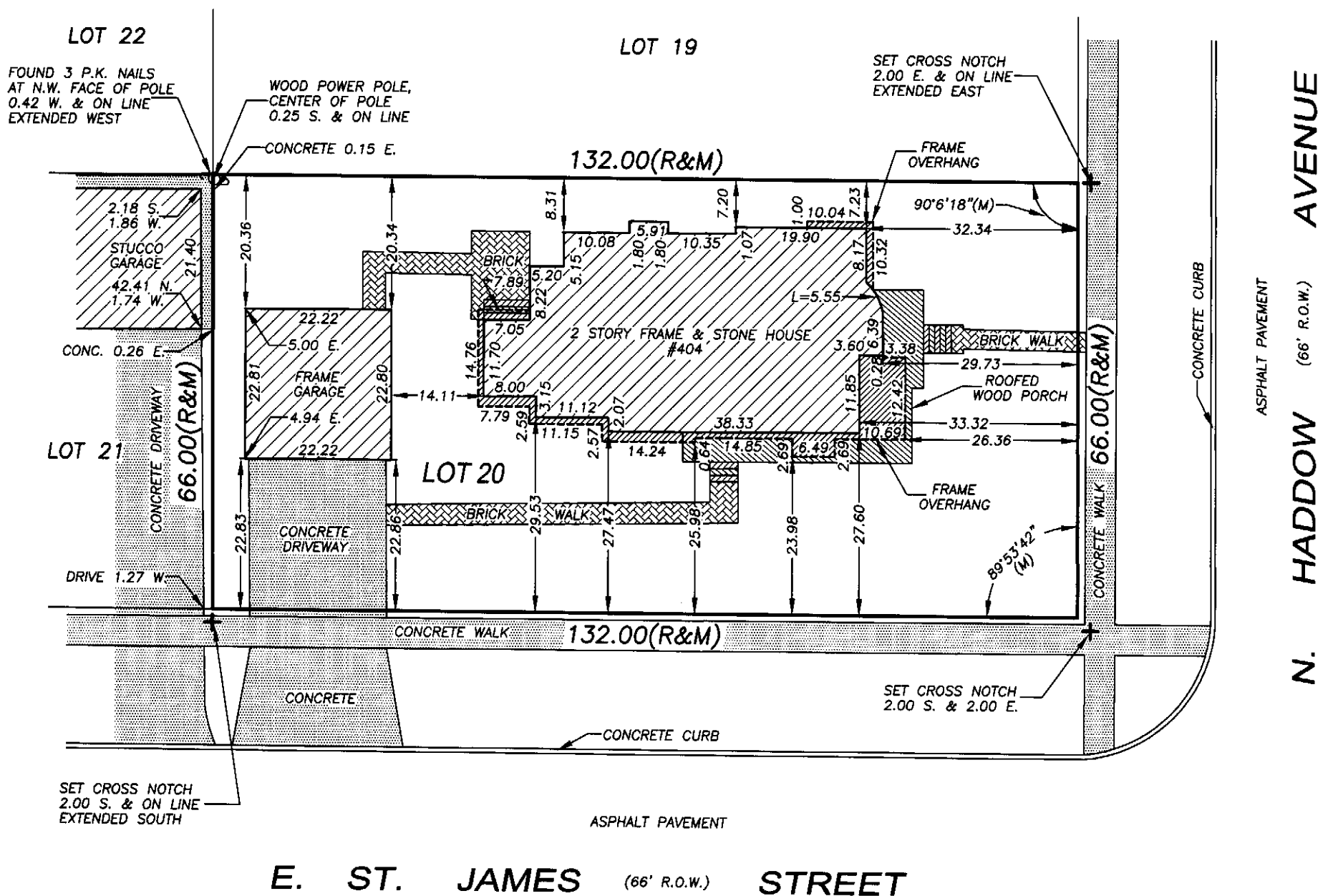
LOT 20 IN HENRY HINRICH'S SECOND ADDITION TO ARLINGTON HEIGHTS, BEING A SUBDIVISION OF THE SOUTH 331 FEET OF THE NORTH 662 FEET OF THE EAST 792 FEET OF THE WEST 1155 FEET OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PIN: 03-29-314-008-0000

TOTAL LAND AREA: 8712 SQ.FT.

COMMONLY KNOWN AS: 404 N. HADDOW AVENUE, ARLINGTON HEIGHTS, ILLINOIS 60004

SCALE: 1 INCH = 20 FEET



LEGEND:

(R) = Subdivision Record

(M) = Measured

(D) = Deed

N. = North

S. = South

W. = West

E. = East

NW'y = Northwesterly

NE'y = Northeasterly

SW'y = Southwesterly

SE'y = Southeasterly

Conc. = Concrete

Wood Fence ————

Chain Link Fence —x—x—

Iron Fence —o—o—

ORDER NO.: 12-237

ORDERED BY: JOSEPH P. SELBKA
ATTORNEY AT LAW

PREPARED BY:

GEODETIC SURVEY, LTD.
PROFESSIONAL DESIGN FIRM NO. 184-004394
CONSTRUCTION & LAND SURVEYORS
1121 DEPOT STREET, GLENVIEW, IL 60025
TEL. (847) 904-7690; FAX (847) 904-7691

-DIMENSIONS ARE SHOWN IN FEET AND DECIMALS AND ARE NOT TO BE ASSUMED FROM SCALING.
-THE LEGAL DESCRIPTION NOTED ON THIS PLAT WAS PROVIDED BY THE CLIENT AND FOR ACCURACY SHOULD BE COMPARED WITH DEED AND/OR TITLE POLICY.
-BUILDING LINE RESTRICTIONS AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED ON THE SUBDIVISION PLAT OR ARE FURNISHED WITH THE ORDERED DESCRIPTION. REFER TO YOUR DEED, ABSTRACT AND/OR TITLE POLICY.
-COMPARE ALL POINTS BEFORE BUILDING AND AT ONCE REPORT ANY DISCREPANCIES, WHICH YOU MAY HAVE FOUND, TO THIS OFFICE.

STATE OF ILLINOIS
COUNTY OF COOK SS

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.

FIELD WORK COMPLETED: JULY 28, 2012

DATED THIS 30th DAY OF JULY, 2012.

BY: _____
PROFESSIONAL ILLINOIS LAND SURVEYOR NO.3000
LICENSE EXPIRES 11/30/2012

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AUG 12 2014

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

RECEIVED **GENERAC**

AUG 12 2014

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

GUARDIAN® SERIES
Residential Standby Generators
Air-Cooled Gas Engine

16 20 22 kW

INCLUDES:

- True Power™ Electrical Technology
- Two Line LCD Multilingual Digital Evolution™ Controller (English/Spanish/French/Portuguese)
- Two Transfer Switch Options Available:
100 Amp Pre-Wired Switch or
200 Amp Smart Switch.
See Page 4 for Details.
- Electronic Governor
- External Main Circuit Breaker, System Status & Maintenance Interval LED Indicators
- GFCI Duplex Outlet
- Sound Attenuated Enclosure
- Flexible Fuel Line Connector
- Composite Mounting Pad
- Natural Gas or LP Gas Operation
- 5 Year Limited Warranty
- Capability to be installed within 18" (457 mm) of a building*

*Only if located away from doors, windows and fresh air intakes, and unless otherwise directed by local codes.

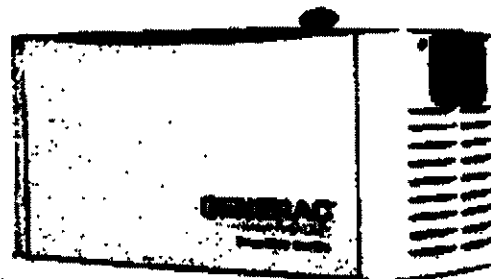
Standby Power Rating

Models 006459-0, 006461-0, 006462-0 (Steel - Bisque) - 18 kW 60 Hz

Model 006721-0 (Aluminum - Gray) - 18 kW 60 Hz

Models 006729-0, 006730-0 (Steel - Bisque) - 20 kW 60 Hz

Models 006551-0, 006552-0 (Aluminum - Gray) - 22 kW 60 Hz



QUIET-TEST

Note: UL certification only applies to residential units and units packaged with pre-wired switches. Units packaged with the Smart Switch are UL certified in the USA only.

FEATURES

IMPROVING POWER BY DESIGN™ are key components of GENERAC'S success in "IMPROVING POWER BY DESIGN." But it doesn't stop there. Total commitment to component testing, reliability testing, environmental testing, destruction and life testing, plus testing to applicable CSA, NEMA, EGSA, and other standards, allows you to choose GENERAC POWER SYSTEMS with the confidence that these systems will provide superior performance.

TRUE POWER™ Superior harmonics and sine wave form produce less than 5% Total Harmonic Distortion for utility quality power. This allows confident operation of sensitive electronic equipment and micro-chip based appliances, such as variable speed HVAC systems.

FAST RESPONSE

**PROTOTYPE TESTED
SYSTEM TYPICAL TESTED**

**NEMA MG1-22 EVALUATION
MOTOR STARTING ABILITY**

TRUE POWER™ Superior harmonics and sine wave form produce less than 5% Total Harmonic Distortion for utility quality power. This allows confident operation of sensitive electronic equipment and micro-chip based appliances, such as variable speed HVAC systems.

TRUE POWER™ Superior harmonics and sine wave form produce less than 5% Total Harmonic Distortion for utility quality power. This allows confident operation of sensitive electronic equipment and micro-chip based appliances, such as variable speed HVAC systems.

TRUE POWER™ Superior harmonics and sine wave form produce less than 5% Total Harmonic Distortion for utility quality power. This allows confident operation of sensitive electronic equipment and micro-chip based appliances, such as variable speed HVAC systems.

GENERAC



GENERAC

16 20 22 kW

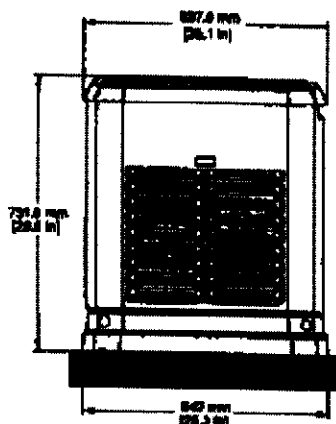
16/20/22 kW**available accessories**

Model #	Product	Description
006463-1	Mobile Link™	Generac's Mobile Link allows you to check the status of your generator from anywhere that you have access to an Internet connection from a PC or with any smart device. You will soon be notified when a change in the generator's status occurs via e-mail or text message.
006416-0	26R Wet Cell Battery	Every standby generator requires a battery to start the system. Generac offers the recommended 26R wet cell battery for use with all air-cooled standby product (including PowerPac®).
006212-0	Cold Weather Kit	If the temperature regularly falls below 32 °F (0 °C), a cold weather kit is required to maintain optimal battery and oil temperatures. Kit consists of a battery warmer and oil heater with built-in thermostats.
006821-0	Auxiliary Transfer Switch Contact Kit	The auxiliary transfer switch contact kit allows the transfer switch to lock out a single large electrical load you may not need. Not compatible with 50 amp pre-wired switches.
006830-0 - Black 006835-0 - Gray	Facia Base Wrap Kit* (Standard on 22 kW)	The fascia base wrap straps together around the bottom of the new air cooled generators. This offers a sleek, contoured appearance as well as offering protection from rodents and insects by covering the lifting holes located in the base.
006703-0 - Black 006704-0 - Gray	Paint Kit*	If the generator enclosure is scratched or damaged, it is important to touch-up the paint to protect from future corrosion. The paint kit includes the necessary paint to properly maintain or touch-up a generator enclosure.
006484-0 - 16 kW 006485-0 - 20 & 22 kW	Scheduled Maintenance Kit	Generac's scheduled maintenance kit provides all the hardware necessary to perform complete routine maintenance on a Generac automatic standby generator.
006864-0	Wireless Remote Monitor	Completely wireless and battery powered, Generac's wireless remote monitor provides you with instant status information without ever leaving the house. Not compatible with CorePower or EcoGen systems.
006198-0	PMM Starter Kit	The PMM Starter Kit consists of a 24 VAC, field installed transformer that enables the use of the 24 VAC Power Management Module (PMM) and one PMM. The standard controller (without starter kit) can control two HVAC loads with no additional hardware. Not compatible with pre-wired switches.
006196-0	Power Management Module (50 Amps)	Power Management Modules are used in conjunction with the Smart Switch to increase its power management capabilities. It gives the Smart Switch additional power management flexibility not found in any other transfer switch. Not compatible with pre-wired switches. Note: PMM Starter Kit required.

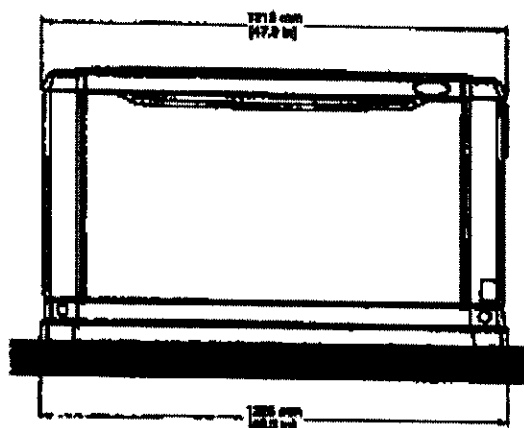
* Note: Black kits are used in conjunction with steel enclosures. Gray kits are used in conjunction with aluminum enclosures.

dimensions & UPCs

Dimensions shown are approximate. Refer to installation manual for exact dimensions. DO NOT USE THESE DIMENSIONS FOR INSTALLATION PURPOSES.



LEFT SIDE VIEW



FRONT VIEW

Model	UPC
006458-0	686471064599
0064610	686471064612
006721-0	686471067217
006729-0	686471067293
006730-0	686471067309
006551-0	686471065510
006552-0	686471065527
006462-0	686471064629

GENERAC

Generac Power Systems, Inc. • 545 W23290 HWY. 5B, Waukesha, WI 53186 • generac.com

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Item: ZBA#14-027 - Salhani Residence - 1302 S. Princeton Ave.

Department: Planning & Community Development

REQUEST

1. A 10.65 foot setback variance from Chapter 28, Section 6.13-3c1 (Exterior Side Yards) to allow a 5 foot tall semi open fence in the exterior side yard that is along the north property line with no street side landscaping where a 10.65 foot setback is required.
2. A 2 foot height variance from Chapter 28, Section 6.13-3 (Exterior Side Yards) to allow a 5 foot tall fence in the exterior side yard along the perimeter of the lot where a 3 foot high fence is allowed.

ATTACHMENTS:

Description

Staff Report
Department Comments
Drawings & Documents

Type

Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: September 8, 2014
Date Prepared: September 2, 2014
Project Title: Salhani Residence
Address: 1302 S. Princeton Ave.

Background Information

Petition Number: ZBA #14-027
Petitioner: Alexander Salhani
Address: 1302 S. Princeton Ave.
Arlington Heights, IL 60004
Existing Zoning: R-3, Single-Family

Requested Action/Background Information

The petitioner proposes to construct a 5 foot high open decorative metal fence along the exterior side yard where a 10.65 foot setback is required. The petitioner is allowed a 3 foot high open fence along the property line of the exterior side yard. Therefore, the petitioner requests the following variations:

- **A 10.65 foot setback variance from Chapter 28, Section 6.13-3c1 (Exterior Side Yards) to allow a 5 foot tall open fence in the exterior side yard that is along the north property line with no street side landscaping where a 10.65 foot setback is required.**
- **A 2 foot height variance from Chapter 28, Section 6.13-3 (Exterior Side Yards) to allow a 5 foot tall fence in the exterior side yard along the perimeter of the lot where a 3 foot high fence is allowed.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	8/22/14	
2. List of Property Owners Within 250 feet of Subject Property	✓	8/21/14	
3. Letter that was Mailed	✓	8/21/14	
4. Photographs of Sign on Property	✓	8/21/14	

Photograph of Existing Structure



PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Salhani Residence

Project Address: 1302 S. Princeton Ave.

ZBA #: 14-027

ZBA Hearing Date: September 8, 2014

To: Jim Massarelli, Director of Engineering
James McCalister, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: September 22, 2014

- A 10.65 foot setback variance from Chapter 28, Section 6.13-3c1 (Exterior Side Yards) to allow a 4 foot tall semi open fence in the exterior side yard that is along the north property line with no street side landscaping where a 10.65 foot setback is required.
- A 2 foot height variance from Chapter 28, Section 6.13-3 (Exterior Side Yards) to allow a 5 foot tall fence in the exterior side yard along the perimeter of the lot where a 9 foot high fence is allowed.

RECEIVED

AUG 25 2014

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Comments: NO COMMENT

CHARLEY CRAIG A.B.O.

Please review, comment, and return to me no later than Friday, August 29, 2014.

ZBA# 14-027

1302 S Princeton - ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering

Submitted: August 25, 2014

Completed – August 26, 2014 *99th*

The proposed ZBA application indicates that the petitioner is seeking:

A 10.65 ft variance to allow a 4 ft tall semi-open fence in the exterior side yard that is along the north property line with no street side landscaping, where a 10.65 ft setback is required; and a 2 ft height variance to allow a 5 ft tall fence in the exterior side yard along the perimeter of the lot where a 3 ft high fence is allowed.

The proposed fence along the north property line is along the edge of existing landscaping. The site distance to the corner would not be altered with the proposed fence.

The Engineering Department has no comment to the requested variance.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Salhani Residence

Project Address: 1302 S. Princeton Ave.

ZBA #: 14-027

ZBA Hearing Date: September 8, 2014

To: Jim Massarelli, Director of Engineering
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- A 2 foot height variance from Chapter 28, Section 6.13-3 (Exterior Side Yards) to allow a 5 foot tall fence in the exterior side yard along the perimeter of the lot where a 3 foot high fence is allowed.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: NO COMMENT.

- S. HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Friday, August 29, 2014.

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

RECEIVED
AUG 15 2014
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PETITION

NOW COMES the Petitioner Alexander Salhani

being the owner of the property commonly known as: 1302 S Princeton Ave

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section

Chapter 28, of the Arlington Heights Municipal Code, in order to: install

the fence around the backyard

I hereby state that the following hardship would exist if the variation were not granted:

FRUIT TREES ARE ON THE WAY

GARBAGE AND dog waste ARE INSIDE THE BUSHES

I hereby state that the following unique circumstances exist: _____

THE SAME REASON

NOT POSSIBLE TO HAVE THE FENCE ANY OTHER WAY

I hereby state that the variation, if granted, will not alter the essential character of the locality because: _____

THE BUSHES ALREADY EXIST IN THE SAME AREA

WHERE THE FENCE WILL BE INSTALLED

Signed: _____

Petitioner

Date: 08-11-14

LEGAL DESCRIPTION

LOT 150 IN SUNNYSIDE RIDGE WEST UNIT 2 BEING A SUBDIVISION OF PART OF THE EAST 1/2 OF SECTION 8 AND THE WEST 1/2 OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE VILLAGE OF ARLINGTON HEIGHTS, IN COOK COUNTY, ILLINOIS.

Commonly Known as: 1302 S. PRINCETON
ARLINGTON HEIGHTS, ILLINOIS
PIN NO. 08-08-405-001

STATE OF ILLINOIS)
COUNTY OF DU PAGE) S.S.)

I GREGORY L. POWELL, DO HEREBY CERTIFY THAT THE PLAT SHOWN
HEREON IS A CORRECT REPRESENTATION OF A SURVEY PERFORMED
AT AND UNDER MY DIRECTION.

ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL THIS 28TH DAY OF JUNE, A.D.
2002.

GREGORY L. POWELL
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3187

ORDER NO. 02-719

Drawn by NDV

Checked GLP

Approved GLP

Date 6/28/02

Scale 1" = 20'

Prepared for:

HUNT, KAISER,
BUSH, ARANDA
& SUBACH, LTD.
1035 S. York Road
Bensenville, Illinois.

SURVEYORS' NOTE:
● = IRON PIPE

RECEIVED

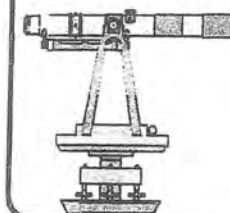
738 15 2014

PLANNING & COMMUNITY
DEVELOPMENT

G. Powell & Associates Inc.

Professional Land Surveyors

5892 Chatsworth Court
Hanover Park, Illinois 60133
Phone (630) 540-2557
Fax (630) 540-2558













Industrial & Commercial



UAS-100 Spear Top Industrial Quad-Finial with Circles



UAF-200 Flat Top Flush, 48" Special Design

UAS-100 Spear Top, 48" with Quads, Circles & Ball Tops



UAF-200 Flat Top, 72" High



UAS-100 Spear Top, 48" with Tri-Finials & 3" Posts



UAS-100 Industrial 72" Plugged Spear Top



UAF-200 Flat Top, 48" High



UAS-350 Convex Industrial with Tri-Finial



UAS-100 Spear Top, 84" High



UAF-200 Flat Top, 60" High



ULTRA ULTRA ULTRA