



Village of Arlington Heights
Conceptual Plan Review Committee
Community Room, 3rd Floor
Village Hall 33 S Arlington Heights Road
August 28, 2019
7:00 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Northwest Crossings - 7/24/19

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. Habitat for Humanity ReStore - 955 E. Rand Rd. - T1673
Land Use Variation, PUD Amendment, Zoning Variations

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Conceptual Plan Review Committee
8/28/2019

Item: Northwest Crossings - 7/24/19

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Northwest Crossings - 7/24/19	Minutes

**REPORT OF THE PROCEEDINGS OF
THE CONCEPTUAL PLAN REVIEW COMMITTEE**

OF THE VILLAGE OF ARLINGTON HEIGHTS PLAN COMMISSION

HELD AT VILLAGE HALL ON:

July 24, 2019

Project Title: Northwest Crossings PUD Amendment

Address: 1501 W. Shure Dr.

Petitioner: Adam Keldermans
TNC Lot 1, LLC

Address: 1033 Skokie Blvd. – Suite 480
Northbrook, IL 60062

Requested Action:

1. Amendment to PUD Ordinance 88-60, 15-016, and 15-040 to allow certain modifications to the approved development plan.

Variations Required:

- Section 6.13-3a, Front Yard, to allow a 8-foot tall open fence with sharp points in a front yard.
- Section 6.13-3b.2, Corner Lot, to allow an 8-foot tall open fence in a rear yard.
- Section 6.13-3c.1, Exterior Side Yards, to allow an 8-foot tall open fence in an exterior side yard.
- Section 6.12-1, to waive the requirement for a traffic and parking study prepared by a qualified professional engineer.

Attendees: Steve Bauer, Petitioner Representative
John Sigalos, Plan Commissioner
Bruce Green, Plan Commissioner
Lynn Jensen, Plan Commissioner
Sam Hubbard, Development Planner

Project Summary:

The subject PUD contains approximately 64.25 acres and was originally approved in 1988. The PUD includes three buildings, two on the northern side of Cellular Drive (1501 W. Shure Drive and 1421 W. Shure Drive) and one on the southern side (1455 W. Shure Drive). The 1455 W. Shure Drive building contains approximately 214,000 square feet and up until about one year ago was the home to Nokia Siemens, however, the building is currently vacant. The building at 1421 W. Shure Drive contains approximately 209,271 square feet and is fully leased to two tenants (HSBC and Northrop Grumman). The building at 1501 W. Shure drive is currently vacant and contains approximately 195,300 square feet. Appendix I at the end of this report depicts the overall PUD and where each building is located within the PUD.

The original 1988 PUD has undergone several amendments over the years, most recently in 2015 to allow demolition of a portion of the 1501 W. Shure Drive building, resulting in the current total of 195,300 square feet. A confidential tenant has been identified to lease the entire building, however, in order for them to occupy the site, certain changes must be made to the parking area and site access to provide for enhanced security. In addition to these exterior changes, the interior the space will be built out to accommodate the needs of this tenant.

Meeting Discussion:

Mr. Bauer explained that he was appearing on behalf of TNC Lot 1, which is the current owner of 1501 West Shure Drive and which property is a portion of the former Motorola campus. The owners had previously sought amendments to the PUD, one such amendment was to accommodate a tenant at the 1421 Shure Drive building. The subject request is for the 1501

Shure Drive building, and similar to the previous PUD amendment requests, this request was driven by the requirements of a specific tenant looking to locate in the 1501 building. The building at that address has been vacant for a number of years, and previous PUD amendments were undertaken to enhance the overall development to make it more competitive in the class A office market. The prospective tenant is looking to occupy the entire 1501 building. Occupancy would occur in two phases; phase one would occupy 65% of the building and phase two would occupy the remaining portion of the building.

The PUD amendment includes two requests; one is a modification to an off-street parking area which involves a reduction in parking during "phase one" (compared to what was originally approved in the latest PUD amendment), and in phase two an increase above what was originally approved. The second request is due to the tenants' security protocols and federal regulations, and the request is to allow an eight-foot tall security fence around the property, which requires certain variations.

Mr. Bauer stated that he had reviewed the staff report and did not take any issue with the preliminary conditions of approval.

Mr. Hubbard said that the overall development was approved as a PUD in 1988, which has been amended several times, most recently in 2015 to allow demolition of a portion of the 1501 building. The proposed changes to the site at 1501 West Shure Drive, which involve modifications to the drive aisles and site access, parking, and installation of a fence, kick in the requirement to amend the PUD. Variations are required for the fence and to waive the requirement for a traffic study. The development would proceed in two phases; phase one is the buildout of approximately 125,000 square feet within the building and phase two is the buildout of the remaining 70,000 square feet.

With regards to parking, the modifications to the parking area during phase one will cause the site to become non-compliant when parking is calculated on the basis of the entire building. However, since only a portion of the building will be occupied during phase I, the parking provided on-site will be sufficient. Since phase two involves the addition of over 200 parking spaces, once those spaces are constructed the entire building will comply with parking requirements. As a condition of approval, staff is recommending that occupancy of the phase two portion of the building only be allowed once the phase two parking has been constructed.

Staff is asking for a separate landscape plan that clearly shows what landscaping will be constructed during phase one, and a plan showing what landscaping will be installed as part of phase two. Staff was supportive of this project.

Commissioner Jensen asked if the entire building would be used as office space.

Mr. Bauer responded that it would.

Commissioner Jensen asked how much time would elapse between the completion of phase one and the start of construction on phase two.

Mr. Bauer replied that he did not have that answer but he would have that answer when this project appeared before the Plan Commission. He said it was driven entirely by the tenants need and he wasn't sure if the landlord knew their timetable.

Commissioner Jensen stated that it therefore could be months or could be years. He said that the project seemed pretty straightforward to him and he did not have any more questions.

Commissioner Sigalos asked if there was anything under construction on the site currently.

Mr. Bauer responded that he was unsure but he thought there might be. He explained that the landlord has been issued a permit to make certain modifications to the site as per the PUD amendment from 2015, and he believed that this work had been completed. Now that they had a tenant, they were going to be removing some of those improvements to accommodate for the specific needs of this tenant.

Commissioner Jensen asked where the entrance to the site was.

Mr. Hubbard replied that they had driveway entrances off both Shure Drive and Cellular Drive.

Commissioner Sigalos inquired as to whether the tenant could be identified.

Mr. Bauer explained that the tenant was still confidential at this point.

Commissioner Sigalos commented that the fence appeared to be a high security style fence.

Mr. Bauer said that the fence was a security fence but had a decorative design.

Commissioner Green asked about the portion of the building that was previously demolished.

Mr. Hubbard replied that the portion of the building that was demolished was on the north side, which is where the phase two parking would be installed.

Mr. Bauer confirmed that the phase two portion of the parking lot would be installed in the area where the building demolition took place. He pointed out that the façade in that area was undergoing work to finalize its' exterior appearance, as required by the 2015 PUD amendment that allowed the demolition. He said that the work might even be complete at this point.

Mr. Hubbard stated that he was not aware if the work had been finished, but he confirmed that a permit had been issued.

Commissioner Green summarized the feedback from the Conceptual Plan Review Committee as positive and encouraged the petitioner to move forward.

RECOMMENDATION

The Conceptual Plan Review Committee advised the petitioner to proceed forward with their application.

Bruce Green, Chair
CONCEPTUAL PLAN REVIEW COMMITTEE
Sam Hubbard, Recorder



**Conceptual Plan Review Committee
8/28/2019**

Item: Habitat for Humanity ReStore - 955 E. Rand Rd. - T1673

Department: Planning & Community Development

Requested Action

1. Land Use Variation to permit a "Secondhand Store" in the B-1 District.
2. Amendment to PUD Ordinance 72-052.

Variations Required

1. Variation from Chapter 28, Section 6.12-1 of the Municipal Code, to waive the requirement to provide a traffic and parking study from a certified Traffic Engineer.
2. Variation from Chapter 28, Section 10.4-2, Schedule of Parking Requirements, to reduce the required amount of on-site parking from 95 spaces to 57 spaces.

Recommendation

The Staff Development Committee reviewed the proposed PUD Amendment and Land Use Variation to allow a secondhand store on the subject property, and is generally supportive of the application, subject to resolution of the following:

1. The petitioner shall provide a written justification demonstrating compliance with the following standards for land use variation approval:
 - a. The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.
 - b. The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.
 - c. The proposed variation is in harmony with the spirit and intent of this Chapter.
 - d. The variance requested is the minimum variance necessary to allow reasonable use of the property.

2. If a variation is requested to waive provision of a traffic and parking study and reduce code-required parking, the petitioner shall provide a written response to the following hardship criteria in order to justify the variation:

a. The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.

b. The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.

c. The proposed variation is in harmony with the spirit and intent of this Chapter.

d. The variance requested is the minimum variance necessary to allow reasonable use of the property.

3. If a variation is requested to waive the requirement for a parking and traffic study, to justify the requested parking variation the petitioner shall provide an estimate of parking demand based upon the actual parking lot utilization at an existing ReStore facility. Counts shall be taken of parking lot utilization on a minimum of 3 days, including a Saturday, once per hour during the hours that ReStore is open for business. Due to the significant code required parking deficit on-site, more days of counts are encouraged to demonstrate parking demand will not exceed parking lot capacity.

4. Onsite landscaping will be evaluated during the Plan Commission review process. Missing or deficient landscaping must be provided or replaced.

5. These are just preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:

Description

Staff Report

Aerial

Site Plan

Plat of Survey

Business Summary

Elevations

Floor Plan

Type

Board or Commission Report

Exhibits

Exhibits

Exhibits

Exhibits

Exhibits

Exhibits



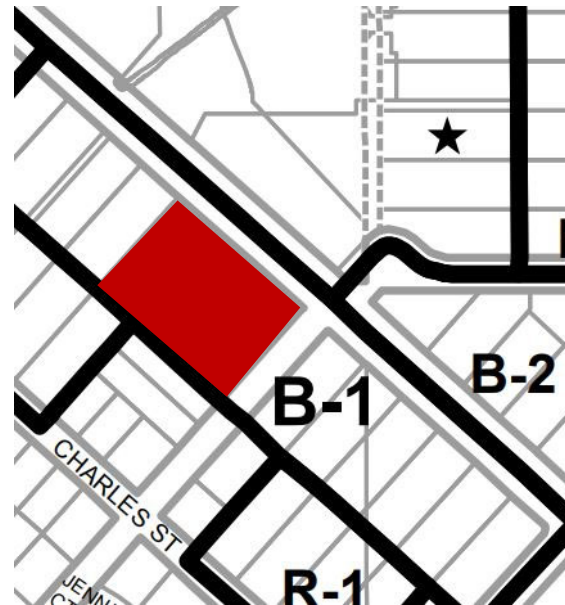
VILLAGE OF ARLINGTON HEIGHTS
STAFF DEVELOPMENT
COMMITTEE REPORT

Temp File Number: T1673
Project Title: Habitat for Humanity ReStore
Address: 955 E. Rand Rd.
PIN: 03-20-209-006, -007, and -008

To: Conceptual Plan Review Committee
Prepared By: Jake Schmidt, Assistant Planner
Meeting Date: August 28, 2019
Date Prepared: August 23, 2019

Petitioner: Deanna Davies
 Habitat for Humanity
Address: 56 S. Grove Avenue
 Elgin, IL 60120

Existing Zoning: B-1: Business District Limited Retail
Comprehensive Plan: Commercial



SURROUNDING LAND USES

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	B-3, General Service, Wholesale and Motor Vehicle District	Southpoint Shopping Center	Commercial
South	R-3, One Family Dwelling District and R-1, One Family Dwelling District	Single Family Homes	Single Family Detached
East	B-1, Business District limited Retail	Office, Warehouse Uses	Commercial
West	B-1, Business District limited Retail	Retail Store	Commercial

Requested Action:

1. Land Use Variation to permit a "Secondhand Store" in the B-1 District
2. Amendment to PUD Ordinance 72-052

Variations Required:

1. Variation from Chapter 28, Section 6.12-1 of the Municipal Code, to waive the requirement to provide a traffic and parking study from a certified Traffic Engineer.
2. Variation from Chapter 28, Section 10.4-2, Schedule of Parking Requirements, to reduce the required amount of on-site parking from 95 spaces to 57 spaces.

Project Background:

The subject property is located at 955 E. Rand Rd., and is currently developed with a 36,770 square-foot retail building with warehouse space. The site was approved as a PUD in 1972 via Ordinance 72-052, which allowed for construction of the existing structure and use as a furniture store. As the petitioner is proposing a change in use from that approved within the PUD, and the petitioner is proposing site modifications (detailed in the *Site and Landscaping* section of this report), the PUD must be amended.

The petitioner, on behalf of Habitat for Humanity of Northern Fox Valley, is proposing to occupy the building and use it for a ReStore facility, which engages in the sale of donated construction supplies and building materials. Habitat for Humanity of Northern Fox Valley currently operates two ReStore locations – in Chicago and Elgin.

Approximately 27,277 square-feet of space would be used for the retail sale of goods and materials, as well as office space. The remainder of the structure would be used as warehouse and loading dock space.

ReStore would employ approximately 4 persons once operational, with an additional 4 volunteers, for a total maximum of 8 representatives on-site at any given time. ReStore would be open from 9AM to 5PM or 10AM to 6PM on Wednesday-Sunday. Donations would only be accepted during operational hours.

Zoning and Comprehensive Plan

The subject property is located within the B-1 Zoning District, and the proposed use is classified as a “Secondhand Store”, which is not a permitted use within the B-1 Zoning District. To proceed forward, the Plan Commission must review and the Village Board must approve a Land Use Variation for the subject property. In order to demonstrate conformance with the standards of approval for a special use permit, the petitioner must provide a written justification to the following criteria:

- 1. The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.**
- 2. The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.**
- 3. The proposed variation is in harmony with the spirit and intent of this Chapter.**
- 4. The variance requested is the minimum variance necessary to allow reasonable use of the property.**

The subject property is designated as appropriate for commercial uses per the Comprehensive Plan of the Village of Arlington Heights. The proposed retail sale of materials and goods is compatible with this designation.

Site Plan and Landscaping

The applicant has identified several site alterations as part of the proposed project. These include a reconfiguration of the eastern portion of the parking lot to allow for a drop-off lane, as well as the relocation of existing parking spaces to the eastern side of the drive aisle. In the northern portion of the lot, the petitioner is proposing modifications to the parking lot to allow for additional parking spaces. During the formal Plan Commission review process, staff will evaluate the condition of the parking lot to determine if any additional repairs, resurfacing, or restriping is needed. Additionally, staff will also evaluate the existing site landscaping to ensure that it conforms to all code requirements.

Traffic and Parking

The total parking requirement for the proposed facility is based off of the respective uses within the building, broken down by the gross square footage of each use. Retail and Office space was assessed at ratio of 1 space per 300 square-feet, and the warehouse and loading dock were assessed at a ratio of 1 space per each 2 employees. A preliminary parking estimate shown in **Table 1** below:

Table 1: Required Parking				
<i>Required Parking</i>				
<i>Use</i>	<i>SF</i>	<i>Employees</i>	<i>Ratio</i>	<i>Requirement</i>
Retail/Office	27,277	-	1/300	91
Warehouse	9,493	8	1 per 2 Emp.	4
		<i>Parking Required</i>		95
		<i>Parking Provided</i>		57
		<i>Surplus/Deficit</i>		-38

Per the Staff analysis, a total of 95 spaces would be required for the proposed ReStore facility. The subject site is currently improved with 57 spaces, resulting in a code-required parking deficit of 38 parking spaces.

Therefore, the petitioner will need to request the following variation:

- **Variation from Chapter 28, Section 10.4-2, Schedule of Parking Requirements, to reduce the required amount of on-site parking from 95 spaces to 57 spaces.**

Additionally, per section 6.12-1 of Chapter 28 of the Municipal Code, any special use permit application over 5,000 square feet in floor area must include a traffic and parking study from a certified Traffic Engineer that assesses access, on-site circulation, parking, trip generation, and impacts to adjacent roadways. The petitioner has indicated they may be pursuing relief from this requirement as well.

If these variations are requested, the petitioner will need to provide written justification for each variation, addressing the hardship criteria below:

- **The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.**
- **The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.**
- **The proposed variation is in harmony with the spirit and intent of this Chapter.**
- **The variance requested is the minimum variance necessary to allow reasonable use of the property.**

If a variation is requested to waive the requirement for a parking and traffic study, to justify the requested parking variation the petitioner shall provide an estimate of parking demand based upon the actual parking lot utilization at an existing ReStore facility. Counts shall be taken of parking lot utilization on a minimum of 3 days, including a Saturday, once per hour during the hours that ReStore is open for business. Due to the significant code-required parking deficit on-site, more days of counts are encouraged to demonstrate parking demand will not exceed parking lot capacity.

With respect to bicycle parking, the provision of bicycle parking spaces is required when the use of a space changes to a more intense use. The regulations specifically state that bicycle parking spaces are required when “a change in use results in the requirement for additional off-street motor vehicle spaces”. As there is a change in the number of required vehicular spaces for the proposed ReStore from the previous use, provision of bicycle parking spaces is required as part of this petition. In total, a rack for 7 bicycles is required, per **Table 2** below:

Table 2: Required Bicycle Parking

<i>Required Parking</i>				
<i>Use</i>	<i>SF</i>	<i>Employees</i>	<i>Ratio</i>	<i>Requirement</i>
Retail/Office	27,277	-	1/6000	5
Warehouse	9,493	8	1 per 40 Emp., Min. 2	2
<i>Parking Required</i>				<i>7</i>

RECOMMENDATION

The Staff Development Committee reviewed the proposed PUD Amendment and Land Use Variation to allow a secondhand store on the subject property, and is generally supportive of the application, subject to resolution of the following:

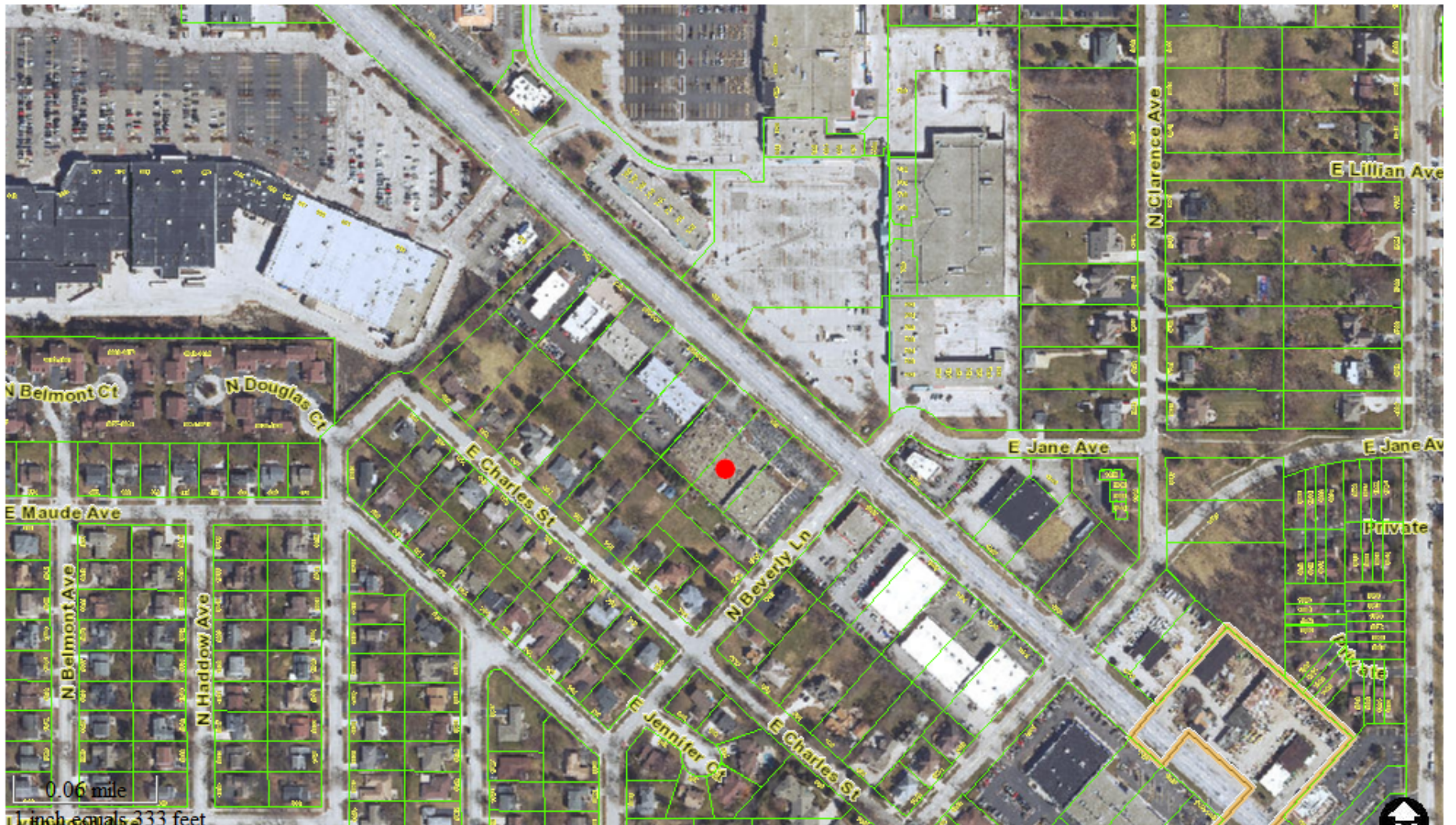
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August 23, 2019

Bill Enright, Deputy Director of Planning and Community Development

Cc: Randy Recklaus, Village Manager
All Department Heads
Temp File 1673

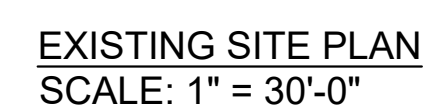


Map created on August 22, 2019.

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Disclaimer: This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

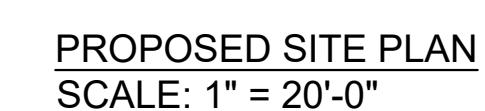


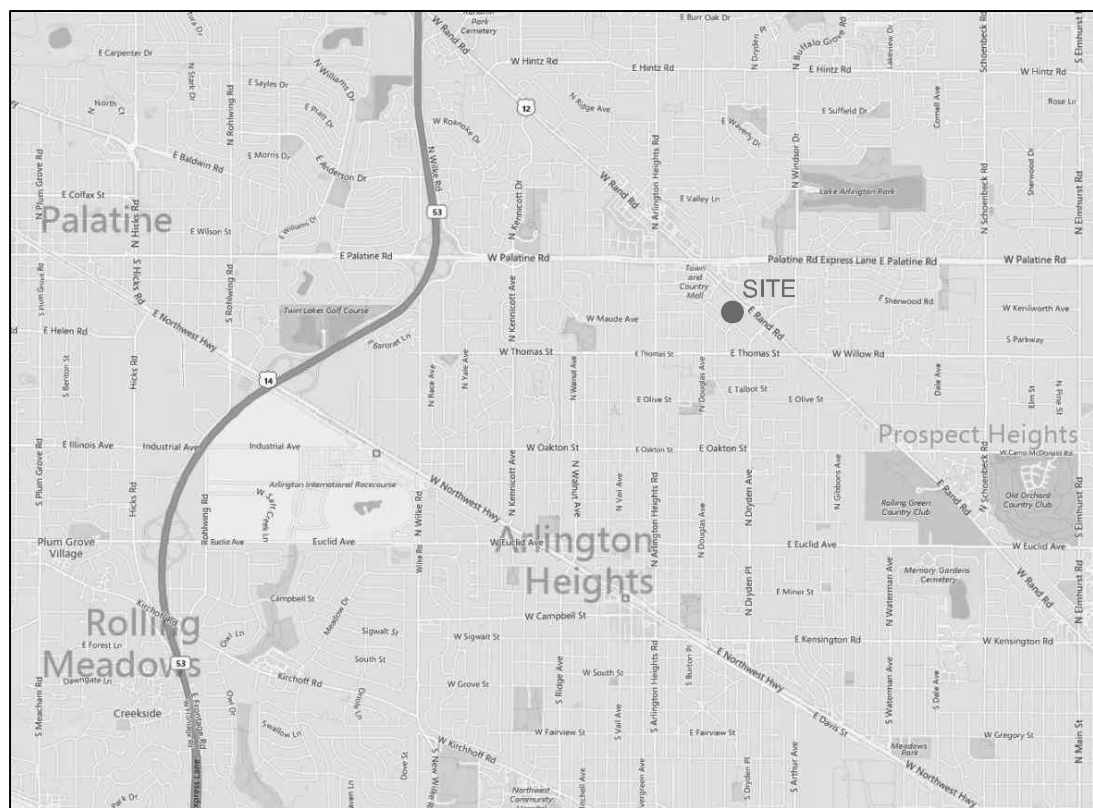
PARKING PROVIDED

EXISTING: 51 SPACES + 2 HC SPACES
PROPOSED: 55 SPACES + 2 HC SPACES

PARKING REQUIRED

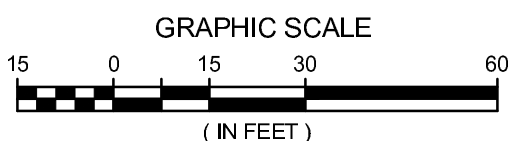
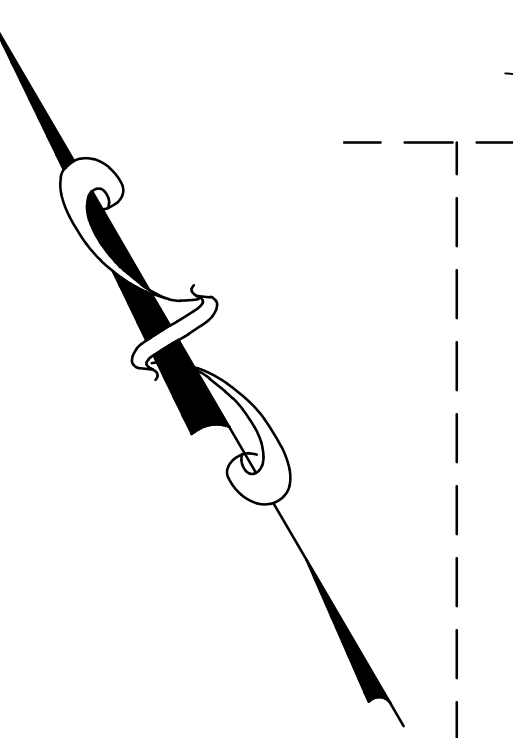
RETAIL: 1 SPACE FOR EVERY 300 S.F.
24,450 S.F. / 300 = 82 SPACES
EMPLOYEE: 1 SPACE FOR EVERY 2 EMPLOYEES
4 EMPLOYEES / 2 = 2 SPACES





VICINITY MAP
NOT TO SCALE

E. RAND RD.
100' PUBLIC R.O.W.



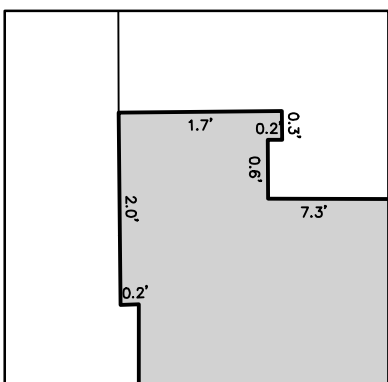
LEGEND

- BOLLARD
- ✦ SOIL BORING/MONITORING WELL
- ✦ FLAGPOLE
- ✦ MAILBOX
- ✦ SIGN
- AIR CONDITIONER
- CONTROL BOX
- ✦ TRAFFIC SIGNAL
- CABLE PEDESTAL
- ✦ POWER POLE
- ✦ GUY POLE
- ✦ GUY WIRE
- ✦ LIGHT POLE
- ✦ SPOT/YARD/PEDESTAL LIGHT
- ✦ HANDICAPPED PARKING
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- UTILITY VAULT
- ✦ GAS VALVE
- GAS METER
- ✦ GAS WARNING SIGN
- ✦ STORM MANHOLE
- ROUND INLET
- SQUARE INLET
- ✦ STORM SEWER END SECTION
- ✦ SANITARY MANHOLE
- ✦ SANITARY CLEANOUT OR SEPTIC VENT
- ✦ SANITARY INTERCEPTOR MANHOLE
- ✦ MISCELLANEOUS MANHOLE
- ✦ IRRIGATION CONTROL BOX
- ✦ WATER VALVE
- ✦ HYDRANT
- WATER SERVICE CURB STOP
- WATER MANHOLE
- ✦ WELL
- ✦ WATER SURFACE
- ✦ WETLANDS FLAG
- ✦ MARSH
- ✦ CONIFEROUS TREE
- ✦ DECIDUOUS TREE
- SHRUB
- — — — — EDGE OF TREES
- — — — — s - SANITARY SEWER
- — — — — s-to - STORM SEWER
- — — — — w - WATERMAIN
- — — — — g - MARKED GAS MAIN
- — — — — e - MARKED ELECTRIC
- — — — — o-hw - OVERHEAD WIRES
- — — — — b - BUREAU ELEC. SERV.
- — — — — t - MARKED TELEPHONE
- — — — — tv - MARKED CABLE TV LINE
- — — — — fo - MARKED FIBER OPTIC
- — — — — INDICATES EXISTING CONTOUR ELEVATION
- — — — — x 780.55 INDICATES EXISTING SPOT ELEVATION

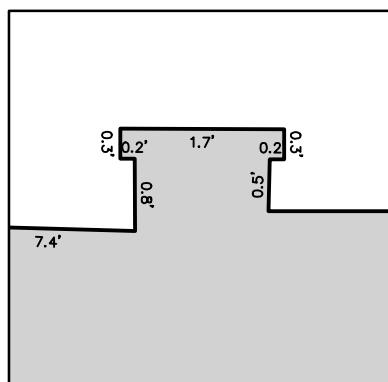
J.U.L.I.E. TICKET NO. X002821486--00X

THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

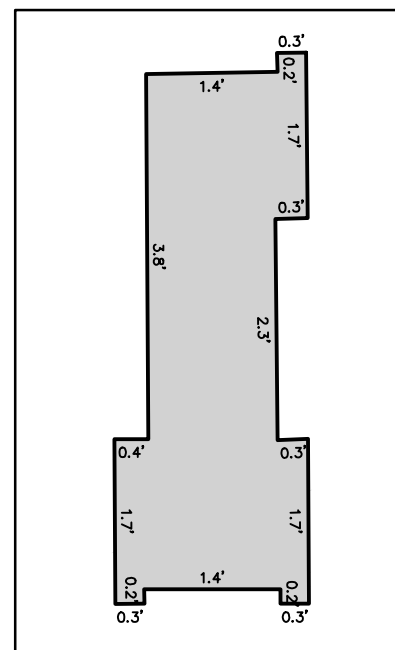
(P) INDICATES PIPE SIZES PER RECORD PLANS. OTHER PIPE SIZES ARE ESTIMATED. NO PIPE SIZES SHOULD BE RELIED UPON WITHOUT FURTHER VERIFICATION.



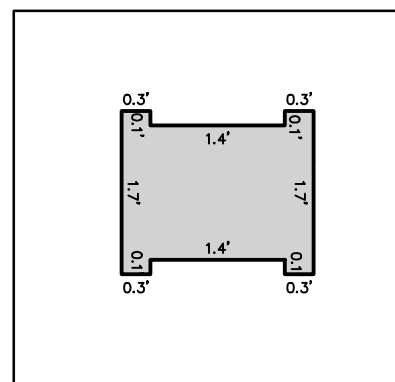
DETAIL 1 - BUILDING
SCALE: 1" = 2'



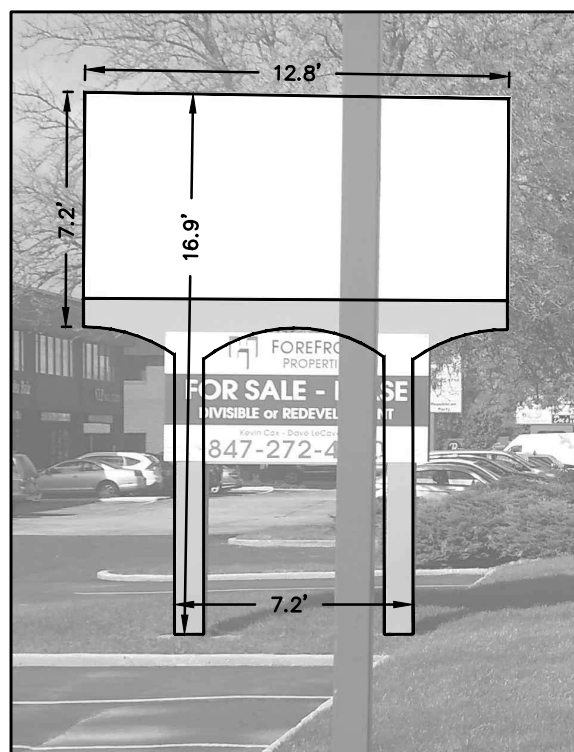
DETAIL 2 - BUILDING
SCALE: 1" = 2'



DETAIL 3 - TYP. COLUMN
SCALE: 1" = 2'



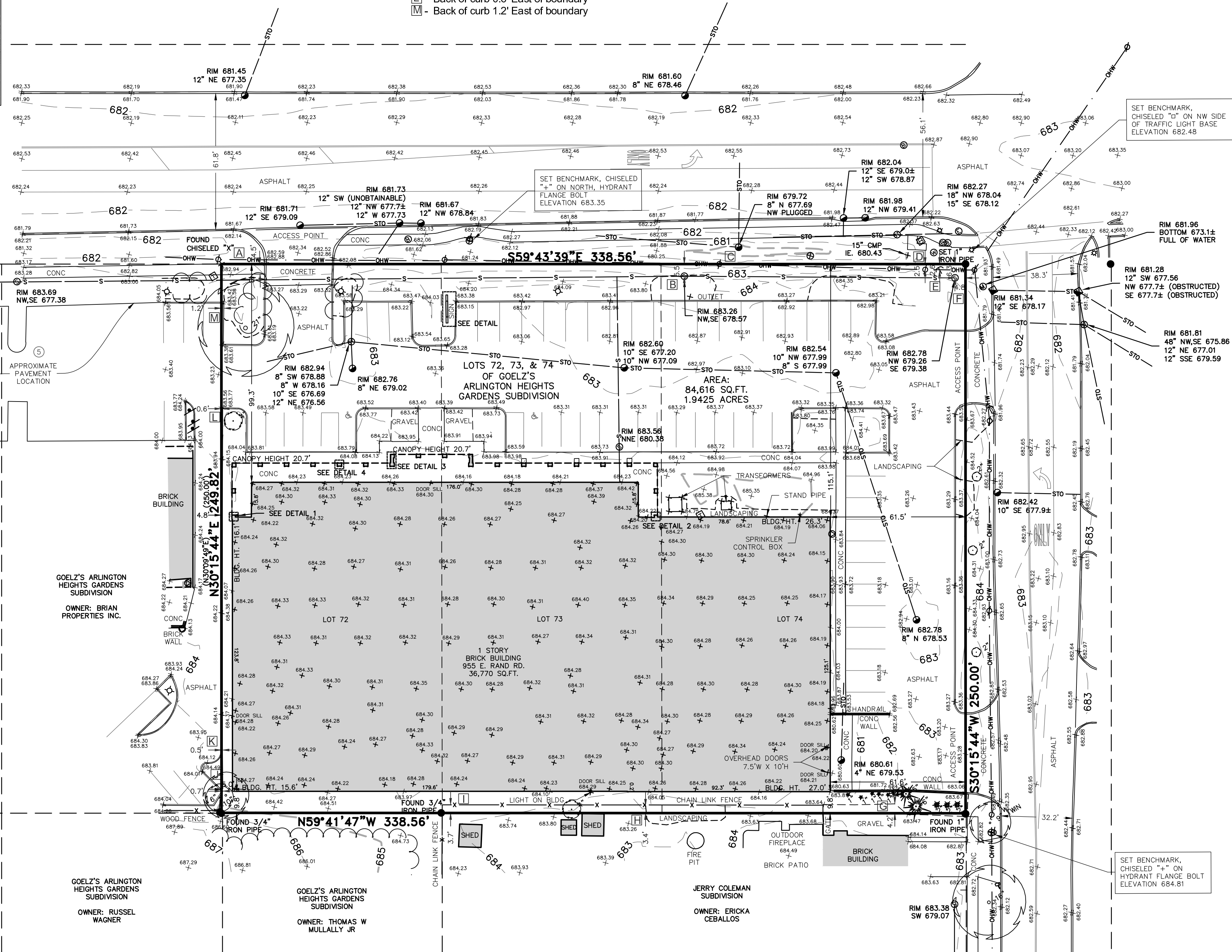
DETAIL 4 - TYP. COLUMN
SCALE: 1" = 2'



SIGN DETAIL
NOT TO SCALE

Potential encroachment list

- A - Public sidewalk 4.5' South of boundary
- B - Sanitary sewer manhole 5.5' South of boundary
- C - Power pole on line with boundary
- D - Power pole 2.5' South of boundary
- E - Guy wire 2.6' South of boundary
- F - Sanitary sewer manhole 6.3' South of boundary and 4.8' West of boundary
- G - Gravel driveway 4.2' North of boundary
- H - Landscaping 3.4' North of boundary
- I - Chainlink fence 3.7' North of boundary
- J - Back of curb 0.7' East of boundary
- K - Back of curb 0.5' East of boundary
- L - Back of curb 0.6' East of boundary
- M - Back of curb 1.2' East of boundary



ALTA/NSPS LAND TITLE SURVEY

ENTITY NO.

Known as 955 East Rand Road, Arlington Heights, IL.

LOTS 72, 73 AND 74 IN C. A. GOELZ'S ARLINGTON HEIGHTS GARDENS, BEING A SUBDIVISION IN THE NORTHEAST 1/4 OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

Prepared for: AMERCO Real Estate Company

Survey No: 167697-SMC

As surveyed perimeter description requested by client:

Lots 72, 73 and 74 in C. A. Goelz's Arlington Heights gardens, being a subdivision in the Northeast 1/4 of Section 20, Township 42 North, Range 11, East of the Third Principal Meridian, in Cook County, Illinois.

Commencing at the Northeast corner of Lot 74 on the Southerly right of way line of East Rand Road; thence South 30°15'44" West along the East line of said Lot 74 for a distance of 250.00 feet to the Southeast corner of said Lot 74; thence North 59°41'47" West along the Southern lines of Lots 74, 73, and 72 for a distance of 338.56 feet to the Southwest corner of said Lot 72; thence North 30°15'44" East along the Western line of said Lot 72 for a distance of 249.82 feet to the Northwest corner of said Lot 72; thence South 59°43'39" East along the Northerly lines of Lots 72, 73, and 74 for a distance of 338.56 feet to the point of commencement.

A. Basis of Bearings

Bearings are based on the South line of East Rand Road, which is assumed to bear South 59°43'39" East.

B. Title Commitment

This survey was prepared based on First American Title Insurance Company title commitment number NCS-927220-PHX1, effective date of September 14, which lists the following easements and/or restrictions from schedule B-11:

Part One:

1, 4-6. Not survey related.

2, 3. Visible evidence shown, if any.

Part Two:

1-3, 6-7. Not survey related.

4. Terms, provisions, covenants and conditions contained in the agreement made by and between The Village of Arlington Heights and First Bank of Oak Park as trustee under Trust Number 9798 recorded April 15, 1975 as Document 23049972. Affects site by location - General in nature, cannot be plotted.

5. Survey prepared by Michael J. Emmert Surveys, Inc., dated September 19, 2014, under Job No. Undisclosed, shows the following:

Unrecorded easement for ingress/egress in favor of the property Northwesterly. Visible evidence shown, if any.

C. Flood Note

According to flood insurance rate map of the Village of Arlington Heights, community panel number 17031C0201J, effective date of August 19, 2008, this site falls in zone X (areas determined to be outside the 0.2% annual chance floodplain)

D. Parking Spaces

There are 51 regular and 2 handicapped parking spaces marked on this site.

E. Elevations

Elevations refer to North American Vertical Datum of 1988 (NAVD 88).

Starting benchmark: NGS monument LD020, elevation 734.95'.

F. Municipal Zoning

A zoning report was not provided. Information obtained by surveyor. Site is zoned B1 - Business District Limited Retail according to the Cook Viewer (Cook County Online Map Application), accessed October 15, 2018.

G. Notes

There was no evidence of recent earth moving work, building construction or building additions observed in the process of conducting the fieldwork.

No information regarding proposed changes in street right of way lines was made available to the surveyor by the controlling jurisdiction.

There was no evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.

There was no evidence of wetland flags on the site observed in the process of conducting the fieldwork. No wetland designation exists at time of survey per the National Wetlands Inventory Mapper (www.fws.gov), accessed October 15, 2018.

To: Amerco Real Estate Company, a Nevada Company

U-Haul Co. of Illinois

First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 11, 13, 14, 16, 17, 18, 19, 20 and 21 of Table A thereof. The fieldwork was completed on October 11, 2018.

Date of Plat or Map: October 23, 2018

Eric R. Sturm

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ReStore Arlington Heights Anticipated Daily Operation / Personnel Needs

Retail with a mission...

ReStore accepts donated new and gently used home improvement and building materials from individuals, retailers, manufacturers, distributors and contractors. The materials are sold to the general public and the funds raised support Habitat for Humanity's local home construction and repair program. Habitat for Humanity of Northern Fox Valley (HFHNFV) currently operates two ReStores; located in Elgin and Chicago. The Chicago location is in partnership with Habitat for Humanity of Chicago. ReStores are considered destination retailers.

ReStores mission consists of three elements:

- Raise funds to support HFHNFV's construction of homes for families in need of decent affordable housing.
- Be stewards of the environment by diverting usable building materials from already overflowing landfills.
- Provide new and gently used materials to the public at reduced prices, thereby helping those who may not otherwise be able to afford to fix up their homes.

Operations / Personnel

ReStore Arlington Heights will function in the same manner as ReStore Elgin and ReStore Chicago. Below are answers to questions posed by the Village of Arlington Heights.

1. Approximately how many people, max at one time, would work at this location?

Staff: 4

Volunteers: 4

ReStore utilizes volunteers to aid in store operations. This cuts costs and helps us to provide more funding for Habitat for Humanity of Northern Fox Valley's home construction program. Volunteers work in 3-4 hour shifts, but we hope to have 4 on site at any given point of the day. Minimally there will be 3 staff on any given day. Some positions will be consolidated, therefore a couple of staff would split their time between our ReStore in Elgin and Arlington Heights and not be on site all the time.

2. Approximately how many customers at one time do you typically expect, based upon your other locations?

Based on the transaction numbers pulled together for our first several months of operation at ReStore Chicago, it could be approximately 10 customers at any one time. Of course, some days will be busier than others, such as Saturdays. Also, that number should increase over time. Last fiscal year, ReStore Elgin averaged approximately 24 customers at any given time. Elgin has been open since April 2006. ReStore Chicago averaged approximately 19 customers at any given time. Chicago opened in November 2014.

3. Would the hours of operation be consistent with your other two stores?

The days of the week we plan to be open would be Wednesday-Sunday. Closed Monday and Tuesday. As for hours of operation, we will either be open 9am-5pm (ReStore Elgin hours) or 10am-6pm (ReStore Chicago). Therefore there will be no late hours or operation.

4. Can anyone drop off merchandise at any time? Or are there set hours for this?

Yes, anyone can drop off merchandise. We do encourage the public to call ahead to find out if we are accepting the items they are interested in donating. While we accept donations during our open hours, both ReStore Elgin and ReStore Chicago ask that donations be dropped off a half hour before closing.

ReStore Parking Study:

The following narrative is addressing the city of Arlington Heights concern that the proposed ReStore site at 955 E Rand Rd in Arlington Heights may not have adequate parking spaces given the guidelines on zoning and business use. To address this we conducted a parking study at our Elgin facility to gather key information on usage. Below are the metrics surrounding this parking study. We also have attached the actual hourly tally sheet that was used.

Study Date: August 8-10, 2019. These dates were a Thursday thru Saturday.

Study Hours: We monitored hourly from 9:00 am to 5:00 pm.

Study Day: Air temperatures were in the low to mid 80's. No inclement weather was experienced. Thursday and Friday were mostly sunny and Saturday was partly cloudy.

Elgin Building Statistics: The Elgin ReStore is 40,000 square feet. Per our contract we have been allotted 51 parking spaces. This includes regular and handicapped spaces.

Metrics: The 3 days respectively generated the following totals:

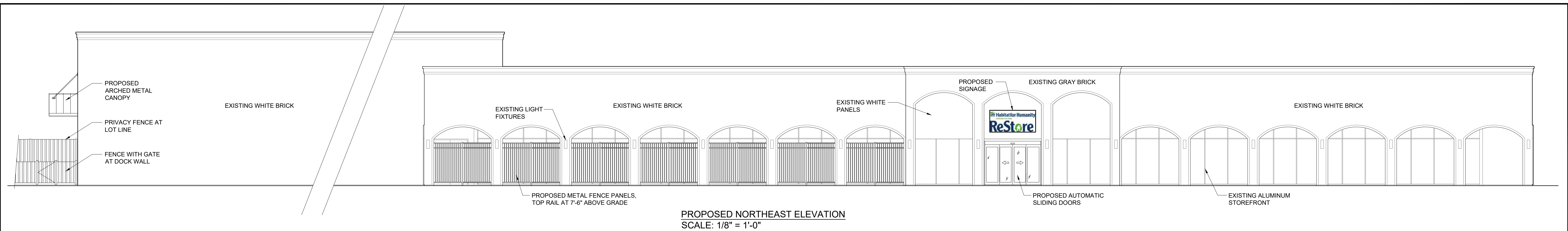
Total number of cars: 165, 178 and 230.

Average vehicles per day: 18.3, 19.7 and 25.5.

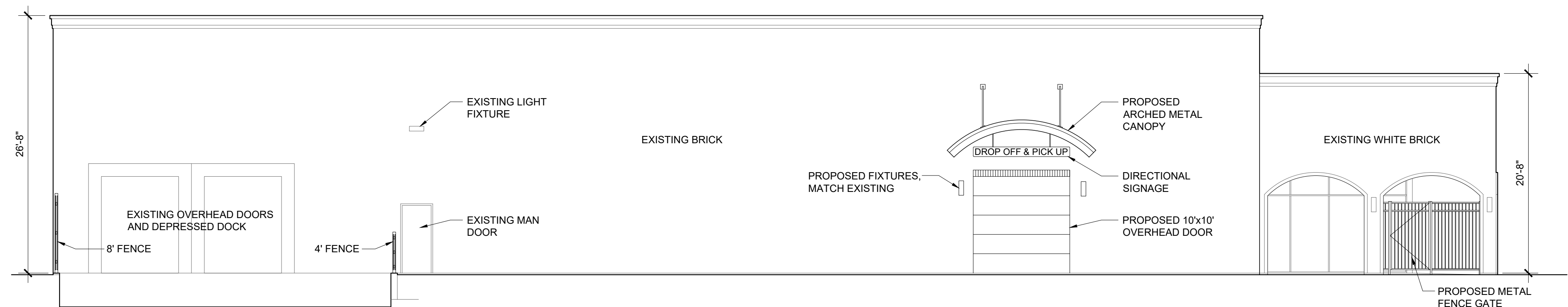
Highest hourly number: 30 (1pm), 26 (11 am) and 40 (11 am).

Average individual sales per hour: 21 sales

Assessment: Although there may be other factors to consider it would appear that the 51 existing spaces at the 955 E Rand address would be more than adequate to satisfy the vehicle volume we could expect on any given day. Our average vehicles each day never reached 50% of capacity and our highest number of vehicles any hour never went beyond 80% of capacity.



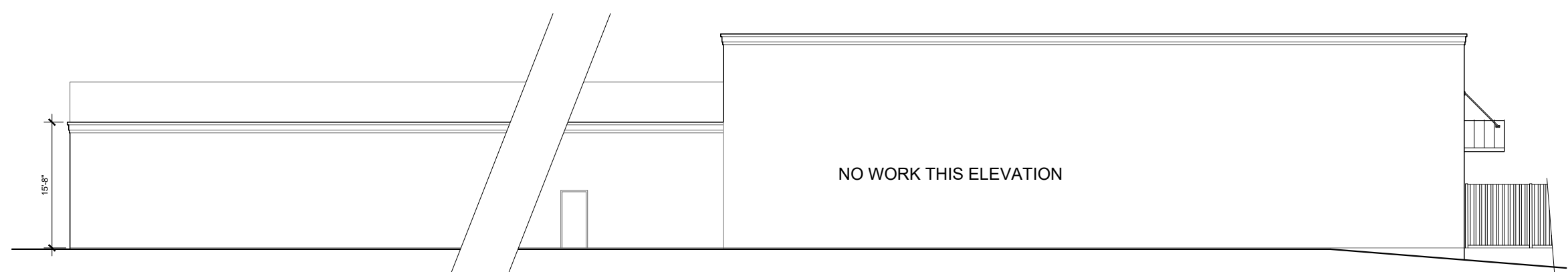
PROPOSED NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



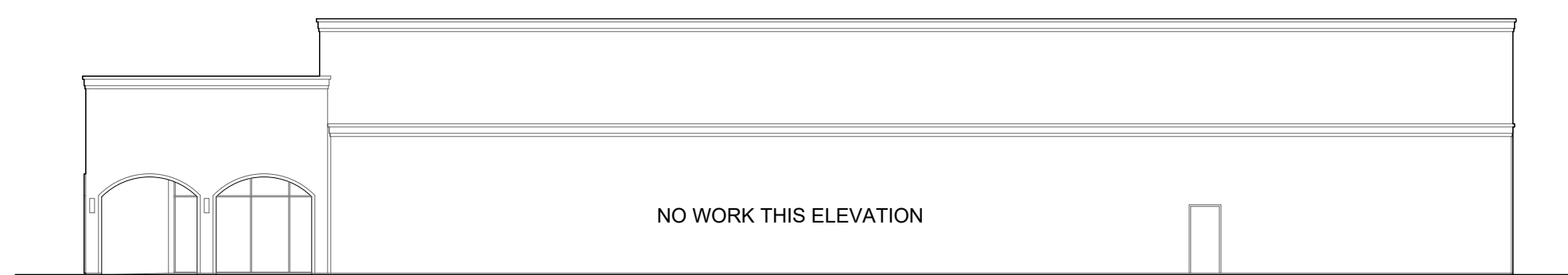
PROPOSED SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING NORTHEAST FACADE
NOT TO SCALE



EXISTING SOUTHWEST ELEVATION
SCALE: 1/16" = 1'-0"



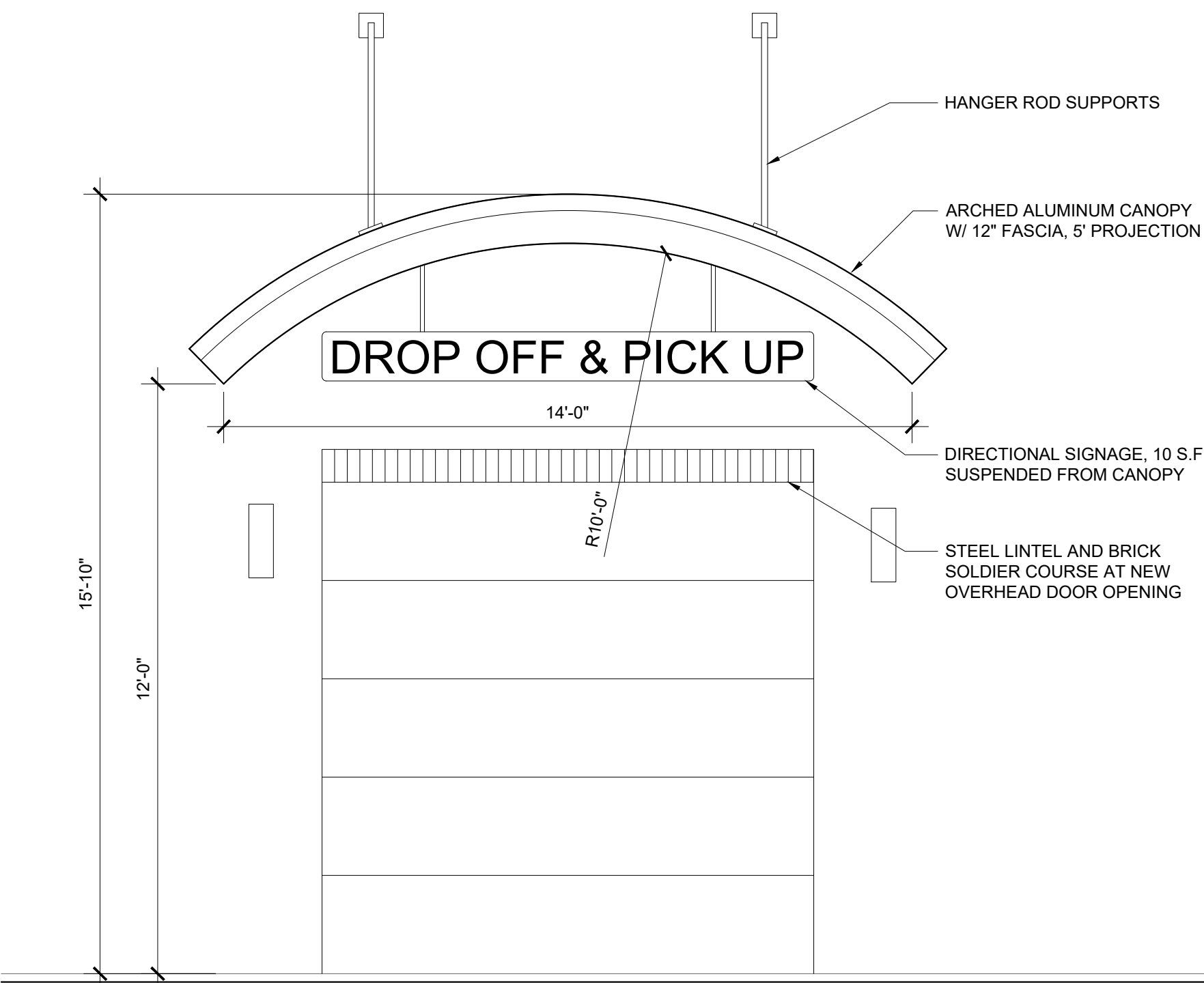
EXISTING NORTHWEST ELEVATION
SCALE: 1/16" = 1'-0"



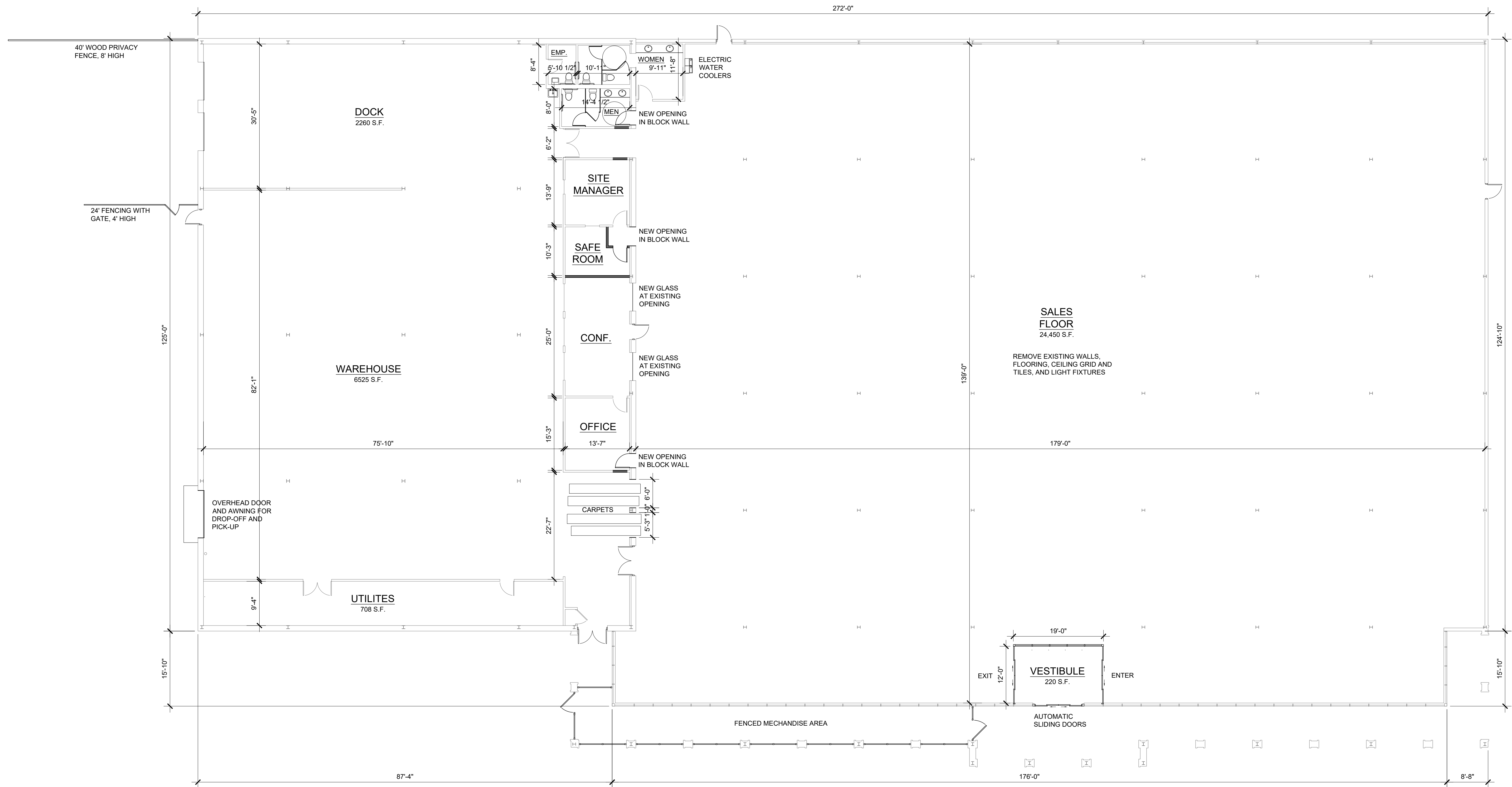
PROPOSED CANOPY TYPE
NOT TO SCALE



MONUMENT SIGN
SCALE: 3/8" = 1'-0"



PROPOSED CANOPY
SCALE: 3/8" = 1'-0"



PROPOSED FLOOR PLAN
SCALE: 3/32" = 1'-0"

