



Agenda
Village of Arlington Heights
Zoning Board of Appeals
Buechner Room, 1st floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
August 13, 2018
7:00 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. 3 S. Yale Ave. - 7/9/18
- B. 2101 S. Arlington Heights Rd. - 7/9/18
- C. 602 E. Park St. - 7/9/18

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. 530 S. Chestnut Ave. - ZBA#18-021
- B. 502 W. Kingsley Dr. - ZBA#18-023
- C. 2103 E. Gregory St. - ZBA#18-024
- D. 702 E. Marion St. - ZBA#18-025

VII. OTHER BUSINESS

- A. 2019 Budget

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: 3 S. Yale Ave. - 7/9/18

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
3 S. Yale Ave. - Minutes - 7/9/18	Minutes
3 S. Yale Ave. - Findings 7/9/18	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 3 SOUTH YALE AVENUE - ZBA #18-019

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Beuchner Room,
Arlington Heights, Illinois on the 9th day of July, 2018 at the hour of
7:00 p.m.

MEMBERS PRESENT:

JOSEPH SELBKA, Acting Chairman
TOM DRAKE
TOM SCHWINGBECK
JOSEPH GEISEL
BENJAMIN JAFFE
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Development Planner

ACTING CHAIRMAN SELBKA: Okay, why don't we do a call to order?
This is the Arlington Heights Zoning Board of Appeals meeting for July 9th, 2018. Could we do a roll call?

MR. MACH: Chairman Divito.

(No response.)

MR. MACH: Mr. Drake.

MR. DRAKE: Here.

MR. MACH: Mr. Geisel.

MR. GEISEL: Here.

MR. MACH: Mr. Jaffe.

MR. JAFFE: Here.

MR. MACH: Mr. Schwingbeck.

MR. SCHWINGBECK: Here.

MR. MACH: Mr. Selbka.

ACTING CHAIRMAN SELBKA: Here.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Here.

ACTING CHAIRMAN SELBKA: Okay, let's do the pledge of allegiance.

(Pledge of allegiance recited.)

ACTING CHAIRMAN SELBKA: Okay, moving on, has everyone had a chance to review the minutes from the previous meeting? Can I have a motion to approve?

MR. SIAVELIS: I'll move.

MR. GEISEL: Second.

ACTING CHAIRMAN SELBKA: Derek?

MR. MACH: All in favor.

ACTING CHAIRMAN SELBKA: All in favor?

(Chorus of ayes.)

ACTING CHAIRMAN SELBKA: Any opposed?

(No response.)

ACTING CHAIRMAN SELBKA: Okay, moving on to new business, let's start with 3 South Yale Avenue, No. 18-019. Is the Petitioner here?

MR. TALLERICO: That's me. That was awfully quick. I'm Brian, thanks for taking the time.

ACTING CHAIRMAN SELBKA: All right, have you signed in?

MR. TALLERICO: Yes.

ACTING CHAIRMAN SELBKA: Would you please raise your right hand?

MR. TALLERICO: Sure.

(Witness sworn.)

ACTING CHAIRMAN SELBKA: Okay, tell us about your request.

MR. TALLERICO: My family and I moved to Arlington Heights about two years ago, two years ago next month, and sadly, our fence in the home we bought started to kind of collapse relatively early. We brought out a couple of people to get close to repair it or to replace it. The repair quotes were so high, I just thought I'd like to replace it instead, home value and all that stuff.

So, we got the quotes to replace it. We found something we liked and I submitted it and found out that it needs to be moved back three feet from where it's been, where it currently is. In order to do so, we'd have to remove a few trees that are in perfectly good condition. So, I applied for a variance to not have to move it back the three feet.

ACTING CHAIRMAN SELBKA: Okay, so it was an existing non-conforming fence?

MR. TALLERICO: Yes, right.

ACTING CHAIRMAN SELBKA: You're simply asking to replace it --

MR. TALLERICO: Yes, exactly where it is.

ACTING CHAIRMAN SELBKA: Okay, have you spoken to your neighbors about this?

MR. TALLERICO: Yes.

ACTING CHAIRMAN SELBKA: Have there been any comments?

MR. TALLERICO: None. In fact, if you, I'm right near Wilke and Campbell, you know, where that big plaza is. There's five houses from my house to Walgreen's that all have fences that would conform with what I'm asking. So, they must all be non-conforming from previous zoning, I'm guessing, or all they all got variances, I don't know. But I spoke to one of the gentlemen across the street who has a fence similar to what I'm asking for, and he didn't see a problem with it.

ACTING CHAIRMAN SELBKA: All right, I'll open it up to comments from the audience. Does anyone have any statement, either in opposition or in favor of this variance? None being heard, I would say questions from the, does the Board have any questions for the Petitioner?

MR. JAFFE: No.

MR. GEISEL: No.

ACTING CHAIRMAN SELBKA: Okay, I will close this matter down for deliberation. Anyone have any comments?

MR. SIAVELIS: Pretty straightforward here. Existing non-conforming placement, and he's on Campbell Street right here. So, I think it's straightforward in my eyes.

MR. GEISEL: I would support it to move on.

ACTING CHAIRMAN SELBKA: Can I have a motion?

MR. DRAKE: So moved.

ACTING CHAIRMAN SELBKA: Second? I can't second.

MR. JAFFE: Seconded.

ACTING CHAIRMAN SELBKA: Okay.

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Geisel.

MR. GEISEL: Yes.

MR. MACH: Mr. Jaffe.

MR. JAFFE: Yes.

MR. MACH: Mr. Schwingbeck.

MR. SCHWINGBECK: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Acting Chairman Selbka.

ACTING CHAIRMAN SELBKA: Yes. All right, thank you.

MR. TALLERICO: Thank you.

(Whereupon, the above-mentioned petition was adjourned at 7:05 p.m.)

DRAFT

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS July 9, 2018

PETITIONER: Tallerico Residence

ADDRESS OF PROPERTY: 3 S. Yale Ave.

VARIATION: 6.13-3, 6.13-3c

A 3' variance to allow a 6' tall semi-open fence in the exterior side yard 2' from the sidewalk where code requires a minimum of a 5' setback, and to waive the requirement for landscaping on the street side of the fence.

The petitioner testified that their existing fence is deteriorating. The petitioner explained that they have obtained quotes for repairing the fence and that the quotes were high therefore they would like to replace the existing non-conforming fence. The petitioner testified that in order to move the fence to bring it into compliance would result in the loss of a few trees.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Drake and seconded by Mr. Jaffe. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Joseph Selbka, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 2101 S. Arlington Heights Rd. - 7/9/18

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
2101 S. Arlington Heights Rd. - Minutes - 7/9/18	Minutes
2101 S. Arlington Heights Rd. - Findings 7/9/18	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 2101 SOUTH ARLINGTON HEIGHTS ROAD - ZBA #18-020

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Beuchner Room,
Arlington Heights, Illinois on the 9th day of July, 2018 at the hour of
7:05 p.m.

MEMBERS PRESENT:

JOSEPH SELBKA, Acting Chairman
TOM DRAKE
TOM SCHWINGBECK
JOSEPH GEISEL
BENJAMIN JAFFE
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Development Planner

ACTING CHAIRMAN SELBKA: Let's go to the second petition which is 2101 South Arlington Heights Road. You don't have to stay here.

MR. TALLERICO: I'm a little curious. I'm going to stay a little bit.

ACTING CHAIRMAN SELBKA: Feel free to stay, you don't have to.

MR. TALLERICO: Thank you.

MR. SIAVELIS: Really?

MR. TALLERICO: Just for a bit. I've never been to this meeting.

ACTING CHAIRMAN SELBKA: All right. Can I have your name please?

MR. DADAY: My name is Stephen G. Daday, D-a-d-a-y, for the record. He is Avi Metchik, he's the representative of the ownership.

ACTING CHAIRMAN SELBKA: Would you both raise your right hand?
(Witnesses sworn.)

ACTING CHAIRMAN SELBKA: Okay, would you please present your petition?

MR. DADAY: Yes. This is similar to a petition that we presented last January which was granted for variations with respect to the parking requirements at 2101 South Arlington Heights Road. The property is a commercial space, it's rented by various, obviously by various tenants, some of which are business, professional offices, some are medical offices. We've received a request from Suburban Endocrinology to expand their space, and that's triggered another parking deficit.

We have some slight disagreement with the way these are calculated, but basically we are requesting a variation for the parking requirements to have the deficit of 42 spaces. We've conducted parking studies, both with the last request and also with this request. There's clearly sufficient parking to support it. Again, it's basically a question of this is, the building was built and there's only a certain number of parking spaces, we want to rent it out and we think that this is a fairly small request for a variation.

It's actually going to continue because as we need or rent more spaces to medical offices, this is going to trigger this again. So, we'd also like to try to figure out a way to avoid having to come back in the future. But the property is about 70 percent occupied, so there's 30 percent vacancies. So, we would be probably back if we need to be.

MR. SIAVELIS: So, do you contemplate a situation or a scenario where each tenant, each time you sign a tenant you're going to be back in front of us here? Is that what you're foreseeing?

MR. DADAY: That's possible. Particularly, if it's a medical office.

MR. SIAVELIS: Right.

MR. DADAY: So, I don't know if there's any questions, but we'd request the granting of the variation request.

MR. METCHIK: I think, Derek, if it would be a professional office tenant, we would be in compliance.

MR. MACH: Correct.

MR. METCHIK: Yes. So, we would only be here if the remaining 30 percent would be rented to medical users.

MR. MACH: That's correct.

MR. METCHIK: Okay, of which admittedly the building is about two-thirds medical, maybe even less, so medical tenants attract other medical tenants. So, if possible, maybe we can talk about some sort of a more permanent solution for this spot deficit.

MR. DRAKE: My only question would be related just to that point, you have a lot of medical tenants now and you have still a lot of vacant space there I think, which may bring on more medical tenants. Do you have enough handicap parking space there? People who go to see doctors, you know, may have those needs for handicap spaces.

MR. DADAY: Yes, we're in compliance with that. You know, I guess the benefit of having a medical office is that the people are scheduled. So, you know, you're not having everybody come at once. There is not a lot of walk-ins for that kind of use. So, you know, these numbers would remain pretty static in terms of what the parking availability is for the property.

MR. DRAKE: Okay.

MR. MACH: Yes, there are seven accessible parking spaces on the site which does meet the requirement.

ACTING CHAIRMAN SELBKA: Any other questions from the Board?

ACTING CHAIRMAN SELBKA: Talked to your neighbors? Anybody around? Anybody --

MR. DADAY: We had actually talked to them the last time. I don't know that we've had any conversations.

MR. METCHIK: No, I re-sent letters to everybody. It's mostly other commercial buildings, and there's one or two houses that we sent letters to. I don't have a personal relationship with either of them, but the signs have been up with my name and phone number on it for quite a while and nobody has called. Nobody in the building has expressed any sort of reservations except for the fact that they want more tenants in the building, everybody wants more foot traffic. So, they've only had, everybody in the building has only expressed positive feelings, and nobody outside has expressed anything negative.

ACTING CHAIRMAN SELBKA: Any comments from the audience? Okay, none being heard, I will close it down for Board deliberation and discussion.

MR. SCHWINGBECK: Yes, I mean this one we've seen time and time again. Usually the owner of the property is not going to do something that's going to hurt his overall business.

MR. JAFFE: Agreed.

MR. SCHWINGBECK: I think if there's tenants that are constantly complaining about parking spots, he's probably going to end up losing tenants.

MR. GEISEL: We've got an existing building with existing parking that was permitted to be constructed as is.

MR. SCHWINGBECK: Right.

MR. GEISEL: It's the perception that a medical office is going to absorb more parking spaces than a standard office which leads to this count that you're, you know, you're in front of us yet again, which to your point, it's on the level, those visits are scheduled versus standard office or retail where you could have more flexibility on this. So, I would support the variance request.

MR. JAFFE: Agreed, and similar to the last petition, I appreciate that you've quantified the actual spots available versus spots in use and the numbers do not suggest there is going to be any type of concern. So, I also support the request.

MR. SIAVELIS: Same.

ACTING CHAIRMAN SELBKA: Okay, could we have a motion please?

MR. GEISEL: Motion to approve.

MR. SIAVELIS: Second.

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Geisel.

MR. GEISEL: Yes.

MR. MACH: Mr. Jaffe.

MR. JAFFE: Yes.

MR. MACH: Mr. Schwingbeck.

MR. SCHWINGBECK: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Acting Chairman Selbka.

ACTING CHAIRMAN SELBKA: Yes.

MR. DADAY: Thank you.

MR. METCHIK: Thank you, gentlemen.

ACTING CHAIRMAN SELBKA: Thank you.

(Whereupon, the above-mentioned petition was adjourned at 7:12 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS July 9, 2018

PETITIONER: 2101 S. Arlington Heights Rd.

ADDRESS OF PROPERTY: 2101 S. Arlington Heights Rd.

VARIATION: 10.4

A variance to allow a reduction to the minimum required parking from 262 to 219 parking spaces.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that last January a parking variation was approved for the subject site. The petitioner testified that the property is a commercial space and is leased by various tenants many of which are medical office. The petitioner testified that the tenant, Suburban Endocrinology would like to expand their space, which is increasing the parking deficit. The petitioner testified that they have conducted parking studies and that there is a surplus of parking.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Geisel and seconded by Mr. Schwingbeck. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Joseph Selbka, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 602 E. Park St. - 7/9/18

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
602 E. Park St. - Minutes 7/9/18	Minutes
602 E. Park St. - Findings 7/9/18	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 602 EAST PARK STREET - ZBA #18-022

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Beuchner Room,
Arlington Heights, Illinois on the 9th day of July, 2018 at the hour of
7:12 p.m.

MEMBERS PRESENT:

JOSEPH SELBKA, Acting Chairman
TOM DRAKE
TOM SCHWINGBECK
JOSEPH GEISEL
BENJAMIN JAFFE
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Development Planner

ACTING CHAIRMAN SELBKA: At this point in time, we'll call No. 18-022, 602 East Park Street.

MRS. FITZGERALD: So, we are both signed in.

ACTING CHAIRMAN SELBKA: Okay.

MRS. FITZGERALD: I'm the homeowner. He's Michael, the architect.

MR. HAMMON: Hi, I'm Mike with Construction Design Architects.

ACTING CHAIRMAN SELBKA: Would you please raise your right hand?
(Witnesses sworn.)

ACTING CHAIRMAN SELBKA: All right. Could you please present your petition?

MR. HAMMON: All right. So, the scope of work is to remodel an existing residence located in the R-3 District at 602 East Park Street. The work includes the demolition of an existing non-compliant family room located in the rear yard, two small additions in the rear yard, and a new two-car garage.

Let's see here. So, the actual, the existing lot, it's two lots originally when they built. Then, so this front yard is on Park and the side is on Mayfair, so you get this, because it's a corner lot, you get this weird, okay, when there's only 50 feet it's very hard to build anything. So, the existing is non-compliant, we're actually going to make that compliant with two additions. But then the new garage is the variance we're asking for, and that variance would be a 17 by six-foot variation to allow a rear yard setback of 12.4 feet where 30 feet is required, plus a one-foot for eaves, and then a 3.6-foot variation to allow an addition in the front yard setback of 16.2 feet where 19.8 feet is required plus one-foot eave. So, it's these two parts in red that would be the non-compliant with the new proposed garage.

Everything else is up to code. We're well below the FAR and the impervious surface actually. With that, I'll let Julie tell her story.

MRS. FITZGERALD: Sure. So, we just bought the house a few months ago and just loved the charm of it. What we want to do is keep with the charm and the feel of the house. It's an enjoyable Cape Cod right there on one of these typical Scarsdale corner lots.

Really, we kind of face a couple of different hardships, the primary one is being the shape of the lot and these funky corner lots. You have one in this less than 50 feet, so no matter what we do, we're going over a corner some place. The second weird thing about it is that this house is built on a slab, so there is no basement, there is no crawl, there's no easy way to do that. So, storage is a bit of an issue, just even with this Cape Cod design, there is very little attic. So, storage is kind of a bummer.

Then, speaking of bummer, the third hardship is this existing non-compliant room on the back. It's really kind of lovely and we plan to use that as part of the design. As it turns out, once we get there, we noticed that the floor kind of slopes away from the house much like, I don't know, a patio would. So, my husband is like, oh, we've got to check this out, went and dug it out, there is no foundation. So, you can't really mess with something that's not really built on a foundation, so we --

MR. HAMMON: This is what she's talking about here in red. Just this addition.

MRS. FITZGERALD: We're just going to tear down and then we will make that compliant. So, we'll pull that back into the lines. So, that's what we're looking to do and trying to keep this as kind of like cute and Cape Cuddy and fit into the neighborhood as possible.

We have talked to a couple of the neighbors. We have a couple of them with us. The neighbors all seem to be in favor. Both people right behind us, on the side, Karen who has to look at it all day, and a couple of the other neighbors I think have also sent in letters that are in. So, that's what we're up to.

MR. HAMMON: So, to add, we will be keeping the same original, matching the same materials and finish to keep the character of the locality. We're repeating the two dormer windows, so it still has the Cape Cod style and still goes with the aesthetic of the neighborhood.

ACTING CHAIRMAN SELBKA: Any questions from the Board?

MR. SCHWINGBECK: Yes, and if I'm not mistaken, if I read everything correctly, if the garage which you're talking about, going over that little triangle there where the property line meets, if you pushed it all the way back into the corner, you wouldn't even need a variance, is that correct?

MRS. FITZGERALD: Correct. If it were not sort of adjacent.

MR. SCHWINGBECK: If it was a detached garage.

MRS. FITZGERALD: Yes, if it was a detached garage, we wouldn't need a variance. But it just seems like it would be really brutal to both of our neighbors.

MR. SCHWINGBECK: Right.

MRS. FITZGERALD: Because then you're kind of like shoving a garage right in their faces. So far we're getting along great, so I don't want to do that.

MR. SCHWINGBECK: No, it's kind of a real strange building line there.

MR. GEISEL: You're also removing the shed?

MRS. FITZGERALD: Yes, yes.

MR. HAMMON: Yes.

MR. GEISEL: Which is, right.

MRS. FITZGERALD: Which they are also appreciative of.

MR. SIAVELIS: Right, because a detached garage there is going to put it right in the face of 611 Mayfair.

MR. SCHWINGBECK: Right.

MRS. FITZGERALD: Yes.

MR. SIAVELIS: That's probably not what they want. I think it should be noted that the character of the neighborhood now, we're supposed to look at that as a factor, right across the street, it's hard to say which street, it has seven corners right here, but at 450 Park, there is a similar house, like a similar lot.

MR. HAMMON: If you look on the last page of your packet, it's going to have one that --

MR. SIAVELIS: Yes, it's shown, too, right. So, what Petitioner has contemplated will be very consistent with what is at 450 Park. So, as far as the cohesion and design elements in the neighborhood, that one checks the box.

MR. GEISEL: I also appreciate the new collateral because some of the existing was real difficult to digest against --

MR. SIAVELIS: Say again?

MR. GEISEL: I said I also appreciate the new collateral, the new materials, because it gives more context than some of what was provided --

MR. SIAVELIS: Yes, and this is a tough lot. I mean if you guys haven't been by it a long time, this is a beautiful rounded corner, I didn't realize where 605 East Park cuts in, how severely it cuts in to the southeast part of the Petitioner's lot. I mean that really inhibits them and constrains them. So, I think they're, given what the Petitioner explained, I think this is probably the only way to do it if you're going to take these renovations on and the lack of a foundation in the back.

MR. GEISEL: Correction also.

MR. SIAVELIS: Yes. So, I'm in favor of it.

ACTING CHAIRMAN SELBKA: Any comments from the audience?

MS. HOOD: It's beautiful. Anything that they'll do I think will enhance their home and enhance the area as well. We're actually --

ACTING CHAIRMAN SELBKA: Actually, you have to step on up.

MS. HOOD: Do I have to?

ACTING CHAIRMAN SELBKA: Yes, yes.

MS. HOOD: Yes, to make it official.

ACTING CHAIRMAN SELBKA: Have you signed in?

MS. HOOD: Yes, I have.

ACTING CHAIRMAN SELBKA: Would you raise your right hand?

(Witness sworn.)

ACTING CHAIRMAN SELBKA: Okay, go ahead.

MS. HOOD: Yes, I live right across the street on Park Street from the Fitzgeralds. I did see their plans last weekend, and I think it will only enhance the house as well as the area. We live at 501 South Bristol which is a similar type shaped lot, so it will be very consistent with what we have on our lot as well. So, I would be in favor.

ACTING CHAIRMAN SELBKA: Okay.

MR. JARRETT: Excuse me.

ACTING CHAIRMAN SELBKA: Have you signed in?

MR. JARRETT: I did sign in.

(Witness sworn.)

MR. JARRETT: I'm Javon Jarrett. I live at 606 East Park Street. We're in agreement with the plans, my wife and my three beautiful daughters. We saw the plans last week. We can't wait and I think we want to help send it up.

ACTING CHAIRMAN SELBKA: Thank you, Mr. Jarrett. Okay, with that, I will close it for Board discussion.

MR. SCHWINGBECK: Yes, I like the plan. I mean it's unfortunate that that back room is just built on a patio. But I think removing it, bringing it all the way back into the building lines, I like the overall plan and their really garage is, I think situated there makes a lot more sense than moving it into the back of the lot. So, I'm in favor of it.

MR. JAFFE: Agreed.

MR. GEISEL: Yes.

MR. SIAVELIS: Yes, definitely.

ACTING CHAIRMAN SELBKA: Okay, then I'll call for a motion.

MR. SCHWINGBECK: Motion to approve.
MR. DRAKE: Second.
MR. MACH: Mr. Drake.
MR. DRAKE: Yes.
MR. MACH: Mr. Geisel.
MR. GEISEL: Yes.
MR. MACH: Mr. Jaffe.
MR. JAFFE: Yes.
MR. MACH: Mr. Schwingbeck.
MR. SCHWINGBECK: Yes.
MR. MACH: Mr. Siavelis.
MR. SIAVELIS: Yes.
MR. MACH: Acting Chairman Selbka.
ACTING CHAIRMAN SELBKA: Yes. Thank you.
MR. HAMMON: Thank you very much.
ACTING CHAIRMAN SELBKA: Okay, any other business? All right, none being heard, can I have a motion to adjourn?
MR. DRAKE: So moved.
MR. JAFFE: Seconded.
ACTING CHAIRMAN SELBKA: All in favor?
(Chorus of ayes.)
ACTING CHAIRMAN SELBKA: All opposed?
(No response.)
ACTING CHAIRMAN SELBKA: Thank you, everyone.
(Whereupon, the above-mentioned petition was adjourned at 7:23 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS July 9, 2018

PETITIONER: Fitzgerald Residence

ADDRESS OF PROPERTY: 602 E. Park St.

VARIATION: 5.1-4.2

A 17.6' variance to allow an addition with a rear yard setback of 12.4' where 30.0' is required, and an additional 1.0' for the eave; and a 3.6' variance to allow an addition with a front yard setback of 16.2' where 19.8' is required, and an additional 1.0' for the eave.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they are proposing to remodel the existing residence. The petitioner testified that they are proposing to demolish an existing non-compliant family room along with two small additions in the rear yard and add a new two-car garage. The petitioner testified that the subject property is located on a corner and the lot is irregular in shape. The petitioner explained that the shape of the lot and the placement of the existing home creates a challenge for meeting the required setbacks.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Schwingbeck and seconded by Mr. Jaffe. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Joseph Selbka, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 530 S. Chestnut Ave. - ZBA#18-021

Department: Planning & Community Development

REQUEST

A 5.2 foot variation from Chapter 28, Section 5.1-3.2a (Required Minimum Yards, Front Yard) to permit a front porch addition that is set back 22 feet from the property line where 27.2 feet is required, and an additional 1.0 feet for the eave.

ATTACHMENTS:

Description	Type
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: August 13, 2018
Date Prepared: August 7, 2018
Project Title: Dunnington Residence
Address: 530 S. Chestnut Ave.

Background Information

Petition Number: ZBA #18-021
Petitioner: Wendy Dunnington
Address: 530 S. Chestnut Ave.
Arlington Heights, IL 60005

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

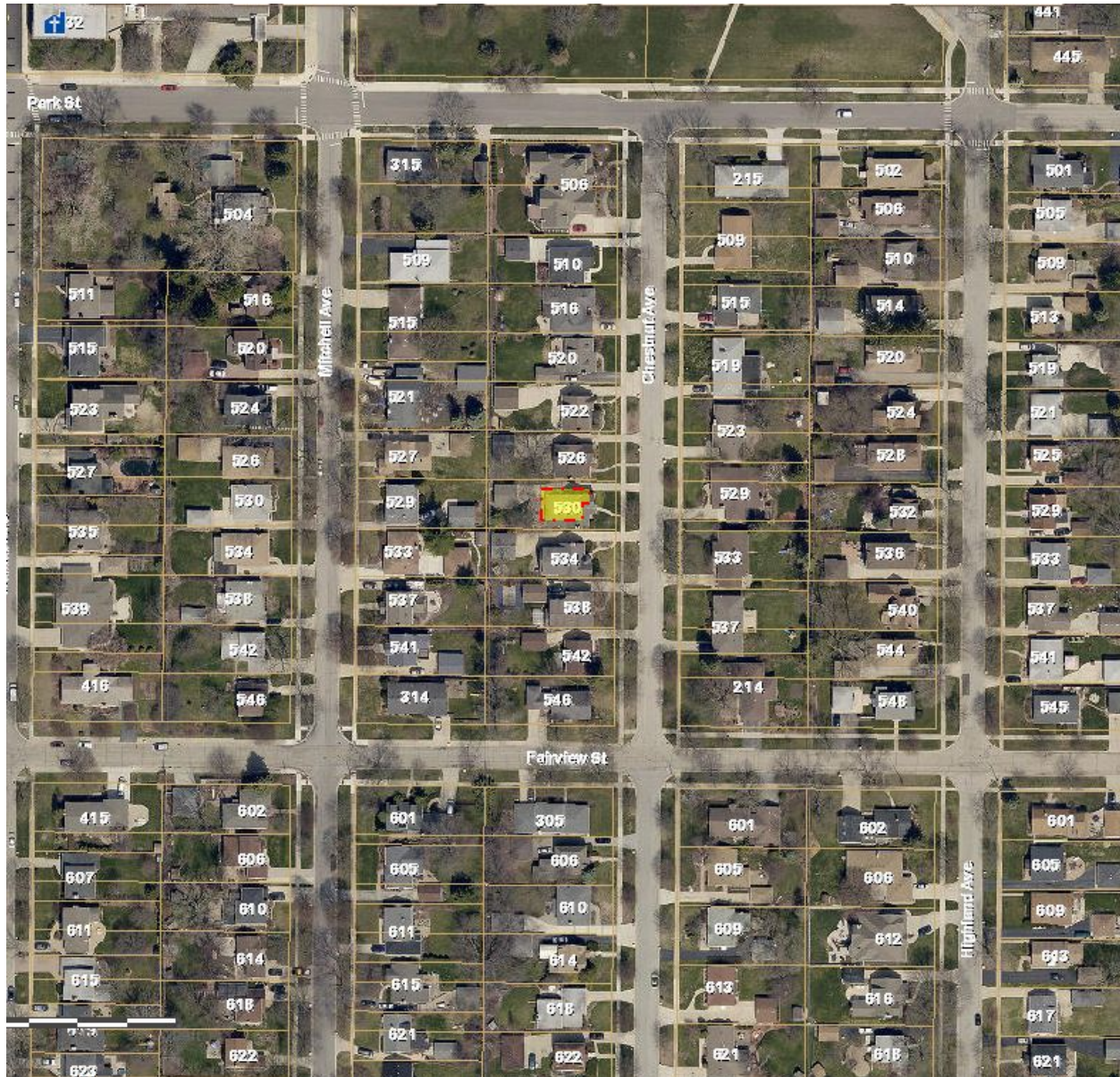
The subject property is zoned R-3, Single Family Residential District. The petitioner is proposing a new front porch addition to their existing home, however this would result in a porch that is set back 22 feet from the property line where a 27.2 foot front yard setback is required. Therefore, the petitioner requests the following variation:

- **A 5.2 foot variation from Chapter 28, Section 5.1-3.2a (Required Minimum Yards, Front Yard) to permit a front porch addition that is set back 22 feet from the property line where 27.2 feet is required, and an additional 1.0 feet for the eave.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	7/26/18	
2. List of Property Owners Within 250 feet of Subject Property	✓	7/26/18	
3. Letter that was Mailed	✓	7/26/18	
4. Photographs of Sign on Property	✓	7/26/18	

Photographs of Existing Structure



ZBA# 18-021
530 S Chestnut Ave - ZBA
Rev. Eng: Nanci Julius, P.E.
cc: Mike Pagonces, P.E. Acting Director of Engineering

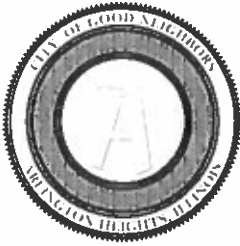
Submitted: July 25, 2018
Completed: July 30, 2018

The proposed ZBA application indicates that the petitioner is seeking:

A 5.2 ft variance to permit a front porch addition that is set back 22 ft from the property line where 27.2 ft is required, and an additional 1 ft for the eave.

The Engineering Department has NO OBJECTION to the proposed variance.

RECEIVED
JUL 30 2018
**PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT**



**Village of Arlington Heights
Building & Life Safety Department**

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Dunnington Residence

Project Address: 530 S Chestnut Ave

ZBA #: 18-021

Date: July 30, 2018

Derek:

I have reviewed the request for the following variance:

- A 5.2foot variance to allow a front porch addition that is set back 22 feet from the property line where 27.2 feet is required, and an additional 1.0 feet for the eave.

I have no objection to the variance.

RECEIVED
JUL 31 2018
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Dunnington Residence

Project Address: 530 S. Chestnut Ave.

ZBA #: 18-021

ZBA Hearing Date: August 13, 2018

To: Mike Pagones, Acting Director of Engineering
Steven Touloumis, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: July 24, 2018

- A 5.2 foot variation from Chapter 28, Section 5.1-3.2a to permit a front porch addition that is set back 22 feet from the property line where 27.2 feet is required, and an additional 1.0 feet for the eave.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THE PROPOSED FRONT PORCH IS NICELY DESIGNED
TO FIT SCALE AND CHARACTER OF THE EXISTING HOUSE.
-STEVE HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Thursday, August 2, 2018.

June 10, 2018

PETITION

530 South Chestnut Avenue, Arlington Heights, Illinois 60005

NOW COMES the Petitioner Josh and Wendy Dunnington being the owner of the property commonly known as: 530 S Chestnut Ave and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.6 (Required Minimum Yards), Chapter 28, of the Arlington Heights Municipal Code, in order to expand front porch.

I hereby state that the following hardship would exist if the variation were not granted: The existing porch can not be reduced in depth and be functional. It would only be 2 feet deep.

I hereby state that the following unique circumstances exist: The existing porch is already encroaching on the setback line by 2.25 feet.

I hereby state that the variation, if granted, will not alter the essential character of the locality because: Similar porch additions have already been granted in this area.

Signed: (Petitioner) Wendy Dunnington Date: 6-10-18

RECEIVED

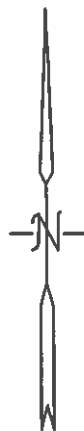
JUN 12 2018

PLAT OF SURVEY

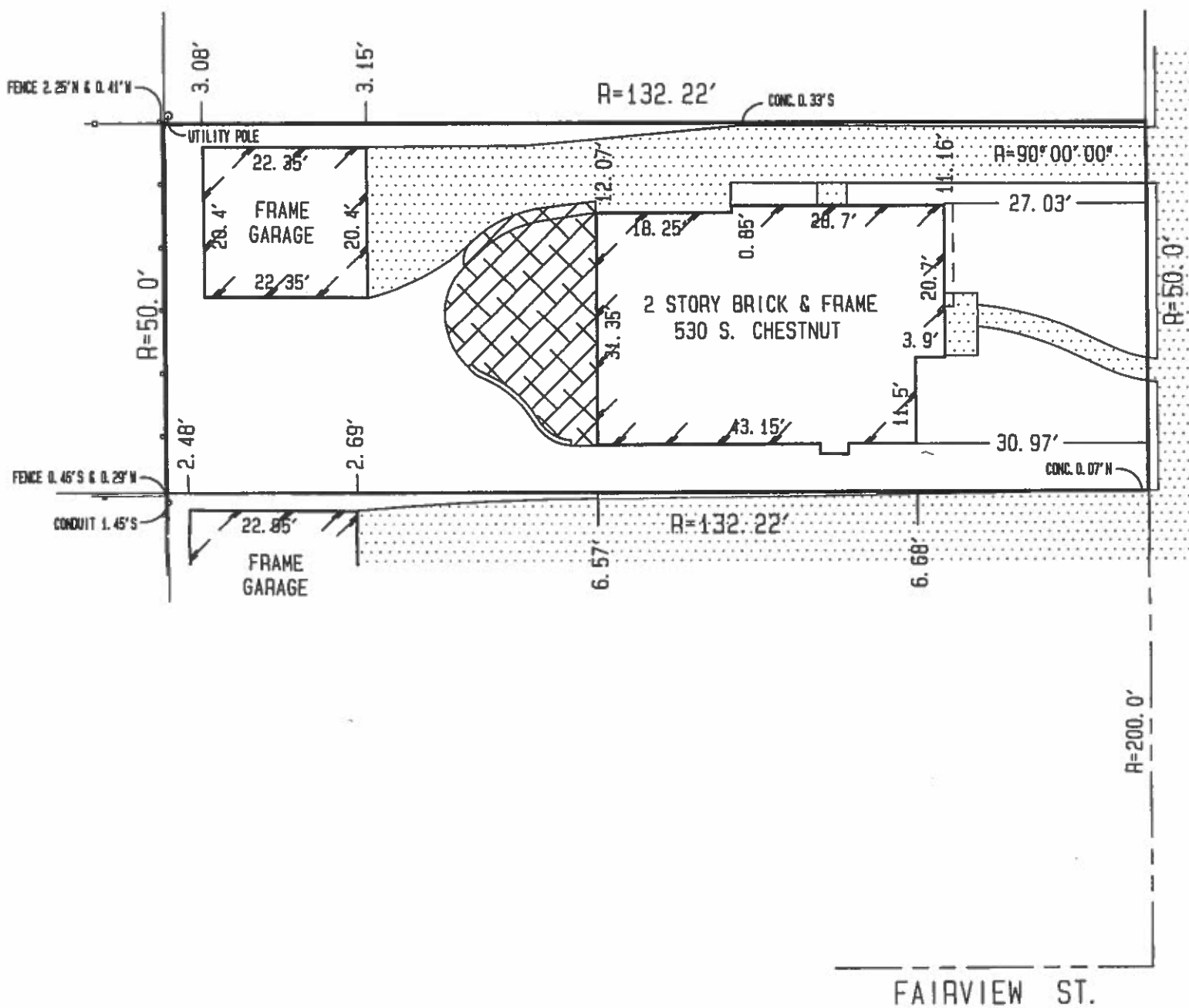
Order No. 1613328

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

RESUB OF BLOCK 2 IN SUBDIVISION OF LOTS 9 TO 14 INCLUSIVE OF CAROLINE
FENCE'S SUBDIVISION OF SOUTH 50 ACRES OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF
SECTION 31, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN,
IN COOK COUNTY, ILLINOIS.



SCALE 1" = 20'



CHESTNUT AVE.

FAIRVIEW ST.

LEGEND

LIMITS of BUILDING -

R - RECORD

M - MEASURED

D - DEED

● - FOUND IRON PIPE

○ - SET IRON PIPE

⊙ - HYDRANT

⊙ - LIGHT

CONCRETE -

PAVERS -

ASPHALT -

CONCRETE -

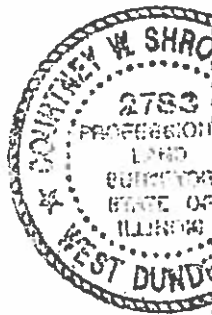
PAVERS -

ASPHALT -

STATE of ILLINOIS

S. S.

COUNTY of KANE



WE, LAND DIVISIONS INC., CERTIFY THAT THIS SURVEY WAS MADE
ON THE GROUND, THAT THIS PLAT CORRECTLY REPRESENTS THE
FACTS AS FOUND AT THE TIME OF THE SURVEY AND THAT THIS
PROFESSIONAL SERVICE REPRESENTS A TESTED OPINION OF THE
BOUNDARY OF THE ABOVE CAPTIONED PROPERTY.
DATE OF SURVEY: OCTOBER 3, 2016.

LICENSE NO. 2783 EXPIRES ON NOVEMBER 30, 2016.

THIS PLAT CONFORMS WITH THE CURRENT ILLINOIS PROFESSIONAL LAND
SURVEYORS ASSOCIATION MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
BUILDING LINE RESTRICTIONS AND EASEMENTS SHOWN ARE THOSE
IDENTIFIED ON THE RECORD SUBDIVISION PLAT, UNLESS OTHERWISE
NOTED. REFER TO TITLE INSURANCE POLICY AND LOCAL ZONING
ORDINANCES FOR RESTRICTIONS NOT SHOWN. COMPARE DEED
DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS
PLAT. IMMEDIATELY REPORT ANY DISCREPANCIES FOUND.
ALL DISTANCES ARE IN FEET AND DECIMAL PARTS THEREOF.
THIS PLAT HAS BEEN PREPARED FOR METZGER AND DUNNINGTON.

LDI

LAND DIVISIONS, Inc.

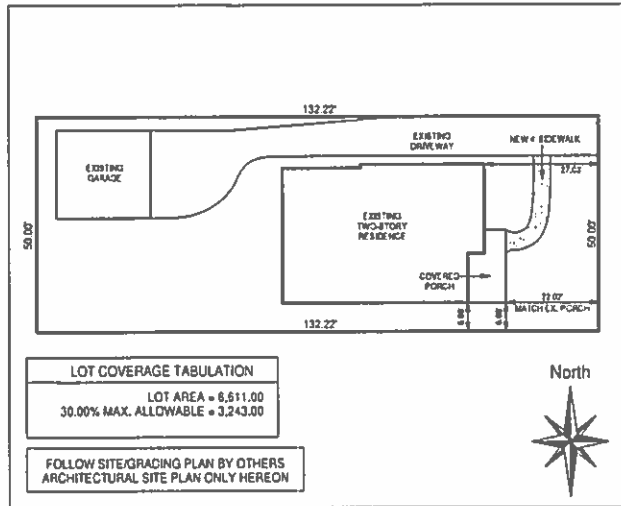
Professional Surveying Services

P.O. Box 835

West Dundee, Illinois 60118

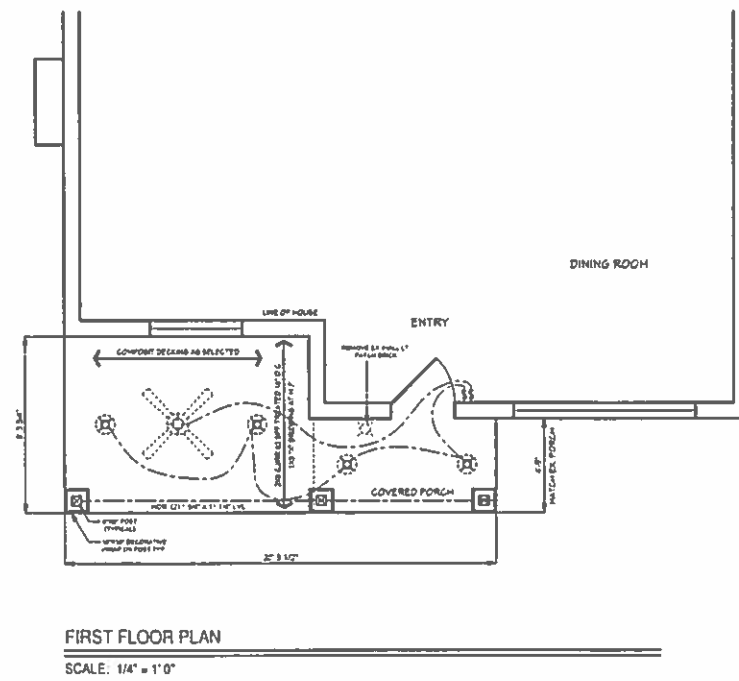
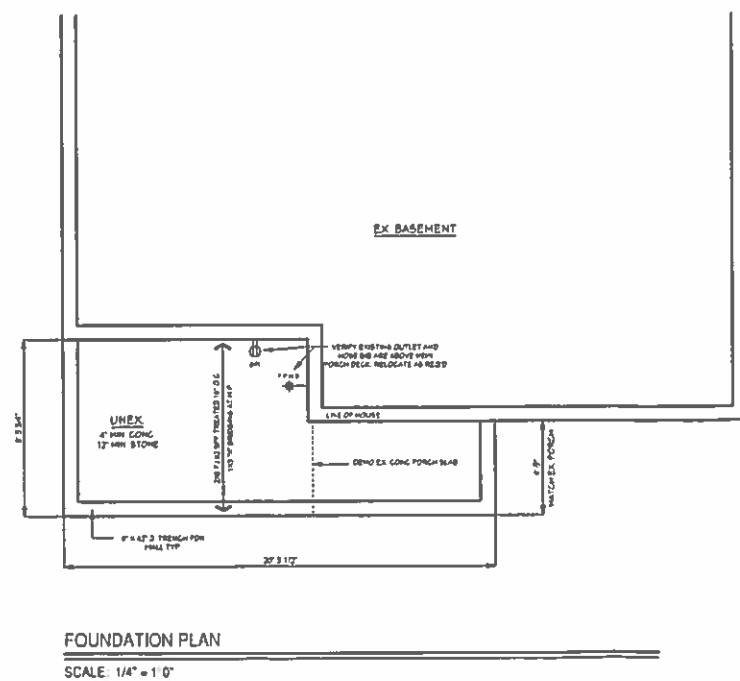
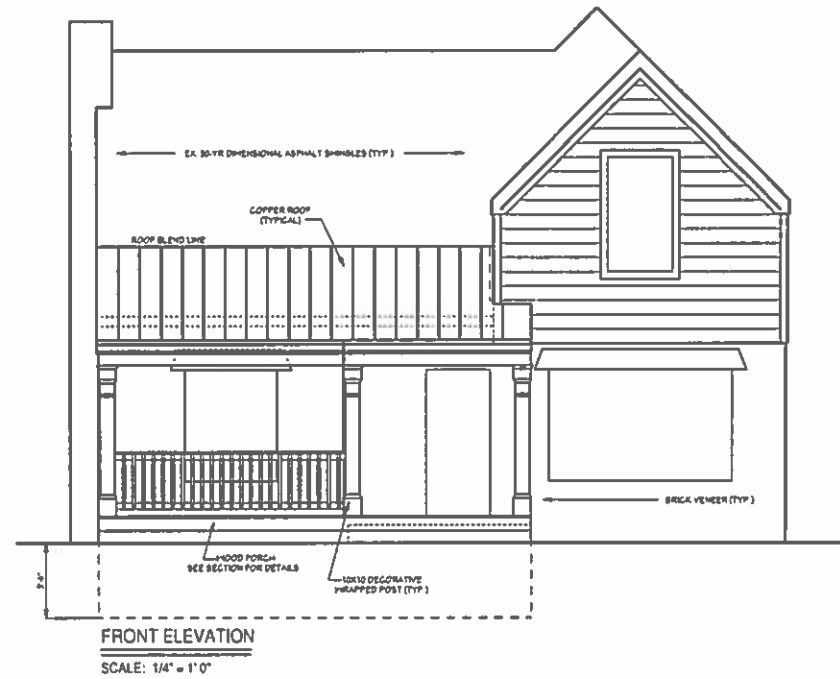
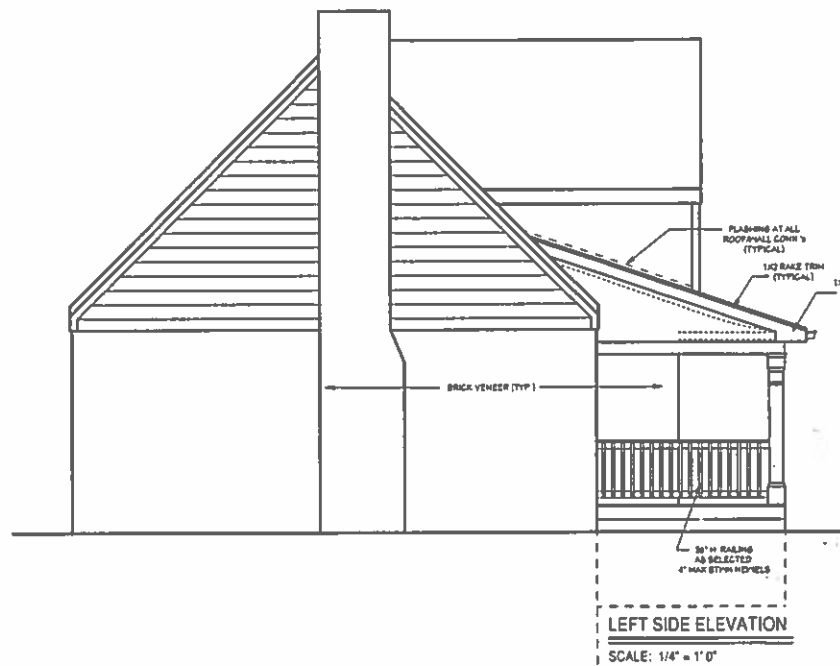
(847) 841-8305 (847) 551-9171

fax (841) 551-9193



SITEPLAN
SCALE: 1" = 20' 0"

AREA TABULATION	LOT DIMENSIONS 50.00' X 132.22'	FRONT YARD 50.00' X 27.22'
	LOT AREA = 6,511.00 SQ. FT.	AREA = 1,351.50 SQ. FT.
	R-3 TOTAL ISC ENTIRE LOT: LA X 50 = 3,125.00 41.27% ACTUAL TOTAL ISC = 2,578.28	
R-3 BUILDING COVERAGE LA X 50 = 2,313.85 30.39% ACTUAL = 1,889.50	R-3 ISC FRONT YARD: FRONT LA X 50 = 875.50 32.10% ACTUAL TOTAL ISC = 433.90	



RESIDENTIAL BUILDING CODES

THE DRAWINGS AND SPECIFICATIONS HEREON HAVE BEEN PREPARED IN ACCORDANCE WITH THE VILLAGE OF ARLINGTON HEIGHTS, ILL. ADOPTED CODES WITH AMENDMENTS AS LISTED BELOW.

2008 INTERNATIONAL RESIDENTIAL CODE (IRC)
2008 INTERNATIONAL BUILDING CODE (IBC)
2008 INTERNATIONAL FIRE CODE (IFC)
2008 INTERNATIONAL MECHANICAL CODE (IMC)
2008 INTERNATIONAL FUEL GAS CODE (IFGC)
2008 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2008 INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC)
2008 NATIONAL ELECTRIC CODE
2004 STATE OF ILLINOIS PLUMBING CODE

BUILDING DEPARTMENT NOTE:

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GENERAL NOTE

SUBSTITUTION FROM LAMINAR GLASS IS INDICATED HEREON MUST BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.

ARCHITECT FEES INCURRED DO TO FAILURE TO COMPLY WILL BE THE RESPONSIBILITY OF APPROPRIATE CONTRACTOR.



S.G. Architects, Inc.
ARCHITECTS-PLANNERS

1431 BRANDINO, SUITE 270
DOWNERS GROVE, IL 60515
PH: 630.988.8270
FAX: 630.988.2892

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(ONLY ONE (1) SIGNATURE APPEARS IN BLUE INK)

S.G. ARCHITECTS, INC.
STEPHEN J. GANLEY - PRINCIPLE
PH: 630.988.8270, 11-00-18
CORPORATE LICENSE
NO. 166-000000 EXP. 10-30-19

PROJECT

DUNNINGTON RESID.
FRONT PORCH ADDITION

530 S. CHESTNUT
ARLINGTON HEIGHTS, IL

NO.	DATE	BY
04-05-18	04-05-18	SLG
05-08-18	05-08-18	SLG
05-21-18	05-21-18	SLG
05-21-18	05-21-18	SLG

JOB NO.	17095
DATE:	04-02-18
DRAWN BY:	SLG
SCALE:	AS NOTED

SHEET NO.	1
OF 2	

RECEIVED
JUN 12 2018
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

[illegible]

OPENING SIZE	REQUIRED LINTEL	BEARING
3" OPENING	13 1/2" X 3 1/2" X 8 1/2"	6" BRG.
4" OPENING	13 1/2" X 3 1/2" X 8 1/2"	6" BRG.
5" OPENING	13 1/2" X 3 1/2" X 8 1/2"	6" BRG.
6" OPENING	13 1/2" X 3 1/2" X 8 1/2"	6" BRG.
7" OPENING	16" X 3 1/2" X 8 1/2"	6" BRG.
8" OPENING	16" X 3 1/2" X 8 1/2"	6" BRG.
9" OPENING	16" X 3 1/2" X 8 1/2"	6" BRG.
10" OPENING	16" X 3 1/2" X 8 1/2"	6" BRG.
11" OPENING	16" X 3 1/2" X 8 1/2"	6" BRG.

ROOM	SOFT	8% LIGHT		4% VENT		NOTES
		RECT	PROVD	RECT	PROVD	
BREAKFAST RM	X	X	X	X	X	
LIVING ROOM	X	X	X	X	X	
DINING ROOM	X	X	X	X	X	
KITCHEN/NOOD ST.	X	X	X	X	X	
FAMILY ROOM	X	X	X	X	X	
POWDER ROOM	X	-	ARTIFICIAL	-	ARTIFICIAL	EXHAUST FAN
STUDY	X	X	X	X	X	EXH-85-MIN 5.8 SQ FT
LAUNDRY ROOM	X	-	ARTIFICIAL	-	ARTIFICIAL	EXHAUST FAN
HALL/ST. BDRM	X	X	X	X	X	EXH-85-MIN 5.7 SQ FT
HALL/ST. BA TH	X	-	ARTIFICIAL	-	ARTIFICIAL	EXHAUST FAN
BDRM-2	X	X	X	X	X	EXH-85-MIN 5.7 SQ FT
BDRM-3	X	X	X	X	X	EXH-85-MIN 5.7 SQ FT
BDRM-4	X	X	X	X	X	EXH-85-MIN 5.7 SQ FT
HALL BATH	X	-	ARTIFICIAL	-	ARTIFICIAL	EXHAUST FAN

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

INC TABLE RSN-201

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC EFFECT CATEGORY	SUBJECT TO DAMAGE FROM				FLOOD HAZARDS	AIR FREQUING INDEX	MEAN ANNUAL TEMP	
			FOIST LINE DEPTH	'EMATES	DECAT	ICE SHIELD UNDER- LAYMENT REQUIRED				
25 PSF	99	B	BEVARE	7' F	MODERATE TO HEAVY	BLIGHT TO AUGUSTATE	YES	YES (SEISMIC DIFF. AND FLOOD HAZ)	PER LOCAL JURISDICTION	PER LOCAL JURISDICTION

UNIFORMLY DISTRIBUTED LOADS

ALL LOADS LISTED ARE IN POUNDS PER SQUARE FOOT
AND MUST BE EXCEEDED INC TABLE RSN-201

Ceiling	200 Lb / SQ FT DL	Roof Slopes Over 1 in 12
Ceiling <td>100 Lb / SQ FT DL<th>Roof Slopes 2 in 12 or Less</th></td>	100 Lb / SQ FT DL <th>Roof Slopes 2 in 12 or Less</th>	Roof Slopes 2 in 12 or Less
FLOOR <td>400 Lb / SQ FT DL</td> <td>ACROSS OTHER THAN SLEEPING ROOMS</td>	400 Lb / SQ FT DL	ACROSS OTHER THAN SLEEPING ROOMS
FLOOR <td>400 Lb / SQ FT DL</td> <td>SLEEPING ROOMS</td>	400 Lb / SQ FT DL	SLEEPING ROOMS
ROOF <td>200 Lb / SQ FT DL</td> <td>ALL SLOPES</td>	200 Lb / SQ FT DL	ALL SLOPES
CATWALKS <td>200 Lb / SQ FT DL</td> <td>ALL SLOPES</td>	200 Lb / SQ FT DL	ALL SLOPES
DECK <td>100 Lb / SQ FT DL</td> <td>EXTENSION</td>	100 Lb / SQ FT DL	EXTENSION
BALCONIES <td>400 Lb / SQ FT DL</td> <td></td>	400 Lb / SQ FT DL	
WIRE ENCLOSURES <td>400 Lb / SQ FT DL</td> <td></td>	400 Lb / SQ FT DL	
SMALL <td>200 PLF</td> <td></td>	200 PLF	
CLIMBABLES AND HANDRAILS <td>2000 Lb</td> <td></td>	2000 Lb	
CLIMBABLES IN-PLANT COMPONENTS <td>500 Lb</td> <td></td>	500 Lb	
PASSENGER VEHICLE GARAGES <td>500 Lb</td> <td></td>	500 Lb	
STAIRS <td>1000 Lb</td> <td></td>	1000 Lb	

MINIMUM ROOF LIVE LOADS IN POUNDS-PER
PER SQUARE FOOT OF HORIZONTAL PROJECTION

PER INC TABLE RSN-6

ALLOWABLE DEFLECTION OF
STRUCTURAL MEMBERS

PER INC TABLE RSN-7

ROOF TYPE	THIN-TYPE LOADS 2 AREA IN SQUARE FEET FOR ANY STRUCTURAL MEMBER			STRUCTURAL MEMBER	ALLOWABLE DEFLECTION
	6'-0"	8'-0"	OVER 8"		
FLAT OR NEARLY FLAT ROOFS	30	16	12	ANY TYPE MEMBER OF ANY COMPLEX OR 2 IN 12 OR FLAT INSIDE - CLOSING AT RAKE - TO ANY INCH	L/360
INTERIOR WALLS AND PARTITIONS					L/240
CEILING AND PLASTERED CEILING					L/240
ALL OTHER STRUCTURAL MEMBERS					L/240
INTERIOR WALLS - WITH PLASTER OR STUCCO 8' HIGH					L/240
EXTERIOR WALLS - 8" MINO LOADS NOT IN BRITTLE FINISHES					L/240
EXTERIOR WALLS - 8" MINO LOADS NOT IN BRITTLE FINISHES 8' HIGH-8"					L/360

BASE LUMBER VALUES

SPECIES	GRADE	F _b	E	SPECIES	GRADE	F _b	E
DOUGLASS-FIR-LARCH	#2	675	* 800,000	MAHOGANY S & W	NA	2,500	1,000,000
HEM-FIR	#2	695	* 800,000	WALNUT SPEC.	NA	2,500	1,000,000
SPRUCE-PINE-FIR (COMMON)	#2	675	* 680,000	CL-AM	NA	2,400	1,000,000

MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE

FOLLOW INC TABLE RSN-8

MINIMUM SPECIFIED COMPRESSIVE STRENGTH

TYPE OR LOCATION OF CONCRETE CONSTRUCTION	HEAVY-HEAVY POTENTIAL		
	NO SIGNIFICANT	MODERATE	SEVERE
BASES OF RETAINING WALLS, FOUNDATION WALLS AND OTHER CONCRETE NOT EXPOSED TO WEATHER	1,500	1,800	2,500
BASES OF RETAINING WALLS AND OTHER BASES ON GRADE, LEAVE PLANT CROSSING FLOOR SLABS	2,000	2,500	2,500
BASES OF RETAINING WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE NOT EXPOSED TO WEATHER	2,500	2,500	2,500
FOUNDATIONS, CONCRETE BASES AND STEPS EXPOSED TO THE WEATHER AND EXTERIOR FLOOR SLABS	2,500	2,500	2,500

[illegible]

COPPER ROOF AS SELECTED
 THE FELT PAPER
 PROVIDE CEILING SHIELD FROM DAVE LINE
 TIE A POINT MIN. 24" INSIDE OF EXT. WALL
 1/2" CDX PLYWOOD ROOF SHEATHING
 2X6 ROOF BATTERS AT 16" OC
 1/2" PAMPHSON N-9 TIE AT EA. RR AND

SOFFIT AND FASCIA:
 ALUMINUM BUTTERS 1/2" COUNTERFLASHING
 ALUMINUM CORNSPOUTS TO GRADE LEVEL
 ALUMINUM 1/2"X4" FASCIA
 2X6 SUB-FASCIA BOARD
 ALUMINUM SOFFIT

2" X 11" 1/4" LVL TREATED BEAM LET IN
 AND BOLTED TO POSTS

CEILING:
 BEAD BOARD CEILING TYP.
 24" CEILING JOISTS 16" O.C.
 1/2" X 1/2" DECORATIVE WREAP
 AROUND POST AS SELECTED

3/4" X 6" COMPOSITE DECKING

3/4" X 6" CEDAR RAILING CAP

6X6 TREATED POSTS BOLTED AT BASE

2X2 CEDAR SALLISTERS
 (MINIMUM BRACING TO PREVENT
 PASSAGE OF A 6" SPHERE)

2X4 CEDAR RAIL TOP/BOTTOM

6X4 HOBBINS

2X6 RM BOARD

1X FASCIA

GRADE

2X6 TREATED RM JOIST
 AND BOLTED TO POSTS

1/2" X 1/2" F BOLT SET IN CONCRETE

POURED TRENCH FDN

TREATED 2X6 1/2" X 1/2" AT 16" O.C.

SOLID BRIDGING AT MID POINT

TYPORCH

3" X 6" TYPICAL

6" X 6"

COVERED PORCH SECTION

SCALE 3/8" = 1'-0"

► ALL TREATED OR EXTERIOR GRADE LUMBER MATERIALS
 ► ALL FASTENERS AND CONNECTIONS SHALL BE APPROVED
 FOR CONTACT WITH ACID TREATED MATERIAL

S.G. Architects, Inc.
ARCHITECTS-PLANNERS

1401 BRANDING, SUITE 270
DOWNERS GROVE, IL 60515
ph. 630.899.8279
fax 630.899.0892

THESE DOCUMENTS (PLANS & SPECIFICATIONS) ARE VALID FOR PERMITS ONLY WHEN THE ARCHITECT'S ORIGINAL SEAL AND SIGNATURE APPEARS AND IS AFFIXED AND UNLESS OTHERWISE PROVIDED BY WRITING, ARE INTENDED AS A PERMIT SUBMITTAL FOR ONE (1) BUILDING ONLY.

2018 S.G. ARCHITECTS, INC.

THESE DRAWINGS HAVE BEEN PREPARED IN
ACCORDANCE WITH MY DIRECT SUPERVISION AND TO
THE BEST OF MY KNOWLEDGE CONFORM TO THE
ORDINANCES OF THE STATE, COUNTY CITY
VILLAGE TO WHICH THEY ARE SUBMITTED.

9.3 ARCHITECTS INC
STEPHEN L. GARDIN - PRINCIPLE
No. 001-01012 EXP. 11-30-10
CORPORATE LICENSE
No. 104-00000 EXP. 04-30-10

530 S. CHESTNUT
ARLINGTON HEIGHTS, IL.

NO.	DATE	BY
ISSUES AND REVISIONS		
	04-05-18	SLD
	PRELIMINARY	
	05-06-18	SLD
	FINAL REVIEW	
	06-21-18	SLD
	AND REVIEW	

JOB NO.		17095	
DATE		04-02-18	
DRAWN BY		SLG	
SCALE		AS NOTED	
SHEET NO.		2 OF 2	



Item: 502 W. Kingsley Dr. - ZBA#18-023

Department:

REQUEST

A 4.0 foot variance from Chapter 28, section 10.2-11.1b to allow a 26.0 foot wide driveway where the maximum width is 22 feet.

ATTACHMENTS:

Description

Supporting Documents

Type

Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: August 13, 2018
Date Prepared: August 7, 2018
Project Title: Sander Residence
Address: 502 W. Kingsley Dr.

Background Information

Petition Number: ZBA #18-023
Petitioner: John Sander
Address: 502 W. Kingsley Dr.
Arlington Heights, IL 60004

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

The subject site is zoned R-3, One Family Dwelling District. The property has a land area of approximately 10,035 square feet. The petitioner is proposing a driveway that is 26 feet wide, where 22 is the maximum permitted. Therefore, the petitioner requests the following variation:

- **A 4.0 foot variance from Chapter 28, section 10.2-11.1b to allow a 26.0 foot wide driveway where the maximum width is 22 feet.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	7/20/18	
2. List of Property Owners Within 250 feet of Subject Property	✓	7/20/18	
3. Letter that was Mailed	✓	7/26/18	
4. Photographs of Sign on Property	✓	7/26/18	

Photographs of Existing Structure



ZBA# 18-023
502 W Kingsley Dr - ZBA
Rev. Eng: Nanci Julius, P.E.
cc: Mike Pagones, P.E. Acting Director of Engineering

Submitted: July 25, 2018
Completed: July 30, 2018

The proposed ZBA application indicates that the petitioner is seeking:

A 4 ft variance to allow a 26 ft wide driveway where the maximum width is 22 ft.

Note: The proposed plan shows the apron being 22 ft wide at the sidewalk, with 3 ft flares at the curb which is compliant with current code. The variance requested is to widen the driveway towards the home.

The Engineering Department has NO OBJECTION to the proposed variance.

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JUL 30 2018
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



**Village of Arlington Heights
Building & Life Safety Department**

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Sander Residence

Project Address: 502 W Kingsley Dr

ZBA #: 18-023

Date: July 30, 2018

Derek:

I have reviewed the request for the following variance:

- A 4 foot variance to allow a 26.0 foot wide driveway where the maximum width is 22 feet.

I have no objection to the variance.

RECEIVED
JUL 31 2018
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Sander Residence

Project Address: 502 W. Kingsley Drive

ZBA #: 18-023

ZBA Hearing Date: August 13, 2018

To: Mike Pagones, Acting Director of Engineering
Steven Touloumis, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: July 24, 2018

- A 4.0 foot variance from Chapter 28, section 10.2-11.1b to allow a 26.0 foot wide driveway where the maximum width is 22 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: NO COMMENTS

-STEVE HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Thursday, August 2, 2018.

PETITION

NOW COMES the Petitioner John and Kristin Sander being the owner of the property commonly known as: 502 W Kingsley Drive, Arlington Heights, IL 60004 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variance from Section 10.2-11.1 b., Chapter 28, of the Arlington Heights Municipal Code, in order to: extend the width of the driveway from current 22 feet to proposed 26 feet. The driveway is for a single-family home with a two car garage.

I hereby state that the following hardship would exist if the variation were not granted:

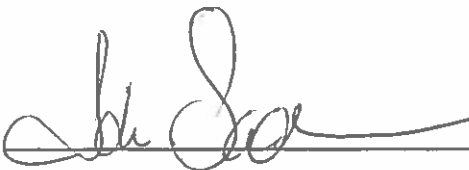
Not applicable

I hereby state that the following unique circumstances exist:

Not applicable

I hereby state that the variation, if granted, will not alter the essential character of the locality because: The driveway will now align with the sidewalk leading into the backyard. Additionally, there is no encroachment to a neighboring house. Finally, this request makes no changes to the physical structure of the home.

Signed: _____



Date: _____

7/9/18

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DEVELOPMENT DEPARTMENT



EXISTING PLAT OF SURVEY

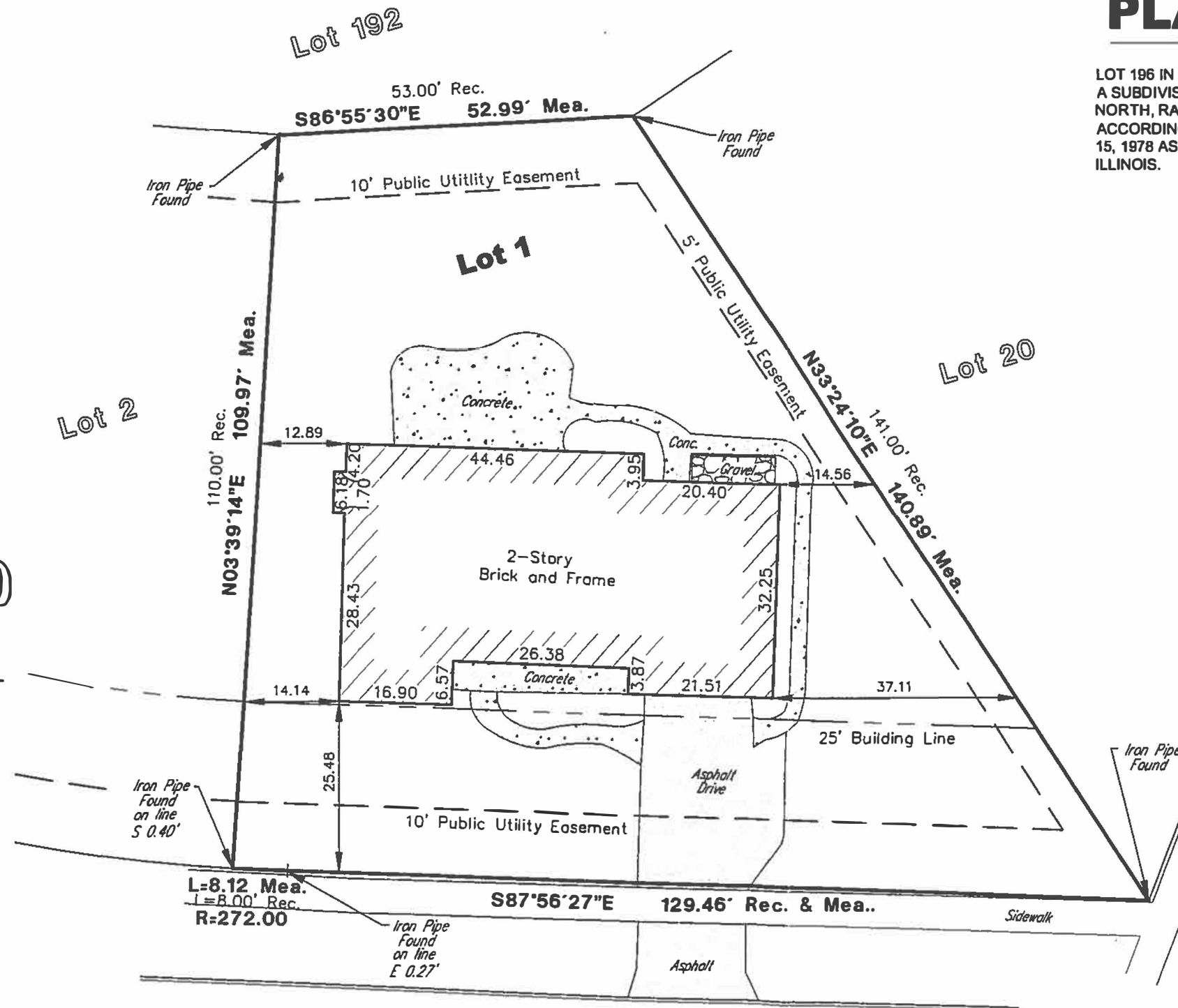
PLAT OF SURVEY

LOT 196 IN TERRAMERE OF ARLINGTON HEIGHTS UNIT 1, BEING A SUBDIVISION IN THE NORTH 1/2 OF SECTION 6, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON DECEMBER 15, 1978 AS DOCUMENT NUMBER 24767313, IN COOK COUNTY, ILLINOIS.

RECEIVED

JUL 10 2018

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



Legend:

- -Set 1/2" Iron Pipe
- -Found Iron Pipe
- X -Found Cross

Surveyor Notes:

- Field Work Completed on 06-16-08
- Prepared for Advanced Survey, Inc., for real estate transaction.
- Site Address: 502 Kingsley, Arlington Heights, IL, 60004
- Pin No.: 03-06-212-001
- The easements shown hereon are provided from the current title and the use of the recorded subdivision plat. No search of the records for easements or encumbrances was made as part of this survey.
- Compare deed description and site conditions with the data given on this plat and report any discrepancies to the surveyor at once.

Kingsley Drive
66' Right of Way

State of Illinois) SS)
County of Cook)

We, Land Surveying Services, Inc. do hereby state that we have surveyed the above described property and that this is the Plat that represents the conditions found at the time of said survey.

Given under my hand and seal this 30th day of June, A.D. 2008, at Arlington Heights, Illinois.

Gloria Jean Kotler, an agent for Land Surveying Services, Inc.

Illinois Professional Land Surveyor Number 3323
License Expiration Date 11-30-08

This professional service conforms to the current Illinois minimum standards for a boundary survey.

Highland Avenue
66' Right of Way

Drawn By:	ADF	Checked By:	GJK
Drawing Revisions			
REV.#	Date	Drawn	Checked

Field Work Completed:	06-16-08
Scale:	1" = 20'
Date:	06-30-08
Site Address:	502 Kingsley Arlington Heights, Illinois

Land Surveying Services, Inc.
574 W. Calfax Street
Palatine, Illinois 60067
Ph. (847)991-7700 Fax. (847)991-7707
Professional Design Firm License No. 184-003632

Job Number
LS080468

Sheet Name
PLAT OF SURVEY

Sheet Number
SURVEY

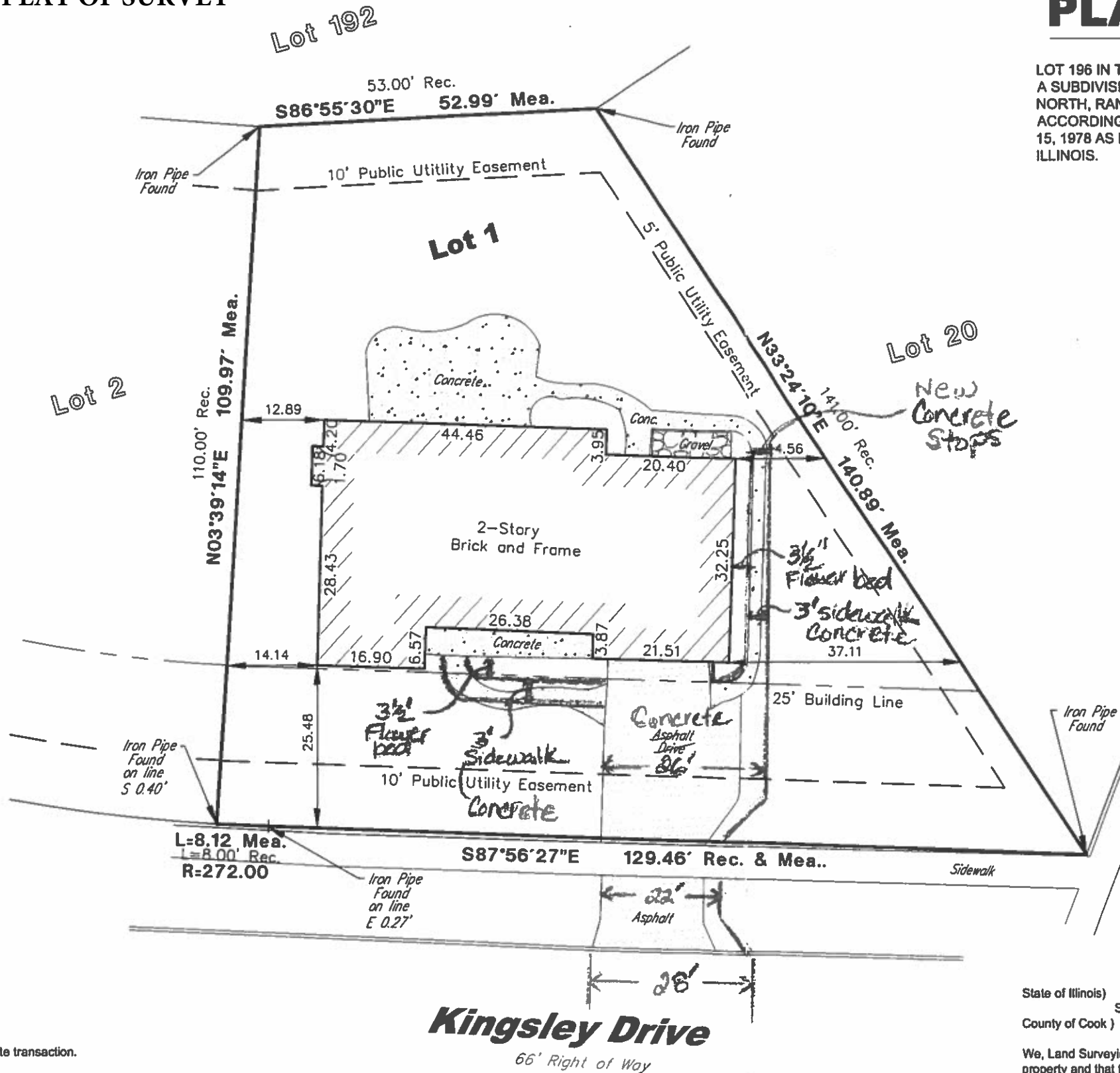


PROPOSED PLAT OF SURVEY

ICE

JUL 10

ANNING &
LOPMENT



Legend:

- -Set 1/2" Iron Pipe
- -Found Iron Pipe
- X -Found Cross

Surveyor Notes:

1. Field Work Completed on 06-16-08
2. Prepared for Advanced Survey, Inc., for real estate transaction.
3. Site Address: 502 Kingsley, Arlington Heights, IL, 60004
4. Pin No.: 03-06-212-001
5. The easements shown hereon are provided from the current title and the use of the recorded subdivision plat. No search of the records for easements or encumbrances was made as part of this survey.
6. Compare deed description and site conditions with the data given on this plat and report any discrepancies to the surveyor at once.

PLAT OF SURVEY

LOT 196 IN TERRAMERE OF ARLINGTON HEIGHTS UNIT 1, BEING A SUBDIVISION IN THE NORTH 1/2 OF SECTION 6, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON DECEMBER 15, 1978 AS DOCUMENT NUMBER 24767313, IN COOK COUNTY, ILLINOIS.

State of Illinois)
County of Cook)

We, Land Surveying Services, Inc. do hereby state that we have surveyed the above described property and that this is the Plat that represents the conditions found at the time of said survey.

Given under my hand and seal this 30th day of June, A.D. 2008 in Palatine, Illinois

Gloria Jeap Koter, an agent for Land Surveying Services, Inc.

Illinois Professional Land Surveyor Number 3323
License Expiration Date 11-30-08

This professional service conforms to the current Illinois minimum standards for a boundary survey.

Highland Avenue
66' Right of Way

Drawn By:	ADF	Checked By:	GJK
REV. #	Date	Drawn	Checked

Field Work Completed:	06-16-08
Scale:	1" = 20'
Date:	06-30-08
Site Address:	502 Kingsley Arlington Heights, Illinois

Land Surveying Services, Inc.
574 W. Calfax Street
Palatine, Illinois 60067
Ph. (847)991-7700 Fax. (847)991-7707
Professional Design Firm License No. 184-003632

Job Number	LS080468
Sheet Name	PLAT OF SURVEY
Sheet Number	SURVEY



Item: 2103 E. Gregory St. - ZBA#18-024

Department:

REQUEST

A 25.5 foot variation from Chapter 28, Section 5.1-3.2d (Required Minimum Yards) to allow an addition with a rear yard setback of 4.5 feet where 30 feet is required and an additional 1.5 feet for the eave.

ATTACHMENTS:

Description	Type
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: August 13, 2018
Date Prepared: August 7, 2018
Project Title: Gatewood Residence
Address: 2103 E. Gregory St.

Background Information

Petition Number: ZBA #18-024
Petitioner: James Cochran / JRC Design Build
Address: 1275 E. Davis St.
Arlington Heights, IL 60005

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

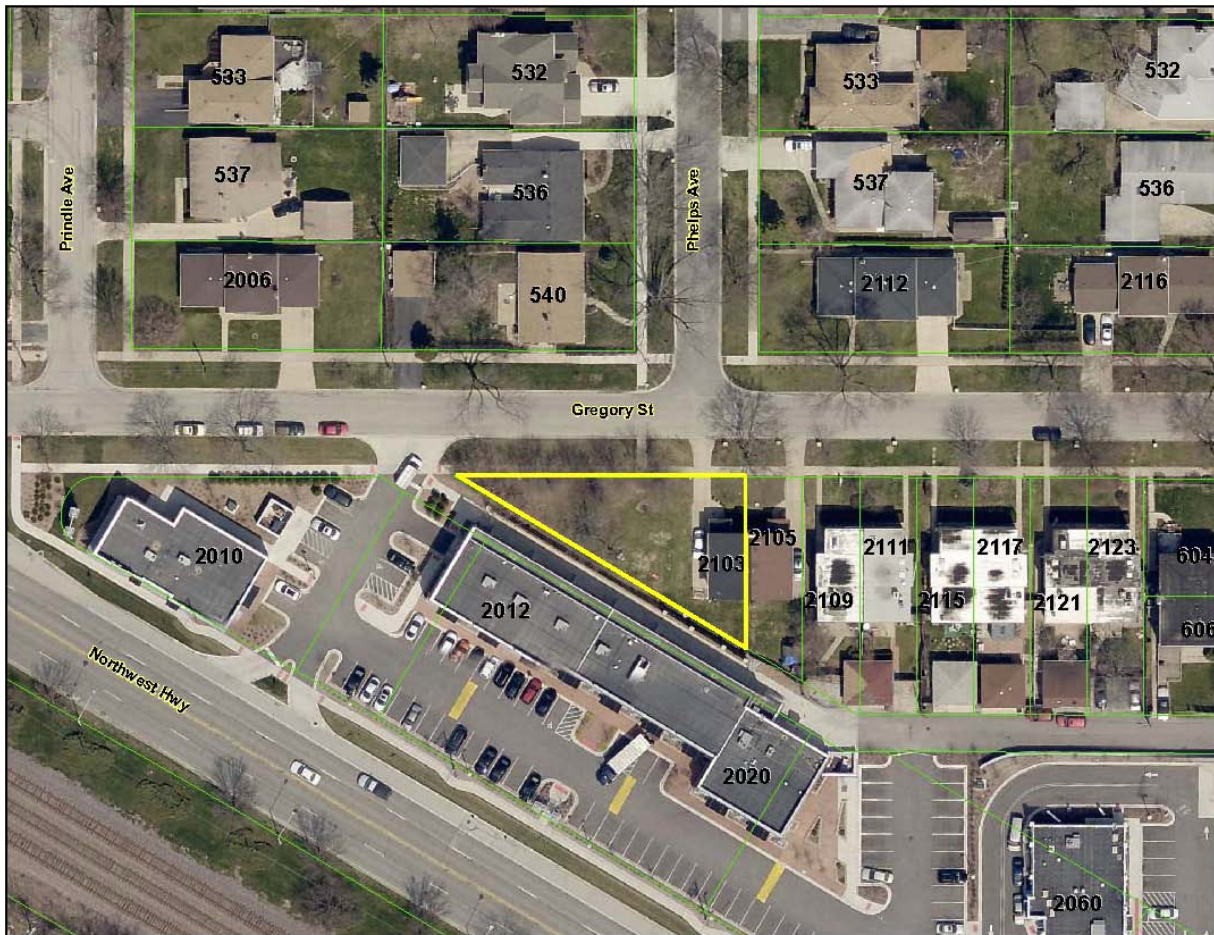
The petitioner is proposing to construct an addition which includes a two car attached garage and living space above the garage. The subject property is a duplex and is zoned R-3, One Family Dwelling District. The property has a total land area of 7,676 square feet. The proposed residence will have approximately 2,100 square feet. The proposed home is encroaching into the required rear yard setback. Therefore the petitioner requests the following variation:

- **A 25.5 foot variation from Chapter 28, Section 5.1-3.2d (Required Minimum Yards) to allow an addition with a rear yard setback of 4.5 feet where 30 feet is required and an additional 1.5 feet for the eave.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	7/24/18	
2. List of Property Owners Within 250 feet of Subject Property	✓	7/24/18	
3. Letter that was Mailed	✓	7/24/18	
4. Photographs of Sign on Property	✓	7/24/18	

Photographs of Existing Structure



ZBA# 18-024
2103 E Gregory St - ZBA
Rev. Eng: Nanci Julius, P.E.
cc: Mike Pagones, P.E. Acting Director of Engineering

Submitted: July 25, 2018
Completed: July 30, 2018

The proposed ZBA application indicates that the petitioner is seeking:

A 25.5 ft variation to allow an addition with a rear yard setback of 4.5 ft where 30 ft is required and an additional 1.5 ft for the eave.

NOTE: The existing setback on the pie shaped lot is non-conforming.

The Engineering Department has NO OBJECTION to the proposed variance.

RECEIVED

JUL 30 2018

**PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT**



**Village of Arlington Heights
Building & Life Safety Department**

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Gatewood Residence

Project Address: 2103 E Gregory St

ZBA #: 18-024

Date: July 30, 2018

Derek:

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

I have reviewed the request for the following variance:

- A 25.5 foot variance to allow an addition with a rear yard setback of 4.5 feet and an additional 1.5 foot for the eave, where a minimum of 30 feet is required.

I do not have any objections to the request with the following requirements:

1. The South wall of the new garage and second floor addition shall have a minimum fire-resistance rating of 1-hour based on the distance to the lot line of less than 5 feet, up to the point where the wall is 5 feet from the lot line.
2. The soffit and fascia of the South wall of the new garage and second floor addition shall have 5/8-inch drywall installed under the weather protection material based on the distance to the lot line of less than 5 feet, up to the point where the soffit and fascia is 5 feet from the lot line.
3. The West wall of the new garage and second floor addition shall have a minimum fire-resistance rating of 1-hour based on the distance to the lot line of less than 5 feet, up to the point where the wall is 5 feet from the lot line.
4. The soffit and fascia of the West wall of the new garage and second floor addition shall have 5/8-inch drywall installed under the weather protection material based on the distance to the lot line of less than 5 feet, up to the point where the soffit and fascia is 5 feet from the lot line.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Gatewood Residence

Project Address: 2103 E. Gregory Street

ZBA #: 18-024

ZBA Hearing Date: August 13, 2018

To: Mike Pagones, Acting Director of Engineering
Steven Touloumis, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: July 24, 2018

- A 25.5 foot variation from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) to allow an addition with a rear yard setback of 4.5 feet where 30 feet is required and an additional 1.5 feet for the eave.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THE PROPOSED ADDITION IS NICELY DESIGNED TO
FIT CHARACTER OF EXISTING RESIDENCE. ADMINISTRATIVE
DESIGN APPROVAL IS EXPECTED, PENDING ZBA REVIEW.

Please review, comment, and return to me no later than Thursday, August 2, 2018.

-STEVE HAUTZINGER, DESIGN PLANNER

PETITION

NOW COMES the Petitioners WENDY GATEWOOD, being the owner of the property commonly known as: 2103 E. GREGORY, and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.4, CHAPTER 28, of the Arlington Heights Municipal Code, In order to: ALLOW A REDUCTION TO THE MINMUM REARYARD SETBACK (South) SETBACK FROM 30' TO APPROX. 7'.

I hereby state that the following hardship would exist if the variation were not granted: Limits expansion of existing due to the odd pie shaped lot and existing home already non-conforming.

I hereby state that the following unique circumstances exist:

1) South wall of existing residence sits at approx. 17' off property line which is already non-conforming.

2) A large fence and the rear of a commercial structure is South of existing residence that would not be affected.

3) Shifting the garage forward to allowable front would still encroach rear setback at about 17'.

I hereby state that the variation, if granted, will not alter the essential character of the locality because: it will maintain an existing setback, and blend in with the overall look and character of the home.

Signed: Wendy Gatewood Date: 7/13/18

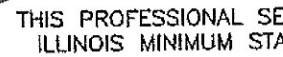
Wendy Gatewood

RECEIVED

JUL 13 2018

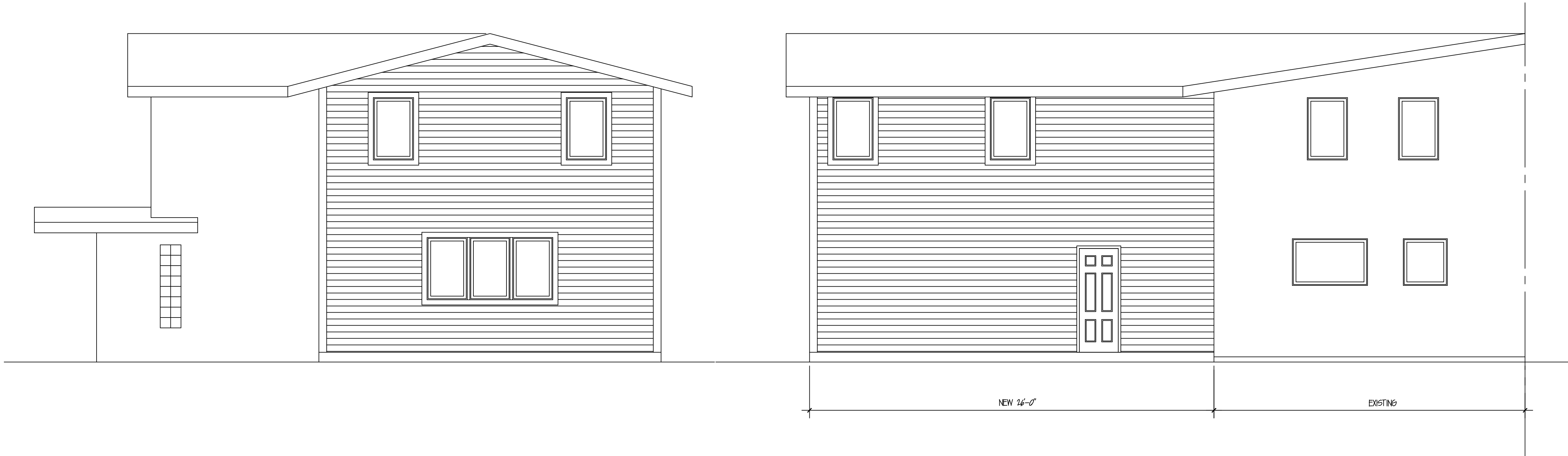
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

(66' R.O.W.)



DRAWING PATH: U:\Land Projects 3\12800-12899\12868\dwg\12868_Plat_Update041918.dwg

FIELD WORK



3
A2
1/4" = 1'-0"

2
A2
1/4" = 1'-0"



1
A2
1/4" = 1'-0"

JRC
DESIGN BUILD, INC
GENERAL CONTRACTOR
1275 E. Davis
Arlington Heights, IL 60005
T: 847.255.2322
email: jimjrcdb@gmail.com



CW Design
carole wisniewski
ARCHITECT
847-489-1703
e-mail: cwdesign@gmail.com
922 Monroe Avenue
Wauconda, Illinois 60084
T: 847.489.1703
email: cwdesign@gmail.com
DESIGN REG #184.007566-001

GARAGE/MUDROOM/MASTER
BEDROOM/BATH ADDITION FOR:
WENDY GATEWOOD
2103 E. GREGORY ST.
ARLINGTON HEIGHTS, ILLINOIS

NO.	DATE	DESCRIPTION
1	07.13.18	ZBA
2		
3		
4		

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PROJECT NUMBER
18007.00

EXTERIOR
ELEVATIONS
A2



Item: 702 E. Marion St. - ZBA#18-025

Department: Planning & Community Development

REQUEST

A 6 foot variation from Chapter 28, Section 5.1-3.2c (Required Minimum Yards, Exterior Side Yards) to permit a front porch addition with an exterior side yard setback of 24.3 feet where 30.3 feet is required, and an additional 1.0 feet for the eave.

ATTACHMENTS:

Description

Supporting Documents

Resident Emails

Type

Exhibits

Correspondence

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: August 13, 2018
Date Prepared: August 7, 2018
Project Title: Jones Residence
Address: 702 E. Marion St.

Background Information

Petition Number: ZBA #18-025
Petitioner: Denis E. Jones II
Address: 702 E. Marion St.
Arlington Heights, IL 60004

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

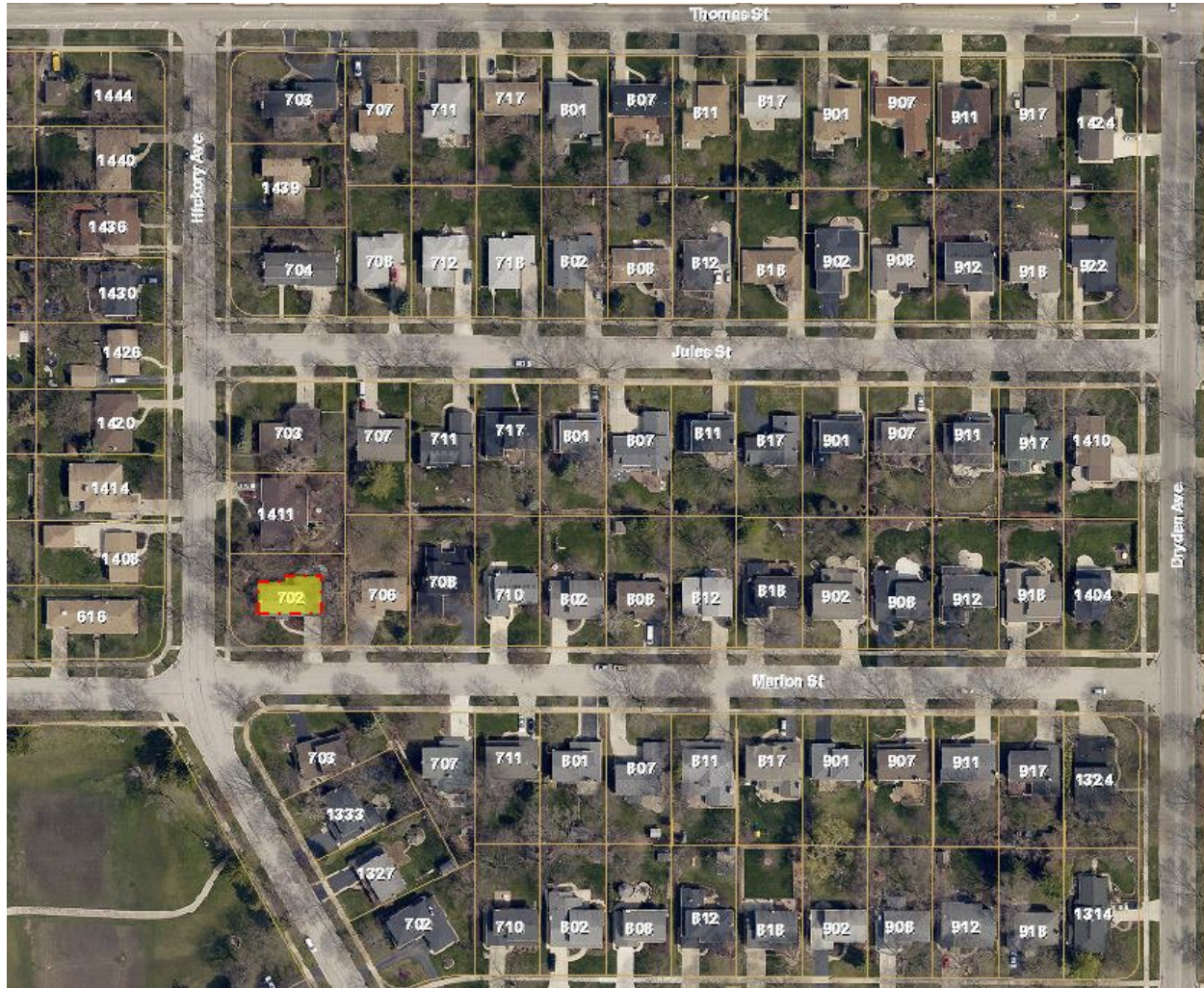
The subject property is zoned R-3, One Family Dwelling District. The petitioner is proposing a front porch addition on their existing home. The proposed front porch will be set back 24.3 feet from the exterior side yard property line where a setback of 30.3 feet is required. Therefore, the petitioner requests the following variation:

- **A 6 foot variation from Chapter 28, Section 5.1-3.2c (Required Minimum Yards, Exterior Side Yards) to permit a front porch addition with an exterior side yard setback of 24.3 feet where 30.3 feet is required, and an additional 1.0 feet for the eave.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	7/27/18	
2. List of Property Owners Within 250 feet of Subject Property	✓	7/25/18	
3. Letter that was Mailed	✓	7/27/18	
4. Photographs of Sign on Property	✓	7/27/18	

Photographs of Existing Structure



ZBA# 18-025
702 E Marion St - ZBA
Rev. Eng: Nanci Julius, P.E.
cc: Mike Pagones, P.E. Acting Director of Engineering

Submitted: July 25, 2018
Completed: July 30, 2018

The proposed ZBA application indicates that the petitioner is seeking:

A 6 ft variance to allow a front porch addition with an exterior side yard setback of 24.3 ft where 30.3 ft is required, and an additional 1 ft for the eave.

The Engineering Department has NO OBJECTION to the proposed variance.

RECEIVED

JUL 30 2018

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



**Village of Arlington Heights
Building & Life Safety Department**

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Jones Residence

Project Address: 702 E Marion St

ZBA #: 18-025

Date: July 30, 2018

Derek:

I have reviewed the request for the following variance:

- A 6 foot variance to allow a front porch addition with an exterior side yard setback of 24.3 feet and an additional 1.0 foot for the eave, where a minimum of 30.3 feet is required.

I do not have any objections to the request.

RECEIVED
JUL 31 2018
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Jones Residence

Project Address: 702 E. Marion St.

ZBA #: 18-025

ZBA Hearing Date: August 13, 2018

To: Mike Pagones, Acting Director of Engineering
Steven Touloumis, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: July 24, 2018

- A 6 foot variation from Chapter 28, Section 5.1-3.2c (Required Minimum Yards, Exterior Side Yards) to permit a front porch addition with an exterior side yard setback of 24.3 feet where 30.3 feet is required, and an additional 1.0 feet for the eave.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THE PROPOSED FRONT PORCH IS NICELY DESIGNED
TO FIT THE SCALE AND CHARACTER OF THE EXISTING
HOUSE. - STEVE HAUZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Thursday, August 2, 2018.

Petition

NOW COMES the Petitioner Denis E. Jones II

Being the owner of the property commonly known as: 702 E Marion St, Arlington Heights, Illinois 60004 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from 5.1-3.2c, Exterior Side Yards – Minimum Yards

Chapter 28, of the Arlington Heights Municipal Code, in order to permit a functional front porch with a setback to the sidewalk of 25 feet 2 inches with 30 feet 3 inches being required because the functional front yard is designated as an exterior side yard by Village Code.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted because many existing similar homes have functional front porches in their functional front yards. Several homes on the block have porches larger than 6 feet, and two homes already have setbacks to the sidewalk that are smaller, or virtually the same as petitioner requests.

I hereby state that the plight of the owner is due to unique circumstances, because the property's front door faces Marion St., which is the property's postal address and is the functional front yard, but zoning code designates that side of the property as an exterior side yard, imposing undue restrictions on a front porch, as compared with homes that have the functional front yard also being the zoned front yard. The zoning designation for the property's "front yard" faces Hickory Ave, although the property does not even have a door on that side of the house.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter because the spirit of the Code is to enable enjoyment of a functional front yard and a front porch, while maintaining an aesthetically pleasing distance from the sidewalk. There will still be a significant setback; the porch will certainly not be right next to the sidewalk – there will be a functional front lawn in front of the functional front porch.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property because any smaller of a porch would not allow enjoyment of the porch. The property currently has a concrete slab under a portico, extending 4'3", and the petitioner has never found that slab useful as a porch. That slab has an existing setback of 26 feet 9 inches. The requested variance is for an additional 1 foot 7 inches, for a new setback of 25 feet 2 inches, which is the minimum needed for a functional front porch. Petitioner measured other front porches along Marion St., finding several porches much larger than 6 feet (7'9", 8'9" and 9'3"). Petitioner visited with a neighbor who has an existing 6' porch, and that neighbor indicated that while 6' is usable, but they wish they had an additional foot of depth. Petitioner believes that approval of the proposed 6' porch is the minimum variance necessary to allow petitioner to enjoy visiting with friends, family and neighbors on the porch.

Signed: Denis E. Jones  Date: 2/16/18
Petitioner

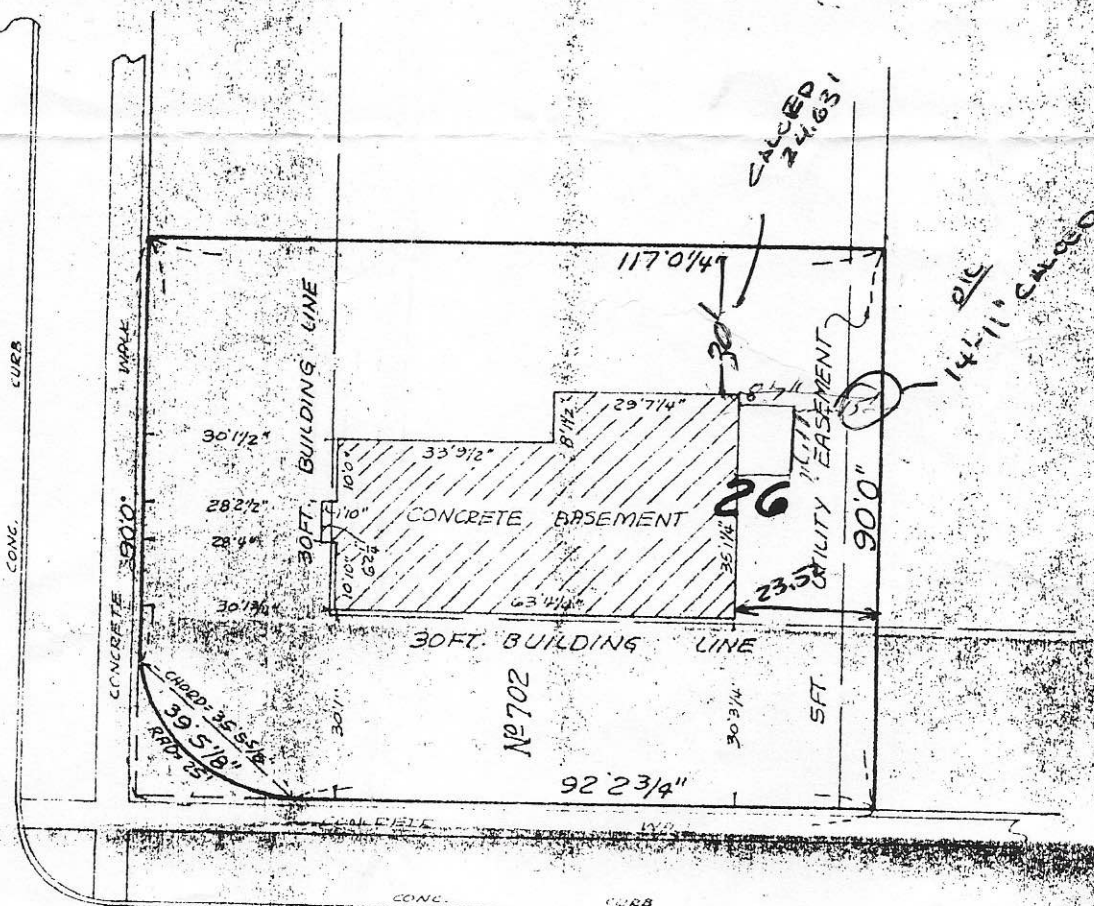
— BY —
NELSON, HARKER AND MOLLOY, Inc.

REGISTERED LAND SURVEYORS

OF

Lot 26 in Block 3 in MINNOC HICKORY MEADOWS, being a subdivision of the Northwest 1/4 of the Southeast 1/4 of Section 20, Township 48 North, Range 11 East of the 3rd Principal Meridian, in Cook County, Illinois.

HICKORY AVE.



MARION

ST.

For PETER PETERSON & Co.

SCALE: 1 inch equals 20

Please check Legal Description with Deed, also compare all points before building and report ANY DISCREPANCY IMMEDIATELY.

Please use this Order No. in future reference to this survey.

State of Illinois }
County of Cook }

NELSON, HARKER & MOLLOY, INC. hereby certify that a survey has been made under its direction, by a Registered Illinois Land Surveyor, of the property described hereon and that the plat hereon drawn is a correct representation of said survey.

Chicago, Illinois Dated this 11th day of Nov A.D. 1963
NELSON, HARKER & MOLLOY, INC.

Surveyed by Edward J. Molloy
President

State of Illinois }
County of Cook }

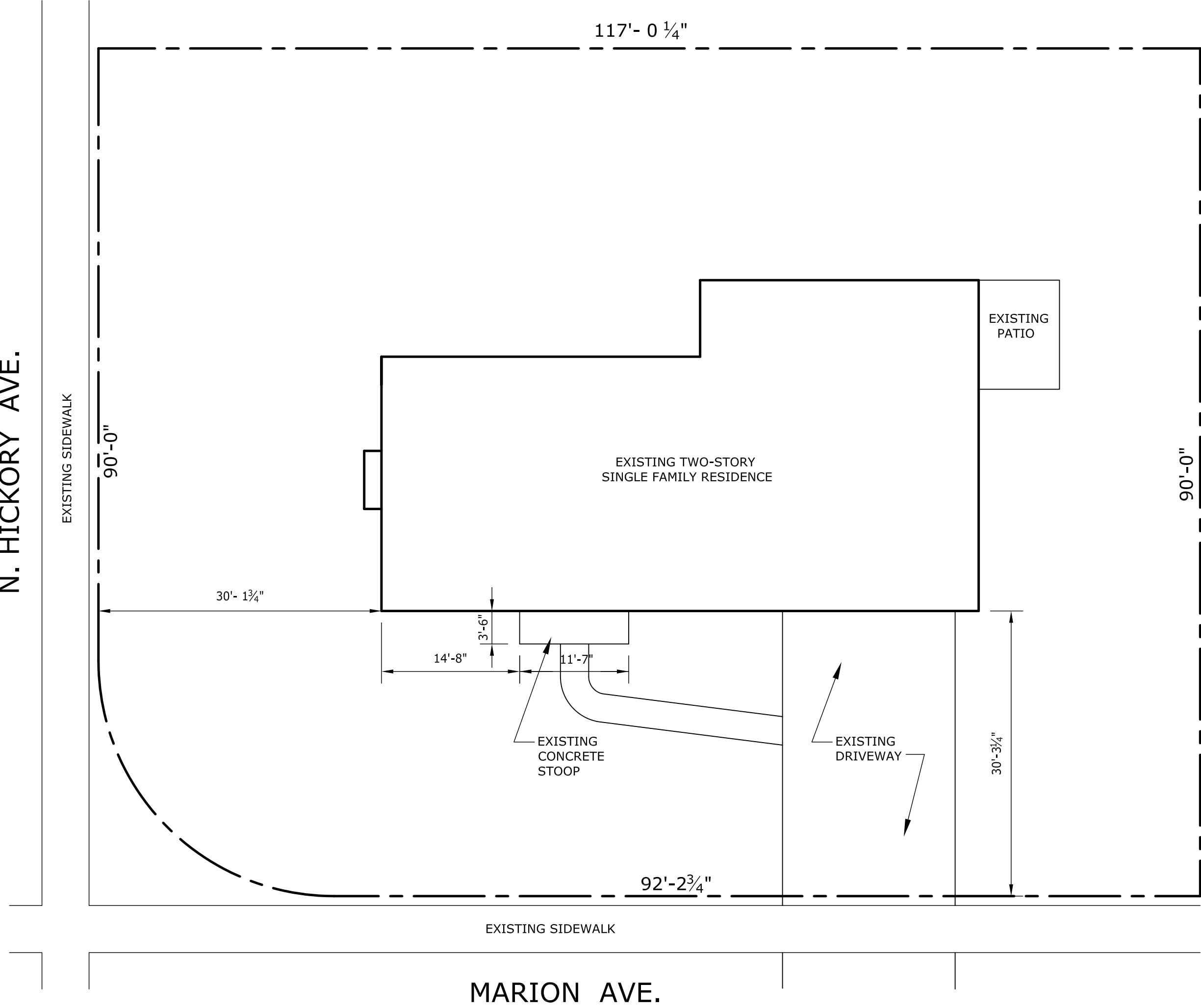
NELSON, HARKER & MOLLOY, INC. hereby certify that a survey has been made of the property described hereon and that the buildings constructed on said property are located as shown hereon.

Chicago, Illinois Dated this 3rd day of JUNE A.D. 1965
NELSON, HARKER & MOLLOY, INC.

JONES RESIDENCE

702 E. Marion Ave.

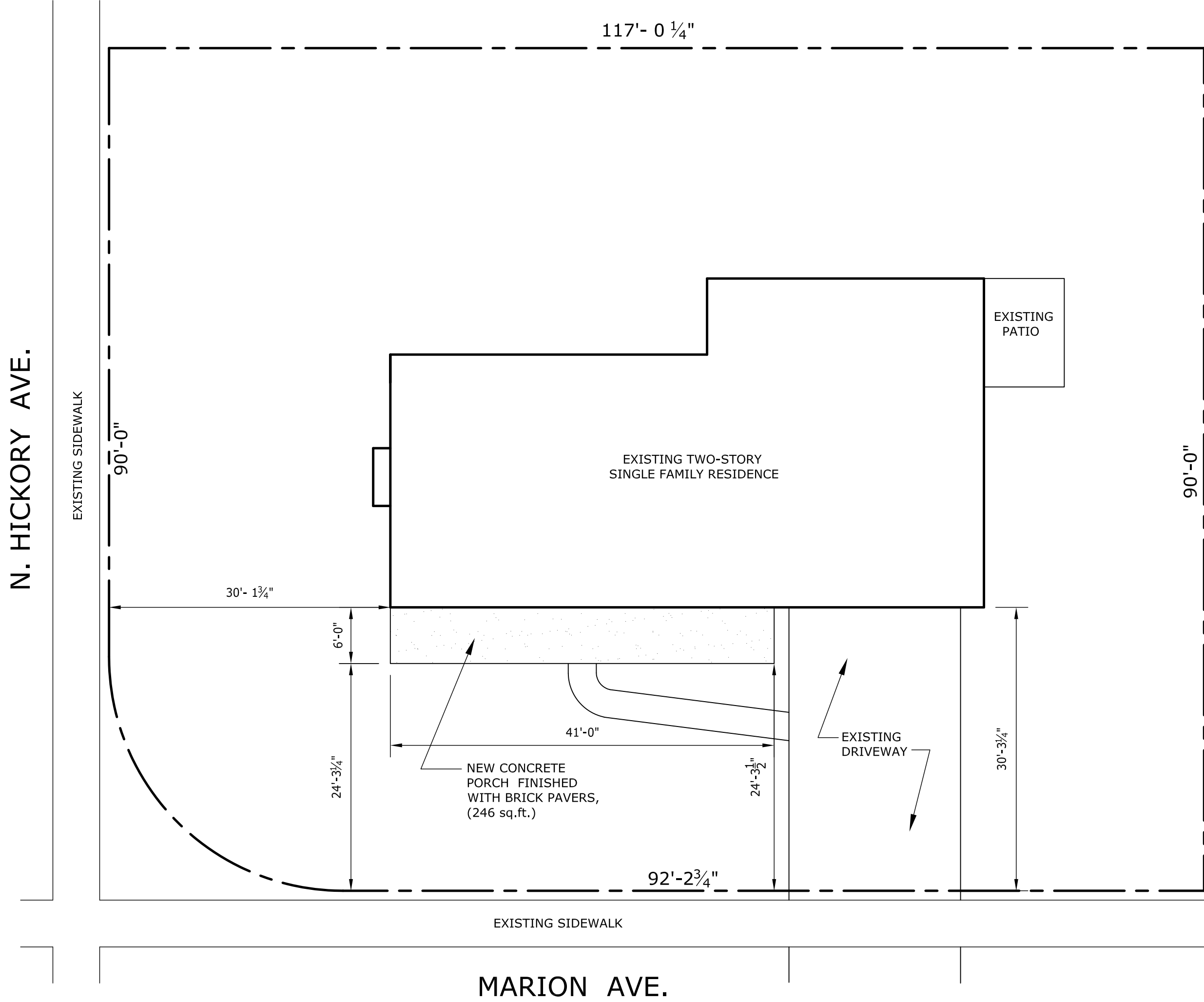
Arlington Heights, Illinois 60004



1

EXISTING SITE PLAN

1" = 10'-0"



2

PROPOSED SITE PLAN

1" = 10'-0"

Jones
Residence

New Front Porch

702 E. Marion Ave.
Arlington Heights, Illinois 60004

CAPITAL
ARCHITECTS, LLC

PLANNING & DESIGN

303 N. Northwest Highway
Suite 205
Barrington, Illinois 60010

Tele : (847) 209-1125

Project No.:
1829

	ZONING VARIANCE	7-16-18
No:	Description:	Date:

Sheet Title:
EXISTING SITE PLAN
PROPOSED SITE PLAN

Sheet No:
A-1

New Front Porch

CAPITAL
ARCHITECTS, LLC

303 N. Northwest Highway
Suite 205
Barrington, Illinois 60010

EXISTING TWO STORY SINGLE FAMILY RESIDENCE, NO NEW WORK WITHIN THE INTERIOR. ALL WORK SHALL TAKE PLACE ALONG AT THE EXTERIOR OF THE HOUSE

EXISTING GARAGE AREA, NO NEW WORK

EXISTING CONCRETE DRIVE, NO NEW WORK

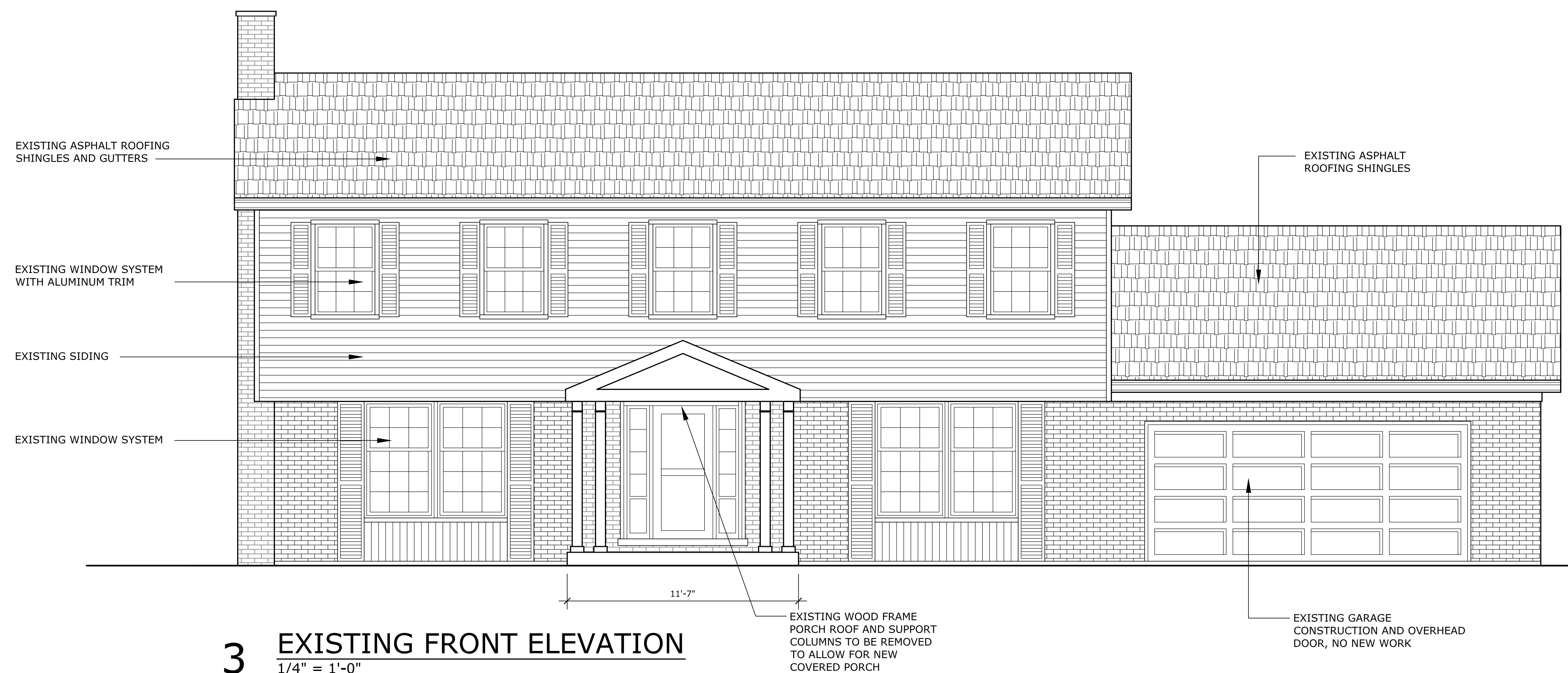
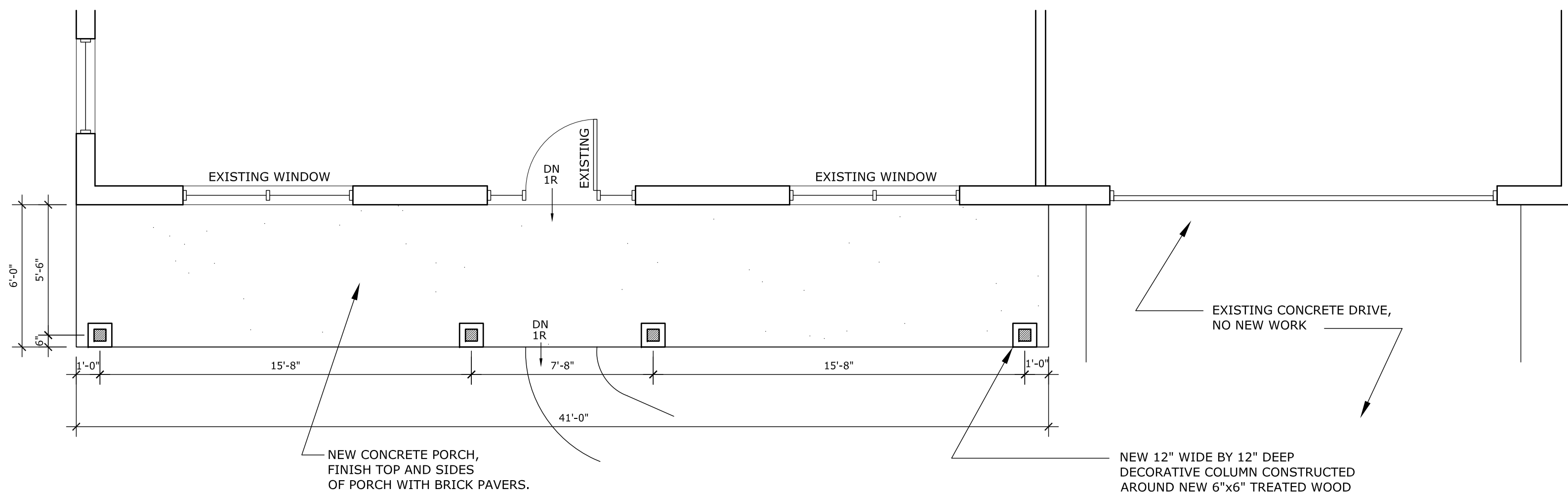
EXISTING SIDEWALK

EXISTING CONCRETE PORCH AND WOOD FRAMED SUPPORT COLUMNS

14'-8"

4'-0"

11'-7"



EXISTING SIDING

EXISTING WINDOW SYSTEM WITH ALUMINUM TRIM

EXISTING WOOD FRAME PORCH ROOF AND SUPPORT COLUMNS TO BE REMOVED TO ALLOW FOR NEW COVERED PORCH

1/4" = 1'-0"

EXISTING WEST ELEVATION

4 EXISTING WEST ELEVATION

	ZONING VARIANCE	7-16-18
No:	Description:	Date:

Sheet No: **A-2**

Jones Residence

New Front Porch

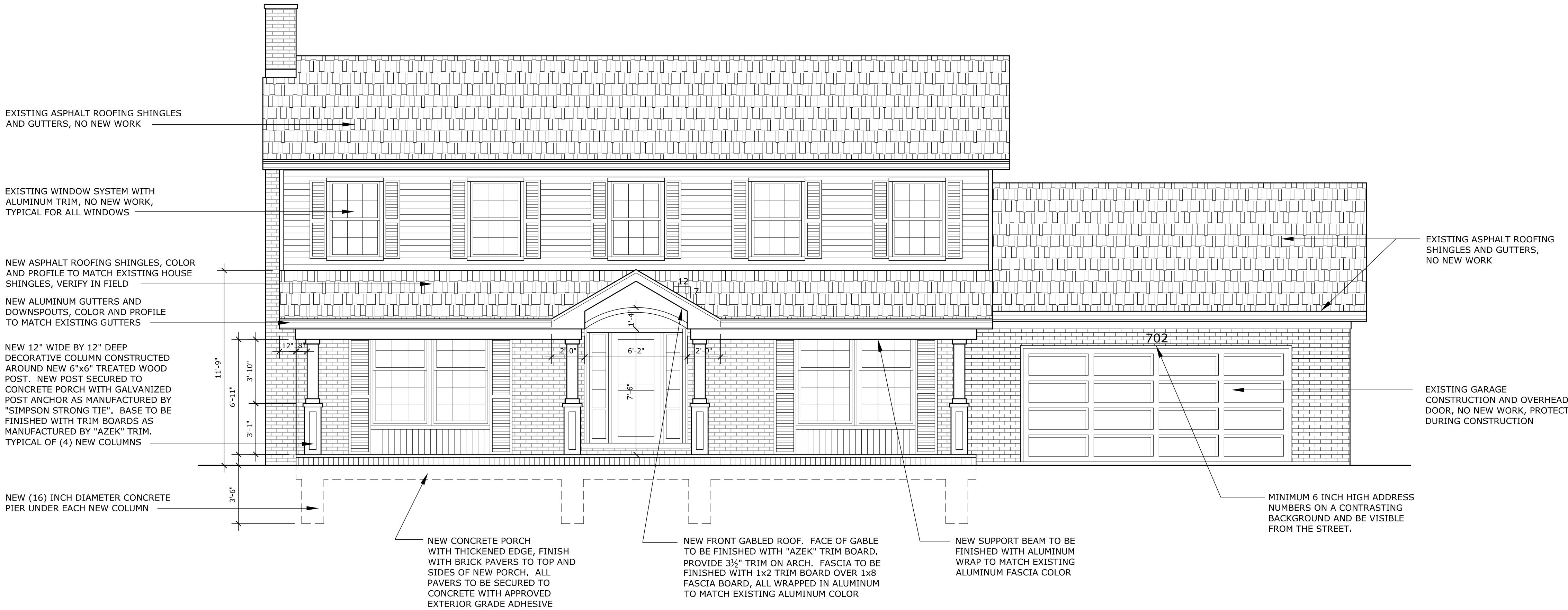
702 E. Marion Ave.
Arlington Heights, Illinois 60004

CAPITAL ARCHITECTS, LLC

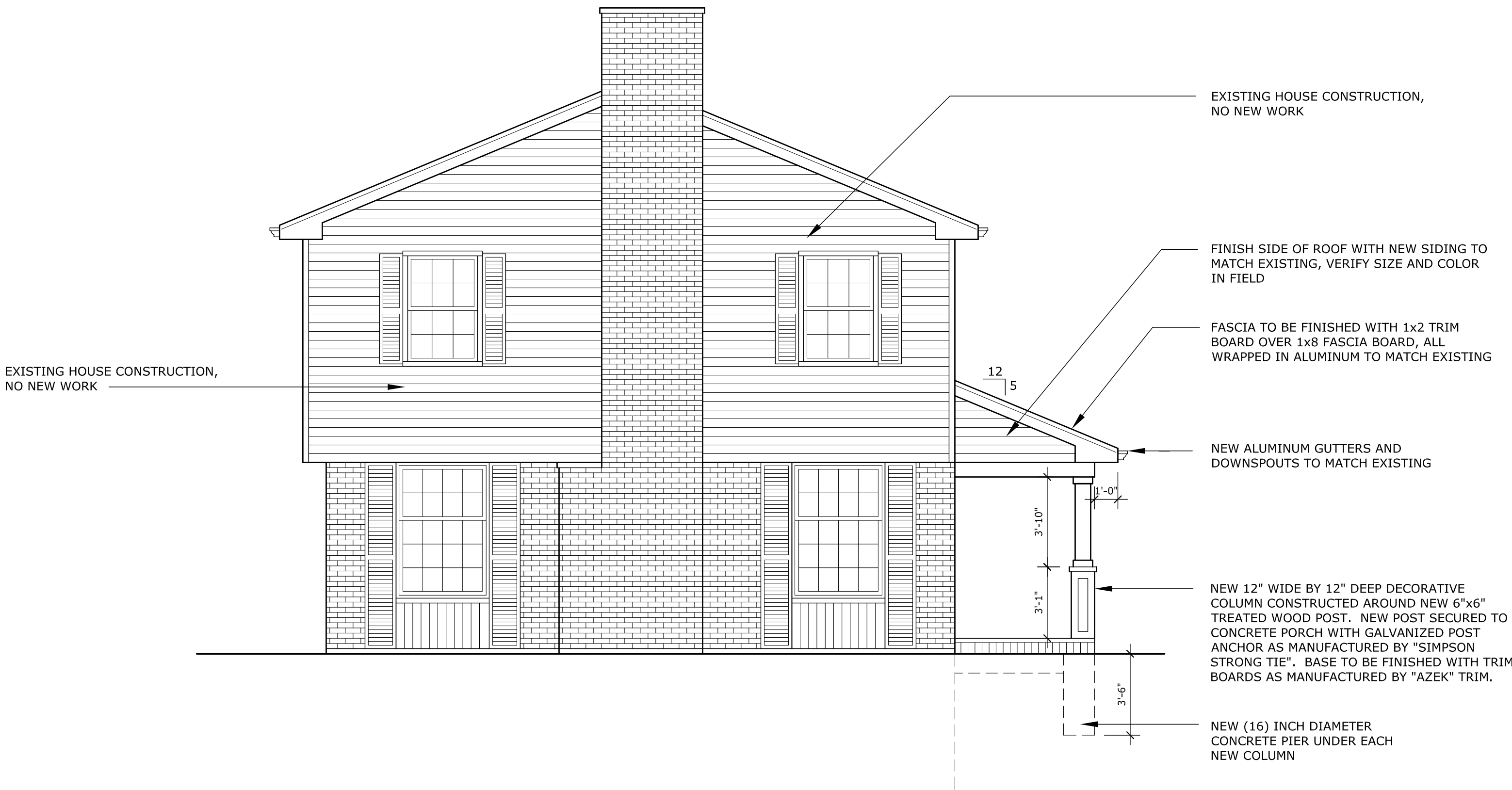
PLANNING & DESIGN

303 N. Northwest Highway
Suite 205
Barrington, Illinois 60010

Tele : (847) 209-1125



1 **PROPOSED FRONT ELEVATION**
1/4" = 1'-0"



2 **PROPOSED WEST ELEVATION**
1/4" = 1'-0"

Project No.:

1829

	ZONING VARIANCE	7-16-18
No:	Description:	Date:

Sheet Title:

PROPOSED ELEVATIONS

Sheet No:

A-3

[REDACTED]

From: Edgar Placencio [REDACTED]
Sent: Monday, July 30, 2018 9:17 AM
To: Mach, Derek
Subject: 702 E. Marion Street

[NOTICE: This message originated outside of Village of Arlington Heights email system -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Dear Mr. Mach,

I am writing this email to you and the Zoning Board of Appeals in regard to the request of the Jones family to construct a porch onto their home at 702 E. Marion Street. I wish to convey that my family would support this improvement one hundred percent. Several other houses on the block and on the surrounding blocks already feature this type of porch and it would be keeping with the character of that home and the existing homes in the area. Therefore I hope that the village recognizes this and approves the request.

Sincerely,
Edgar Placencio
[REDACTED]

[REDACTED]

From: Bob Pellican [REDACTED]
Sent: Tuesday, July 31, 2018 5:20 PM
To: Mach, Derek
Cc: Jill Pellican
Subject: 702 E. Marion St. - Denis & Cindy Jones - Zoning variance for Front Porch

[NOTICE: This message originated outside of Village of Arlington Heights email system -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Good Afternoon Mr. Mach, (please confirm receipt of this email)

We wanted to take a moment to write you a note to let you know that we feel the Jones addition of a front porch would add a great deal of enhancement not only to their home but to the neighborhood as a whole.

As their neighbors across the street we would definitely appreciate looking at a new front porch and we fully support them in this endeavor.

We are writing this email to you, as we are not sure if we will be available to attend the meeting on August 13th for the zoning variance and wanted to be sure you were aware of our feelings on this request for variance by the Jones.

Thank you so much!

Best regards,

Jill & Bob Pellican
[REDACTED]

Sent from my iPad

[REDACTED]

From: Lori Martin [REDACTED]
Sent: Tuesday, July 31, 2018 2:06 PM
To: Mach, Derek
Subject: Zoning variance for 702 E Marion St

[NOTICE: This message originated outside of Village of Arlington Heights email system -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Dear Mr. Mach -

I live at [REDACTED] and received notice of a public hearing regarding a requested zoning variance to build a porch at 702 E Marion. Since I am unable to attend the hearing I am writing to express my support for the requested variance. The porch will enhance the appeal of the house and the neighborhood

Regards,

Lori Martin

Sent from my iPhone

[REDACTED]

From: Lynn Carroll [REDACTED]
Sent: Tuesday, July 31, 2018 4:26 PM
To: Mach, Derek
Subject: Dennis and Cindy Jones front porch 702 E Marion St

[NOTICE: This message originated outside of Village of Arlington Heights email system -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Hi Derek,

I will not be able to attend the meeting on August 13th, so will email my comments to you. Dennis and Cindy Jones are huge neighborhood supporters and their home is a beautiful example for our neighborhood. Any improvement they want to make to their yard, porch, driveway etc., has my support, as I am sure it will enhance their home and our neighborhood. They agree with any changes they would like to make to their home.

Thank you~

Lynn Carroll

[REDACTED]

From: [REDACTED]
Sent: Wednesday, August 1, 2018 8:46 AM
To: Mach, Derek
Subject: ZBA regarding 702 E Marion St Denis and Cindy Jones

[NOTICE: This message originated outside of Village of Arlington Heights email system -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

To the ZBA

We live at [REDACTED] and approve of the porch addition proposed by Denis and Cindy Jones. We believe it will be a beautiful enhancement to the neighborhood,

Thank you,

Dave and Laura Wells

[REDACTED]

From: Bill Toussaint [REDACTED]
Sent: Thursday, August 2, 2018 10:19 PM
To: Mach, Derek
Cc: Sue Toussaint
Subject: ZBA Hearing 8/13/18

[NOTICE: This message originated outside of Village of Arlington Heights email system -- **DO NOT CLICK on links or open attachments unless you are sure the content is safe.]**

We (Sue and Bill Toussaint), have resided at [REDACTED] for the past forty years. We are unable to attend the hearing scheduled for Cindy and Denis Jones request for a variance on Monday, August 13th and would appreciate having our thoughts addressed to the Board members.

We have seen their proposal and have no objections to the modest variance they have requested. In fact, the new porch would enhance our view of our neighbor's residence. Hopefully, the Board members will agree.

Thank you, Sue and Bill Toussaint

Sent from [Mail](#) for Windows 10

[REDACTED]

From: [REDACTED]
Sent: Monday, August 6, 2018 5:30 PM
To: Mach, Derek
Subject: Porch for 702 E. Marion

[NOTICE: This message originated outside of Village of Arlington Heights email system -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

To the Zoning Board of Appeals:

We fully support our neighbors, the Jones' to build a front porch in their "side yard". Their address is 702 E. Marion Street.

Thanks-
Becky Hany
[REDACTED]



Virus-free. www.avg.com

[REDACTED]

From: Matt McDonnell [REDACTED]
Sent: Monday, August 6, 2018 7:26 PM
To: Mach, Derek
Subject: Support for 702 E. Marion (Denis/Cindy Jones)

[NOTICE: This message originated outside of Village of Arlington Heights email system -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Derek,

As an AH resident that lives at [REDACTED] just down the block from 702 E. Marion, I wanted to express my support for the variance to be presented at the ZBA. We do not see an issue with the improvements being made to the home of Denis & Cindy Jones.

I am sorry if this is after office hours on August 6th but I was on the road. Please let me know if you have any questions, Matt

--

Matt McDonnell
[REDACTED]



Item: 2019 Budget

Department: Planning & Community Development

ATTACHMENTS:

Description

Proposed 2019 Budget

Type

Exhibits

VILLAGE OF ARLINGTON HEIGHTS

BOARDS & COMMISSIONS 2019 BUDGET REQUESTS

Name of Board or Commission: ZONING BOARD OF APPEALS

Chair: DAVID DIVITO

	2016 Actual	2017 Actual	2018 Adopted Budget	2018 Estimated Actual	2019 Proposed Budget	Accounts
COMPENSATION:						
Boards & Commissions	\$1,075	\$1,030	\$1,700	\$1,700	\$1,700	101-1003-502.10-03
1 Chair x 15 mtg @ \$20 per mtg						
6 Members x 15 mtg @ \$15/pp per mtg						
Social Security	67	64	100	100	100	101-1003-502.19-11
Medicare	15	15	100	100	100	101-1003-502.19-12
CONTRACTUAL SERVICES:						
Photocopying	0	0	200	200	200	101-1003-502.22-15
COMMODITIES:						
Office Supplies	0	0	100	100	100	101-1003-502.30-05
TOTAL EXPENDITURES	<u>\$1,157</u>	<u>\$1,109</u>	<u>\$2,200</u>	<u>\$2,200</u>	<u>\$2,200</u>	