



Village of Arlington Heights
Plat and Subdivision Committee
Community Room, 3rd Floor
Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
August 13, 2014
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. Miner Street Development - T1391
Vacant Lot, 13 E. Miner St.
Planned Unit Development
- B. 909 W. Campbell Street Subdivision - T1460
Preliminary Plat of Subdivision

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Miner Street Development - Vacant Lot, 13 E. Miner St. - T1391

Department: Planning & Community Development

BACKGROUND

A Planned Unit Development for a 4-story residential building consisting of 12 residential dwelling units.

A Land Use Variation from Section 28-5.5-3, Permitted Uses Table, Residential, to allow Apartment Building or Multiple Family Dwellings.

A Variation from Section 28-5.1-14.6 from the required combined side yard setback of 30 feet to allow 5.81 feet.

A Variation from Section 28-5.1-14.6 from the required rear yard of 30-feet for residential uses located above the first floor to allow 5 feet.

A Variation from Section 28-11.5-2 from the required 13 parking spaces to allow 10 spaces.

A Variation from Section 28-11.2-8 from the required two-way drive aisle width of 24 feet to allow 18 feet.

A Variation from Section 28-11.7, Schedule of Loading Requirements, to waive the required loading berth for the development.

RECOMMENDATION

The Staff Development Committee reviewed the Petitioner's request and is supportive of infill development of the site subject to resolution of the following issues:

1. The property is designated as 'Mixed Use' on the Village's Comprehensive Plan. A residential development with no commercial component would not be consistent with the Comprehensive Plan and would require a land use variation. Commercial space should be incorporated on the first level of the proposed building.
2. The proposed building height must be evaluated to ensure that the proposed development is in context with other development on the block. Staff has concerns over the proposed height in relation to other development on the block.
3. A written justification shall be required for each variation(s) based upon the following hardship criteria:
 - The property in question cannot yield a reasonable return if permitted to be used only under the condition allowed by the regulation in that zone;

- The plight of the owner is due to unique circumstances; and
 - The variation, if granted, will not alter the essential character of the locality.
4. Existing water and sanitary sewer services servicing 12 and 18-24 E. Northwest Highway traverse through this site (13 E. Miner) to Miner Street and would need to be relocated. A viable solution for all parties must be developed, including the possibility of a utility easement along the east side of the proposed development.
 5. The proposed development concept provides 10 parking spaces, thus requiring a variation. Since no accessible parking spaces are illustrated on the plan, one accessible parking space must be provided. Therefore, it appears that the total parking spaces provided on site will be reduced to 9 spaces. The remainder of the parking spaces will have to be provided for within the Village's parking garage. However if commercial space is provided, then all parking will need to be accommodated in the Village's North garage subject to reallocation of spaces in that garage.
 6. The project must be evaluated against other Code requirements such as, but not limited to fire separation, exiting, light and ventilation, fire ratings to ensure that they are met.
 7. The applicant must provide a written response to the Village's affordable housing policy. Per the Village's Affordable Housing policy, 1 unit is recommended to be made available as affordable in perpetuity. However, a fee in lieu of can be paid. The suggested payment in lieu of providing the affordable units is \$75,000 per unit with the funds to be used by the Village exclusively to create and/or preserve affordable housing in the Village.
 8. Design Commission review shall be required as part of the formal review process.
 9. School, Park and Library contributions will be required as part of obtaining a building permit.
 10. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:

Description	Type
Staff Report	Report
Supporting Documents & Drawings	Exhibits
Location Map	Exhibits

STAFF DEVELOPMENT COMMITTEE REPORT

To: Plat & Subdivision Committee
Prepared By: Latika Bhide
Meeting Date: August 7, 2014
Date Prepared: August 13, 2014
Project Title: Miner Street Development
Address: Vacant lot, 13 E. Miner Street

BACKGROUND INFORMATION

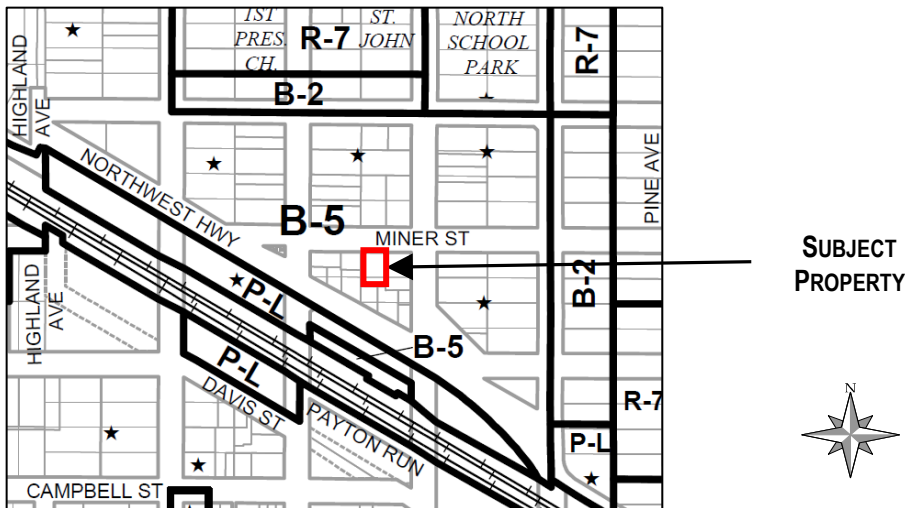
Petitioner: Frank Panzarino
 Adam and Eve Salon
Address: 7 E. Miner Street
 Arlington Heights, IL 60005
Existing Zoning: B-5, Downtown District

Requested Action:

- Planned Unit Development for a 4-story residential building consisting of 12 residential dwelling units.

Variations Required:

- Land Use Variation from Section 28-5.5-3, Permitted Uses Table, Residential, to allow Apartment Building or Multiple Family Dwellings;
- Variation from Section 28-5.1-14.6 from the required combined side yard setback of 30 feet to allow 5.81 feet;
- Variation from Section 28-5.1-14.6 from the required rear yard of 30-feet for residential uses located above the first floor to allow 5 feet;
- Variation from Section 28-11.5-2 from the required 13 parking spaces to allow 10 spaces;
- Variation from Section 28-11.2-8 from the required two-way drive aisle width of 24 feet to allow 18 feet;
- Variation from Section 28-11.7, Schedule of Loading Requirements, to waive the required loading berth for the development.



Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	B-5, Downtown District	Bistro Chen	Mixed Use
South	B-5, Downtown District	Mixed use building	Mixed Use
East	B-5, Downtown District	Mixed use building	Mixed Use
West	B-5, Downtown District	Adam and Eve Salon	Mixed Use

Background

The subject site is approximately 0.14 acres (5,968 square feet) and zoned B-5, Downtown District. The proposed action, if approved, would allow the property owner to redevelop the vacant site with a residential development that includes 12 dwelling units (6-one bedroom and 6-two bedroom) on floors two through four and parking on the first floor.

Zoning & Comprehensive Plan

To proceed forward the Plan Commission must review and the Village Board must approve a Planned Unit Development (PUD), which is required for all new buildings that are 500 square feet or greater within the Downtown. In conjunction with the PUD request, several variations to the Village's Zoning Ordinance have been identified and will be discussed throughout this report. A written justification for each variation shall also be required and shall be based upon the following criteria:

- **The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone.**
- **The plight of the owner is due to unique circumstances.**
- **The variation, if granted, will not alter the essential character of the locality.**

The property is designated as 'Mixed Use' on the Village's Comprehensive Plan. A residential development with no commercial component would not be consistent with the Comprehensive Plan. The property lies within Block 334 of the Downtown Master Plan. The Plan recommends that the entire block be redeveloped in a unified and cohesive manner. As an infill development, the project must fit in with the surrounding properties in terms of scale and uses. The height must be further evaluated and the lack of commercial on the first level is a significant issue which should be addressed. The B-5 Downtown district permits mixed use development but does not permit residential only. Thus the following variation is needed for the proposed development:

- **A Land Use Variation from Section 28-5.5-3, Permitted Uses Table, Residential, to allow Apartment Building or Multiple Family Dwellings**

Staff cannot support this variation as commercial space should be incorporated on the first level of the proposed building.

Building, Site, and Landscape Related Issues

The following main key issues have been identified:

Building Height and Design

The B-5 district permits a height of 90 feet with a maximum height limit of 140 feet if a development complies with the Downtown height bonus standards. The maximum building height is exclusive of elevator penthouses, stair heads and other mechanical equipment facilities. Based on the plans submitted, the proposed four-story building is 48 feet tall to the roof deck line and the parapet extends approximately another 6.5 feet to 54.5 feet. However, the context of the block should be taken into consideration to ensure that the proposed development is in harmony with other development on the block, thus the height should be evaluated in context as an infill development. Staff has concerns with the height as being out of context with the surrounding block.

Prior to a public hearing of the Plan Commission, Design Commission review of the architectural design and aesthetics shall be required.

Density

As shown in the table below, the proposed development has a total of 12 dwelling units (4 units per floor) with a bedroom mix of 6, one bedroom units and 6, two bedroom units. Based upon the bedroom mix the aforementioned proposal complies with the Village's density requirements, which allows up to 16 dwelling units (based on a 50% mix of 1 and 2 bedrooms) on 5,940 square feet of land area.

	Number of Units	Multiplier	Required Land Area
One Bedroom	6	300 SF/d.u.	1800 SF
Two Bedroom	6	400 SF/d.u.	2400 SF
Total Site Area Required	12		4200 SF
Total Site Area Provided			5,968 SF

Building Setbacks

According to code there is no required front (north) yard setback as the code encourages buildings built to the sidewalk. With respect to the side (east and west) yard setback, Village Code requires all Downtown developments to provide either a single or a combined side yard setback that is not less than 30 feet or less than 30% of the average width of the lot, whichever is greater. Since the site's linear frontage along Miner Street is 66.31 feet, a 30 foot side yard(s) setback is required. The following variation has been identified:

- **A Variation from Section 28-5.1-14.6, Required minimum Yards, to allow a reduction from the required combined side yard setback of 30 feet to allow 5.81 feet;**

The plans include a 5.81 foot west yard setback and 0 feet east yard setback. While a reduction to the aforementioned setback is appropriate given the urban setting in which the proposal is being located, the exact amount will need to be further evaluated in conjunction with building/fire separation requirements, access to the rear area and location/relocation of existing utilities. In addition a written justification based upon the following criteria shall be required:

- **The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone.**
- **The plight of the owner is due to unique circumstances.**
- **The variation, if granted, will not alter the essential character of the locality.**

Regarding the rear (south) yard setback, all Downtown developments are required to provide for residential uses located above the first floor, a yard not less than 30 feet. Pursuant to the concept site plan, said development has a 5 foot setback from the south property line, thereby resulting in the following variation:

- **A Variation from Section 28-5.1-14.6, Required Minimum Yards, from the required rear yard of 30-feet for residential uses located above the first floor to allow 5 feet;**

The Petitioner must provide a written justification based upon the above mentioned hardship criteria as well as demonstrate that 5 feet is sufficient to accommodate servicing functions, exiting requirements, utilities and building and fire separation requirements.

The following other variations have also been identified:

- **Variation from Section 28-11.2-8 from the required two-way drive aisle width of 24 feet to allow 18 feet;**
Instead of the required 24 feet, an 18 foot drive aisle is proposed for portion of the interior parking garage. The Petitioner must provide a written justification based upon the above mentioned hardship criteria.
- **Variation from Section 28-11.7, Schedule of Loading Requirements, to waive the required loading berth for the development.**

The Petitioner must provide a written justification based upon the above mentioned hardship criteria.

Floor Area Ratio (FAR) and Building Lot Coverage

According to code, there is no FAR or Building Lot Coverage standard in the B-5 district. However, the overall size, scale and massing of said building will be evaluated in terms of building design and compliance with all other applicable accessibility, building, health, life safety, zoning code requirements, and existing utilities as described below.

Utilities

There are several Commonwealth Edison power poles along the west property line of the subject site. These existing overhead power lines provide service to the subject site as well as the surrounding properties. In conjunction with the proposed development, the Petitioner is planning to move the services to an area at the northwest corner of the property and provide an easement along the west, south and a portion of the east property. Also, the water and sanitary sewer services servicing 12 and 18 - 24 E. Northwest Highway traverse through this site (13 E. Miner) to Miner Street and would need to be relocated. A viable

solution for all parties must be developed, including the possibility of a utility easement along the east side of the proposed development.

Ingress/Egress Easement

The Petitioner also owns the adjacent property to the west at 7 W. Miner Street (Adam and Eve Salon). This property has an ingress/egress easement along its east property line, which provides access to its rear service area, the upper level apartments, and Eddie's restaurant to the south. Access to and from Eddie's must be maintained in the ingress and egress easement. It will be necessary to utilize this easement to access to the trash dumpsters on the 13 E. Miner site and when exiting using the two stairways.

Traffic and Parking Issues

With respect to parking, a total of 13 parking spaces are required by code (see table below). 10 parking spaces are provided, thus requiring a variation, however this number reduces to 9 as an accessible space is required. The remainder of the parking spaces will have to be provided for within the Village's parking garage. Since staff recommends commercial on the first floor, then all the required parking must be provided in the Village's North garage. At this time the Village is not providing any additional permits but the staff parking committee is evaluating reallocating some parking to allow for additional residential permits. Employee parking for the commercial space will also need to be accommodated in the garage. Parking for patrons of the commercial space can be provided on-street and on the first level of the garage.

Proposed Miner Development			
	# of Dwelling Units	Parking Required	Parking Proposed
1 Bedroom Units	6 units	6 Spaces (1.00/unit)	
2 Bedroom Units	6 units	7.5 Spaces (1.25/unit)	
TOTAL		13 Spaces	10 Spaces Reduced to 9 spaces with 1 accessible space

According to Chapter 28, Section 11.3-3, off site parking is permitted as long as the available parking for the commercial and residential uses are within 300 to 1,000 feet, respectively, of the use served. In addition, per Chapter 28, Section 11.5-8, the off-street parking requirements in the B-5 Downtown District may be met by the leasing of such spaces from the Village. The ancillary parking cannot be separated from the place of business by a major arterial road and must be within the Downtown District or contiguous to the Downtown District.

Market Study

Staff does not believe a market assessment is necessary for only 12 dwelling units. Moreover, the Petitioner must provide a response to the Village's Affordable Multi-Family Housing Policy, which is required for all new multi-family residential Planned Unit Development requests. Per the Village's Affordable Housing Policy, for projects with 6 to 25 residential units proposed, 10% of the units are recommended to be available as affordable in perpetuity. Therefore for this project, 1 unit is recommended to be made available as affordable in perpetuity. However, a fee in lieu of can be paid. The suggested payment in lieu of providing the affordable units is \$75,000 per unit with the funds to be used by the Village exclusively to create and/or preserve affordable housing in the Village.

RECOMMENDATION

The Staff Development Committee reviewed the Petitioner's request and is supportive of infill development of the site subject to resolution of the following issues:

1. The property is designated as 'Mixed Use' on the Village's Comprehensive Plan. A residential development with no commercial component would not be consistent with the Comprehensive Plan and would require a land use variation. Commercial space should be incorporated on the first level of the proposed building.
2. The proposed building height must be evaluated to ensure that the proposed development is in context with other development on the block. Staff has concerns over the proposed height in relation to other development on the block.
3. A written justification shall be required for each variation(s) based upon the following hardship criteria:

- The property in question cannot yield a reasonable return if permitted to be used only under the condition allowed by the regulation in that zone;
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 5. The proposed development concept provides 10 parking spaces, thus requiring a variation. Since no accessible parking spaces are illustrated on the plan, one accessible parking space must be provided. Therefore, it appears that the total parking spaces provided on site will be reduced to 9 spaces. The remainder of the parking spaces will have to be provided for within the Village's parking garage. However if commercial space is provided, then all parking will need to be accommodated in the Village's North garage subject to reallocation of spaces in that garage.
 6. The project must be evaluated against other Code requirements such as, but not limited to fire separation, exiting, light and ventilation, fire ratings to ensure that they are met.
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 8. Design Commission review shall be required as part of the formal review process.
 9. School, Park and Library contributions will be required as part of obtaining a building permit.
 10. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

August 7, 2014

Bill Enright, AICP

Deputy Director of Planning and Community Development

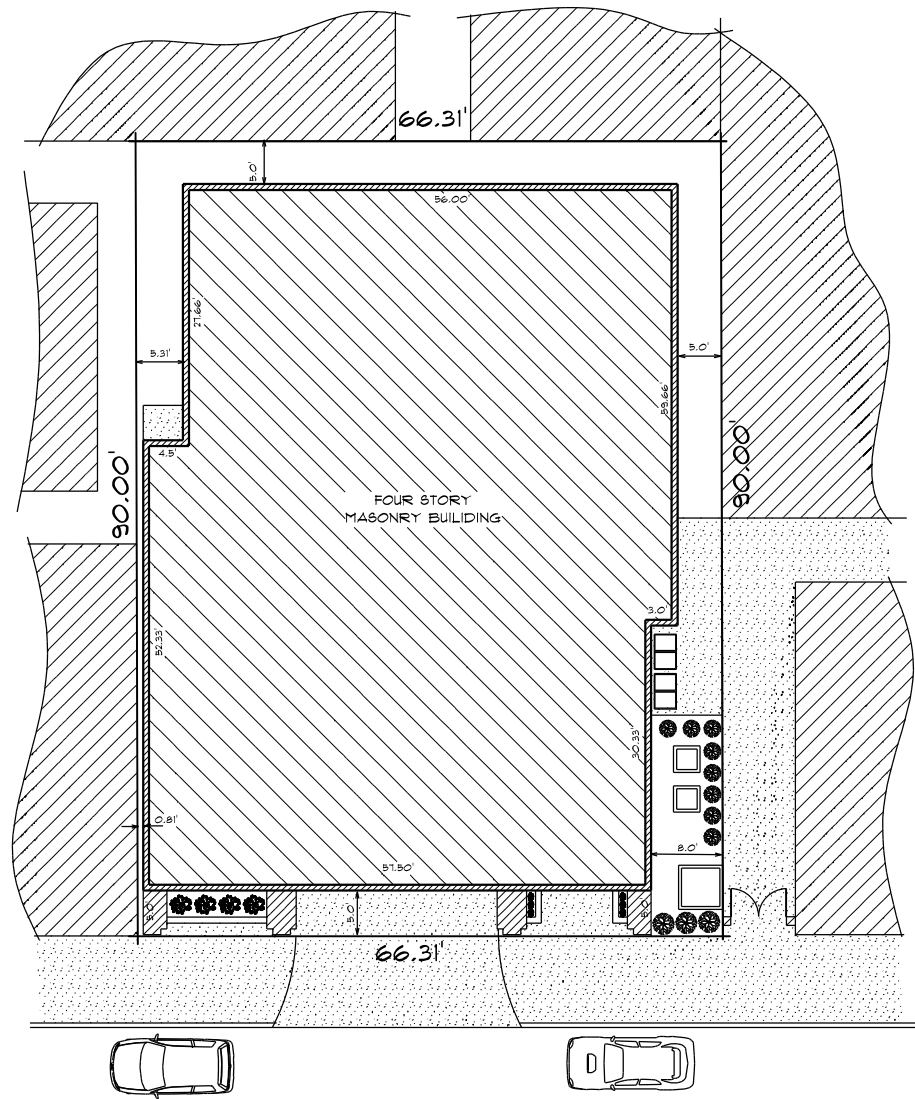
C: *Diana Mikula, Interim Village Manager*
All Department Heads



SOUTH SIDE OF MINER STREET BETWEEN DUNTON & EVERGREEN AVENUES



13 E. MINER STREET



SITE PLAN

SCALE 1" = 10' - 0"



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ARCHITECTS • DEVELOPERS • BUILDERS
415 SOUTH MIDDLETON AVENUE
PALM BEACH, FLORIDA 33408
(847) 202-9223

FOUR STORY BUILDING FOR:

FRANK PANZARINO
13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

DATE
JULY 21, 2014

REVISION

JOB #

SHEET #

CS



FRONT ELEVATION

SCALE 1/8" = 1'-0"



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ARCHITECTS • DEVELOPERS • BUILDERS
415 SOUTH MIDDLETON AVENUE
PALATKA, ILLINOIS 60067
(847) 202-9223

FOUR STORY BUILDING FOR:

FRANK PANZARINO

13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

DATE
JULY 21, 2014

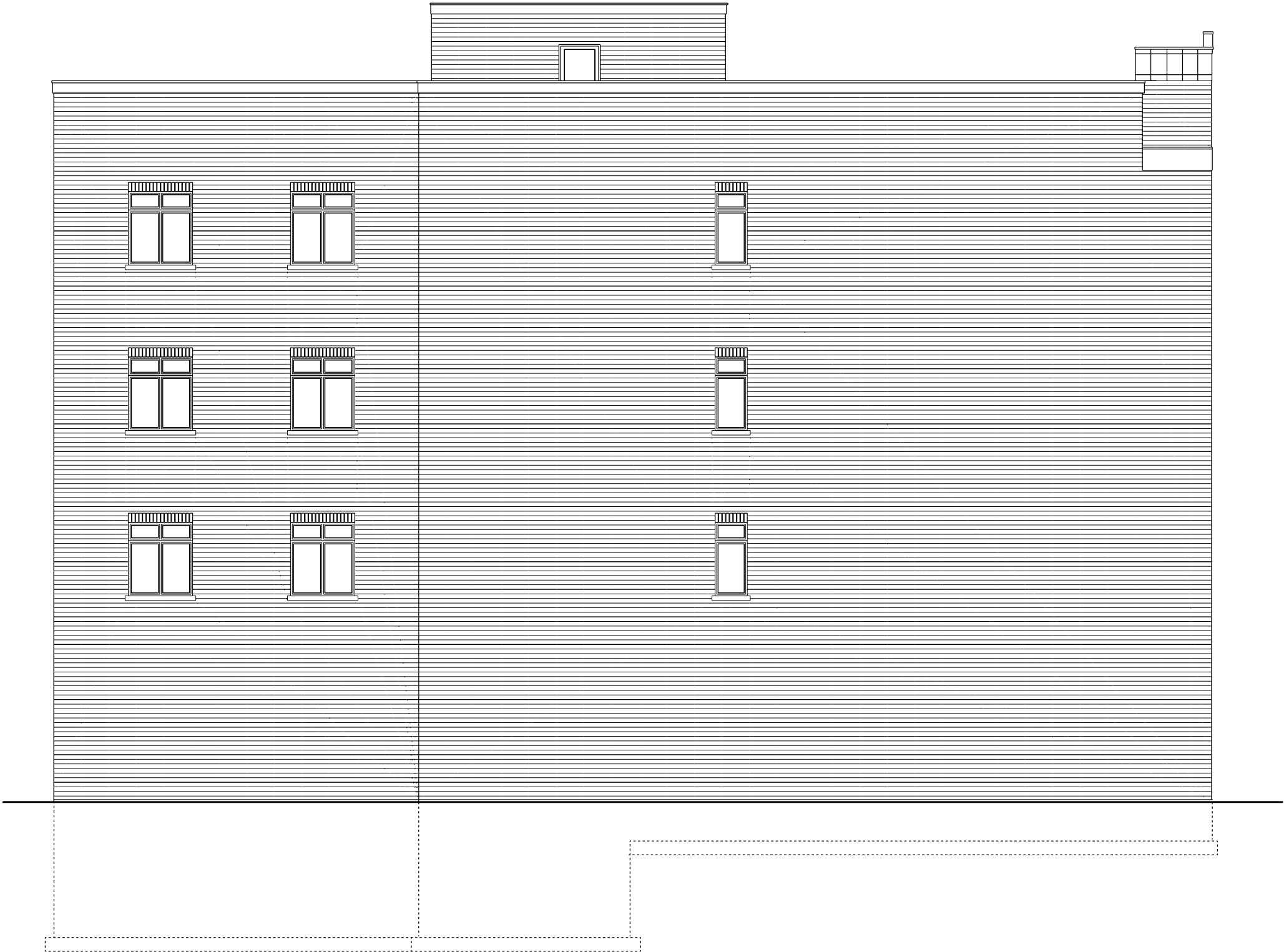
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JOB #

SHEET #

A1

10'-0" 12'-0" 12'-0" 12'-0" 4'-0" 5'-0"



LEFT ELEVATION

SCALE 1/8" = 1'-0"

DATE
JULY 21, 2014

REVISION

JOB #

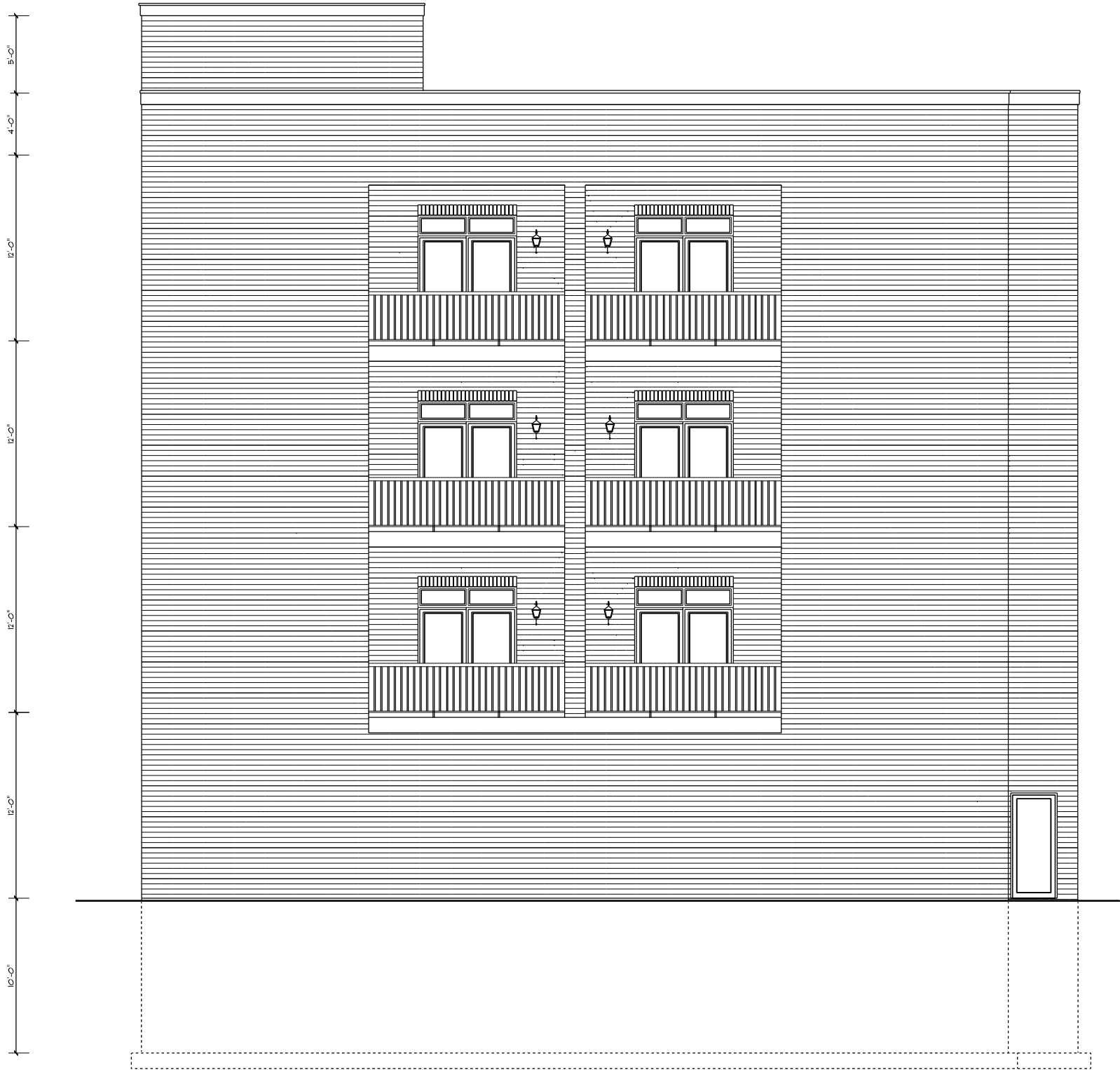
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A4

FOUR STORY BUILDING FOR:
FRANK PANZARINO
13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004



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PALM BEACH, FLORIDA 33408
(561) 202-9223



REAR ELEVATION

SCALE 1/8" = 1'-0"

FOUR STORY BUILDING FOR:

FRANK PANZARINO

13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

DATE
JULY 21, 2014

REVISION

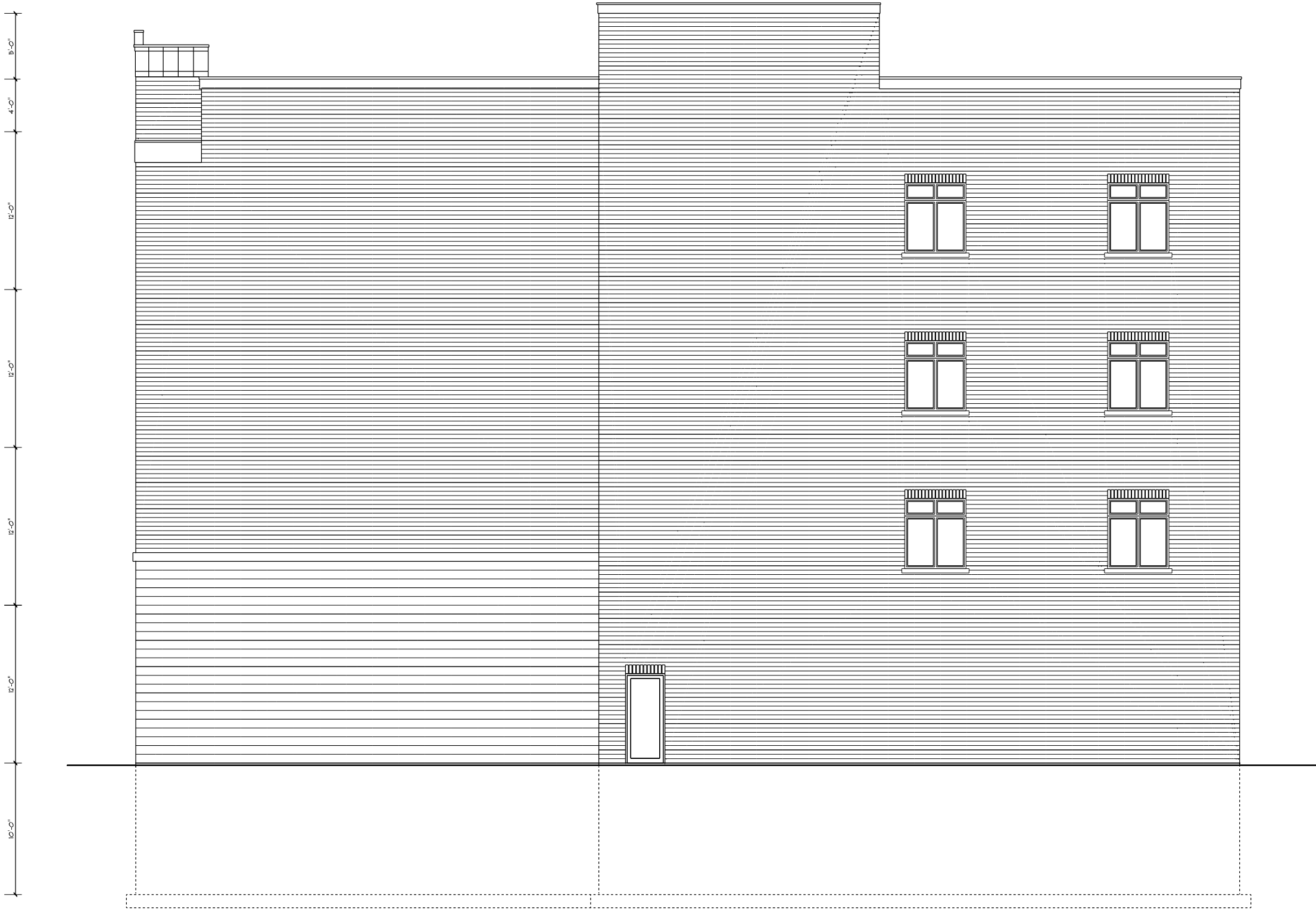
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A3



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(847) 202-9223



RIGHT ELEVATION

SCALE 1/8" = 1'-0"



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PALATKA, ILLINOIS 60067
(847) 202-9223

FOUR STORY BUILDING FOR:

FRANK PANZARINO

13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

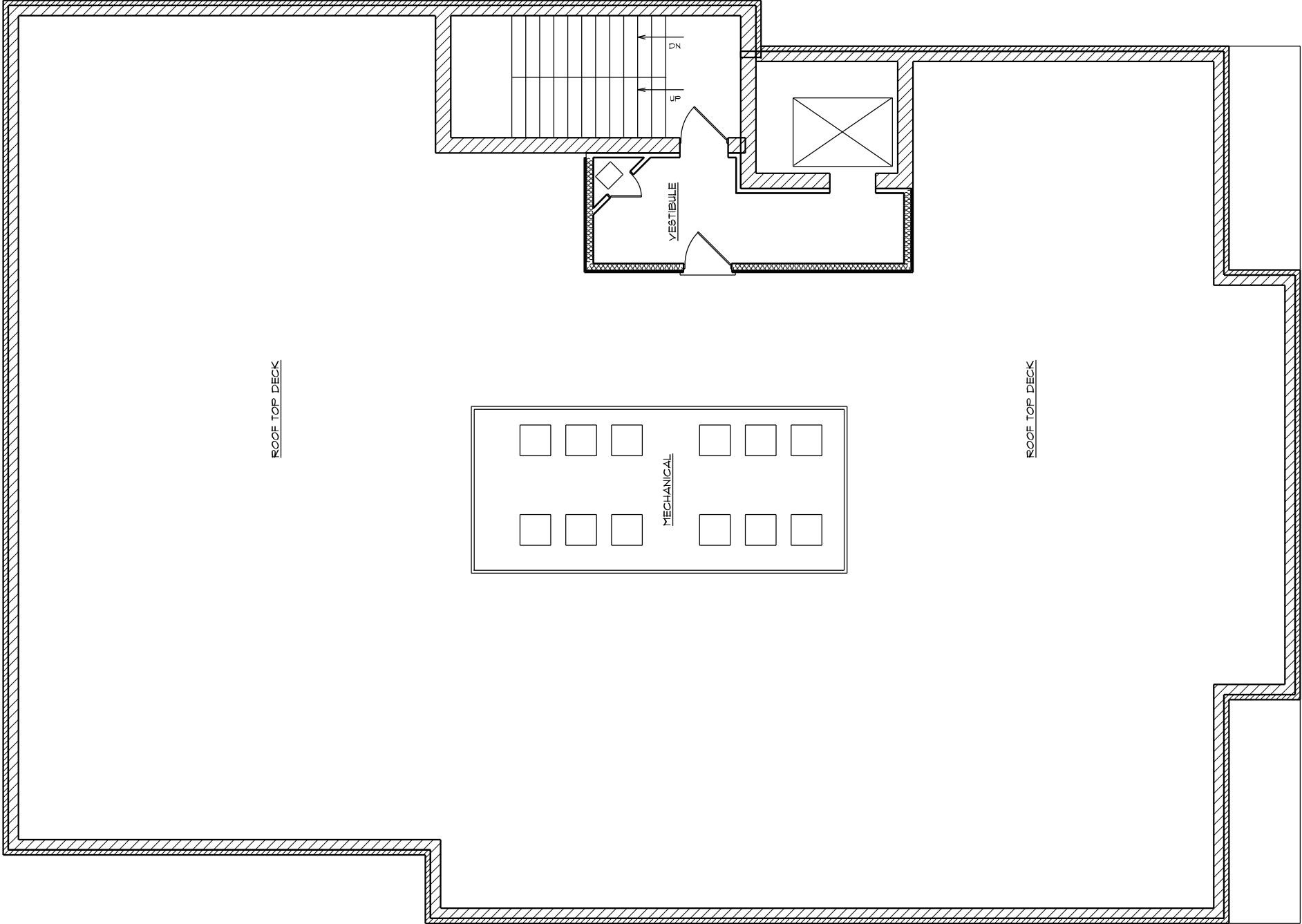
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JULY 21, 2014

REVISION

JOB #

SHEET #

A2



ROOF TOP DECK

SCALE 1/8" = 1' - 0"

DATE
JULY 21, 2014

REVISION

JOB #

SHEET #

A9

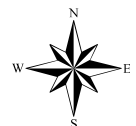
FOUR STORY BUILDING FOR:
FRANK PANZARINO
13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004



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(847) 202-9223



7 E. Miner St.
Prepared by the Village of Arlington Heights
Department of Planning & Community Development
August 7, 2014





Item: 909 W. Campbell Street Subdivision - T1460

Department: Planning & Community Development

BACKGROUND

Preliminary Plat of Subdivision to re-subdivide eight, substandard platted parcels, into six single family lots and one lot for detention.

RECOMMENDATION

The Staff Development Committee reviewed the proposed request and are in general support, subject to storm water detention requirements and the following:

1. On-site detention shall be required. As part of the formal Plan Commission review, preliminary and final engineering plans and detention calculations shall be provided.
2. A tree preservation plan that identifies all existing trees with a trunk caliper size of three inches or greater must be provided. This plan must also include a reference chart that lists each tree by common and botanical name, size, condition (good, fair, poor) disposition (remove, relocate, preserve) and mitigation value.
3. The existing east half right-of-way for Kennicott Avenue will require full public improvements: pavement, curb and gutter, storm, sanitary, water main, street lighting, and sidewalk.
4. A neighborhood meeting shall be required prior to scheduling a public hearing of the Plan Commission.
5. School, Park and Library contributions shall be required prior to the issuance of a building permit for each new lot.
6. Design Commission review shall be required for each home prior to issuance of a permit for each home.
7. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:

Description	Type
Staff Report	Report
Supporting Documents	Exhibits
Location Map	Exhibits

STAFF DEVELOPMENT COMMITTEE REPORT

To: Plat & Subdivision Committee
Prepared By: Latika Bhide, Development Planner
Meeting Date: August 7, 2013
Date Prepared: August 13, 2013
Project Title: 909 W Campbell Street Subdivision
Address: 909 W Campbell Street

BACKGROUND INFORMATION

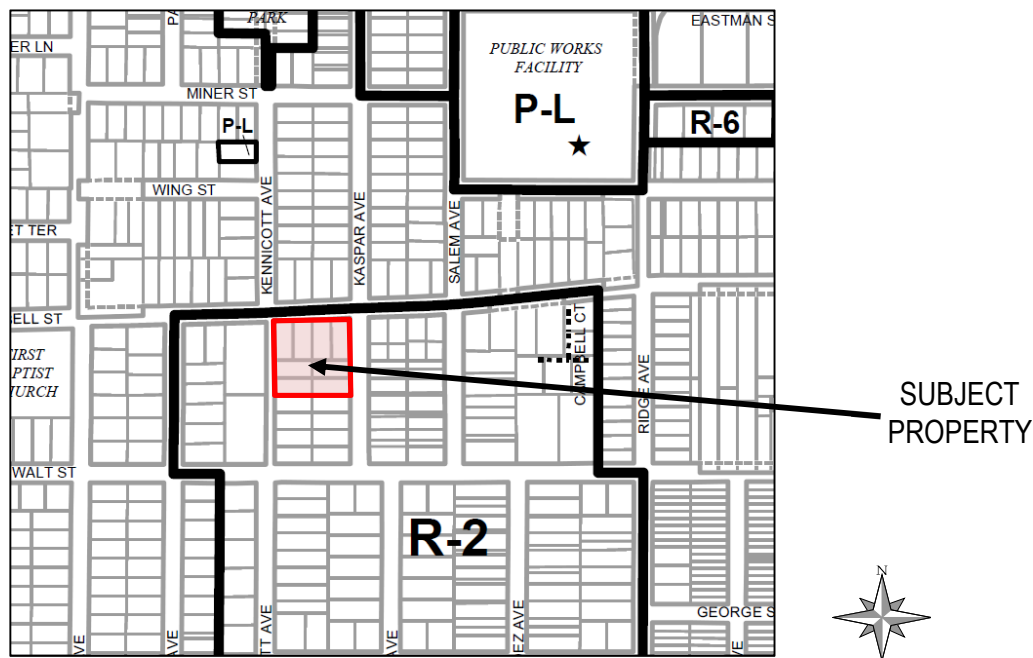
Petitioner: Tony Van Dijk, Emerald Homes
Address: 880 S. Milwaukee Ave.
 Libertyville, IL 60048
Existing Zoning: R-2, One Family Dwelling District

Requested Action:

- Preliminary Plat of Subdivision to re-subdivide eight, substandard plated parcels, into six single family lots and one lot for detention.

Variations Required:

None identified at this time.



Surrounding Land Uses

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	R-3, One Family Residential	Single Family Homes	Single Family Detached
South	R-2, One Family Residential	Single Family Homes	Single Family Detached – Estate 2
East	R-2, One Family Residential	Single Family Homes	Single Family Detached – Estate 2
West	R-2, One Family Residential	Single Family Homes	Single Family Detached – Estate 2

Background

The property is commonly known as 909 W. Campbell and the site consists of eight plated parcels that do not currently meet the minimum R-2 standards. The eight plated lots are part of the Arlington Manor Subdivision, which was plated in 1924 via Document Number 9637217. The lots lack adequate size and width to meet the lot size standards in the R-2 zoning district. Earlier this year, the applicants sought relief from the Zoning Board of Appeals to allow substandard lot area and lot width to create 8 buildable lots. The Zoning Board of Appeals denied the petitioner's request.

Project Summary

The subject site is approximately 69,300 square feet (1.6 acres) and is bounded by Campbell Street to the north, Kaspar Avenue to the east and the unimproved and partial right of way of Kennicott Avenue to the west. To the south is vacant land. Currently, the property is approximately 264.76 feet wide (along Campbell Street) by 268.90 feet deep along Kaspar Avenue. The property is currently vacant as the existing residence on the site has been demolished.

The proposed action, if approved, would allow the Petitioner to subdivide the property into six single family lots and a detention basin. Details for the six lots are provided below.

Zoning Analysis

A plat of subdivision must be reviewed by the Plan Commission and approved by the Village Board. As part of the preliminary review process, the Staff Development Committee evaluated the relationship of the six new lots to the applicable Zoning and Subdivision regulations (see Table 1).

Table 1: Subdivision Analysis

Table 11. Setback Requirements								
Zoning Requirements	Minimum Lot Size (SF)		Minimum Lot Width		Front Yard setback	Side yard setback	Rear yard setback	Corner side yard setback
Required:								
Typical R-2 Lot	Corner	Interior	Corner	Interior	25'	10 % of lot width	30'	10'
	10,000	10,000	90'	75'				
Lot 1	10,284		96'		25'	10'	30'	10'
Lot 2		10,253		92'	25'	10'	30'	NA
Lot 3		10,030		76'	25'	8'	30'	NA
Lot 4		10,026		76'	25'	8'	30'	NA
Lot 5		10,095		76'	25'	8'	30'	NA
Lot 6		10,098		76'	25'	8'	30'	NA

Additionally, Section 29-307, Residential Lot Standards, within the Subdivision Control Regulations spells out the required minimum lot area and lot widths for residential lots. All lots meet the minimum required lot widths of 90 feet for corner lots and 75 feet for interior lots and a minimum lot area of 9,900 square feet for the corner lot and 8,750 square feet for interior lots.

Zoning and Comprehensive Plan

When compared to the surrounding properties, the proposed lots are comparable both in width and area (see Table 2).

Table 2: Lot Comparison with Surrounding Properties

Ave. Lot Size on north side of Campbell Ave (between Kennicott and Kaspar Avenues)		Ave. Lot Size on east side of Kaspar Ave (between Campbell Street and Sigwalt Ave.)	
Width	Area	Width	Area
66.17'	9,654	85.3'	11,276

Based on this information above, the lots are consistent with the existing lots in the area.

Building, Site, and Landscape Related Issues

On-site detention shall be required and the Petitioner will need to provide detailed engineering plans and detention calculations as part of the formal review process. The details of the detention basin will need to be addressed as part of the formal review process.

The existing east half right-of-way for Kennicott Avenue will require full public improvements: pavement, curb and gutter, storm, sanitary, water main, street lighting, and sidewalk. Per Section 29-304 of the City Code, half streets are prohibited except where the Plan Commission finds that the land adjoining the half street is unsubdivided and it will be practicable

to require the dedication of the other half of the street when the adjoining land is subdivided. As part of the formal review process, engineering plans and details must be reviewed by Village Staff prior to the Plan Commission hearing.

A tree preservation plan shall be required. This plan needs to identify all of the existing trees with trunk caliper sizes of three inches or greater and shall include a reference chart that lists each tree by common and botanical name, size, condition (good, fair, poor) disposition (remove, relocate, preserve) and mitigation value. There are significant trees on site and in the parkway therefore location of driveways for the lots needs to take into consideration existing tree preservation.

Finally, future residential development on the subject site shall require design review prior to the issuance of a building permit for each new home.

Traffic & Parking Issues

According to the Village's Subdivision Control Regulations and Zoning Ordinance, a traffic study is required for residential developments that have at least 100 dwelling units or more. Since the Petitioner is only proposing a six-lot development, a formal traffic study by a certified Traffic Engineer is not required.

Recommendation

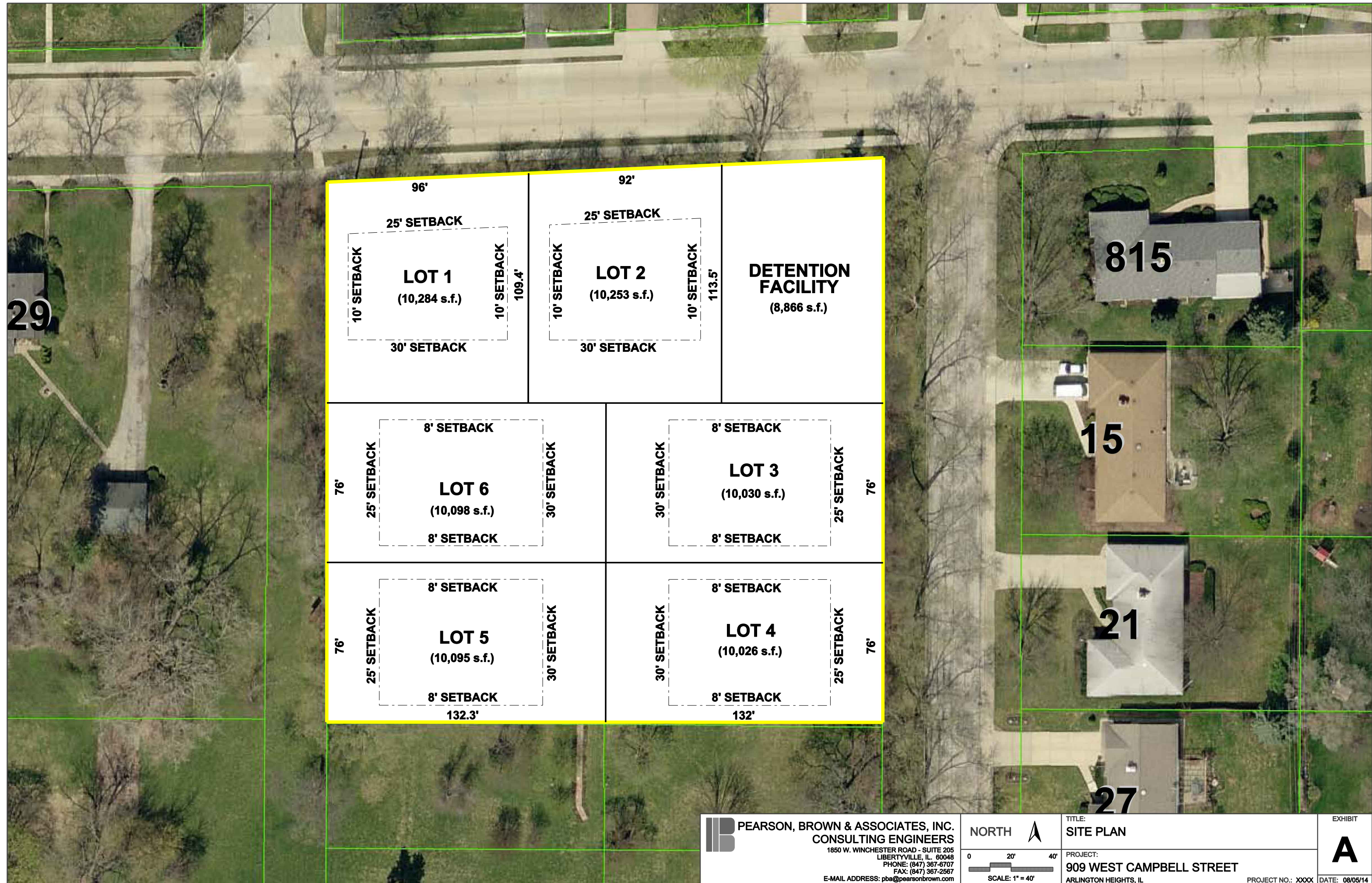
The Staff Development Committee reviewed the proposed request and are in general support, subject to storm water detention requirements and the following:

1. On-site detention shall be required. As part of the formal Plan Commission review, preliminary and final engineering plans and detention calculations shall be provided.
2. A tree preservation plan that identifies all existing trees with a trunk caliper size of three inches or greater must be provided. This plan must also include a reference chart that lists each tree by common and botanical name, size, condition (good, fair, poor) disposition (remove, relocate, preserve) and mitigation value.
3. The existing east half right-of-way for Kennicott Avenue will require full public improvements: pavement, curb and gutter, storm, sanitary, water main, street lighting, and sidewalk.
4. A neighborhood meeting shall be required prior to scheduling a public hearing of the Plan Commission.
5. School, Park and Library contributions shall be required prior to the issuance of a building permit for each new lot.
6. Design Commission review shall be required for each home prior to issuance of a permit for each home.
7. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

August 7, 2014

Bill Enright, Deputy Director of Planning and Community Development

C: Diana Mikula, Interim Village Manager
All Department Heads



PLAT OF SURVEY OF

LOT 245, 246, 247, 248, 293, 294, 295 AND 296 IN ARLINGTON MANOR SUBDIVISION OF PART OF THE
SOUTHEAST QUARTER OF SECTION 30 AND THE WEST 1/2 OF THE NORTHEAST QUARTER OF SECTION 31,
TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY ILLINOIS.

PIN NO.: 03-30-420-001, 002, 003, 004, 005, 006, 011 AND 012
COMMONLY KNOWN AS: 909 West Campbell Street, Arlington Height, IL 60004

Scale: 1 inch = 40 Feet
Distances are marked
in feet and decimals.

KANTHAPHIXAY LAND SURVEYING

RICHARD R. KANTHAPHIXAY
17 N. Ridge Court
Streamwood, IL 60107
Phone: (630)736-5633
Cell: (630)973-7491

LEGEND

- FOUND IRON ROD
- FOUND IRON PIPE
- FOUND MAG NAIL
- SET IRON PIPE
- IRON PIPE OR
ROD NOT FOUND
- ⊙ LIGHT POLE
- CHAIN LINK FENCE
- WOOD OR PLASTIC FENCE
- ▨ CONCRETE
- ▩ BRICK PAVER

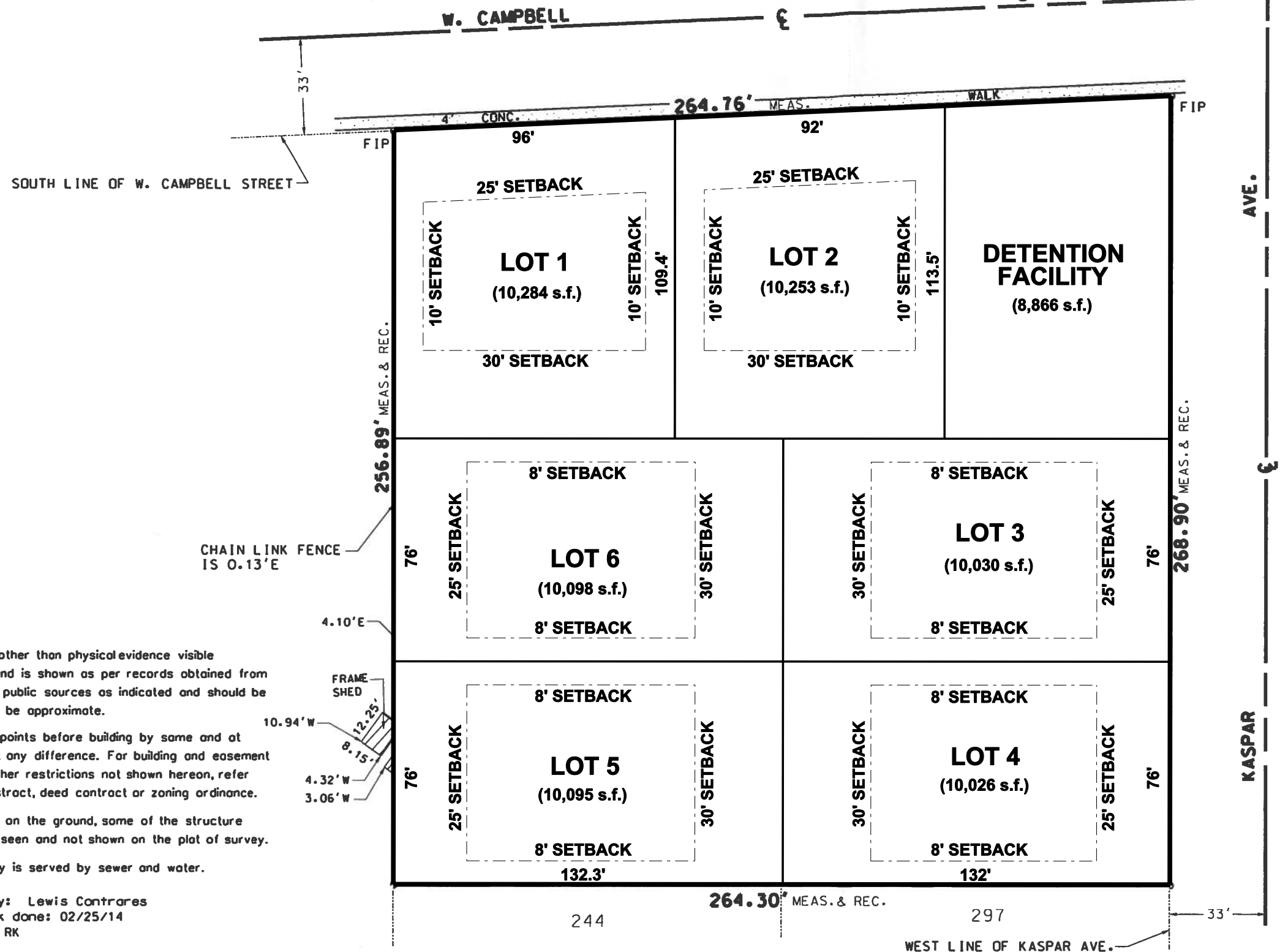


STATE OF ILLINOIS) s.s.
COUNTY OF COOK)

I, RICHARD R. KANTHAPHIXAY, a Illinois Professional Land Surveyor,
hereby certify that a survey has been made, at and under my
direction, of the property described above, and that the survey
hereon drawn is a correct representation of said survey and
conforms to the current Illinois minimum standards for a
boundary survey.

Streamwood, Illinois, February 26, A.D. 2014

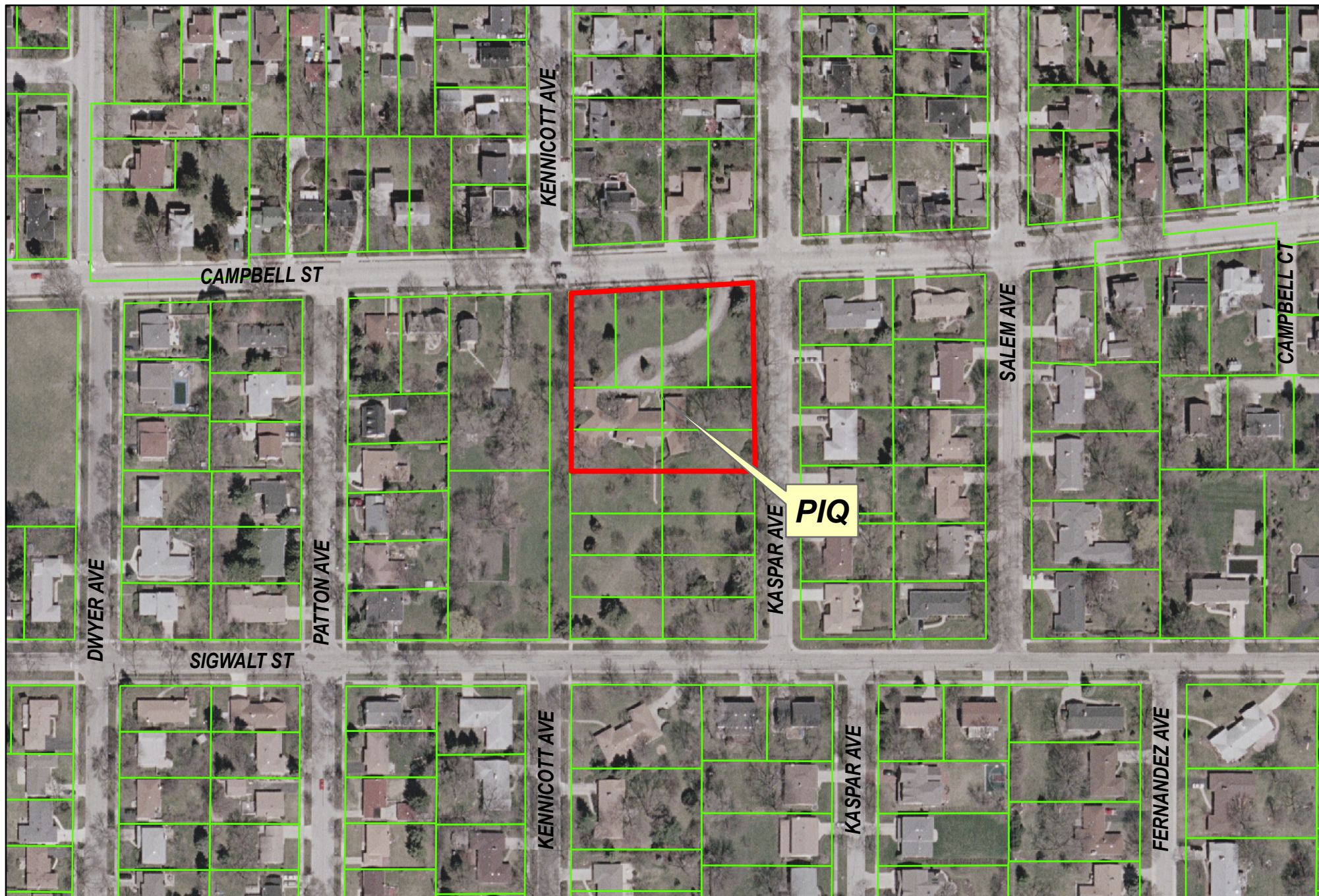
By Richard R. Kanthaphixay
Illinois Professional Land Surveyor
Certificate No. 3807
Expiration date: 11-30-2014



NOTES:

- Utility data other than physical evidence visible on the ground is shown as per records obtained from private and public sources as indicated and should be assumed to be approximate.
- Compare all points before building by same and at once report any difference. For building and easement lines and other restrictions not shown hereon, refer to your abstract, deed contract or zoning ordinance.
- Do to snow on the ground, some of the structure can not be seen and not shown on the plot of survey.
- The property is served by sewer and water.

Ordered By: Lewis Contreras
Field work done: 02/25/14
Drawn By: RK



909 W. Campbell Street
Prepared by the Village of Arlington Heights
Department of Planning & Community Development
August 7, 2014

