



Agenda
Village of Arlington Heights
Design Commission
Community Room, 3rd Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
August 11, 2015
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Minutes 7/14/15

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. DC#15-080 - 131 S. Fernandez Ave. - SF/Teardown
B. DC#15-085 - 1212 N. Chestnut Ave. - SF/Addition
C. DC#15-086 - 1010 N. Chicago Ave. - SF/Teardown
D. DC#15-088 - 1732 N. Chestnut Ave. - SF/Teardown
E. DC#15-097 - 13 E. Miner St. / Multi-Family

VII. OTHER BUSINESS

- A. Budget 2016

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Minutes - 7/14/15

Department: Planning & Community Development

ATTACHMENTS:

Description

DC Minutes 7/14/15

Type

Minutes

DRAFT

**MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
JULY 14, 2015**

Chair Eckhardt called the meeting to order at 6:30 p.m.

Members Present: Ted Eckhardt, Chair
Jonathan Kubow
Anthony Fasolo

Members Absent: Alan Bombick
John Fitzgerald

Also Present: Brian Hyde, Greenscape Homes for *913 S. Cleveland Ave.*
Steve Hautzinger, Staff Liaison

REVIEW OF MEETING MINUTES FROM JUNE 23, 2015

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER FASOLO, TO APPROVE THE MEETING MINUTES OF JUNE 23, 2015. ALL WERE IN FAVOR. THE MOTION CARRIED.

ITEM 1. SINGLE-FAMILY TEARDOWN REVIEW**DC#15-072 – 913 S. Cleveland Ave.**

Mr. Brian Hyde, representing *Greenscape Homes*, was present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing one-story home and detached garage to allow construction of a new two-story home with an attached two car garage. The project does comply with the R-3 zoning requirements. The existing neighborhood consists of a mix of single story, split level, and two story homes with both attached and detached garages. The proposed home will be the first teardown on the block, but there are numerous newer teardowns on this street, one block to the north. The proposed design does appear large next to the adjacent single story homes, but the hipped main roof helps to diminish the overall mass of the house, and the single story roof line above the garage and the front entry helps the design to relate to the existing adjacent homes.

Overall, the proposed design is traditionally detailed, which will fit in well with the existing neighborhood, but to improve the appearance from the street, Staff recommends that the stone wainscot on the front of the house be continued down the side of the garage, and that a double hung window be added to the side of the garage.

Mr. Hyde was not opposed to the suggestions made by staff, and had no additional comments.

Commissioner Fasolo agreed with Staff's suggestion to continue the stone wainscot down the side of the garage elevation. He also suggested continuing the horizontal band between the first and second floor around the entire home, to help break up the bigger facades. He had no further comments.

Commissioner Kubow agreed with Staff's suggestions, and Commissioner Fasolo's recommendation to continue the horizontal band around the entire home. He pointed out that the commissioners have been seeing numerous teardowns just north of this area, and he was concerned that the homes vary enough in design. **Mr. Hautzinger** replied that teardowns in this area definitely vary in design. **Commissioner Kubow** liked the colors and use of materials for the new home, and felt the front elevation was great looking, especially the transom window.

Chair Eckhardt agreed with the comments made by the other commissioners. He noted there was no one present in the audience other than the petitioner.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER FASOLO, TO APPROVE THE DESIGN OF THE PROPOSED NEW SINGLE-FAMILY HOME TO BE LOCATED AT 913 S. CLEVELAND AVENUE. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE ARCHITECTURAL PLANS DATED 6/15/15 AND RECEIVED 6/16/15, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE

CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND RESOLUTION OF THE FOLLOWING:

- 1. A REQUIREMENT TO CONTINUE THE STONE WAINSCOT DOWN THE SIDE OF THE GARAGE;**
- 2. A REQUIREMENT TO ADD A DOUBLE HUNG WINDOW TO THE SIDE WALL OF THE GARAGE.**
- 3. A RECOMMENDATION TO CONTINUE THE HORIZONTAL BANDING AROUND THE ENTIRE HOME IF POSSIBLE.**
- 4. THIS REVIEW REPRESENTS DESIGN APPROVAL ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, SIGN CODE OR BUILDING OR ANY OTHER REVIEWS.**
- 5. IT IS THE PETITIONER'S RESPONSIBILITY TO SUBMIT THE APPROPRIATE PERMIT APPLICATION(S) TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH ANY WORK. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.**

**KUBOW, AYE; FASOLO, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. THE MOTION CARRIED.**

ITEM 2. GENERAL MEETING

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER FASOLO, TO ADJOURN THE MEETING AT 6:40 P.M. ALL WERE IN FAVOR. THE MOTION CARRIED.



Item: DC#15-080 - 131 S. Fernandez Ave. - SF/Teardown

Department: Planning & Community Development

BACKGROUND

Approval of the proposed architectural design for a new (teardown) single-family residence.

RECOMMENDATION

It is recommended that the Design Commission evaluate the proposed new single-family residence to be located at 131 S. Fernandez Avenue. This recommendation is subject to compliance with the architectural plans received 7/16/15, and the following conditions:

1. A recommendation to eliminate the two story wall on the south elevation.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
3. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report

Drawings & Documents

Type

Board or Commission Report

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 131 S. Fernandez Ave.
Project Address: 131 S. Fernandez Ave.
Prepared By: Steve Hautzinger

Date Prepared: July 28, 2015

PETITION INFORMATION:

DC Number: 15-080
Petitioner Name: Bob Dickey
Petitioner Address: 730 Ruskin Drive
Elk Grove, IL 60007

Meeting Date: August 11, 2015

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to demolish an existing single story residence with an attached two car garage to allow construction of a new two story residence with an attached three car (tandem) garage. The subject site is zoned R-2, One Family Dwelling District. The property has a total land area of 18,717 square feet and the proposed residence will have 6,370 square feet. The project does comply with the R-2 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 30 feet Side: 10 feet Side: 10 feet Rear: 30 feet	Front: 30 feet Side: 10 feet Side: 10 feet Rear: 80 feet
Building Height	25 feet to the midpoint	24.3 feet to the midpoint
FAR	7,924 SF	6,370 SF
Building Lot Coverage	6,551 SF	4,702 SF
Impervious Surface Coverage Total	9,359 SF	5,712 SF

The existing neighborhood consists of a mix of single story and two story homes with attached, front loading garages. However, this block is all single family homes with the exception of one low-profile one and a half story home on the lot directly to the north, and the proposed house will be the first full two story house on the block. The proposed house is large, but it does fit comfortably on the large lot. Overall, the house is nicely designed with a variety of materials and nice details. The single story front porch helps the design of the house to relate to the single story neighborhood, but it is recommended that the layout of the second floor be adjusted to eliminate the two story wall on the south elevation. The single story roof on the north elevation works very well to ease the transition up to the second floor. Ideally, the south elevation would be revised to be similar to the north elevation.

RECOMMENDATION:

It is recommended that the Design Commission **evaluate** the proposed new single-family residence to be located at 131 S. Fernandez Avenue. This recommendation is subject to compliance with the architectural plans received 7/16/15, and the following conditions:

1. A recommendation to eliminate the two story wall on the south elevation.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
3. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

July 28, 2015

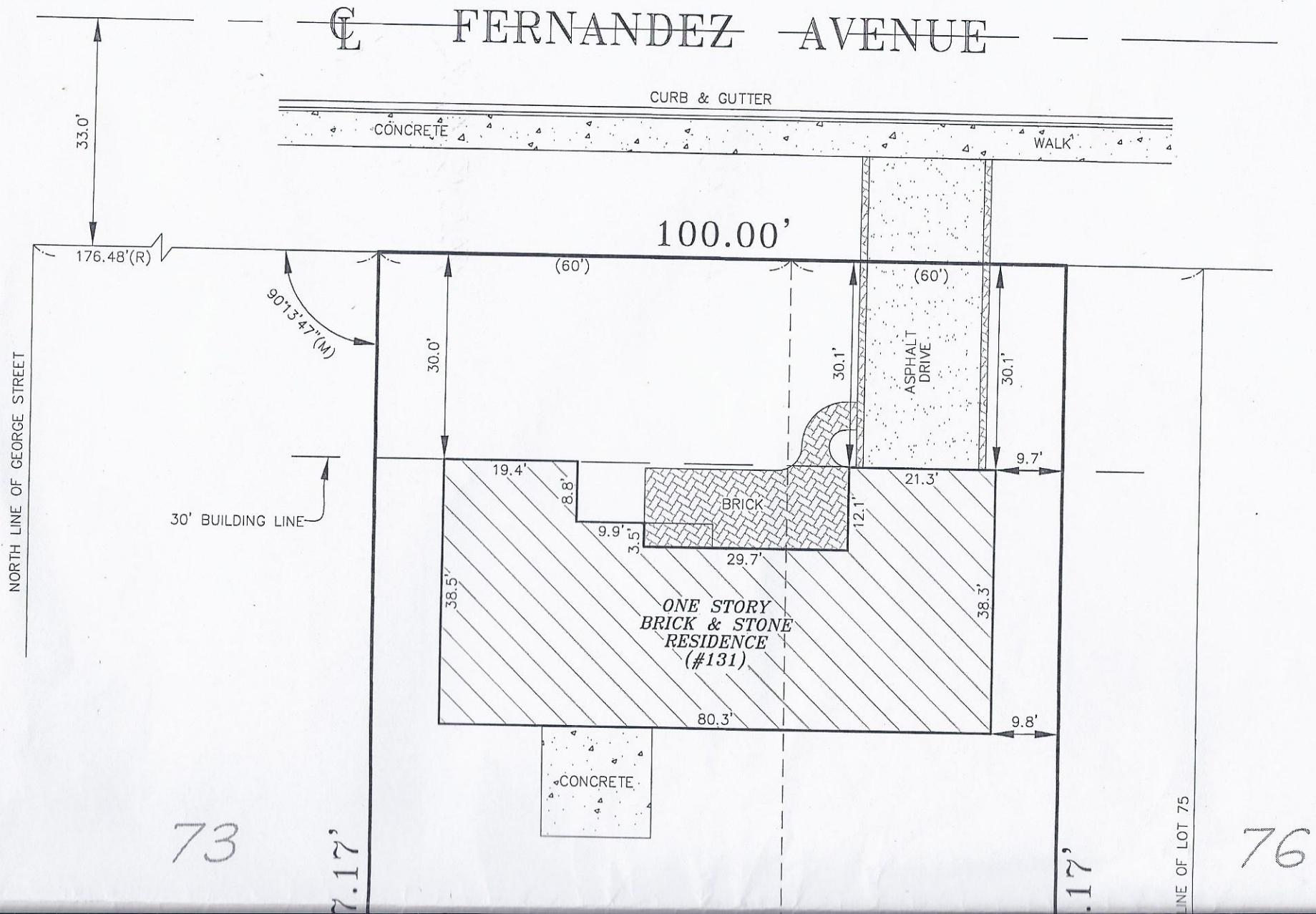
Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

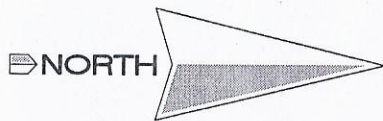
Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 15-080

PLAT OF SURVEY

OF

LOT 74 AND THE SOUTH 40 FEET OF LOT 75 IN ARLINGTON MANOR, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 30, AND ALL OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 31, ALL IN TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.





SCALE: 20'

AREA = 18,717 SQ. FT.
MORE OR LESS

LEGEND

(R/M) - RECORD / MEASURED

L - ARC LENGTH

R - RADIUS

CH - CHORD

PREPARED FOR: MARK J. WATYCHOWICZ (ATTORNEY AT LAW)
JOB ADDRESS: 131 S. FERNANDEZ AVENUE, ARLINGTON HEIGHTS, IL
SELLER/BUYER: NOVAK TRUST / DICKEY
JOB NO.: 14-12-0089

NEKOLA SURVEY, INC.

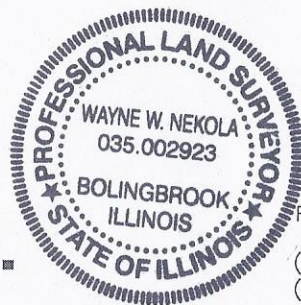
PROFESSIONAL LAND SURVEYING SERVICES

WWW.NEKOLASURVEY.COM

400 N. SCHMIDT RD., STE. 203

BOLINGBROOK, ILLINOIS 60440

(630) 226-1530 PHONE (630) 226-1430 FAX

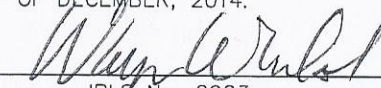


FIELD WORK COMPLETED ON THE 18TH DAY OF DECEMBER, 2014.

(STATE OF ILLINOIS)
(COUNTY OF WILL) SS

NEKOLA SURVEY INC. DOES HEREBY CERTIFY THAT IT HAS
SURVEYED THE TRACT OF LAND ABOVE DESCRIBED, AND THAT
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS
MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 19TH DAY OF DECEMBER, 2014.


IPLS No. 2923
LICENSE RENEWAL DATE: 30 NOVEMBER 2016.

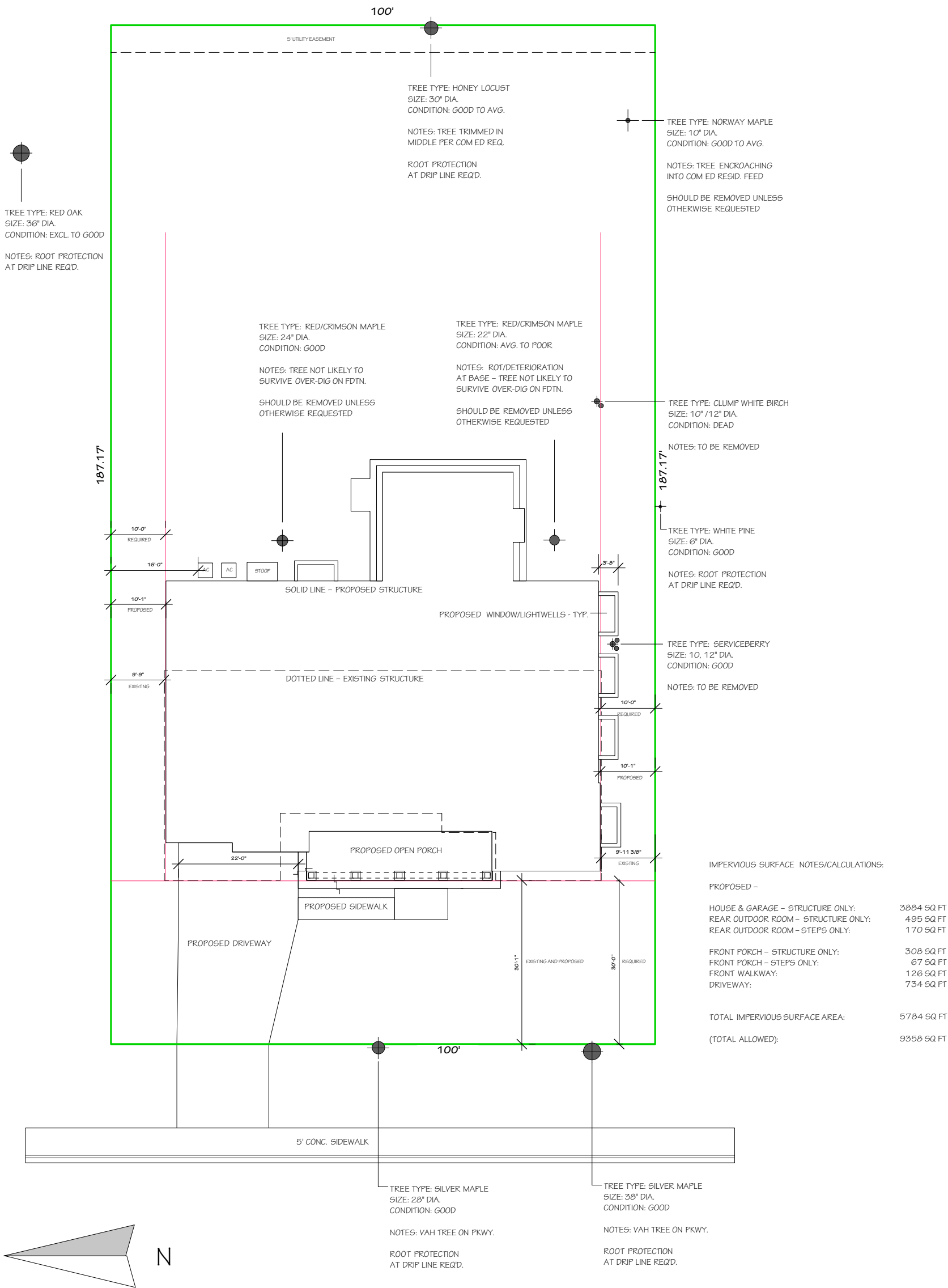
☒ - "X" IN BOX INDICATES THE HEREON DRAWN PLAT WAS ORDERED AS A NON MONUMENTED SURVEY.

NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT **ALONE**. FIELD MONUMENTATION OF CRITICAL
POINTS SHOULD BE ESTABLISHED PRIOR TO COMMENCEMENT OF ANY AND ALL CONSTRUCTION. FOR BUILDING
LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, ABSTRACT, TITLE
POLICY, CONTRACTS AND LOCAL BUILDING AND ZONING ORDINANCES.

DICKEY RESIDENCE

131 FERNANDEZ AVENUE
ARLINGTON HEIGHTS, IL 60005

PROPOSED SITE PLAN



SCALE: 1" = 20'-0"

DATE: JULY 2015

A large, single-story house with a mix of brick and siding, a large chimney, and a well-manicured lawn with a curved walkway.

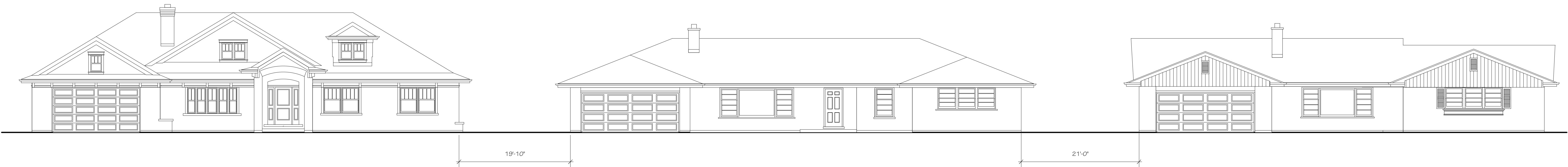
A large, two-story house with a brick and stone exterior, a large tree in the front yard, and a driveway.

A photograph of a single-story ranch-style house with a large tree in the front yard. The house has a light-colored exterior, a brown roof, and a large white garage door. A large, mature tree stands in the center of the front yard, casting a shadow over the lawn. The house is surrounded by green grass and some shrubbery.

FERNANDEZ AVENUE

GEORGE STREET





EXISTING CONTEXT ELEVATION

SCALE: 1/8" = 1' - 0"



PROPOSED CONTEXT ELEVATION

SCALE: 1/8" = 1' - 0"



DICKEY RESIDENCE

131 N. FERNANDEZ AVENUE
ARLINGTON HEIGHTS, IL 60005

EAST & NORTH ELEVATIONS



EAST ELEVATION SCALE: 1/4" = 1'-0"



NORTH ELEVATION SCALE: 1/4" = 1'-0"

ITEM	MATERIAL	MANUFACTURER	COLOR
Roof	Dimensional Asphalt Shingles	Certainteed	Gatehouse Slate
Roof - Metal	Metal	PAC-CLAD	Charcoal
Trim/ Fascia	Vinyl – smooth	Azek	White
Gutters	Aluminum		White
Windows	Aluminum Clad	Jeld-Wen	White
Siding	Cement Fiber	James Hardie	Boothbay Blue
Garage Door	Aluminum Clad	Clopay	White
Stone	Limestone	Pro Line	Niagara Ledgestone



Item: DC#15-085 - 1212 N. Chestnut Ave. - SF/Addition

Department: Planning & Community Development

BACKGROUND

Approval of the proposed architectural design for an addition to an existing single-family residence.

RECOMMENDATION

It is recommended that the Design Commission approve the proposed addition to the existing single-family residence located at 1212 N. Chestnut Avenue. This recommendation is subject to compliance with the architectural plans dated 6-18-15 and received 6/25/15, and the following conditions:

1. Adjust the first floor master bedroom windows on the left side of the front elevation to be centered on the wall.
2. Replace the small gable vent dormer detail with a single window dormer with detailing to match the main double window dormer on the front elevation.
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report
Drawings & Documents

Type

Board or Commission Report
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 1212 N. Chestnut Ave.
Project Address: 1212 N. Chestnut Ave.
Prepared By: Steve Hautzinger

Date Prepared: July 29, 2015

PETITION INFORMATION:

DC Number: 15-085
Petitioner Name: Katherine Halley
Petitioner Address: 410 W. Maude
Arlington Heights, IL 60004

Meeting Date: August 11, 2015

Requested Action(s): Approval of the proposed architectural design for an addition to an existing single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to add a second floor addition to an existing single story home. The existing detached garage will remain. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 7,920 square feet and the proposed residence will have approximately 2,398 square feet. The project does comply with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 25.95 feet Side: 6 feet Side: 6 feet Rear: 30 feet	Front: 27 feet Side: 6.8 feet Side: 14 feet Rear: 75 feet
Building Height	25 feet to the midpoint	15.5 feet to the midpoint
FAR	3,564 SF	2,398 SF
Building Lot Coverage	2,772 SF	1,675 SF
Impervious Surface Coverage Total	3,960 SF	2,652 SF

The existing neighborhood consists of a mix of single story, split level, and two story homes, but the subject property is located on a block of primarily single story homes. It should be noted that there are two newer two story homes on the block. The proposed second floor addition is designed with a steep slope roof and dormers which works very well to keep the scale of the proposed addition within the scale of the existing adjacent homes.

To enhance the design, it is recommended that the new master bedroom windows on the left side of the first floor front wall be centered on the wall, and that the small gable vent dormer detail on the roof above be replaced with a single window dormer with detailing to match the main double window dormer on the front elevation.

RECOMMENDATION:

It is recommended that the Design Commission **approve** the proposed addition to the existing single-family residence located at 1212 N. Chestnut Avenue. This recommendation is subject to compliance with the architectural plans dated 6-18-15 and received 6/25/15, and the following conditions:

1. Adjust the first floor master bedroom windows on the left side of the front elevation to be centered on the wall.
2. Replace the small gable vent dormer detail with a single window dormer with detailing to match the main double window dormer on the front elevation.
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any

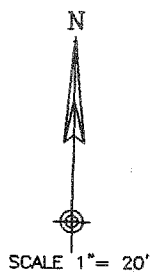
other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

_____, July 29, 2015

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 15-085



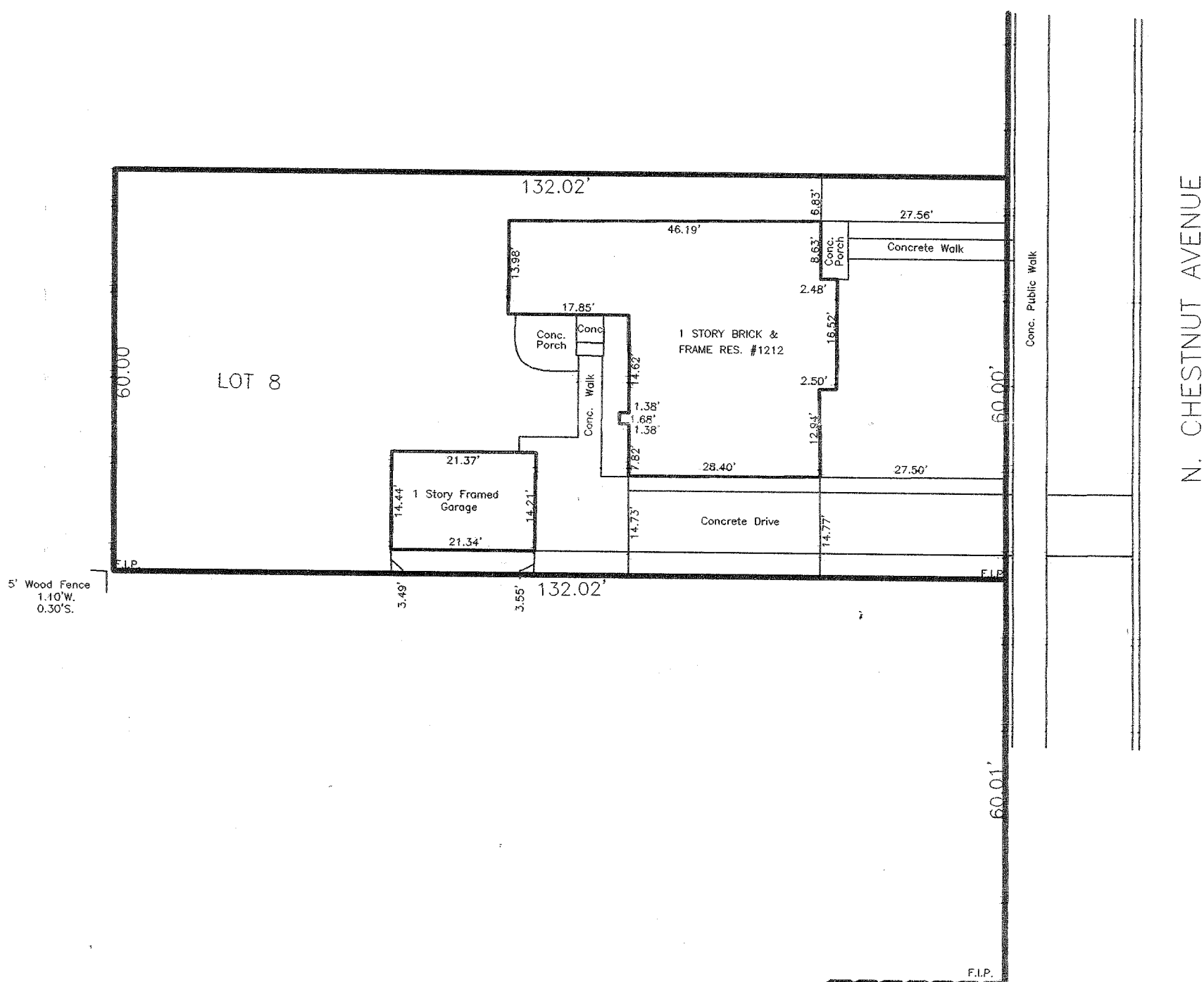
PLAT OF SURVEY

MORRISON SURVEYING CO., INC.

2710 N IL Rt 47, Morris, Illinois 60450

LOT 8 IN BLOCK 10 IN NORTHWEST HIGHLANDS, A SUBDIVISION OF THE EAST 1/2 OF THE SOUTHEAST 1/4 (EXCEPT THE 2 ACRES IN THE EXTREME SOUTHEAST CORNER) OF SECTION 19,, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ARLINGTON HEIGHTS IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS 1212 N. CHESTNUT AVENUE , ARLINGTON HEIGHTS, ILLINOIS



1. COMPARE ALL SURVEY POINTS WITH ONE ANOTHER BEFORE BUILDING BY SAME, AND REPORT ANY DISCREPANCIES IMMEDIATELY.
2. CHECK LEGAL DESCRIPTION WITH DEED AND REPORT ANY DISCREPANCIES IMMEDIATELY.
3. BUILDING LINES, IF ANY, SHOWN HEREON ARE AS SHOWN ON THE RECORDED SUBDIVISION.
4. NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SCALING.
5. PROPERTY CORNERS NOT SET AT REQUEST OF CLIENT.
6. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

SPIES & ASSOCIATES, INC.
Civil Engineers - Land Surveyors
534 WEST CAMPUS DRIVE
ARLINGTON HEIGHTS, ILLINOIS 60004
PH 847.577.8808 FAX 847.577.0229



State of Illinois } S.S.
County of Grundy }

We, MORRISON SURVEYING CO INC., (PDF License #184-003915) do hereby certify that we have surveyed the property described in the caption to the plat hereon drawn and that this professional service conforms to the current Illinois minimum standards for a boundary survey. All dimensions are in feet and decimal parts of a foot and are correct at a temperature of 68 degrees farenheight. Dimensions shown on buildings are to the outside of buildings. Given under my hand and seal at Morris, Illinois.

Date: 04/03/15

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3735 License Expires 11/30/16

FILE No.: 4919

Single Family Residence: Second Floor Addition
1212 N Chestnut Ave., Arlington Heights IL 60001

W. CLARENDON STREET



PROPERTY TO LEFT 2
1202



PROPERTY TO LEFT 1
1206



SUBJECT PROPERTY
1212



PROPERTY TO RIGHT 1
1214



PROPERTY TO RIGHT 2
1218



PROPERTY TO RIGHT 3
1224

N. CHESTNUT AVENUE

PROPERTY ACROSS 1
1207

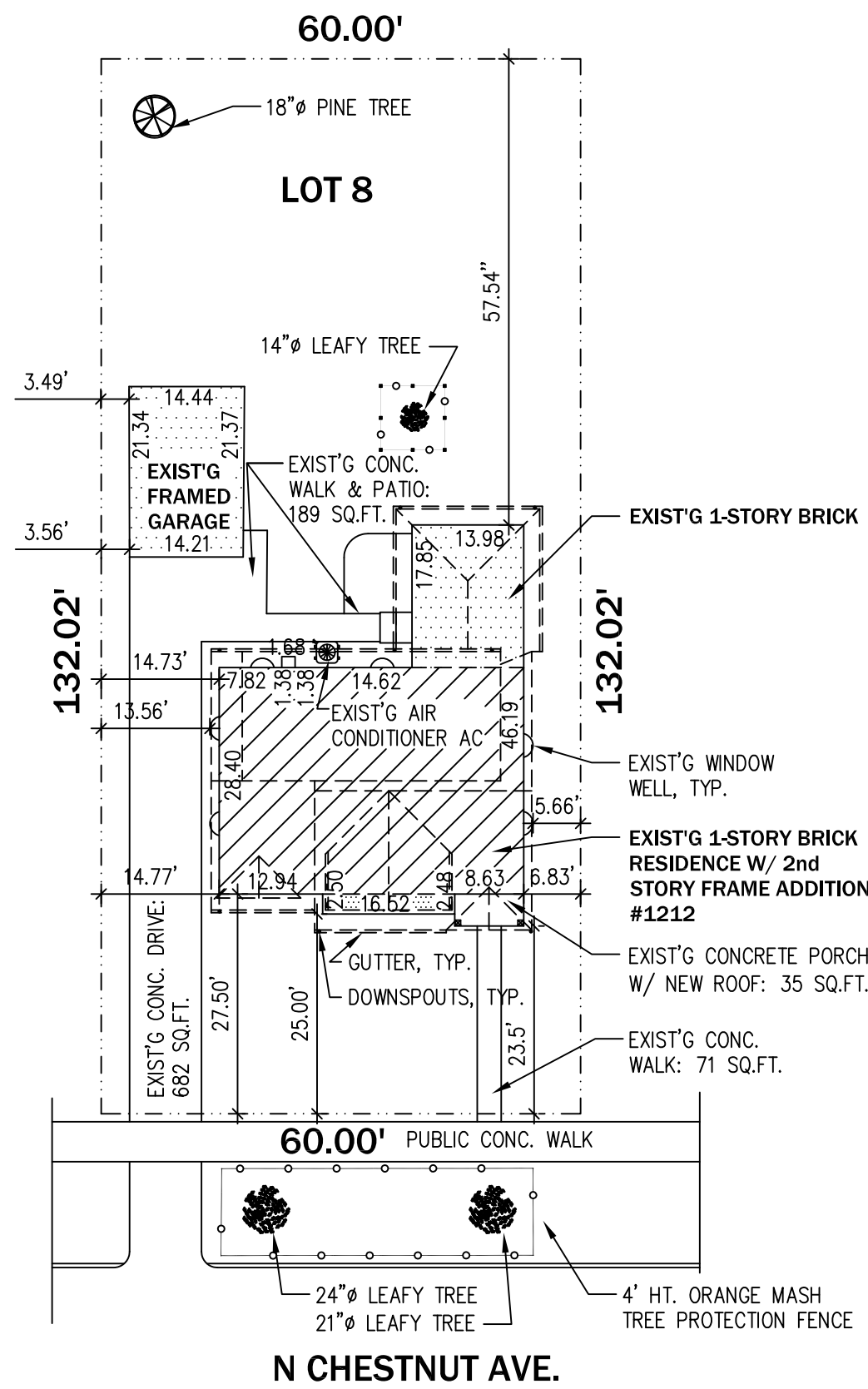


PROPERTY ACROSS 2
1211



PROPERTY ACROSS 3
1215





SITE PLAN
SCALE: 1"=20'-0"

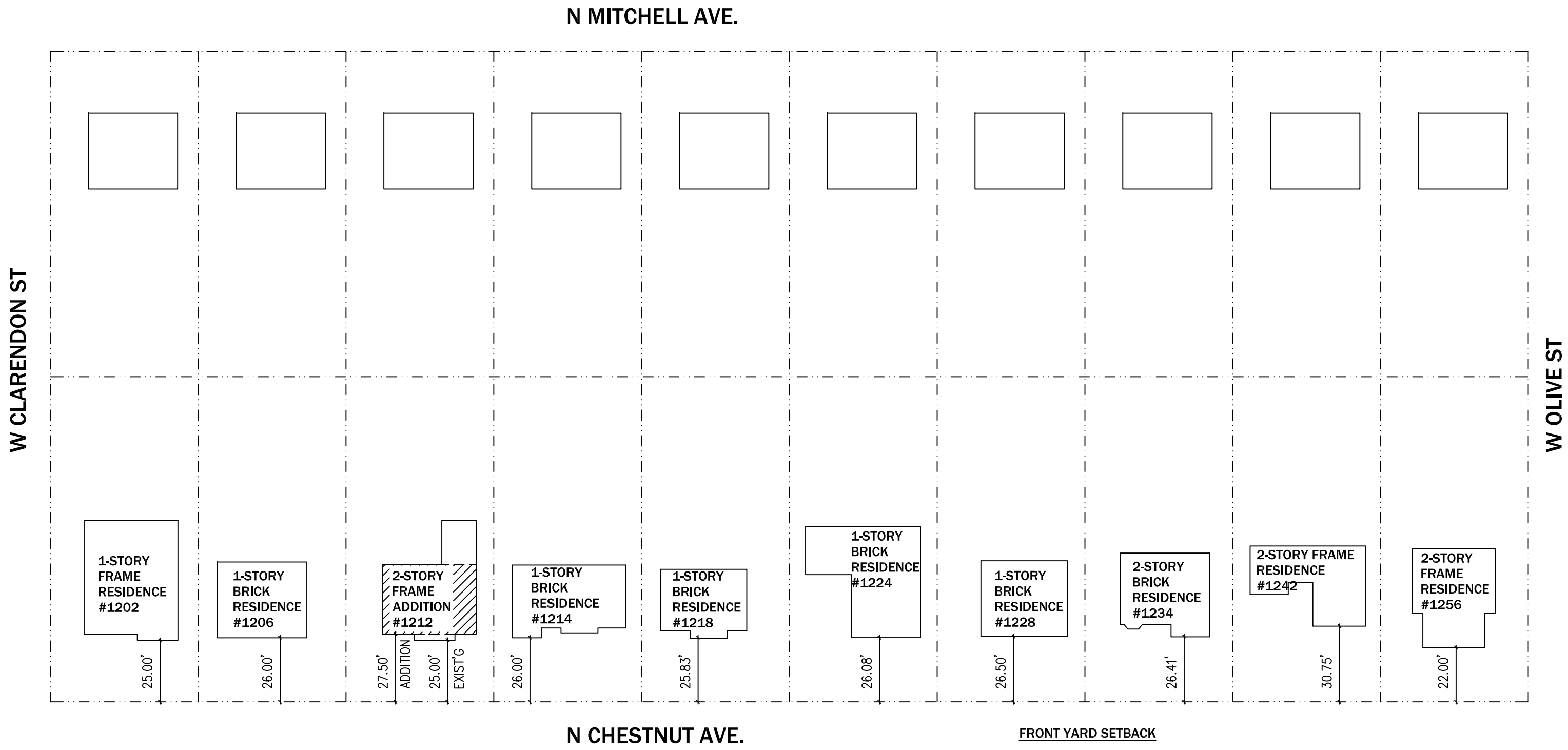


EXISTING CONTEXT ELEVATION
SCALE: 3/8"=1'-0"



PROPOSED CONTEXT ELEVATION
SCALE: 3/8"=1'-0"

FRONT YARD CALCULATION

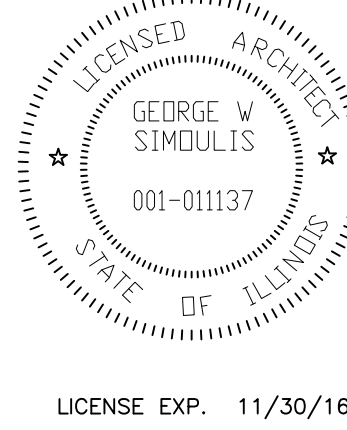


FRONT YARD SETBACK	
#1202 N CHESTNUT AVE:	25.00'
#1206 N CHESTNUT AVE:	26.00'
#1212 N CHESTNUT AVE:	25.00'
#1214 N CHESTNUT AVE:	26.00'
#1218 N CHESTNUT AVE:	25.83'
#1224 N CHESTNUT AVE:	26.08'
#1228 N CHESTNUT AVE:	26.50'
#1234 N CHESTNUT AVE:	26.41'
#1242 N CHESTNUT AVE:	30.75'
#1256 N CHESTNUT AVE:	22.00'
TOTAL	259.57' /10=25.95'

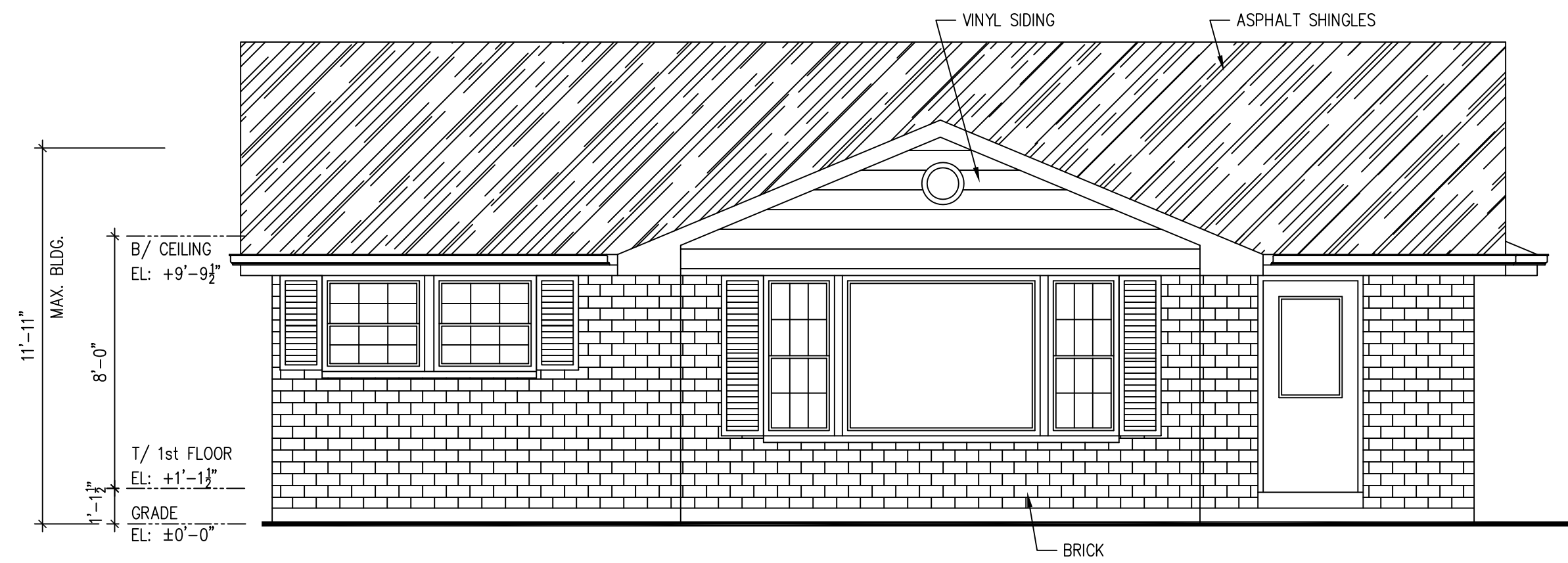
CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, COMPLY WITH ALL BUILDING AND LIFE SAFETY CODE REQUIREMENT FOR VILLAGE OF ARLINGTON HEIGHTS, IL REGISTERED ARCHITECT:

GEORGE W. SIMOULIS



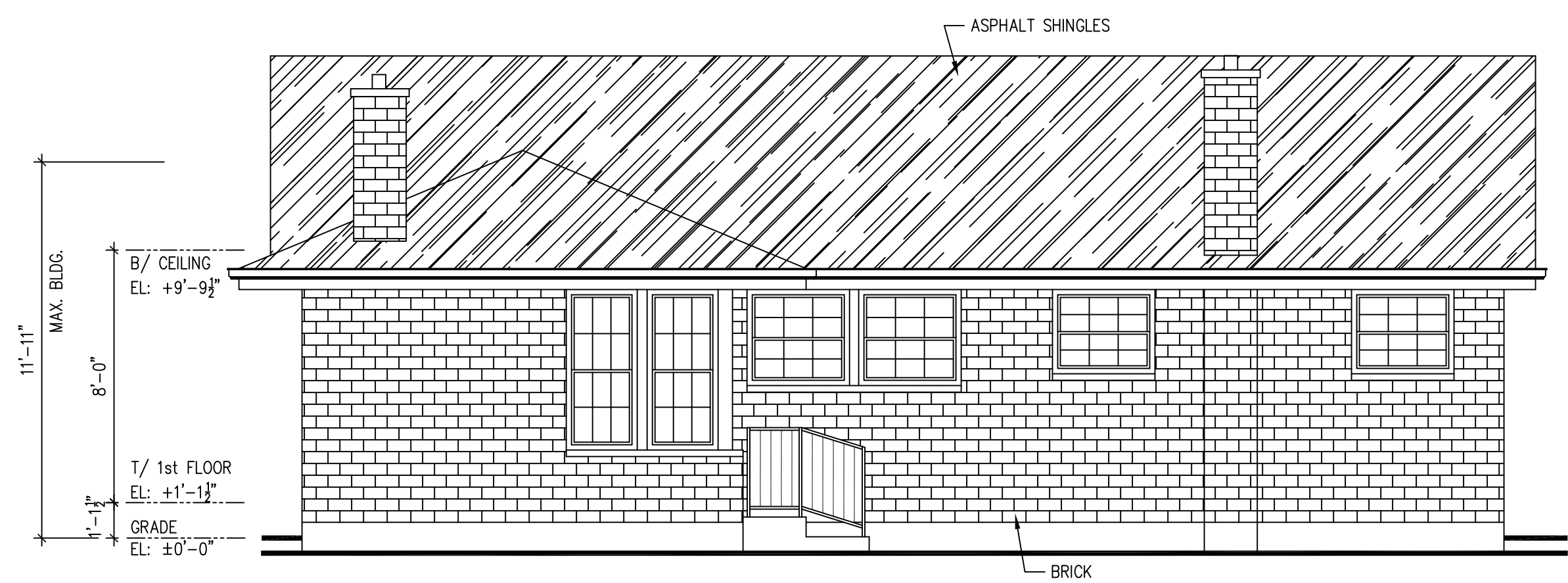
FOR PERMIT
DATE: 06-18-2015



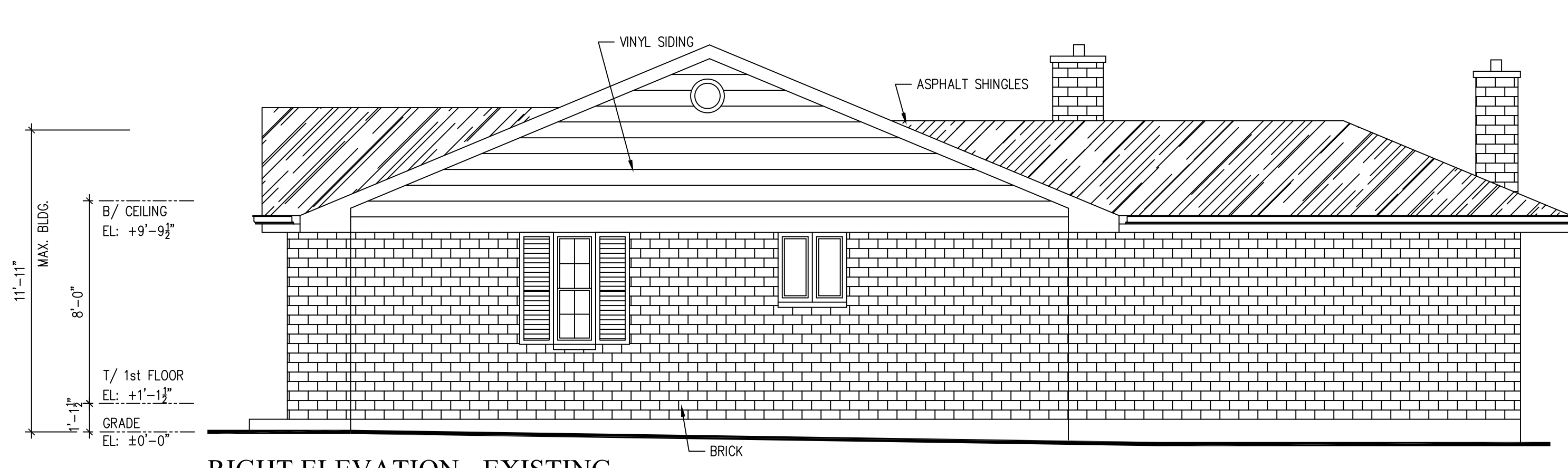
FRONT ELEVATION - EXISTING
SCALE: $\frac{1}{4}$ "=1'-0"



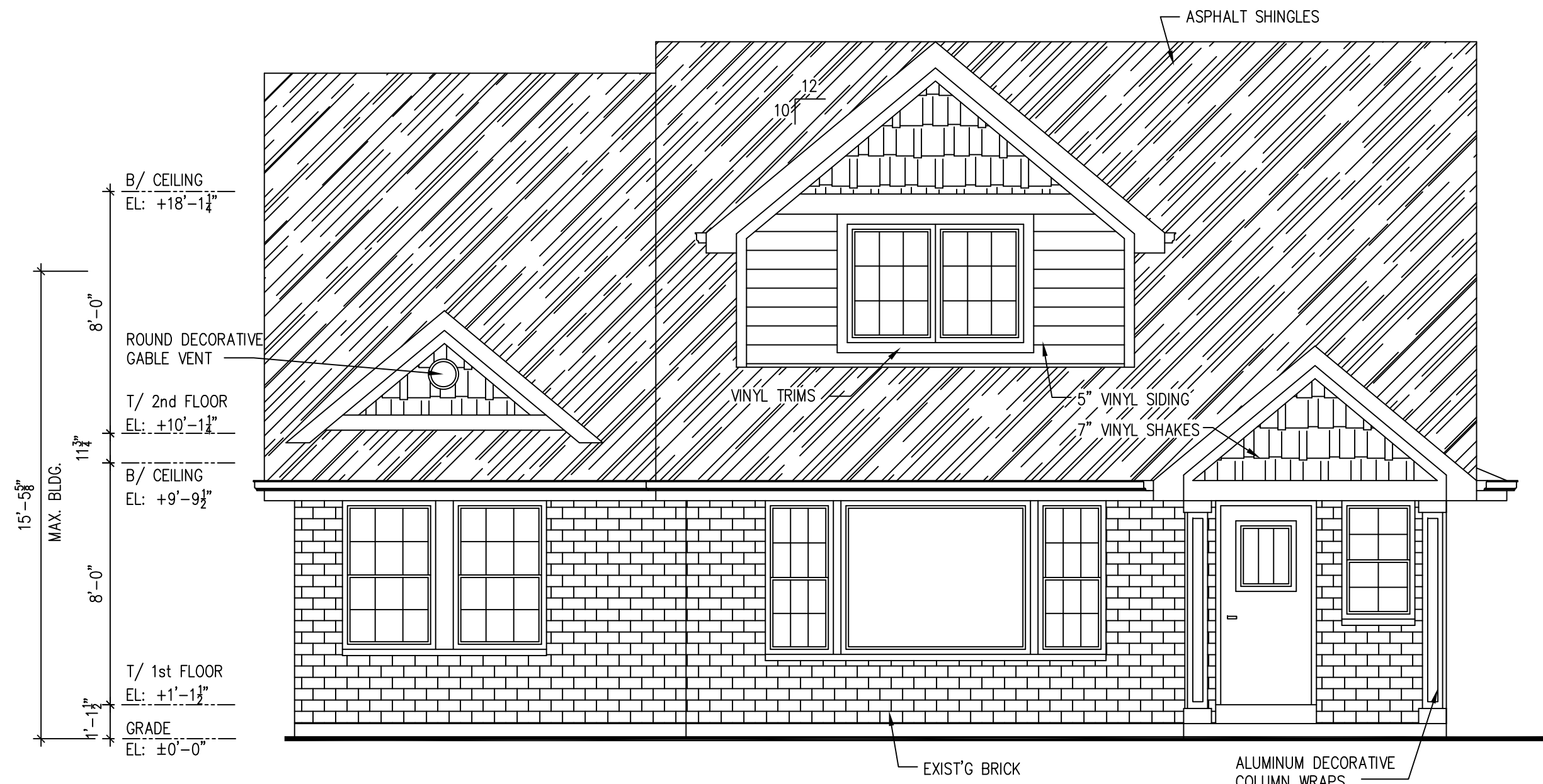
LEFT ELEVATION - EXISTING
SCALE: $\frac{1}{4}$ "=1'-0"



BACK ELEVATION - EXISTING
SCALE: $\frac{1}{4}$ "=1'-0"

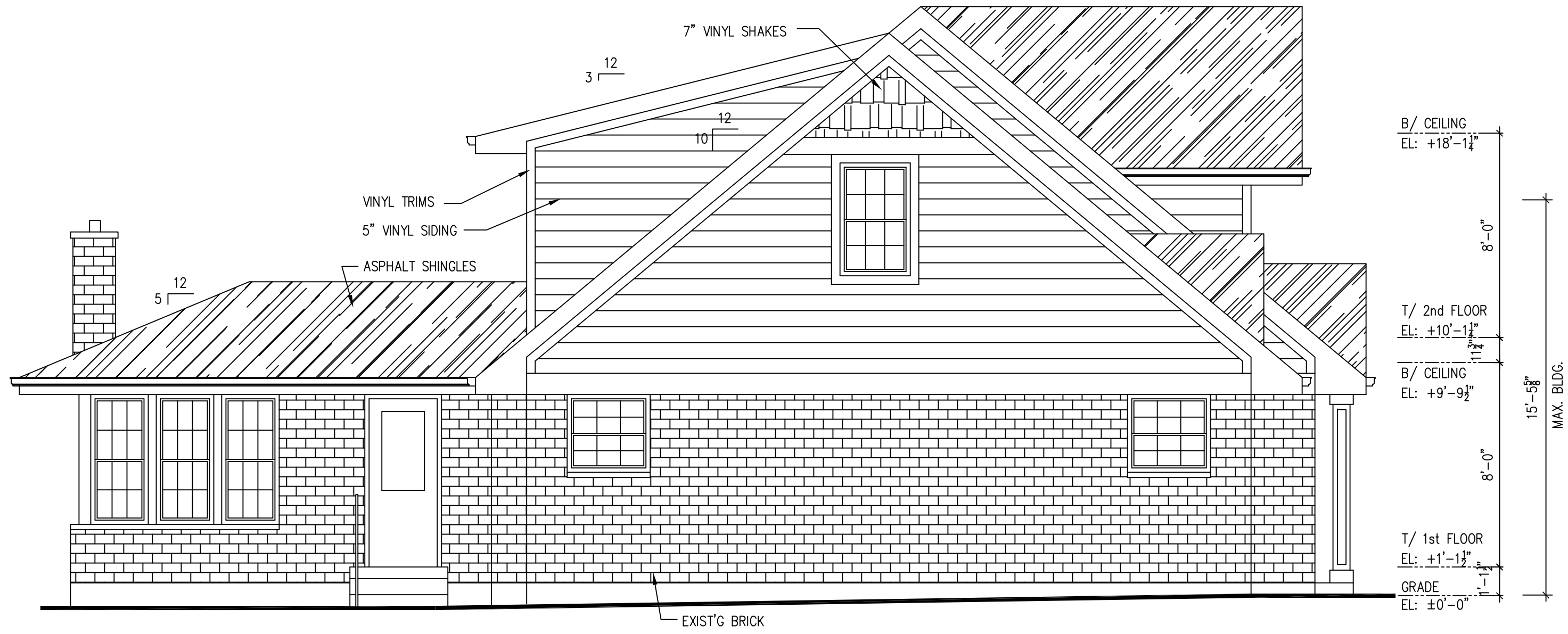


RIGHT ELEVATION - EXISTING
SCALE: $\frac{1}{4}$ "=1'-0"



FRONT ELEVATION - PROPOSED

SCALE: 3/4"=1'-0"



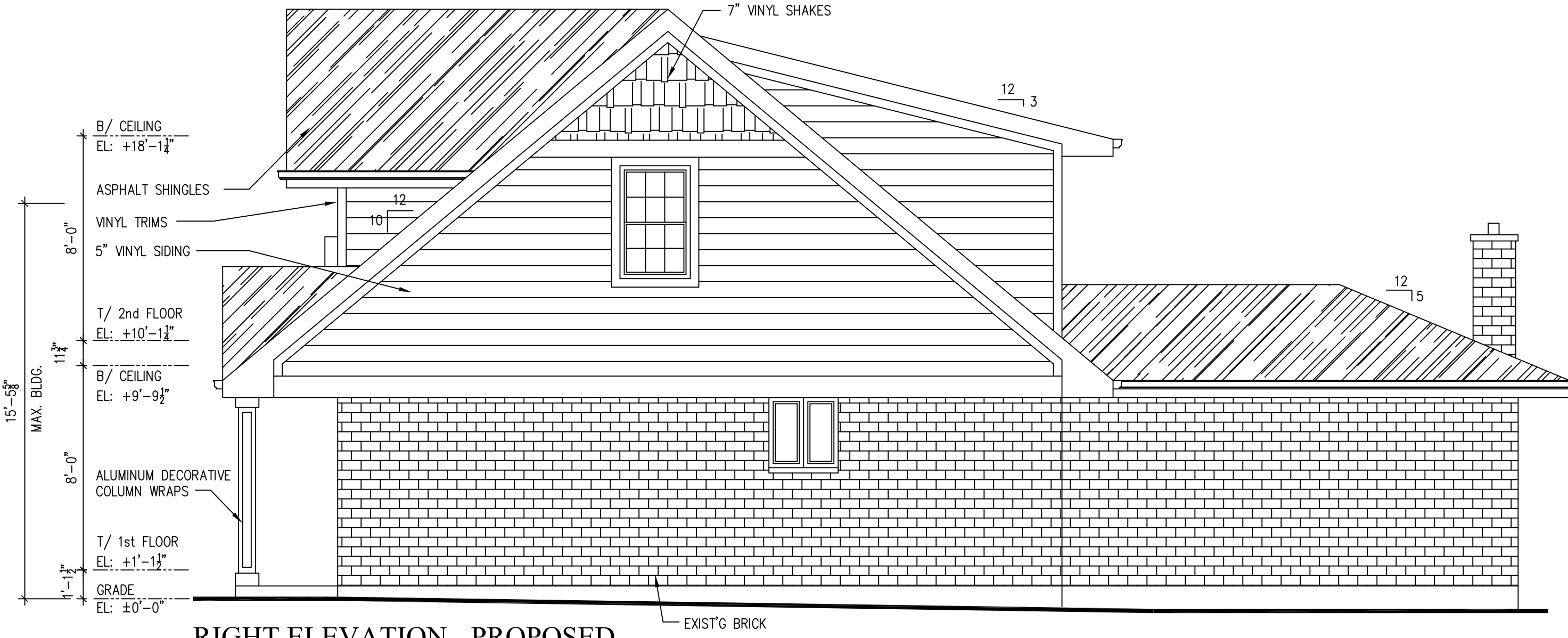
LEFT ELEVATION - PROPOSED

SCALE: 3/4"=1'-0"



BACK ELEVATION - PROPOSED

SCALE: 3/4"=1'-0"



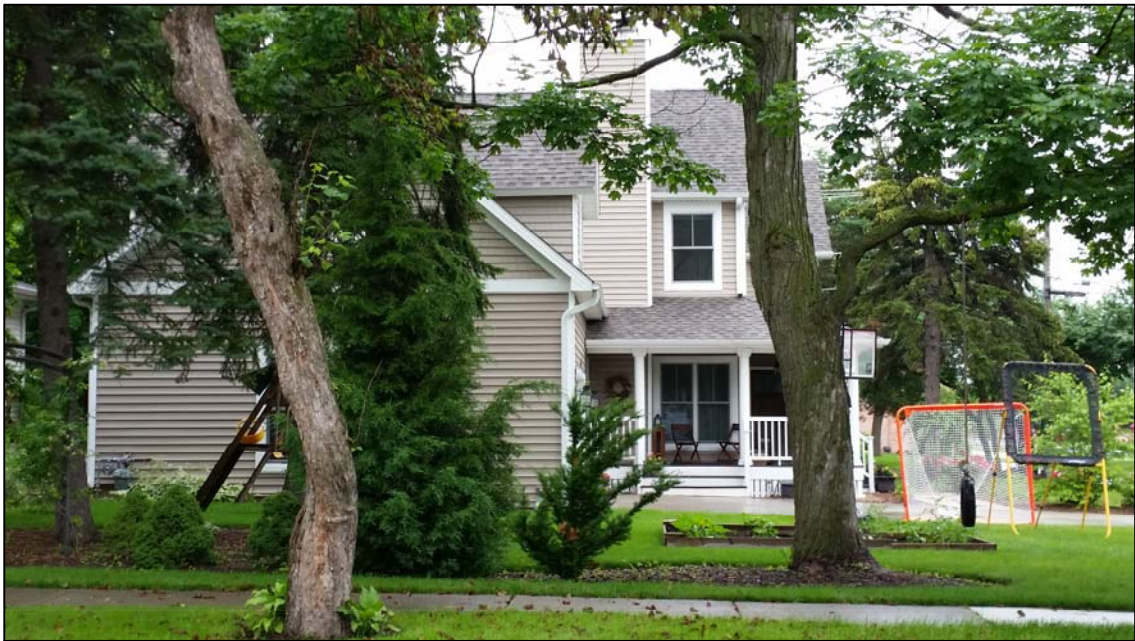
RIGHT ELEVATION - PROPOSED

SCALE: 3/4"=1'-0"

2-STORY RESIDENCE



SUBJECT PROPERTY
1234 N CHESTNUT AVE.



SUBJECT PROPERTY
1201 N CHESTNUT AVE.

Single Family Residence: Second Floor Addition

1212 N Chestnut Ave, Arlington Heights IL 60004

Material Selections

ITEM	MATERIAL	MANUFACTURER	COLOR
Brick	Existing	NA	NA
Roof	30 year Asphalt Shingles	Owens Corning	Estate Gray
Siding	5" Vinyl w/ accent 7" Vinyl shakes	Mastic	Linen
Gutters/Trim/Fascia	Aluminum	ACM	White
Windows	Vinyl to match existing windows	Simonton	White
Garage Door	Existing	NA	White

Owens Corning Estate- Gray Shingles



Mastic Vinyl Siding and Vinyl Shakes- Linen



Trim/Gutters/Fascia/Windows- White





Item: DC#15-086 - 1010 N. Chicago Ave. - SF/Teardown

Department: Planning & Community Development

BACKGROUND

Approval of the proposed architectural design for a new (teardown) single-family residence.

RECOMMENDATION

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 1010 N. Chicago Avenue. This recommendation is subject to compliance with the architectural plans received 7/2/15, and the following conditions:

1. The location of the center porch column be adjusted so that it is between the window and front door, instead of blocking the window.
2. At least one window be added on the side of the garage, and two others in the bedrooms on the right (north) elevation.
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report

Drawings & Documents

Type

Board or Commission Report

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 1010 N. Chicago Ave.
Project Address: 1010 N. Chicago Ave.
Prepared By: Steve Hautzinger

Date Prepared: July 29, 2015

PETITION INFORMATION:

DC Number: 15-086
Petitioner Name: Jill Sopala
Petitioner Address: David Weekly Homes LLC
1930 Thoreau Drive, Suite 160
Schaumburg, IL 60173
Meeting Date: August 11, 2015

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to demolish an existing single story residence with an attached one car garage to allow construction of a new two story residence with an attached, two car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 6,400 square feet and the proposed residence will have 2,879 square feet. The project does comply with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 25 feet Side: 5 feet Side: 5 feet Rear: 30 feet	Front: 25.9 feet Side: 5.4 feet Side: 5.6 feet Rear: 53 feet
Building Height	25 feet to the midpoint	25 feet to the midpoint
FAR	2,880 SF	2,879 SF
Building Lot Coverage	2,239 SF	1,813 SF
Impervious Surface Coverage Total	3,519 SF	2,385 SF

The existing neighborhood consists of a mix of smaller scale, single-story and two story homes with a mix of front loading and detached garages. The proposed new home will be the first teardown on the block.

Overall, the house is nicely designed with traditional detailing that fits the character of the neighborhood. The proposed home is tall as compared to the existing adjacent homes, but the hipped main roof helps to reduce the height of the side walls and to reduce the overall mass of the proposed new house. The single story front porch and garage roof helps the proposed design to relate to the adjacent single story homes, and the porch projects out well beyond the face of the garage which diminishes the appearance of the two car garage.

It is recommended that location of the center porch column be adjusted so that it is between the window and front door, instead of blocking the window. Also, it is recommended that additional double hung windows be added to the right (north) elevation to break up the large wall. At least one window should be added on the side of the garage, and two others in the bedrooms.

RECOMMENDATION:

It is recommended that the Design Commission **approve** the proposed new single-family residence to be located at 1010 N. Chicago Avenue. This recommendation is subject to compliance with the architectural plans received 7/2/15, and the following conditions:

1. The location of the center porch column be adjusted so that it is between the window and front door, instead of blocking the window.
2. At least one window be added on the side of the garage, and two others in the bedrooms on the right (north) elevation.

3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

_____, July 29, 2015

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 15-086

PLAT OF SURVEY

PROPERTY DESCRIPTION:

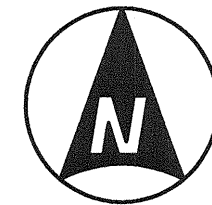
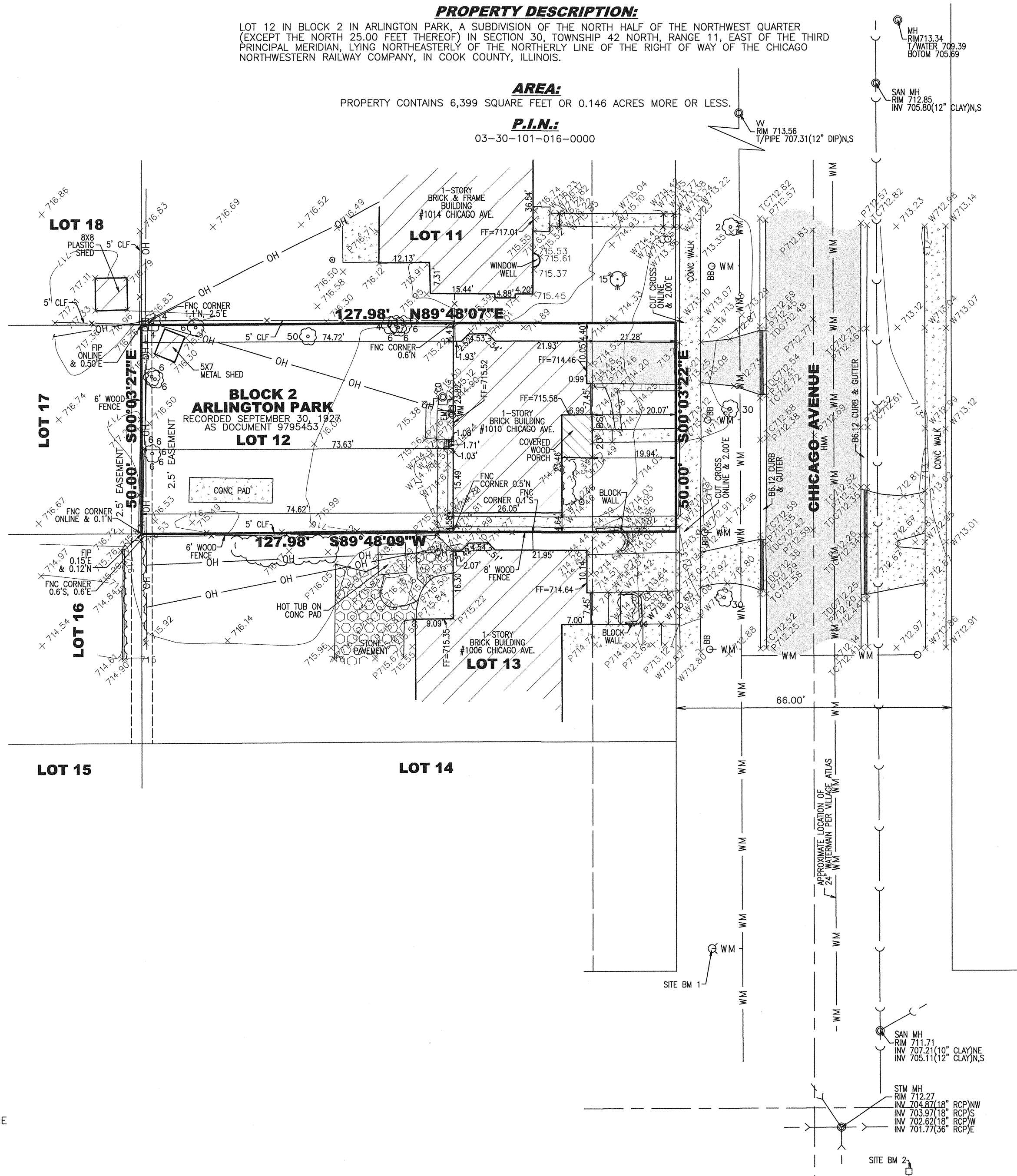
LOT 12 IN BLOCK 2 IN ARLINGTON PARK, A SUBDIVISION OF THE NORTH HALF OF THE NORTHWEST QUARTER (EXCEPT THE NORTH 25.00 FEET THEREOF) IN SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTHEASTERLY OF THE NORTHERLY LINE OF THE RIGHT OF WAY OF THE CHICAGO NORTHWESTERN RAILWAY COMPANY, IN COOK COUNTY, ILLINOIS.

AREA:

PROPERTY CONTAINS 6,399 SQUARE FEET OR 0.146 ACRES MORE OR LESS.

P.I.N.:

03-30-101-016-0000



20 10 0 20
SCALE: 1" = 20'

LEGEND:

- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- OVERHEAD WIRE
- FENCE
- BUSH LINE
- MANHOLE (STMH/SAMH)
- CATCH BASIN (CB)
- INLET (INL)
- VALVE VAULT (VV)
- VALVE BOX (VB)
- BUFFALO BOX (B-BOX)
- FIRE HYDRANT (FH)
- AUXILIARY VALVE (AV)
- CLEANOUT (CO)
- GAS VALVE (GV)
- LIGHT (LHT)
- POWER POLE (PP)
- GUY WIRE (GW)
- CABLE PEDESTAL (PEDC)
- ELECTRIC PEDESTAL (PEDE)
- TELEPHONE PEDESTAL (PEDT)
- SIGN
- DECIDUOUS TREE (SIZE IN INCHES)
- CONIFEROUS TREE (SIZE IN INCHES)
- BUSH
- CONTOUR LINE
- SPOT ELEVATION
- PAVEMENT ELEVATION
- TOP OF CURB ELEVATION
- TOP OF DEPRESSED CURB ELEVATION
- WALK ELEVATION
- CHAIN LINK FENCE
- AIR CONDITIONER UNIT
- DUCTILE IRON PIPE
- ELECTRIC METER
- FINISHED FLOOR
- GARAGE FLOOR
- GAS METER
- INVERT
- POLYVINYL CHLORIDE PIPE
- RECORD
- REINFORCED CONCRETE PIPE
- CONCRETE (CONC)
- GRAVEL
- HOT MIX ASPHALT (HMA)
- BUILDING
- BARRIER CURB
- B 6.12 CURB & GUTTER
- DEPRESSED CURB
- BUILDING SETBACK LINE
- PUBLIC UTILITY EASEMENT
- FENCE



STATE OF ILLINOIS)
COUNTY OF COOK)

WE, MACKIE CONSULTANTS LLC, AN ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-002694, HEREBY CERTIFY THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT REPRESENTS THE CONDITIONS FOUND AT THE TIME OF SAID SURVEY.

GIVEN UNDER MY HAND AND SEAL THIS 15TH DAY OF MAY, 2015 IN ROSEMONT, ILLINOIS.

MACKIE CONSULTANTS LLC

Russell W. Olsen
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-002718
LICENSE EXPIRES: NOVEMBER 30, 2018
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

BENCHMARKS:

SOURCE BENCHMARK:
(VILLAGE OF ARLINGTON HEIGHTS MONUMENT 47):
1" DIA. BRASS DISC IN THE NORTH SIDE OF A CONCRETE BASE FOR TRAFFIC SIGNAL MAST ARM +/-28 FEET NORTH OF THE CENTERLINE OF EUCLID STREET AND +/-39 FEET WEST OF THE CENTERLINE OF ARLINGTON HEIGHTS ROAD AT NORTHWEST CORNER OF INTERSECTION ELEVATION = 704.05 (NAVD 88 DATUM).

(VILLAGE OF ARLINGTON HEIGHTS MONUMENT 48):
1" DIA. BRASS DISC IN THE NORTH SIDE OF A CONCRETE BASE FOR TRAFFIC SIGNAL MAST ARM +/-41 FEET WEST OF THE CENTERLINE OF DRYDEN AVENUE AND +/-24 FEET NORTH OF THE CENTERLINE OF EUCLID AVENUE AT NORTHWEST CORNER OF INTERSECTION ELEVATION = 678.82 (NAVD 88 DATUM).

SITE BENCHMARK #1:
CUT CROSS ON TOP OF NORTHWEST BONNET BOLT OF FIRE HYDRANT AT THE NORTHWEST CORNER OF CHICAGO AVENUE & BROWN STREET.
ELEVATION = 713.68

SITE BENCHMARK #2:
PK NAIL SET IN POWER POLE WITH LIGHT AT THE SOUTHEAST CORNER OF CHICAGO AVENUE & BROWN STREET.
ELEVATION = 713.67

GENERAL NOTES:

- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
- ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISIONS ARE SHOWN HERE ON. REFER TO THE DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS.
- COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT AND DISCREPANCIES TO THE SURVEYOR AT ONCE.
- NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENTS.
- CERTIFIED COPIES OF THIS SURVEY BEAR AN IMPRESSED SEAL.

SURVEYOR'S NOTES:

- THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
- BUILDING DIMENSIONS AND TIES SHOWN HEREON ARE MEASURED FROM THE OUTSIDE FACE OF CONCRETE FOUNDATION.
- TOPOGRAPHY WAS BASED ON FIELD WORK COMPLETED ON 04-24-15.
- BEARINGS BASED ON ILLINOIS EAST STATE PLANE COORDINATE SYSTEM.



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847)696-1400
www.mackieconsult.com

CLIENT:

David Weekley Homes

1930 THOREAU DRIVE
SUITE 160
SCHAUMBURG, IL 60173

DESIGNED

DRAWN SMC

APPROVED RWO

DATE 05/01/15

SCALE 1"=20'

PLAT OF SURVEY
1010 CHICAGO AVENUE
ARLINGTON HEIGHTS, ILLINOIS

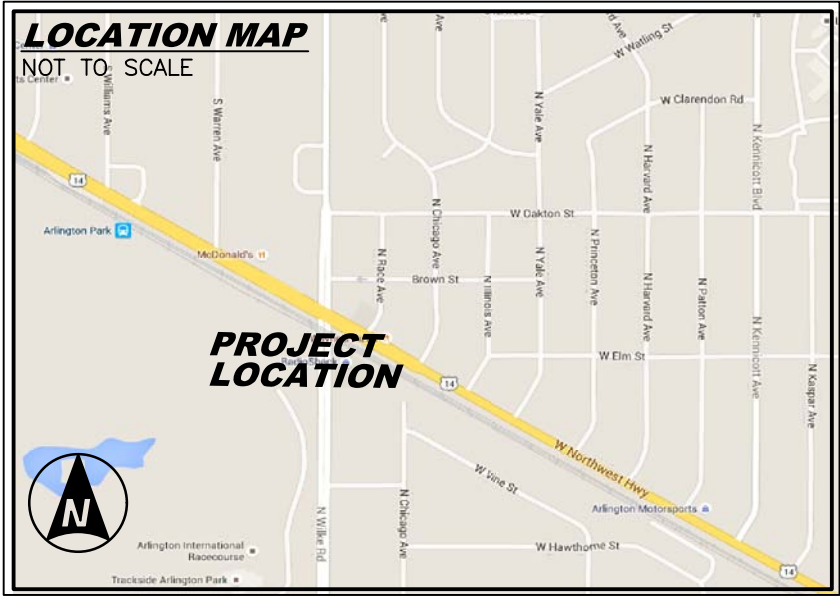
SHEET

1 OF **1**

PROJECT NUMBER: 2679

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ILLINOIS FIRM LICENSE 184-002694



BENCHMARKS:

SOURCE BENCHMARK:
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SITE BENCHMARK #1:
CUT CROSS ON TOP OF NORTHWEST BONNET BOLT OF FIRE HYDRANT AT THE NORTHWEST CONER OF CHICAGO AVENUE & BROWN STREET. ELEVATION 713.68

SITE BENCHMARK #2:
PK NAIL SET IN POWER POLE WITH LIGHT AT THE SOUTHEAST CORNER OF CHICAGO AVENUE & BROWN STREET. ELEVATION = 713.67

IMPERVIOUS TABLE:

LOT AREA =	6,399 SF		
PROPOSED CONDITIONS:		EXISTING CONDITIONS:	
HOME STRUCTURE =	1,688 SF	HOME STRUCTURE =	1,187 SF
GARAGE STRUCTURE =	0 SF	GARAGE STRUCTURE =	0 SF
PORCH/PATIO =	124 SF	PORCH/PATIO =	130 SF
DRIVEWAY =	533 SF	DRIVEWAY =	222 SF
SIDEWALK =	45 SF	SIDEWALK/CONC. WALK =	418 SF
TOTAL =	2390 SF	TOTAL =	1,957 SF
	37.3%		30.6%
INCREASE IN IMPERVIOUS AREA = 433 SF			

UTILITY NOTES:

- A 1 1/2" TYPE "K" COPPER WATER SERVICE IS REQUIRED ALL THE WAY TO THE PROPOSED B-BOX. THE OLD SERVICE INCLUDING THE EXISTING B-BOX SHALL BE DISCONNECTED AT THE MAIN.
- SANITARY SERVICE TO BE 6" PVC SDR 26 AT 1.0% MINIMUM SLOPE. REUSE EXISTING SERVICE IF POSSIBLE.
- A SANITARY SEWER CLEANOUT WITH WATERTIGHT SCREW-DOWN CAP SHALL BE PROVIDED AT LEAST 10- FEET OUTSIDE THE FACE OF BUILDING FOUNDATION.
- UNLESS IT CAN BE DEMONSTRATED THAT THE EXISTING SERVICE LINE IS OF SUFFICIENT CAPACITY, INTEGRITY, AND CONSTRUCTION TO MEET THE REASONABLE STANDARDS OF THE CITY, IT SHALL BE REMOVED AND DISCONNECTED AT THE MAIN/SEWER AND A NEW SERVICE SHALL BE INSTALLED.
- ALL SANITARY SEWER AND WATER MAIN WORK AND MATERIALS SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATION FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", CURRENT EDITION.
- ALL DOWNSPOUTS AND SUMP PUMP DISCHARGES SHALL SPLASH AT GRADE OR POP-UP.
- NO OPEN CUTTING OF ROADWAYS FOR UTILITY CONNECTIONS SHALL OCCUR WITHOUT AUTHORIZATION BY THE VILLAGE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

SITE DEVELOPMENT PLAN

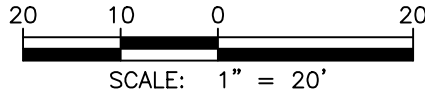
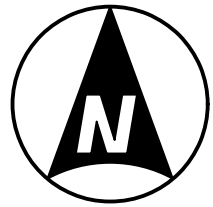
PROPERTY DESCRIPTION:

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DUMPSTER (6'X10' TYP) AND PORTABLE TOILET TO BE LOCATED ONSITE DURING CONSTRUCTION ACTIVITIES

NO CONSTRUCTION ACTIVITIES, EQUIPMENT STORAGE OR CONSTRUCTION MATERIAL STORAGE SHALL OCCUR OUTSIDE OF THE CONSTRUCTION AREA OR WITHIN AREAS OF TREES TO REMAIN

OPEN STREET CUT REPAIR FOR SERVICES SHALL BE IN KIND WITH COMPACTED TRENCH BACKFILL (TYP)

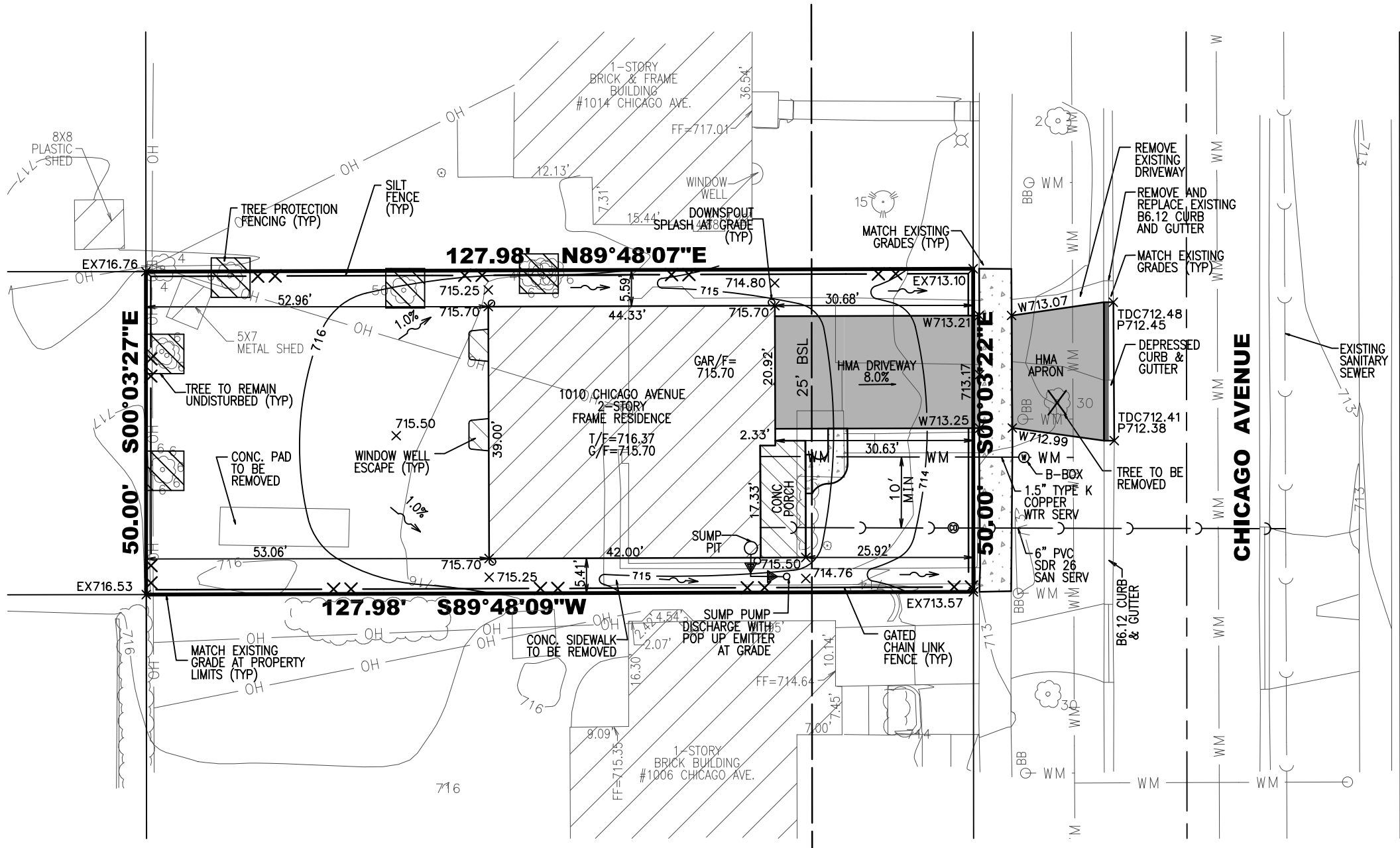


P.I.N.:
03-30-101-016-0000

AREA:
PROPERTY CONTAINS 6,399 SQUARE FEET OR 0.146 ACRES MORE OR LESS

LEGEND

BSL	BUILDING SETBACK LINE
P.U. & D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT
N.A.S.	NO-ACCESS STRIP
L.R.	LANDSCAPE RESTRICTION
B/W	BOTTOM OF WALL
CB	CATCH BASIN
FES	FLARED END SECTION
FH	FIRE HYDRANT
G/F	GRADE AT FOUNDATION
GAR/F	GARAGE FLOOR
INL	INLET
MH	MANHOLE
TDC	TOP OF DEPRESSED CURB
TC	TOP OF CURB
T/F	TOP OF FOUNDATION
THC	TOP OF HANDICAP
T/S	TOP OF STAIR
T/W	TOP OF WALL
V	VALVE VAULT
	OVERLAND FLOOD ROUTE
	STORMWATER FLOW DIRECTION
	STORM SEWER LINE
	SANITARY SEWER LINE
	WATER LINE
	B-BOX
	CLEAN OUT
	SILT FENCE
	BUILDING BOX OFFSET



SURVEYOR'S NOTES:

- THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
- BUILDING DIMENSIONS AND TIES SHOWN HEREON ARE MEASURED FROM THE OUTSIDE FACE OF CONCRETE FOUNDATION.
- SURVEY IS BASED ON FIELD WORK COMPLETED 04-24-15.
- BEARINGS BASED ON ILLINOIS EAST STATE PLANE COORDINATE SYSTEM.

DRAINAGE CERTIFICATION

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SAID IMPROVEMENTS OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREA, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS.

ENGINEER'S SIGNATURE

ENGINEER'S SEAL

GENERAL NOTES:

- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
- ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISIONS ARE SHOWN HERE ON. REFER TO THE DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS.
- COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT AND DISCREPANCIES TO THE SURVEYOR AT ONCE.
- NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENTS.
- CERTIFIED COPIES OF THIS SURVEY BEAR AN IMPRESSED SEAL.
- EXISTING WATER AND SANITARY SERVICES SHALL BE FIELD LOCATED AND PROPERLY REMOVED.
- INSTALL CHAIN LINK CONSTRUCTION FENCE, TREE PROTECTION FENCE AND EROSION CONTROL MEASURES PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- ALL TREE AND BRUSH REMOVAL TO BE DONE BY HAND WITH ALL STUMPS TO BE GROUND OUT, NOT BULDOZED.
- ALL DISTURBED AREAS TO BE RESTORED WITH MIN 6" TOPSOIL AND SOD OR PLANTED WITH APPROVED GROUND COVER WITHIN 30 DAYS OF SUBSTANTIAL COMPLETION OF STRUCTURE EXTERIOR.

EROSION CONTROL NOTES:

- SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON THE SITE.
- VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO A GRAVEL DRIVE. SAID GRAVEL DRIVE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS ABOVE THE TOP OF FOUNDATION.
- ANY SOIL, MUD OR DEBRIS THAT IS WASHED, TRACKED, OR DEPOSITED ONTO THE STREET SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
- THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS NOT AT FINAL GRADE THAT WILL REMAIN UNDISTURBED FOR MORE THAN 15 DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION.
- IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.
- STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.
- WATER PUMPED OR OTHERWISE DISCHARGED FOR THE SITE DURING CONSTRUCTION DEWATERING SHALL BE FILTERED.



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847)696-1400
www.mackieconsult.com

CLIENT:



1920 THOREAU DRIVE
SUITE 116
SCHAUMBURG, IL 60137

07/02/15	SITE DEVELOPMENT PLAN	MSR			
DATE	DESCRIPTION OF REVISION	BY			

DESIGNED	MSR
DRAWN	MSR
APPROVED	KJM
DATE	06/30/15
SCALE	1"=20'

SITE DEVELOPMENT PLAN
1010 CHICAGO AVENUE
ARLINGTON HEIGHTS, ILLINOIS

SHEET
1 OF **2**

PROJECT NUMBER:	2679
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ILLINOIS FIRM LICENSE 184-002694	

	Brown Street						W. Oakton St	
PROPERTY TO LEFT 3		PROPERTY TO LEFT 2	PROPERTY TO LEFT 1	SUBJECT PROPERTY	PROPERTY TO RIGHT 1	PROPERTY TO RIGHT 2		PROPERTY TO RIGHT 3
1608 Brown Street Setback 21.5		1610 Brown Street Setback 21.5	1006 N. Chicago Ave Setback 21.8	1010 N. Chicago Ave Setback 21.8	1014 N. Chicago Ave Setback 35.7	1020 N. Chicago Ave Setback 22.0		1608 W Oakton Street Setback 21.8

		
PROPERTY ACROSS 1	PROPERTY ACROSS 2	PROPERTY ACROSS 3
1007 N. Chicago Ave	1011 N. Chicago Ave	1015 N. Chicago Ave



EXISTING CONTEXT ELEVATION

SCALE: 3/32" = 1'-0"

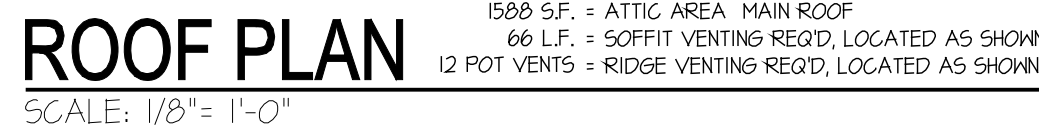
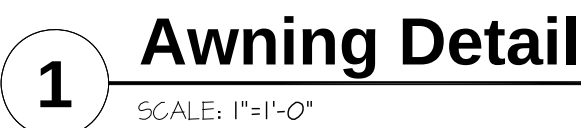


PROPOSED CONTEXT ELEVATION

SCALE: 3/32" = 1'-0"

David Weekley Homes

1010 N. Chicago Avenue
Arlington Heights, IL



NOTES:

1. ADJUST RAFTERS, AS REQUIRED TO MAINTAIN SPECIFIED SKYLIGHT LOCATIONS. SEE FLOOR PLANS FOR LOCATIONS.
2. INSTALL AIR Baffles BETWEEN TRUSSES IN THE ATTIC ABOVE ALL SOFFIT VENTS AND AT TRANSITIONS FROM LOWER LEVEL ATTIC SPACES TO UPPER LEVEL ATTIC SPACES.
3. CARPENTER MUST CUT VENTILATION OPENINGS IN UNDERLYING ROOF SHEATHING WHERE SECONDARY ROOF STRUCTURES OVERLAP LOWER ROOF PLANES, TO PROMOTE AIRFLOW AND AVOID "CAPTIVE AIR," MIN. OPENING 22"x30".
4. PROVIDE ICE & WATER SHIELD EXTENDING FROM EDGE OF EAVE TO A POINT 36" FROM THE INSIDE FACE OF THE EXTERIOR WALL AND UP MIN. 36" AT VALLEYS
5. VALLEY FLASHING TO COMPLY WITH IRC R405.2.8
6. PROVIDE MINIMUM NET FREE CROSS VENTILATION AREA FOR ATTIC ABOVE HABITABLE SPACES OF 1 TO 300 SF. PER LOCAL BUILDING CODES. VENTING SHOULD BE BALANCED AT 50XMIN. 60% MAX. AT/NEAR THE RIDGE LINES AND 40XMIN. 50% MAX. IN THE SOFFITS OR SUPPLEMENTED PER PLAN WITH GABLE ENDS. VENT. SEE ROOF PLAN FOR SPECIFIC QUANTITY OR RIDGE VENT, POT. VENTS, OR SOFFIT VENTS REQUIRED.
- A. SOFFIT AND RIDGE VENTING LISTED IS NOT THE TOTAL AVAILABLE IN ALL CASES.
- B. WHERE SOFFIT VENTING REQUIRED IS LESS THAN TOTAL AVAILABLE, EQUALLY SPACED SOFFIT.
- C. SOFFIT QUANTITY TAKES INTO ACCOUNT THE FULL CHASE FLARE AS HAVING BEEN SELECTED FOR WORST CASE SCENARIO.
7. SOFFIT VENT PRODUCT TO BE 4T-4FV @ 912 SQ. IN./LF. OR EQUAL.
8. RIDGE VENT PRODUCT TO BE @ 10 SQ. IN./LF. OR EQUAL - POT VENTS @ 50 SQ. IN./LF. OR EQUAL.

ADDITIONAL NOTES PER VILLAGE:



David Weekley Homes

NO.	DATE	BY	ISSUED FOR
1	1	1	1
2	2	2	2
3	3	3	3
4	4	4	4
5	5	5	5
6	6	6	6
7	7	7	7
8	8	8	8
9	9	9	9
10	10	10	10

DATE:	06/29/15
DRAWN:	AR
CHECKED:	TH.
PROJECT NO.	--

A1

David Weekley Homes Chicago ColorPlus
Exterior Schemes

EXTERIOR COLOR SCHEME	JAMES HARDIE SIDING	JAMES HARDIE ACCENT/VERTICAL SIDING (PER ELEVATION)	JAMES HARDIE SHAKE (PER ELEVATION)	FASCIA, EAVES, ALL WINDOW & DOOR SURROUNDS, CORNER BOARDS, TRIM AT LOUVERED VENTS, GARAGE DOOR TRIM AND JAMB	COLUMNS/POSTS (PER ELEVATION)	ARCHITECTURAL SHINGLES/METAL SEAM ROOF (PER ELEVATION)	BRICK/STONE (PER ELEVATION)	GUTTERS	GARAGE DOOR BASE COLOR	ENTRY DOOR/ LOUVER INSET
Exterior Color Scheme #9 1010 Chicago, Arlington Heights Revised 5/27/15	Color Plus Khaki Brown	Color Plus Khaki Brown	Color Plus Navajo Beige	Color Plus Arctic White	Color Plus Arctic White	Weathered Wood/ Metal Roof- Dark Bronze	Brick-Glen Gery Bordeaux Stone-Fondulac Heritage Blend	White	White	Entry SW 6994 Green Black



Item: DC#15-088 - 1732 N. Chestnut Ave. - SF/Teardown

Department: Planning & Community Development

BACKGROUND

Approval of the proposed architectural design for a new (teardown) single-family residence.

RECOMMENDATION

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 1732 N. Chestnut Avenue. This recommendation is subject to compliance with the architectural plans dated 6/29/15 and received 7/9/15, and the following conditions:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
2. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report

Drawings & Documents

Type

Board or Commission Report

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 1732 N. Chestnut Ave.
Project Address: 1732 N. Chestnut Ave.
Prepared By: Steve Hautzinger

Date Prepared: August 6, 2015

PETITION INFORMATION:

DC Number: 15-088
Petitioner Name: Jim Cochran
Petitioner Address: JRC Design Build
1275 E. Davis Street
Arlington Heights, IL 60005
Meeting Date: August 11, 2015

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to demolish an existing single story residence with an attached one car garage to allow construction of a new two story residence with an attached two car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 8,825 square feet and the proposed residence will have 3,924 square feet. The project does comply with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 32.8 feet Side: 7.2 feet Side: 7.2 feet Rear: 30 feet	Front: 32.8 feet Side: 8.7 feet Side: 9 feet Rear: 41 feet
Building Height	25 feet to the midpoint	24.2 feet to the midpoint
FAR	3,968 SF	3,924 SF
Building Lot Coverage	3,088 SF	2,348 SF
Impervious Surface Coverage Total	4,412 SF	3,598 SF

This neighborhood consists primarily of single-story, ranch style homes. However, there are a few other teardowns completed on this block and multiple teardowns completed throughout the neighborhood. The proposed house is very nicely designed with nice proportions, varying roof lines, varying materials, and a full level of detail on all sides of the home. The single story roofs above the garage and front entry help the scale of the proposed home to blend in with the adjacent single story homes. The proposed two car garage is nicely recessed from the front wall of the house which helps to keep the focus on the overall design instead of on the garage. This project is appearing before the Design Commission due to past concerns in this neighborhood regarding teardown/new construction, and to evaluate the proposed architectural design with the context of the neighborhood.

RECOMMENDATION:

It is recommended that the Design Commission **approve** the proposed new single-family residence to be located at 1732 N. Chestnut Avenue. This recommendation is subject to compliance with the architectural plans dated 6/29/15 and received 7/9/15, and the following conditions:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design

Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

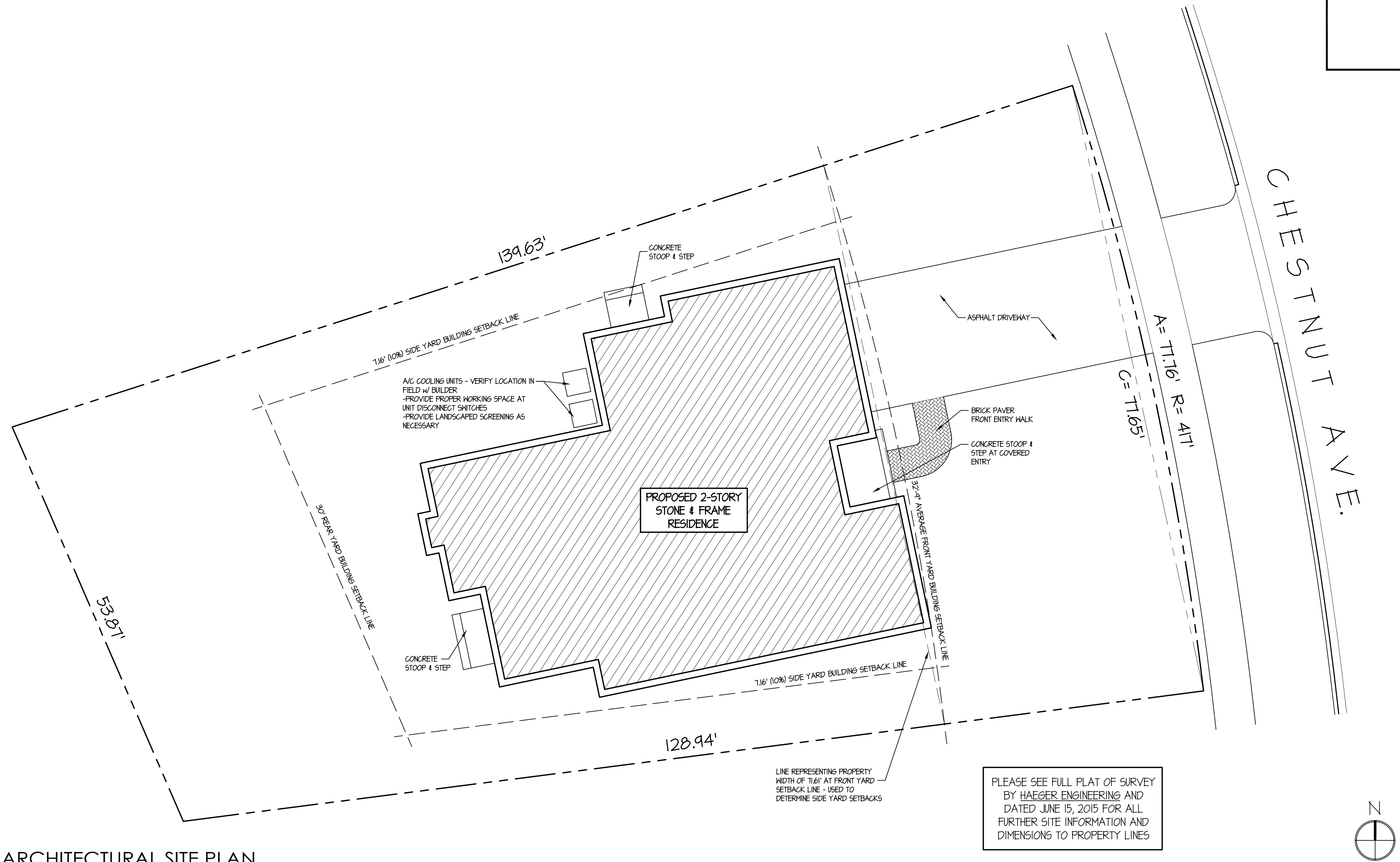
2. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

_____, August 6, 2015

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 15-088

NOTE:
THE GENERAL CONTRACTOR SHALL PROVIDE A DETAILED SITE PLAN SHOWING EXISTING AND PROPOSED GRADES, PROPOSED TOP OF FOUNDATION, LOCATION AND DIRECTION OF ALL DOWNSPOUTS AND LOCATION AND DIRECTION OF SUMP DISCHARGE. SUFFICIENT INFORMATION SHOULD BE PROVIDED TO SHOW EXISTING AND PROPOSED DRAINAGE PATTERNS. THE LOCATION AND TOP OF FOUNDATION FOR ADJACENT STRUCTURES SHALL ALSO BE PROVIDED



ARCHITECTURAL SITE PLAN

SCALE: 1/8" = 1'-0"

ZONING RESTRICTIONS			
(BASED ON VILLAGE OF ARLINGTON HEIGHTS, IL, ZONING ORDINANCE)			
ZONING DISTRICT:	R-3 (S.F.R.D.)	MAX. F.A.R.: 3.330 + [(1.1A - 0.750) x 0.4] OF LOT AREA.	
LOT SIZE:	0.025 SQ. FT.	ALLOWABLE = 3,960.00 SQ. FT.	
BUILDING SETBACKS:		PROPOSED =	
FRONT YARD: = AVERAGE = ??'		FIRST FLOOR S.F.	1,125.01 SQ. FT.
SIDE YARD: 7.32'		SECOND FLOOR S.F.	1,131.00 SQ. FT.
(10% OF WIDTH AT FRONT YARD SETBACK)		ATTIC S.F.	N/A
REAR YARD: 30'		(GREATER THAN 7'-0")	
BUILDING HEIGHT:		GARAGE FLOOR S.F.	45.55 SQ. FT.
MAX BUILDING HEIGHT = 25'		(MINUS 400 SQ.FT. ALLOWANCE)	
		TOTAL S.F.	3,350.36 SQ. FT.
MAX. BLDG. LOT COVERAGE: (35%)		ALLOWABLE = 3,000.75 SQ. FT.	
		PROPOSED = 2,260.90 SQ. FT.	
MAX. IMP. SURFACE LOT COVERAGE: (50%)		ALLOWABLE = 4,412.50 SQ. FT.	
		PROPOSED =	
BUILDING AREA	2,260.90 SQ. FT.		
ACCESSORY STRUCTURES	N/A		
OTHER IMPERVIOUS COVERAGE	676.74 SQ. FT.		
TOTAL S.F.	2,945.12 SQ. FT.		
MAX. IMP. SURFACES FRONT YARD L.C.: (50%)		ALLOWABLE = 1,223.74 SQ. FT.	
		PROPOSED = 510.95 SQ. FT.	

DRAWING INDEX			
CS	COVER SHEET / ARCHITECTURAL SITE PLAN	A4.3	BUILDING SECTIONS / WALL SECTIONS
A1.1	FOUNDATION PLAN	A4.4	BUILDING SECTIONS / WALL SECTIONS
A1.2	FIRST FLOOR PLAN	A5.1	GENERAL NOTES
A1.3	SECOND FLOOR PLAN	E1.1	ELECTRICAL FLOOR PLANS
A1.4	ROOF PLAN & SCHEDULES	M.1.1	D.W.V. & RISER DIAGRAMS
A2.1	FRONT (WEST) ELEVATION		
A2.2	LEFT SIDE (NORTH) ELEVATION		
A2.3	REAR (EAST) ELEVATION		
A2.4	RIGHT SIDE (SOUTH) ELEVATION		
A4.1	BUILDING SECTIONS / WALL SECTIONS		
A4.2	BUILDING SECTIONS / WALL SECTIONS		

STATEMENT OF COMPLIANCE	
I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIERS ACT. (ILL. REV. STAT. 1905, CH. III, PARS. 3711 ET SEQ. AS AMENDED) AND THE ILLINOIS ACCESSIBILITY CODE, 71 ILL. ADM. CODE 400.	
JOB NUMBER: 388515 LICENSE EXPIRES: 11-30-2016	I HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO ALL OF THE BUILDING ORDINANCE AND REGULATIONS OF THE VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS. JAMES J. TINAGLIA

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PROPOSED NEW CUSTOM HOME FOR:
JRC DESIGN BUILD

1732 N. CHESTNUT AVENUE
ARLINGTON HEIGHTS, IL 60004

ARCHITECT

TINAGLIA
ARCHITECTS

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ARLINGTON HEIGHTS, IL 60004
PHONE - (847) 253-0002
FAX - (847) 253-3063
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ARCHITECTS

CLIENT

JRC
DESIGN BUILD
1275 EAST DAVIS STREET
ARLINGTON HEIGHTS, ILLINOIS 60005

PROJECT

CUSTOM RESIDENCE

1732 N. CHESTNUT AVENUE
ARLINGTON HEIGHTS, ILLINOIS 60004

DRAWING TITLE

ARCHITECTURAL
SITE PLAN

FILE NAME 3885-CS

DRAWN BY RDL

DATE 6.29.15

NO.	REVISED PER	DATE	BY

JOB NO. 388515

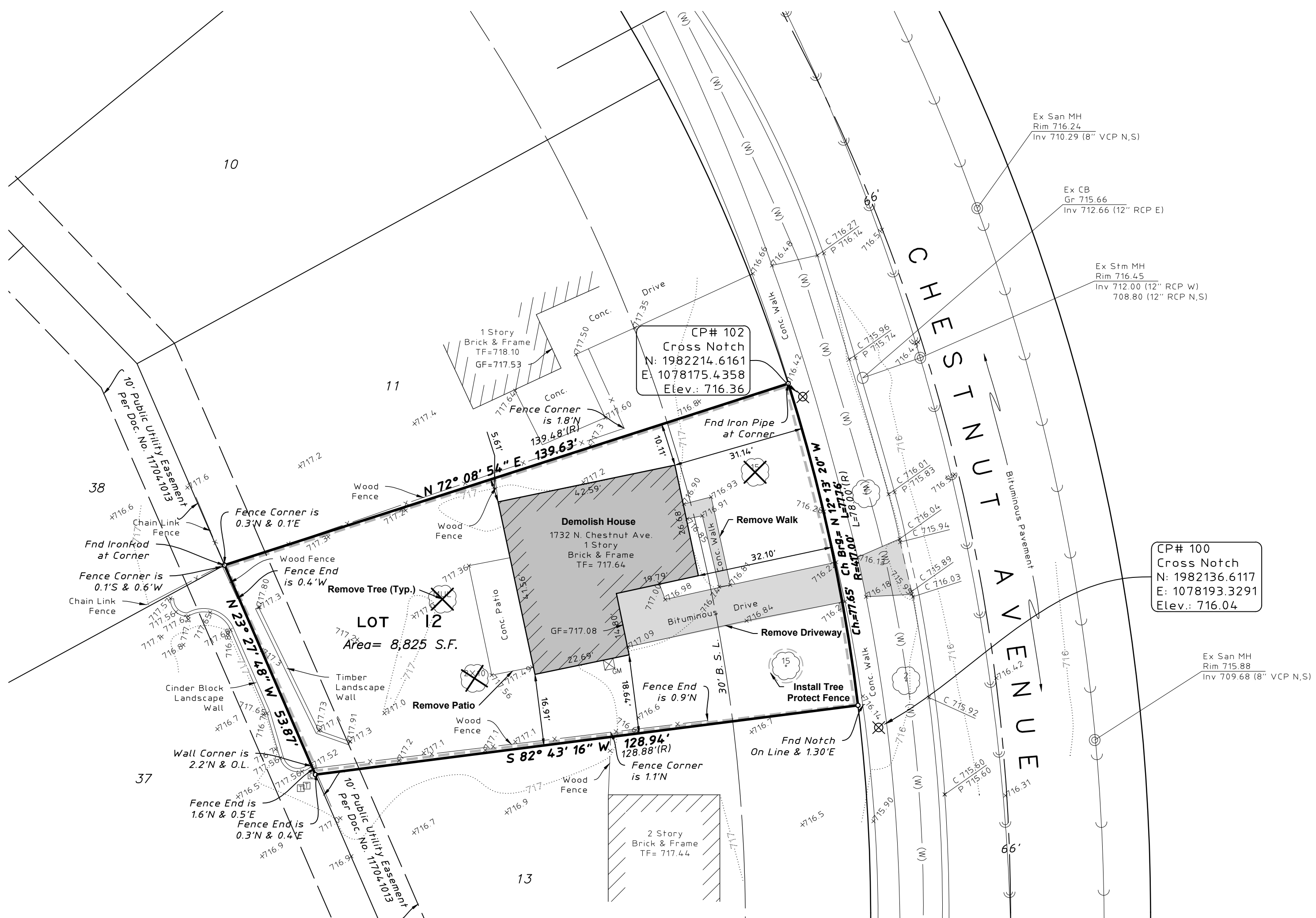
SHEET NO.

OF 16

CS

PROFESSIONAL DESIGN FIRM LICENSE #184-002934

EXISTING SITE / DEMOLITION PLAN



GENERAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES, EVEN THOUGH THEY MAY NOT BE SHOWN ON THESE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE VILLAGE AND THE OWNER, OR BE REPLACED.
2. CONTRACTOR IS RESPONSIBLE FOR KEEPING STREET FREE OF EXCESSIVE DEBRIS AT ALL TIMES. TRUCKS AND OTHER CONSTRUCTION EQUIPMENT WASH-OUT MUST NOT OCCUR WITHIN THE RIGHT-OF-WAY OR INTO THE STORM SEWER.
3. DUST CONTROL METHODS SHOULD BE USED TO MINIMIZE THE SPREAD OF AIRBORNE PARTICLES. WHERE NATURAL VEGETATION IS REMOVED DURING GRADING, SOIL EROSION/SEEDING CONTROL METHODS SHALL BE INITIATED AND VEGETATION SHALL BE PROMPTLY RE-ESTABLISHED WITHIN 30 DAYS IN SUFFICIENT DENSITY TO PROVIDE EROSION CONTROL. MINIMIZE THE AMOUNT OF NATURAL VEGETATION REMOVED.
4. STORM WATER RUNOFF FROM THIS SITE MUST BE MAINTAINED ON THE SITE AND NOT BE DIRECTED OR DISCHARGED ONTO ADJACENT PROPERTIES. MATERIALS STORED ON SITE MUST ALSO NOT CREATE RUNOFF THAT ADVERSELY AFFECTS ADJACENT PROPERTIES.
5. CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE.
6. CONTRACTOR IS RESPONSIBLE FOR COMPARING ENGINEER'S PLAN TO ARCHITECT'S PLAN. ANY DISCREPANCIES MUST BE CLARIFIED BY THE ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ROOT PRUNING OR ANY OTHER NECESSARY MEANS/METHODS TO ENSURE THE PROTECTION OF ALL TREES SHOWN TO BE SAVED ON THESE PLANS.
8. CALL JULIE 800-892-0123 BEFORE STARTING CONSTRUCTION

SANITARY SERVICE NOTES:

1. THE PROPOSED 6" PVC SDR26 SANITARY SERVICE SHALL BE CONNECTED TO THE EXISTING SERVICE LINE IF THE EXISTING LINE IS DETERMINED TO BE SUITABLE FOR RE-USE.
2. THE LOCATION AND ELEVATION OF THE EXISTING SANITARY SERVICE LINE MUST BE VERIFIED PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TELEVISION THE EXISTING SERVICE TO DETERMINE ITS CONDITION AND SHALL COORDINATE AS NECESSARY WITH THE VILLAGE OF ARLINGTON HEIGHTS ON FINAL ACCEPTANCE FOR REUSABILITY.
4. IF THE EXISTING SERVICE LINE IS DEEMED TO BE IN POOR CONDITION, TOTAL REPLACEMENT WILL BE REQUIRED WITH A NEW CONNECTION TO THE MAIN LINE. SHOULD A NEW LINE BE REQUIRED, THE PAVEMENT AND CURB SHALL BE OPEN CUT AS SHOWN AND REPLACED IN KIND PER VILLAGE GUIDELINES.

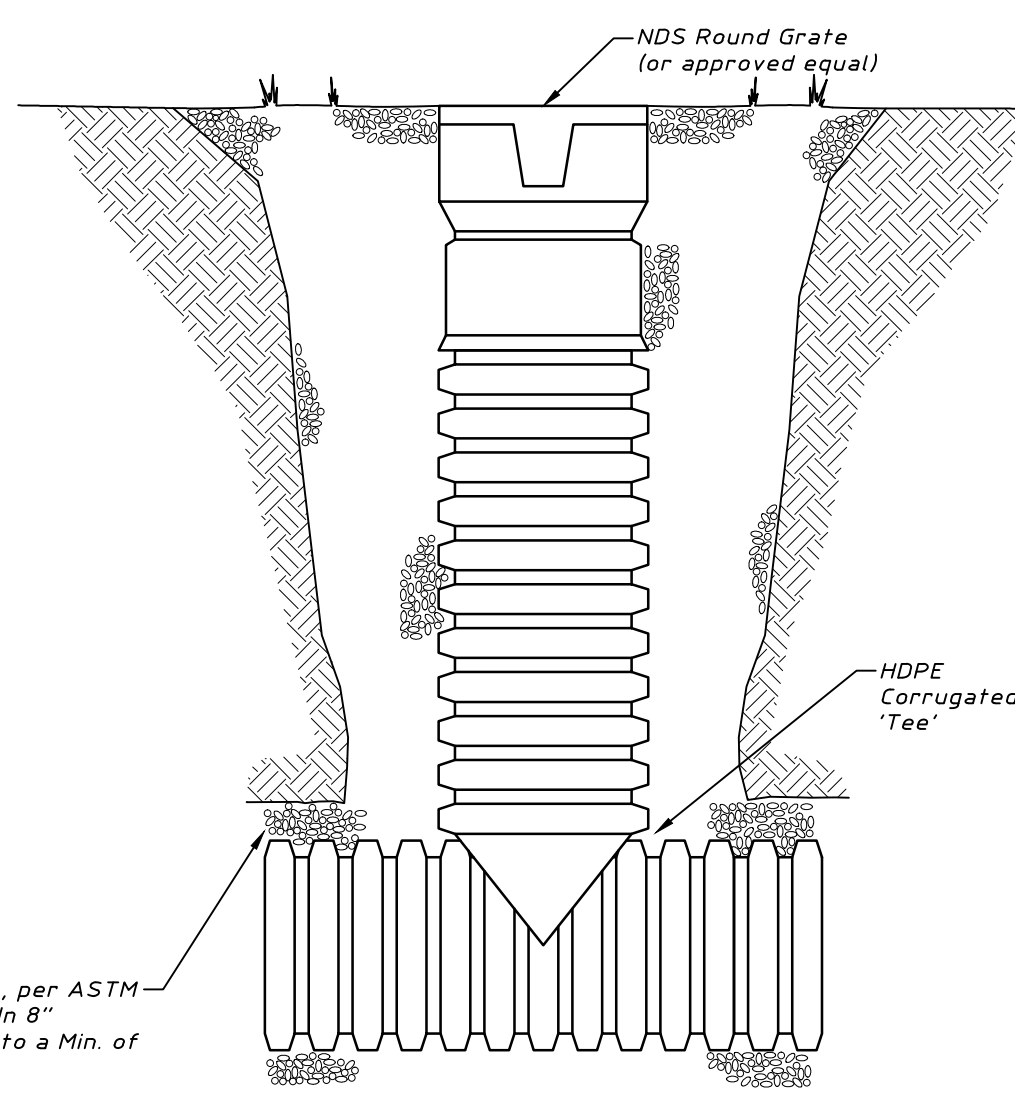
WATER SERVICE NOTES:

1. A NEW 1-1/2" COPPER TYPE K WATER SERVICE LINE SHALL BE PROVIDED AND CONNECTED TO THE EXISTING LINE AT THE APPROXIMATE LOCATION SHOWN, IN AN ATTEMPT TO MINIMIZE GROUND DISTURBANCES.
2. THE EXISTING WATER SERVICE LOCATION SHOWN ON THESE PLANS IS APPROXIMATE ONLY. THE LOCATION AND ELEVATION OF THIS LINE MUST BE VERIFIED PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING/VERIFYING THE CONDITION OF THE EXISTING SERVICE LINE FOR RE-USE.

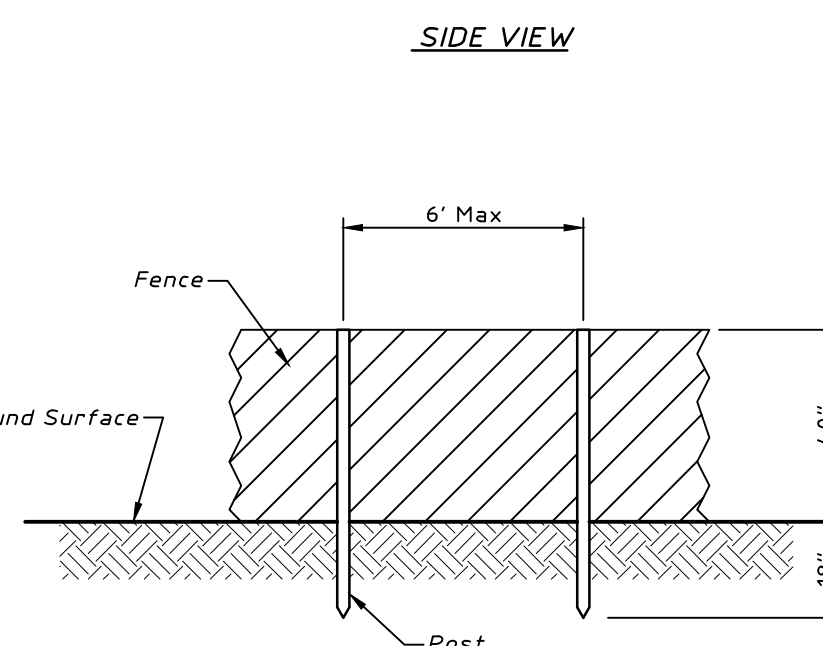
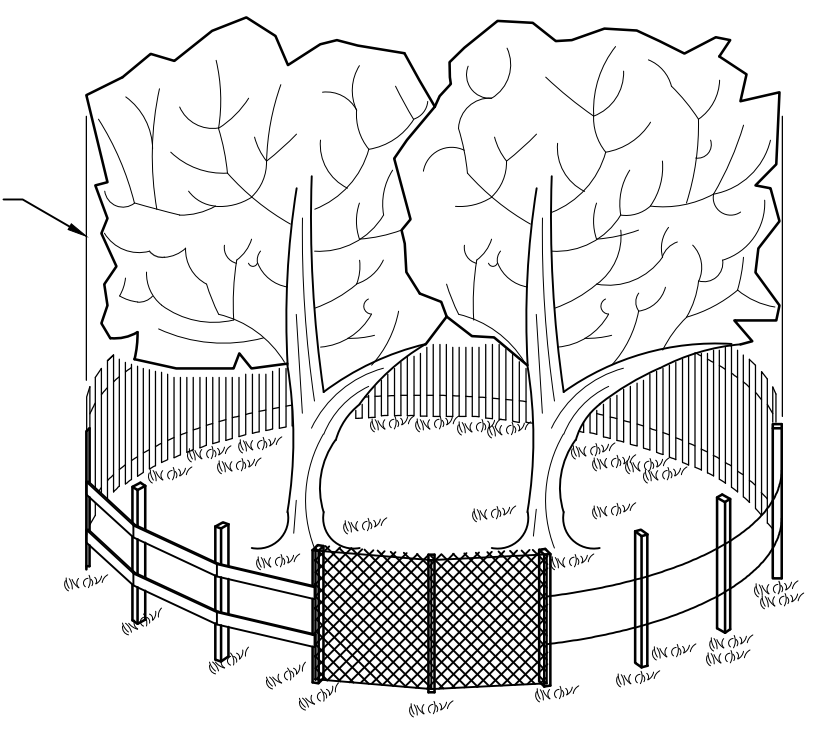
Benchmark
Site Benchmark
CP # 100 (See Survey)
Description: Cross Notch
Elevation: 716.04 NAVD 88 (Geoid 12A)

LEGAL DESCRIPTION

LOT 12 IN BLOCK 2 IN HASBROOK SUBDIVISION UNIT NO. 2 OF PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



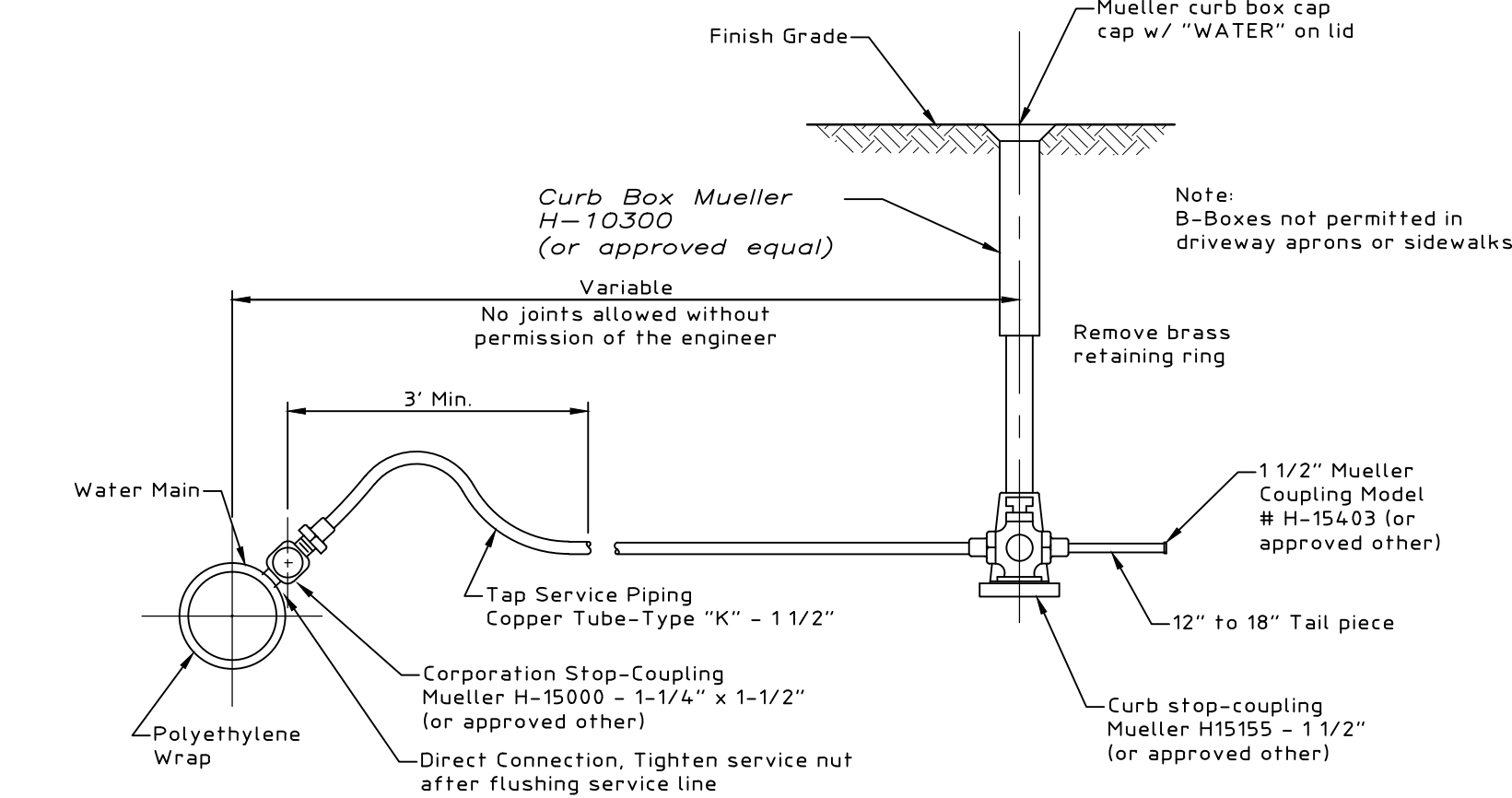
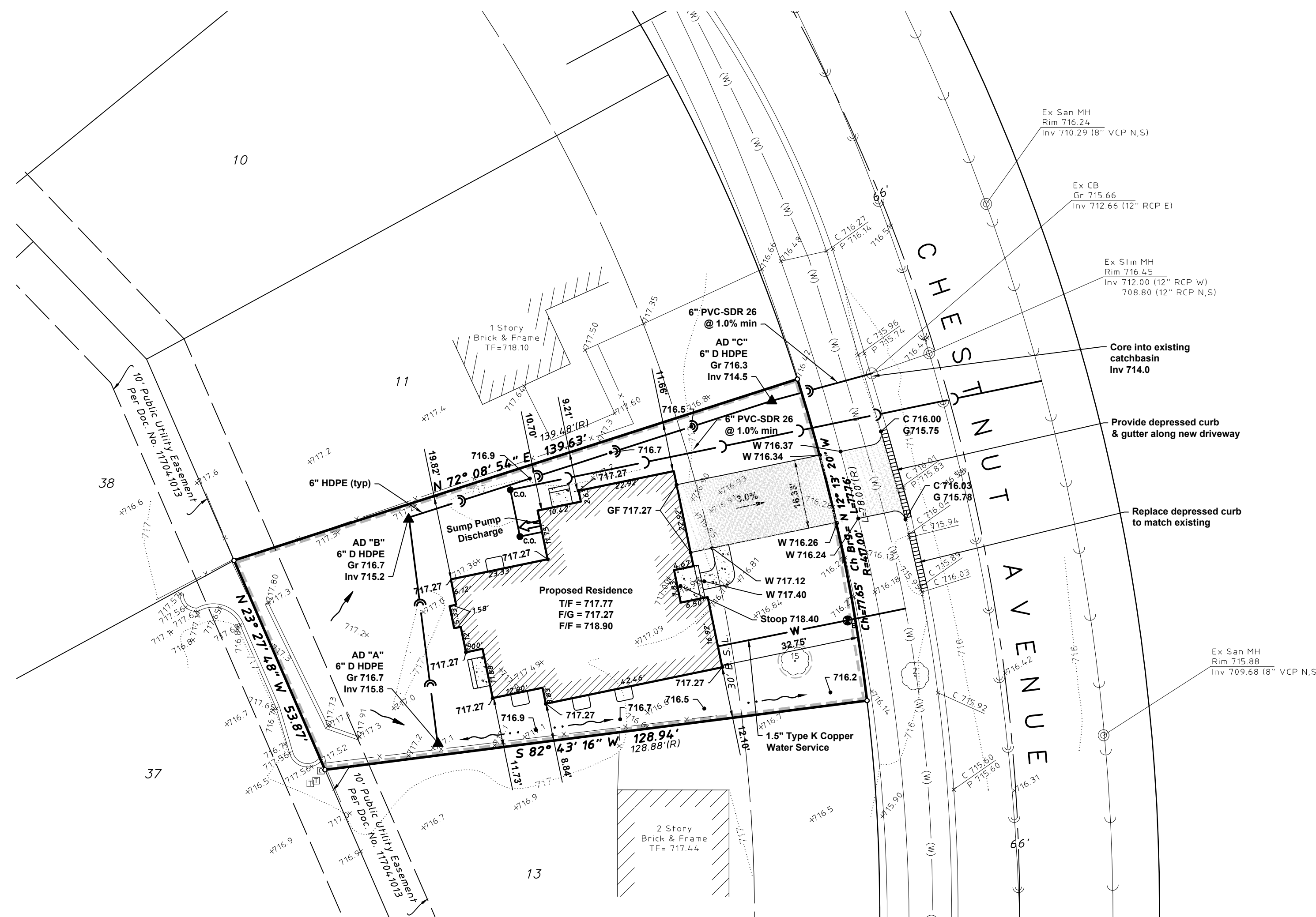
HDPE FIELD DRAIN INLET



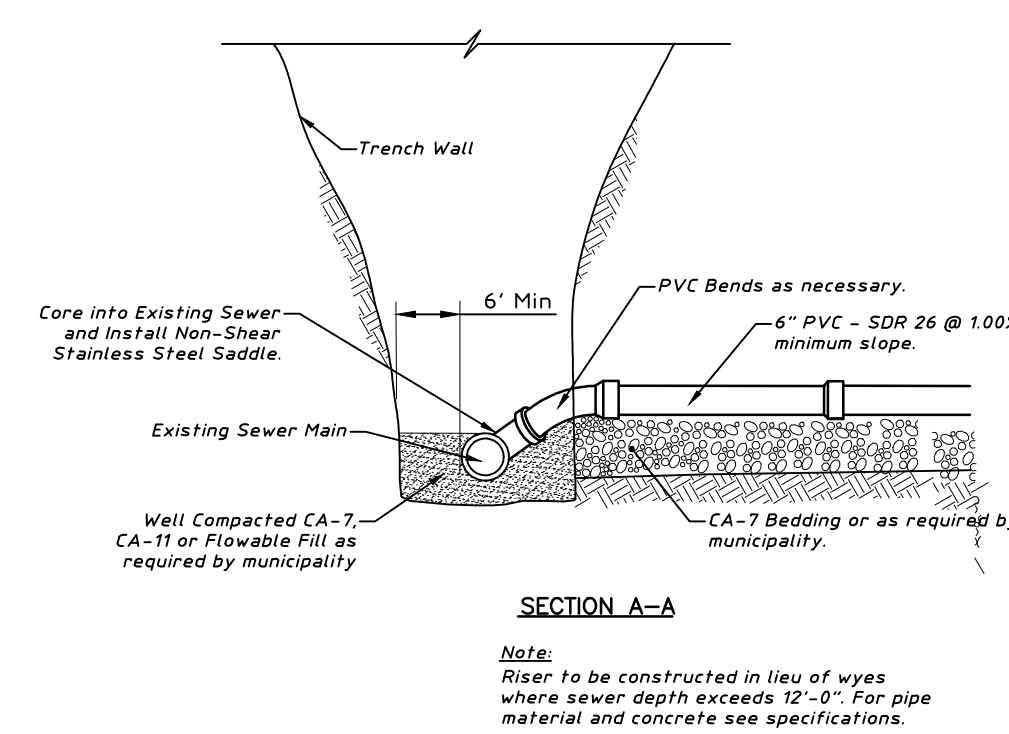
- NOTES:**
1. The fence shall be located outside the drip line of the tree to be saved wherever possible, and in no case closer than 1 foot for every 1" DBH to the trunk of any tree.
 2. Fence posts shall be either standard steel posts or wood posts with a minimum cross sectional area of 3.0 sq. in.
 3. The fence may be either 40" high snow fence, 40" plastic web fencing or any other material as approved by the engineer.

TREE PROTECTION - FENCING

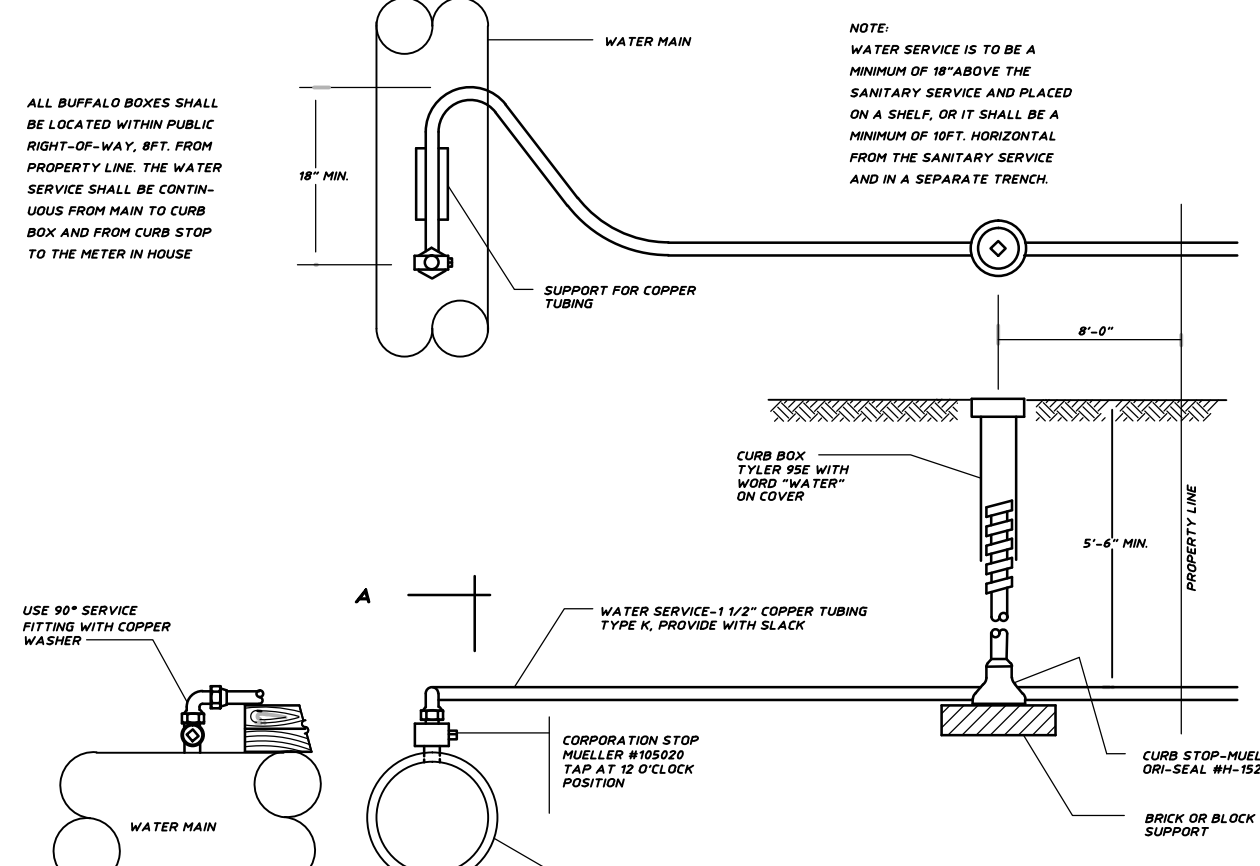
PROPOSED SITE PLAN



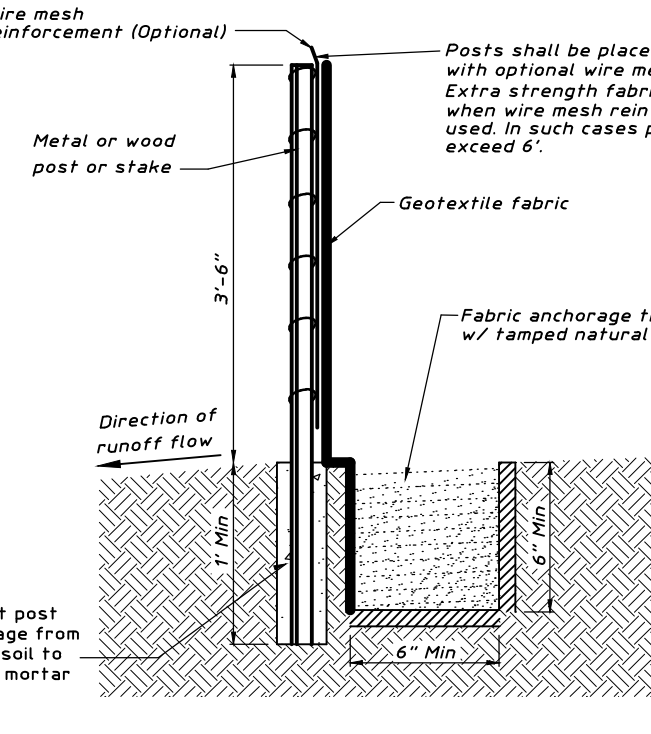
WATER SERVICE DETAIL



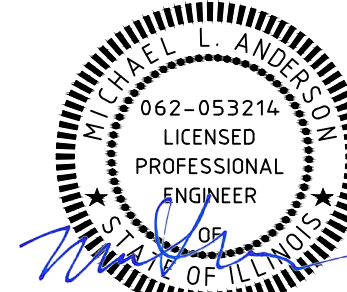
SANITARY SERVICE SEWER AND CONNECTION TO EXISTING MAIN



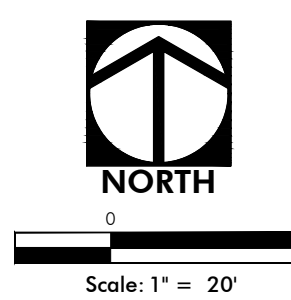
TYPICAL 1 1/2" DOMESTIC WATER SERVICE
NOT TO SCALE



EROSION CONTROL FENCE



EXPIRES 11-30-15



HAEGER ENGINEERING
consulting engineers • land surveyors
1304 N. Plum Grove Road, Schaumburg, IL 60173 • Tel. 847.394.6600 Fax 847.394.6608
Illinois Professional Design Firm License No. 184-003132
www.haegerengineering.com

SITE IMPROVEMENT PLAN
1732 N. CHESTNUT
HASBROOK SUBDIVISION
VILLAGE OF ARLINGTON HEIGHTS
COOK COUNTY

Project Manager: MLA
Engineer: KPN
Date: 7-1-2015
Project No. 15071
Sheet 1

CONTEXT PHOTO DIAGRAM

NOT TO SCALE



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PROJECT

CUSTOM RESIDENCE
1732 N. CHESTNUT AVENUE
ARLINGTON HEIGHTS, ILLINOIS 60004

DRAWING TITLE

ELEVATION
CONTEXT STUDY

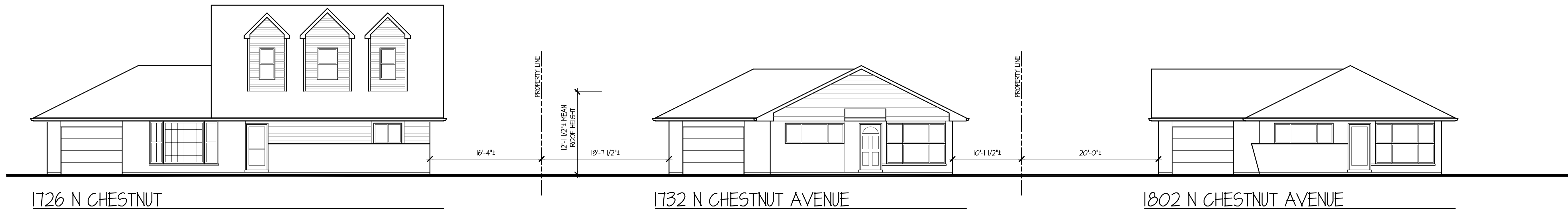
FILE NAME 3885-DC EXTRAS
DRAWN BY RDL DATE 6.29.15

NO.	REVISED PER	DATE	BY

JOB NO. 388515

SHEET NO.
OF ECS

PROFESSIONAL DESIGN FIRM LICENSE # 184-002934



EXISTING CONTEXT ELEVATION STUDY

SCALE: 1/8" = 1'-0"



PROPOSED CONTEXT ELEVATION STUDY

SCALE: 1/8" = 1'-0"

CLIENT

JRC
DESIGN BUILD
1275 EAST DAVIS STREET
ARLINGTON HEIGHTS, ILLINOIS 60005

PROJECT

CUSTOM RESIDENCE
1732 N. CHESTNUT AVENUE
ARLINGTON HEIGHTS, ILLINOIS 60004

DRAWING TITLE

FRONT
ELEVATION

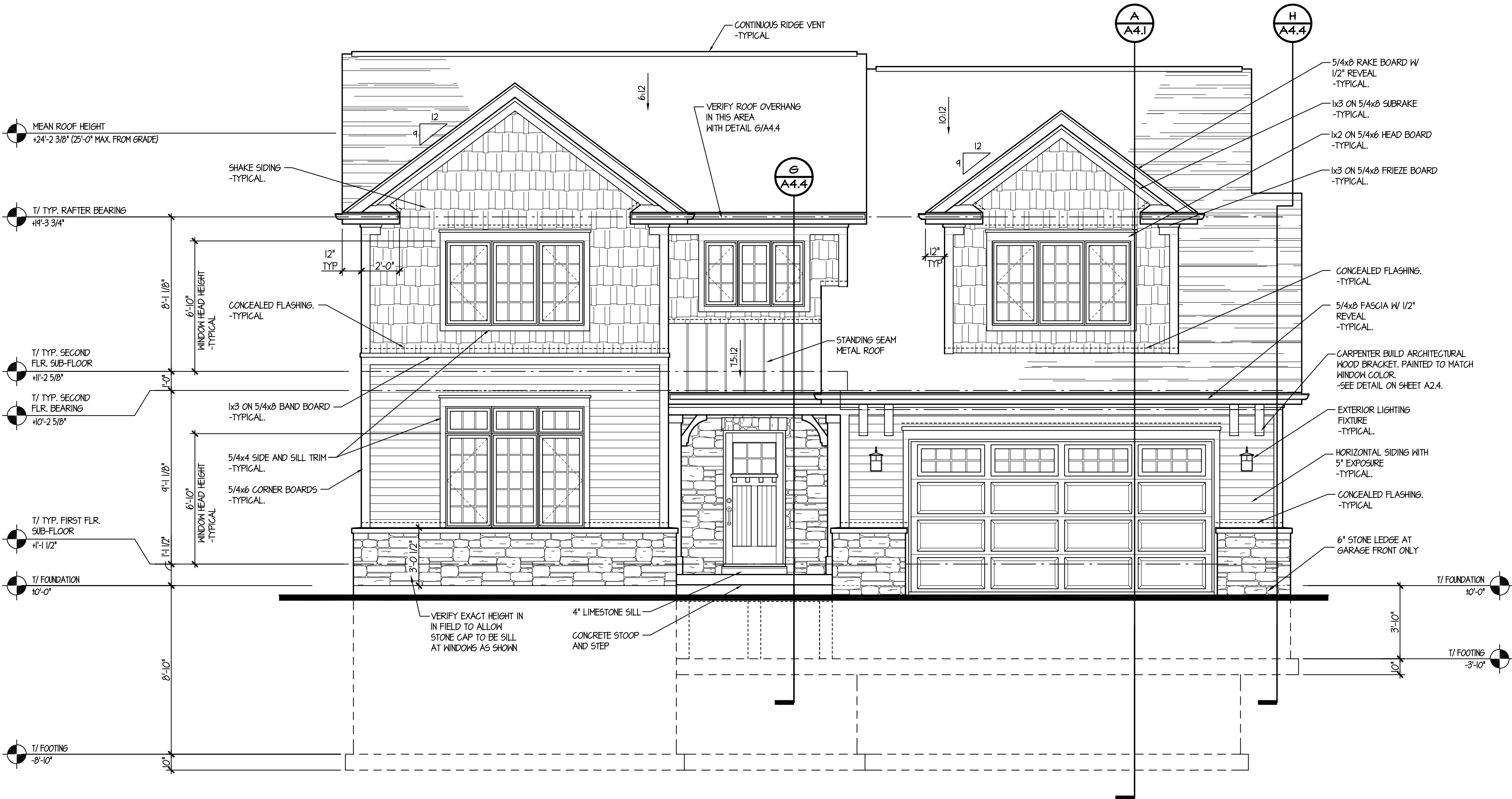
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DRAWN BY RDL DATE 6.29.15

NO.	REVISED PER	DATE	BY

JOB NO. 388515

SHEET NO.
OF 16 A2.1

PROFESSIONAL DESIGN FIRM LICENSE #184-002934



FRONT (EAST) ELEVATION

SCALE: 1/4" = 1'-0"

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**JRC
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ARLINGTON HEIGHTS, ILLINOIS 60005

PROJECT

CUSTOM RESIDENCE
1732 N. CHESTNUT AVENUE
ARLINGTON HEIGHTS, ILLINOIS 60004

DRAWING TITLE

**LEFT SIDE
ELEVATION**

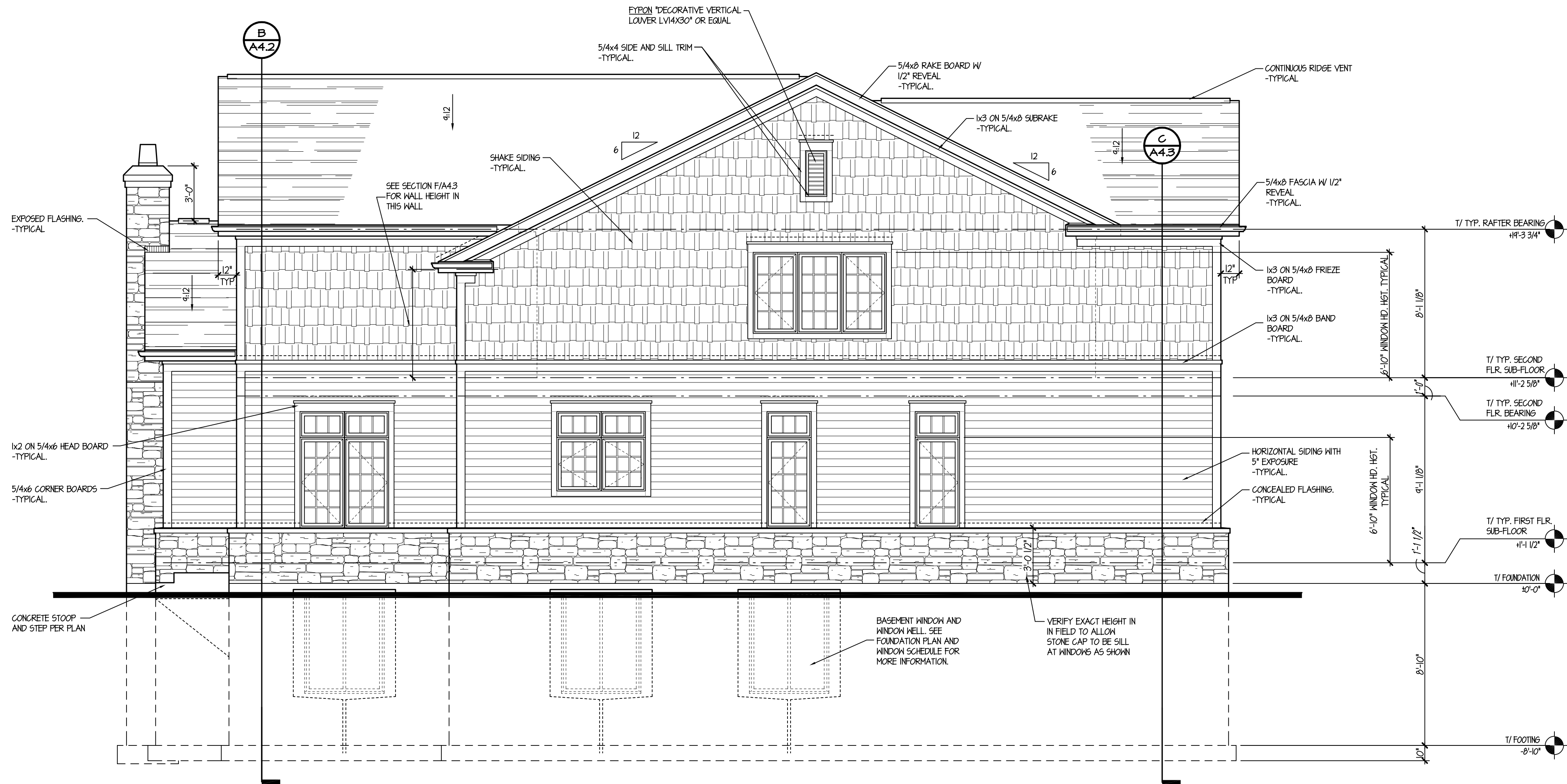
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DRAWN BY RDL DATE 6.29.15

NO.	REVISED PER	DATE	BY

JOB NO. 388515

SHEET NO.
OF 16 **A2.2**

PROFESSIONAL DESIGN FIRM LICENSE #184-002934



LEFT SIDE (SOUTH) ELEVATION

SCALE: 1/4" = 1'-0"

CLIENT
**JRC
DESIGN BUILD**
1275 EAST DAVIS STREET
ARLINGTON HEIGHTS, ILLINOIS 60005

PROJECT
CUSTOM RESIDENCE
1732 N. CHESTNUT AVENUE
ARLINGTON HEIGHTS, ILLINOIS 60004

DRAWING TITLE
**REAR
ELEVATION**

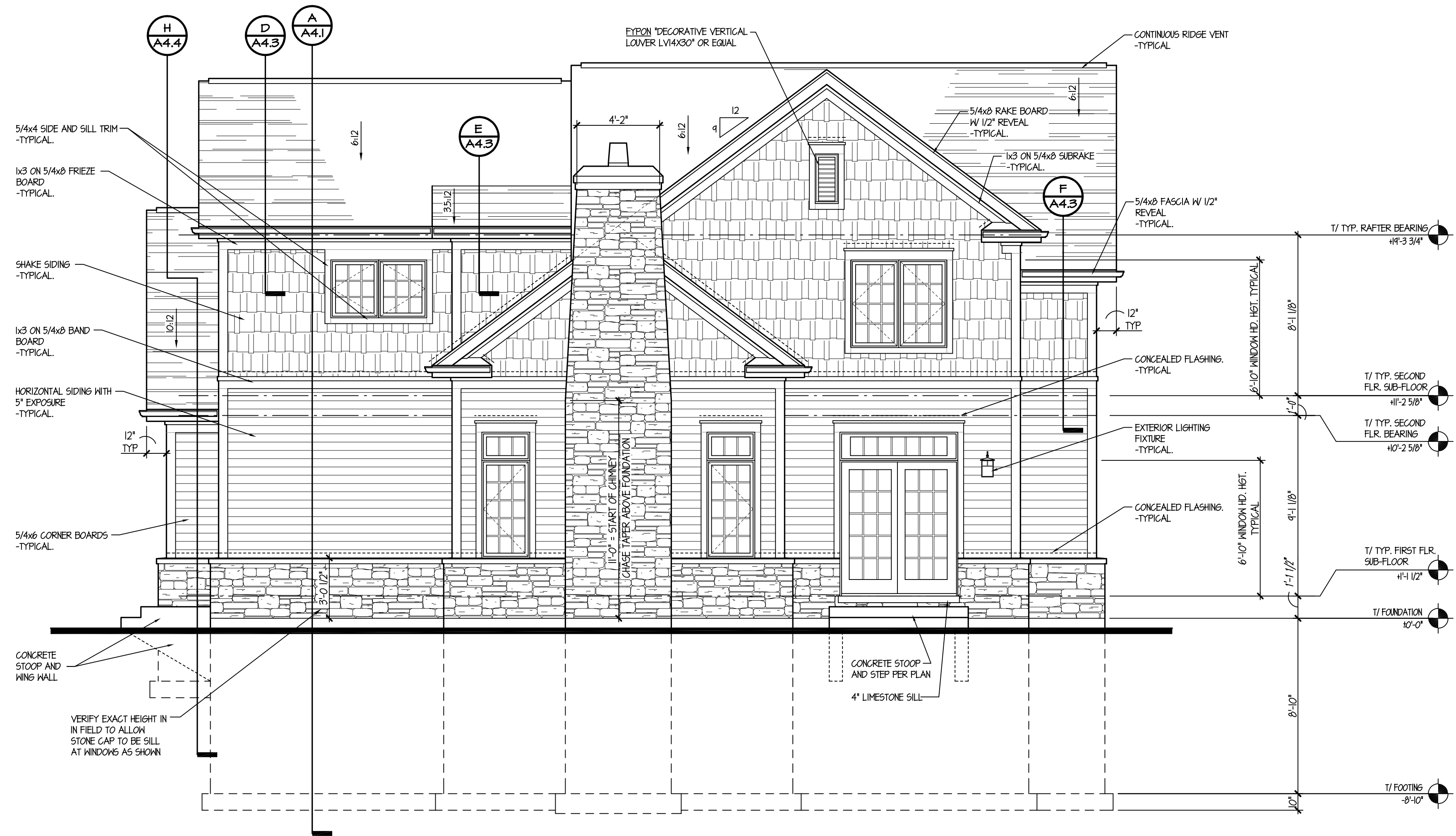
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DRAWN BY RDL DATE 6.29.15

NO.	REVISED PER	DATE	BY

JOB NO. **388515**

SHEET NO.
OF 16 **A2.3**

PROFESSIONAL DESIGN FIRM LICENSE #184-002934



REAR (WEST) ELEVATION

SCALE: 1/4" = 1'-0"

TINAGLIA

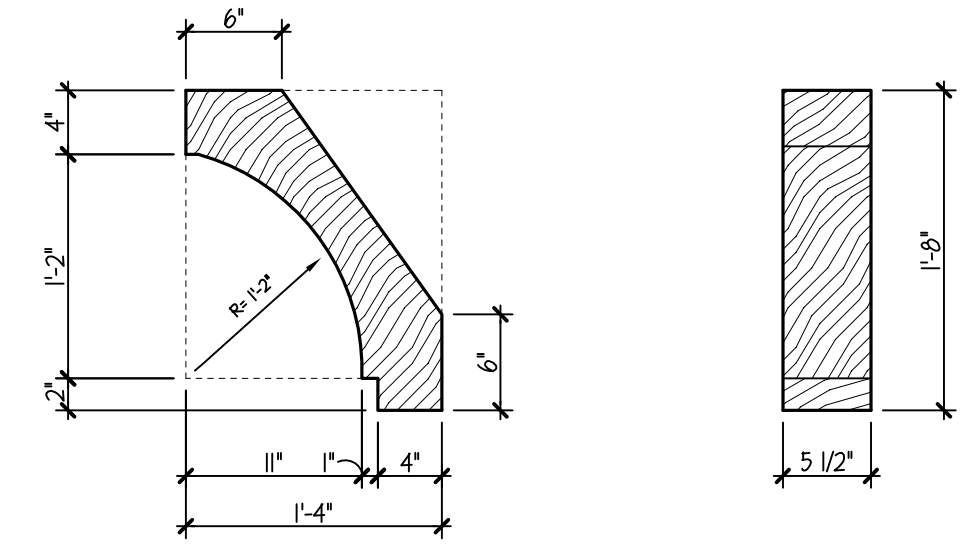
JRC
DESIGN BUILD
1275 EAST DAVIS STREET
ARLINGTON HEIGHTS, ILLINOIS 60005

CUSTOM RESIDENCE

1732 N. CHESTNUT AVENUE
ARLINGTON HEIGHTS, ILLINOIS 60004

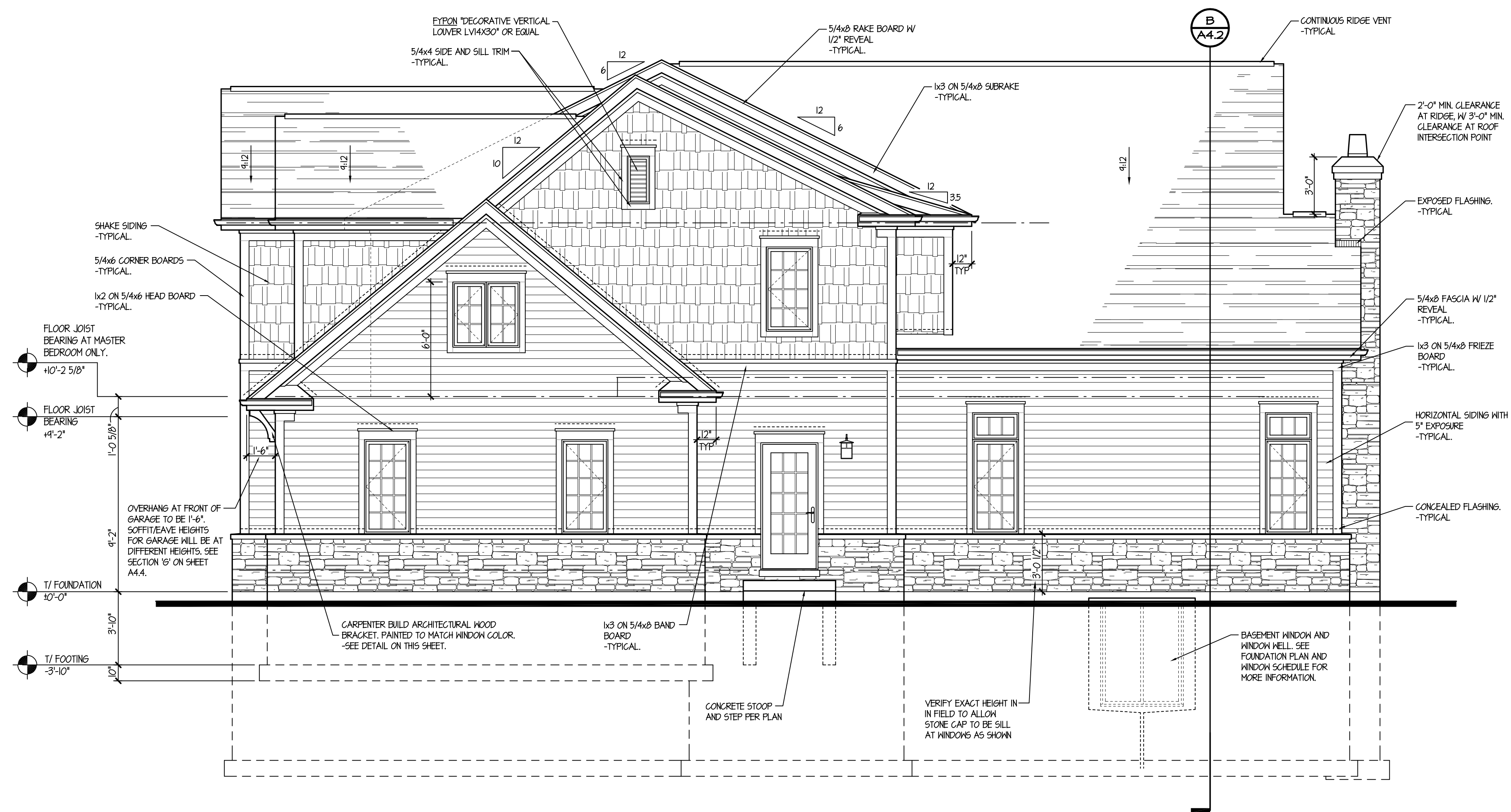
RIGHT SIDE
ELEVATION[illegible]

SHEET NO. **A2.4**
OF 16



WOOD BRACKET DETAIL

SCALE: 1" = 1'-0"



RIGHT (NORTH) ELEVATION

SCALE: 1/4" = 1'-0"

MATERIAL SCHEDULE

1732 N. CHESTNUT
ARLINGTON HEIGHTS, IL

PETITIONER NAME: JRC DESIGN BUILD
DATE: JULY 8, 2015
PROJECT: Custom Single Family Home
LOCATION: 1732 CHESNUT.

MATERIAL TYPE	MANUFACTURER	COLOR
STONE	EDEN STONE	ARTISIAN BLEND
ROOF SHINGLES	OWENS CORNING	OAKRIDGE SHINGLES WHEATHERWOOD
HORIZONTAL SIDING	LP "SMARTSIDE" HORZ..	WALNUT
CEDAR SHAKE SIDING	LP "SMARTSIDE" CEDAR SHAKE	WHEAT
GUTTERS/DOWNSPOUTS	ALUMINUM GUTTERS AND DOWNSPOUTS	BRONZE/BRONZE
FASCIA	LP "SMARTSIDE" CEDAR	WHEAT
SOFFIT	LP "SMARTSIDE" CEDAR	WALNUT
WINDOWS	MARVIN 'ULTIMATE CLAD" DOUBLE HUNG	BRONZE
DOOR/WDO TRIM	LP"SMARTSIDE" CEDAR	WHEAT

RECEIVED
JUL 09 2015
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



Item: DC#15-097 - 13 E. Miner St. / Multi-Family

Department: Planning & Community Development

BACKGROUND

Approval of the proposed architectural design for a new apartment building with indoor parking in the (B-5) Downtown Zoning District.

RECOMMENDATION

It is recommended that the Design Commission continue the request for design approval of 13 E. Miner Street to allow time for the design to be finalized based on resolution of the various zoning, land use, utility conflicts, accessibility, and building code issues, as well as to allow time for the design to be enhanced in response to the recommendations listed in the Staff Report. This recommendation is subject to compliance with the plans received 7/27/15, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on nor represent any tacit approval or support for the proposed land use or any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
2. The petitioner is required to comply with Village standards for sidewalks, street trees, and site furnishings.
3. All signage must meet code, Chapter 30.

ATTACHMENTS:

Description

Staff Report

Drawings & Documents

Type

Board or Commission Report

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 13 E. Miner Street
Project Address: 13 E. Miner Street
Prepared By: Steve Hautzinger

Date Prepared: August 5, 2015

PETITION INFORMATION:

DC Number: 15-097
Petitioner Name: Frank Panzarino
Petitioner Address: 904 S. Edgewood Lane
Mt. Prospect, IL 60056
Meeting Date: August 11, 2015

Requested Action(s):

1. Approval of the proposed architectural design for a new apartment building with indoor parking in the (B-5) Downtown Zoning District.

ANALYSIS

Summary:

The subject design is being forwarded to the Design Commission for review pursuant to Chapter 6 of the Municipal Code, specifically Section 6-501 (e)(1), which states that the Design Commission "shall review all Plan Commission, Zoning Board of Appeals, Building Permit and Sign Permit applications for new construction and those improvements which affect the architectural design of the building, site improvements or signage to determine whether it meets with the standards, requirements and purposes of the Design Guidelines and Chapter 30, Sign Regulations."

The petitioner is seeking approval of the architectural design for a new four story apartment with indoor parking. The site is currently vacant and is located on the north side of the Downtown (B-5) Zoning District. The proposed development will be four stories in height with 12 residential apartment units occupying floors two through four. The first floor will contain the apartment entrance lobby as well as indoor parking for use by the apartment residents. A basement level will be used for storage.

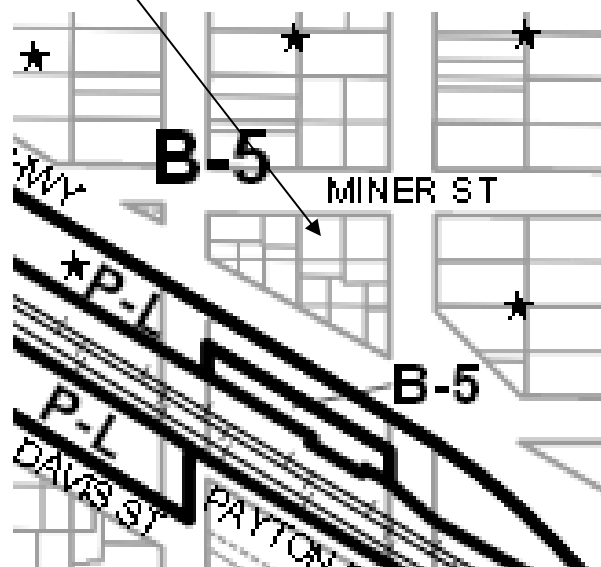
The proposed development requires approval as a Planned Unit Development through the Plan Commission process.

Site Analysis:



Aerial of Property

Subject Property



Zoning Map of Property

Surrounding Land Uses:

Direction	Existing Zoning	Existing Use	Comprehensive Plan
Subject Property	B-5, Downtown District	Vacant	Mixed Use
North	B-5, Downtown District	Bistro Chen Restaurant	Mixed Use
South	B-5, Downtown District	Mixed Use Retail / Apartments	Mixed Use
East	B-5, Downtown District	Multi-Tenant Retail	Mixed Use
West	B-5, Downtown District	Mixed Use Retail / Apartments	Mixed Use

Zoning, Building Code, Fire Code, and Utility Issues:

This proposal has numerous unresolved zoning, building code, fire code, accessibility, and utility issues (refer to the attached letter dated August 5, 2014 for a detailed preliminary summary of outstanding issues). While these issues are not directly Design Commission matters, resolution of these issues will have an impact on the final building design. Key issues include, but are not limited to:

1. First floor retail. Chapter 28 (Zoning Regulations) requires that dwelling units are allowed in the Downtown only if business uses occupy the ground floor. Additionally, the Downtown Master Plan envisions retail/service user spaces at the ground floor level. This is an opportunity to enliven the streetscape on the north side of the Downtown. As proposed, a retail dead zone will be created mid-block. Additionally, 3 to 4 on street parking spaces will be lost to accommodate the proposed driveway.
2. Building and Fire Code. Preliminary building code review concludes that window openings are not allowed where exterior walls are less than 5 feet from the property line, and for walls that are 5 to 10 feet from the property line, only 25% of the wall area may contain window openings. Additionally, there are concerns regarding safe egress routes to the public way from the proposed building exits as well as from the existing adjacent building exits.
3. Utilities / Easements. The subject property contains underground water and sewer utilities which serve adjacent properties that need to be resolved. Additionally, ComEd easement clearances around the side and back of the proposed building need to be confirmed.

Architectural Design:

Front (north) Elevation. The composition of the front elevation is well done with nice symmetry, recessed balconies, and rich materials. However, the following revisions are recommended to enhance the design:

4. Retail storefronts should be added on the first floor to add visual interest at the sidewalk level, and to enliven this area of the Downtown.
5. The small arches and keystones above the windows and balcony doors are weak. Consider a straight, stone lintel detail with a heavier appearance in lieu of the arch detail.
6. The brick wall area above the top floor windows is blank and void of detail. Consider adding more details in this area such as decorative brick and stone detailing.
7. The arched cornice at the top of the building and arched lintel above the first floor garage door are awkward. Consider omitting the arch, and providing a built-up linear stone detail instead.
8. The proposed railing detail at the roof deck level is a nice detail, but it is proposed to be set back from the front wall. Consider moving this detail forward to be in line with the front wall so that it is more visible and aligns with the balcony railings below.
9. The two brick colors are too similar in appearance and do not enhance the design. Consider omitting one of the brick colors for a more cohesive appearance.

Side (east & west) Elevations. The proposed four story building will be highly visible above the existing one story building to the

east, and partially visible above the two story building to the west (refer to Images 1 & 2 below). Although it is possible that future redevelopment of the adjacent sites could block the side views of the proposed building, it is likely that the side elevations will be visible for many years and should therefore be further developed with additional detailing.

1. Consider continuing the roof deck railing detail from the front elevation down the side elevations.
2. Preliminary building code review concludes that the three windows shown on the left (east) elevation are not allowed due to fire separation requirements where the wall is not set back from the lot line. Consider adding more brick and stone detailing to add interest to this large blank wall.
3. The front half of the right (west) elevation is set back eight feet from the property line and will be highly visible. Consider opening the side of the balconies as well as adding windows on this wall.



Image 1. View of vacant site looking east on Miner Street.



Image 2. View of vacant site from the intersection of Miner Street and Evergreen Avenue.

Rooftop Mechanical Unit Screening:

Rooftop mechanical units are required to be fully screened from public view. The proposed design indicates that the rooftop mechanical equipment will be placed in the center of the roof and fully screened.

Dumpster and Utility Screening:

Trash dumpsters and electrical equipment are proposed to be located on grade on the right (west) side of the building. Landscaping is proposed to screen the electrical equipment. However, a fenced enclosure is recommended to enclose the trash dumpster area.

Landscaping:

The petitioner will be required to comply with Village standards for sidewalks, street trees, and site furnishings.

Signage:

Signage is not included in this review. Separate sign permit applications will be required for any proposed signage.

RECOMMENDATION:

It is recommended that the Design Commission continue the request for design approval of 13 E. Miner Street to allow time for the design to be finalized based on resolution of the various zoning, land use, utility conflicts, accessibility, and building code issues, as well as to allow time for the design to be enhanced in response to the recommendations listed above. This recommendation is subject to compliance with the plans received 7/27/15, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on nor represent any tacit approval or support for the proposed land use or any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
2. The petitioner is required to comply with Village standards for sidewalks, street trees, and site furnishings.
3. All signage must meet code, Chapter 30.

August 5, 2015

Steve Hautzinger AIA, Design Planner

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 15-097



August 5, 2014

Village of Arlington Heights

33 South Arlington Heights Road
Arlington Heights, Illinois 60005-1499
(847) 368-5000
Website: www.vah.com

Frank Panzarino
7 E. Miner Street
Arlington Heights, IL 60004

RE: 13 E. Miner Street
Temporary File # T1391

Dear Mr. Panzarino,

Thank you for the opportunity to review the proposed plans for a 4-story residential building at 13 E. Miner Street. The Staff Development Committee has reviewed the proposed plans and would offer the following comments and concerns which need to be incorporated into the planning process.

Zoning Requirements

1. The Plan Commission must review and the Village Board must approve the following actions:
 - A Preliminary and Final Planned Unit Development for a 4-story residential building in accordance with the provisions of Chapter 28, Zoning Regulations.
2. The Plan Commission must review and the Village Board must approve the following actions:
 - Land Use Variation from Section 28-5.5-3, Permitted Uses Table, Residential, to allow Apartment Building or Multiple Family Dwellings;
 - Variation from Section 28-5.1-14.6 from the required combined side yard setback of 30 feet to allow 5.81 feet;
 - Variation from Section 28-5.1-14.6 from the required rear yard of 30-feet for residential uses located above the first floor to allow 5 feet;
 - Variation from Section 28-11.5-2 from the required 13 parking spaces to allow 10 spaces;
 - Variation from Section 28-11.2-8 from the required two-way drive aisle width of 24 feet to allow 18 feet;
 - Variation from Section 28-11.7, Schedule of Loading Requirements, to waive the required loading berth for the development.

The petitioner must submit a response to the variation hardship criteria.

- *The property in question cannot yield a reasonable return if permitted to be used only under the condition allowed by the regulation in that zone; and*
- *The plight of the owner is due to unique circumstances; and*
- *The variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Plan Commission, sustains each of the three conditions enumerated.*

3. Additional zoning actions and variations may be required once more detailed plans are provided.

General Comments

- The property lies within Block 334 of the Downtown Master Plan. The Plan recommends that the entire block be redeveloped in a unified and cohesive manner. As an infill development, the project must fit in with the surrounding properties in terms of scale and uses. The height must be further evaluated and the lack of commercial on the first level is a significant issue which should be addressed.
- The property is designated as 'Mixed Use' on the Village's Comprehensive Plan. A residential development with no commercial component would not be consistent with the Comprehensive Plan. A land use variation will also be necessary from Section 28-

5.5-3, Permitted Uses Table: Residential, to allow Apartment Building or Multiple Family Dwellings. Staff cannot support this variation and commercial space should be incorporated on the first level of the proposed building.

- Per Chapter 28, Zoning Regulations, based on the apartment mix, 13 parking spaces must be provided. The proposed development will provide 10 parking spaces, thus requiring a variation. The remainder of the parking spaces will have to be provided for within the Village's parking garage. At this time, no permits are being issued for the north garage. However, the Village is evaluating the space allocation within the north garage. Parking for patrons of commercial space will be provided on-street, but employee parking must be in the garage.
- Please note that no accessible parking spaces are illustrated on the plan. Per Section 28-11.2-10.1, at least one accessible parking space must be provided. Therefore, it appears that the total parking spaces provided on site will be reduced to 9 spaces.
- It appears that 2 or possibly 3 on-street parking spaces on the south side of Miner Street will be lost to accommodate the garage entrance.
- A maximum proposed building height of 57 feet (to the highest point) complies with the maximum allowable building height of 90 feet in the B-5 district. The Downtown Master Plan limits the building height for this particular block (Block 334) to 4 to 5 stories and requires commercial space on the first level. The building appears too tall - the context of the block should be taken into consideration to ensure that the proposed development is in harmony with other development on the block.
- The existing overhead power lines provide service to all of the buildings within the block.
- It appears that water and sanitary sewer services servicing 12 E Northwest Highway traverse through this site (13 E. Miner) to Miner Street and would need to be relocated. A viable solution for all parties must be developed, including the possibility of a utility easement along the east side of the proposed development.
- The project must be evaluated against other Code requirements such as, but not limited to fire separation, exiting, light and ventilation, fire ratings to ensure that they are met.
- The applicant must provide a written response to the Village's affordable housing policy. Per the Village's affordable housing policy, for projects with 6 to 25 residential units proposed, 10% of the units are recommended to be available as affordable in perpetuity. Therefore for this project, 1 unit is recommended to be made available as affordable in perpetuity. However, a fee in lieu of can be paid. The suggested payment in lieu of providing the affordable units is \$75,000 per unit with the funds to be used by the Village exclusively to create and/or preserve affordable housing in the Village.
- School, Park and Library donations/fees will be required and will be calculated during the formal review process.
- Design Commission review shall be required as part of the formal review process.
- These are preliminary comments only, and should not be relied upon as identification of the only major concerns. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

Again, thank you for the opportunity to review your concept development plan. The next step is a meeting before the Plat and Subdivision Committee, which is a sub-committee of the Plan Commission. Per our discussion, this request is scheduled on the next Plat and Subdivision Committee agenda on August 13, 2014 at 6:30 p.m. I would also encourage you to download a copy of the Plan Commission application packet from the Village's website (http://www.vah.com/assets/1/documents/PC_Application_5-27-10_FILLABLE.pdf). This packet outlines the approval process and lists the submittal requirements.

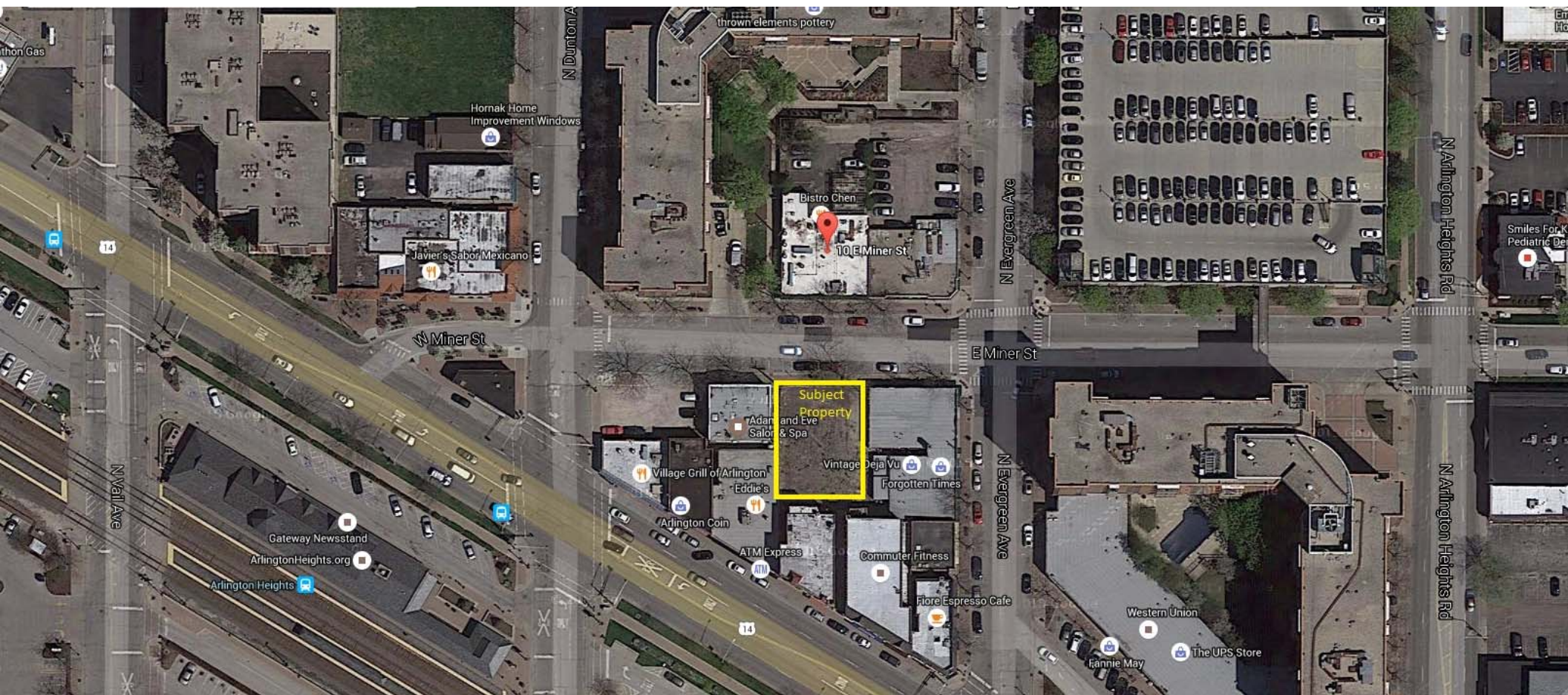
In the meantime, if you have any additional questions or comments, please feel free to contact me at (847) 368-5223.

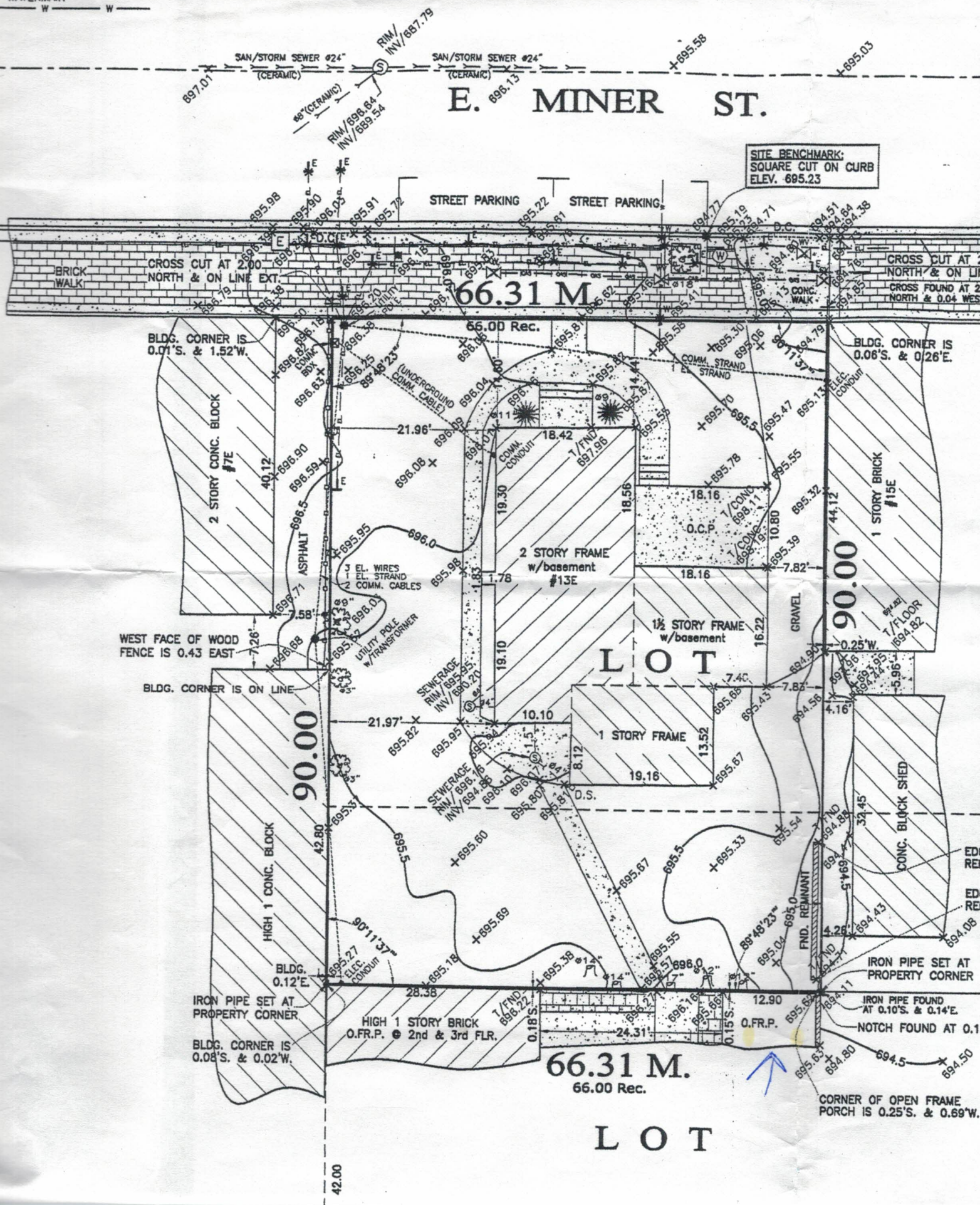
Sincerely,

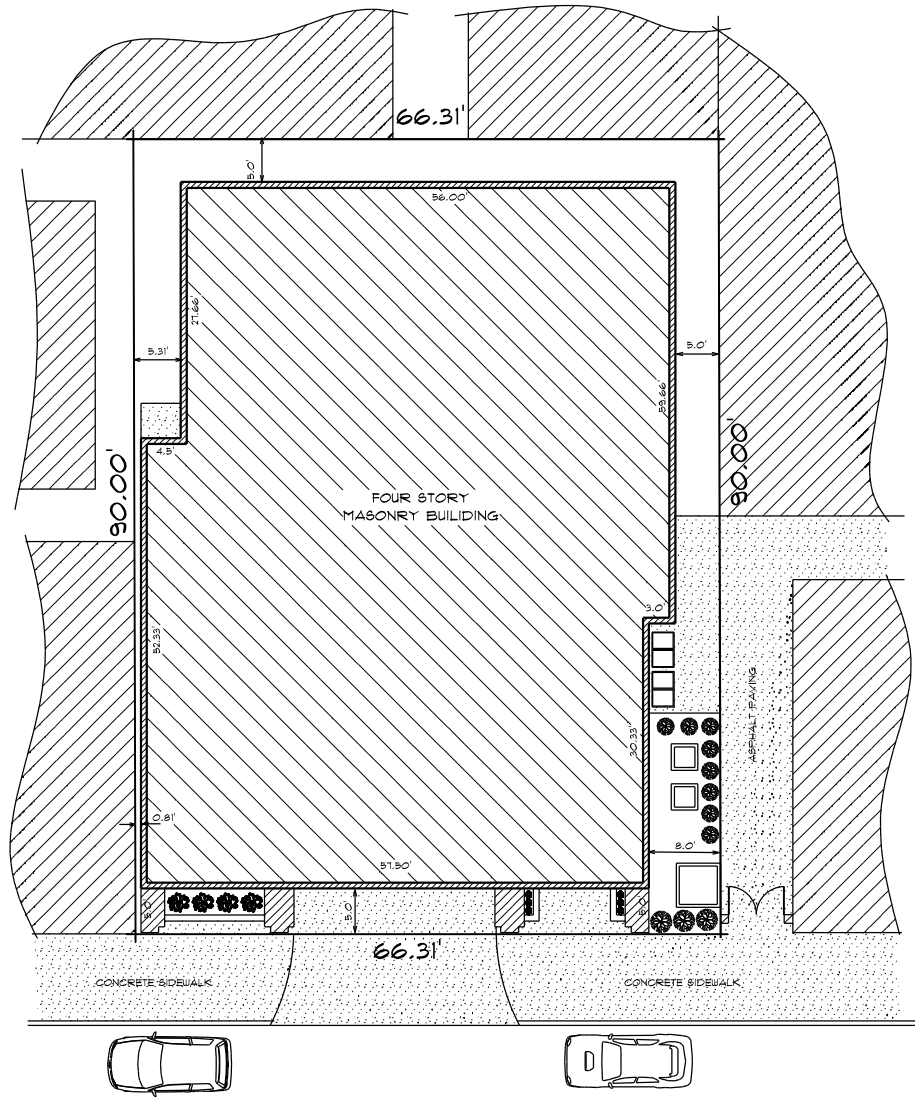


Latika V. Bhide
Development Planner
Department of Planning and Community Development

C: Charles Witherington-Perkins, Director of Planning and Community Development
Bill Enright, Deputy Director of Planning and Community Development







S I T E P L A N

S C A L E 1" = 10' - 0"



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13 EAST MINER STREET ARLINGTON HEIGHTS ILLINOIS 60004

DATE
JULY 21, 2014

REVISION

JOB #

SHEET #

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RENDERING



FRONT ELEVATION

SCALE 1/8" = 1'-0"



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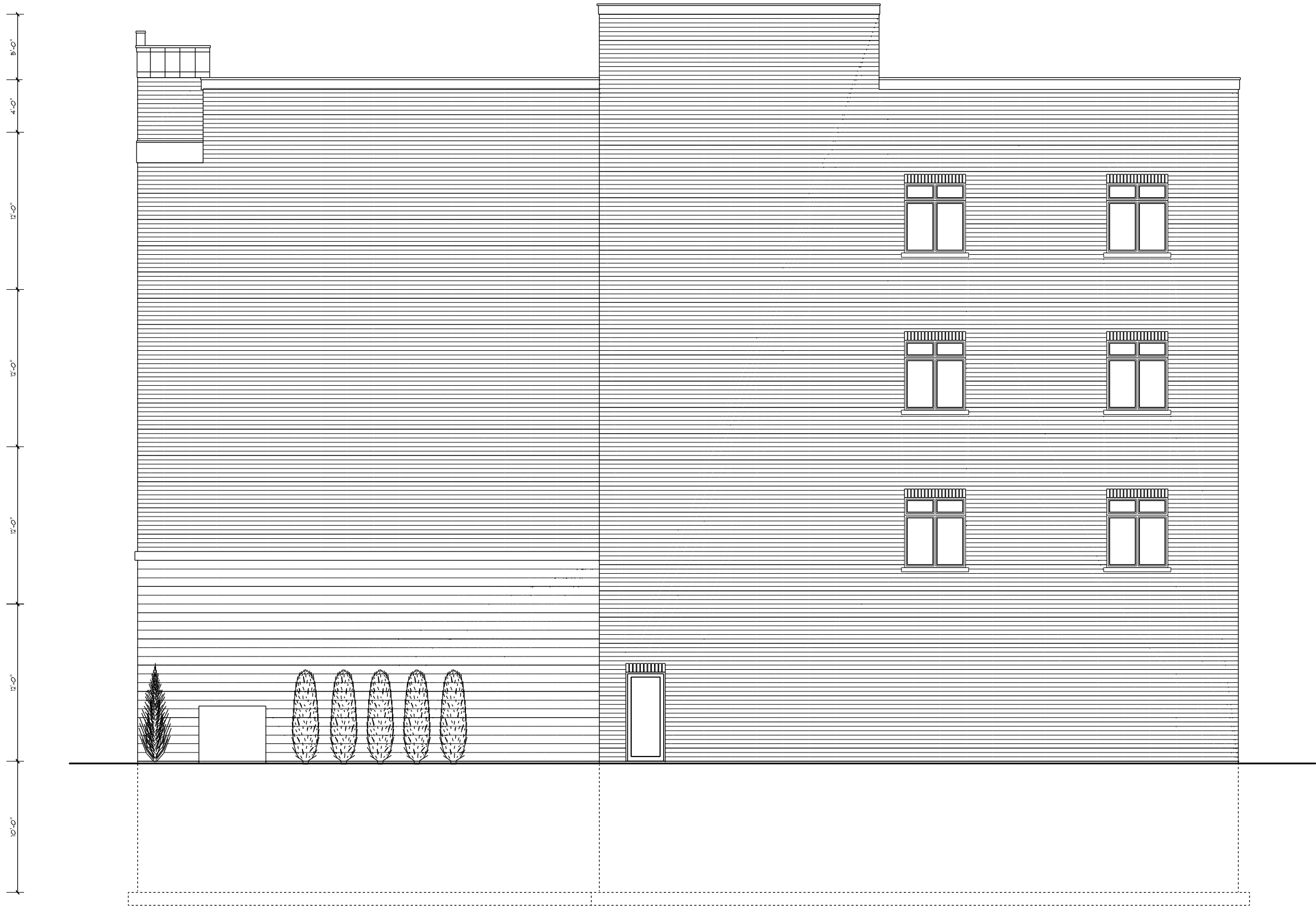
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A1



RIGHT ELEVATION

SCALE 1/8" = 1'-0"



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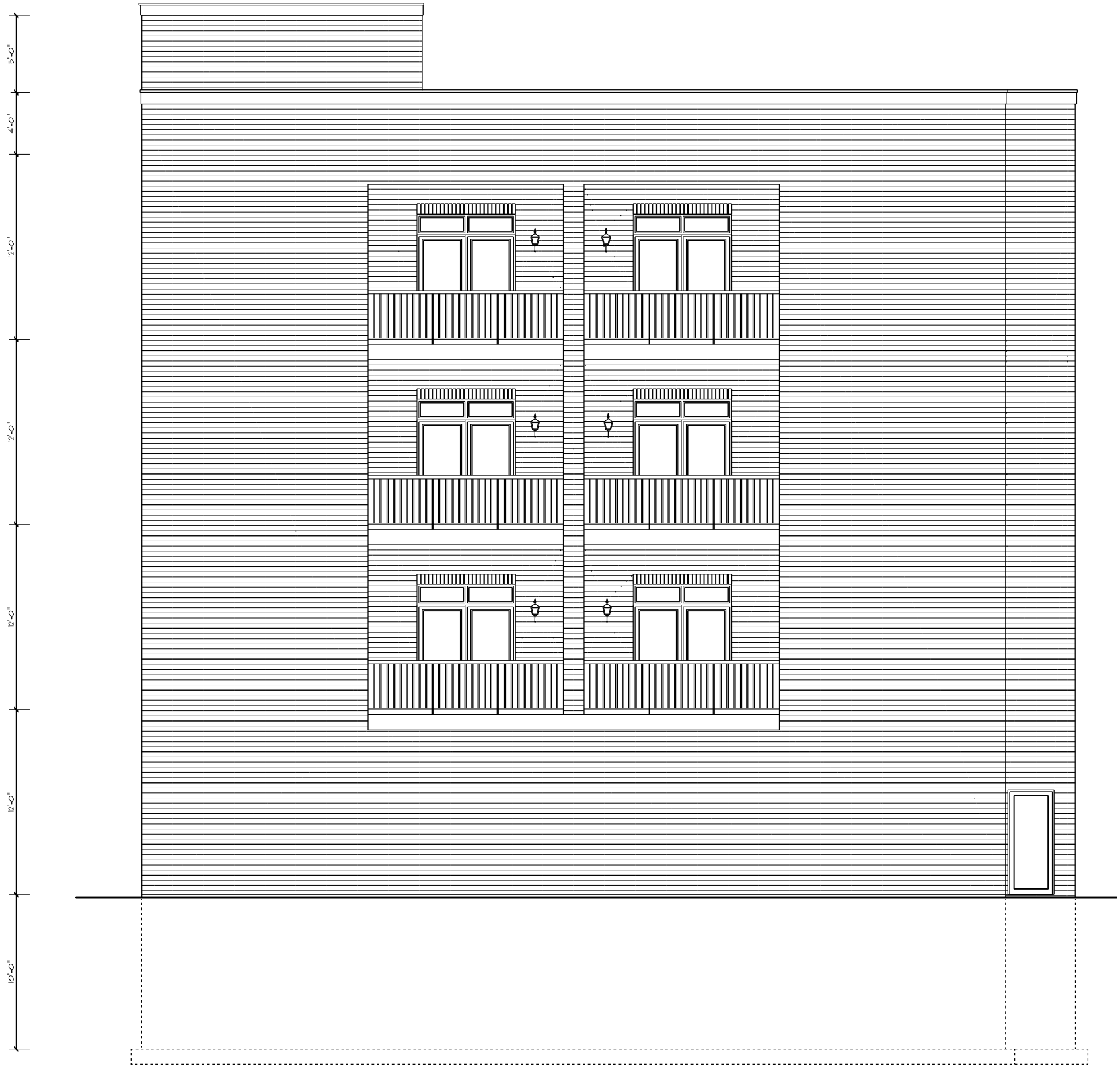
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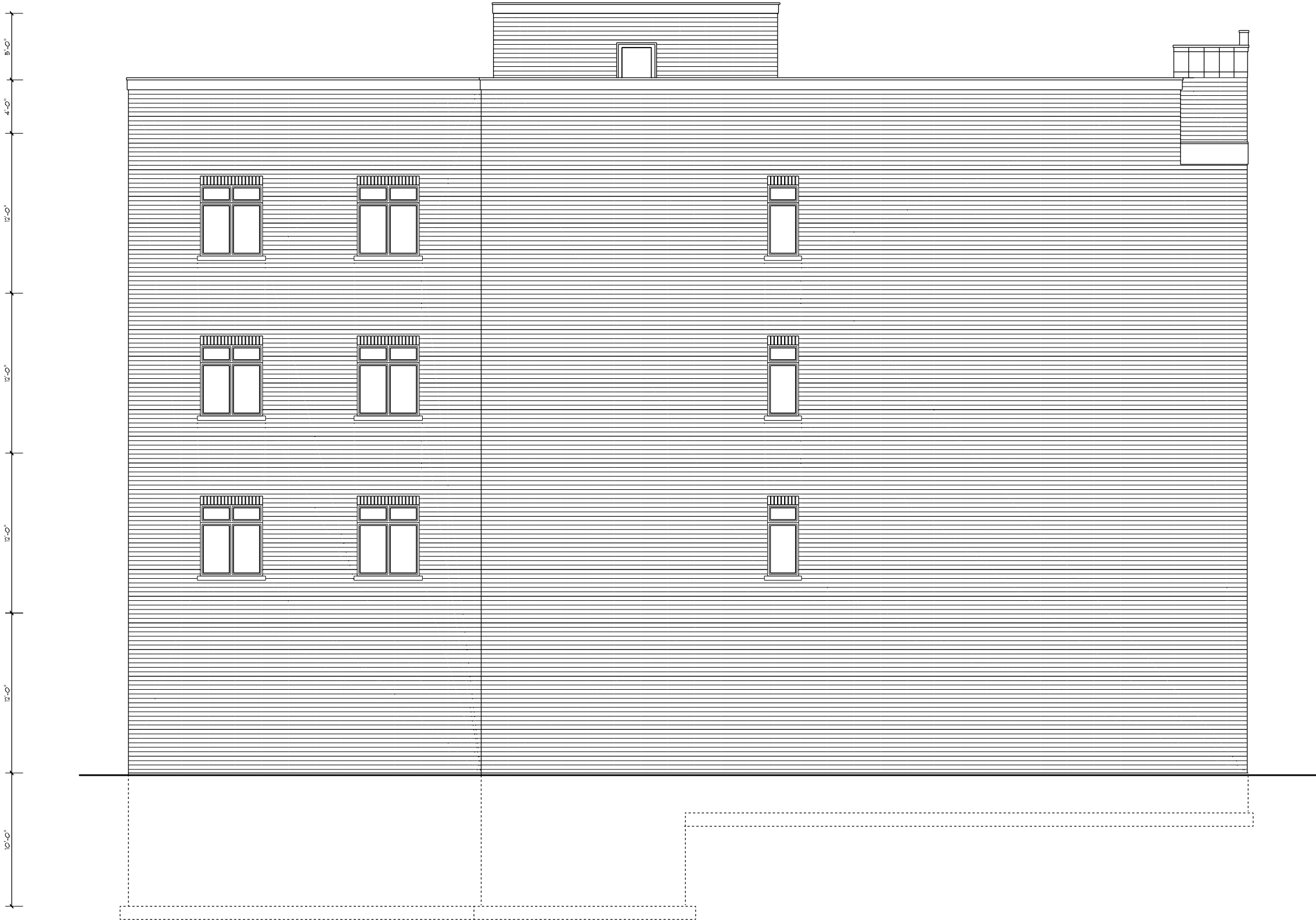
SHEET #

A2



REAR ELEVATION

SCALE 1/8" = 1' - 0"



LEFT ELEVATION

SCALE 1/8" = 1'-0"

13 E Miner St
12-unit Building Development
Material List & Landscape Plan

Brick:

Medium Ironspot #46 – Smooth Modnlar

Medium Ironspot #77

Window Casings:

Pella Window – Dark Brown

Balcony Railings:

Aluminum – Dark Color

Garage Door:

Mahogany Metal Door

Stone:

Indiana Lime Stone/ Line Stone

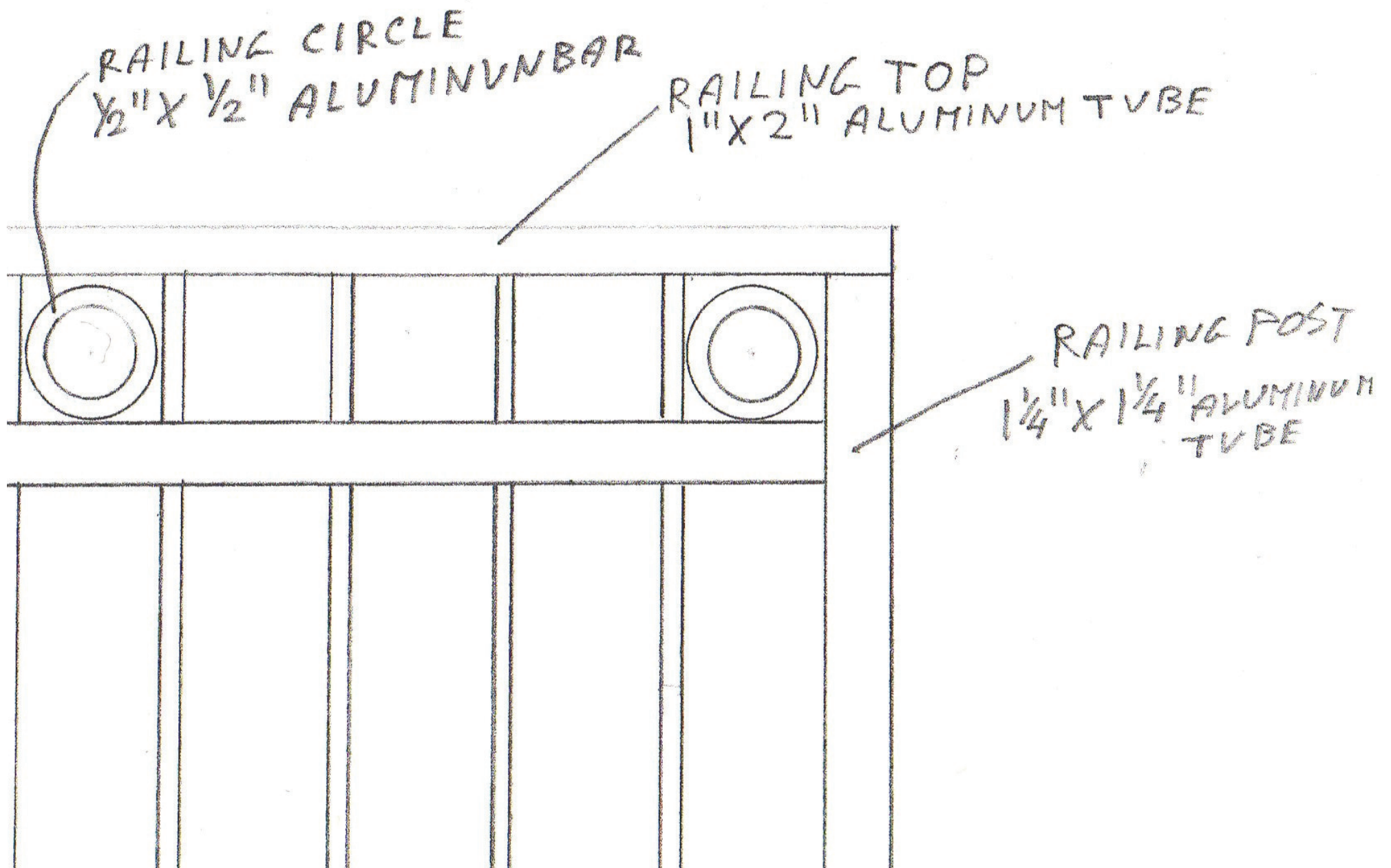
Landscaping:

This landscaping will be surrounding the electrical transfer switch and transfer gear on the side of the building.

Box Wood

Arbor Vitae

Yew Trees/ Schrubs





2-8



10



24

Duton St

E. Miner St.

Evergreen St

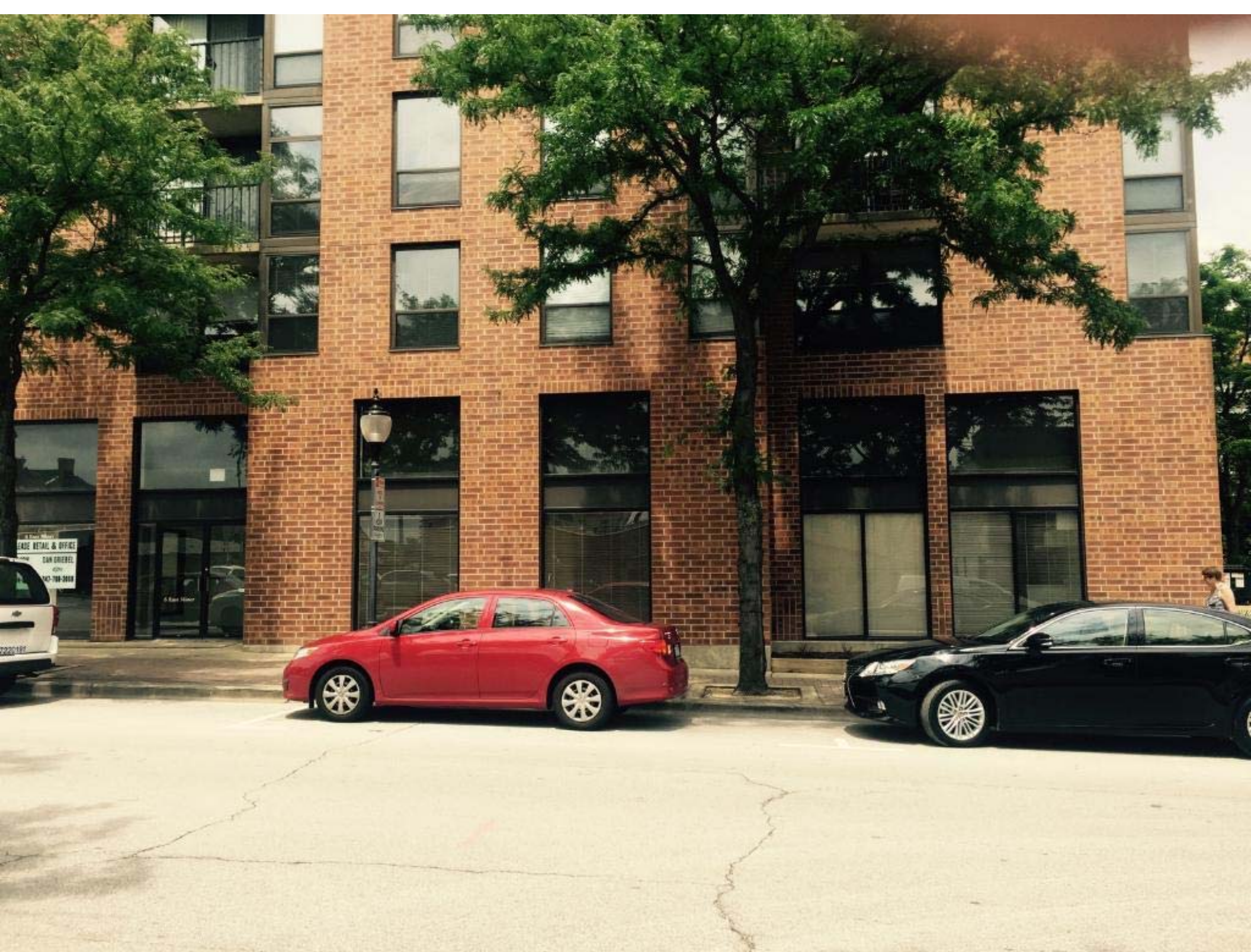
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7-11

13

15-21





LEASE RETAIL & OFFICE
DAN GRIEDEL
401-789-3000

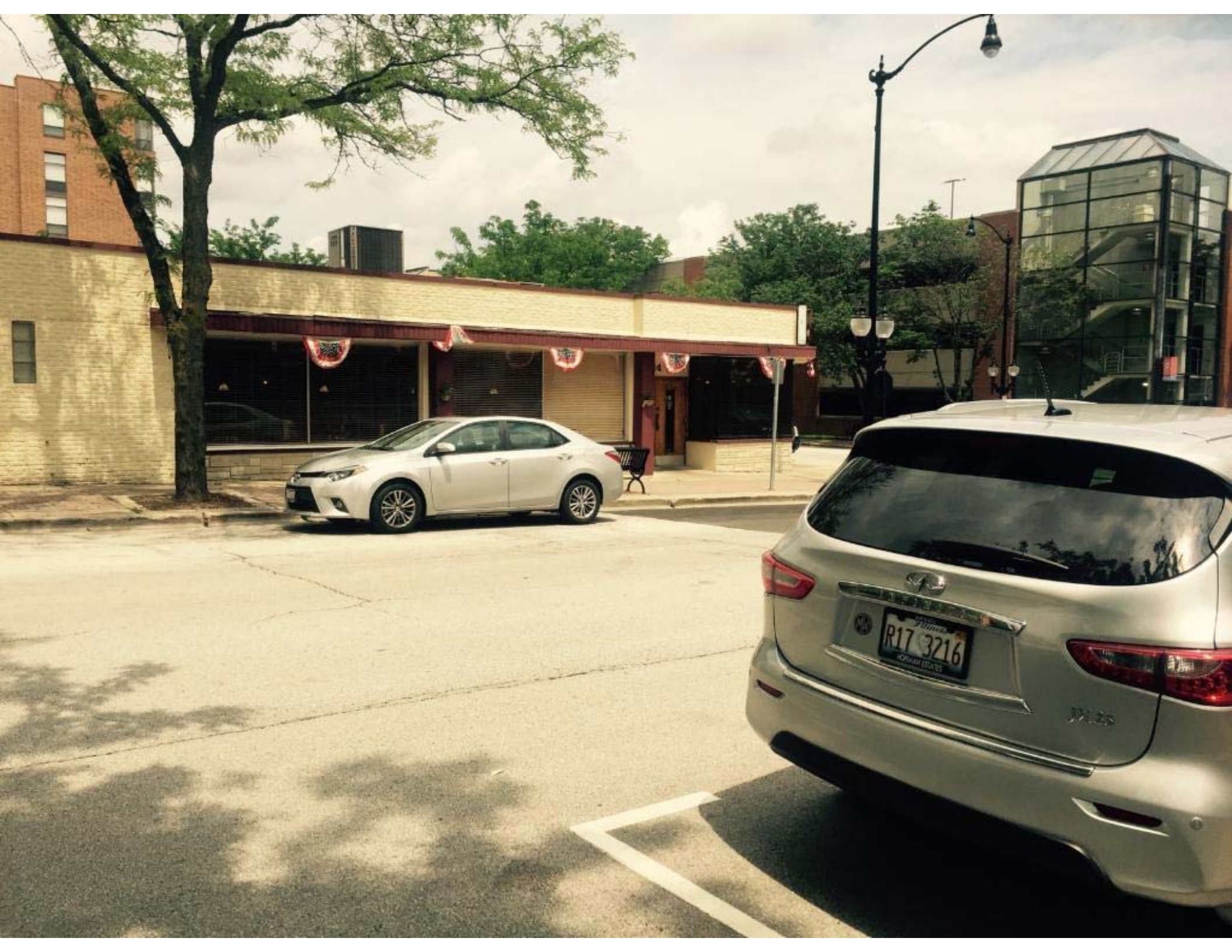
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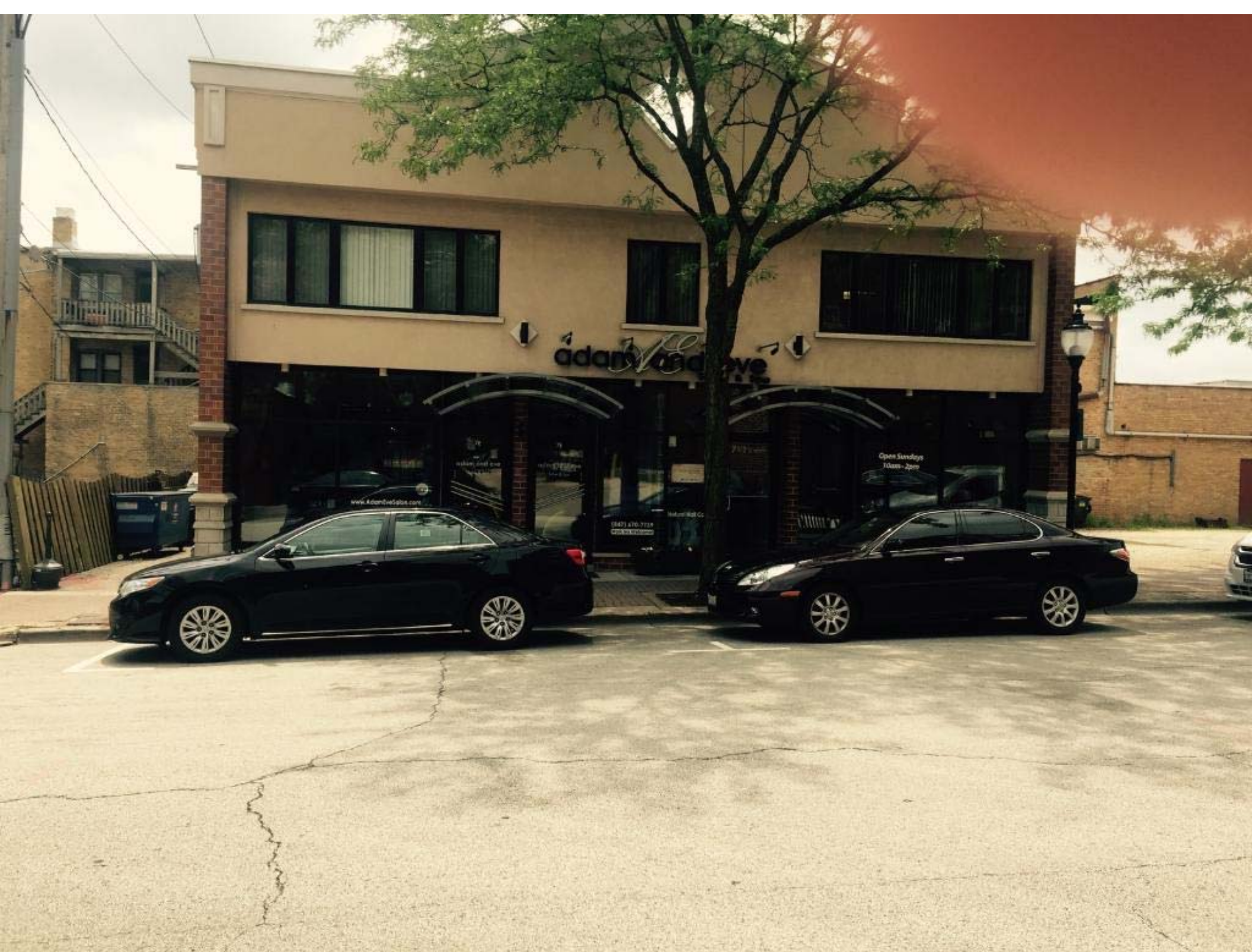
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Item: Budget 2016

Department: Planning & Community Development

Approval of the proposed budget for Fiscal Year 2016.

ATTACHMENTS:

Description	Type
Budget 2016	Exhibits

VILLAGE OF ARLINGTON HEIGHTS

BOARDS & COMMISSIONS 2016 BUDGET REQUESTS

Name of Board or Commission: DESIGN COMMISSION

Chair: TED ECKHARDT

	2014-15 Actual	8 Month Period Ending Dec. 2015 Adopted Budget	8 Month Period Ending Dec. 2015 Estimated Actual	2016 Proposed Budget	Accounts
CONTRACTUAL SERVICES:					
Photocopying	\$72	\$300	\$100	\$100	101-1015-502.22-15
COMMODITIES:					
Printing Supplies	\$0	\$0	\$0	\$200	101-1015-502.30-05
TOTAL EXPENDITURES	<u>\$72</u>	<u>\$300</u>	<u>\$100</u>	<u>\$300</u>	