



AGENDA

President and Board of Trustees
Village of Arlington Heights
Board Room

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005

August 1, 2016

8:00 PM

I. CALL TO ORDER

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL OF MEMBERS

IV. APPROVAL OF MINUTES

- A. Committee of the Whole 7/05/2016
- B. Village Board 07/18/2016

V. APPROVAL OF ACCOUNTS PAYABLE

- A. Warrant Register 7/30/16

VI. RECOGNITIONS AND PRESENTATIONS

VII. PUBLIC HEARINGS

VIII. CITIZENS TO BE HEARD

Anyone wishing to speak on a subject not on the Agenda should fill out a card, located in the back of the room, and hand it to the Village Clerk. Please limit your comments to three minutes.

IX. OLD BUSINESS

- A. Report of the Committee-of-the-Whole Meeting of August 1, 2016

Interview of John Zilewicz for Appointment to the Arts Commission
- Term Ending: 4/30/18
- B. Report of the Committee-of-the-Whole Meeting of August 1, 2016

Interview of Rex Paisley for Appointment to the Arlington Economic Alliance (Top 20 Employer) - Term Ending: 4/30/17

X. CONSENT AGENDA

This Agenda consists of proposals and recommendations that, in the opinion of the Village Manager, will be acceptable to all members of the Board of Trustees. The purpose of this Agenda is to save time by taking only one roll call vote instead of separate votes on each item.

Consideration of this Consent Agenda will be governed by the following rules and procedures prior to roll call vote:

1. Any Trustee who wishes to vote "no" or "pass" on any Consent Agenda items should so indicate.
2. Upon the request of any one Trustee, any item will be removed from the Consent Agenda and considered separately after adoption of the Consent Agenda.
3. Citizens in the audience may ask to remove any item on this Consent Agenda.
4. One roll call vote will be taken and will cover all remaining Consent Agenda items.

CONSENT LEGAL

- A. An Ordinance Repealing Ordinance Number 05-056
(Repeal amendment of a special use permit and granting a special use permit and land use variation for former Oscar's of Arlington, 107 W. Campbell St.)

CONSENT REPORT OF THE VILLAGE MANAGER

- A. TIF IV Budget Amendment

CONSENT APPOINTMENTS

- A. Reappointment of Colleen Ungurean to the PAM Board of Directors -
Term Ending: 7/20/19

CONSENT PETITIONS AND COMMUNICATIONS

- A. Bond Waiver - St. James
- B. Permit Fee Waiver - Arlington Heights Park District
- C. Permit Fee Waiver - Arlington Heights Park District - Hasbrook
Water Service Replacement

XI. APPROVAL OF BIDS

XII. NEW BUSINESS

- A. Our Saviour Lutheran Church Columbarium - 1234 N. Arlington
Heights Rd. - PC#16-014
Special Use Permit to allow a Columbarium
- B. Faith Lutheran Church/Lambs of Faith Early Childhood Center - 431
S. Arlington Heights Rd. - PC#16-015
Amendment to Special Use

- C. BCRB - Proposed Variance Request from Chapter 23, Section 23-302, R309.1

XIII. LEGAL

XIV. REPORT OF THE VILLAGE MANAGER

- A. Stormwater Update

XV. APPOINTMENTS

XVI. PETITIONS AND COMMUNICATIONS

- A. Request for Closed Session per 5 ILCS 120/2(c)(21): Discussion of minutes lawfully closed, whether for purposes of approval of the minutes or the semi-annual review of the minutes

- and -

5 ILCS 120/2(c)(5): Purchase or lease of real property for the use of the public body, including discussing whether a particular parcel should be acquired

XVII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Committee of the Whole 7/05/2016

Department: Village Clerk

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Bid Amount:

ATTACHMENTS:

Description	Type
Committee of the Whole 7/05/2016	Minutes



MINUTES

President and Board of Trustees
Village of Arlington Heights
Committee-of-the-Whole
Community Room
Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
July 5, 2016
7:15 PM

I. CALL TO ORDER

Mayor Tom Hayes called the meeting to order at 7:15 PM.

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

BOARD MEMBERS PRESENT: Mayor Thomas Hayes; Trustees Blackwood, Farwell, Glasgow, LaBedz, Rosenberg, Scaletta, and Sidor

BOARD MEMBERS ABSENT: Trustee Tinaglia

STAFF MEMBERS PRESENT: Village Manager Randy Recklaus; Assistant Village Manager Diana Mikula

OTHERS PRESENT: John Gurhy, Troy Malik

IV. NEW BUSINESS

- A. Consideration of recommending to the Liquor Commissioner the issuance of a Class "E" Liquor License to Scruffy's Kitchen, Inc., dba Scruffy's Kitchen located at 2200 W. Euclid Avenue (Backstretch Kitchen)

Mayor Hayes swore in John Gurhy.

Ms. Mikula presented the staff report on John Gurhy. Mr. Gurhy is the vendor providing food and beverage service for the Backstretch Kitchen through October 15. There is a lease agreement with the vendor that starts May 1 and ends around Oct. 15. Mr. Gurhy has 100% interest in the Corporation. No convictions were disclosed and no criminal derogatory information was found.

Mayor Hayes asked Mr. Gurhy about his experience in the restaurant and liquor business. Mr. Gurhy replied he had a bar from 1987 to 1990. Since then, he has not had a liquor license but worked at a few bars and has been an assistant manager. He also had a café with just food only from 2004 to 2007.

Mayor Hayes asked Mr. Gurhy if any of the establishments that he owned, operated or served at had been cited for any local liquor violations. Mr. Gurhy replied no. Mayor Hayes asked Mr. Gurhy if he personally had a license, revoked, or suspended at any location. Mr. Gurhy replied no. Mayor Hayes asked Mr. Gurhy if he was Bassett trained and Mr. Gurhy said yes. Mayor Hayes asked when he had obtained his Bassett card. Mr. Gurhy said in early June. Mayor Hayes asked Mr. Gurhy how many total employees he had. Mr. Gurhy said two employees for serving beer besides himself who are also Bassett trained. Mayor Hayes asked Mr. Gurhy how the alcohol would be served at the counter as people go through to pick up their food. Mr. Gurhy said the beer is served in cans only and wine is only available for private parties. He said he is not allowed to serve wine to the general population there. Ms. Mikula said that Mr. Gurhy sought a "beer only" classification but the closest classification is the "beer and wine" only liquor license.

Mayor Hayes asked Mr. Gurhy about his menu and his hours. Mr. Gurhy said most of the food is Mexican food. Mr. Gurhy said he is open Monday through Thursday until 7:00 p.m., Friday and Saturday until 10:00 p.m., and Sunday until 9:00 p.m. Mayor Hayes asked if the kitchen was open until those hours. Mr. Gurhy said the kitchen would close 7:00-7:30 pm. Mayor Hayes asked what food was still available between 7:00 and 7:30 p.m., 10:00 p.m. and 9:00 pm. Mr. Gurhy said it would be a reduced menu.

Trustee Glasgow asked Mr. Gurhy if he planned on operating 6-8 months out of the year. Mr. Gurhy said he will operate just the remainder of the season until Sept. 28. There will be reduced clientele until Oct. 15.

Trustee Glasgow asked Mr. Gurhy what he would be doing after the horsemen leave until racing starts again. Mr. Gurhy said he also works in the mortgage business.

Trustee Glasgow asked about staff. Mr. Gurhy said he has two workers up front and three in the kitchen. Trustee Glasgow asked if the two workers would be seasonal employees. Mr. Gurhy said yes. Trustee Glasgow asked if they were employed elsewhere with Mr. Gurhy. Mr. Gurhy said one of them would be employed by the main kitchen at Arlington Park and the other employee works at another establishment.

Trustee Glasgow said he counted 27 tables with 4 at each table and said it was a large number of patrons for two employees to take care of for beer sales. Mr. Gurhy said he has reduced staff because the population of horses, and thus the workers there, has gone down.

Trustee Glasgow said he had questions regarding the menu and pricing and if it was his total menu. Mr. Gurhy said he has added lunch and dinner specials with something different every day. Trustee Glasgow asked about his price for drinks. Mr. Gurhy said he would charge \$2.75 for Mexican beer and \$2.00 for American beer.

Trustee Glasgow asked Mr. Recklaus about the number of police calls to the area. Mr. Recklaus said that from the beginning of the 2015 racing season to the present day there were ninety-one 911 calls for service in the general vicinity of the Backstretch. There were domestic issues, one death investigation, and a handful of other issues for approximately 1500 residents living there. Trustee Glasgow asked how many issues were alcohol-related. Mr. Recklaus said he did not have that information.

Trustee Sidor asked Mr. Recklaus if the 911 calls were over a 4-5 month period of time. Mr. Recklaus said yes, since there is no activity the rest of the year.

Trustee Rosenberg asked Mr. Gurhy about his employment at Irish Times in Brookfield, IL. Mr. Gurhy said he was the Assistant Manager. Trustee Rosenberg asked if there were any liquor violations while Mr. Gurhy was at Irish Times. Mr. Gurhy replied no.

Mayor Hayes asked how long Mr. Gurhy would be at Scruffy's during the day. Mr. Gurhy said at the moment he is there 16 hours a day.

Trustee Scaletta asked Ms. Mikula if the liquor license was prorated when a business is only open part of the year. Ms. Mikula replied that yes, the liquor license period is May 1 to April 30 so new licenses that come in and approved by the Board are prorated.

Trustee Scaletta asked Mr. Gurhy if he understood that there is concern that he makes sure his business is operated professionally, that minors are not served, and that those that appear to be over-served are cut off from further alcohol. Mr. Gurhy agreed.

Trustee Blackwood asked Mr. Gurhy about his menu and how often he would be at the kitchen until 10:00 p.m. since the bulk of his menu is breakfast and lunch. Mr. Gurhy said alcohol would be cut off at about 9:00 p.m. and the kitchen closed at 10:00 p.m.

TRUSTEE SCALETTA MOVED, SECONDED BY TRUSTEE FARWELL TO RECOMMEND THAT THE VILLAGE BOARD OF TRUSTEES RECOMMEND TO THE LIQUOR COMMISSIONER THE ISSUANCE OF A CLASS "E" LIQUOR LICENSE TO SCRUFFY'S KITCHEN INC., DBA SCRUFFY'S KITCHEN, LOCATED AT 2200 W. EUCLID AVENUE.

The motion passed.

8 AYES 0 NAYES

B. Interview of Troy Malik for Appointment to the Environmental Commission - Term Ending: 4/30/17

The Board reviewed Mr. Malik's resume and discussed his interest in serving on the Environmental Commission. Trustee Scaletta thanked Mr. Malik for his willingness to serve. He asked Mr. Malik how his business background would benefit the Environmental Commission. Mr. Malik said his greatest strength is the opportunity to use his time for issues the Village is interested in and providing a different perspective and coming up with new recommendations that not only support Village residents and businesses but also the Board. Mr. Malik said there is an opportunity to educate residents on the environment and he sees himself in that role. He feels it's important to inform people on what they can do differently with small changes to make a big impact.

TRUSTEE GLASGOW MOVED TO CONCUR IN THE MAYOR'S APPOINTMENT OF TROY MALIK TO THE ENVIRONMENTAL COMMISSION WITH TERM ENDING 4/30/17. TRUSTEE SCALETTA SECONDED THE MOTION. 8 AYES 0 NAYES

The motion passed.

V. OTHER BUSINESS

VI. ADJOURNMENT

Trustee Scaletta moved, and Trustee Sidor seconded the motion to adjourn.

The meeting adjourned at 7:57 p.m.



Item: 07/18/2016 Village Board

Department: Village Clerk

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Bid Amount:

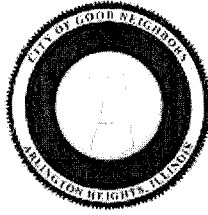
ATTACHMENTS:

Description

7/18/2016 Village Board

Type

Minutes



MINUTES

President and Board of Trustees
Village of Arlington Heights
Board Room
Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
July 18, 2016
8:00 PM

I. CALL TO ORDER

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL OF MEMBERS

President Hayes and the following Trustees responded to roll: Sidor, Farwell, LaBedz, Glasgow, Tinaglia, Scaletta, Blackwood.

Trustee Rosenberg was absent.

Also Present were: Randy Recklaus, Diana Mikula, Ben Schuster, Charles Perkins, Robin Ward, Steve Hautzinger and Pam Wilkiel. Ben Sell was in attendance as Shadow Mayor.

IV. APPROVAL OF MINUTES

A. Committee-of-the-Whole 6/27/2016 Approved

Trustee John Scaletta moved to approve. Trustee Mike Sidor Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Glasgow, Hayes, LaBedz, Scaletta, Sidor, Tinaglia

Abstain: Farwell

Absent: Rosenberg

B. Village Board 07/05/2016 Approved

Trustee Joe Farwell moved to approve. Trustee Robin LaBedz Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor

Abstain: Tinaglia

Absent: Rosenberg

C. Committee of the Whole 7/11/2016

Approved

Trustee Thomas Glasgow moved to approve. Trustee Robin LaBedz
Seconded the Motion.

The Motion: Passed

Ayes: Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor, Tinaglia

Abstain: Blackwood

Absent: Rosenberg

V. APPROVAL OF ACCOUNTS PAYABLE

A. Warrant Register 7/15/16

Approved

Trustee Joe Farwell moved to approve the Warrant Register of 7/15/2016 in
the amount of \$1,308,418.18. Trustee Thomas Glasgow Seconded the
Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor,
Tinaglia

Absent: Rosenberg

VI. RECOGNITIONS AND PRESENTATIONS

VII. PUBLIC HEARINGS

VIII. CITIZENS TO BE HEARD

Joe Keefe, Executive Director of Metropolis Performing Arts Center stated
that electronic signage helps presents emotions more readily and
adaptively than fixed signs, and said animated messages helps people
connect to it. He felt that an electronic sign would provide enormous
benefits to the Metropolis by providing information to current and potential
customers who are not aware of upcoming shows when they are dining
Downtown. Mr. Keefe went on to say that Metropolis has limited visual
messaging, does not have a marque, and is limited to communicate
potential impulse buys. He asked the Board to consider adding sensible
electronic signage to the Village's business areas.

Keith Moens, Village resident, felt that the Board sometimes does not
follow the Roberts Rules or Order in managing main motions during Village
meetings. He said that the Village has a President, not a Mayor, and said

that the proper way to introduce a main motion is to start with "Mr. President" or "President Pro-tem". He went on to explain his interpretation of the Roberts Rules of Order regarding motions made and the amendments of motions made, and felt that it was important that what is being voted on is clear and understood by the audience.

IX. OLD BUSINESS

- A. Report of the Committee-of-the-Whole Meeting of July 11, 2016 Approved

Possible Creation of a New Liquor License Classification

Trustee Farwell moved, seconded by Trustee Tinaglia, that the Committee-of-the-Whole recommend to the Village Board to direct staff to develop an ordinance creating a Class "L" Liquor License for approval at the July 18, 2016 Village Board Meeting. The motion carried.

Trustee Sidor asked staff that when looking at the characteristics of this new liquor license classification to address and explore how it would work when restaurants where food will be ordered from and brought into the establishments that would now be able to serve liquor under this classification close before they do. Ms. Mikula said that staff will do so.

Trustee Joe Farwell moved to approve. Trustee Jim Tinaglia Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor, Tinaglia

Absent: Rosenberg

- B. Report of the Committee-of-the-Whole Meeting of July 11, 2016 Approved

Paver Brick Follow-up

Trustee LaBedz moved, seconded by Trustee Glasgow, that the Committee-of-the-Whole recommend to the Village Board to direct staff to incorporate the following new design standards into a Request for Proposals Downtown Paver Maintenance Program:

- Use of premium concrete paver bricks
- Use of open graded aggregate base
- Use of concrete pinning at curb, border, and 18-inch band interfaces

- Use of concrete base at intersection
keystones
- Use of lateral concrete bands at 30-foot
intervals

The motion carried.

Trustee Robin LaBedz moved to approve. Trustee Thomas Glasgow
Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor,
Tinaglia

Absent: Rosenberg

- C. Report of the Committee-of-the-Whole Meeting of July 18, 2016 Approved

Consideration of recommending to the Liquor
Commissioner the issuance of a Class "A" Liquor
License to Mowa Inc., dba MOWA located at 4216
N. Arlington Heights Road

Trustee Thomas Glasgow moved to recommend to the Liquor Commissioner
the issuance of a Class "A: Liquor License to Mowa Inc. Trustee Jim
Tinaglia Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor,
Tinaglia

Absent: Rosenberg

- D. Report of the Committee-of-the-Whole Meeting of July 18, 2016 Approved

Interview of Daniel Kowalczyk for Appointment to
the Environmental Commission - Term Ending:
4/30/17

President Hayes administered the Oath of Office to Mr. Kowalczyk.

Trustee Robin LaBedz moved to approve. Trustee Thomas Glasgow
Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor,
Tinaglia

Absent: Rosenberg

- E. Report of the Committee-of-the-Whole Meeting of Approved
July 18, 2016

Interview of Claudia Glasgow for Appointment to
the Youth Commission - Term Ending: 4/30/17

President Hayes administered the Oath of Office to Ms. Glasgow.

Trustee Jim Tinaglia moved to approve 16-035. Trustee Mike Sidor
Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Hayes, LaBedz, Scaletta, Sidor, Tinaglia

Abstain: Glasgow

Absent: Rosenberg

- F. Report of the Committee-of-the-Whole Meeting of Approved
July 18, 2016

Interview of Amalia Sordo-Palacios for
Appointment to the Youth Commission - Term
Ending: 4/30/17

President Hayes administered the Oath of Office to Ms. Sordo-Palacios.

Trustee Joe Farwell moved to approve. Trustee Robin LaBedz Seconded the
Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor,
Tinaglia

Absent: Rosenberg

- G. Report of the Committee-of-the-Whole Meeting of Approved
July 18, 2016

Interview of William Delea for Appointment to the
Housing Commission - Term Ending: 4/30/18

President Hayes administered the Oath of Office to Mr. Delea.

Trustee Thomas Glasgow moved to approve. Trustee Robin LaBedz
Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor,
Tinaglia

Absent: Rosenberg

X. CONSENT AGENDA

CONSENT OLD BUSINESS

CONSENT APPROVAL OF BIDS

- A. West Tank #16 - Change Order 1 Approved

Trustee Thomas Glasgow moved to approve. Trustee Jim Tinaglia Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor, Tinaglia

Absent: Rosenberg

- B. Consultant for Classification and Compensation Study Approved

Trustee Thomas Glasgow moved to approve. Trustee Jim Tinaglia Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor, Tinaglia

Absent: Rosenberg

CONSENT LEGAL

- A. An Ordinance Granting a Land Use Variation and a Approved Variation from Chapter 28 of the Arlington Heights Municipal Code (Carnica Auto Detail, 208 W. University Drive)

Trustee Thomas Glasgow moved to approve 16-031. Trustee Jim Tinaglia Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor, Tinaglia

Absent: Rosenberg

- B. An Ordinance Granting a Land Use Variation and a Approved Variation from Chapter 28 of the Arlington Heights Municipal Code (Swaminarayan Gurukul - USA, 402 S. Arlington Heights Road)

Trustee Thomas Glasgow moved to approve 16-032. Trustee Jim Tinaglia Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor, Tinaglia

Absent: Rosenberg

- | | | |
|----|---|----------|
| C. | An Ordinance Approving an Amendment to
Planned Unit Development Ordinance Numbers
87-052 and 05-088, and Granting a Variation from
Chapter 28 of the Arlington Heights Municipal
Code
(Sunset Meadows Park, 700 S. Dwyer Avenue) | Approved |
|----|---|----------|

Trustee Thomas Glasgow moved to approve 16-033. Trustee Jim Tinaglia Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor, Tinaglia

Absent: Rosenberg

- | | | |
|----|--|----------|
| D. | An Ordinance Amending Chapter 17 of the
Arlington Heights Municipal Code
(Section 17-107 - Annual Fees - Trucks) | Approved |
|----|--|----------|

Trustee Thomas Glasgow moved to approve 16-034. Trustee Jim Tinaglia Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor, Tinaglia

Absent: Rosenberg

- | | | |
|----|--|----------|
| E. | An Ordinance Authorizing the Execution of a Real
Estate Contract (Purchase of 1665 South Arlington
Heights Road) | Approved |
|----|--|----------|

Trustee Thomas Glasgow moved to approve. Trustee Jim Tinaglia Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor, Tinaglia

Absent: Rosenberg

CONSENT REPORT OF THE VILLAGE MANAGER

CONSENT PETITIONS AND COMMUNICATIONS

- A. Permit Fee Waiver - Arlington Heights Park District Approved

Trustee Thomas Glasgow moved to approve. Trustee Jim Tinaglia Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor, Tinaglia

Absent: Rosenberg

XI. APPROVAL OF BIDS

XII. NEW BUSINESS

- A. Sign Code Modifications - Electronic Signs
Village-Wide - DC#09-025

President Hayes stated that at his request, after driving through other communities that have a number of electronic signs that allowing them should be explored in order to make sure that the Village maintains a competitive advantage and/or level playing field with surrounding communities, and at least a limited place for them in the Village of Arlington Heights.

Mr. Ted Eckhardt, Design Commission Chairman thanked the Board, Mr. Perkins and Mr. Hautzinger for their support of the Design Commission. He explained that after the passing of Design Commission member Alan Bombick the Commission has established and passed a resolution for an "Alan F. Bombick Annual Design Award" that would have two or three categories. Mayor Hayes thought that it was very appropriate.

Mr. Eckhardt started by saying that the Design Commission looked at electronic signs in 2006 and reviewed it again in 2007, 2008, and 2012, and talked about some sign requests, including Patton Elementary School that have been denied. He went on to say that he is one of the five voices of the Design Commission that have worked hard on this. He stated that after President Hayes' request for staff to create a report on electronic signs, Village Design Planner, Steve Hautzinger researched and put it together and gave it to the Design Commission to study.

Mr. Hautzinger gave some background on electronic signage history, saying that in 2007 there were a few sign variation requests that were denied by the Design Commission. He also said that in 2009 staff prepared a detail

study on electronic signage that was reviewed with the Design Commission where it was decided not to continue to allow electronic signs, but that manual change bulletin board sign code regulations were clarified and expanded.

In 2012 a visual preference survey that included residents, business owners, and sign companies, was conducted to evaluate many signs including electronic signage saying that there was a lack of support for them. Mr. Hautzinger noted that Patton Elementary School's signage request came back to the Design Commission in 2015 where there was a productive and thorough review, but in the end it was denied because different concerns, specifically being a nuisance in a neighborhood across from residential homes, and the precedent that would be set if approved for all schools, churches, and park facilities in residential neighborhoods.

Mr. Hautzinger continued by showing a map of the Village showing the 74 schools, churches, and parks throughout Arlington Heights, and then talked about the various types of electronic signs; LED, LCD, and Electronic Ink. He explained that LED is the prevalent signage and that it is very bright and glaring which is a big concern. He added that LED can scroll, animate, and play video. Mr. Hautzinger stated that the LCD signs are similar to high definition televisions and that they are full color, very bright, can do static images or video. He said that they are used for close-up viewing applications and have been used more for interior signage for restaurant menus, but are showing up in some drive-through menus.

Mr. Hautzinger stated Electronic Ink Technology was discovered when research was being done for a solution for Patton Elementary School. He said that Electronic Ink is easy on the eyes and has the appearance of printed ink on paper. He also said that it does not emit any light, has no glare, and is very green and sustainable because it uses little power. He said Electronic Ink has great potential, and said that the only limitation is that it is an emerging technology that is not yet prevalent and is under development for widespread signage applications. Currently it only has a white background, but they are working on perfecting it in color. He also noted that this type of signage may work for Metropolis because of all the residents around it.

Mr. Hautzinger went on to show a changeable panel sign which is an aesthetically pleasing way to change information on a sign without introducing electronic signage. He noted that the Arlington Heights sign code was recently amended to allow this type of changeable sign panel.

Mr. Hautzinger went over the questions that were discussed as staff launched into the study with the Decision Commission which included:

- Should the Village continue to explore electronic signage? What image does the Village want for its commercial corridors?
- Should they be allowed in residential districts when they are across from residential homes?

- Should they be allowed for all business and manufacturing districts?
- Should they be used for major tourism venues such as Arlington Race Course, Metropolis, Star Cinema Grill or a major development like Arlington Downs?
- Should they be allowed around Route 90 and Route 53?
- Should they be allowed as of right, or through an additional discretionary review process?
- Should we defer electronic signage until more energy efficient and aesthetically pleasing technology is prevalent and readily available?

Mr. Hautzinger finished his presentation by showing photos of electronic signs in other communities.

Mr. Eckhardt said that coming into this, that his mind was open completely and that he believes that electronic signs are the coming thing and that they are practical but bring with them the need for some control and new technology. He said that the issues that play into this complicated decision is with the image of Arlington Heights, the nuisance factor, traffic safety, code enforcement, and the environment. Mr. Eckhardt then went over some of the Design Commission feedback on electronic signage. He did say that the Commission agreed that there is a need for public information and bulletin board signs that should be considered and that they all supported the Electronic Ink signs as a good alternative to LED.

Mr. Eckhardt stated that staff prepared five categories for electronic signage with recommendations for the Design Commission to consider. They were:

1. Community-Wide Commercial Businesses
2. Major Tourism Venues
3. Schools, Churches, Government, and Park District Facilities
4. I-90 and Route 53
5. Future Technology

The options for each were:

- Continue to not allow electronic signs
- Allow electronic signs by right
- Allow electronic signs with special review process

Mr. Eckhardt stated that the Design Commission chose "continue to not allow all electronic signs" for all five categories. He went on to say that the Design Commission members would encourage anyone to bring a sign to the Design Commission and ask for a variance for it and said that as time goes by they will find a comfortable place for electronic signs so that they are not a distraction or intrusive or be unsafe.

Mr. Jonathan Kubow said that in speaking for the Design Commission, he asks for patience from the Village Board and future and existing businesses, saying that there is new technology out there and that what

they see currently is not aesthetically pleasing. He said that it is hard to support something that they don't think would attribute to a good looking community.

Trustee Scaletta said that based on some of the comments during tonight's presentation, he is concerned that he may have a professional conflict of interest, and to avoid any appearance of impropriety he recused himself and did not participate in the Board's discussion.

Trustee Sidor asked how many participants were in the study for signage. Mr. Perkins stated that there were three sessions with 50-70 people attending each of them. Trustee Sidor felt that because of the insignificant amount of participants compared to Village population, he would not let that weigh very heavily on his opinion. Trustee Sidor thought that the Electronic Ink is boring but that it may work for the Metropolis and asked how it would look in sunlight. Mr. Hautzinger stated that the technology was developed for bright lights and added that light can be added to it at night. Trustee Sidor said he would like to see that technology in color and added that he is not sure how patient the businesses are in waiting for new technology.

Discussion took place regarding the difference between with changeable panel signs compared the electronic signs being discussed tonight. Mr. Perkins explained that the lighting on changeable panel signs is electronic, but it is not an LED sign. Mr. Eckhardt explained that the electronic signs being discussed are ones that have the ability and are programmed to change messaging or images electronically. Trustee Sidor stated that he is in agreement with the majority of the presentation, but added that he does not want to put the Village at a competitive disadvantage. He said that at certain places and under certain applications electronic signs may be appropriate if done properly.

Trustee Farwell thanked everyone on the Design Commission for their hard work, and said that he is not sure he agrees with their recommendation at this time. He asked if LED lights can be dimmed. Mr. Eckhardt stated that they can and that they have four or five settings. Trustee Farwell also asked about the lighting on Electronic Ink signs and said it was unfortunate that it is not yet available in color. Mr. Eckhardt stated that the light is internal and not face lit. He added that they are affordable but currently more expensive than LCD because they are a new technology. He added that the concluding comments from the Design Commission about being patient is because they feel like this product is something more acceptable and is coming sooner than later.

Trustee Farwell felt that he is bothered because the Board approved and installed an electronic sign a number of years ago, and that he feels like the Village is holding itself to a different standard than the businesses. He said that he worries about waiting, saying that Village businesses are smart and know what type of advertising is best for them to promote their

business, which in turn promotes Arlington Heights. Trustee Farwell felt that it may be time for the Village to allow businesses electronic signage and thoughtfully put forward an effort and set standards in a way that makes Arlington Heights look classy.

Trustee Blackwood said that she is similarly positioned with Trustees Farwell and Sidor. She is concerned with the major tourism venues within the Village boundaries and its outskirts. She gave, for example the signage for Tony's Market on Rand Road in Prospect Heights, saying that she has been contacted by several owners of smaller grocers who are very concerned about losing their customers and may not continue to compete on a semi level playing field without proper signage. She said that the Village has the ability to look at the signs, implement good graphic presentation, and satisfy some of the business owners that may not have the patience in waiting for new technology.

Trustee Blackwood asked if 2/3 backlit 1/3 messaging signs were looked at. Mr. Eckhardt stated that discussions had taken place regarding 30% to a maximum 50% movable signage and that none of the commissioners supported 100% movable. Trustee Blackwood then asked why there was such a strong positioning on a "no electronic signs" for the tourism venues. Mr. Eckhardt said that in general the Commission favored those signs but were concerned about allowing them by right and having to police them. He continued by saying that the Design Commission is a recommending body, and said that their position is that if a request comes in and has the right proportions, is classy, and would be able to be policed they would grant a variance for it. Again he stressed that the Commission would not discourage someone for asking for a variance.

Trustee Blackwood asked if there was any discussion on various districts, like the hotel district right off of Route 90, saying that the hoteliers are requesting some assistance in welcoming guests to Arlington Heights and that district. She stated that the reason we have signs is to promote businesses and said that not allowing it by right makes it seem like it is not possible even though a variance will allow it. She suggested that this get looked at in a more opening and softer way to encourage the use of the sign to be just what it is intended for, promotion of Arlington Heights, its businesses, and its entities, and thought the signage should be up to the entity or the district. Mr. Eckhardt said that he personally thought that signage at major events is important and said that the Commission has to go by with what is allowed currently, and that when they see them it will be as a variance.

Trustee Tinaglia stated that he was on the Design Commission for eleven years and that in looking at the minutes from 2009 regarding signage, his comment was that he felt that moving signs were offensive, and that the manual hand change signs were old looking and that something needed to happen. He said that he feels the same way and that the businesses in town really want signs and that something has to change. He also said that

something has to happen for the larger important components of our community, whether it is the Racetrack or Metropolis Theatre.

Trustee Tinaglia questioned the electronic sign that is at Hersey High School. Mr. Recklaus explained that the sign went up during a period where it was believed that the Village did not have the ability to regulate what was done at a high school. Mr. Perkins went on to say that in 1992 the Village Board discussed whether to enforce the zoning and sign codes on schools because of the State school building code. Mr. Recklaus stated that since then there are new interpretations and that it is clearer on what the Village can and cannot enforce. Mr. Perkins stated that about a year ago, there was a case in Crystal Lake where case law clarified what municipalities can and cannot do and said that as a result of that, the Village started enforcing the zoning regulations.

Trustee Tinaglia felt that there can be an opportunity for a special commission, like the liquor commission, to be put together for electronic signs that would not be as overwhelming as the variance process. He said that change in signage is going to happen at some point, saying that the Electronic Ink is a great compromise, especially if they are made in color. Trustee Tinaglia felt that not every business or big entity has the patience to wait anymore and said it is time to do something to give them a break. He is hoping that we can pull together some way to make this happen and give someone a good opportunity. Mr. Eckhardt agreed. Trustee Tinaglia said that he looks at it like a liquor license, saying that the business would need to prove that they can control it and not be offensive with lots of visual movement, and said that if they can't they can be reprimanded or the license can be taken away.

Mr. Recklaus wanted to clarify that the Electronic Ink concept has not been tested in an area with our climate, and said that the manufacturer said that there are heating elements that could be added. He also said that although the Board hires staff and appoints commissions for their expertise and perspective, they are the enforcers of the Board's values. He went on to say that the Design Commission and staff do their best work when the Board clearly defines what it is that it wants to see happen. Mr. Recklaus said that if the Board believes it can define its values and that it can be captured in ordinance type form, he thought that is what should be pursued. He went on to say that if we think this is too difficult, if we do not want to provide something by right, or if it is not possible to capture in ordinance, then he would ask that the Board give staff as much clear direction as they can with what their desire outcomes are.

Mr. Recklaus said that it is dangerous that we will go through an open-ended variance process. He said that since staff understands what the Board would be prone to approve or not, they generally tell applicants that it may be a waste of their time to pursue a variance or that there is a realistic ability to obtain one. He said that the Design Commission is in the "look good business", and that their role is very narrow and only looking at

the design element. The Board looks at things broadly, not only the design aspects but also the compromise, the balance, and the business friendliness. So it may not make sense to have them handle variances on electronic signs at their own discretion without further guidance from the Village Board.

Mr. Eckhardt said that when teardowns were becoming prevalent, guidelines were created, and thought that a similar guideline be developed for electronic signs with what the Board wants.

Trustee Glasgow appreciated Mr. Recklaus' and Mr. Eckhardt's statements of the difference and distinction of formulating policy, which is what the commissions and the Board do, and the implementing policy, which is what staff does. He went on to say that one of the reasons we have specialized commissions is to help the Board formulate policy, and said that the commissions have the time and energy to delve into things that the Board does not have. He said that the Design Commission has had five months to put together a recommendation and that the Board has had about ten days to review it. Trustee Glasgow also said that he has to take into consideration that 2/3 of the people polled were against signs at every venue. He understands that businesses want the signs and need to make a profit, but said that it needs to be tempered with the Village's ability and duty to make sure that the look good business that the Design Commission is in is enforced and aesthetically pleasing.

Trustee Glasgow is concerned with allowing signs as a matter of right, saying that if you make a rule for one, you make it for all which he said creates a law for unintended consequences. He explained that giving someone a license or a right creates a property right, and said that taking that right away because they have too many lumens, leaving the sign on, or because the images change to quickly would create an enforcement nightmare for staff which he is extremely concerned about.

Trustee Glasgow felt that allowing signage in one place, doesn't necessarily set a precedent for somewhere else and said that every piece of real estate is unique in where it sits. He said that he agrees with the Design Commission's recommendations, although with signage regarding major tourism venues he said that he doesn't see how anything other than a variation can be done. He continued by saying that he is not adverse in granting a variation for Arlington Park, Metropolis, or anywhere else that has a unique circumstance and characteristic. Trustee Glasgow said that he is in full favor of following the recommendations of the Design Commission because of the amount of time they have spent on this.

Mr. Eckhardt stated that the Design Commission wants to allow signs in every category, but needs to figure out how it can happen. He said that the major tourism venues category would be the most appropriate to have the electronic signs in order to keep up with larger communities, followed by the Churches and Schools which have messages to get out.

Trustee Glasgow asked Mr. Eckhardt how long the Village is supposed to wait and continue granting variances if the Electric Ink signs are the next big thing the Village should move into. Mr. Eckhardt said he cannot speak to their readiness, but the company is working very hard on some of the issues, and said that they may be more affordable within a year and thinks they may come out in color at the same time. He also said that LCD signs will also become more affordable if the Village has size restrictions, adding that they would have to be site appropriate.

Trustee LaBedz thanked the Design Commission and staff for all their work and historical information provided on this topic, saying that she finds this to be a very difficult issue. She felt that something needs to be done, and that she is concerned with telling people to wait for the Electronic Ink option when it is not fully known if and when it would be ready. Trustee Labedz stated that major tourism venues would benefit tremendously from electronic signage, and asked if there would be a legal issue or first amendment issue if the major tourism venues were allowed to go forward with electronic signs once they are defined, and not allowing them for other businesses. Ms. Ward said that it would not be a first amendment issue, but that there may be challenges in permitting only the major tourism venues and that it would also be challenging to differentiate the types of signs and types of businesses. Trustee Glasgow said that a variance is a safer way to do this rather than excluding others through an ordinance.

President Hayes said that in looking at community surveys that were done, he saw that a neighborhood community allows electronic signs through a conditional or special use process saying that he does not like the outcome. He said he was afraid that if all businesses were allowed to apply through a variation or special use permit process that the Board would have a difficult time saying no. President Hayes said that he is not in favor allowing all businesses and uses to apply for special use. He did say that he was in favor of what Chairman Eckhardt suggested which is allowing application through a variation process for certain categories, specifically to include the major tourism venues and to consider churches, schools, governments, and park district facilities.

Tony Petrillo, Arlington Park General Manager, said that he wanted to let staff know that Arlington Park's intent is to develop a digital billboard on their property. He said that they have been seeking some type of signage at the corner of Euclid and Wilke for some time, but have been reluctant to pursue it because they felt there were too many hurdles. Mr. Petrillo went on to explain that Arlington Park has vendors that rent their buildings or a permanent facility on their property and that they are losing business because some vendors felt that there is not good signage for them to advertise. Mr. Petrillo said they would like to market and promote business for those that drive on Route 53, and said the sign can be community rooted by being able to show amber alerts, weather alerts, and highlight

events being held in the Village, and noted that no residents would be affected. He went on to say that they would like some type of opportunity for some type of process that would allow them to acquire a sign that will be able to change images. He noted that they would not be in favor of moving signage or video type of images, and that static signs would be most appropriate. He asked the Board to consider the sign for Arlington Park when they draw their opinions on electronic signage.

Trustee Farwell mentioned the five requirements for sign variations, and noted one in particular "The applicant's business cannot reasonably function under the standards of this chapter". He said that this requirement has always been hard for businesses to properly argue successfully in front of almost any board. Trustee Farwell stated that we can't use this particular section of the code to give variances on the design elements of a sign, and said that a section of the code would have to be created and shouldn't be called a variation. He said he would be open to a special use process because a special use is given to a business and that once a business transfers hands or closes, then the use sunsets. Trustee Farwell also stated that to be more business friendly, everyone should have the right to apply regardless of what industry they are in or where they are located. Trustee Farwell thought that the Design Commission could tailor special use process and come back to the Board for more dialogue.

Trustee Tinaglia agreed with Trustee Farwell that it shouldn't be a variance. There are a lot of questions to be answered such as; whether it will be a special use, a license, will a committee be involved, who will handle the special use or license, how many of them, how often they are handed out, etc. He also thought there was merit in developing guidelines on what the signs should look like and what they will be allowed to do. He also said that enforcement will be the biggest problem.

Mr. Recklaus said that although a special use or a variance can be done, he wanted to make a distinction and said that if we do anything outside the variation process, like a special use or amendment to the code, then you open the door to be able to get these by right. He went on to say that when you set criteria, and that criterion is met, it is more difficult to turn down. Mr. Recklaus said that as difficult as the variance process is, it does provide more control than a special use.

Ms. Ward explained that in terms of creating guidelines for electronic signs, which you can't create for something that is currently not permitted. She said that the direction would have to be whether you want to move towards letting them continue to be variations but be more encouraging for people to apply for them, or do you want staff to work on some sort of code amendment that permits them but provides some sort of process whether a special use process or a Design Commission process.

Mr. Schuster, added that based on some of the comments brought up this

evening, that there are ways to design certain regulations and criteria that would have to be met in order to have a special use, so that not everybody can come forward with a sign. He mentioned a Supreme Court Reid case where you can get into trouble when you start to regulate types of speech, but said you have the ability to control how bright the signs can be, or where they are placed on property lines, etc. Mr. Schuster said that you have to decide whether you want a system with hardships that have been brought up with a variation, or do you want to go into studying suggestions about what type of specific regulation across the board would apply regardless of the type of message on a sign.

Trustee Glasgow said that staff has gotten a lot of direction from the Board this evening and said that he is in favor of just accepting the recommendations of the Design Commission. He said that to make having these signs a matter of right would be a big mistake of by the Board.

President Hayes asked the Board members if any of them would like to leave things status quo. No Board members would. He then asked if any Board member would like to allow electronic signs by right with some restrictions. No Board member would. President Hayes thought that leaves the Board with two options; a special use process for any and all businesses with Arlington Heights or a special use process for certain categories for business. Ms. Ward said that a special use process for certain categories will potentially cause Reid case issues, and said that a general special use process which sets out within in the kinds of limitations (lumens, locations, etc.) can be more easily drafted under Reid case. President Hayes stated that his preference would be to allow a special use process for electronic signage within the Village based on certain criteria.

Trustee Farwell asked if a special use application or permit be tailored based on zoning. Ms. Ward stated that you can make zoning district distinctions. Trustee Farwell stated that he would be open for a special use based on commercial and multi-use zoning and the variation process for other zoning areas. Trustee Glasgow disagreed and is concerned with having zoning distinctions and that it should be done on a case by case basis. Trustee Farwell said that he would be open to that if it was the will of the Board. Ms. Ward said that currently, special uses go to the Plan Commission, saying that is where the public process is but that it can be changed to go to the Design Commission.

Trustee Tinaglia said that we have to be prepared for what comes next and that the big issue is the policing of the signs and in making sure people do what they say they are going to do or don't do want they are not supposed to do. He has concerns on how to make sure that there is enough staff to make sure that things are dealt with appropriately once they are in place.

The Board directed staff to further research and draft a special use process to allow electronic signage that meet certain conditions.

President Hayes thanked the Design Commission and staff for their hard work on this, saying that there is a long way to go yet.

XIII.LEGAL

- A. An Ordinance Amending Chapter 13 of the Approved
Arlington Heights Municipal Code
(Addition of Class "L" liquor license)

Trustee Joe Farwell moved to approve 16-036. Trustee Thomas Glasgow
Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor,
Tinaglia

Absent: Rosenberg

- B. An Ordinance Amending Chapter 13 of the Approved
Arlington Heights Municipal Code
(Making available a Class "A" liquor license)

Trustee Joe Farwell moved to approve 16-037. Trustee Thomas Glasgow
Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor,
Tinaglia

Absent: Rosenberg

XIV. REPORT OF THE VILLAGE MANAGER

XV. APPOINTMENTS

XVI. PETITIONS AND COMMUNICATIONS

President Hayes stated that National Night Out will be held on Tuesday, August 2, 2016 at North School Park from 5:30 until 8:00 pm where the Police Department and other agencies demonstrate what they do for residents on a daily basis in terms of providing for health, safety, and public welfare.

President Hayes thanked the Historical Museum and the Arlington Heights Park District and other sponsors for their efforts in providing another community friendly Irish Fest this past weekend.

President Hayes then held up a Daily Herald "Reader's Choice Award" saying that Arlington Heights was voted the best place to live. He went on to say Arlington Heights also received other awards including; best Downtown atmosphere, best library, best park district, best 4th of July parade, and best community festival. He thanked all of Arlington Heights groups, agencies, and residents who contributed to these awards.

Trustee Glasgow and Trustee Scaletta both clarified that according to State code that President and Mayor are interchangeable titles and that either title can be used. President Hayes agreed and said that although his title is Village President, for ease in speaking with a lot of groups, he does refer to himself as Mayor most of the time.

President Hayes recognized Shadow Mayor Ben Sell for his attendance here this evening, saying that he learned a lot about the Village of Arlington Heights and how we operate. He then presented him with a Village logo pin.

- A. Request for Closed Session per 5 ILCS 120/2(c) (21): Discussion of minutes lawfully closed, whether for purposes of approval of the minutes or the semi-annual review of the minutes

- and -

5 ILCS 120/2(c)(11): Litigation, when an action against, affecting or on behalf of the Village has been filed and is pending before a court or administrative tribunal, or when the Board finds that an action is probable or imminent

XVIIADJOURNMENT

Trustee Thomas Glasgow moved to adjourn to Closed Session at 10:20 p.m. Trustee John Scaletta Seconded the Motion.

The Motion: Passed

Ayes: Blackwood, Farwell, Glasgow, Hayes, LaBedz, Scaletta, Sidor, Tinaglia



Item: Warrant Register 7/30/16

Department: Village Clerk

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Bid Amount:

ATTACHMENTS:

Description

Warrant Register 7/30/16

Type

Warrant Register

Fund	Fund Description	Total Transaction Amount
101	General Fund	\$273,650.15
211	Motor Fuel Tax Fund	\$117,079.37
227	Foreign Fire Ins Tax Fund	\$2,714.22
231	Criminal Investigation Fd	\$56,409.67
235	Municipal Parkg Opr Fund	\$14,830.96
261	TIF III Fund	\$400.00
263	TIF IV	\$400.00
264	TIF V	\$400.00
301	Debt Service Fund	\$1,230.50
401	Capital Projects Fund	\$283,705.64
426	Storm Water Control Fund	\$2,800.00
435	EAB Fund	\$5,231.90
505	Water and Sewer Fund	\$1,331,683.50
511	Solid Waste Fund SWANCC	\$86,815.42
515	Arts,Entert & Events Fund	\$13,513.95
605	Health Insurance Fund	\$287,311.92
611	General Liability Ins Fnd	\$5,243.66
615	Workers Compensation Ins	\$28,234.91
621	Fleet Operations Fund	\$47,059.27
625	Technology Fund	\$67,831.60
715	Guaranty Deposits Fund	\$3,150.00
721	Escrow Deposits Fund	\$1,000.00
TOTAL ALL FUNDS		\$2,630,696.64

WARRANT REGISTER - GM0002

Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 0					
Division: 0					
2056	715-0000-220.93-00	RICHARD/MARY RISKE	REFUND BOND 16-1938	\$200.00	\$200.00
2058	715-0000-220.93-00	ANTONETTE/JOHN SCALETTA	REFUND BOND 16-1939	\$200.00	\$200.00
200885	101-0000-421.99-00	ADVANTAGE SIGN SUPPLY	REFUND BUSINESS LICENSE	\$190.00	\$190.00
200889	505-0000-140.10-00	AMERICAN PRINTING TECHNOLOGIES	POSTAGE - JULY	\$2,123.43	\$2,123.43
200897	101-0000-489.85-00	ARMOR SYSTEMS	COLLECTION FEES	\$83.43	\$83.43
200904	101-0000-421.05-00	SERGIO BARRIOS	REFUND VEHICLE STICKER	\$40.00	\$40.00
200906	235-0000-435.65-02	DIVYA BHAKUNI	REFUND PARKING PERMIT	\$90.00	\$90.00
200907	101-0000-433.14-00	BLUE CROSS BLUE SHIELD	REFUND AMBULANCE CLAIM	\$500.00	\$760.06
			REFUND AMBULANCE CLAIM	\$260.06	
200911	101-0000-140.51-00	CANON SOLUTIONS AMERICA	COPIER MAINTENANCE	\$30.65	\$30.65
200920	715-0000-220.93-00	CHRISTINE SCHMAUS	REFUND BOND	\$200.00	\$200.00
200923	715-0000-220.93-00	CITRAN, JONATHAN	REFUND BOND	\$150.00	\$150.00
200951	101-0000-421.99-00	DENK AND ROCHE BUILDERS INC	REFUND BUSINESS LICENSE	\$65.00	\$65.00
200952	715-0000-220.93-00	DHI CAMBRIDGE HOMES	REFUND WATER	\$400.00	\$400.00
200958	721-0000-221.10-08	ELASTIZELL OF WISCONSIN INC	REFUND METER	\$1,000.00	\$1,000.00
200965	101-0000-433.14-00	JULIANN FLANAGAN	REFUND AMBULANCE CLAIM	\$600.00	\$600.00
200967	101-0000-421.99-00	FLOORS MD LLC	REFUND BUSINESS LICENSE	\$26.00	\$26.00
200970	101-0000-433.14-00	ALICE GAARE	REFUND AMBULANCE CLAIM	\$80.00	\$80.00
200979	101-0000-421.99-00	HALLOWEEN CITY	REFUND BUSINESS LICENSE	\$630.00	\$630.00
200985	101-0000-433.14-00	HEALTH CARE SERVICE CORP	REFUND AMBULANCE CLAIM	\$350.00	\$350.00
201000	101-0000-433.14-00	JEAN HUNTER	REFUND AMBULANCE CLAIM	\$436.20	\$436.20
201003	231-0000-250.20-00	IL STATE POLICE ASSIST SEIZURE UNIT	SEIZED FUNDS/15-11209	\$4,230.00	\$4,230.00
201008	101-0000-433.14-00	KOJI ISOJIMA	REFUND AMBULANCE CLAIM	\$540.00	\$540.00
201012	715-0000-220.93-00	JRC DESIGN BUILD	REFUND BOND	\$250.00	\$250.00
201015	101-0000-433.14-00	KORONA, LEONARD	REFUND CK 3365	\$650.00	\$650.00
201016	101-0000-433.14-00	JEANNE KUHN	REFUND AMBULANCE CLAIM	\$98.49	\$98.49
201029	715-0000-220.93-00	MARK ERICKSEN	REFUND BOND	\$200.00	\$200.00
201037	101-0000-433.14-00	MERIDIAN HEALTH PLAN	REFUND AMBULANCE CLAIM	\$127.34	\$127.34
201055	715-0000-220.93-00	OLEJNICZAK, RICHARD	REFUND BOND	\$50.00	\$50.00
201056	715-0000-220.93-00	OLEJNICZAK, RICHARD	REFUND BOND	\$200.00	\$200.00

WARRANT REGISTER - GM0002

Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
201057	715-0000-220.93-00	OLEJNICZAK, RICHARD	REFUND BOND	\$500.00	\$500.00
201062	101-0000-421.10-00	PARENTI & RAFFAELLI LTD	REFUND BUSINESS LICENSE	\$65.00	\$65.00
201063	101-0000-433.14-00	MICHAEL PENDLETON	REFUND AMBULANCE CLAIM	\$100.00	\$100.00
201068	101-0000-421.99-00	POPEYE'S 803	REFUND BUSINESS LICENSE	\$360.00	\$360.00
201070	715-0000-220.93-00	POULS LANDSCAPING	REFUND BOND	\$200.00	\$200.00
201089	715-0000-220.93-00	SHANNON SILVERMAN	REFUND BOND	\$200.00	\$200.00
201100	101-0000-433.14-00	STATE FARM INSURANCE	REFUND AMBULANCE CLAIM	\$200.00	\$200.00
201106	101-0000-433.14-00	MARYLOU TANSEY	REFUND AMBULANCE CLAIM	\$14.84	\$14.84
201109	101-0000-433.14-00	SABITA THAWANI	REFUND AMBULANCE CLAIM	\$600.00	\$600.00
201114	101-0000-432.12-00	TOTAL PAVING & BRICK SRVS	REFUND INSPECTION FEE	\$50.00	\$50.00
201118	101-0000-433.14-00	TUCK POINTERS LOCAL 52	REPLACE LOST CK 197042	\$412.03	\$412.03
201120	715-0000-220.93-00	TURF INDUSTRIES INC	REFUND BOND	\$200.00	\$200.00
201121	715-0000-220.93-00	TURF INDUSTRIES INC	REFUND BOND	\$200.00	\$200.00
901163	101-0000-210.91-00	EMPLOYEE BENEFITS CORP	FSA FUNDING 7-11-2016	\$8,976.91	\$8,976.91
901164	101-0000-210.91-00	EMPLOYEE BENEFITS CORP	FSA FUNDING 7-01-2016	\$1,130.37	\$1,130.37
Total Division:				\$27,209.75	
Total Department:				\$27,209.75	

Check Date: 2016 - 7 - 30

WARRANT REGISTER - GM0002

Date: Wednesday, July 27, 2016
Page 3

Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 1 Board of Trustees					
Division: 1					
200912	101-0101-501.21-65	CAPTION FIRST INC	CLOSED CAPTIONING SERVICE	\$600.00	\$600.00
201074	101-0101-501.30-05	IPROMOTEU	OFFICE SUPPLIES	\$40.00	\$40.00
Total Division:				\$640.00	
Total Department:				\$640.00	

Check Date: 2016 - 7 - 30

WARRANT REGISTER - GM0002

Date: Wednesday, July 27, 2016
Page 4

Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 2 Village Manager					
Division: 1					
2055	515-0201-525.40-55	LEVIT, DAVID	SOUNDS OF SUMMER EVENT	\$750.00	\$750.00
200982	101-0201-502.22-02	HARRIS TRUST & SAVINGS BANK	ILLINOIS CITY COUNTY	\$251.75	\$251.75
	101-0201-502.22-03		PEGGY KINNANE`S	\$45.71	\$210.67
			THE ABBEY RESORT	\$164.96	
			THE ABBEY RESORT	\$36.55	
			THE ABBEY RESORT	(\$36.55)	
201054	101-0201-502.30-05	OFFICE DEPOT	OFFICE SUPPLIES	\$241.98	\$289.96
			OFFICE SUPPLIES	\$47.98	
201074	101-0201-502.30-05	IPROMOTEU	OFFICE SUPPLIES	\$75.00	\$75.00
201111	101-0201-502.30-01	THOMSON REUTERS	SUPPLEMENT TO IL STATUTES	\$81.00	\$81.00
Total Division:				\$1,658.38	
Total Department:				\$1,658.38	

WARRANT REGISTER - GM0002

Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 3 Human Resources					
Division: 1					
200971	615-0301-552.42-75	GALLAGHER BASSETT SERVICES INC	CLAIMS - MEDICAL LOSS	\$5,628.81	\$5,628.81
	615-0301-552.42-80		CLAIMS - W/C	\$21,350.62	\$21,350.62
200982	101-0301-503.22-02	HARRIS TRUST & SAVINGS BANK	BUS MGMT DAILY	\$149.00	\$298.00
			INTERNATIONAL PUBLIC	\$149.00	
	101-0301-503.22-03		NETSHARE COM	\$125.00	\$125.00
	101-0301-503.40-70		IN TASTY CATERING	\$2,893.50	\$2,893.50
	615-0301-552.20-50		SQ ILLINOIS FIRE FIGHERS	\$300.00	\$631.50
			SQ ILLINOIS FIRE FIGHERS	\$300.00	
			JIMMY JOHN'S	\$31.50	
200999	615-0301-552.30-01	HR DIRECT	POSTER GUARD RENEWAL	\$74.99	\$149.98
			POSTER GUARD RENEWAL	\$74.99	
201001	101-0301-503.22-01	IL CITY/COUNTY MGMT ASSOC	AD POSTING FEE	\$50.00	\$50.00
201050	615-0301-552.20-50	NORTHEASTERN IL PUBLIC SAFETY	DRIVER TRAINING	\$450.00	\$450.00
201066	101-0301-503.22-03	PETTY CASH	TRAINING	\$34.56	\$34.56
	615-0301-552.20-50		WELLNESS PROGRAM	\$4.00	\$24.00
			SAFETY RECOG PROGRAM	\$20.00	
901159	605-0301-552.20-60	HMO ILLINOIS	INS PREMIUM 7-2016	\$279,973.13	\$279,973.13
901160	605-0301-552.20-65	PRUDENTIAL INSURANCE CO OF AMERICA	INS PREMIUM 7-2016	\$4,717.50	\$4,717.50
	605-0301-552.20-66		INS PREMIUM 7-2016 (OPT)	\$2,621.29	\$2,621.29
Total Division:				\$318,947.89	
Total Department:				\$318,947.89	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 4 Legal Department					
Division: 1					
200925	101-0401-503.20-20	CLARK BAIRD SMITH LLP	LEGAL SERVICES	\$1,732.50	\$1,732.50
200960	101-0401-503.20-15	ERNEST R BLOMQUIST PC	RETAINER	\$4,170.00	\$4,170.00
200962	101-0401-503.22-05	FEDERAL EXPRESS	SHIPPING/DELIVERY SERVICE	\$33.75	\$63.78
			SHIPPING/DELIVERY SERVICE	\$30.03	
200989	101-0401-503.20-10	HOLLAND & KNIGHT LLP	RETAINER	\$3,000.00	\$3,000.00
201112	101-0401-503.33-05	THOMSON REUTERS-WEST	INFORMATION CHARGES	\$292.22	\$373.22
			LAW BOOKS	\$81.00	
Total Division:				\$9,339.50	
Total Department:				\$9,339.50	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 5 Finance					
Division: 1					
200889	505-0501-503.21-65	AMERICAN PRINTING TECHNOLOGIES	SERVICE PRINTING	\$720.35	\$720.35
200891	101-0501-503.21-65	ANDRES MEDICAL BILLING LTD	SERVICE FINANCIAL	\$5,752.52	\$6,306.52
			SERVICE FINANCIAL	\$554.00	
200918	101-0501-503.21-65	CHASE	RENEWAL-#10000000379114	\$200.00	\$200.00
200971	611-0501-552.42-53	GALLAGHER BASSETT SERVICES INC	CLAIMS - VEHICLE LOSS	\$1,302.91	\$1,302.91
	611-0501-552.42-60		CLAIMS - LIABILITY LOSS	\$3,940.75	\$3,940.75
200978	101-0501-503.30-01	HAINES & COMPANY INC	DIRECTORY ACCT #2723659	\$415.50	\$415.50
200982	101-0501-503.22-02	HARRIS TRUST & SAVINGS BANK	AICPA AICPA	\$255.00	\$255.00
	101-0501-503.22-03		GARAGE REST.	\$154.49	\$154.49
	101-0501-503.30-05		CROWD CONTROL WAREHOUSE	\$701.03	\$1,935.54
			CROWD CONTROL WAREHOUSE	\$185.27	
			AMAZON MKTPLACE PMTS	\$39.99	
			AMAZON.COM AMZN.COM/BI	\$344.37	
			AMAZON.COM	\$357.98	
			1911 CITIZENS BANK DR	\$27.85	
			AMAZON MKTPLACE PMTS	\$17.65	
			1911 CITIZENS BANK DR	\$261.40	
201017	505-0501-503.40-87	LORRAINE LAPCZYNSKI	SEWER REBATE PROGRAM	\$4,826.17	\$4,826.17
201054	101-0501-503.30-05	OFFICE DEPOT	OFFICE SUPPLIES	\$129.99	\$507.25
			OFFICE SUPPLIES	\$4.94	
			OFFICE SUPPLIES	\$195.99	
			OFFICE SUPPLIES	\$176.33	
Total Division:				\$20,564.48	
Total Department:				\$20,564.48	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 6 Information Technology					
Division: 1					
200892	625-0601-572.50-10	ARC DOCUMENT SOLUTIONS LLC	GIS TONER FOR PRINTER	\$1,506.00	\$1,506.00
200931	625-0601-553.21-65	COMCAST PROCESSING CENTER	ACCT 907065060	\$5,248.84	\$5,248.84
200950	625-0601-572.50-10	DELL MARKETING LP	COMPUTERS,DP & WORD PROC.	\$19,995.00	\$19,995.00
200959	625-0601-553.21-02	ENVIRONMENTAL SYSTEMS RESEARCH	COMPUTERS,DP & WORD PROC.	\$19,637.67	\$19,637.67
200982	625-0601-553.30-01	HARRIS TRUST & SAVINGS BANK	INDEED	\$45.31	\$45.31
	625-0601-553.30-05		AMAZON MKTPLACE PMTS	\$9.99	\$40.16
			AMAZON MKTPLACE PMTS	\$30.17	
	625-0601-572.50-10		AMAZON.COM AMZN.COM/BI	\$36.50	\$195.35
			AMAZON.COM AMZN.COM/BI	\$158.85	
201005	625-0601-553.21-02	IMAGE SYSTEMS & BUSINESS SOLUTIONS	EQUIPMENT MAINTENANCE	\$104.50	\$209.00
			EQUIPMENT MAINTENANCE	\$104.50	
201048	625-0601-553.21-02	NEARMAP US INC	COMPUTERS,DP & WORD PROC.	\$5,000.00	\$5,000.00
201093	625-0601-572.50-10	SOUTHERN COMPUTER WAREHOUSE	DELL MONITORS E2216H	\$599.50	\$599.50
201103	625-0601-553.20-39	SUNGARD PUBLIC SECTOR	COMPUTERS,DP & WORD PROC.	\$15,256.02	\$15,256.02
201130	625-0601-553.21-65	VERIZON WIRELESS	INV 9768561760	\$98.75	\$98.75
Total Division:				\$67,831.60	
Total Department:				\$67,831.60	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 10 Boards & Commissions					
Division: 8					
201102	101-1008-502.20-75	STEPHEN LASER & ASSOCIATES	INDIVIDUAL ASSESSMENT (3)	\$1,650.00	\$1,650.00
Total Division:				\$1,650.00	
Division: 17					
201030	101-1017-502.20-24	JACKIE MC CARTHY	REIMBURSEMENT-SUPPLIES	\$206.73	\$511.75
			REIMBURSEMENT-SUPPLIES	\$305.02	
Total Division:				\$511.75	
Division: 18					
200895	515-1018-525.40-55	ARLINGTON RENTAL INC	EQUIPMENT RENTAL	\$1,616.25	\$1,616.25
200896	515-1018-525.40-55	ARLINGTON SIGNS & BANNERS	MANE EVENT	\$398.00	\$398.00
201084	515-1018-525.40-55	SCHEUFLER NEIL	SPRING SWEEP	\$580.71	\$580.71
201088	515-1018-525.40-55	KEVIN SEIFERT	REIMBURSEMENT-MANE EVENT	\$1,260.83	\$1,341.77
			REIMBURSEMENT-MANE EVENT	\$80.94	
Total Division:				\$3,936.73	
Total Department:				\$6,098.48	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 20 Special Events					
Division: 5					
200982	515-2005-525.50-55	HARRIS TRUST & SAVINGS BANK	IKEA HOME SHOPPING	(\$29.48)	\$1,125.52
			AMAZON.COM AMZN.COM/BI	\$408.00	
			AMAZON MKTPLACE PMTS	\$747.00	
Total Division:				\$1,125.52	
Total Department:				\$1,125.52	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 30 Police Department					
Division: 1					
200883	101-3001-511.21-65	ACCURATE DOCUMENT DESTRUCTION	SERVICE MISCELLANEOUS	\$258.70	\$258.70
200889	101-3001-511.22-10	AMERICAN PRINTING TECHNOLOGIES	SERVICE PRINTING	\$200.00	\$200.00
200893	101-3001-511.40-67	ARLINGTON HEIGHTS ANIMAL HOSPITAL	VETERINARY SERVICES	\$611.65	\$611.65
200962	101-3001-511.22-05	FEDERAL EXPRESS	SHIPPING/DELIVERY SERVICE	\$36.69	\$36.69
200968	101-3001-511.22-03	FONTANA, JEFFREY	TRAINING	\$75.00	\$90.00
			TRAINING	\$15.00	
200974	101-3001-511.33-25	GRAINGER W W INC	POLICE EQUIPMENT & SUPPLY	\$58.20	\$58.20
200975	101-3001-511.30-35	GROSS WILLIAM	UNIFORM CLOTHING	\$143.93	\$143.93
200982	101-3001-511.22-03	HARRIS TRUST & SAVINGS BANK	EXPEDIA	\$156.60	\$804.72
			AMERICAN AIRLINES	\$564.20	
			JIMMY JOHN'S	\$83.92	
	101-3001-511.30-05		AMAZON MKTPLACE PMTS	\$206.12	\$1,052.78
			AMAZON MKTPLACE PMTS	\$331.60	
			AMAZON MKTPLACE PMTS	\$119.00	
			AMAZON MKTPLACE PMTS	\$396.06	
	101-3001-511.33-25		JEWEL #3422	\$10.00	\$288.67
			DD/BR #341408	\$102.92	
			PANERA BREAD	\$52.89	
			PANERA BREAD	(\$5.51)	
			PANERA BREAD	\$62.72	
			IPASS BUS CTR 5203	\$65.65	
	101-3001-511.40-67		TACTICAL MEDICAL	\$568.35	\$568.35
200988	101-3001-511.30-35	HIGH 5 PRINTWEAR	IMPRINTING CHARGE	\$70.50	\$70.50
201010	101-3001-511.30-35	JG UNIFORMS	PARK COUNSELOR JACKETS	\$596.80	\$1,039.74
			UNIFORM CLOTHING	\$183.00	
			UNIFORM CLOTHING	\$259.94	
201018	101-3001-511.21-65	LAW OFFICE OF JOAN VASQUEZ	SERVICE PROFESSIONAL	\$1,187.50	\$1,187.50
201023	101-3001-511.33-25	LIVE 4 LALI INC	DRUG OVERDOSE MEDS	\$2,250.00	\$2,250.00
201027	101-3001-511.22-02	MAJOR CASE ASSISTANCE TEAM	DUES	\$3,000.00	\$3,000.00
201031	101-3001-511.30-35	MC GUIRE BRIAN	CLOTHING REIMBURSEMENT	\$28.58	\$28.58

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
201043	101-3001-511.33-25	M1 SECURE STORAGE SYSTEMS INC	KEYS	\$47.60	\$47.60
201047	101-3001-511.22-03	NE MULTI REGIONAL TRAINING INC	REGISTRATION	\$1,000.00	\$1,000.00
201052	101-3001-511.22-03	OAKTON COMMUNITY COLLEGE	REGISTRATION	\$98.00	\$98.00
201054	101-3001-511.30-05	OFFICE DEPOT	OFFICE SUPPLIES	\$806.04	\$995.55
			OFFICE SUPPLIES	\$6.39	
			OFFICE SUPPLIES	\$33.13	
			OFFICE SUPPLIES	\$149.99	
201059	101-3001-511.22-03	ALEXANDRA OVINGTON	TRAINING	\$15.00	\$30.00
			TRAINING	\$15.00	
201073	101-3001-511.22-10	PRINTFIN PRINTING & GRAPHICS SRVS	SERVICE PRINTING	\$48.00	\$48.00
201076	101-3001-511.30-35	RAY O'HERRON	UNIFORM CLOTHING	\$30.50	\$2,789.74
			UNIFORM CLOTHING	\$36.55	
			UNIFORM CLOTHING	\$14.99	
			UNIFORM CLOTHING	\$188.98	
			UNIFORM CLOTHING	\$69.00	
			UNIFORM CLOTHING	\$224.00	
			UNIFORM CLOTHING	\$40.99	
			UNIFORM CLOTHING	\$209.95	
			UNIFORM CLOTHING	\$9.00	
			UNIFORM CLOTHING	\$725.28	
			UNIFORM CLOTHING	\$1,240.50	
	101-3001-511.33-25		SUPPLIES	\$291.00	\$291.00
201079	101-3001-511.22-02	ROTARY CLUB OF ARLINGTON HTS	DUES	\$275.00	\$275.00
201085	101-3001-511.40-67	SCIENTIFIC ANIMAL FEEDS AND NEEDS	CANINE UNIT PROGRAM	\$60.99	\$184.98
			CANINE UNIT PROGRAM	\$63.99	
			CANINE UNIT PROGRAM	\$60.00	
201087	101-3001-511.21-65	SECRETARY OF STATE	SERVICE PROFESSIONAL	\$10.00	\$10.00
201090	101-3001-511.33-25	SHERWIN ACE HARDWARE	HARDWARE SUPPLIES	\$10.56	\$10.56
201094	101-3001-511.33-30	SPECIAL LEISURE SERVICES	COMMUNITY EVENT	\$500.00	\$500.00
201111	101-3001-511.21-65	THOMSON REUTERS	SERVICE MISCELLANEOUS	\$321.00	\$321.00
201119	101-3001-511.22-03	MICHAEL TURANO	TRAINING	\$75.00	\$75.00
201123	401-3001-572.50-15	ULTRA STROBE COMMUNICATIONS INC	VEHICLE PARTS	\$206.95	\$206.95
Total Division:				\$18,573.39	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Division: 3					
200982	231-3003-511.40-11	HARRIS TRUST & SAVINGS BANK	DMI DELL HIGHER EDUCATION	\$5,536.47	\$5,854.67
			FRONTIER	\$318.20	
201045	231-3003-511.40-11	NATL ASSOCIATION OF TOWN WATCH	SUPPLIES	\$175.00	\$175.00
201095	231-3003-511.40-11	SPECIALTY VEHICLE SOLUTIONS LLC	POLICE EQUIPMENT & SUPPLY	\$46,150.00	\$46,150.00
Total Division:				\$52,179.67	
Total Department:				\$70,753.06	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 35 Fire					
Division: 1					
200882	101-3501-512.31-65	ABT ELECTRONICS	REPLACEMENT TV STA 2	\$357.00	\$919.00
			REPLACEMENT TV STA 4	\$562.00	
200887	101-3501-512.30-35	AIR ONE EQUIPMENT	BADGES & OTHER ID EQUIP.	\$467.20	\$667.70
			BADGES & OTHER ID EQUIP.	\$200.50	
	101-3501-512.31-65		FIRE PROTECTION EQUIP/SUP	\$52.60	\$52.60
200902	101-3501-512.31-65	AVI-SPL	VIDEO SCALER	\$129.75	\$129.75
200917	101-3501-512.31-65	CDW GOVERNMENT INC	USB ADAPTERS	\$81.04	\$81.04
200982	101-3501-512.21-02	HARRIS TRUST & SAVINGS BANK	HON ANALYTICS INC.	\$1,397.51	\$1,397.51
	101-3501-512.22-03		BP#9725482BB CONVENQPS	\$25.54	\$25.54
	101-3501-512.22-05		USPS PO BOXES	\$70.00	\$70.00
	101-3501-512.30-01		HDS JEMS	\$29.99	\$29.99
	101-3501-512.30-05		AMAZON MKTPLACE PMTS	\$664.96	\$664.96
	101-3501-512.30-35		AMAZON MKTPLACE PMTS	(\$159.80)	\$-199.75
			AMAZON MKTPLACE PMTS	(\$39.95)	
	101-3501-512.31-65		AMAZON MKTPLACE PMTS	\$699.00	\$699.00
	101-3501-512.33-05		AMAZON.COM	\$295.60	\$335.84
			AMAZON.COM	\$40.24	
201010	101-3501-512.30-35	JG UNIFORMS	BADGES & OTHER ID EQUIP.	\$166.50	\$2,585.65
			CLOTHING & APPAREL	\$1,152.00	
			CLOTHING & APPAREL	\$5.00	
			CLOTHING & APPAREL	\$66.50	
			CLOTHING & APPAREL	\$1,195.65	
201046	101-3501-512.33-05	NATL FIRE PROTECTION ASSOC	PUBLIC EDUCATION MATERIAL	\$565.82	\$565.82
201067	101-3501-512.21-02	PHYSIO CONTROL INC	MAINTENANCE AGREEMENT	\$6,786.00	\$19,857.00
			SERVICE EQUIPMENT	\$13,071.00	
	401-3501-572.50-15		EMERGENCY MEDICAL SUPPLY	\$31,401.76	\$31,401.76
201138	101-3501-512.31-85	WS DARLEY & CO	TEST KIT	\$523.26	\$523.26
201139	101-3501-512.22-15	XEROX CORPORATION	OFFICE MACHINES & ACCESS	\$85.00	\$85.00
Total Division:				\$59,891.67	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Total Department:				\$59,891.67	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 37 Foreign Fire Insurance					
Division: 1					
200957	227-3701-512.22-03	LESLIE EAST	TUITION REIMBURSEMENT	\$315.00	\$315.00
200964	227-3701-512.50-15	FITNESS FACTORY OUTLET	FURNITURE, NON OFFICE	\$540.00	\$540.00
200976	227-3701-512.22-03	JONATHAN GROSSMANN	TUITION REIMBURSEMENT	\$775.00	\$775.00
201082	227-3701-512.22-03	CHRISTOPHER RYMUT	TUITION REIMBURSEMENT	\$438.59	\$438.59
201129	227-3701-512.22-03	SCOTT VASICEK	TUITION REIMBURSEMENT	\$645.63	\$645.63
Total Division:				\$2,714.22	
Total Department:				\$2,714.22	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 40 Planning					
Division: 1					
200961	101-4001-521.40-40	FASTSIGNS	PROMOTE ECONOM BUSINESS	\$328.00	\$328.00
200982	101-4001-521.21-65	HARRIS TRUST & SAVINGS BANK	APL ITUNES.COM/BILL	\$0.99	\$0.99
	101-4001-521.40-40		IN NORTHERN ILLINOIS	\$125.00	\$215.00
			ICSC	\$90.00	
201004	261-4001-571.40-41	IL TAX INCREMENT ASSOCIATION	DUES	\$400.00	\$400.00
	263-4001-571.40-41		DUES	\$400.00	\$400.00
	264-4001-571.40-41		DUES	\$400.00	\$400.00
201021	101-4001-521.21-65	LEGRAND REPORTING & VIDEO SERVICES	TRANSCRIPTS	\$393.95	\$826.00
			TRANSCRIPTS	\$432.05	
201054	101-4001-521.30-05	OFFICE DEPOT	OFFICE SUPPLIES	\$134.49	\$268.98
			OFFICE SUPPLIES	\$134.49	
201061	101-4001-521.22-01	PADDOCK PUBLICATIONS INC	ADVERTISING	\$83.70	\$306.45
			ADVERTISING	\$85.05	
			ADVERTISING	\$137.70	
201125	101-4001-521.22-02	URBAN LAND INSTITUTE - ULI	DUES	\$220.00	\$220.00
201131	101-4001-521.40-40	VISUAL EDGE CREATIVE SERVICES	PROMOTE ECONOMIC	\$750.00	\$750.00
Total Division:				\$4,115.42	
Total Department:				\$4,115.42	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 45 Building & Health Service					
Division: 1					
200881	101-4501-523.22-10	A & E RUBBER STAMP CORP	SIGNATURE STAMP	\$59.50	\$59.50
201054	101-4501-523.30-05	OFFICE DEPOT	OFFICE SUPPLIES	\$564.03	\$564.03
201066	101-4501-523.22-03	PETTY CASH	TRAINING	\$15.00	\$15.00
201073	101-4501-523.22-10	PRINTFIN PRINTING & GRAPHICS SRVS	SERVICE PRINTING	\$115.00	\$163.00
			SERVICE PRINTING	\$48.00	
201110	101-4501-523.21-65	THOMPSON ELEVATOR INSPECTION	SERVICE BLDG MAINT	\$38.00	\$290.00
			SERVICE BLDG MAINT	\$252.00	
Total Division:				\$1,091.53	
Division: 2					
200946	101-4502-523.21-10	CORELOGIC SOLUTIONS LLC	PROPERTY SEARCH	\$220.00	\$220.00
200966	101-4502-523.21-10	FLECKS LANDSCAPING	SERVICE MISCELLANEOUS	\$85.00	\$425.00
			SERVICE MISCELLANEOUS	\$85.00	
			SERVICE MISCELLANEOUS	\$85.00	
			SERVICE MISCELLANEOUS	\$170.00	
200982	101-4502-523.21-65	HARRIS TRUST & SAVINGS BANK	J2 MYFAX SERVICES	\$10.00	\$10.00
	101-4502-523.33-10		PEAPOD *GROCERIES	\$123.86	\$386.67
			SANOFI PASTEUR INC	\$262.81	
	101-4502-523.40-53		COMED PAYMENT	\$402.50	\$805.00
			COMED PAYMENT	\$402.50	
201013	101-4502-523.20-25	KATOR LCSW, ANNE	COUNSELING	\$260.00	\$260.00
201022	101-4502-523.20-25	SHERRY LEMKE	COUNSELING	\$75.00	\$75.00
201033	101-4502-523.33-10	MC KESSON GENERAL MEDICAL	CLINIC SUPPLIES	\$1,501.42	\$1,501.42
201054	101-4502-523.30-05	OFFICE DEPOT	OFFICE SUPPLIES	\$38.79	\$400.82
			OFFICE SUPPLIES	\$57.50	
			OFFICE SUPPLIES	\$304.53	
201066	101-4502-523.22-03	PETTY CASH	TRAINING	\$9.72	\$48.60
			TRAINING	\$19.44	
			TRAINING	\$19.44	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
201067	101-4502-523.21-02	PHYSIO CONTROL INC	MAINTENANCE AGREEMENT	\$754.00	\$754.00
201099	101-4502-523.21-65	STACY SHEIN STAPLETON	INTERPRETING SERVICES	\$90.00	\$90.00
Total Division:				\$4,976.51	
Division: 3					
200888	101-4503-523.22-40	AMERICAN CHARGE SERVICE	TAXI PROGRAM	\$21.00	\$21.00
200948	101-4503-523.21-65	BRUCE CRUZ	EMPLOYMENT ASSISTANCE SER	\$175.00	\$175.00
200982	101-4503-523.31-65	HARRIS TRUST & SAVINGS BANK	DOLLAR TREE	\$20.00	\$388.34
			GFS STORE #1913	\$59.06	
			GFS STORE #1913	\$291.30	
			GFS STORE #1913	\$17.98	
201067	101-4503-523.21-02	PHYSIO CONTROL INC	MAINTENANCE AGREEMENT	\$377.00	\$377.00
201113	101-4503-523.22-40	THREE O THREE TAXI FLASH CAB	TAXI PROGRAM	\$51.00	\$51.00
Total Division:				\$1,012.34	
Total Department:				\$7,080.38	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 50 Engineering					
Division: 1					
200898	401-5001-571.50-30	ARROW ROAD CONSTRUCTION CO	SERVICE CONSULTING	\$251,252.61	\$251,252.61
200947	101-5001-524.30-35	CORPORATE IMAGING CONCEPTS INC	SAFETY GREEN FIELD T-SHIR	\$242.26	\$242.26
200954	401-5001-571.50-30	STEVE DUENSER	SIDEWALK REIMBURSEMENT	\$143.75	\$143.75
200973	101-5001-524.20-05	GOVTEMPSUSA LLC	PLAN REVIEWER	\$1,050.00	\$1,862.00
			PLAN REVIEWER	\$812.00	
200980	101-5001-524.20-05	HAMPTON LENZINI & RENWICK INC	SERVICE PROFESSIONAL	\$2,528.00	\$2,528.00
201011	211-5001-571.50-40	JOHNSON PAVING CO	SERVICE CONSULTING	\$111,767.22	\$111,767.22
Total Division:				\$367,795.84	
Total Department:				\$367,795.84	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 71 Public Works					
Division: 1					
200884	101-7101-531.31-55	ADDISON BUILDING MATERIAL CO	SUPPLIES	\$122.75	\$122.75
	101-7101-531.31-85		TOOLS	\$35.85	\$35.85
200886	101-7101-531.21-02	AFFILIATED CUSTOMER SERVICE INC	FIRE ALARM SERVICE	\$465.00	\$465.00
200890	101-7101-531.30-39	AMERIGAS-PALATINE	CYLINDER RENTAL	\$26.36	\$52.97
			CYLINDER RENTAL	\$26.61	
200895	515-7101-525.33-05	ARLINGTON RENTAL INC	EQUIPMENT RENTAL	\$133.10	\$133.10
200898	101-7101-531.31-90	ARROW ROAD CONSTRUCTION CO	STREET/SIDEWALK SUPPLIES	\$8,851.92	\$8,851.92
200899	101-7101-531.22-70	AT & T LONG DISTANCE	857099062	\$457.85	\$457.85
200900	101-7101-531.21-36	ATLAS FIRST ACCESS INC	RENTAL/LEASE EQUIPMENT	\$4,000.00	\$4,000.00
200905	101-7101-531.31-65	BATTERIES PLUS LLC	GENERATOR BATTERIES	\$862.62	\$990.86
			BATTERIES	\$28.74	
			BATTERIES	\$99.50	
200910	101-7101-531.21-36	C C CARTAGE INC	RENTAL/LEASE EQUIPMENT	\$39,162.00	\$46,947.75
			RENTAL/LEASE EQUIPMENT	\$1,495.00	
			RENTAL/LEASE EQUIPMENT	\$6,290.75	
	101-7101-531.21-62		SERVICE DISPOSAL	\$1,625.00	\$1,625.00
200921	426-7101-571.50-25	CHRISTOPHER B BURKE LTD	STORMWATER SURVEY	\$2,800.00	\$2,800.00
200922	101-7101-531.30-35	CINTAS CORP	WORK SHIRTS AND PANTS	\$46.08	\$46.08
200927	101-7101-531.31-40	CLESEN ARTHUR INC	AGRICULTURAL SUPPLIES	\$389.00	\$389.00
200929	101-7101-531.22-70	COMCAST CABLE	INTERNET SERVICE	\$2.11	\$2.11
200930	101-7101-531.22-70	COMCAST CABLE	INTERNET SCADA	\$14.78	\$14.78
200940	101-7101-531.21-50	COMMONWEALTH EDISON COMPANY	4103039009	\$232.45	\$232.45
200942	101-7101-531.21-50	COMMONWEALTH EDISON COMPANY	3291084013	\$2,528.22	\$2,528.22
200943	101-7101-531.21-50	COMMONWEALTH EDISON COMPANY	2278061084	\$106.96	\$106.96
200945	211-7101-571.50-40	COOK COUNTY HIGHWAY DEPT	SERVICE MISCELLANEOUS	\$5,312.15	\$5,312.15
200949	101-7101-531.21-11	CRYSTAL MAINTENANCE & MGMT SRVS	SERVICE BLDG MAINT	\$9,745.00	\$9,745.00
200955	101-7101-531.21-50	DYNEGY ENERGY SERVICES	1627055057	\$1,414.79	\$1,414.79
200966	101-7101-531.21-15	FLECKS LANDSCAPING	SERVICE MISCELLANEOUS	\$8,932.00	\$10,644.00
			SERVICE MISCELLANEOUS	\$1,712.00	
	435-7101-571.50-55		SERVICE TREES	\$1,420.00	\$4,895.30

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200966	435-7101-571.50-55	FLECKS LANDSCAPING	SERVICE TREES	\$3,475.30	\$4,895.30.
200969	101-7101-531.21-02	FOUNTAIN TECHNOLOGIES LTD	FOUNTAIN SERVICE	\$825.20	\$825.20
200974	101-7101-531.31-55	GRAINGER W W INC	BUILDING SUPPLIES	\$131.96	\$131.96
	101-7101-531.31-65		9649632878	(\$68.59)	\$-68.59
200977	401-7101-571.50-30	HAEGER ENGINEERING LLC	SERVICE CONSULTING	\$500.00	\$500.00
200982	101-7101-531.22-02	HARRIS TRUST & SAVINGS BANK	INTL SOC ARBORICULTURE	\$100.00	\$100.00
	101-7101-531.22-03		ILLINOIS ARBORIST ASSN	\$200.00	\$954.00
			FREDPRYOR CAREERTRACK	\$159.00	
			PAYPAL VAISALA INC	\$595.00	
	101-7101-531.31-65		THE HOME DEPOT 1913	\$38.95	\$1,186.38
			GFS STORE #1913	\$152.66	
			VALLI PRODUCE, INC	\$43.33	
			ARLINGTON CAKE BOX	\$216.00	
			GFS STORE #1913	\$16.34	
			JEWEL #3422	\$63.99	
			GFS STORE #1913	\$5.11	
			THURINGER GOURMET MEAT	\$400.00	
			EDDIES RESTAURANT AND	\$250.00	
	101-7101-531.31-70		DKC DIGI KEY CORP	\$883.16	\$883.16
200983	101-7101-531.21-02	HAYES MECHANICAL	EQUIPMENT MAINTENANCE	\$781.50	\$3,316.00
			EQUIPMENT MAINTENANCE	\$829.00	
			EQUIPMENT MAINTENANCE	\$428.50	
			EQUIPMENT MAINTENANCE	\$498.50	
			EQUIPMENT MAINTENANCE	\$509.50	
			EQUIPMENT MAINTENANCE	\$269.00	
200996	101-7101-531.21-50	HOMEFIELD ENERGY	3291084013	\$7,784.07	\$7,784.07
200998	101-7101-531.31-45	HP PRODUCTS CORP	JANITORIAL SUPPLIES	\$14.75	\$14.75
201007	101-7101-531.22-10	INNERWORKINGS LLC	BUSINESS CARDS	\$68.11	\$68.11
201009	101-7101-531.31-40	JCK CONTRACTORS	TOPSOIL	\$990.00	\$990.00
201020	101-7101-531.30-39	LEAHY WOLF CO	ZEREX GOLD FUEL	\$724.02	\$724.02
201024	101-7101-531.31-45	LOWES COMMERCIAL SERVICES	JANITORIAL SUPPLIES	\$40.85	\$40.85
	101-7101-531.31-55		BUILDER'S SUPPLIES	\$17.08	\$141.58
			HARDWARE SUPPLIES	\$20.17	
			VEH MAINTENANCE SUPPLY	\$104.33	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
201024	101-7101-531.31-65	LOWES COMMERCIAL SERVICE	HARDWARE SUPPLIES	(\$15.18)	\$122.61
			HARDWARE SUPPLIES	(\$0.40)	
			HARDWARE SUPPLIES	(\$4.80)	
			HARDWARE SUPPLIES	(\$3.52)	
			HARDWARE SUPPLIES	(\$15.18)	
			HARDWARE SUPPLIES	\$32.65	
			HARDWARE SUPPLIES	\$61.10	
			HARDWARE SUPPLIES	\$2.37	
			HARDWARE SUPPLIES	(\$20.17)	
			JANITORIAL SUPPLIES	\$85.74	
	101-7101-531.31-75		PAINT & EQUIPMENT	\$167.52	\$282.69
			STREET LIGHT SUPPLIES	\$115.17	
	101-7101-531.31-85		HARDWARE SUPPLIES	\$89.98	\$179.08
			HAND TOOLS-POWER/NON POW	\$89.10	
	401-7101-572.50-15		HAND TOOLS-POWER/NON POW	\$200.57	\$200.57
201025	101-7101-531.31-40	LURVEY LANDSCAPE SUPPLY	AGRICULTURAL SUPPLIES	\$103.20	\$103.20
201028	101-7101-531.30-39	MANSFIELD OIL COMPANY	FUEL,OIL,GREASE, & LUBES	\$13,181.14	\$13,181.14
201034	101-7101-531.31-90	MCA INDUSTRIES	SUPPLIES	\$629.00	\$629.00
201035	101-7101-531.31-65	MCM ELECTRONICS	CLASSIC SPEAKER STAND	\$117.99	\$117.99
201036	101-7101-531.21-01	MEADE ELECTRIC CO INC	EMERGENCY VEH PREEMPTION	\$581.52	\$1,163.04
			EMERGENCY VEH PREEMPTION	\$581.52	
201040	101-7101-531.31-55	MICHAEL WAGNER & SONS	BUILDING SUPPLIES	\$974.67	\$974.67
201041	101-7101-531.31-40	MIDWEST TRADING INC	AGRICULTURAL SUPPLIES	\$94.16	\$94.16
201049	101-7101-531.31-45	NEW PIG CORP	JANITORIAL SUPPLIES	\$1,462.37	\$1,462.37
201050	101-7101-531.22-03	NORTHEASTERN IL PUBLIC SAFETY	DRIVER TRAINING	\$112.50	\$112.50
201051	101-7101-531.31-55	NORTHWEST ELECTRICAL SUPPLY CO	BUILDING SUPPLIES	\$514.22	\$514.22
201053	101-7101-531.30-35	OCCUPATIONAL TRAINING & SUPPLY	GLOVES	\$360.00	\$360.00
201054	101-7101-531.30-05	OFFICE DEPOT	OFFICE SUPPLIES	\$168.95	\$168.95
201058	101-7101-531.21-15	OLIVE GROVE LANDSCAPING INC	SERVICE MISCELLANEOUS	\$10,771.90	\$10,771.90
201065	101-7101-531.31-40	PESCHES FLOWER SHOP	ANNUALS	\$121.53	\$167.92
			AGRICULTURAL SUPPLIES	\$46.39	
201066	101-7101-531.31-65	PETTY CASH	SUPPLIES	\$31.51	\$246.02
			SUPPLIES	\$31.97	
			SUPPLIES	\$27.60	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
201066	101-7101-531.31-65	PETTY CASH	SUPPLIES	\$46.77	\$246.02.
			SUPPLIES	\$15.94	
			SUPPLIES	\$4.00	
			SUPPLIES	\$45.63	
			SUPPLIES	\$42.60	
201067	101-7101-531.21-02	PHYSIO CONTROL INC	MAINTENANCE AGREEMENT	\$1,131.00	\$2,639.00
			MAINTENANCE AGREEMENT	\$1,508.00	
201069	101-7101-531.31-90	POROUS PAVE	STREET/SIDEWALK SUPPLIES	\$2,209.99	\$2,209.99
201071	101-7101-531.21-55	POWELL TREE CARE INC	SERVICE TREES	\$6,960.00	\$6,960.00
201074	101-7101-531.30-35	IPROMOTEU	T-SHIRTS	\$265.78	\$265.78
201078	101-7101-531.30-35	RED WING SHOE STORE	CLOTHING & APPAREL	\$195.49	\$1,026.93
			CLOTHING & APPAREL	\$130.49	
			CLOTHING & APPAREL	\$169.99	
			CLOTHING & APPAREL	\$130.49	
			CLOTHING & APPAREL	\$130.49	
			CLOTHING & APPAREL	\$130.49	
			CLOTHING & APPAREL	\$139.49	
201083	101-7101-531.31-45	SANDLER ENTERPRISES INC	HAND TOWELS	\$3,055.75	\$3,055.75
201090	101-7101-531.31-65	SHERWIN ACE HARDWARE	HARDWARE SUPPLIES	\$3.49	\$0.00
			HARDWARE SUPPLIES	(\$3.49)	
	101-7101-531.31-90		HAND TOOLS-POWER/NON POW	\$23.48	\$23.48
201091	435-7101-531.22-10	SIGNS BY TOMORROW	DIGITAL PRINTS MOUNTED	\$336.60	\$336.60
201092	235-7101-571.50-20	SIMONS, DOUGLAS	BRICK CLEANING	\$2,350.00	\$2,725.00
			BRICK CLEANING	\$375.00	
201098	101-7101-531.31-55	STANDARD PIPE & SUPPLY INC	BUILDING SUPPLIES	\$191.14	\$191.14
201101	101-7101-531.21-02	STATE OF IL FIRE MARSHALL	BOILER INSPECTION	\$140.00	\$140.00
201104	101-7101-531.31-45	SUPERIOR	SUPPLIES	\$32.88	\$298.96
			SUPPLIES	\$266.08	
201115	101-7101-531.31-70	TRAFFIC CONTROL & PROTECTION	TRAFFIC SIGNAL SUPPLIES	\$2,008.00	\$2,008.00
	101-7101-531.31-80		STREET SIGN	\$200.00	\$2,628.00
			BARRICADES	\$1,950.00	
			ALUMINUM BLANK	\$478.00	
201122	101-7101-531.21-65	TYCO INTEGRATED SECURITY	QUARTERLY BILLING	\$90.00	\$260.58
			QUARTERLY BILLING	\$170.58	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
201124	101-7101-531.22-05	UPS STORE #1051	POSTAGE	\$42.43	\$106.44
			POSTAGE	\$19.62	
			POSTAGE	\$44.39	
201127	101-7101-531.31-65	USA BLUEBOOK	ALUMINUM SCOOPS	\$142.87	\$142.87
201128	101-7101-531.21-02	VALLEY FIRE PROTECTION	FIRE ALARM SERVICE	\$572.00	\$572.00
201132	235-7101-571.50-25	WALKER PARKING CONSULTANTS	SERVICE CONSULTING	\$3,522.50	\$3,522.50
201135	101-7101-531.21-36	WEST SIDE TRACTOR SALES CO	RENTAL/LEASE EQUIPMENT	\$8,000.00	\$8,000.00
201136	101-7101-531.21-11	WIL-KIL PEST CONTROL	COMMERCIAL CONTRACT	\$80.00	\$350.00
			COMMERCIAL CONTRACT	\$225.00	
			COMMERCIAL CONTRACT	\$45.00	
801564	101-7101-531.22-70	AT & T	847577579506	\$226.88	\$386.89
			847577545306	\$61.78	
			847259612406	\$38.99	
			847392086606	\$59.24	
801565	101-7101-531.21-50	COMMONWEALTH EDISON COMPANY	4643388009	\$553.46	\$953.47
			5492508009	\$68.20	
			8572043011	\$222.90	
			3973144001	\$108.91	
801566	101-7101-531.21-50	NICOR	53278600001	\$452.95	\$688.86
			72489260108	\$151.47	
			19426400008	\$84.44	
Total Division:				\$189,749.65	
Total Department:				\$189,749.65	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 72 Water and Sewer					
Division: 1					
200884	505-7201-561.31-05	ADDISON BUILDING MATERIAL CO	SUPPLIES	\$7.81	\$7.81
200905	505-7201-561.33-05	BATTERIES PLUS LLC	SMALL BATTERY STOCK	\$49.20	\$49.20
200909	505-7201-561.21-30	BURNS MCDONNELL	SERVICE CONSULTING	\$4,503.93	\$4,503.93
200910	505-7201-561.31-90	C C CARTAGE INC	STREET/SIDEWALK SUPPLIES	\$10,093.00	\$10,093.00
200928	505-7201-561.33-05	COCA COLA	EVENT SUPPLIES	\$914.40	\$914.40
200932	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	0522082015	\$1,012.51	\$1,012.51
200933	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	0111076085	\$94.25	\$94.25
200934	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	0684023014	\$116.85	\$116.85
200935	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	0705092066	\$0.11	\$0.11
200936	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	0118046072	\$129.55	\$129.55
200937	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	0081080033	\$1,684.63	\$1,684.63
200938	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	0831076049	\$170.25	\$170.25
200939	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	1257044037	\$969.63	\$969.63
200941	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	1092085063	\$79.53	\$79.53
200944	505-7201-561.21-62	CONSTRUCTION & GEOTECHNICAL	DISPOSAL	\$1,950.00	\$1,950.00
200956	505-7201-561.21-50	DYNEGY ENERGY SERVICES	0297160055	\$236.87	\$236.87
200974	505-7201-561.31-05	GRAINGER W W INC	RELAY SWITCH	\$160.23	\$93.64
			TAX ADJUSTMENT	(\$66.59)	
	505-7201-561.31-55		BUILDING SUPPLIES	\$140.90	\$140.90
	505-7201-561.31-85		SUPPLIES	(\$137.18)	\$0.67
			ANALOG CLAMP METER	\$137.85	
200982	505-7201-561.22-03	HARRIS TRUST & SAVINGS BANK	WEF BK	\$725.00	\$725.00
	505-7201-561.30-05		AMAZON.COM	\$296.36	\$296.36
	505-7201-561.30-30		AMAZON.COM	\$99.99	\$99.99
	505-7201-561.31-65		AMAZON.COM	\$62.70	\$184.26
			AMAZON MKTPLACE PMTS	\$57.57	
			JEWEL #3422	\$63.99	
	505-7201-561.50-20		AMAZON MKTPLACE PMTS	\$24.11	\$415.06
			AMAZON MKTPLACE PMTS	\$179.92	
			AMAZON MKTPLACE PMTS	\$179.92	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
200982	505-7201-561.50-20	HARRIS TRUST & SAVINGS BANK	AMAZON MKTPLACE PMTS	\$10.37	\$415.06.
			AMAZON MKTPLACE PMTS	\$20.74	
200984	505-7201-561.21-35	HBK WATER METER SERVICE INC	SERVICE METER	\$942.97	\$3,451.87
			SERVICE METERS	\$2,508.90	
	505-7201-561.31-02		METER/BACKFLOW DEVICES	\$34.50	\$1,354.67
			METER/BACKFLOW DEVICES	\$357.17	
			METER/BACKFLOW DEVICES	\$204.00	
			METERS - BACKFLOW DEVICES	\$759.00	
	505-7201-561.50-15		WATER SEWER SUPPLY	\$17,800.00	\$17,800.00
200986	505-7201-561.31-55	HELLER LUMBER CO	LUMBER	\$74.66	\$74.66
200990	505-7201-561.21-50	HOMEFIELD ENERGY	0159027139	\$205.43	\$205.43
200993	505-7201-561.21-50	HOMEFIELD ENERGY	0300013030	\$4,821.89	\$4,821.89
200995	505-7201-561.21-50	HOMEFIELD ENERGY	0522082015	\$666.71	\$666.71
200997	505-7201-561.21-50	HOMEFIELD ENERGY	0441087047	\$15.78	\$15.78
201006	505-7201-561.50-15	INDUSTRIAL NETWORK SYSTEMS	HISTORIAN ENTERPRISE SERV	\$2,490.93	\$2,490.93
201024	505-7201-561.31-55	LOWES COMMERCIAL SERVICES	BUILDER'S SUPPLIES	\$24.83	\$51.30
			PAINT & EQUIPMENT	\$26.47	
	505-7201-561.31-85		HARDWARE SUPPLIES	\$11.72	\$11.72
201032	505-7201-561.20-05	MC HENRY ANALYTICAL WATER LAB	MONTHLY DRINKING WATER	\$900.00	\$900.00
201035	505-7201-561.31-07	MCM ELECTRONICS	THERMAL CKT BREAKER	\$12.96	\$12.96
201039	505-7201-561.50-15	METROPOLITAN PUMP COMPANY	PUMPING SYSTEM SUPPLIES	\$6,303.00	\$6,303.00
201050	505-7201-561.22-03	NORTHEASTERN IL PUBLIC SAFETY	DRIVER TRAINING	\$225.00	\$225.00
201051	505-7201-561.31-65	NORTHWEST ELECTRICAL SUPPLY CO	SUPPLIES	\$151.05	\$151.05
201053	505-7201-561.30-35	OCCUPATIONAL TRAINING & SUPPLY	GLOVES	\$360.00	\$360.00
201054	505-7201-561.30-05	OFFICE DEPOT	OFFICE SUPPLIES	\$168.95	\$168.95
201060	505-7201-561.31-90	OZINGA READY MIX CONCRETE INC	STREET/SIDEWALK SUPPLIES	\$1,065.75	\$73.15
			STREET/SIDEWALKS SUPPLIES	(\$992.60)	
201066	505-7201-561.22-03	PETTY CASH	TRAINING	\$20.25	\$26.50
			TRAINING	\$6.25	
	505-7201-561.31-65		SUPPLIES	\$5.89	\$41.82
			SUPPLIES	\$18.69	
			SUPPLIES	\$17.24	
201078	505-7201-561.30-35	RED WING SHOE STORE	CLOTHING & APPAREL	\$34.26	\$1,093.76
			CLOTHING & APPAREL	\$186.99	

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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
201078	505-7201-561.30-35	RED WING SHOE STORE	CLOTHING & APPAREL	\$200.55	\$1,093.76
			CLOTHING & APPAREL	\$130.49	
			CLOTHING & APPAREL	\$186.99	
			CLOTHING & APPAREL	\$169.99	
			CLOTHING & APPAREL	\$184.49	
201090	505-7201-561.31-01	SHERWIN ACE HARDWARE	PAINT & EQUIPMENT	\$19.98	\$19.98
	505-7201-561.31-05		HARDWARE SUPPLIES	\$2.62	\$2.62
	505-7201-561.31-85		HARDWARE SUPPLIES	\$15.99	\$15.99
201116	505-7201-561.21-65	TRC LOCKBOX	MS4 COMPLIANCE	\$1,437.94	\$1,437.94
201117	505-7201-561.30-35	VERONICA TREVINO	SAFETY SHOE REIMBURSEMENT	\$123.25	\$123.25
801564	505-7201-561.22-70	AT & T	847437468406	\$38.99	\$77.98
			847437468506	\$38.99	
801565	505-7201-561.21-50	COMMONWEALTH EDISON COMPANY	0645171017	\$72.85	\$387.77
			1284169036	\$196.12	
			0087155164	\$118.80	
801566	505-7201-561.21-50	NICOR	19278600002	\$160.37	\$259.06
			04055600003	\$98.69	
801567	505-7201-561.22-70	AMERICAN MESSAGING	ACCT U11093110	\$96.96	\$96.96
901162	505-7201-561.21-53	NORTHWEST WATER COMMISSION	QUARTERLY PAYMENT	\$1,065,594.00	\$1,065,594.00
Total Division:				\$1,132,285.10	
Total Department:				\$1,132,285.10	

Check Date: 2016 - 7 - 30

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Date: Wednesday, July 27, 2016
Page 29

Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 73 Parking					
Division: 1					
200974	235-7301-532.31-65	GRAINGER W W INC	SUPPLIES	\$934.60	\$934.60
200987	235-7301-532.21-11	HENNING BROTHERS INC	BUILDING MAINTENANCE	\$1,724.80	\$1,724.80
Total Division:				\$2,659.40	
Division: 2					
200991	235-7302-532.21-50	HOMEFIELD ENERGY	0874331007	\$3,007.01	\$3,007.01
Total Division:				\$3,007.01	
Division: 3					
200994	235-7303-532.21-50	HOMEFIELD ENERGY	4643395004	\$2,003.05	\$2,003.05
Total Division:				\$2,003.05	
Division: 4					
200992	235-7304-532.21-50	HOMEFIELD ENERGY	0983023007	\$824.00	\$824.00
Total Division:				\$824.00	
Total Department:				\$8,493.46	

Check Date: 2016 - 7 - 30

WARRANT REGISTER - GM0002

Date: Wednesday, July 27, 2016
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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 74 Solid Waste Dispsl SWANCC					
Division: 1					
901165	511-7401-562.21-54	SOLID WASTE AGENCY	TIPPING FEES 8-2016	\$86,815.42	\$86,815.42
Total Division:				\$86,815.42	
Total Department:				\$86,815.42	

WARRANT REGISTER - GM0002

Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 75 Municipal Fleet Services					
Division: 1					
200894	621-7501-551.21-07	ARLINGTON HTS FORD INC	VEH EQUIPMENT MAINTENANCE	\$65.00	\$65.00
	621-7501-551.21-08		MIRROR ASSEMBLY	\$375.34	\$375.34
	621-7501-551.31-51		SOCKET ASSEMBLY	\$19.08	\$40.22
			WIRE ASSEMBLY	\$21.14	
200901	621-7501-551.31-51	AUTO ZONE	VEH MAINTENANCE SUPPLY	(\$13.99)	\$81.47
			GLASS LIFT SUPPORT	\$38.18	
			TAILGATE LIFT	\$57.28	
200908	621-7501-551.31-51	BUCK BROTHERS INC	VEH MAINTENANCE SUPPLY	\$92.46	\$92.46
200913	621-7501-551.21-07	CAR PRETTY	STICKER REMOVAL	\$100.00	\$100.00
200914	621-7501-551.31-51	CAR QUEST	VEH MAINTENANCE SUPPLY	(\$6.79)	\$1,192.24
			VEH MAINTENANCE SUPPLY	(\$245.31)	
			FILTERS	\$48.17	
			AIR FILTER	\$13.36	
			OIL FILTER	\$10.00	
			AIR FILTER	\$329.32	
			VEH MAINTENANCE SUPPLY	\$35.27	
			FUEL CAP	\$12.12	
			VEH MAINTENANCE SUPPLY	\$142.74	
			AIR FILTER	\$73.50	
			FUEL FILTER	\$79.80	
			FILTERS	\$147.98	
			FUEL FILTER	\$17.50	
			BRAKE CHAMBER	\$49.65	
			FILTERS	\$97.86	
			FILTERS	\$58.81	
			VEH MAINTENANCE SUPPLY	\$13.00	
			VEH MAINTENANCE SUPPLY	\$24.47	
			VEH MAINTENANCE SUPPLY	\$95.30	
			FILTERS	\$140.09	
			VEH MAINTENANCE SUPPLY	\$55.40	

WARRANT REGISTER - GM0002

Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
200914	621-7501-551.31-65	CAR QUEST	SUPPLIES	\$10.24	\$43.48
			SUPPLIES	\$33.24	
200915	621-7501-551.21-07	CASEY EQUIPMENT CO	VEH EQUIPMENT MAINTENANCE	\$256.52	\$256.52
200916	621-7501-551.31-51	CASSIDY TIRE & SERVICE	TIRES	\$1,175.00	\$1,175.00
200919	621-7501-551.31-51	CHICAGO PARTS AND SOUND	MOTOR COOLING BLOWER	\$41.93	\$1,377.09
			BRAKE KITS	\$245.79	
			MOTOR/FAN/THERMOSTAT	\$205.62	
			BRAKE PAD KIT	\$117.95	
			VEH MAINTENANCE SUPPLY	\$263.70	
			VEH MAINTENANCE SUPPLY	\$235.90	
			VEH MAINTENANCE SUPPLY	\$266.20	
200922	621-7501-551.30-35	CINTAS CORP	WORK SHIRTS AND PANTS	\$46.09	\$46.09
200924	621-7501-551.21-36	CITY WELDING SALES & SERVICE	CYLINDER RENTAL	\$132.61	\$132.61
	621-7501-551.31-65		SUPPLIES	\$141.60	\$141.60
200926	621-7501-551.31-65	CLASS C SOLUTIONS GROUP	SUPPLIES	\$114.00	\$114.00
200963	621-7501-551.21-02	FEDERAL SIGNAL CORP	EQUIPMENT MAINTENANCE	\$210.91	\$210.91
200972	621-7501-551.31-51	GLOBAL EMERGENCY PRODUCTS	FIELD SERVICE KIT	\$226.88	\$226.88
200981	621-7501-551.31-85	HARBOR FREIGHT TOOLS	TOOLS	\$289.98	\$333.96
			TOOLS	\$43.98	
200982	621-7501-551.21-02	HARRIS TRUST & SAVINGS BANK	SOI*SBS ROCHESTER HILL	\$531.25	\$531.25
	621-7501-551.21-65		IPASS AUTOREPLENISH #5	\$40.00	\$40.00
	621-7501-551.31-51		AMAZON.COM AMZN.COM/BI	\$11.88	\$54.32
			AMAZON.COM AMZN.COM/BI	\$42.44	
	621-7501-551.31-65		AMAZON.COM	\$10.95	\$43.92
			THE HOME DEPOT 1927	\$32.97	
	621-7501-551.31-85		AMAZON.COM AMZN.COM/BI	\$77.71	\$77.71
201002	621-7501-551.21-62	IL RECOVERY GROUP INC	TRUCK SERVICE CHARGE OIL	\$30.00	\$30.00
201014	621-7501-551.31-51	KEEN EDGE COMPANY	VEH MAINTENANCE SUPPLY	\$29.19	\$29.19
201019	621-7501-551.31-51	LEACH ENTERPRISES INC	894123	(\$86.40)	\$1,778.01
			VEH MAINTENANCE SUPPLY	\$81.85	
			VEH MAINTENANCE SUPPLY	\$890.16	
			VEH MAINTENANCE SUPPLY	\$889.54	
			VEH MAINTENANCE SUPPLY	\$2.86	
201026	621-7501-551.31-85	MAC TOOLS	TOOLS	\$119.99	\$119.99

WARRANT REGISTER - GM0002

Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
201042	621-7501-551.31-51	MORTON GROVE AUTOMOTIVE WEST	VEH MAINTENANCE SUPPLY	\$195.00	\$195.00
201044	621-7501-551.31-51	NAPA HEIGHTS AUTOMOTIVE	VEH MAINTENANCE SUPPLY	\$52.79	\$118.78
			OIL FILTER	\$65.99	
201050	621-7501-551.22-03	NORTHEASTERN IL PUBLIC SAFETY	DRIVER TRAINING	\$112.50	\$112.50
201072	621-7501-551.31-51	PRECISION SERVICE PARTS	RELAY SWITCH	\$128.29	\$421.64
			VEH MAINGENANCE SUPPLY	\$124.69	
			COIL ASSEMBLY	\$44.00	
			SPARK PLUG KITS	\$60.25	
			RESISTOR, WIRE ASSEMBLY	\$64.41	
201075	621-7501-551.31-51	PRO VISION INC	REARVIEW MIRROR	\$292.10	\$292.10
201077	621-7501-551.31-51	REALWHEELS RWC INC	VEH MAINTENANCE SUPPLY	\$44.00	\$44.00
201080	621-7501-551.31-51	RUSH TRUCK CENTERS OF ILLINOIS INC	MOTOR CONTROL MODE DRIVE	\$94.23	\$944.95
			PUMP ASSEMBLY	\$830.60	
			VEH MAINTENANCE SUPPLY	\$20.12	
201081	621-7501-551.31-51	INTERSTATE BILLING SERVICE INC	FILTER KITS	\$394.80	\$1,412.14
			FILTER KITS	\$36.04	
			FILTER ASSEMBLY	\$115.38	
			FILTER KITS	\$36.04	
			VEH MAINTENANCE SUPPLY	\$829.88	
201086	621-7501-551.31-51	SCRUBBER CITY INC	KUBOTA WATER PUMP	\$159.00	\$694.95
			VEH MAINTENANCE SUPPLY	\$535.95	
201090	621-7501-551.31-51	SHERWIN ACE HARDWARE	BATTERIES	\$8.99	\$11.63
			HARDWARE SUPPLIES	\$0.66	
			VEH MAINTENANCE SUPPLY	\$1.98	
	621-7501-551.31-65		HARDWARE SUPPLIES	\$1.98	\$23.94
			HARDWARE SUPPLIES	\$21.96	
201096	621-7501-551.21-07	SPRING ALIGN	VEH EQUIPMENT MAINTENANCE	\$1,346.44	\$1,346.44
201097	621-7501-551.31-51	STANDARD EQUIPMENT CO	VEH MAINTENANCE SUPPLY	(\$83.22)	\$558.56
			VEH MAINTENANCE SUPPLY	\$41.12	
			VEH MAINTENANCE SUPPLY	\$70.14	
			VEH MAINTENANCE SUPPLY	\$112.87	
			HYDRAULIC FILTER KIT	\$417.65	
201105	621-7501-551.31-51	SUPERIOR SOUND INC	VEH MAINTENANCE SUPPLY	\$345.00	\$345.00
201107	621-7501-551.31-51	TERMINAL SUPPLY CO	MARKER LAMP	\$59.55	\$59.55

WARRANT REGISTER - GM0002

Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
201107	621-7501-551.31-65	TERMINAL SUPPLY CO	SUPPLIES	\$71.66	\$71.66
201108	621-7501-551.21-02	TERRACE SUPPLY CO	EQUIPMENT MAINTENANCE	\$158.90	\$158.90
201124	621-7501-551.22-05	UPS STORE #1051	POSTAGE	\$26.69	\$175.26
			POSTAGE	\$13.99	
			POSTAGE	\$44.69	
			POSTAGE	\$28.20	
			POSTAGE	\$61.69	
201126	621-7501-551.31-51	US AUTO FORCE	VEH MAINTENANCE SUPPLY	\$112.68	\$112.68
201133	621-7501-551.30-35	WALMAN OPTICAL CO	SAFETY GLASSES	\$74.00	\$74.00
201134	621-7501-551.21-07	WENTWORTH TIRE SERVICE	TIRE REPAIR	\$171.99	\$171.99
	621-7501-551.31-51		TIRES	\$283.52	\$1,632.56
			TIRES	\$1,349.04	
201135	621-7501-551.31-51	WEST SIDE TRACTOR SALES CO	VEH MAINTENANCE SUPPLY	(\$110.16)	\$-110.16
201140	621-7501-551.31-65	ZEP MANUFACTURING CO	SUPPLIES	\$251.94	\$251.94
201141	621-7501-551.21-07	211 RAND ROAD INC	VEH MAINTENANCE	\$126.00	\$126.00
Total Division:				\$17,955.27	
Total Department:				\$17,955.27	

Check Date: 2016 - 7 - 30

WARRANT REGISTER - GM0002

Date: Wednesday, July 27, 2016
Page 35

Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 90 Capital					
Division: 1					
200953	505-9001-571.50-25	DIXON ENGINEERING INC	SERVICE CONSULTING	\$6,020.65	\$6,020.65
201064	505-9001-571.50-25	PERFORMANCE CONSTRUCTION & ENG LLC	SERVICE CONSTRUCTION	\$185,707.80	\$185,707.80
Total Division:				\$191,728.45	
Division: 3					
201137	621-9003-572.50-05	WRIGHT AUTOMOTIVE	VEHICLE MAJOR TRANSPORT	\$29,104.00	\$29,104.00
Total Division:				\$29,104.00	
Total Department:				\$220,832.45	

Check Date: 2016 - 7 - 30

WARRANT REGISTER - GM0002

Date: Wednesday, July 27, 2016
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Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 95 Debt Service					
Division: 53					
200903	301-9553-582.60-20	BANK OF NEW YORK MELLON	PAYING AGENT FEE	\$428.00	\$1,230.50
			PAYING AGENT FEE	\$802.50	
Total Division:				\$1,230.50	
Total Department:				\$1,230.50	

Check Date: 2016 - 7 - 30

WARRANT REGISTER - GM0002

Date: Wednesday, July 27, 2016
Page 37

Check #	Account Number	Payee	Description 1	Transaction Amount	Total Trans Amt
Department: 99 Non Operating					
Division: 1					
201038	515-9901-525.40-83	METROPOLIS COMMERCIAL CONDO ASSN	CAM CHARGES 7-2016	\$6,368.70	\$6,368.70
	515-9901-525.40-92		BLDG RESERVE FUND 7-2016	\$1,199.90	\$1,199.90
Total Division:				\$7,568.60	
Total Department:				\$7,568.60	
TOTAL ALL FUNDS:				\$2,630,696.64	



Item: Report of the Committee-of-the-Whole Meeting of August 1, 2016
- Interview of JZilewicz

Department: Village Manager's Office

Report of the Committee-of-the-Whole Meeting of August 1, 2016

Interview of John Zilewicz for Appointment to the Arts Commission - Term
Ending: 4/30/18

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Bid Amount:



Item: Report of the Committee-of-the-Whole Meeting of August 1, 2016
- Interview of Rex Paisley

Department: Village Manager's Office

Report of the Committee-of-the-Whole Meeting of August 1, 2016

Interview of Rex Paisley for Appointment to the Arlington Economic Alliance (Top 20 Employer) - Term Ending: 4/30/17

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Bid Amount:



Item: Ordinance - Repeal Ordinance Number 05-056

Department: Planning/Legal

BACKGROUND

In 1999, the Village Board adopted Ordinance 99-058, approving a special use for J Gerards, which would be operating out of two spaces in the Metropolis Building (the ones on either side of the lobby). After J Gerards left, it was operated, again as one restaurant, by Tullers. In 2005, after Tullers left, there was a request for a separate restaurant, called Oscar's, to operate a restaurant in the space on the east side of the lobby. Oscar's was a totally separate restaurant from the restaurant on the west side, so an amendment to the special use was necessary. Accordingly, the Village Board adopted Ordinance 05-056, which amended Ordinance 99-058 to permit a restaurant to operate without a kitchen.

The Village now has a request from Mago's, the current restaurant on the west side of the lobby, to expand into the east side. Since the two spaces will, again, now be operated as one restaurant, the amended special use adopted in 2005 is no longer necessary. Staff believes it makes sense to repeal Ordinance 05-056, which will make Ordinance 99-058 applicable.

RECOMMENDATION

It is recommended that the Village Board repeal Ordinance 05-056, thereby permitting Mago's to expand in substantial compliance with the applicable terms of Ordinance 99-058.

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Bid Amount:

ATTACHMENTS:

Description

Repeal Ordinance 05-056

Type

Ordinance

AN ORDINANCE REPEALING
ORDINANCE NUMBER 05-056

WHEREAS, on July 18, 2005, the President and Board of Trustees approved Ordinance Number 05-056, amending a special use permit granted in Ordinance Number 99-058 and granting a special use permit for a restaurant and a land use variation, for the property located at 107 W. Campbell Street, Arlington Heights, Illinois; and

WHEREAS, the use for which Ordinance Number 05-056 was approved is no longer in operation and it has been determined that the approval of Ordinance Number 05-056 is no longer relevant or necessary,

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF ARLINGTON HEIGHTS:

SECTION ONE: That the approval of Ordinance Number 05-056, amending a special use permit granted in Ordinance Number 99-058 and granting a special use permit for a restaurant and a land use variation for the property legally described as:

Lot 1 in Sieburg's Subdivision of Block 25 (except 1/2 of Lots 1 and 2, also the North 1/2 of Block 32 and so much of Robinson Street as lies between said Blocks 25 and 32 in the Town of Dunton in the West 1/2 of the Southwest 1/4 of Section 29, Township 42 North, Range 11, East of the Third Principal Meridian, in Cook County, Illinois.

P.I.N. 03-29-346-027-0000

commonly described as 107 West Campbell Street, Arlington Heights, Illinois, is hereby repealed.

SECTION TWO: That this Ordinance shall be in full force and effect from and after its passage and approval in the manner provided by law and shall be recorded in the Office of the Recorder of Cook County, Illinois.

AYES:

NAYS:

PASSED AND APPROVED this 1st day of August, 2016.

Village President

ATTEST:

Village Clerk

MISCORDS: Repeal Ord. Number 05-056



Item: TIF IV Budget Amendment

Department: Planning & Community Development

BACKGROUND

At the July 18, 2016 meeting, the Village Board approved the Real Estate contract for the purchase of 1665 S. Arlington Heights Road for \$525,000 from TIF IV. In April 2016, the Board authorized \$265,579 from TIF IV for the Autumn Leaves development for public improvement costs for Council Trail. The current TIF IV budget includes \$500,000 for these costs; therefore, a budget amendment is necessary to increase the budget to \$790,579.

RECOMMENDATION

It is recommended that that Village Board approve an amendment to the TIF IV budget (account #263-4001-571-50-25), increasing the budget from \$500,000 to \$790,579 through the use of TIF IV reserves.

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Bid Amount:



Item: Reappointment of Colleen Ungurean to PAM Board

Department: Village Manager's Office

Reappointment of Colleen Ungurean to the PAM Board of Directors - Term
Ending: 7/20/19

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Bid Amount:



Item: Bond Waiver - St. James

Department: Building Services

Background

St. James is requesting a waiver of the bond requirement for their annual raffle this fall. Tickets will be sold from September 9 through September 29, 2016. Weekly drawings will take place from October 7, 2016 through June 2, 2017.

Recommendation

Staff recommends that the Village Board grant the waiver of the bond requirement.

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Bid Amount:

ATTACHMENTS:

Description

Letter

Type

Correspondence



Mr. Randall Recklaus
Village Manager
Village of Arlington Heights
33 South Arlington Heights Road
Arlington Heights, IL 60005

July 13, 2016

Dear Mr. Recklaus:

St. James Catholic School will once again be conducting our annual raffle this fall. The school raffle is one of the major fundraisers for our Parents' Club. Tickets sales will begin on September 9 and conclude on September 29, 2016. Weekly drawings will take place from October 7, 2016 through June 2, 2016, and winners will be notified by mail.

We are requesting a waiver of bond. Please send your response to:

Mrs. Jacalyn Derengowski
208 S. Derbyshire
Arlington Heights, IL 60004

Thank you very much for your assistance.

Sincerely,

A handwritten signature in cursive script that reads "Jacalyn Derengowski".

Jacalyn Derengowski and Laura McLeod
St. James School Raffle Chairpersons/parents

cc: Ms. Valerie Gerstein, Building Department



Item: Permit Fee Waiver - Arlington Heights Park District

Department: Building Services

Background

The Arlington Heights Park District respectfully requests the waiver of all applicable Village of Arlington Heights Planning and Building Permit fees and/or all applicable Village review fees, with the exception of any out of pocket fees, related to the permit for 2016 Sunset Meadows Park Protective Safety Netting Improvements Project.

Estimated amount of fee waiver: \$1200

Recommendation

Staff recommends that the Village Board grant a waiver of the applicable permit fees related to the 2016 Sunset Meadows Park Protective Safety Netting Improvements.

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Bid Amount:

ATTACHMENTS:

Description

Letter

Type

Correspondence



July 25, 2016

Mr. Randall Recklaus
Village Manager
Village of Arlington Heights
33 S. Arlington Heights Road
Arlington Heights, Illinois 60005

Re: Request for Waiver of Fees – Sunset Meadows Park Protective Safety Netting
Improvements

Mr. Recklaus:

The Village of Arlington Heights Building Department is currently reviewing the application for permit for the 2016 Sunset Meadows Park Protective Safety Netting Improvements located near the intersection of W. Kirchoff and New Wilke Roads, operated by Arlington Heights Park District. The project is scheduled to begin in August 2016.

Following prior practice, the Arlington Heights Park District respectfully requests the waiver of all applicable Village of Arlington Heights Planning and Building Permit fees and/or all applicable Village review fees. The Park Board of Commissioners and staff appreciate your assistance on this matter.

If you need any additional information, please feel free to contact me at (847)506-7145. Thank you again for the continued cooperation and support from the Village of Arlington Heights.

Sincerely,

Alann Petersen, CPRP
Director of Parks & Planning



Item: Permit Fee Waiver - Arlington Heights Park District

Department: Building Services

Background

The Arlington Heights Park District respectfully requests the waiver of all applicable Village of Arlington Heights Planning and Building permit fees and/or all applicable Village review fees, with the exception of any out of pocket fees, for the 2016 Water Service Replacement at Hasbrook Park.

Estimated amount of fee waiver: \$790.00

Recommendation

Staff recommends that the Village Board grant a waiver of the applicable permit fees related to the 2016 Water Service Replacement at Hasbrook Park.

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Bid Amount:

ATTACHMENTS:

Description

Letter

Type

Correspondence



July 20, 2016

Mr. Randall Recklaus
Village Manager
Village of Arlington Heights
33 S. Arlington Heights Road
Arlington Heights, Illinois 60005

Re: Request for Waiver of Fees – Hasbrook Park Water Service Replacement

Mr. Recklaus:

The Village of Arlington Heights Building Department is currently reviewing the application for permit for the 2016 Water Service Replacement at Hasbrook Park at 333 W. Maude Avenue, Arlington Heights. The project is scheduled to begin in Mid-August.

Following prior practice, the Arlington Heights Park District respectfully requests the waiver of all applicable Village of Arlington Heights Planning and Building Permit fees and/or all applicable Village review fees. The Park Board of Commissioners and staff appreciate your assistance on this matter.

If you need any additional information, please feel free to contact me at (847)506-7145. Thank you again for the continued cooperation and support from the Village of Arlington Heights.

Sincerely,

Alann Petersen, CPRP
Director of Parks & Planning

Cc Rick Hanetho, Executive Director



Item: Our Savior Lutheran Church Columbarium - 1234 N. Arlington Heights Rd. - PC#16-014

Department: Planning & Community Development

Requested Action

Special Use Permit to allow a columbarium within the R-3 District.

Variations Identified

A variation from Section 6.5-2 to allow an accessory structure within a front yard.

Recommendation

A public hearing was held by the Plan Commission on July 13, 2016 where Commissioner Dawson moved and Commissioner Sigalos seconded:

A motion to recommend approval to the Village Board of Trustees of PC#16-014, a Special Use Permit to allow a columbarium within the R-3 District, and a variation from from Section 6.5-2 to allow an accessory structure within a front yard, for the property located at 1234 N. Arlington Heights Road. This approval shall be subject to the following conditions:

1. The Petitioner shall comply with all applicable Federal, State, and Village Codes, Regulations, and Policies.

Roll Call Vote: Commissioners Cherwin, Dawson, Ennes, Green, Sigalos, Warskow and Chairman Lorenzini voted in favor. Motion carried.

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Bid Amount:

ATTACHMENTS:**Description**

Staff Report
PC Minutes 7/13/16
Aerial
Site Plan
Plat of Survey
Project Narrative
Department Comments - Round 1
Petitioner Response to Department
Comments- Round 1
PC Timeline Tracker

Type

Board or Commission Report
Minutes
Exhibits
Exhibits
Exhibits
Correspondence
Correspondence
Correspondence
Correspondence

STAFF DEVELOPMENT COMMITTEE REPORT

To: Plan Commission
Prepared By: Sam Hubbard, Development Planner
Meeting Date: July 13, 2016
Date Prepared: July 8, 2016
Project Title: Our Saviour Lutheran Church Columbarium
Address: 1234 N. Arlington Heights Road

BACKGROUND INFORMATION

Petitioner: Jim Valentine
Address: 1234 N. Arlington Heights Rd.
 Arlington Heights, IL 60004

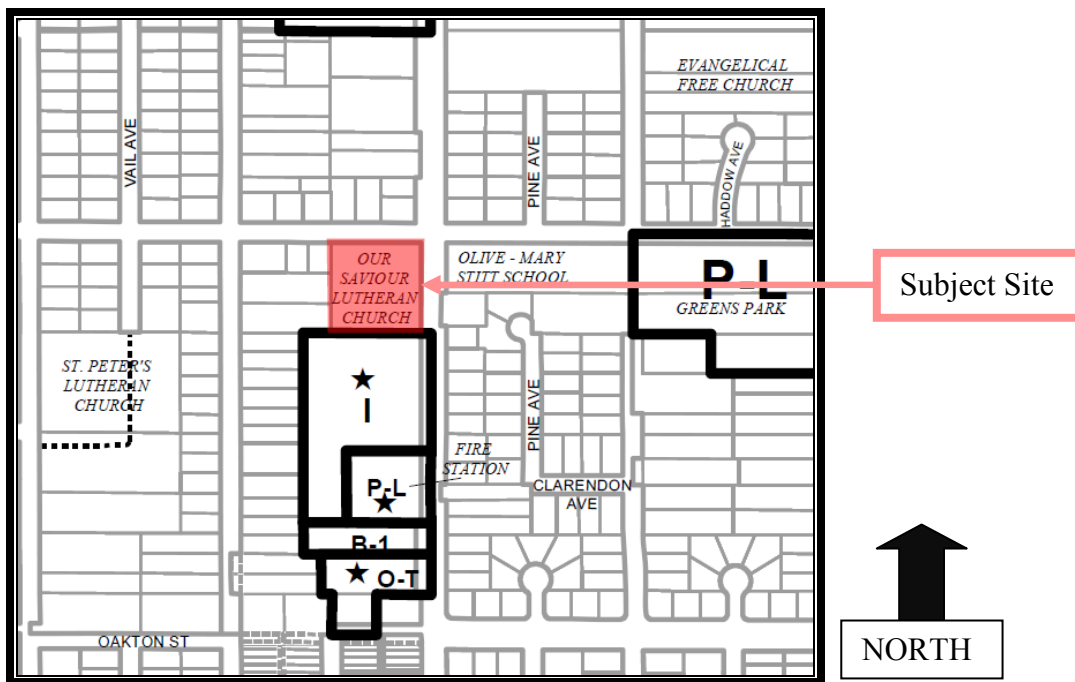
Existing Zoning: R-3, One-Family Dwelling District

Requested Action:

- Special Use Permit to allow a columbarium within the R-3 District.

Variations Identified:

- Variation from Variation from Section 6.5-2 to allow an accessory structure within a front yard.



Surrounding Properties:

Direction	Zoning	Existing Use	Comprehensive Plan
North	R-3, One-Family Dwelling District	Single-Family Homes	Single Family Detached
South	I, Institutional	Short Term Care/Rehabilitation Facility (Transitional Care Management)	Institutional
East	R-3, One-Family Dwelling District	Single Family Home and Olive – Mary Stitt Elementary School	Single Family Detached and Schools
West	R-3, One-Family Dwelling District	Single-Family Homes	Single Family Detached

Background:

Our Saviours Lutheran Church would like to construct a columbarium on the subject property, and is seeking a Special Use Permit to allow the columbarium and a Variation to allow the proposed columbarium in the front yard along Arlington Heights Road. The subject property is approximately 2 acres in size, with the total size of the Church property being 3.36 acres (overall site includes parking lot). The property is currently developed with a church, which is presently undergoing interior modifications/renovations to improve the functionality and appearance of the interior space within the church building. Primary access to the site comes from Dunton Avenue along the west side of the property, and Olive Street on the north. There is one "exit-only" access point that discharges onto Arlington Heights Road.

Traditional worship for the church occurs on Sundays between 9:00am and 10:30am, but is also offered on Saturdays at 5:00pm. The church also offers a "contemporary" worship service that begins at 10:30am on Sundays, as well as Sunday school, a nursery, and adult education, all between the hours of 9:00am and 10:30am. Average weekly worship amounts to around 600 people.

Zoning and Comprehensive Plan

The property is within the R-3, Single-Family Dwelling District. Church uses are classified as permitted uses within the R-3 District. Columbaria are special uses within the R-3 District, and therefore a Special Use Permit is required.

The Village's Comprehensive Plan designates the future use of the subject property as "Institutional". The proposed columbarium is consistent with the current use of the property and complies with the Comprehensive Plan designation for the subject property. The applicant has provided the necessary justification to affirm Special Use Permit approval. Staff concurs with the petitioner that the necessary standards for approval have been met. Specifically, that:

1. **The ability of the community to have options for "burial" outside of a cemetery setting will enhance the public convenience at this location.**
2. **The proposed columbarium will pose no threat to the public safety, morals, or general welfare. In fact, this project includes landscape upgrades to this area of the subject property to provide a peaceful landscaped courtyard for the columbarium.**
3. **The proposed use will comply with all regulations and conditions as required.**

Site Plan, Building and Landscaping

The church is presently undergoing various interior improvements to the church building and, as part of this process, is interested in constructing a 168 niche columbarium in a semi-courtyard area along the east side of the building. This area is approximately 37' x 27' in size and occupied by a small paver patio with various groundcover landscaping. These elements would be removed, and the floor would become decorative crushed granite "landscape" gravel, and an Eastern Redbud ornamental tree would be planted in the center. The actual columbarium would be 3' x 10' and 5.5' in height. Soft toned decorative lighting will be installed in the cap of the columbarium. Although all niches are expected to be used in the future, a decorative panel would cover most of the columbarium until additional niches are needed. Around 60 niches would be constructed in the initial buildout of the columbarium.

The area would be encircled with thirteen arbor vitae to provide a buffer from Arlington Heights Road. Ground accent lighting would be installed on the inside of the arbor vitae to provide nighttime illumination. The petitioner has stated that this lighting would not be visible from Arlington Heights Road.

Because the columbarium structure is defined as an accessory structure, and accessory structures are limited to locations in the rear yard only, a Variation to allow the proposed location within the front yard is required. Specifically, the petitioner is seeking a Variation from Section 6.5-2, and the justification for the variation is provided by the petitioner within the packet. Specifically, the petitioner must meet the following criteria:

- **The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the R-3 zone**
- **The plight of the owner is due to unique circumstances.**

- The variation, if granted, will not alter the essential character of the locality.

Staff supports the proposed variation as the columbarium will be setback behind the front face of the building, will be over 50' setback from the property line along Arlington Heights Road, and will be screened with dense landscaping.

Traffic & Parking

Section 6.12-1(3) of the Chapter 28 requires a detailed traffic study prepared by a licensed traffic engineer for all Special Use Permits located along a major or secondary arterial, however, only if such Special Use is in excess of 5,000 sq. ft. Since the proposed project is approximately 1,000 sq. ft. in area, a detailed traffic study is not required. The proposed columbarium will not alter the parking requirements for the church use and staff is confident that the proposed columbarium will not create any additional traffic.

RECOMMENDATION

The Staff Development Committee has reviewed the Petitioner's request and recommends **approval** of the a Variation from Section 6.5-2 to allow an accessory structure within a front yard, and a Special Use Permit to allow a columbarium on the subject property, located at 1234 N. Arlington Heights Road. This approval shall be subject to the following conditions:

1. The Petitioner shall comply with all applicable Federal, State, and Village Codes, Regulations, and Policies.

_____, July 8, 2016

Bill Enright, AICP
Deputy Director of Planning and Community Development

C: Randy Recklaus, Village Manager
All Department Heads

APPROVED

PLAN

REPORT OF THE PROCEEDINGS OF A PUBLIC HEARING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
PLAN COMMISSION

COMMISSION

RE: OUR SAVIOUR LUTHERAN CHURCH COLUMBARIUM -
1234 NORTH ARLINGTON HEIGHTS ROAD - PC# 16-014
SPECIAL USE PERMIT TO ALLOW A COLUMBARIUM

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Plan Commission Meeting taken at the Arlington Heights Village
Hall, 33 South Arlington Heights Road, 3rd Floor Board Room, Arlington Heights,
Illinois on the 13th day of July, 2016, at the hour of 7:30 p.m.

MEMBERS PRESENT:

JOE LORENZINI, Chairman
MARY JO WARSKOW
TERRY ENNES
BRUCE GREEN
SUSAN DAWSON
JOHN SIGALOS
JAY CHERWIN

ALSO PRESENT:

SAM HUBBARD, Development Planner

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CHAIRMAN LORENZINI: I'd like to call to order this meeting of the Plan Commission. Would you all please rise and say the pledge of allegiance with us?

(Pledge of allegiance.)

CHAIRMAN LORENZINI: Roll call please.

MR. HUBBARD: Commissioner Cherwin.

COMMISSIONER CHERWIN: Here.

MR. HUBBARD: Commissioner Dawson.

COMMISSIONER DAWSON: Yes, here.

MR. HUBBARD: Commissioner Drost.

(No response.)

MR. HUBBARD: Commissioner Ennes.

COMMISSIONER ENNES: Here.

MR. HUBBARD: Commissioner Green.

COMMISSIONER GREEN: Here.

MR. HUBBARD: Commissioner Jensen.

(No response.)

MR. HUBBARD: Commissioner Sigalos.

COMMISSIONER SIGALOS: Here.

MR. HUBBARD: Commissioner Warskow.

COMMISSIONER WARSKOW: Here.

MR. HUBBARD: Chairman Lorenzini.

CHAIRMAN LORENZINI: Here. Next item on the agenda is approval of meeting minutes from June 8th, two from June 8th, and two from June 22nd. Any comments or recommendations to approve?

COMMISSIONER GREEN: I'll make a motion to approve.

CHAIRMAN LORENZINI: Second?

COMMISSIONER CHERWIN: Second.

CHAIRMAN LORENZINI: All in favor?

(Chorus of ayes.)

CHAIRMAN LORENZINI: Opposed?

(No response.)

CHAIRMAN LORENZINI: I abstain, I wasn't here for the two on the 22nd.

COMMISSIONER DAWSON: Oh, right, the same as well for me, yes.

COMMISSIONER ENNES: I also wasn't here for the 22nd.

MR. HUBBARD: Do you want a roll call on that, Mr. Chairman?

COMMISSIONER WARSKOW: Roll call on minutes?

MR. HUBBARD: On minutes? Oh, yes, no.

CHAIRMAN LORENZINI: I thought we could approve it.

MR. HUBBARD: No, okay.

CHAIRMAN LORENZINI: Next item on the agenda is the public hearing. There's three public hearings, but the third one, let's just jump to that real quick. Is there anybody here for the Kensington School public hearing? All right, I just want to make sure you aren't going to sit through the other two because the Kensington one is going to be extended anyway.

So, let's go on to the first public hearing, Our Saviour Lutheran

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Church Columbarium, PC# 16-014. Sam, have all the proper notices been given?

MR. HUBBARD: Yes.

CHAIRMAN LORENZINI: Is the Petitioner here?

MS. SCOTT: Yes.

CHAIRMAN LORENZINI: Who ever is going to testify, would you please stand up and we'll swear you in? Please raise your right hand.

(Witnesses sworn.)

CHAIRMAN LORENZINI: Okay, has the Petitioner read all the recommendations or conditions that the Village has put on and do you agree with them?

MS. SCOTT: Petitioner?

MR. VALENTINE: Absolutely.

MS. SCOTT: I'm the owner's agent. I work for the architect's office. Jim Valentine is the Petitioner.

CHAIRMAN LORENZINI: Okay, I guess do you agree? Do you agree with them?

MS. SCOTT: Yes.

CHAIRMAN LORENZINI: Okay, very good. Would you please state your name, spell it for the court reporter?

MS. SCOTT: Sure. My name is Janette Scott. That's J-a-n-e-t-t-e, Scott, S-c-o-t-t.

CHAIRMAN LORENZINI: Could you give a brief overview of what your project is?

MS. SCOTT: Sure. So, I work with Wheeler Kearns Architects. We're the architect of record for the current renovation that's underway at Our Saviour Lutheran Church. On the board ahead of you is just the aerial to show the general location. The church is located at the corner of Arlington Heights Road and Olive Street.

As part of that renovation project, the church would like to construct a columbarium in their side yard along Arlington Heights Road in a new landscaped garden. The columbarium itself will be concealed from view of Arlington Heights Road with a landscaped hedge. The columbarium is not an occupiable space. It is thought to be a monumental wall which measures 10 feet by three-foot in depth. The wall is located just over 52 feet from the actual property line along Arlington Heights Road.

As I mentioned, the columbarium will be concealed from view of the street by a landscaped hedge, a series of arbor vitae trees which we plant at five feet apart. There will be a total of 13 trees. Over time, they'll grow together, so we see that within three years they will grow up to eight feet high and they will form a thick bush that will conceal view to the interior space.

There will be some lighting in the landscaped garden, mostly to uplight the trees, to wash the inside face of that landscaping, a tree that will uplight a single, sorry, a ground-mounted light fixture that will uplight a single ornamental tree. There will also be some linear lighting within the face of the columbarium itself just to wash the wall of the columbarium.

The columbarium will provide a total of 168 niches, and at the outset we will only construct 60 those niches but we are applying for permission to construct the total number.

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We will access the columbarium from a widened vestibule that ties the sanctuary to the previous sanctuary, the fellowship hall. So, it will be accessible from the interior space. In addition, there will be a security camera that will view the main entrance to the columbarium from the street, or from the garden. There will also be a motion-activated light fixture, wall mounted, there.

This is a night-time view, just showing from inside the building looking out at the wall of the columbarium. The columbarium itself will be clad in granite. It will have a granite capstone and side panels. Then the faces of the niches themselves will be also granite.

We have also provided in our submittal to the Village photometric information regarding that lighting, just to assure the Village that the intent is not to provide any distraction to the public way and the lighting will not be visible from outside the columbarium, the garden itself.

We have a survey for record, and that's it.

CHAIRMAN LORENZINI: Thank you.

MS. SCOTT: Sure.

CHAIRMAN LORENZINI: Sam, Staff report?

MR. HUBBARD: So, I really don't have too much to add on this other than, you know, the property is zoned R-3 and the columbarium is classified as a special use within the R-3 Zoning District which is the reason the Petitioner is before you this evening. Additionally, the location of the columbarium is proposed to be within the front yard, technically, of this site. So, as an accessory structure, it is not allowed in the front yard, so a variation is required.

The Petitioner has provided the necessary responses and justification for a variation and a special use approval. Staff has evaluated those and concurs that the standards of approval have been met.

The columbarium does not affect any of the parking requirements, so there will be no change there. The landscape enhancements will create kind of a peaceful setting to remember loved ones with some, you know, soft lighting as well. The Petitioner has worked with our Engineering Department to make sure that all lighting standards have been met.

There was some concern from the Police Department relating to security within this area. But as you've heard, there will be a camera. There will also be motion sensor lights which will illuminate if there is any motion in the area which we believe will be a satisfactory deterrent towards undesirables gathering here in this area after hours.

So, Staff is very supportive of the request and happy to answer any questions.

CHAIRMAN LORENZINI: Thank you. Motion to approve the Staff report in the public record?

COMMISSIONER ENNES: So moved.

CHAIRMAN LORENZINI: Second?

COMMISSIONER DAWSON: Second.

CHAIRMAN LORENZINI: All in favor?

(Chorus of ayes.)

CHAIRMAN LORENZINI: Thank you. Questions? Why don't we start with Commissioner Green? Any questions?

COMMISSIONER GREEN: I really don't have any questions. All my

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questions were answered in the Plat & Sub. I think it's a great project. I love the location in the corner of the building, I think it's perfect. I'm glad you got rid of the fence around it because I don't think you're going to want to put up the fence. Good project.

MS. SCOTT: Thank you.

CHAIRMAN LORENZINI: Commissioner Ennes?

COMMISSIONER ENNES: I have a question for Staff. We're going to be placing burial remains here. Are there any, ashes, are there any regulations from the state that would affect this?

MR. HUBBARD: No, not that I'm aware of. The Health Department has analyzed this and they did not have any concerns. I don't know if there were any state requirements that you were working with?

MS. SCOTT: No. In our code review under International Building Code, we didn't come across anything that would prohibit the location of a columbarium here.

COMMISSIONER ENNES: If the church went away, what happens to those remains? Those are the property of --

MS. SCOTT: That's, understood, a question for the church.

CHAIRMAN LORENZINI: Please state your name and spell it for the court reporter.

MR. VALENTINE: Jim Valentine, I'm on the staff of the church. Jim, J-i-m, Valentine, V-a-l-e-n-t-i-n-e, just like the day in February.

If something should happen to the church that we'd move, the cool part about the way Janette has designed this columbarium is, while it sits on a pedestal, it can move with us. So, it is not embedded in such a way that the ashes and remains could not be taken somewhere else. The families who will be putting their loved ones here know that should something happen to the church, they have a right to take the ashes and take them elsewhere.

COMMISSIONER ENNES: That's all I have.

CHAIRMAN LORENZINI: Commissioner Warskow?

COMMISSIONER WARSKOW: No questions from me.

CHAIRMAN LORENZINI: Commissioner Dawson?

COMMISSIONER DAWSON: Is that me?

CHAIRMAN LORENZINI: Yes.

COMMISSIONER DAWSON: Wasn't sure what you said. No questions from me, yes.

CHAIRMAN LORENZINI: Commissioner Sigalos?

COMMISSIONER SIGALOS: I was at the Plat & Sub, and the only question I have or concern I have is you have the arbor vitae hedge as a nice landscape to separate the columbarium from Arlington Heights Road. But I'm concerned if a family is going there and they have young children, the young children could run through that arbor vitae hedge out onto Arlington Heights Road.

MS. SCOTT: So, day one, the landscaper that we are working with has suggested that we don't plant them any closer than five feet apart on day one because they will grow quite quickly and into each other. So, there is potentially that risk for the first two years. I think if we were to plant them closer together, we could, we would just have a very, very, very dense hedge. So, we could find a solution to that.

COMMISSIONER SIGALOS: I guess my concern being that close to

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Arlington Heights Road. The other thing I was concerned with, again with that hedge, and I like the idea of the hedge, don't get me wrong but I saw where this is a fire exit. So, how does that comply now if God forbid there is a fire and people are exiting into this area of the columbarium and now you have this hedge there blocking it?

MS. SCOTT: Right. So, there is, as you can see actually in this image, the hedge does not entirely enclose the columbarium. Maybe if I can go back, bear with me. Oh, here, so just at the top of this drawing, you can see where the hedge stops. So, there are stepping stones out. So, we will --

COMMISSIONER SIGALOS: There's an opening to the north?

MS. SCOTT: Pardon? Yes. So, from that exit from the building, so you can see the double door there, we are maintaining a minimum 44-inch wide exit path to the public way. The building itself is over-exited and there are lots of upward routes from the sanctuary itself. So, there is more than enough space from a code perspective for exiting.

COMMISSIONER SIGALOS: Those are my only concerns. I do like the idea and I think it's a great enhancement to the church.

MS. SCOTT: Thank you.

CHAIRMAN LORENZINI: Commissioner Cherwin?

COMMISSIONER CHERWIN: Yes, I echo everything my colleagues said here. Really it's a nice project, I support it. The only issue I had at Plat & Sub was to think about what John said with the potential for young children maybe getting on Arlington Heights Road. Other than that, you guys looked at that and figured this is the best plan, I think it's a good plan. I wish you well.

MR. VALENTINE: We have. I was there at the Plat meeting, and I have been thinking about that since, about how we will handle that. Part of it is to remember that most of the people who will come to visit this columbarium will not be in a family situation. We're probably talking about senior citizens, widows or widowers coming to visit their loved one. Sure, it's a possibility that there could be families, but on the whole there won't be a lot of children. This won't be a place where children will be congregating. In fact, one of the reasons for putting it at this point of the property rather than in the area where Sunday school takes place or the main entrance to the church is so that it is not on the main path of where children hang out normally in our church.

Also, on the other side, the hedges will be growing in soon. I only know at this point of two or three people who have ashes that are actually waiting to put in this. Most people hope to live a long time, you know, so we think it will be fully functional long enough for lots of people that are visiting here, too.

CHAIRMAN LORENZINI: Okay, I don't have any questions. It looks like a very nice project. It looks like it's well thought out.

So, with that we will move on to the public comment. Anybody in the audience have any questions, comments, concerns? Okay, if not, we'll close the public comment portion and go back to final questions. Any further questions from the Commissioners? Or I'll look for a recommendation?

COMMISSIONER DAWSON: I can make a motion.

A motion to recommend to the Village Board of Trustees approval of PC# 16-014, a Special Use permit to allow a columbarium within the R-3 District, and a Variation from

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Section 6.5-2 to allow an accessory structure within a front yard for the property located at 1234 N. Arlington Heights Road.

This approval is subject to the following condition:

- 1. The Petitioner shall comply with all applicable federal, state, and local codes, regulations and policies.**

CHAIRMAN LORENZINI: Is there a second?

COMMISSIONER SIGALOS: I'll second.

COMMISSIONER WARSKOW: Second.

CHAIRMAN LORENZINI: Roll call vote please.

MR. HUBBARD: Commissioner Cherwin.

COMMISSIONER CHERWIN: Yes.

MR. HUBBARD: Commissioner Dawson.

COMMISSIONER DAWSON: Yes.

MR. HUBBARD: Commissioner Ennes.

COMMISSIONER ENNES: Yes.

MR. HUBBARD: Commissioner Green.

COMMISSIONER GREEN: Yes.

MR. HUBBARD: Commissioner Sigalos.

COMMISSIONER SIGALOS: Yes.

MR. HUBBARD: Commissioner Warskow.

COMMISSIONER WARSKOW: Yes.

MR. HUBBARD: Chairman Lorenzini.

CHAIRMAN LORENZINI: Yes. Congratulations, you received a unanimous approval. But the next step, it has to be approved by the Board of Trustees. What date is it going to go there, Sam?

MR. HUBBARD: Yes, we're targeting the first meeting in August I believe, so we'll communicate with you when we have a date on that.

MS. SCOTT: Wonderful. Okay, thank you very much.

CHAIRMAN LORENZINI: Congratulations, thank you for coming.

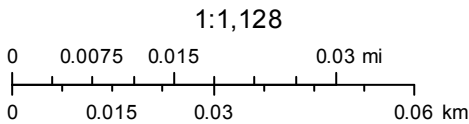
MR. VALENTINE: Thank you.

(Whereupon, the above-mentioned public hearing was adjourned at 7:47 p.m.)

1234 N. Arlington Heights Rd - Our Savior Lutheran Church Columbarium



May 9, 2016





PC-00

Variation and Special Use Permit Application

Our Saviour's Lutheran Church

1234 N Arlington Heights Road

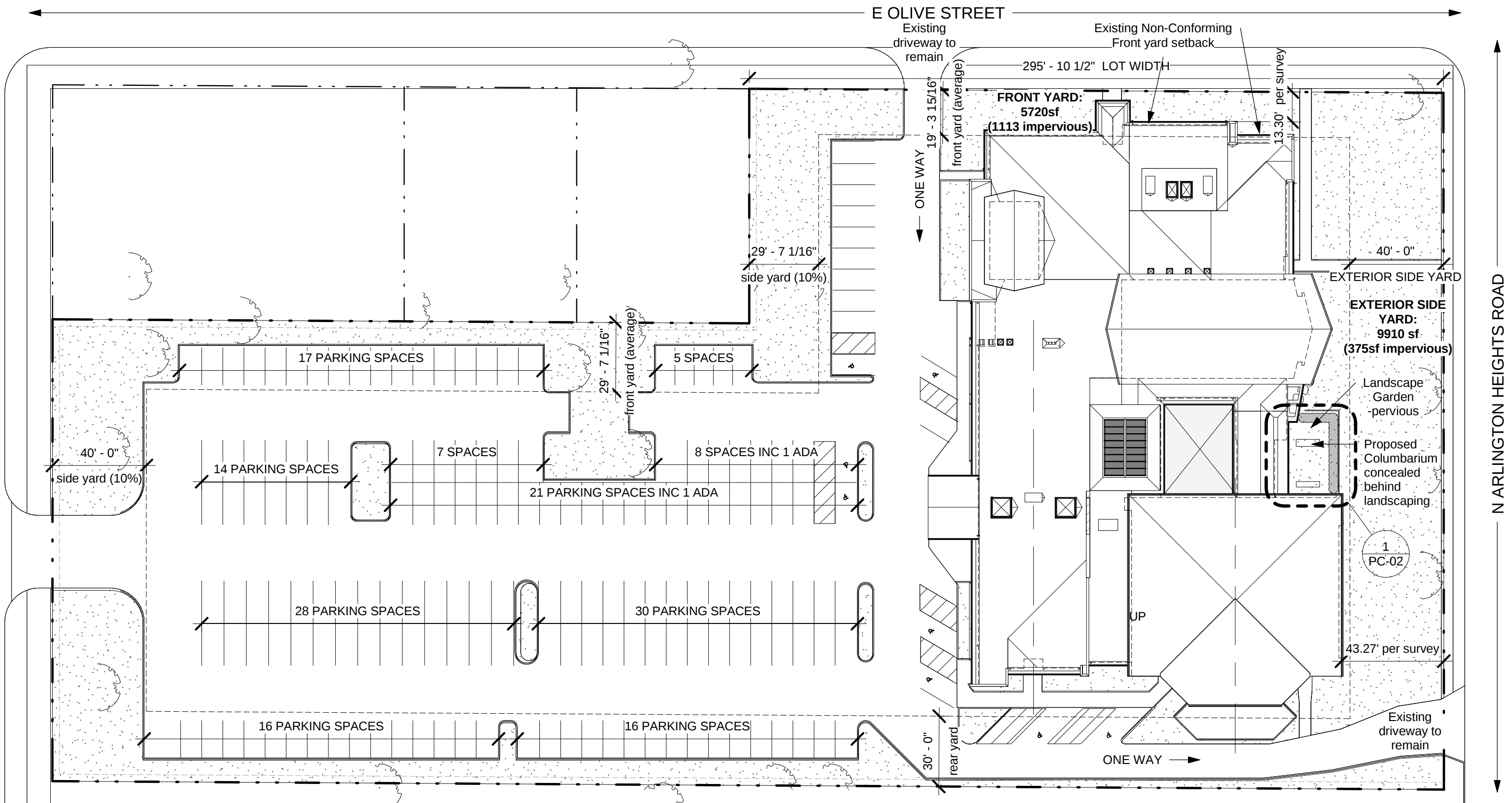
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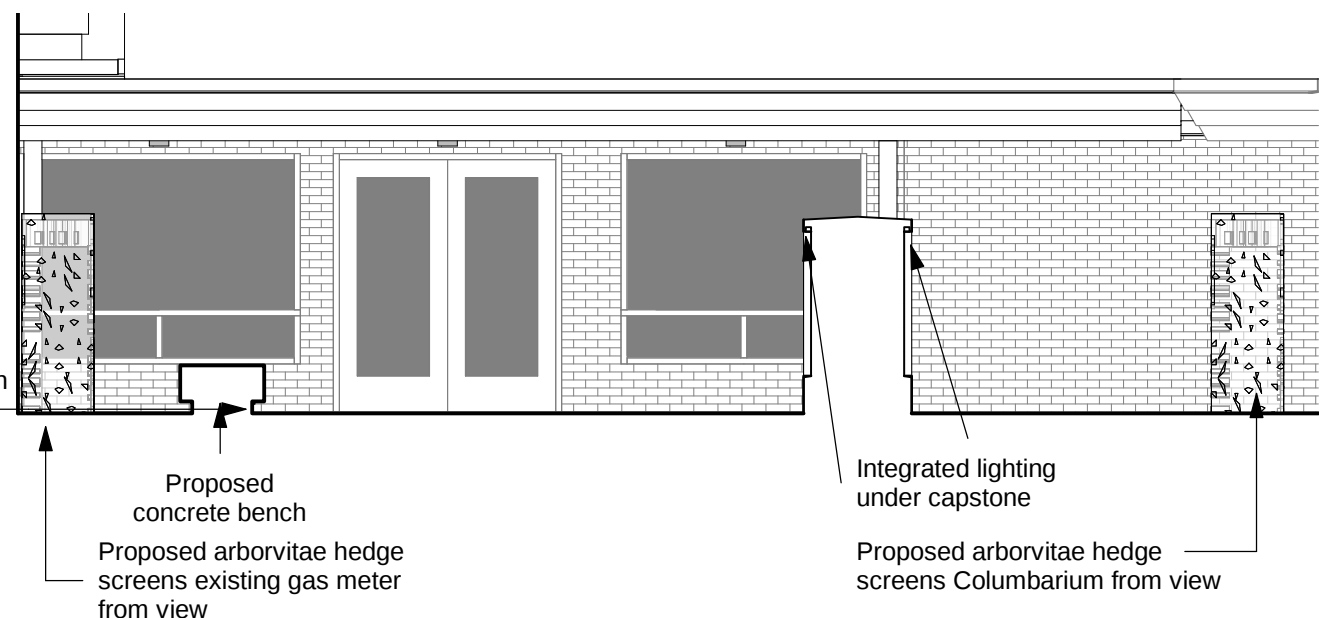
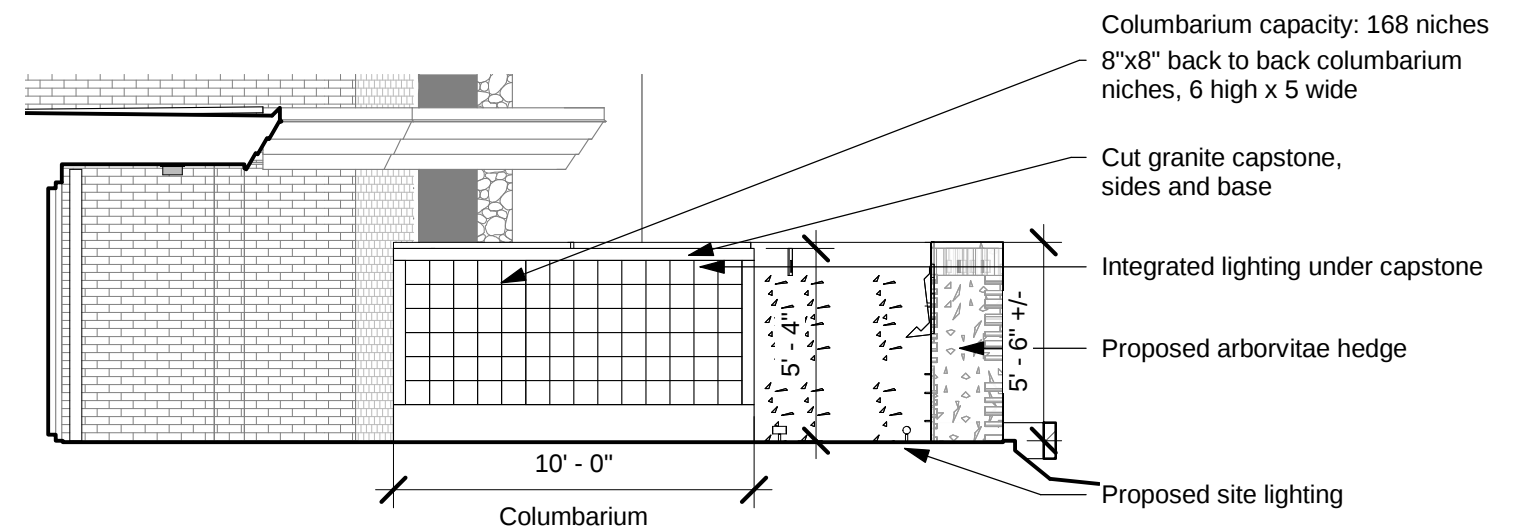
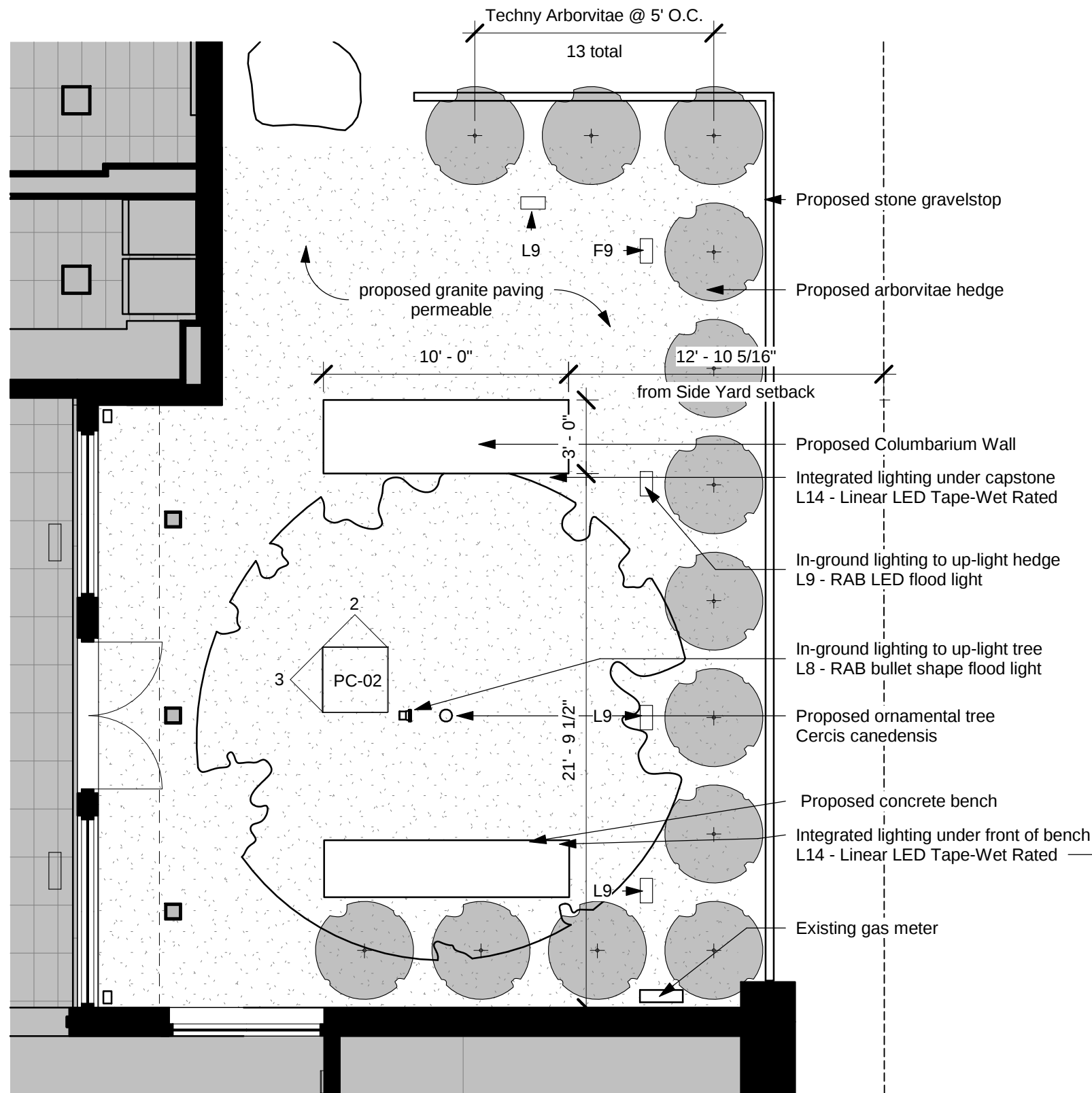
06/02/2016

**Wheeler
Kearns
Architects**

343 S Dearborn St Ste 200
Chicago Illinois 60604
312 939 7787

wkarch.com





PC-02

PROPOSED COLUMBARIUM - PLAN AND ELEVATIONS

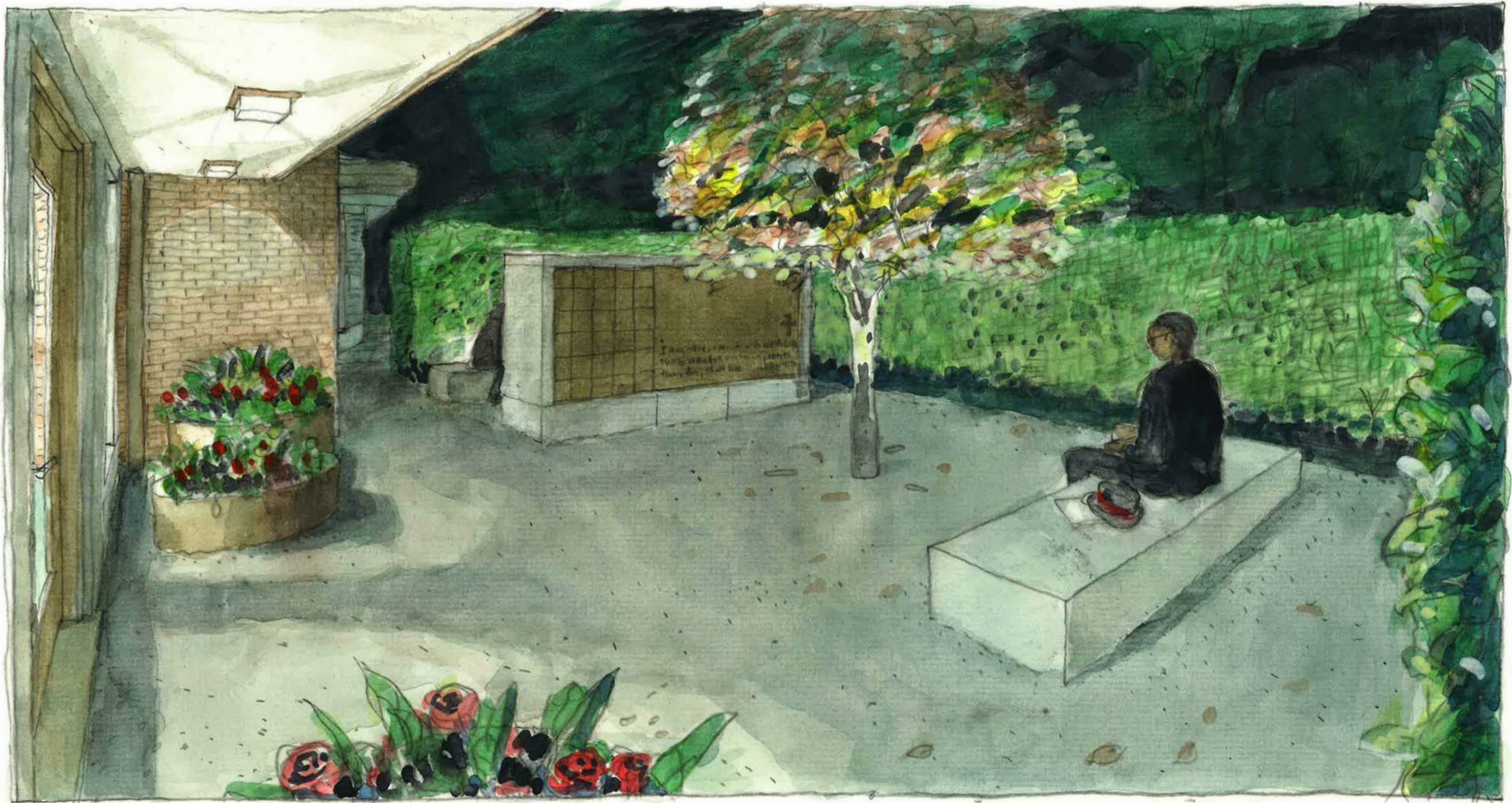
Our Saviour's Lutheran Church
1234 N Arlington Heights Road
Arlington Heights, IL 60004

06/02/2016

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Proposed night time view within Landscape Garden

PC-03

RENDERING - LANDSCAPED GARDEN FROM LINK

Our Saviour's Lutheran Church
1234 N Arlington Heights Road
Arlington Heights, IL 60004

06/02/2016

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Proposed view from Arlington Heights Road

PC-05

RENDERING - VIEW FROM ARLINGTON HEIGHTS ROAD

Our Saviour's Lutheran Church

1234 N Arlington Heights Road

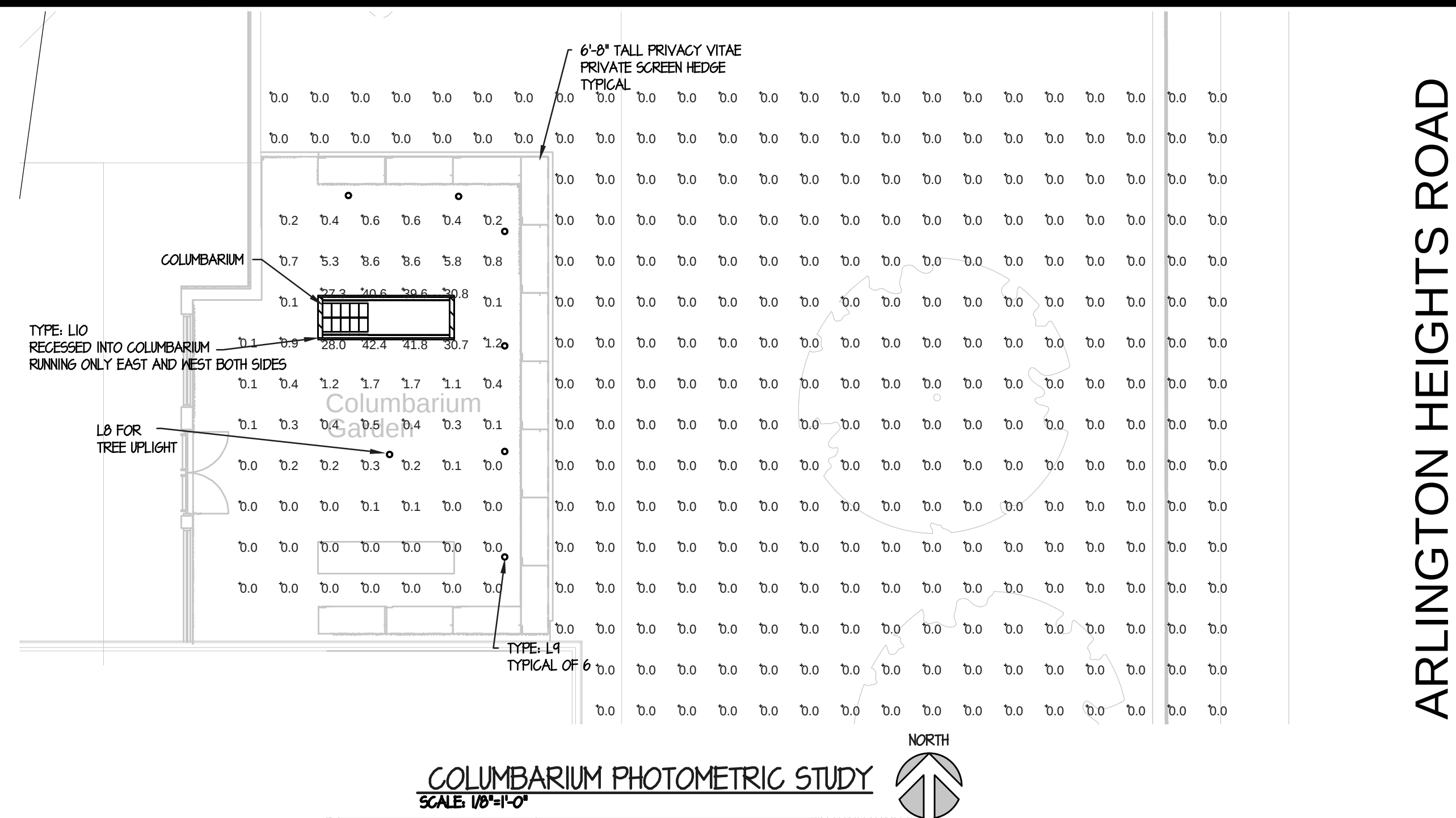
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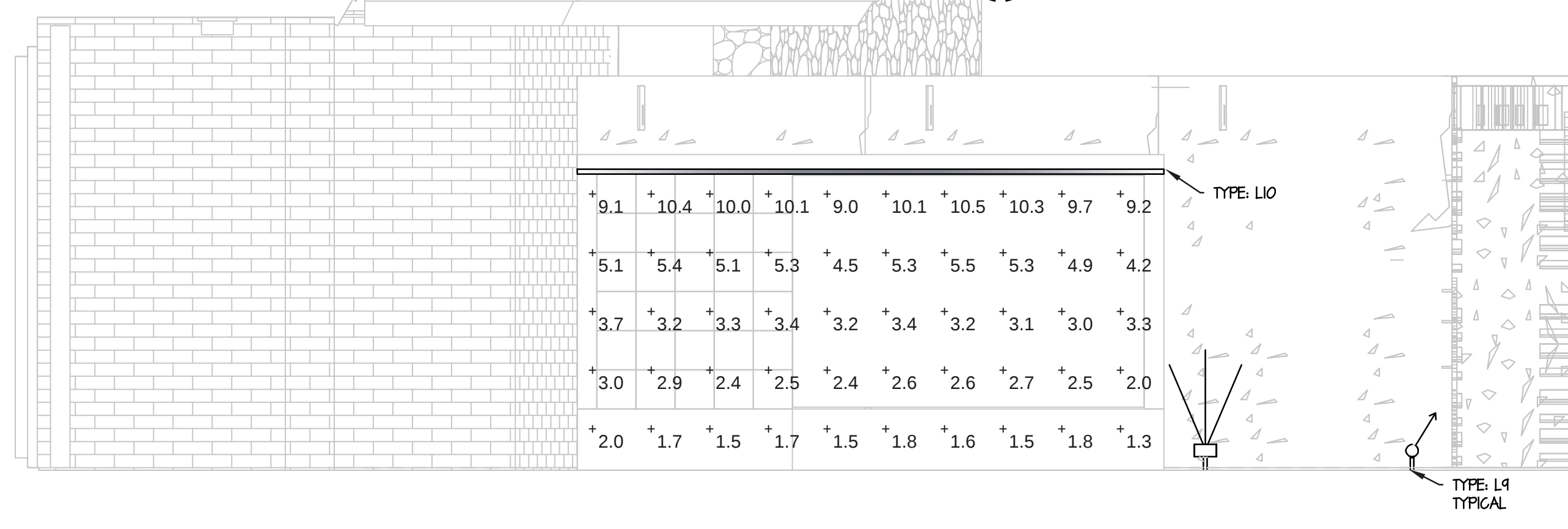
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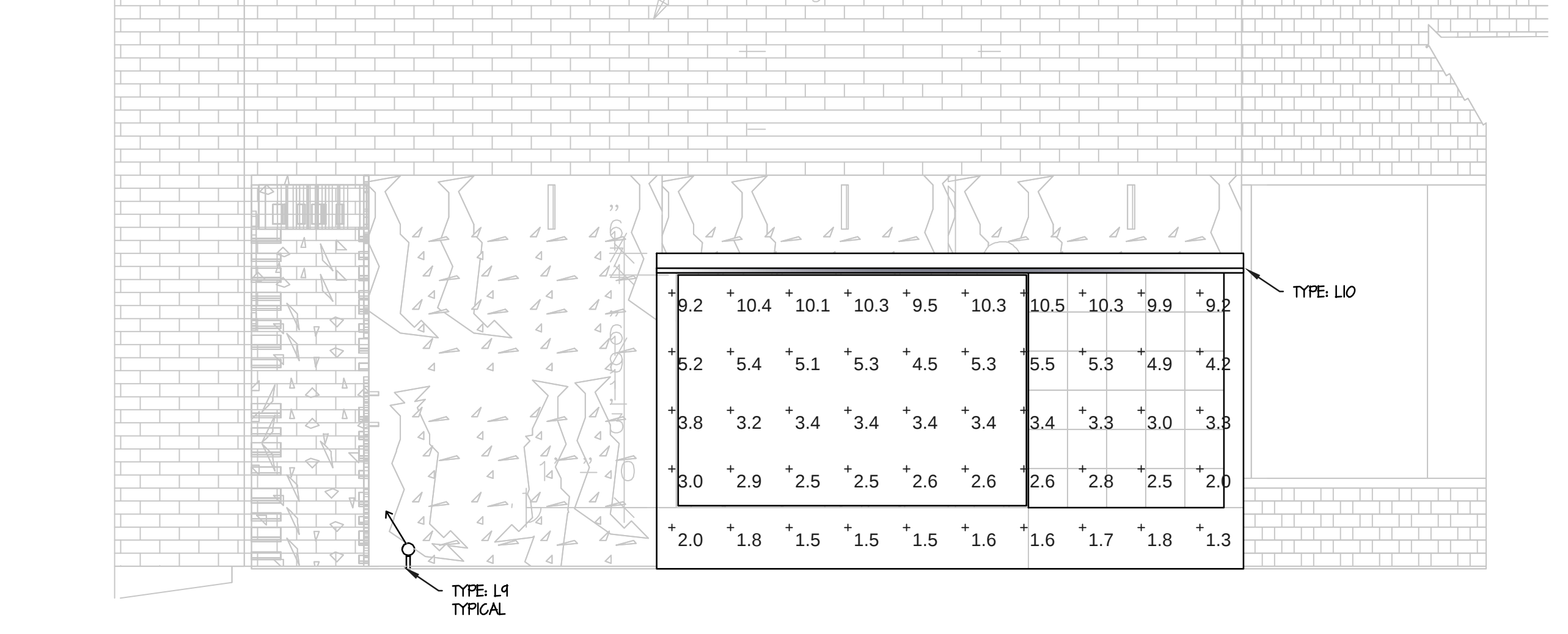
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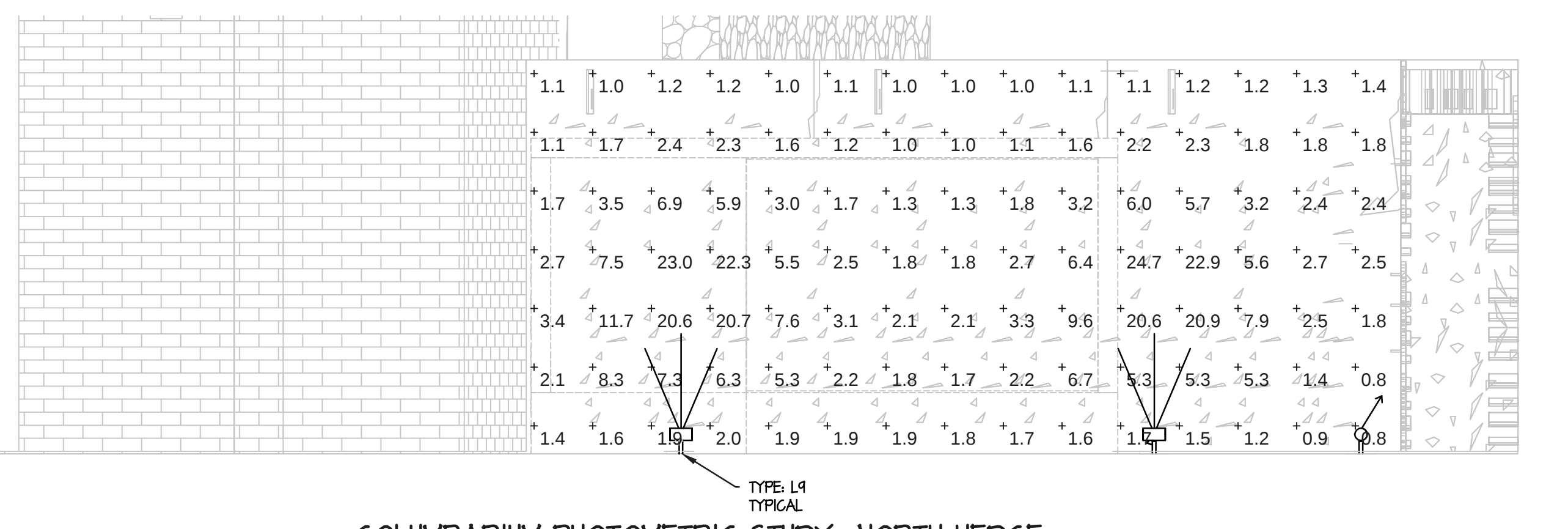
COLUMBARIUM PHOTOMETRIC STUDY
SCALE 1/8"=1'-0"



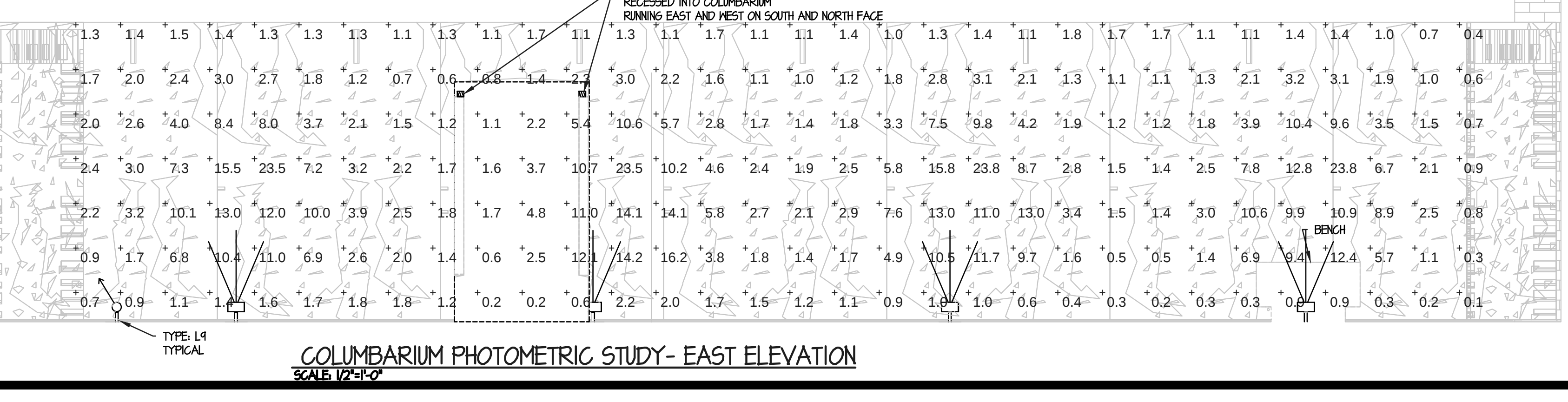
COLUMBARIUM PHOTOMETRIC STUDY- SOUTH FACE ELEVATION
SCALE 1/2"=1'-0"



COLUMBARIUM PHOTOMETRIC STUDY- NORTH FACE ELEVATION
SCALE 1/2"=1'-0"



COLUMBARIUM PHOTOMETRIC STUDY- NORTH HEDGE
SCALE 1/2"=1'-0"



COLUMBARIUM PHOTOMETRIC STUDY- EAST ELEVATION
SCALE 1/2"=1'-0"

ARLINGTON HEIGHTS ROAD

TYPE: L8/L9

HNLED26YA

RAB LIGHTING

Project: Type: Prepared By: Date:

Driver Info

Type	Constant Current	Watts	LED Info
120V:	0.24A		Color Temp: 3000K
208V:	0.15A		Color Accuracy: 81 CRI
240V:	0.13A		L70 LifeSpan: 100000
277V:	0.11A		Lumens: 1,899
Input Watts:	27W		Efficacy: 64 LPW
Efficiency:	87%		

Bullet shape die cast aluminum flood with 26 Watt LED Light Engine. Comes with narrow spotlight reflector installed. Color: Bronze Weight: 4.8 lbs

Technical Specifications

Listings:

UL Listing: Suitable for wet locations. Suitable for ground mounting.

IESNA LM-79 & LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.

Electrical:

Driver: Constant Current: 700mA, 120-277V with 4V surge protection, 120V: 0.24A, 208V: 0.15A, 240V: 0.13A, 277V: 0.11A, 50/60Hz, THD < 20%, Power Factor: 99%.

THD: 8.4% at 120V, 9.2% at 277V

Optical:

NEMA Type: 2H x 2V Beam Spread.

LED Characteristics:

LEDs: Multi-chip, high-output, long-life LEDs

Color Stability: RAB LEDs exceed industry standards for chromatic stability.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C83.7, 2011.

Construction:

Cold Weather Starting: Minimum starting temperature is -40°F/-40°C

Thermal Management: Superior heat sinking with external Air-Flow fins

Housing: Precision die-cast aluminum housing, lens frame and mounting arm.

Reflector: Semi-specular, vacuum-metallized polycarbonate

Mounting: Heavy duty mounting arm with "O" ring seal & stainless steel screws.

Gaskets: High-temperature silicone gaskets

Finish: Our environmentally friendly polyester powder coating is formulated for high durability and long-lasting color and contains no VOC or toxic heavy metals.

Green Technology: Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

Other:

California Title 24: HNLED26 complies with 2013 California Title 24 building and electrical codes as a commercial outdoor non-remote-mounted fixture ≤ 30 Watts when used with a photosensor control. Select catalog number PCS800 (120V) or PCS190027T (277V) to order a photosensor.

Country of Origin: Designed by RAB in New Jersey and assembled in the USA by RAB's IREW Local workers.

Buy American Act Compliant: This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

Recovery Act (ARRA) Compliant: This product complies with the 52.225-21 "Required Use of American Iron, Steel, and Manufactured Goods-- Buy American Act-- Construction Materials (October 2010).

Trade Agreements Act Compliant: This product is a COTS item manufactured in the United States, and is compliant with the Trade Agreements Act.

GSA Schedule: Suitable in accordance with FAR Subpart 25.4.

Need help? Tech help line: (888) RAB-1080 Email: sales@rabweb.com Website: www.rabweb.com Copyright © 2014 RAB Lighting Inc. All Rights Reserved Note: Specifications are subject to change at any time without notice Page 1 of 2

TYPE: L10

TRAN LED

iq67
4.4 W/FT
WET RATED

LED FLEXIBLE TAPE LIGHT

iq LED IP67 FlexibleTape Light is available in 2500K, 2700K, 3000K, 3500K, 4000K. iq LED IP67 Light, chip 50 is available in 2.6 or 4.4watts per foot, 24VDC, and has a CRI of over 90.This product is perfect for steps and patios. (1ft normal water submersed, temporary immersion)

Temp Rating: -4 degree up to +140 degree.

COMPATIBLE EXTRUSIONS

iq67 - 25 - 50 - 90 - 4.4

iq Series Color Temp Chip CRI Watts Per Ft

FLEXIBLE TAPE LIGHTS

iq67-25-50-90-4.4
Max Tape Length: 21ft | Color Temp: 2500K | Voltage: 24VDC
CRI: 90+ | LM: 79 | Watts Per Ft: 4.4 | Lumens Per Ft: 330

iq67-27-50-90-4.4
Max Tape Length: 21ft | Color Temp: 2700K | Voltage: 24VDC
CRI: 90+ | LM: 79 | Watts Per Ft: 4.4 | Lumens Per Ft: 330

iq67-30-50-90-4.4
Max Tape Length: 21ft | Color Temp: 3000K | Voltage: 24VDC
CRI: 90+ | LM: 79 | Watts Per Ft: 4.4 | Lumens Per Ft: 330

iq67-35-50-90-4.4
Max Tape Length: 21ft | Color Temp: 3500K | Voltage: 24VDC
CRI: 90+ | LM: 79 | Watts Per Ft: 4.4 | Lumens Per Ft: 330

iq67-40-50-90-4.4
Max Tape Length: 21ft | Color Temp: 4000K | Voltage: 24VDC
CRI: 90+ | LM: 79 | Watts Per Ft: 4.4 | Lumens Per Ft: 330

DIMENSIONS

Lead Wire

NOTE: Cutting sections of LED tape allows for changes in the field.
4.4 watts per foot = cut every 3.94"

*Lead wire comes standard on all LEDs in 11.5" (292 AWG)
*3 years warranty

End Cap

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STATISTICS		
Description	Symbol	Avg
EAST HEDGE WALL	+	5.4 fc
GARDEN	+	4.1 fc
NORTH HEDGE WALL	+	3.8 fc
NORTH SIDE COLUMBARIUM	+	5.1 fc
OUTSIDE OF HEDGE WALL	+	0.0 fc
SOUTH HEDGE WALL	+	0.3 fc
SOUTH SIDE COLUMBARIUM	+	5.0 fc

LUMINAIRE SCHEDULE								
Symbol	Label	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
○	L9/L8	HNLED26Y (NARROW SPOT)	CAST METAL HOUSING, BROWN PAINTED FLAT METAL HEAT SINK MOUNTING PLATE, CAST BROWN PAINTED FINNED METAL HEAT SINK, 1 CIRCUIT BOARD WITH 1 LED, MOLDED PLASTIC REFLECTOR WITH SPECULAR FINISH AND CLEAR PLASTIC CONVEX INNER LENS WITH 3 INTEGRAL MOUNTING POSTS, MOLDED WHITE PLASTIC FORWARD REFLECTOR MOUNTING CYLINDER, CLEAR FLAT GLASS LENS WITH HOLOGRAPHIC PLASTIC INTERIOR OVERLAY IN CAST BROWN PAINTED METAL FRAME.	ONE WHITE MULTI-CHIP LIGHT EMITTING DIODE (LED), AIMED AT THE HORIZON.	ib81783-c.ies	Absolute	0.95	26.7
▬	L10		IQ67-30-50-90-4.4		IQ67-30-50-90- 4.4- 3.94INCH.ies	100	95	1.44

NESKO
DESIGN / BUILD
ELECTRIC

BULLEY & ANDREWS
Building Matters®

Our Saviour's Lutheran Church
Arlington Heights, Illinois

Our Saviour's Lutheran Church
Arlington Heights, Illinois
1234 ARLINGTON HEIGHTS RD.
ARLINGTON HEIGHTS, IL

2-26-16 ISSUED FOR PERMIT COMMENTS

PROJECT NAME

REVISIONS

CLIENT

GENERAL CONTRACTOR

ELECTRICAL CONTRACTOR

Checked By: P-20-07
Drawn By: P-21-16
Reviewed By: JEN
Project No: E-001.A

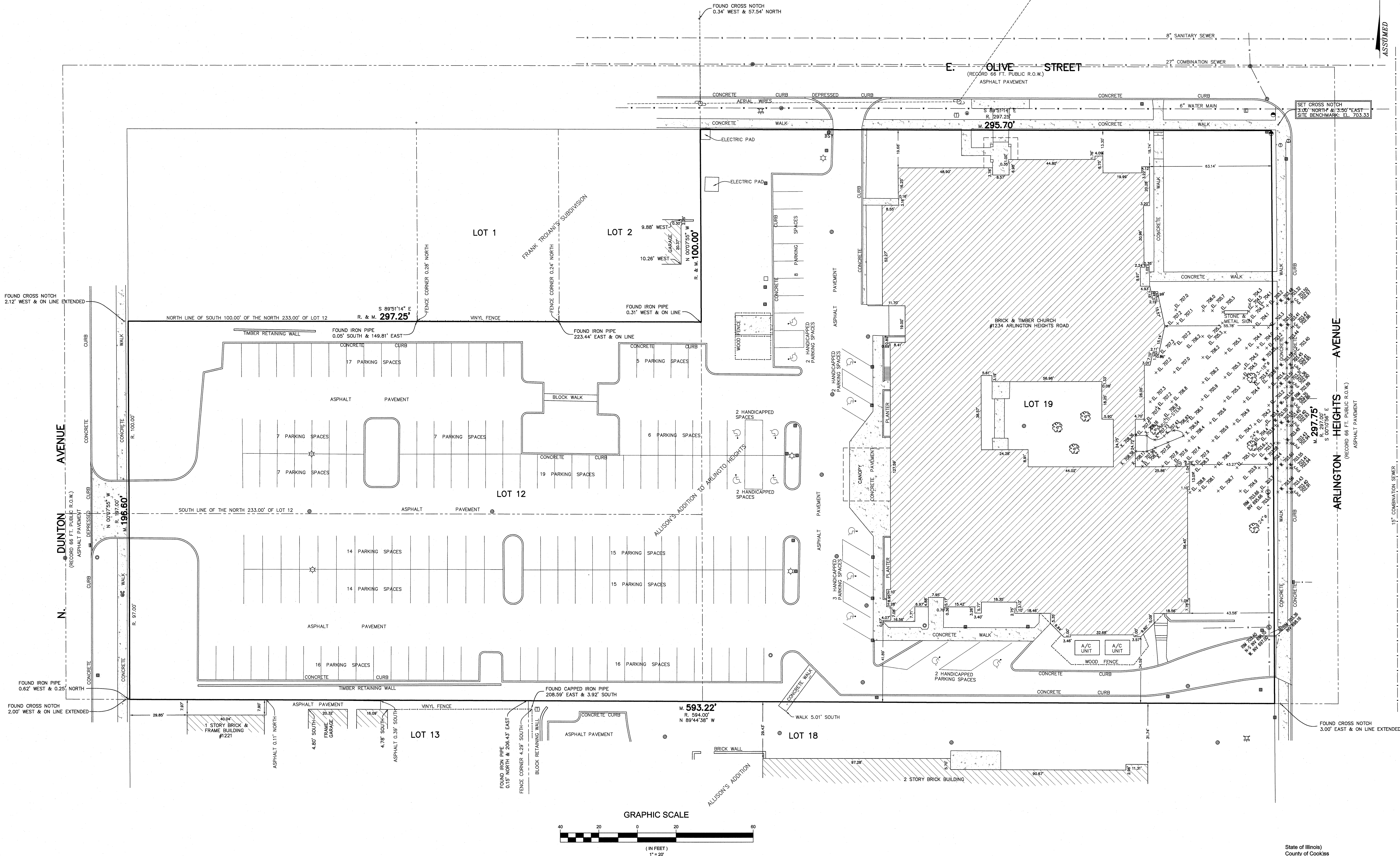
LOT 19 IN ALLISON'S ADDITION TO ARLINGTON HEIGHTS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPT THE WEST HALF OF THE SOUTHWEST QUARTER THEREOF AND THE SOUTH 4 ACRES OF THE EAST HALF OF THE SOUTHWEST QUARTER THEREOF), IN COOK COUNTY, ILLINOIS.

THE SOUTH 100.00 FEET OF THE NORTH 233.00 FEET OF LOT 12, (EXCEPT THAT PART TAKEN FOR STREETS) IN ALLISON'S ADDITION TO ARLINGTON HEIGHTS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE WEST HALF OF THE SOUTHWEST QUARTER THEREOF AND THE SOUTH 4 ACRES OF THE EAST HALF OF THE SOUTHWEST QUARTER THEREOF, IN COOK COUNTY, ILLINOIS.

LOT 12, EXCEPT THE NORTH 233.00 FEET THEREOF, IN ALLISON'S ADDITION TO ARLINGTON HEIGHTS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THE WEST HALF OF THE SOUTHWEST QUARTER THEREOF AND THE SOUTH 4 ACRES OF THE EAST HALF OF THE SOUTHWEST QUARTER THEREOF, IN COOK COUNTY, ILLINOIS.

AREA OF PROPERTY = 146,522 SQ. FT. OR 3.36 ACRES MORE OR LESS

- LEGEND
- Storm MH
 - Storm CB
 - Storm Inlet
 - San MH
 - San Storm Combo MH
 - Water MH
 - Water Buffalo Box
 - Water Fire Hydrant
 - Telephone MH
 - Telephone Pedestal
 - Utility Pole
 - Guy Anchor
 - Electric Vault
 - Electric Light Pole
 - Electric Traffic Signal
 - Gas Meter
 - Tree - Deciduous
 - Sign Post
 - Unclassified Manhole
 - Iron Pipe
 - Cut Cross



ORDERED BY: OUR SAVIOUR'S LUTHERAN CHURCH	CHECKED: BB	DRAWN: BB
ADDRESS: 1234 N. ARLINGTON HEIGHTS ROAD		
GREMLEY & BIEDERMANN PLCS CORPORATION LICENSE No. 184-005332 Expires 1-30-2017 PROFESSIONAL LAND SURVEYORS 4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630 TELEPHONE: (773) 685-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM		
DATE: MARCH 1, 2016	PAGE NO. 1 OF 1	SCALE: 1 INCH = 20 FEET
2016-22100-001		

SURVEY NOTES:

Note R. & M. denotes Record and Measured distances respectively.

Distances are marked in feet and decimal parts thereof. Compare all points BEFORE building by same and at once report any differences BEFORE damage is done.

For easements, building lines and other restrictions not shown on survey plat refer to your abstract, deed, contract, title policy and local building line regulations.

No dimensions shall be assumed by scale measurement upon this plat.

Unless otherwise noted hereon the Bearing Basis, Elevation Datum and Coordinate Datum if used is ASSUMED.

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VILLAGE OF ARLINGTON HEIGHTS BENCHMARK # 42
DATUM NAVD 1988 ELEVATION = 698.45

LOCATION: CUT ON THE EAST SIDE OF A FLAG POLE CONCRETE BASE,
OPPOSITE TRANS AMERICA INSURANCE BUILDING, 51.9' FROM THE SOUTHEAST
CORNER OF BUILDING, 58.2' WEST OF THE CENTER LINE OF ARLINGTON HEIGHTS ROAD
AND 198.2' NORTH OF THE CENTER LINE OF OAKTON STREET

UTILITY WARNING

The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes NO guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

Call DIGGER - (312) 744-7000 within the City of Chicago.

Outside of the City of Chicago call J.U.L.I.E. (800) 892-0123 prior to construction or excavation.

State of Illinois
County of Cook

We, GREMLEY & BIEDERMANN, INC. hereby certify that we have surveyed the above described property and that the plat hereon drawn is a correct representation of said survey corrected to a temperature of 62° Fahrenheit.

Field measurements completed on March 1, 2016.

Signed on March 2, 2016

By: [Signature]

Professional Illinois Land Surveyor No. 2802
My license expires November 30, 2016
This professional service conforms to the current Illinois minimum standards for a boundary survey.



Wheeler Kearns Architects

June 2nd 2016

Sam Hubbard
Dept. of Planning & Community Development
Village of Arlington Heights 33 South Arlington Heights Road
Arlington Heights IL 60005

RECEIVED
JUN 03 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Subject: Variation and Special Use Permit Application at 1234 N Arlington Heights Road

Dear Mr. Hubbard,

We are architect of record for the current renovation of Our Saviour's Lutheran Church located at 1234 N Arlington Heights Road. Applied for under separate permit number #16-496, the scope of work includes interior alterations/renovations to create improved circulation and zoning of program elements, improvements to the building envelope including new windows in affected areas, as well as stripping, insulating and reroofing of the flat roofed portions of the building which will entail new metal roof edge throughout.

As part of the renovation project, Our Saviour's would like to construct a Columbarium housing 168 niches in their side yard along Arlington Heights Road, concealed from the road within a landscaped garden. Our Saviour's is seeking a Variation and Special Use Permit Approval to construct the Columbarium, a permitted special use in the R-3 residential zone in their side yard.

The provision of the Columbarium will in no way be detrimental to the public welfare, nor injurious to other property or improvements in the neighborhood. In fact, the proposed landscape design screens the Columbarium from Arlington Heights Road, and intends that the general public will not even be aware of its existence. For Our Saviour's, however, the Columbarium offers a special place for loved ones to be honored and remembered for generations to come, a peaceful focal point where family can visit and be with their loved ones.

The proposed special use will comply with the regulations and conditions specified in the Village's ordinance for such use, and with the stipulations and conditions made a part of the authorization granted by the Village Board of Trustees.

In preparation of our permit application (#16-496), we had a number of preliminary review meetings with Village representatives. Following these, we interpreted Olive Street as the front yard and Arlington Heights Road as the side yard, since the existing corner lot best conforms to the setback requirements in this configuration. With Olive Street as the front yard, the rear yard is located to the south. The rear yard is occupied by a required drive aisle exit from the parking lot, leading to an existing curb cut on North Arlington Heights Road. The remaining west side yard fulfills the ordinance's parking requirements, and does not present a suitable location for a quiet, peaceful place of remembrance.

Located in the side yard along Arlington Heights Road, the Columbarium will be accessed off a widened vestibule link connecting the Sanctuary to the Fellowship Hall, and the proposed landscaped garden will be visible from the Narthex, a swollen corridor which will be the new heart of all building circulation.

The variation, if granted, will not alter the character of the locality. The proposed Columbarium is designed as a freestanding wall, 10ft long and 3ft wide, faced with granite with a granite capstone, sides and base. It is not an enclosed or occupiable space, but rather a face that visitors can engage with. The proposed location is set 12' – 10" from the existing side yard setback, a total distance of 52' – 10" from the Arlington Heights Road property line.

Currently, the proposed Columbarium garden area is occupied by ground cover and brick paving. An old multi-stem tree, an *Amelanchier canadensis* (commonly known as Serviceberry), reflected in the survey has already been removed by the Church. Over the past four years they have tended to dying branches, and their landscaper advised that it was at the end of its life, and suggested it be removed before the beginning of construction. The remaining items will be removed and the area regraded to provide a levelled garden with crushed granite paving. Perimeter screening will be provided in the form of a *Techny Arborvitae* evergreen hedge, with shrubs planted five feet on center and each measuring 5ft 6inches tall. Within three years the shrubs will grow into each other to form a thick 8ft tall hedge. The hedge will also line the exterior north wall of the Sanctuary, which hosts an existing gas meter. In addition, a *Cercis canadensis*, commonly known as an eastern redbud, will be planted within the garden as an ornamental tree.

The landscape design also includes in-ground lighting. Proposed lighting will illuminate the interior face of the *Arborvitae* hedge, and the stand alone tree. New lighting shall not be visible from the property line or Arlington Heights Road.

In support of our application, please find the following items enclosed for your review:

1. Application Fee: check for \$500 made payable to the Village of Arlington Heights

2. Ownership Information: Trust Deed and Title Policy
3. Ownership Affidavit
4. Current Plat of Survey
5. Application form with department comment sheets
6. Site Visit Authorization Form
7. Preliminary Drawings

Thank you for your consideration of this application,

Sincerely,

A handwritten signature in cursive script, appearing to read "Janette Scott".

Janette Scott MR/IAI



Village of Arlington Heights Building Services Department

Interoffice Memorandum

To: Sam Hubbard, Development Planner, Planning and Community Development

From: Deb Pierce, Plan Reviewer, Building Services Department

Subject: Columbarium – Our Savior's Lutheran Church, 1234 N Arlington Heights Rd.
Special Use Permit

Re: PC#16-014

Date: June 16, 2016

Sam:

I have reviewed the documents submitted and have no objection to the proposed Columbarium.

RECEIVED
JUN 17 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

BUILDING DEPARTMENT

1A

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. _____
 Petitioner: Jim Valentine
Our Saviour's Lutheran Church
1234 N Arlington Heights Road
 Owner: Neil M. Scheufler (Ph: 847 506 0769)
(authorized officer of the owner)
911 N Fernandez, Arlington Heights
 Contact Person: Jim Valentine
 Address: Our Saviour's Lutheran Church
1234 N Arlington Heights Road
 Phone #: 847 255 8700 ext. 231
 Fax #: _____
 E-Mail: jvalentine@oursaviours.org

P.I.N.# 0320305026
 Location: 1234 N Arlington Heights Road
 Rezoning: _____ Current: R-3 Proposed: _____
 Subdivision: _____
 # of Lots: _____ Current: _____ Proposed: _____
 PUD: _____ For: _____
 Special Use: ✓ For: Columbarium
 Land Use Variation: ✓ For: Columbarium
Accessory structure in side or front yard
 Land Use: _____ Current: _____
 Proposed: _____
 Site Gross Area: 146,522 SF
 # of Units Total: _____
 1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

INSPECTIONAL SERVICES

No Comments.

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JUN 07 2016

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

[Signature]

Director

6/7/16

Date

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

P.I.N.# 0320305026
Location: 1234 N Arlington Heights Road
Rezoning: Current: R-3 Proposed:
Subdivision:
of Lots: Current: Proposed:
PUD: For:
Special Use: ✓ For: Columbarium
Land Use Variation: ✓ For: Columbarium
Accessory structure in side or front yard
Land Use: Current:
 Proposed:
Site Gross Area: 146,522 SF
of Units Total:
1BR: 2BR: 3BR: 4BR:

EXISTING IMPROVEMENT	REQUIRED IMPROVEMENT	COMMENTS
-------------------------	-------------------------	----------

- Water
Metering
Backflow
Sanitary Sewer
Storm Sewer

- Pavement**
Curb & Gutter
Sidewalks
Street Lighting

3. GENERAL COMMENTS:

Date _____

Memorandum

To: Cris Papierniak, Assistant Director of Public Works

From: Jeff Musinski, Utilities Superintendent

Date: June 10, 2016

Subject: 1234 N. Arlington Heights Road., P.C. #16-014

With regard to the proposed Special Use Permit, I have the following comments:

- 1) The proposed proximity of the lights must conform to the pertinent lighting ordinances and must not provide a distraction to traffic on Arlington Heights Road.

VAHPW has no further comments at this time

If you have any questions, please feel free to contact me.

C. file

ENGINEERING DEPARTMENT

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 16-014
 Petitioner: Jim Valentine
Our Saviour's Lutheran Church
1234 N Arlington Heights Road
 Owner: Neil M. Scheufler (Ph: 847 506 0769)
(authorized officer of the owner)
911 N Fernandez, Arlington Heights
 Contact Person: Jim Valentine
 Address: Our Saviour's Lutheran Church
1234 N Arlington Heights Road
 Phone #: 847 255 8700 ext. 231
 Fax #: _____
 E-Mail: jvalentine@oursaviours.org

P.I.N.# 0320305026
 Location: 1234 N Arlington Heights Road
 Rezoning: _____ Current: R-3 Proposed: _____
 Subdivision: _____
 # of Lots: _____ Current: _____ Proposed: _____
 PUD: _____ For: _____
 Special Use: ✓ For: Columbarium
 Land Use Variation: ✓ For: Columbarium
Accessory structure in side or front yard
 Land Use: _____ Current: _____
 Proposed: _____
 Site Gross Area: 146,522 SF
 # of Units Total: _____
 1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

1. PUBLIC IMPROVEMENTS

REQUIRED: _____ ES NO COMMENTS

a. Underground Utilities

Water _____ X _____
 Sanitary Sewer _____ X _____
 Storm Sewer _____ X _____

b. Surface Improvement

Pavement _____ X _____
 Curb & Gutter _____ X _____
 Sidewalks _____ X _____
 Street Lighting _____ X _____

c. Easements

Utility & Drainage _____ X _____
 Access _____ X _____

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JUN 09 2016

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

2. PERMITS REQUIRED OTHER THAN VILLAGE:

a. MWRDGC MAYBE b. IDOT _____
 c. ARMY CORP _____ d. IEPA _____
 e. CCHD _____

ES NO COMMENTS

3. R.O.W. DEDICATIONS? _____
4. SITE PLAN ACCEPTABLE? _____
5. PRELIMINARY PLAT ACCEPTABLE? _____
6. TRAFFIC STUDY ACCEPTABLE? _____
7. STORM WATER DETENTION REQUIRED? _____
8. CONTRIBUTION ORDINANCE EXISTING? _____
9. FLOOD PLAIN OR FLOODWAY EXISTING? _____
10. WETLAND EXISTING? _____

X _____
 _____ N/A _____
 _____ N/A _____
 _____ N/A _____
 _____ POSSIBLY, SEE COMMENTS _____
 _____ X _____
 _____ X _____
 _____ X _____

GENERAL COMMENTS ATTACHED

PLANS PREPARED BY: N/A
 DATE OF PLANS: N/A

James J. Wall 6/8/16
 Director Date

PLAN COMMISSION PC #16-014
Our Savior's Lutheran Church Columbarium
1234 N. Arlington Heights Road
SU for Columbarium
Round 1

11. The petitioner is notified that these comments are being provided to ensure that the project meets the requirements for submittal to the Plan Commission. Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they accept this understanding.
12. Provide calculations showing existing and proposed impervious areas. Stormwater detention is required for any new impervious area. This could also trigger a requirement for submittal to the MWRD.
13. When on-site lighting is proposed, provide a site photometric lighting diagram indicating lighting intensities. Also provide the associated catalog cuts for all roadway, parking lot, and building mounted luminaires. All fixtures must be flat bottom, sharp cut-off, and no wall pack style fixtures will be permitted.

 6/8/16

James J. Massarelli, P.E. Date
Director of Engineering

RECEIVED
JUN 09 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Arlington Heights Fire Department Plan Review Sheet

ARLINGTON HEIGHTS POLICE DEPARTMENT

Community Services Bureau

DEPARTMENT PLAN REVIEW SUMMARY

Our Savior's Lutheran Church Columbarium
1234 N. Arlington Heights Road
PC 16-014
Round 1

Review Comments

06/16/2016

1. Character of use:

The character of use is consistent with the area and is not a concern.

2. Are lighting requirements adequate?

Lighting should be up to Village of Arlington Heights code. There does not appear to be adequate lighting for the columbarium. This area should be illuminated especially during nighttime hours for safety, to deter criminal activity and increase surveillance/visibility- potentially reducing theft, trespassing, vandalism, underage drinking, drug use and other criminal activity. See attached Security Survey for lighting recommendations made in March 2015.

3. Present traffic problems?

There are no apparent traffic problems at this location.

4. Traffic accidents at particular location?

This is not a problem area in relation to traffic accidents.

5. Traffic problems that may be created by the development.

This development should not create any additional traffic problems.

6. General comments:

-Please ensure that there is an emergency information/contact card on file with the Arlington Heights Police Department and that it is up-to-date. Agent contact information must be provided to the Arlington Heights Police Department during all construction phases. The form is attached. Please complete and return. This allows police department personnel to contact an agent during emergency situations or for suspicious/criminal activity on the property during all hours.

- Landscaping should provide open sightlines to increase natural surveillance and avoid creating ambush locations. The tall bushes surrounding the columbarium present challenges and the secluded/isolated feeling may promote the use of this area by subjects who may engage in illegal activities- theft, trespassing, vandalism, underage drinking, drug use, etc.

- Access control to the columbarium areas must be considered. Consider installing a fence with a locking gate to eliminate/ reduce unauthorized access to the area. Access gates to this area should be locked/secured nightly to reduce unauthorized access- i.e. theft, trespassing, vandalism, underage drinking etc.- to the area after hours. Consider installing a fence high enough to allow natural surveillance of the property but limits access to unauthorized persons.

RECEIVED
JUN 20 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

- Consider posting no trespassing / loitering/ no un-authorized use signage. The Arlington Heights Police Dept. has and utilizes trespass warning forms under qualifying circumstances when requested by property management.

BR #272
Brandi Romag, Crime Prevention Officer
Community Services Bureau

Approved by:

SARM #54
Supervisor's Signature

Arlington Heights Police Department

Emergency Information Card

1. Fill in all information by tabbing to each field.
2. When completed, save the form and send as an attachment to: tmorales@vah.com.

Arlington Heights Police Department
200 E. Sigwalt Street
Arlington Heights, IL 60005-1499
Phone: 847/368-5300

Completed forms may also be printed and submitted in the following manner:

By Mail: Arlington Heights Police Department
200 E. Sigwalt Street, Arlington Heights, IL 60005
Attention: Police Administration

By Fax: (847) 368-5970 - Attention: Police Administration

In Person: Dropped off at the Arlington Heights Police Department's front desk for forwarding to Police Administration.

Print Form (To Mail)

Name (Firm or Residence)

Address/City

Telephone Number

Date Information Obtained

IN CASE OF EMERGENCY PLEASE CALL:

Contact #1

Name

Address/City

Telephone Number

Cell Number

Contact #2

Name

Address/City

Telephone Number

Cell Number

Alarm System

☐ No

☐ Yes

Phone number:

Alarm Company Name

ARLINGTON HEIGHTS POLICE DEPARTMENT

Crime Prevention Through Environmental Design Evaluation Security Survey



This Security Survey is a guide for improving the exterior/interior safety and security of the building and surrounding property. CPTED uses numerous principles which cover lighting, landscaping, natural surveillance/sight lines, territoriality and physical barriers. While every effort has been made to incorporate into this report reasonable means to reduce the opportunities for criminal activity, there is no guarantee that if suggestions are implemented that no criminal activity will take place.

Name: Our Savior Lutheran- Jim Valentine

Address: 1234 N Arlington Heights Road Arlington Heights, IL 60004

Telephone: 847- 255-8700 ext.231 Email: jvalentine@oursaviours.org

Evaluation completion date/time: Monday March 16th, 2015 at 11:30am

Evaluation completed by: Crime Prevention Officer Brandi Romag

ADDRESS LOCATION: The address must be clearly visible from the street. If the numbers are obscured then Police or Fire response may be impacted.

- Addresses are located on Arlington Heights Road and Olive streets
- Consider adding a lower panel on the large Our Saviour's sign off Arlington Heights Road to include the entire street address- (ie 1234 N Arlington Heights Road)

EXTERIOR HINGED DOORS: All exterior doors should have a deadbolt lock with a minimum 1" throw. Screws securing the strike plate should be 3" if the door structure allows it. Door jambs, moldings, hinges and locks need to be tight and secure. Door viewers may be necessary for certain applications.

- All exterior doors should have 3" screws securing the strike plate; and high security strike plates that will help reinforce the door. High security strike plates are longer / thicker and available at hardware / home improvement stores
- West access door (pastor's office)- install double key deadbolt; consider upgrading door to steel door with high security strike plate and smaller window
- Consider frosting or blinds for window on west access door (pastor's office) to reduce ability for someone to see inside from outside

- West side double doors facing parking lot- move door lock key out of sight.

EXTERIOR SLIDING GLASS DOORS: All sliding glass doors should have locks, anti-slide devices and hardware to prevent the door from being lifted off the tracks.

- NONE.

EXTERIOR WINDOWS: (slider, double hung or crank) All exterior windows should have locks and security may be improved with anti-slide devices or pins.

- Double Hung – use dowel rods or other anti-slide devices and pin if necessary to secure windows.
- Crank – remove cranks to limit access
- Consider adding blinds to pastors office since adjacent to sidewalk
- Consider keeping blinds in main office open during daylight hours to increase natural surveillance of exterior; blinds closed or partially turned at night to reduce fishbowl effect (feeling of exposure, lack of privacy)
- Consider keeping blinds in main office window open (adjacent to vestibule / covered entry) blinds needed to be taken down and reversed

EXTERIOR LIGHTING: Lighting is an important aspect of CPTED. Lighting increases the amount and quality of natural surveillance. If people cannot see the activity they cannot report the activity. Lighting can also deter those intending to conduct criminal/nuisance activity. Exterior lighting needs to be activated by sensor, timer or motion depending on the need and location.

- Consider changing discolored / older light fixture covers to increase light output
- Consider keeping exterior lights on during nighttime hours
- Consider adding lighting by west access door (pastor's office)

LANDSCAPING: Simple landscaping changes can affect the amount and quality of natural surveillance and physical security. CPTED principles state that all landscaping should be at least pruned down to 3' or up to 6'. This creates an open area between 3' and 6' which increases natural surveillance and reduces the ability for subjects to hide themselves or belongings.

- Pine trees along Arlington Heights Road trim lower branches so nothing hangs below 6 ft.
- Keep all bushes / shrubs trimmed below windows

BASEMENT ACCESS (Window wells):

- Consider installing high security strike plate and additional double key deadbolt to basement access door.
- Replace light bulb, consider adding additional lighting
- Consider additional grates, etc. to reduce access to basement via stairwell.

FENCING/BARRIERS:

- Periodically check fencing around garbage storage and air conditioning units. Entries should be secured with locks to deter access.

OUTBUILDINGS (Detached garage, Storage Sheds and Barns):

- NONE

ALARM / CAMERA SYSTEM:

- NONE

MISCELLANEOUS:

- Lock garbage room door
- Signage to direct people to main entrance
- Do not keep cash, checks or credit card information at the business unless adequately secured.
- Report suspicious activity – **CALL 911**
- Fill out an Emergency Information Card at vah.com – Police Department section. Police personnel will be able to contact you if a burglary, criminal damage or other suspicious activity is reported or observed after business hours

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. _____	P.I.N.# 0320305026
Petitioner: Jim Valentine	Location: 1234 N Arlington Heights Road
Our Saviour's Lutheran Church	Rezoning: _____ Current: R-3 Proposed: _____
1234 N Arlington Heights Road	Subdivision: _____
Owner: Neil M. Scheufler (Ph: 847 506 0769)	# of Lots: _____ Current: _____ Proposed: _____
(authorized officer of the owner)	PUD: _____ For: _____
911 N Fernandez, Arlington Heights	Special Use: ☒ For: Columbarium
Contact Person: Jim Valentine	Land Use Variation: ☒ For: Columbarium
Address: Our Saviour's Lutheran Church	Accessory structure in side or front yard
1234 N Arlington Heights Road	Land Use: _____ Current: _____
Phone #: 847 255 8700 ext. 231	Proposed: _____
Fax #: _____	Site Gross Area: 146,522 SF
E-Mail: jvalentine@oursaviours.org	# of Units Total: _____
	1BR: 2BR: 3BR: 4BR:

(Petitioner: Please do not write below this line.)

1. GENERAL COMMENTS:

No comments at this time.

RECEIVED
JUN 07 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Sean Freres, LEHP  6/7/16
Environmental Health Officer Date

James McCalister  6/7/16
for Director Date

PLANNING COMMUNIT DE ELOPMENT DEPARTMENT

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. _____
 Petitioner: Jim Valentine
Our Saviour's Lutheran Church
1234 N Arlington Heights Road
 Owner: Neil M. Scheufler (Ph: 847 506 0769)
(authorized officer of the owner)
911 N Fernandez Arlington Heights
 Contact Person: Jim Valentine
 Address: Our Saviour's Lutheran Church
1234 N Arlington Heights Road
 Phone #: 847 255 8700 ext. 231
 Fax #: _____
 E-Mail: jvalentine@oursaviours.org

P.I.N.# 0320305026
 Location: 1234 N Arlington Heights Road
 Rezoning: _____ Current: R-3 Proposed: _____
 Subdivision: _____
 # of Lots: _____ Current: _____ Proposed: _____
 PUD: _____ For: _____
 Special Use: ✓ For: Columbarium
 Land Use Variation: ✓ For: Columbarium
Accessory structure in side or front yard
 Land Use: _____ Current: _____
 Proposed: _____
 Site Gross Area: 146,522 SF
 # of Units Total: _____
 1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

YES NO

1. X _____ COMPLIES WITH COMPREHENSIVE PLAN?
2. X _____ COMPLIES WITH THOROUGHFARE PLAN?
3. X _____ VARIATIONS NEEDED FROM ZONING REGULATIONS?
 (See below.)
4. _____ X VARIATIONS NEEDED FROM SUBDIVISION REGULATIONS?
 (See below.)
5. _____ X SUBDIVISION REQUIRED?
6. _____ X SCHOOL/PARK DISTRICT CONTRIBUTIONS REQUIRED?
 (See below.)

Please see additional comments attached.

[Signature]

6.20.16

Date

Planning & Community Development Dept. Review

June 21, 2016



REVIEW ROUND 1

Project: Our Saviour's Lutheran Church Columbarium
1234 N. Arlington Heights Road

Case Number: PC 16-014

Zoning:

7. A Special Use Permit is required to allow the columbarium use on the subject property.
8. A Variation is required from Section 6.5-2 of Chapter 28 of the Municipal Code to allow the proposed accessory structure (columbarium) within the front yard.
9. The petitioner has submitted the required justification for Special Use Permit and Variation approval.
10. There are no additional comments at this time.

Prepared by: SAM J. WISBE

PLANNING COMMUNIT DE ELOPMENT DEPARTMENT

A

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. _____
 Petitioner: Jim Valentine
Our Saviour's Lutheran Church
1234 N Arlington Heights Road
 Owner: Neil M. Scheufler (Ph: 847 506 0769)
(authorized officer of the owner)
911 N Fernandez, Arlington Heights
 Contact Person: Jim Valentine
 Address: Our Saviour's Lutheran Church
1234 N Arlington Heights Road
 Phone #: 847 255 8700 ext. 231
 Fax #: _____
 E-Mail: jvalentine@oursaviours.org

P.I.N.# 0320305026
 Location: 1234 N Arlington Heights Road
 Rezoning: _____ Current: R-3 Proposed: _____
 Subdivision: _____
 # of Lots: _____ Current: _____ Proposed: _____
 PUD: _____ For: _____
 Special Use: ✓ For: Columbarium
 Land Use Variation: ✓ For: Columbarium
Accessory structure in side or front yard
 Land Use: _____ Current: _____
 Proposed: _____
 Site Gross Area: 146,522 SF
 # of Units Total: _____
 1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

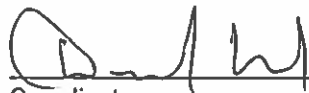
(Petitioner: Please do not write below this line.)

LANDSCAPE & TREE PRESERVATION:

	YES	NO
1. Complies with Tree Preservation Ordinance	<u>N/A</u>	_____
2. Complies with Landscape Plan Ordinance	<u>N/A</u>	_____
3. Parkway Tree Fee Required (See below.)	_____	<u>X</u>

C

No COMMENTS

 6/17/16
 Coordinator Date

Wheeler Kearns Architects

June 28th 2016

Sam Hubbard
Dept. of Planning & Community Development
Village of Arlington Heights 33 South Arlington Heights Road
Arlington Heights IL 60005

Subject: PC #16-014 Round 1 Comments: Variation and Special Use Permit Application at 1234 N Arlington Heights Road

Dear Mr. Hubbard,

Please see comments below in response to the Village's initial review of materials provided as part of our application for Variation and Special Use Permit Application.

Department	Number	Village Comment	Petitioner's Response
Public Works Department	1	The proposed proximity of the lights must conform to the pertinent ordinances and must not provide a distraction to traffic on Arlington Heights Road.	Lights shall provide illumination in such a manner as not to create a nuisance on public right of way.
Engineering Department	11	Approval by the Plan Commission is not an endorsement or approval of these documents to obtain the required building permits, engineering approval, or permits required by other government or permitting agencies for	Our Saviour's acknowledges acceptance of this understanding.

		construction. Detailed plan review with associated comments will be provided upon submittal of plans for a building permit. The petitioner shall acknowledge that they accept this understanding.	
	12	Provide calculations showing existing and proposed impervious areas. Storm water detention is required for any new impervious area. This could also trigger a requirement for submittal to the MWRD.	In side/front yard along Arlington Heights Road, an existing concrete step and brick paving (refer survey) measuring 133sf will be removed. The proposed Columbarium measures 30 sf. The overall reduction in impervious area is over 100sf.
	13	When on-site lighting is proposed, provide a site photometric lighting diagram indicating lighting intensities. Also provide the associated catalog cuts for all roadway, parking lot, and building mounted luminaries. All fixtures must be flat bottom, sharp cut-off, and no wall pack style fixtures will be permitted.	Please refer to newly submitted site photometric lighting diagram, and catalog cuts for proposed Columbarium light fixtures. No roadway, parking lot or building mounted luminaires are proposed.
Fire Department	1	Is the exit door from the building in to the Columbarium currently a fire exit?	Yes, existing double door opens out to proposed Columbarium. Min 44" clear exit path shall be maintained to public way.

Police Department	2	Are lighting requirements adequate for safety?	Surfaces within proposed Columbarium shall be lit, including inside of landscaping, surfaces of Columbarium itself, ground surrounding bench, and the area underneath the ornamental tree, as well as light spilling from the interior of the building. The design intent is to illuminate faces, but that space is not so bright as to invite attention from the street. An exterior wall mounted motion activated light fixture shall be installed by the exterior entrance to the proposed Columbarium, and a security camera will be focused on the exterior entrance.
	6	(a) Emergency contact information card	Enclosed
		(b) Landscaping may enable illegal activities within Columbarium	Elimination of landscaping could result in exterior lighting posing a distraction to traffic on Arlington Heights Road. The proposed wall mounted motion activated light fixture and security camera are intended to deter illegal activity. Furthermore, the proposed Columbarium is intended as a quiet, contemplative space. The proposed landscaping offers a physical barrier against the road traffic noise.

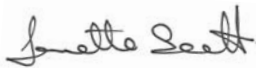
		(c) Access control should be considered	Access control has been considered, but the Church is confident that the motion activated light and security camera will deter unwanted visitors, while permitting members of the Church safe and convenient access.
		(d) Consider posting no trespassing/loitering/no unauthorized use signage.	Our Saviour's will consider.
		(e) Security Survey	Our Saviour's acknowledges receipt of survey and will consider making improvements. No new work is proposed to the existing exterior signage.

The following items are included with our response:

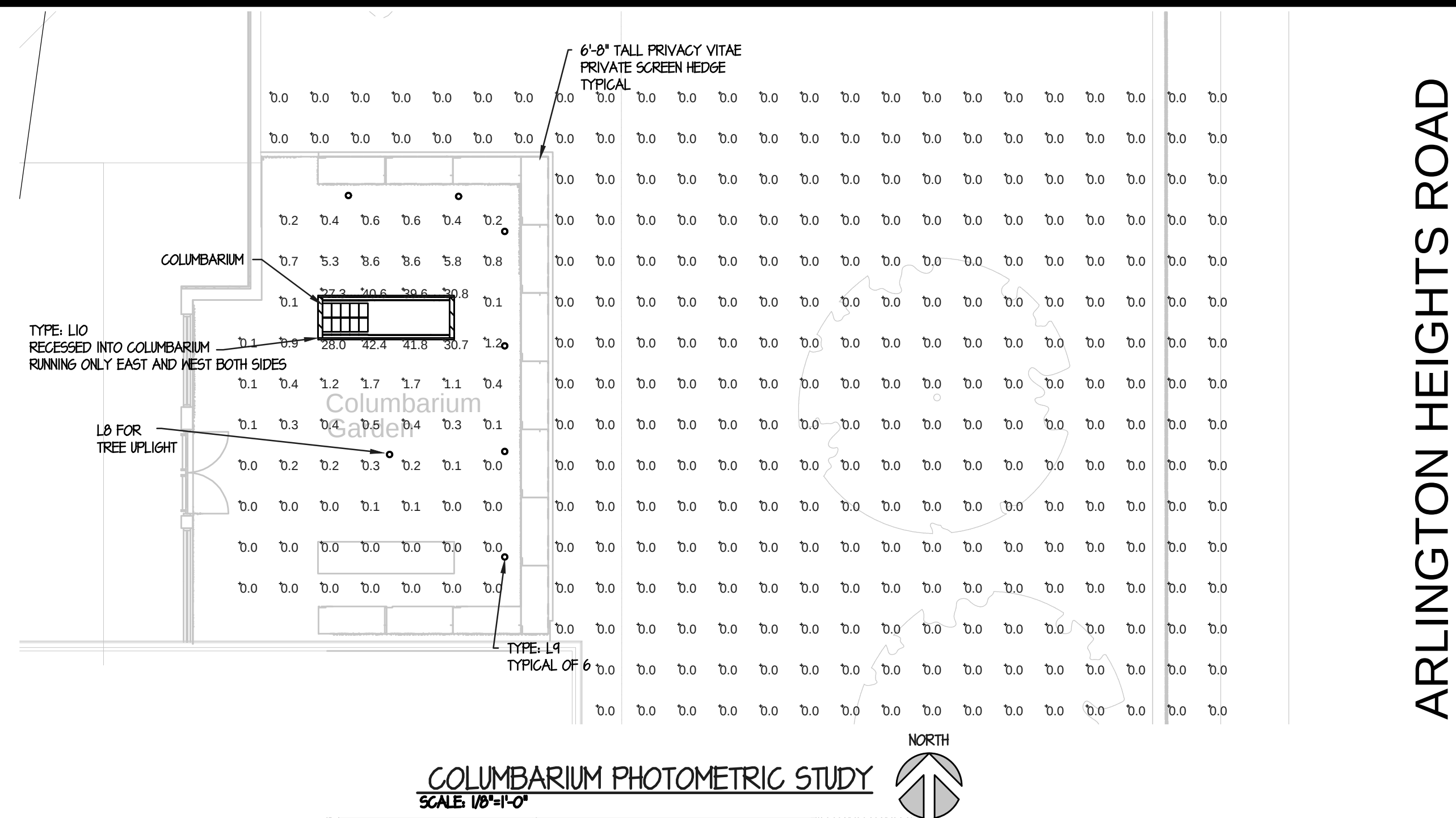
1. Site photometric lighting diagram and catalog cuts for proposed Columbarium light fixtures
2. Emergency information card
3. Notification affidavit

Thank you for your consideration of this application,

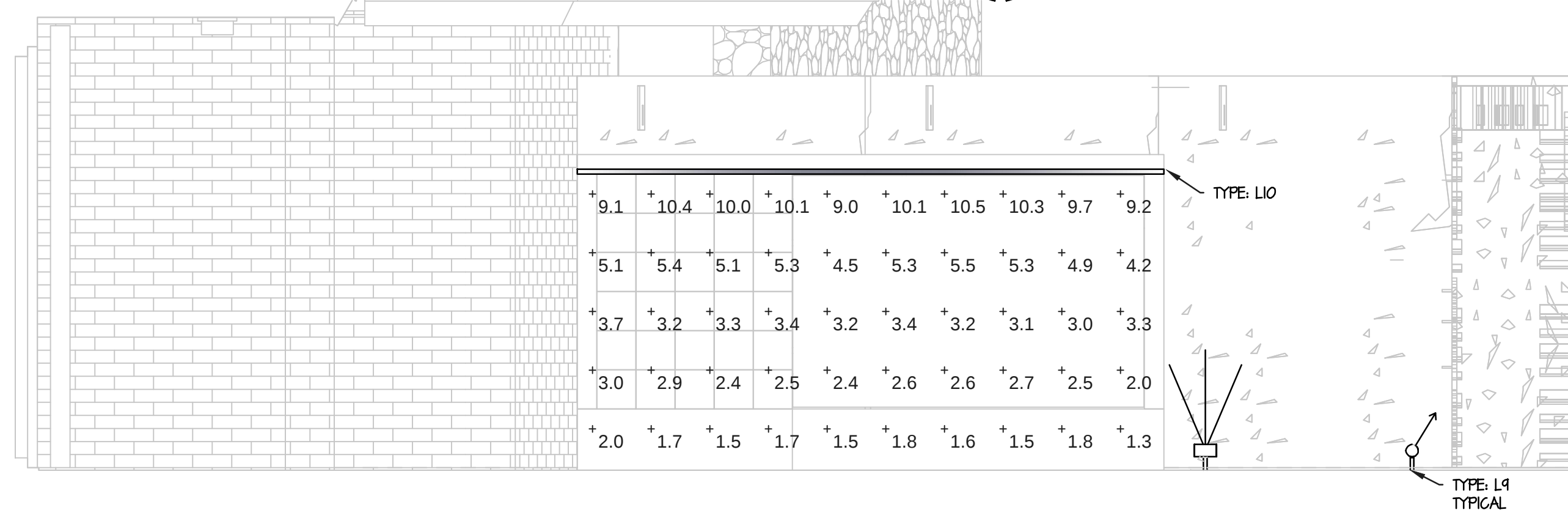
Sincerely,



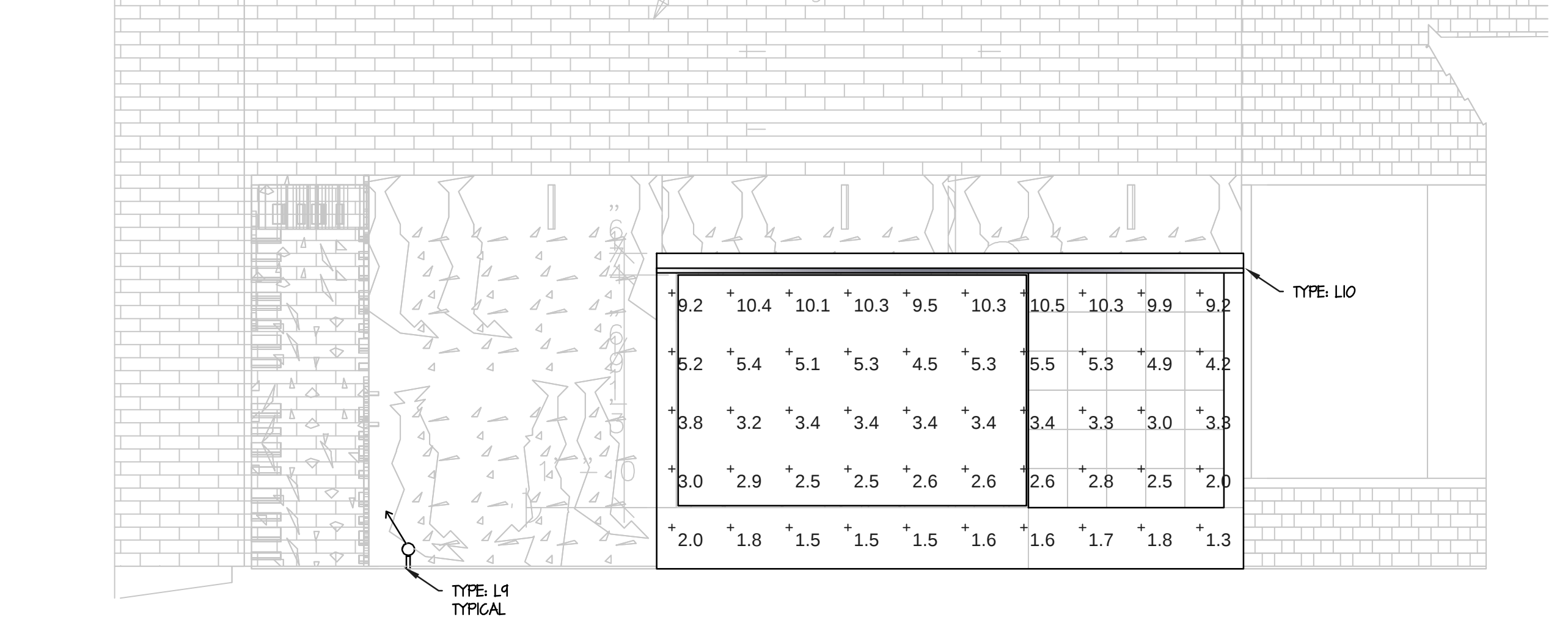
Janette Scott MRIAI



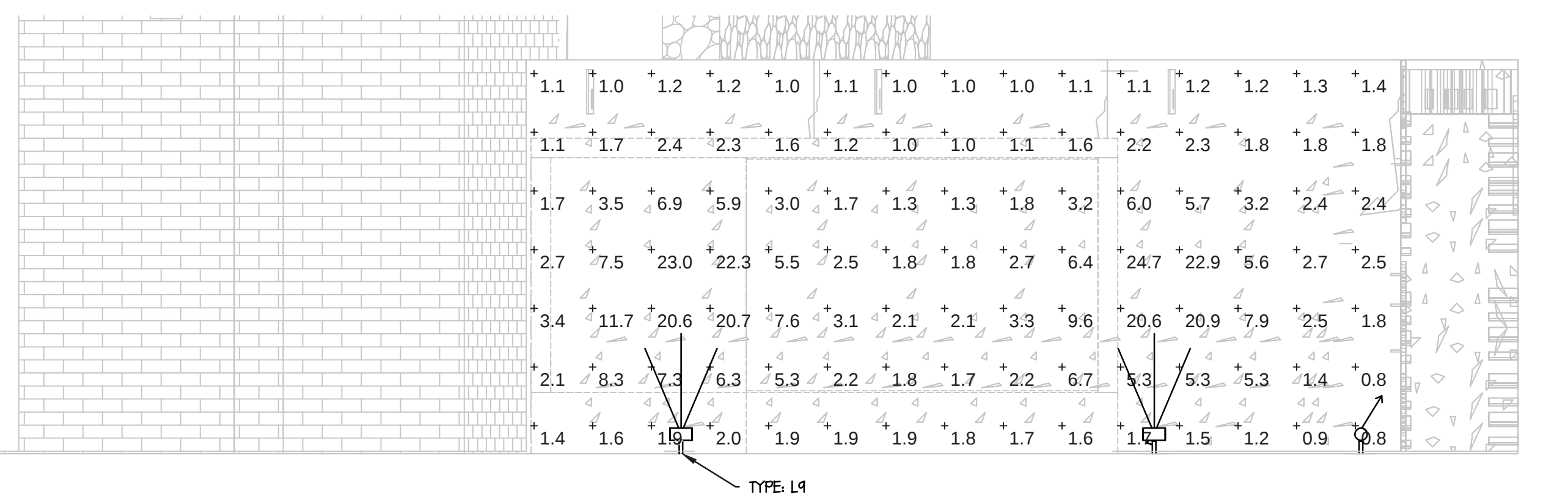
COLUMBARIUM PHOTOMETRIC STUDY
SCALE 1/2"=1'-0"



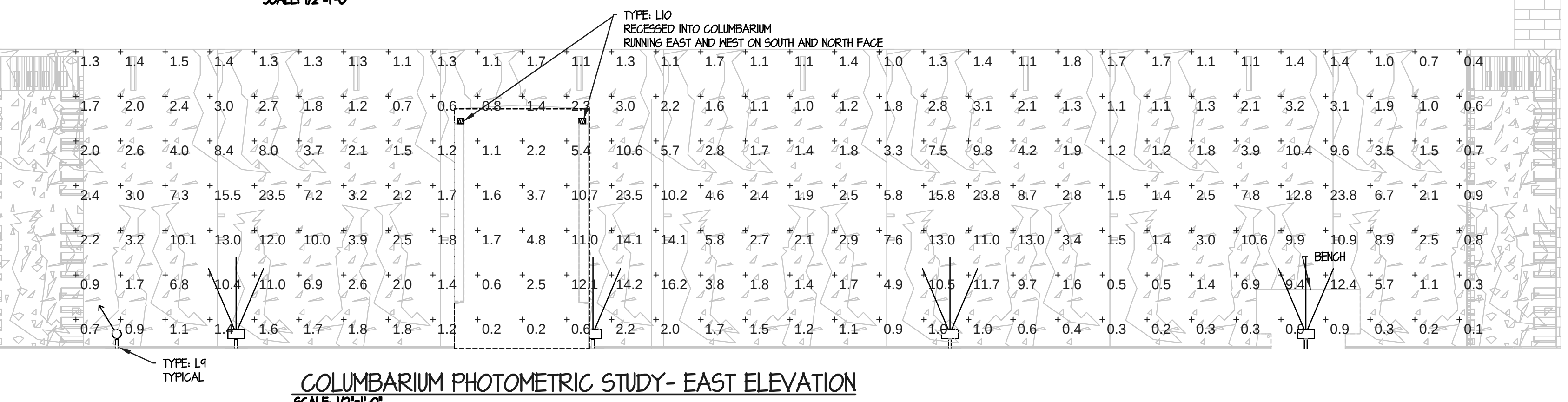
COLUMBARIUM PHOTOMETRIC STUDY- SOUTH FACE ELEVATION
SCALE 1/2"=1'-0"



COLUMBARIUM PHOTOMETRIC STUDY- NORTH FACE ELEVATION
SCALE 1/2"=1'-0"



COLUMBARIUM PHOTOMETRIC STUDY- NORTH HEDGE
SCALE 1/2"=1'-0"



COLUMBARIUM PHOTOMETRIC STUDY- EAST ELEVATION
SCALE 1/2"=1'-0"

ARLINGTON HEIGHTS ROAD

TYPE: L8/L9

HNLED26YA

RAB LIGHTING

Project: Type: Prepared By: Date:

Driver Info

Type	Constant Current	Watts	26W
120V	0.24A	Color Temp	3000K
208V	0.15A	Color Accuracy	81 CRI
240V	0.13A	L70 LifeSpan	100000
277V	0.11A	Lumens	1,899
Input Watts	27W	Efficacy	64 LPW
Efficiency	87%		

Bullet shape die cast aluminum flood with 26 Watt LED Light Engine. Comes with narrow spotlight reflector installed. Color: Bronze Weight: 4.8 lbs

Technical Specifications

Listings:

UL Listing: Suitable for wet locations. Suitable for ground mounting.

IESNA LM-79 & LM-80 Testing: RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.

Electrical:

Driver: Constant Current: 700mA, 120-277V with 4V surge protection, 120V: 0.24A, 208V: 0.15A, 240V: 0.13A, 277V: 0.11A, 50/60Hz, THD < 20%, Power Factor: 99%.

THD: 8.4% at 120V, 9.2% at 277V

Optical:

NEMA Type: 2H x 2V Beam Spread.

LED Characteristics:

LEDs: Multi-chip, high-output, long-life LEDs

Color Stability: RAB LEDs exceed industry standards for chromatic stability.

Color Uniformity: RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377, 2011.

Construction:

Cold Weather Starting: Minimum starting temperature is -40°F/-40°C

Thermal Management: Superior heat sinking with external Air-Flow fins

Housing: Precision die-cast aluminum housing, lens frame and mounting arm.

Reflector: Semi-specular, vacuum-metallized polycarbonate

Mounting: Heavy duty mounting arm with "O" ring seal & stainless steel screws.

Gaskets: High-temperature silicone gaskets

Finish: Our environmentally friendly polyester powder coating is formulated for high durability and long-lasting color and contains no VOC or toxic heavy metals.

Green Technology: Mercury and UV free, and RoHS compliant. Polyester powder coat finish formulated without the use of VOC or toxic heavy metals.

Other:

California Title 24: HNLED26 complies with 2013 California Title 24 building and electrical codes as a commercial outdoor non-remote-mounted fixture < 30 Watts when used with a photosensor control. Select catalog number PCS800 (120V) or PCS190027T (277V) to order a photosensor.

Country of Origin: Designed by RAB in New Jersey and assembled in the USA by RAB's IREW Local workers.

Buy American Act Compliant: This product is a COTS item manufactured in the United States, and is compliant with the Buy American Act.

Recovery Act (ARRA) Compliant: This product complies with the 52.225-21 "Required Use of American Iron, Steel, and Manufactured Goods-- Buy American Act-- Construction Materials (October 2010).

Trade Agreements Act Compliant: This product is a COTS item manufactured in the United States, and is compliant with the Trade Agreements Act.

GSA Schedule: Suitable in accordance with FAR Subpart 25.4.

Need help? Tech help line: (888) RAB-1000 Email: sales@rabweb.com Website: www.rabweb.com Copyright © 2014 RAB Lighting Inc. All Rights Reserved Note: Specifications are subject to change at any time without notice Page 1 of 2

TYPE: L10

TRAN LED

iq67
4.4 W/FT
WET RATED

LED FLEXIBLE TAPE LIGHT

IQ LED IP67 FlexibleTape Light is available in 2500K, 2700K, 3000K, 3500K, 4000K. IQ LED IP67 Light, chip 50 is available in 2.6 or 4.4watts per foot, 24VDC, and has a CRI of over 90.This product is perfect for steps and patios. (1ft normal water submersed, temporary immersion)

Temp Rating: -4 degree up to +140 degree.

COMPATIBLE EXTRUSIONS

QA-SLM QA-WIDE QA-SQR QA-REC QA-REC-RD QA-60W-RD QA-60W-60 QA-60W

DIMENSIONS

Lead Wire

NOTE: Cutting sections of LED tape allows for changes in the field. 4.4 watts per foot = cut every 3.94"

*Lead wire comes standard on all LEDs in 11.5" (232 AWG) *3 years warranty

End Cap

FLEXIBLE TAPE LIGHTS

iq67-25-50-90-4.4
Max Tape Length: 21ft | Color Temp: 2500K | Voltage: 24VDC
CRI: 90+ | LM: 79 | Watts Per Ft: 4.4 | Lumens Per Ft: 330

iq67-27-50-90-4.4
Max Tape Length: 21ft | Color Temp: 2700K | Voltage: 24VDC
CRI: 90+ | LM: 79 | Watts Per Ft: 4.4 | Lumens Per Ft: 330

iq67-30-50-90-4.4
Max Tape Length: 21ft | Color Temp: 3000K | Voltage: 24VDC
CRI: 90+ | LM: 79 | Watts Per Ft: 4.4 | Lumens Per Ft: 330

iq67-35-50-90-4.4
Max Tape Length: 21ft | Color Temp: 3500K | Voltage: 24VDC
CRI: 90+ | LM: 79 | Watts Per Ft: 4.4 | Lumens Per Ft: 330

iq67-40-50-90-4.4
Max Tape Length: 21ft | Color Temp: 4000K | Voltage: 24VDC
CRI: 90+ | LM: 79 | Watts Per Ft: 4.4 | Lumens Per Ft: 330

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STATISTICS		
Description	Symbol	Avg
EAST HEDGE WALL	+	5.4 fc
GARDEN	+	4.1 fc
NORTH HEDGE WALL	+	3.8 fc
NORTH SIDE COLUMBARIUM	+	5.1 fc
OUTSIDE OF HEDGE WALL	+	0.0 fc
SOUTH HEDGE WALL	+	0.3 fc
SOUTH SIDE COLUMBARIUM	+	5.0 fc

LUMINAIRE SCHEDULE								
Symbol	Label	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	L9/L8	HNLED26Y (NARROW SPOT)	CAST METAL HOUSING, BROWN PAINTED FLAT METAL HEAT SINK MOUNTING PLATE, CAST BROWN PAINTED FINNED METAL HEAT SINK, 1 CIRCUIT BOARD WITH 1 LED, MOLDED PLASTIC REFLECTOR WITH SPECULAR FINISH AND CLEAR PLASTIC CONVEX INNER LENS WITH 3 INTEGRAL MOUNTING POSTS, MOLDED WHITE PLASTIC FORWARD REFLECTOR MOUNTING CYLINDER, CLEAR FLAT GLASS LENS WITH HOLOGRAPHIC PLASTIC INTERIOR OVERLAY IN CAST BROWN PAINTED METAL FRAME.	ONE WHITE MULTI-CHIP LIGHT EMITTING DIODE (LED), AIMED AT THE HORIZON.	ib81783-c.ies	Absolute	0.95	26.7
	L10		IQ67-30-50-90-4.4		IQ67-30-50-90- 4.4- 3.94INCH.ies	100	95	1.44

NESKO
DESIGN / BUILD
ELECTRIC

BULLEY & ANDREWS
Building Walters®

Our Saviour's Lutheran Church
Arlington Heights, Illinois

Our Saviour's Lutheran Church
Arlington Heights, Illinois
1234 ARLINGTON HEIGHTS RD.
ARLINGTON HEIGHTS, IL

2-26-16 ISSUED FOR PERMIT COMMENTS

PROJECT NAME

REVISIONS

CLIENT

GENERAL CONTRACTOR

ELECTRICAL CONTRACTOR

Checked By: P-20-07
Drawn By: P-21-16
Project: JEN
Checked By: E-001.A

PLAN COMMISSION PROJECT TIMELINE

Project Name: Our Saviour Lutheran Church Columbarium
PC Number: 16-014
Location: 1234 N. Arlington Heights Rd
Requested Action: Special Use Permit to allow a Columbarium

	Date	# of Business Days
Preliminary Meeting	05/05/16	-
Awaiting Petitioner PC Application	06/03/16	20
PC Application Submittal Date	06/03/16	-
Plat and Sub Committee Meeting	06/22/16	-
1 st Round Department Comments	06/21/16	12
Petitioner's Response	06/28/16	5
PC Hearing*	07/13/16	27 days from application date
Village Board	08/01/16	13
Village Board Ordinance Adoption	08/15/16	10

Note:

*Legal notice; State Statute requires 15 to 30 days notice.



Item: Faith Lutheran Church/Lambs of Faith Early Childhood Center -
431 S. Arlington Heights Rd. - PC#16-015

Department: Planning & Community Development

Requested Action

Amendment to Special Use Ordinance 03-022 to allow an increase in the number of children and floor area used by the daycare.

Variations Identified

None.

Recommendation

A public hearing was held by the Plan Commission on July 13, 2016 where Commissioner Green moved and Commissioner Dawson seconded:

A motion to recommend approval to the Village Board of Trustees of PC#16-015, an amendment to Special Use Ordinance 03-022 to allow an increase in the number of children and floor area used by the Lambs of Faith daycare located at 431 S. Arlington Heights Road. This approval shall be subject to the following conditions:

1. The maximum enrollment for the Lambs of Faith daycare shall be limited to 48 students.
2. The maximum floor area for the Lambs of Faith daycare shall be limited to 3,500 square feet.
3. The Petitioner shall provide a copy of the updated DCFS license prior to the issuance of an occupancy permit.
4. The required trash enclosure, per Ordinance 03-022, be installed by Sept. 30th, 2016.
5. The Petitioner is encouraged to work with staff to find areas for additional parking lot landscaping screening along Arlington Heights Road.
6. The Petitioner shall comply with all applicable Federal, State, and Village

Codes, Regulations, and Policies.

Roll Call Vote: Commissioners Green, Dawson, Cherwin, Ennes, Sigalos, Warskow and Chairman Lorenzini voted in favor. Motion carried.

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Bid Amount:

ATTACHMENTS:

Description	Type
Staff Report	Board or Commission Report
PC Minutes 7/13/16	Minutes
Aerial	Exhibits
Plat of Survey	Exhibits
Site Plan	Exhibits
Floor Plans	Exhibits
Project Narrative	Correspondence
Parking Survey	Exhibits
Department Comments - Round 1	Correspondence
Petitioner Response to Department Comments - Round 1	Correspondence
PC Timeline Tracker	Correspondence

STAFF DEVELOPMENT COMMITTEE REPORT

To: Plan Commission
 Prepared By: Sam Hubbard, Development Planner
 Meeting Date: July 13, 2016
 Date Prepared: July 8, 2016
 Project Title: Faith Lutheran Church/Lambs of Faith Early Childhood Center
 Address: 431 S. Arlington Heights Road

BACKGROUND INFORMATION

Petitioner: Jori Reuter – Faith Lutheran Church
 Address: 431 S. Arlington Heights Road
 Arlington Heights, Illinois 60005

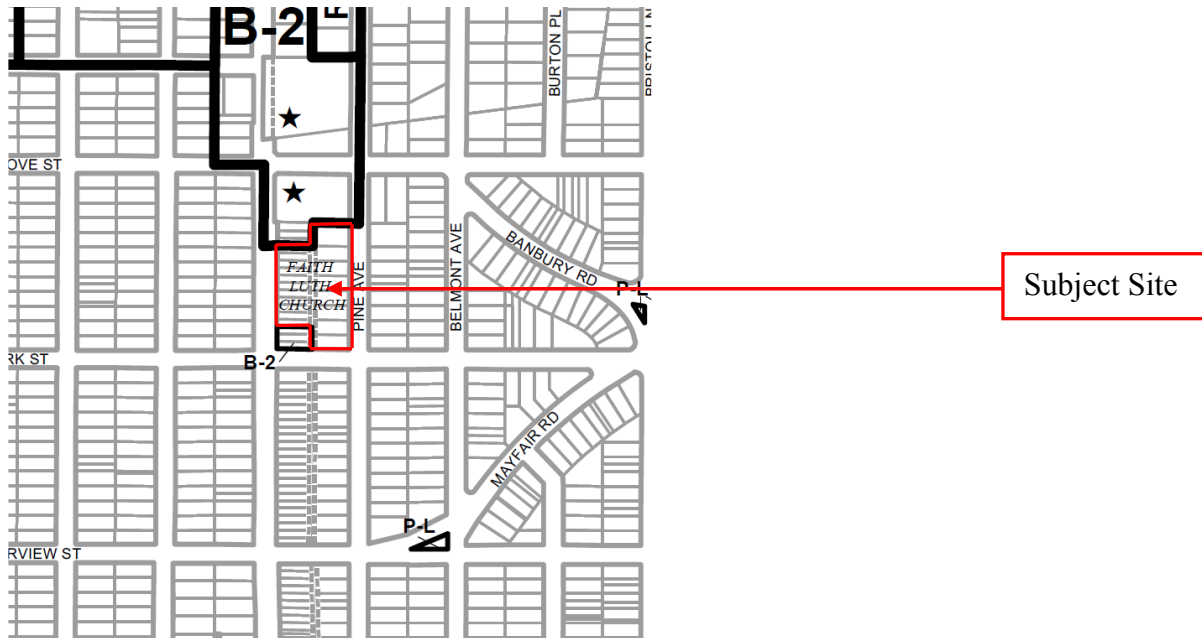
Existing Zoning: R-3, One Family Dwelling District

Requested Action:

- Amendment to Special Use Ordinance 03-022 to allow an increase in the number of children and floor area used by the daycare.

Variations Identified:

- None.



ANALYSIS

Surrounding Land Uses:

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	B-2, General Business District	Commercial Building	Commercial
South	R-3, One Family & B-2, General Business District	Single Family Detached Homes & Automobile Service Station	Single Family Detached & Commercial
East	R-3, One Family Dwelling	Single Family Detached Homes	Single Family Detached
West	R-3, One Family Dwelling	Single Family Detached Homes & Parking Lot	Single Family Detached

Background:

In March, 2003, the Village Board granted a Special Use Permit that allowed a private Montessori school to lease space within the administrative wing of the Faith Lutheran church to operate a preschool. Several conditions of approval were required, including the following restrictions:

1. The maximum enrollment for the Montessori school shall be limited to 30 children/students
2. The maximum floor area for the Montessori school shall not exceed 1,400 square feet.

In 2013, the Montessori school ceased operation and Faith Lutheran approached the Village to determine if the existing Special Use Permit would allow the church to open their own preschool (Lambs of Faith) on the subject property. It was determined that Faith Lutheran could assume the underlying Special Use provided that they comply with the conditions as contained within Ordinance 03-022.

Project Summary:

The subject property, which is currently zoned R-3, One Family Dwelling District, is approximately 1.95 acres (85,130 square feet) in size and located near the northeast corner of Arlington Heights Road and Park Street. The site is composed of a single story church building attached to a two story administrative wing. The Lambs of Faith daycare currently operates within the 1st floor of the administrative wing.

Two parking lots exist on the site; one to the north of the church building and one to the south. The north parking lot is accessible from both Arlington heights Road and Pine Street, and the south parking lot is accessible from Arlington Heights Road, Pine Street, and Park Street. The parking lots provide 88 spaces; 53 spots in the south parking lot and 35 spaces in the north parking lot.

The proposed action, if approved, would allow Lambs of Faith to increase operations beyond the 1,400 sq. ft. restriction as outlined within the original Special Use granted in 2003. The preschool would expand within existing space on the second floor of the building, which would contain a "motor room" (indoor gym), an additional classroom, and office space for the teachers. Total floor area occupied by the school will increase to approximately 3,500 square feet. The number of students would increase from 30 students to 48 students. Total staff would be nine employees, which includes teachers, administrators, and teaching assistants.

Lambs of Faith would operate in the same manner should the proposed expansion be permitted. The preschool would continue to be open to children between the ages of two and six, and hours of operation would remain between 9:00am through 1:00pm. An existing outdoor fenced play area is located on the north side of the church and would remain unchanged.

Zoning and Comprehensive Plan

The subject property is currently zoned R-3, One Family Dwelling District. Special Use Ordinance 03-022 allows the operation of a preschool on the subject property, with certain restrictions. The 2015 Comprehensive Plan designates the land use of the subject property as "*Institutional*" and the proposed Special Use amendment is therefore consistent with the 2015 Comprehensive Plan.

The Petitioner has already demonstrated compliance with the standards of approval for special use permits during their previous application in 2003. The forthcoming approval from DCFS to expand the size of the preschool illustrates the continued community need for this particular use at this location.

Site & Landscape

The current site is non-conforming with regards to landscaping, perhaps most notably in the lack of landscape islands within the parking lot. This nonconformity was contemplated during the original Special Use Permit hearing. At that time, staff believed that it would likely place an economic hardship on the property owner (Faith Lutheran Church) should they be required to update the site landscaping to current requirements. Staff believes the same to be true today, and given the relatively minor scope of the proposed Special Use amendment, staff recommends against requiring the Petitioner to install the required landscape islands. Alternatively, the installation of these islands can be implemented at a time when the church makes substantial capital improvements to the subject property (i.e. a building addition and/or parking lot resurfacing). However, it is encouraged that the petitioner examine the possibility for additional parking lot screening along Arlington Heights Road, which would enhance this important corridor within the Village. Staff can provide assistance in identifying areas viable for additional screening.

When contemplating approval of the original Special Use Permit in 2003, the Plan Commission added a condition of approval requiring screening of an existing dumpster enclosure located at the northeast corner of the church building. The current dumpster enclosure has not been screened, however, staff has been working with the petitioner on plans to install the required dumpster enclosure.

Building Related

The Petitioner is not proposing any exterior modification to the existing building façade, therefore Design Commission review is not required. With respect to the interior floor plan, the Staff Development Committee does not have a problem with the basic layout and the Petitioner will be required to comply with all applicable Building, Life Safety, Health and accessibility requirements. The State Fire Marshall has already been to the site and advised the Petitioner on what interior changes will be required to expand operations onto the 2nd floor. The applicant is not required to provide handicap accessibility to the 2nd floor at this time.

Traffic & Parking

According to the Village's Zoning Ordinance, any amendment to an existing Special Use Permit for projects under 5,000 square feet in size and located along a major or secondary arterial (as defined in the Official Thoroughfare Plan) are not required to submit a Traffic Engineering Study. However, the Petitioner was required to provide a detailed parking survey documenting the current usage of the parking lot during normal daycare hours. The survey indicated that the maximum parking demand during the daycare hours of operation occurred at 9:00am, with 38 of the 88 spaces being used (this was on a day when 28 students were present). Assuming an increase to 48 students with each new student arriving separately and at the 9:00am timeframe, the parking lot still provides sufficient capacity to accommodate these new automobiles.

It should be noted that Scarsdale Auto, located on the northeast corner of Park Street and Arlington Heights Road, has an agreement with the Church to use up to 20 parking spaces on the Church property. This agreement is not perpetual and can be terminated within 30 days with notice from either party. Moreover, even when considering that 20 spaces may be occupied by Scarsdale Auto, the site still has capacity to handle an increase of 20 new cars at the 9:00am timeframe.

Currently, each parking lot is posted as "one-way", which facilitates the flow of traffic within and through the site. The only entrance to the southern parking lot comes from Arlington Heights Road, which then discharges traffic onto Park Street. The only entrance to the north parking lot also comes from Arlington Heights Road, which discharges traffic onto Pine Street. This traffic arrangement is concurrent to the Police Dept. evaluation of the site, which recommends restricting access to Arlington Heights Road for exiting purposes.

Staff has analyzed the site relative to parking requirements, as shown on Table 1. Although the existing site operates at a deficit of approximately 123 parking spaces, the petitioner is not proposing a substantial change to the existing parking as it exists in its current form. Furthermore, since the petitioner has demonstrated that the site has sufficient capacity to accommodate the increase in size of the daycare, staff believes that parking will not be an issue.

RECOMMENDATION

The Staff Development Committee has reviewed the Petitioner's request and recommends **approval** of the Special Use amendment to allow the expansion of the Lambs of Faith preschool at 431 S. Arlington Heights Road. This approval shall be subject to the following conditions:

1. The maximum enrollment for the Lambs of Faith daycare shall be limited to 48 students.
2. The maximum floor area for the Lambs of Faith daycare shall be limited to 3,500 square feet.
3. The Petitioner shall provide a copy of the updated DCFS license prior to the issuance of an occupancy permit.
4. The required trash enclosure, per Ordinance 03-022, be installed by Sept. 30th, 2016.
5. The Petitioner is encouraged to work with staff to find areas for additional parking lot landscape screening along Arlington Heights Road.
6. The Petitioner shall comply with all applicable Federal, State, and Village Codes, Regulations, and Policies.

July 8, 2016

Bill Enright, AICP

Deputy Director of Planning and Community Development

C: Randy Recklaus, Village Manager
All Department Heads

Table 1: Parking Analysis

SPACES OPERATING DURING DAYCARE HOURS OF OPERATION						
Space	Code Uses	Gross Square Footage	Parking Ratio (1:X)	Number of Occupants/Employees	Number of Seats	Parking Required
Lambs of Faith	Day Care Center	3,500	3 spaces per 2 employees	9	-	13
Faith Lutheran Church Administrative Office	Office, Professional	1,128	1 space per 300 sq. ft.	-	-	4
Bible Study Classes	Assembly	694	30% of occupancy	35	-	10
REMAINING SPACES WITHIN THE CHURCH - NOT ACTIVE DURING DAYCARE HOURS OF OPERATION						
Space	Code Uses	Gross Square Footage	Parking Ratio (1:X)	Number of Occupants/Employees	Number of Seats	Parking Required
Church Area	Church	-	1 space per 5 seats	-	442	84
Office Areas	Office, Professional	231	1 space per 300 sq. ft.	-	-	1
Multi-Purpose/Meeting Rooms	Assembly	6,515	30% of occupancy	326	-	98
Library	Library	550	1 space per 1,000 sq. ft.	-	-	1
Total Parking Required						211
Total Parking Provided						88
Surplus/(deficit)						-123

Above table represents an approximate calculation of overall parking requirements for the entire site and should not be relied upon for the exact calculation of all parking requirements for the site.

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PLAN

REPORT OF THE PROCEEDINGS OF A PUBLIC HEARING BEFORE THE VILLAGE OF ARLINGTON HEIGHTS PLAN COMMISSION

COMMISSION

RE: FAITH LUTHERAN CHURCH/LAMBS OF FAITH EARLY CHILDHOOD CENTER -
431 SOUTH ARLINGTON HEIGHTS ROAD - PC# 16-015
AMENDMENT TO SPECIAL USE

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Plan Commission Meeting taken at the Arlington Heights Village
Hall, 33 South Arlington Heights Road, 3rd Floor Board Room, Arlington Heights,
Illinois on the 13th day of July, 2016, at the hour of 7:47 p.m.

MEMBERS PRESENT:

JOE LORENZINI, Chairman
MARY JO WARSKOW
TERRY ENNES
BRUCE GREEN
SUSAN DAWSON
JOHN SIGALOS
JAY CHERWIN

ALSO PRESENT:

SAM HUBBARD, Development Planner

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CHAIRMAN LORENZINI: The next item on the agenda is Faith Lutheran Church/Lambs of Faith Early Childhood Center, PC# 16-015. Is the Petitioner here?

MS. REUTER: Yes.

CHAIRMAN LORENZINI: Would you please come forward and raise your right hand?

(Witness sworn.)

CHAIRMAN LORENZINI: Thank you. Let's see. Has the Petitioner read all the conditions?

MS. REUTER: Yes.

CHAIRMAN LORENZINI: Do you agree with them?

MS. REUTER: Yes.

CHAIRMAN LORENZINI: Okay, very good. Can you give a brief overview of your project?

MS. REUTER: Yes. First, my name is Jori Reuter, J-o-r-i R-e-u-t-e-r. I am the preschool director at Faith Lutheran Church.

Lambs of Faith opened three years ago in the fall of 2013 as a ministry of Faith Lutheran Church. We are DCFS licensed and we serve two to six-year-olds in preschool programming from 9:00 to 1:00 p.m.

We currently have two classrooms on the main level of our building and we'd like to add one pre-K classroom and a motor room to the second floor of the building. It's existing space of the church. We've been working with the Office of the State Fire Marshal as well as DCFS to go ahead and do this.

The square footage of our current preschool is 1,400 square feet, just two classrooms. With a motor room and an additional class and a small teacher workspace, it would grow to 3,500 square feet. That would include three classrooms with 16 children in each room for a total of 48 children in the center per day. At maximum capacity, we would have nine preschool employees on site.

I mentioned this before, we're currently working with the Office of State Fire Marshal to meet all fire and life safety codes. Upon completion, we'll give all the reports to the Village of Arlington Heights.

DCFS is planning to visit us in early August. We are up for renewal for our license, so he's coming to do the complete licensing study and to add the new space the first week of August. Then that will be also given to the Village of Arlington Heights.

For parking, when we came to the Plat & Subcommittee meeting, some of the concerns were parking. So, Faith Lutheran Church has a north and a south parking lot with a total of 88 parking spaces. Parents enter from Arlington Heights Road and they either exit out onto Park or they exit out onto Pine.

This is an aerial view of the church and the two parking lots. Most of the parents do use the south parking lot because that big ramp leads to our main church door. But some of the parents do come in from the north side and like to walk across, by the playground and come across.

Back in May when preschool was still in session, we operate from September through May, and when it was still in session, this was a study of the cars that were in the parking lot. Below is how many kids were present that day.

In summary, for the parking, the majority of the families do enter the

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north or south parking lots from Arlington Heights Road. There are some families that enter from the Scarsdale neighborhood, and they come down Park is what was supposed to say, not Pine, but from the Scarsdale neighborhood. Then parents do escort their children into the building.

Based on the survey, the peak times were at drop-off between 9:00 and 9:30 in the morning and at dismissal. So, dismissal is at 12:00 noon but we do have an extended option until 1:00 o'clock with lunch bunch, and so not all the kids are dismissed at the same time. Some are dismissed at 12:00, some are dismissed at 1:00, depending on what their parents signed them up for. So, the peak parking time is really at 9:00 a.m.

In summary, we just would really like to expand from our two current rooms to three preschool rooms and have the large motor room space. We will be following all state, building and fire codes and working with the state fire marshal. All paperwork from DCFS and the fire marshal will be reported directly to the Village of Arlington Heights.

CHAIRMAN LORENZINI: Thank you. Sam, Staff report?

MR. HUBBARD: Yes. So, the request you have before you this evening is for an amendment to an existing special use. A little background on the subject, the original daycare was approved in this location in 2003 and it was allowed a 1,400 square foot space with a maximum of 30 children. That daycare has since moved on to a different location in the community. In 2013, the Lambs of Faith approached the Village to see if they could assume the underlying special use.

Staff evaluated that request and did grant the assumption of that special use on the condition that all of the conditions from 2003 were met which of course limited the children and space. So, thankfully, the Lambs of Faith has been operating a successful daycare and is increasing enrollment and would like to increase the size, expand out to the second floor as you've heard, and would increase the maximum capacity to 48 students from the present 30 allowed.

Staff has evaluated this request relative to parking and traffic generation which is always a primary concern with a daycare. Regarding parking, we analyzed the numbers provided by the Petitioner and we do believe that the site has adequate parking to provide for the expansion of the daycare.

That being said, there is a current deficiency on the site, but this is a preexisting condition and it's relative to the church, not to the actual daycare. I would like to apologize, there was an error in the Staff report at the end of the Parking section, it's a sentence that kind of trailed off. I don't know if, I'm sure all of you caught that, but it should have stated that Staff has evaluated and adequate capacity does exist in the daycare, and the preexisting condition of the deficiency is relative to the church. So, it's not an issue in this case, Staff does not believe it's an issue.

We did recommend several conditions of approval, one and two linking the size of the daycare to the 3,500 square feet, and then the second to the 48 students. We did recommend that a copy of the updated DCFS license would be required prior to issuance of an occupancy permit.

Then also, back in 2003 when the original daycare was permitted, there was a dumpster enclosure that was required to be enclosed and I don't believe it ever was. So, we've been working with the Petitioner to install the necessary enclosure, and as a condition of approval we're just asking that that be installed by September 30th.

Finally, Staff has identified some areas along the southern parking

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lot adjacent to Arlington Heights Road where we believe some additional landscaping islands could be added to increase the screening along Arlington Heights Road as a primary corridor in the Village. We didn't recommend that this be a strict code requirement, but we have asked the Petitioner and encouraged them to work with the church to provide that landscaping.

So, that being said, we're supportive of the use and I would be happy to answer any questions.

CHAIRMAN LORENZINI: Thank you. Is there a motion to approve the Staff report into the public record?

COMMISSIONER ENNES: So moved.

CHAIRMAN LORENZINI: Second?

COMMISSIONER CHERWIN: Second.

CHAIRMAN LORENZINI: All in favor?

(Chorus of ayes.)

CHAIRMAN LORENZINI: Opposed?

(No response.)

CHAIRMAN LORENZINI: Thank you. Questions from the Plan Commissioners? Why don't we start with Commissioner Dawson this time?

COMMISSIONER DAWSON: I don't really, I guess I don't really have any questions. Just the increased drop-off, that's a significant increase to the number of families. What kind of plans have you put in place to address, you know, the increase on the drop-off?

MS. REUTER: At this time, not even half of the parking was used on the one side and very few spots on the other side. So, what I'm going to do is I'm going to have my staff park on the north side to make it more convenient to parents coming in and dropping off. There is plenty of parking in the area. Parents, because school starts at 9:00 o'clock and preschool starts at 9:00 o'clock, many parents kind of linger in between 9:00 and 9:30, so they're in and out. Not everybody, not all 48 would I guess be there at the same time.

COMMISSIONER DAWSON: Be at the same, I guess that's --

MS. REUTER: Yes, and we also have our programming, like we have a two-year-old preschool program and a four-year-old preschool program. So, half of my two-year-old class next year has siblings in the four-year-old class. So, there really won't be 48 cars there at a time because there's a lot of siblings and a lot of car pools and things like that, too.

COMMISSIONER DAWSON: Right, I would assume so. I was less concerned with the parking and more, I guess my experience with daycare is different because it was a full-day daycare and so all the parents were racing off to work. So, there's lot of flying in the parking lot, flying into spots and running kids in the school. But you probably don't have, with the half day, you probably don't have that same experience.

MS. REUTER: Yes.

COMMISSIONER DAWSON: So, I really think it's great. I think this community needs more daycare. I know I don't feel like we have enough good quality daycare in Arlington Heights.

MS. REUTER: We've grown --

COMMISSIONER DAWSON: So, apparently you're doing something well, you know.

MS. REUTER: Thank you.

COMMISSIONER DAWSON: So, I think it's terrific that you're adding on.

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MS. REUTER: We've grown tremendously. Three years ago when I was hired, we were just hoping to open the one room, and we did that and it's grown tremendously. I'm on a wait list now so I have lots of people.

COMMISSIONER DAWSON: That's great.

MS. REUTER: I'm keeping my fingers crossed. Thank you.

CHAIRMAN LORENZINI: Commissioner Sigalos?

COMMISSIONER SIGALOS: I was at the Plat & Sub meeting and very glad to hear that you're growing and it sounds like you're successful. I brought up at that time, I had a question regarding the expansion to the second floor, if that would trigger the need for a handicap accessibility via elevator. I see in the Staff report, it says handicap accessibility is not required at this time. I just bring this up because I thought anything over 1,000 square feet would require that by code.

MR. HUBBARD: So, we did jump on that right after Plat & Sub, and we sent out some of our building commissioners and someone from our accessibility group, our accessibility coordinator out there. I think it was, in fact I'm sure it was determined because of the monetary value of the improvements and the square footage, it was determined that there was no requirement to update to handicap accessibility on the second floor.

COMMISSIONER SIGALOS: Okay, I only brought it up because that would be a considerable expense that I'm sure you weren't contemplating.

MS. REUTER: And we're not adding on to the building which I think was part of it, because I had to provide any updates and it's all fire code stuff that we were updating.

COMMISSIONER SIGALOS: Sometimes if you just do some renovation, interior renovation, it will trigger adherence to current codes. So, I just wanted to bring that up, so I'm glad that you don't require that. That additional expense would be quite considerable.

The last question I had is I saw you have a lunch bunch program. Would that entail any onsite cooking?

MS. REUTER: I had to write a special declaratory ruling it's called to Springfield when we first started because daycare centers are supposed to provide the food. But you can write a proposal to the state asking for permission to extend your program and do different things. So, they granted the special lunch bunch program that I proposed to them for the addition of one hour, and the parents bring and supply the lunch. Then we provide enrichment for that, so they eat for 30 minutes and then they do enrichment with the teachers for 30 minutes.

COMMISSIONER SIGALOS: Well, the only reason I was bringing it up, that again would trigger an additional cost to you as you have to have a good kitchen and a grease trap and things of that nature that you weren't contemplating it.

MS. REUTER: Yes. Being half day, if I ever decide to go full day, that will change the whole story. Going small right now.

COMMISSIONER SIGALOS: No, that's all I have. I am fully supportive of our project.

MS. REUTER: Thank you.

CHAIRMAN LORENZINI: Commissioner Cherwin?

COMMISSIONER CHERWIN: Yes, I echo it. I mean I think the concerns I had in Plat & Sub were along the lines of what Commissioner Dawson brought up on the drop-off situation. But I think given the circumstances, it's manageable, I'm supportive of it.

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Congratulations, it sounds like you've done a great job. So, we look forward to seeing you expand.

MS. REUTER: Thank you.

CHAIRMAN LORENZINI: Commissioner Green?

COMMISSIONER GREEN: I agree, it's a great project. I heard it in Plat & Sub and I hear it again here and it's still a great project.

CHAIRMAN LORENZINI: Commissioner Ennes?

COMMISSIONER ENNES: I have no questions.

CHAIRMAN LORENZINI: Commissioner Warskow?

COMMISSIONER WARSKOW: Well, my questions have been asked and answered.

CHAIRMAN LORENZINI: Sam, one question. The parking deficit, I understand what you're saying, there's a deficit already so it's kind of grand-fathered. But does this make it worse, this project?

MR. HUBBARD: No, I don't believe it does. In fact, the parking requirements for the other spaces were more stringent as opposed to the, you know, the daycare facility which is based more on employees and so forth.

CHAIRMAN LORENZINI: As far as Commissioner Sigalos' comment about ADA access, every town and village and county has different rules, but sometimes if the improvements don't exceed 15 or 40 percent of the replacement value of the building, you know, usually that percentage kind of triggers that. But like I say, every city or county could be different.

I really have nothing else to say. I'll open it up to the public for questions or comments. Anybody present who have comments, statements they want to make? Okay, if not, we'll close the public portion of the hearing and we'll go back to the Commissioners for final deliberation, questions or a motion.

COMMISSIONER GREEN: I'd like to make a motion.

A motion to recommend to the Village Board of Trustees approval of PC #16-015, an Amendment to Special Use Ordinance 03-022 to allow an increase in the number of children and floor area used by the daycare located at 431 S. Arlington Heights Road.

This approval is subject to the following conditions:

- 1. The maximum enrollment for the Lambs of Faith Daycare shall be limited to 48 students.**
- 2. The maximum floor area for the Lambs of Faith Daycare shall be limited to 3,500 square feet.**
- 3. The Petitioner shall provide a copy of the updated DCFS license prior to the issuance of an occupancy permit.**
- 4. The required trash enclosure, per Ordinance 03-022, be installed by September 30, 2016.**
- 5. The Petitioner is encouraged to work with Staff to find areas for additional parking lot landscaping screening along Arlington Heights Road.**
- 6. The Petitioner shall comply with all applicable federal, state and local codes,**

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regulations and policies.

CHAIRMAN LORENZINI: Is there a second?

COMMISSIONER DAWSON: Second.

COMMISSIONER SIGALOS: I'll second.

CHAIRMAN LORENZINI: Roll call vote.

MR. HUBBARD: Commissioner Cherwin.

COMMISSIONER CHERWIN: Yes.

MR. HUBBARD: Commissioner Dawson.

COMMISSIONER DAWSON: Yes.

MR. HUBBARD: Commissioner Ennes.

COMMISSIONER ENNES: Yes.

MR. HUBBARD: Commissioner Green.

COMMISSIONER GREEN: Yes.

MR. HUBBARD: Commissioner Sigalos.

COMMISSIONER SIGALOS: Yes.

MR. HUBBARD: Commissioner Warskow.

COMMISSIONER WARSKOW: Yes.

MR. HUBBARD: Chairman Lorenzini.

CHAIRMAN LORENZINI: Yes. Congratulations, you received a unanimous approval. This goes to the Board of Trustees for final approval. Any date for that, Sam?

MR. HUBBARD: It's the same meeting, first meeting in August. I believe it's August 1st.

CHAIRMAN LORENZINI: Thank you. Congratulations.

MS. REUTER: Thank you.

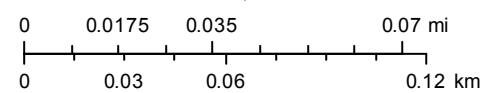
(Whereupon, the above-mentioned public hearing was adjourned at 8:02 p.m.)

Lambs of Faith - T1539



March 17, 2016

1:2,257



PINE

AVENUE

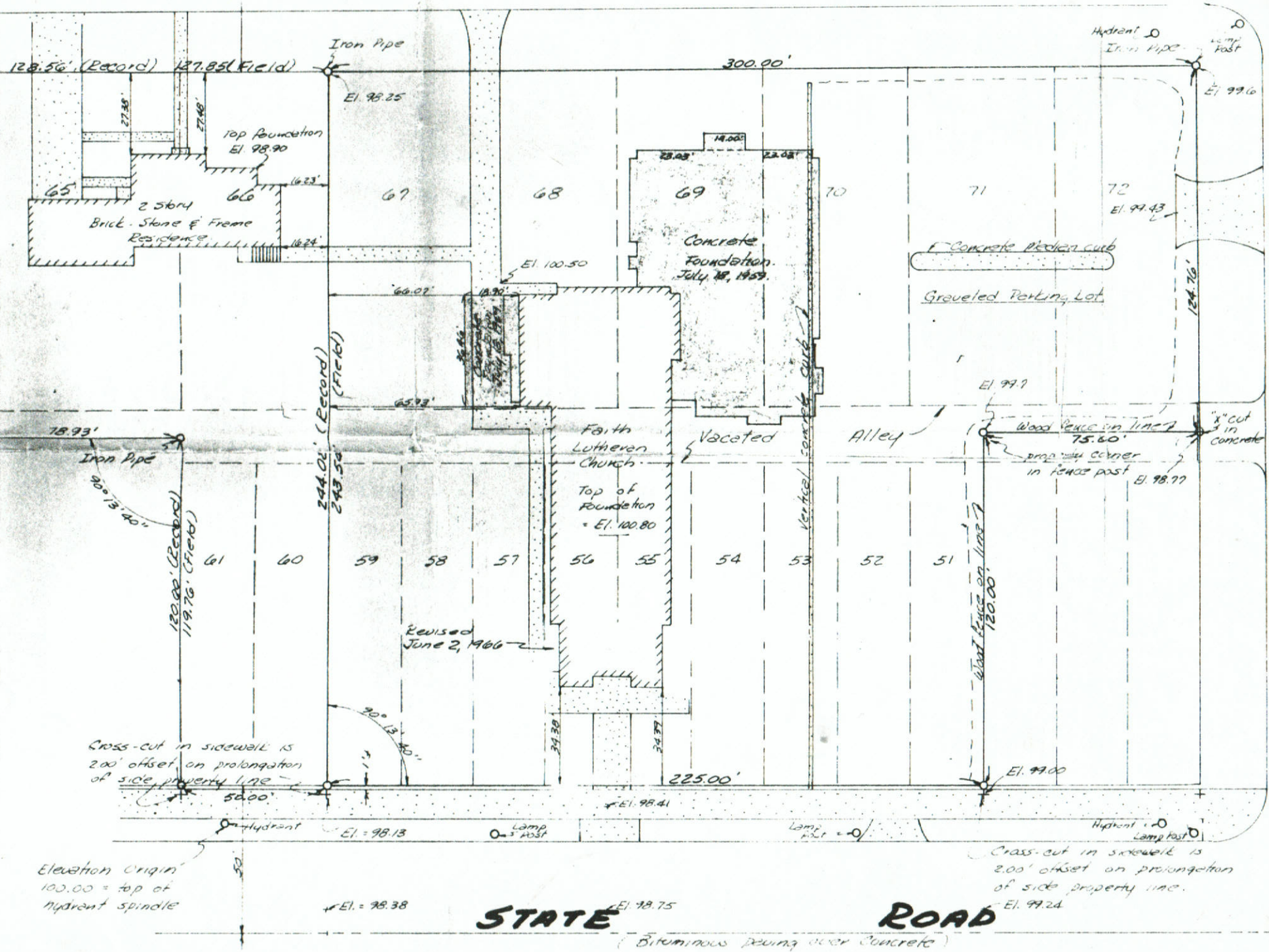
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(Concrete 12.00'

EI. 99.01

EI. 99.04

EI. 98.87



- GENERAL NOTES:**
 PROVIDE NEW BLACKTOP PARKING AREA, AS SHOWN THUS: [Symbol]
 (1) CRUSHSTONE BASE SHALL BE 5" THICK AFTER COMPACTION.
 (2) BLACKTOP SURFACE SHALL BE 1 1/2" THICK AFTER COMPACTION.
 (3) STRIPING OF BLACK TOP SHALL BE SET AT 80°

CONC. CURB NOTE:
 ALL CONC. WORK IN CONNECTION WITH THIS PARKING LOT AND ALL NEW WALKS, PORCHES AND STOOP SHALL BE INCLUDED IN THIS CONTRACT.

GENERAL CONTRACTOR NOTE:
 ALL DEMOLITION FOR WALKS AND PARKING LOT AND ALL TREE REMOVAL SHALL BE INCLUDED IN THIS CONTRACT. PARKING LOT GRAVEL, BLACK TOPPING & STRIPING WILL BE BY OTHERS.

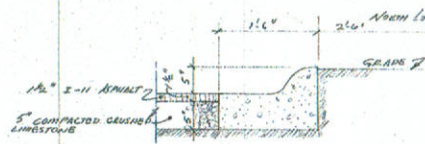
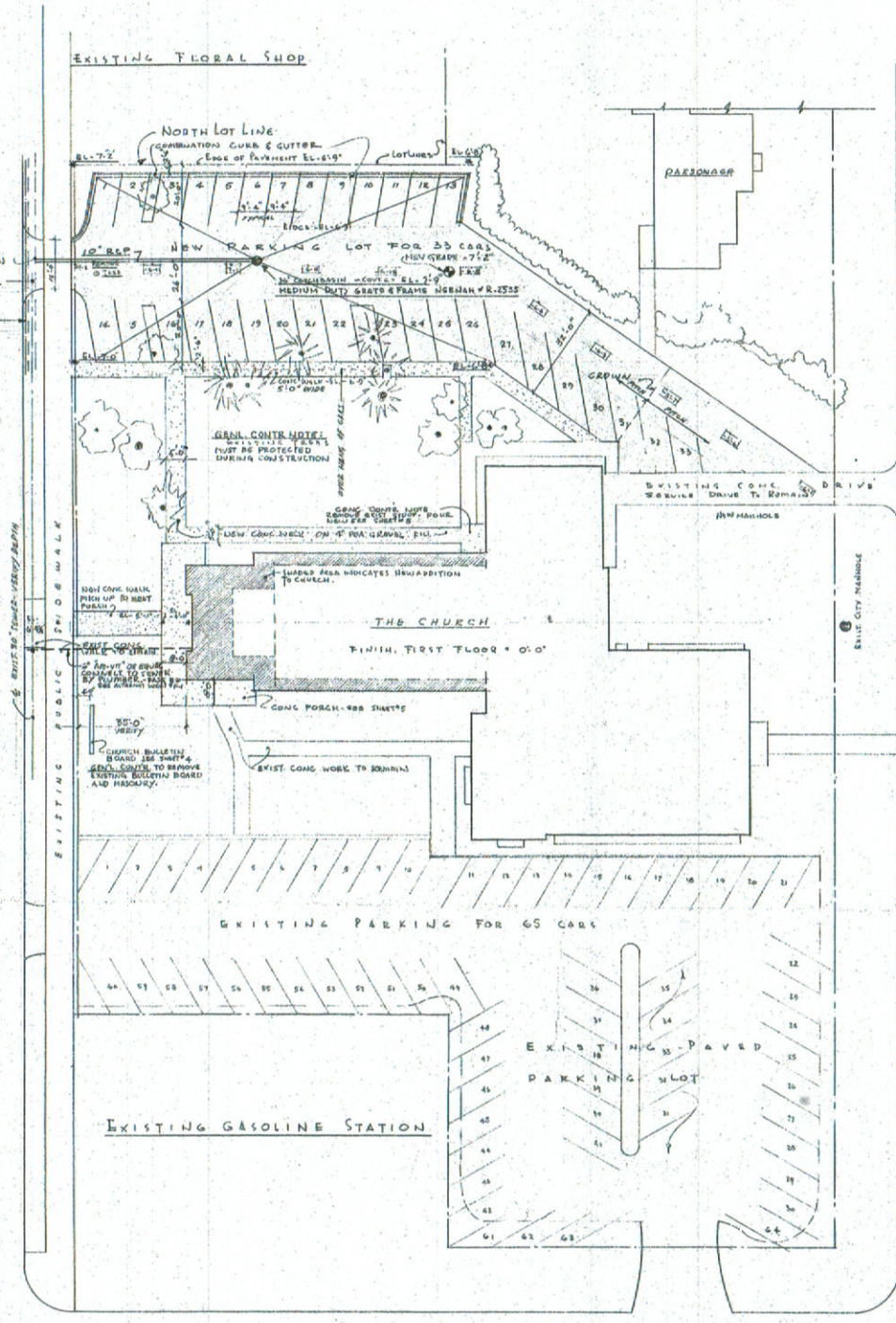
PLUMBER NOTE: ALL PLUMBING TO BE INCLUDED IN BASE BID - BOTH CHURCH SERVICE AND PARKING LOT SEWER IS INCLUDED IN THIS CONTRACT.

ALL CONTRACTORS NOTE:
 ALL CONSTRUCTION MATERIALS SHALL BE STORED AS DIRECTED. IN NO CASE SHALL MATERIALS BE STORED ON EXISTING OR FUTURE PARKING LOT AREAS. ALL DOOR AND APPROACH WALKS TO CHURCH SCHOOL AND LOBBY WALKS SHALL BE LEFT CLEAR. THEY ARE CONSTRUCTION REQUIRED.

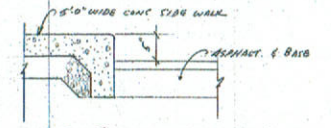
PAVING AND MATERIAL SYMBOLS

- [Symbol] FACE BRICK
- [Symbol] EXPANDED SOLE CONC. BLOCK
- [Symbol] INTERMEDIATE OR EQUAL
- [Symbol] POURED CONCRETE
- [Symbol] STONE - LAMMOR OR LIMESTONE
- [Symbol] THE ELEVATION FOR LAMMOR
- [Symbol] STRUCTURAL STEEL
- [Symbol] FINISHED WOOD
- [Symbol] STRUCTURAL LUMBER
- [Symbol] PLASTER OR EXPANDED STUO
- [Symbol] WALLS
- [Symbol] INDICATING TO BE REMOVED

INDICATES DETAIL NO. INDICATES CURB NO. (A) INDICATES DOOR TYPE SUB ELEVATION 9



COMBINATION CURB & GUTTER DETAIL
 SCALE: 1"=1'-0"



SECTION AT WALK
 SCALE: 1"=1'-0"



SECTION AT NEW REINF. CONCRETE APRON
 SCALE: 1"=1'-0"

PARKING & SITE PLAN
 SCALE: 1"=20'-0"



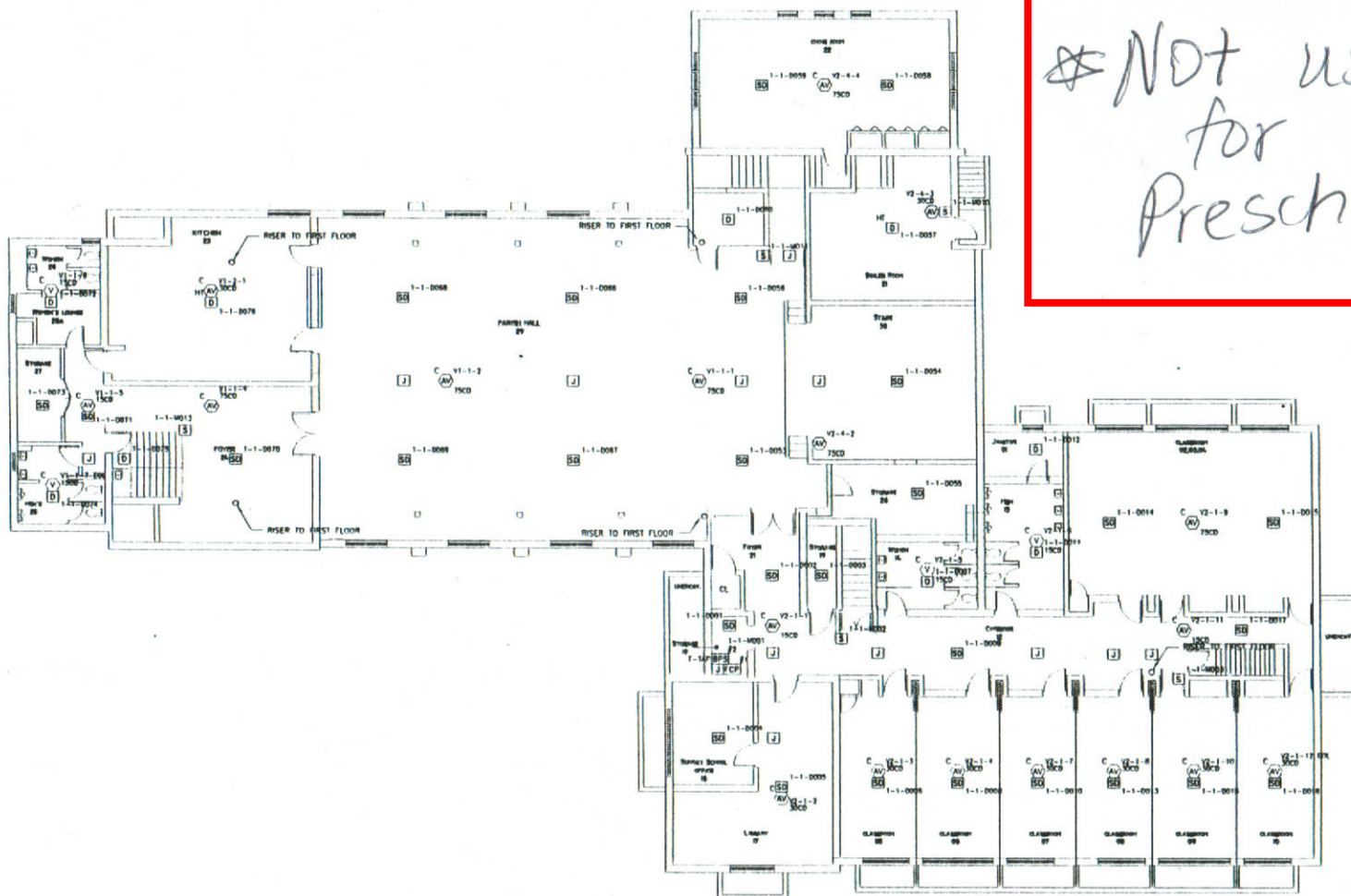
PARKING PROVISION
FAITH EV. LUTHERAN CHUR
 431 S. STATE ROAD, ARLINGTON HEIGHTS, ILL. 60009

WALTER KROEBER A.I.A.
 ARCHITECT
 319 S. STATE ROAD
 ARLINGTON HEIGHTS, ILL.

JOB NO. DATE: DRAWN: REV: 60662

Basement

**Not used for Preschool*



1 FIRE ALARM BASEMENT ZONE MAP
SCALE: 1/8"=1'-0"



WIRE LEGEND:

NAC	14/2 AWG, FFPLR	A
SLC	16/2 AWG, FFPLR	B
AUX PWR	14/2 AWG, FFPLR	C
FAA	16/2 AWG, FFPLR	D
AUX PWR	14/2 AWG, FFPLR	E
SLC	16/2 AWG, FFPLR	F
BACKWAY	MULTICONDUCTOR RACEWAY	A.B.C.

NOTE: ALL WIRING TO BE ENCLOSED IN APPROVED FREEWIRE RACEWAY UNLESS OTHERWISE NOTED

LEGEND

SYMBOL	DESCRIPTION
FCP	FIRE ALARM CONTROL PANEL
BPS	BOOSTER POWER SUPPLY WITH MONITOR MODULE
MR	ADDRESSABLE RELAY FOR MAGNETIC DOORHOLDS
AV	AUDIO VISUAL
V	VISUAL
BS	BEAM SMOKE DETECTOR REFLECTOR
TS	BEAM SMOKE DETECTOR TRANSMITTER
FAA	FIRE ALARM ANNUNCIATOR
D	HEAT DETECTOR
J	JUNCTION BOX
H	MAGNETIC DOOR HOLD OPEN DEVICE
S	MANUAL PULL STATION
SMR	SINGLE INPUT MONITOR MODULE
SD	SMOKE DETECTOR PHOTOELECTRIC
NTS	REMOTE KEY TEST SWITCH

APPROVAL STAMP

DEVICE LEGEND:

DEVICE SUBSCRIPT (FREE SUBSCRIPTS)	DEVICE OUTPUT NUMBER AND DEVICE WIRE LOCATION ALONG OUTPUT (POWER SUPPLY 1, CIRCUIT 1, DEVICE 4)
C/WP/H	V1-1-4
110CD	1-1-0012
SD	1-1-0012

SUBSCRIPTS:

WP	WEATHERPROOF	HE	HIGH TEMPERATURE
E	EXTINGUISHING DEVICE	C	CEILING MOUNTED
FL	END OF LINE RESISTOR	H	HIGH CABLE
DC	DROP CEILING	HC	HARD CEILING

DRAWING TITLE: FIRE ALARM BASEMENT ZONE MAP

SCALE: 1/8"=1'-0"
DATE: 4-5-11
DRAWN BY: RIZWAN HUSSAIN
APPROVED BY: C.U.J.O.
PROJECT NO: D040111-1063

JOB: FAIR LUTHERAN CHURCH
4311 SOUTH ARLINGTON HEIGHTS ROAD
ARLINGTON HEIGHTS, IL 60005
ENGINEER: FIRE BY DESIGN, INC.
4800 PARK AVENUE, SUITE #5
LAKE VILLA, ILLINOIS 60046
CONTRACTOR: ARLINGTON SECURITY CO., LLC
218 EAST GROVE STREET
ARLINGTON HEIGHTS, IL 60005

REVISIONS:

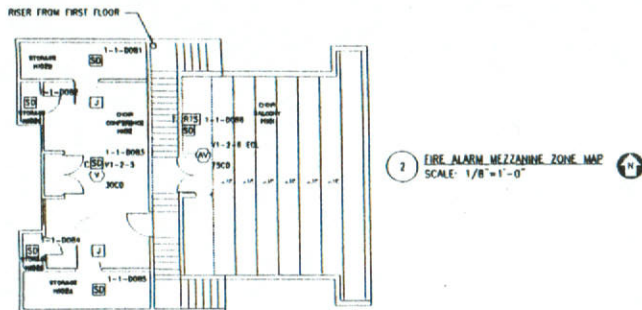
1.
PHONE: 847-265-4400
FAX: 847-265-4401

CONTACT: DANIEL ELIA III
PHONE: 847-392-7997

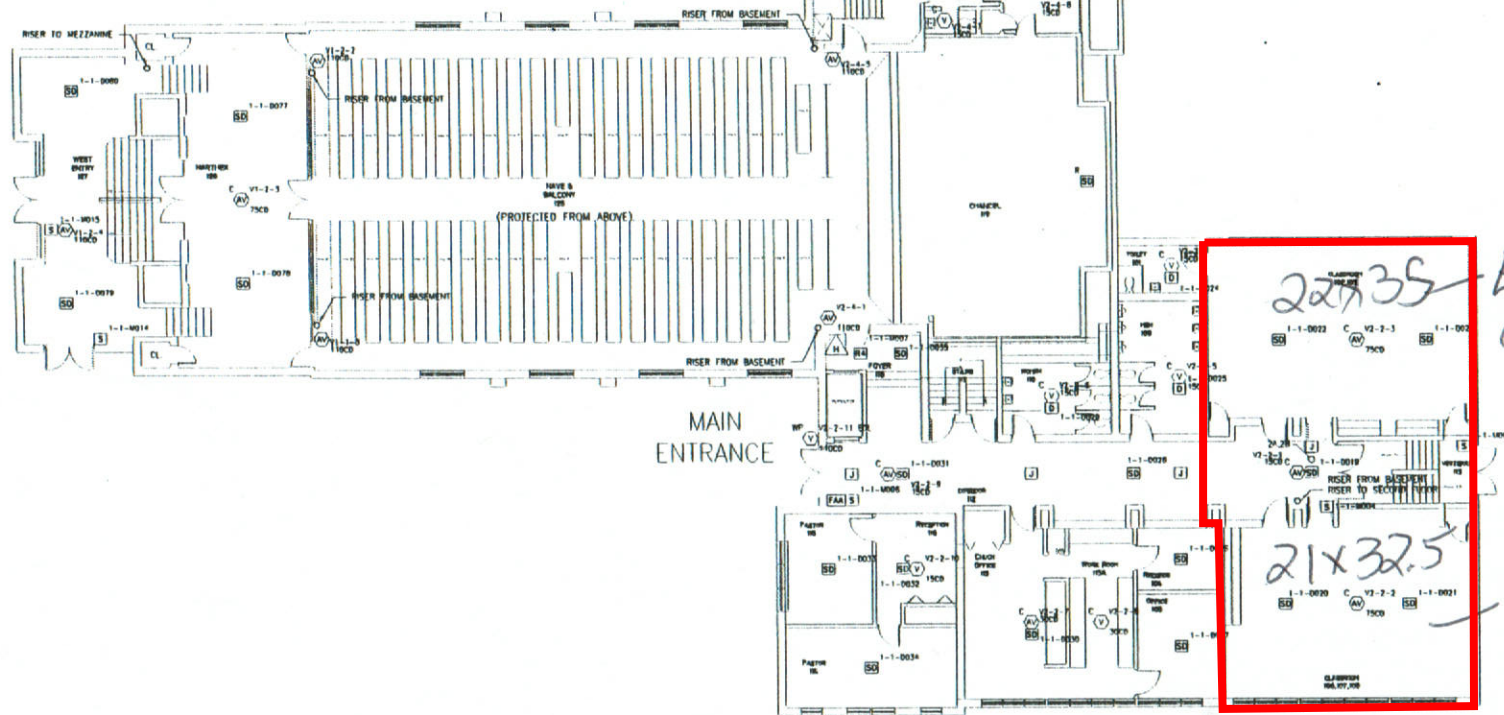


AL3.00

Main Level



2 FIRE ALARM MEZZANINE ZONE MAP
SCALE: 1/8"=1'-0"



MAIN
ENTRANCE

1 FIRE ALARM FIRST FLOOR ZONE MAP
SCALE: 1/8"=1'-0"



WIRE LEGEND:

NAC	14/2 ANG. FTFLR	A
SLN	16/2 ANG. FTFLR	B
AUX PWR	14/2 ANG. FTFLR	C
FAA	16/2 ANG. FTFLR	D
AUX PWR	14/2 ANG. FTFLR	E
SAC SILE	14/2 ANG. FTFLR	F
RACEWAY	MULTICONDUCTOR RACEWAY	A,B,C

NOTE: ALL WIRING TO BE ENCLOSED IN APPROVED FREEWIRE RACEWAY UNLESS OTHERWISE NOTED

LEGEND

SYMBOL	DESCRIPTION
[FAP]	FIRE ALARM CONTROL PANEL
[RPS]	BOOSTER POWER SUPPLY WITH MONITOR MODULE
[R]	ADDRESSABLE RELAY FOR MAGNETIC DOORSMAS
[AV]	AUDIO VISUAL
[V]	VISUAL
[BS]	BEAM SMOKE DETECTOR REFLECTOR
[TBS]	BEAM SMOKE DETECTOR TRANSMITTER
[FAA]	FIRE ALARM ADDRESSATOR
[H]	HEAT DETECTOR
[J]	JUNCTION BOX
[M]	MAGNETIC DOOR HOLD OPEN DEVICE
[S]	MANUAL PULL STATION
[AMM]	SINGLE INPUT MONITOR MODULE
[SDP]	SMOKE DETECTOR PHOTOELECTRIC
[RTS]	REMOTE KEY TEST SWITCH

APPROVAL STAMP

DEVICE LEGEND:

DEVICE SYMBOL	DEVICE SYMBOL	DEVICE SYMBOL
[FAP]	[RPS]	[R]
[AV]	[V]	[BS]
[TBS]	[FAA]	[H]
[J]	[M]	[S]
[AMM]	[SDP]	[RTS]

SUBSCRIPTS

WP	WEATHERPROOF	HT	HIGH TEMPERATURE
E	EXISTING DEVICE	C	CERAMIC INSULATED
TEL	END OF LINE RESISTOR	H	HIGH CHAIRS
DC	DROP CEILING	HC	HARD CEILING

DRAWING TITLE: FIRE ALARM FIRST FLOOR & MEZZANINE ZONE MAP

SCALE: 1/8"=1'-0"
DATE: 4-5-11
DRAWN BY: RIZWAN HUSSAIN
APPROVED BY: C.U.J.O.
PROJECT NO: D040111-1063

JOB: FAIR LUTHERAN CHURCH
431 SOUTH ARLINGTON HEIGHTS ROAD
ARLINGTON HEIGHTS, IL 60005
ENGINEER: FIRE BY DESIGN, INC.
405 PARK AVENUE, SUITE #5
LAKE VILLA, ILLINOIS 60046
CONTRACTOR: ARLINGTON SECURITY CO. LLC
218 EAST GROVE STREET
ARLINGTON HEIGHTS, IL 60005

REVISIONS:
A
PHONE: 847-265-4400
FAX: 847-265-4401

CONTACT: DANIEL ELIA III
PHONE: 847-392-7997



AL3.01

2nd floor

WIRE LEGEND:

NAC	14/2 AWG, FPLR	A
A	16/2 AWG, FPLR	B
SLC	14/2 AWG, FPLR	C
B	16/2 AWG, FPLR	D
AUX PWR	14/2 AWG, FPLR	E
C	16/2 AWG, FPLR	F
FAA	MULTICONDUCTOR RACEWAY	A.B.C.
D		
E		
F		

NOTE: ALL WIRING TO BE ENCLOSED IN APPROVED FREEWIRE RACEWAY UNLESS OTHERWISE NOTED

LEGEND

SYMBOL	DESCRIPTION
FCP	FIRE ALARM CONTROL PANEL
BPS	BOOSTER POWER SUPPLY WITH MONITOR MODULE
R4	ADDRESSABLE RELAY FOR MAGNETIC DOORHOLDS
AV	AUDIO VISUAL
V	VISUAL
R	BEAM SMOKE DETECTOR REFLECTOR
SD	BEAM SMOKE DETECTOR TRANSMITTER
FAA	FIRE ALARM ANNUNCIATOR
D	HEAT DETECTOR
J	JUNCTION BOX
H	MAGNETIC DOOR HOLD OPEN DEVICE
S	MANUAL PULL STATION
MAN	SINGLE INPUT MONITOR MODULE
SD	SMOKE DETECTOR PHOTOELECTRIC
RIS	REMOTE KEY TEST SWITCH

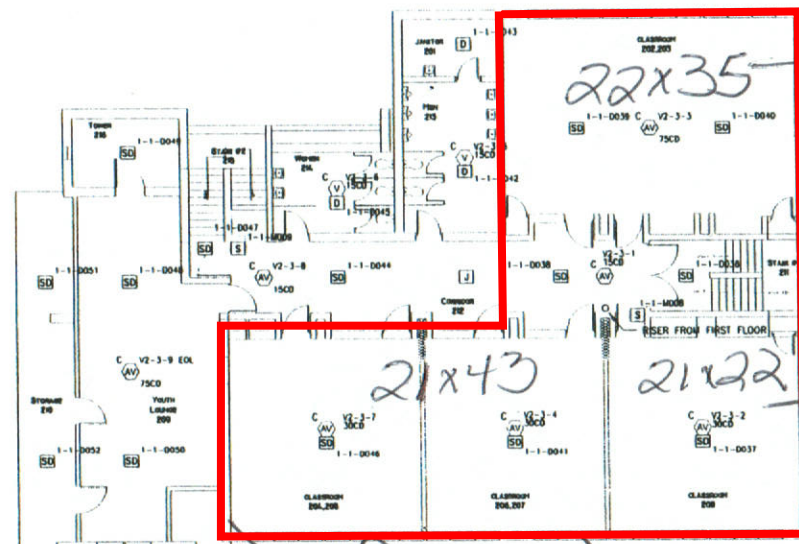
APPROVAL STAMP

DEVICE LEGEND:

DEVICE SUBSCRIPT (SEE SUBSCRIPTS)	DEVICE CIRCUT NUMBER AND DEVICE WIRING LOCATION ALONG CIRCUIT (POWER SUPPLY 1, CIRCUIT 1, DEVICE 1)
C/WP/H	V1-1-4
110CD	1-1-0012
DEVICE CANCELA RATING	DEVICE IDENTIFICATION DESIGNATION (NORMAL/DETECTION) AND ADDRESS FOR PROGRAMMING (NODE 1, CIRCUIT 1, DETECTOR 12)

SUBSCRIPTS:

WP	WEATHERPROOF	HT	HIGH TEMPERATURE
E	EXISTING DEVICE	C	CEILING MOUNTED
END	END OF LINE RESISTOR	H	HIGH CANCELA
DC	DROP CEILING	HC	HARD CEILING



FIRE ALARM SECOND FLOOR ZONE MAP
SCALE: 1/8"=1'-0"

Large motor room

DRAWING TITLE: FIRE ALARM SECOND FLOOR ZONE MAP

SCALE: 1/8"=1'-0"
DATE: 4-5-11
DRAWN BY: RIZWAN HUSSAIN
APPROVED BY: C.U.J.O.
PROJECT NO: D040111-1063

REVISIONS:
A
PHONE: 847-265-4400
FAX: 847-265-4401

CONTRACTOR:
ARLINGTON SECURITY CO., LLC
218 EAST GROVE STREET
ARLINGTON HEIGHTS, IL 60005

CONTACT: DANIEL ELIA III
PHONE: 847-392-7997



AL3.02



FAITH
Lutheran Church



**Lambs
of
Faith**

EARLY CHILDHOOD CENTER
www.faithlutheran-ah.org | 847.253.4859

Arlington Height's Plan Commission

Application

For

Faith Lutheran Church and Lambs of Faith Early Childhood Center

431. S. Arlington Heights Road

Arlington Heights, IL 60005

Church: (847) 253-4839

Preschool: (847) 253-4859

Petitioner's Name: Jori Reuter, Preschool Director

Petitioner's Email: Faihlutheranpreschool@ymail.com

RECEIVED
JUN 06 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Faith Lutheran Church and Lambs of Faith Early Childhood Center

Narrative Summary

Lambs of Faith Early Childhood Center is located at Faith Lutheran Church, 431 S. Arlington Heights Road, Arlington Heights, IL 60005. Lambs of Faith ECC is a ministry of Faith Lutheran Church. We opened in the fall of 2013. We are licensed by DCFS #526829-02. We serve two – six year olds in part-time preschool programming (9:00am-12:00noon). Children can extend the day to 1:00pm with our Lunch Bunch program. At this time, we have two classrooms on the main level of the building that are licensed to serve thirty-nine students per day. However, program wise, we have stayed below thirty children per day to provide a quality preschool program.

We will be adding one additional Preschool Classroom (3-5 year olds) and a Motor Room (Indoor Gym area for 2-6 year olds) on the second floor of our education wing. We are predicting that the new preschool classroom will be licensed for twenty children, ages three to five year olds because it is the same square footage as the classroom below it. Our Licensing Capacity will then grow from thirty-nine children per day to approximately fifty-nine children per day. Once DCFS has licensed the second floor for preschool space, we will provide the Village of Arlington Heights with an updated copy of our DCFS license and capacity.

The two classrooms on the main level are approximately 700 square feet each for a total of 1,400 Square Feet (We currently operate under Special Use Ordinance #03-022). We are adding an additional preschool classroom upstairs at approximately 700 square feet. We are also creating a Large Motor Room on the second floor for the preschool children to use to build large motor skills during inclement weather. The Large Motor Room and a small Teacher Workspace combined are approximately 1,400 square feet. Lambs of Faith Early Childhood Center would be a total of 3,500 square feet with three classrooms, a Large Motor room, and a teacher work space.

Lambs of Faith Early Childhood Center is open to children in our church congregation, as well as in the community. We provide young children in the Arlington Heights area with a Christian learning environment that feeds body, mind, and soul.

Jori Reuter

Lambs of Faith Early Childhood Center, Director

Faith Lutheran Church

faithlutheranpreschool@ymail.com

847-253-4859 (Lambs of Faith ECC)

847-253-4839 (Faith Lutheran Church)

847-293-0960 (Jori's Cell)

Faith Lutheran Church and Lambs of Faith Early Childhood Center

Daytime Parking Analysis on a Typical Weekday

Use	Square Area	Parking Ratio	# of Employees	Parking Required
Lambs of Faith ECC Staff	3,500 SF	1 space/employee	6 Employees	6 spaces
Faith Lutheran Church Administrative Office	504 SF	1 space/employee	5 Employees	5 spaces
Total Required				11 spaces
Total Provided				63 Spaces
Surplus				52 Spaces

Faith Lutheran Church has a North and a South parking lot with a total of sixty-three regular parking spots and six handicap parking spots. The Table above shows the breakdown of spots for Monday through Friday. The hours of operation for the preschool do not interfere with scheduled church services, which are held on the weekends. A Bible Study class is held on Tuesday mornings from 10:00am-11:00am with an average of six people in attendance with our Senior Pastor, Rev. Thomas Sanders. This Bible Study does not interfere with preschool drop off at 9:00am or pick up at 12:00 noon or 1:00pm. The Church Staff consists of two full time employees and three part-time employees for a total of five employees. The preschool staff consists of six part-time staff members.

Attached is a parking study for Monday, May 23, 2016 and Tuesday, May 24, 2016 while our current preschool was in session. On Monday, seventeen children were present and on Tuesday, May 24th twenty-eight children were present. Our current DCFS licensing capacity is thirty-nine children. Our predicted DCFS licensing capacity with the new classroom is fifty-nine children. Many families have two children enrolled in the preschool (i.e. we have a couple set of twins, we also have families that have a child in the two year old program and a child in the four year old program). Many families also carpool with friends. Based on Lambs of Faith's preschool programming and providing quality care for young children, the maximum amount of children enrolled per day would be forty-eight children.

The majority of the families enter the north or south parking lots from Arlington Heights Road. Approximately five of the families enter from Pine from the Scarsdale neighborhood. Parents escort their children into the building. Based on the survey, the peak times are at drop off in between 9:00 and 9:30am and at dismissal at 12:00noon. Some of our students stay for our Lunch Bunch program and are not dismissed until 1:00pm. Therefore, the peak parking time is at arrival during the 9:00 am hour with the highest number of cars at 9:00 am on Tuesday, May 24th during the survey.

Faith Lutheran Church and Lambs of Faith Early Childhood Center

Daytime Parking Analysis on a Typical Weekday

Revised June 29, 2016

Use	Square Area	Parking Ratio	# of Employees	Parking Required
Lambs of Faith ECC Staff	3,500 SF	1 space/employee	9 Employees	9 spaces
Faith Lutheran Church Administrative Office	504 SF	1 space/employee	5 Employees	5 spaces
Bible Study	512 SF			6 spaces
Total Required				20 spaces
Total Provided				88 spaces
Surplus				68 Spaces

Faith Lutheran Church has a North and a South parking lot with a total of eighty-two regular parking spots and six handicap parking spots. The Table above shows the breakdown of spots for Monday through Friday. The hours of operation for the preschool do not interfere with scheduled church services, which are held on the weekends. A Bible Study class is held on Tuesday mornings from 10:00am-11:00am with an average of six people in attendance with our Senior Pastor, Rev. Thomas Sanders. This Bible Study does not interfere with preschool drop off at 9:00am or pick up at 12:00 noon or 1:00pm. The Church Staff consists of two full time employees and three part-time employees for a total of five employees. At maximum capacity, the preschool staff consists of nine part-time staff members. This number includes teachers and assistants (all staff).

Attached is a parking study for Monday, May 23, 2016 and Tuesday, May 24, 2016 while our current preschool was in session. On Monday, seventeen children were present and on Tuesday, May 24th twenty-eight children were present. Our current DCFS licensing capacity is thirty-nine children. Our predicted DCFS licensing capacity with the new classroom is fifty-nine children. Many families have two children enrolled in the preschool (i.e. we have a couple set of twins, we also have families that have a child in the two year old program and a child in the four year old program). Many families also carpool with friends. Based on Lambs of Faith's preschool programming and providing quality care for young children, the maximum amount of children enrolled per day would be forty-eight children.

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Lunch Bunch program and are not dismissed until 1:00pm. Therefore, the peak parking time is at arrival during the 9:00 am hour with the highest number of cars at 9:00 am on Tuesday, May 24th during the survey.

Faith Lutheran Church and Lambs of Faith Early Childhood Center

Parking Survey

Preschool Hours of Operation (9:00am-12:00pm)

Monday, May 23, 2016

8:30 am 12 cars

9:00 am 26 cars

9:30 am 16 cars

10:00 am 15 cars

10:30 am 14 cars

11:00 am 17 cars

11:30 am 17 cars

12:00 pm 28 cars

12:30 pm 15 cars

1:00 pm 12 cars

Faith Lutheran Church and Lambs of Faith Early Childhood Center

Parking Survey

Preschool Hours of Operation (9:00am-12:00pm)

Tuesday, May 24, 2016

8:30 am 15 cars

9:00 am 38 cars

9:30 am 20 cars

10:00 am 15 cars

10:30 am 18 cars

11:00 am 15 cars

11:30 am 15 cars

12:00 pm 36 cars

12:30 pm 15 cars

1:00 pm 12 cars



Village of Arlington Heights Building Services Department

Interoffice Memorandum

To: Sam Hubbard, Development Planner, Planning and Community Development
From: Deb Pierce, Plan Reviewer, Building Services Department
Subject: Lambs of Faith Daycare, 431 S Arlington Heights Rd.
Special Use Permit to allow a Day Care Facility on the 2nd Floor
Re: PC#16-015
Date: June 17, 2016
Sam:

RECEIVED
JUN 17 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

I have reviewed the documents submitted and have the following comments:

1. Provide documentation of the changes listed below as required by the Office of the State Fire Marshal in a letter dated March 6, 2016.
 - A. Main Floor
 - i. A 1 hour fire rated wall and door (self-closing and latching) must be constructed to create an exit enclosure for the south stairway from the second floor. The stairway now exits into the main floor corridor which is prohibited.
 - a) It is suggested the cross-corridor wall be constructed just south of the office door. All doors within the exit enclosure must be rated 1 hour.
 - b) Instead of a wall, a 1 hour fire rated WON Door may be used.
(search internet for Won-Door Fire Guard)
 - ii. Emergency lighting will be required in the exit corridor to light up the path to the exterior door.
 - B. Second Floor
 - i. All doors on the second floor (202, 203, 204, 205, 206, 207, 208 and 209 (Excluding Bathrooms) that are not must self-closing must be self-closing and latching. Any plain glass in the doors must be replaced with 20 minute fire rated glass (or wired glass).
 - ii. Each room used by the children must have an escape window. Such window(s) shall be openable from the inside without the use of tools and shall provide a clear opening of not less than 5.7 ft².
 - iii. Emergency lighting is required in the corridor and in both stair enclosures.
2. Provide documentation of a reinspection by the Office of the State Fire Marshal which indicates compliance to the above listed requirements.

BUILDING DEPARTMENT

1A

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. _____	P.I.N.# E9988-9668-07
Petitioner: Jori Reuter, Preschool Director	Location: 431 S. Arlington Heights Road
431 S. Arlington Heights Road	Rezoning: _____ Current: R-3 Proposed: _____
847-253-4859 or 847-293-0960 (cell)	Subdivision: _____
Owner: Faith Lutheran Church	# of Lots: 15 Current: _____ Proposed: _____
Chairperson, James Wegner	PUD: _____ For: _____
431 S. Arlington Heights Road	Special Use: ☒ For: Day Care Center
Contact Person: Jori Reuter	Land Use Variation: _____ For: _____
Address: 431 S. Arlington Heights Road	Land Use: _____ Current: _____
Arlington Heights, IL 60005	Proposed: _____
Phone #: 847-253-4839 or 847-253-4859	Site Gross Area: Lots 51-59 and 67-72 in Scarsdale
Fax #: _____	# of Units Total: _____
E-Mail: faithlutheranpreschool@ymail.com	1BR: 2BR: 3BR: 4BR:

(Petitioner: Please do not write below this line.)

INSPECTIONAL SERVICES

NO OBJECTION/ CONCERN PROVIDED ALL FIRE AND
LIFE SAFETY CODES ARE FOLLOWED.

RECEIVED

JUN 09 2016

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Director

Date

PUBLIC WORKS DEPARTMENT

2

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. _____	P.I.N.# <u>E9988-9668-07</u>
Petitioner: <u>Jori Reuter, Preschool Director</u>	Location: <u>431 S. Arlington Heights Road</u>
<u>431 S. Arlington Heights Road</u>	Rezoning: _____ Current: <u>R-3</u> Proposed: _____
<u>847-253-4859 or 847-293-0960 (cell)</u>	Subdivision: _____
Owner: <u>Faith Lutheran Church</u>	# of Lots: <u>15</u> Current: _____ Proposed: _____
<u>Chairperson, James Wegner</u>	PUD: _____ For: _____
<u>431 S. Arlington Heights Road</u>	Special Use: ☒ For: <u>Day Care Center</u>
Contact Person: <u>Jori Reuter</u>	Land Use Variation: _____ For: _____
Address: <u>431 S. Arlington Heights Road</u>	Land Use: _____ Current: _____
<u>Arlington Heights, IL 60005</u>	Proposed: _____
Phone #: <u>847-253-4839 or 847-253-4859</u>	Site Gross Area: <u>Lots 51-59 and 67-72 in Scarsdale</u>
Fax #: _____	# of Units Total: _____
E-Mail: <u>faithlutheranpreschool@ymail.com</u>	1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

	EXISTING IMPROVEMENT	REQUIRED IMPROVEMENT	COMMENTS
1. <u>UTILITIES:</u>			
Water	_____	_____	<u>See memo 6-14-16</u>
Metering	_____	_____	
Backflow	_____	_____	
Sanitary Sewer	_____	_____	<u>See memo 6-14-16</u>
Storm Sewer	_____	_____	
2. <u>SURFACE:</u>			
Pavement	_____	_____	
Curb & Gutter	_____	_____	
Sidewalks	_____	_____	
Street Lighting	_____	_____	
3. <u>GENERAL COMMENTS:</u>			

Director

6-20-16
DateApproved As NOTED

Memorandum

To: Sam Hubbard, Planning & Community Development
From: Cris Papierniak, Assistant Director of Public Works
Date: June 17, 2016
Subject: 431 S. Arlington Heights Road, P.C. #16-015

With regard to the proposed Special Use Permit, I have the following comments:

1. If the addition of this many students required the use of an on-site kitchen, it needs to satisfy code requirement with regard to a grease trap.

Thank you for the opportunity to comment on this permit application.

C: file

LF

ENGINEERING DEPARTMENT

3

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. 16-015
 Petitioner: Jori Reuter, Preschool Director
431 S. Arlington Heights Road
847-253-4859 or 847-293-0960 (cell)
 Owner: Faith Lutheran Church
Chairperson, James Wegner
431 S Arlington Heights Road
 Contact Person: Jori Reuter
 Address: 431 S. Arlington Heights Road
Arlington Heights, IL 60005
 Phone #: 847-253-4839 or 847-253-4859
 Fax #: _____
 E-Mail: faithlutheranpreschool@ymail.com

P.I.N.# E9988-9668-07
 Location: 431 S. Arlington Heights Road
 Rezoning: _____ Current: R-3 Proposed: _____
 Subdivision: _____
 # of Lots: 15 Current: _____ Proposed: _____
 PUD: _____ For: _____
 Special Use: ✓ For: Day Care Center
 Land Use Variation: _____ For: _____
 Land Use: _____ Current: _____
 Proposed: _____
 Site Gross Area: Lots 51-59 and 67-72 in Scarsdale
 # of Units Total: _____
 1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

1. PUBLIC IMPROVEMENTS

REQUIRED: _____ YES NO COMMENTS

a. Underground Utilities

Water _____ X _____Sanitary Sewer _____ X _____Storm Sewer _____ X _____

b. Surface Improvement

Pavement _____ X _____Curb & Gutter _____ X _____Sidewalks _____ X _____Street Lighting _____ X _____

c. Easements

Utility & Drainage _____ X _____Access _____ X _____

2. PERMITS REQUIRED OTHER THAN VILLAGE:

a. MWRDGC _____ b. IDOT _____
 c. ARMY CORP _____ d. IEPA _____
 e. CCHD _____

3. R.O.W. DEDICATIONS? _____
 4. SITE PLAN ACCEPTABLE? _____
 5. PRELIMINARY PLAT ACCEPTABLE? _____
 6. TRAFFIC STUDY ACCEPTABLE? _____
 7. STORM WATER DETENTION REQUIRED? _____
 8. CONTRIBUTION ORDINANCE EXISTING? _____
 9. FLOOD PLAIN OR FLOODWAY EXISTING? ...
 10. WETLAND EXISTING? _____

YES NO COMMENTS

_____ X __________ _____ N/A_____ _____ N/AX _____ __________ X __________ X __________ X __________ X _____~~GENERAL COMMENTS ATTACHED~~

No further comments at this time.

PLANS PREPARED BY: N/A
 DATE OF PLANS: N/A

Director

Date

[Signature] 6/9/16

Arlington Heights Fire Department Plan Review Sheet

ARLINGTON HEIGHTS POLICE DEPARTMENT

Community Services Bureau

DEPARTMENT PLAN REVIEW SUMMARY

Lambs of Faith Daycare
431 S. Arlington Heights Road
SU for a Day Care

Round 1 Review Comments

06/14/2016

1. Character of use:

The addition of a day care center in the existing school building is consistent with other similar uses and is not a concern.

2. Are lighting requirements adequate?

Lighting should meet Village of Arlington Heights code.

3. Present traffic problems?

There are no traffic problems at this location.

4. Traffic accidents at particular location?

This is not a problem area in relation to traffic accidents.

5. Traffic problems that may be created by the development.

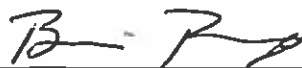
6. This development may create additional traffic problems especially during drop off and pick up times. There should be traffic control signage in the parking lot encouraging users to exit onto Pine instead of Arlington Heights Road.

7. General comments:

-Please ensure that there is an emergency information/contact card on file with the Arlington Heights Police Department and that it is up-to-date. Agent contact information must be provided to the Arlington Heights Police Department during all construction phases. The form is attached. Please complete and return. This allows police department personnel to contact an agent during emergency situations or for suspicious/criminal activity on the property during all hours.

-Access control to the building and/or classroom areas must be considered. Consider numbering the exterior doors. Additional information as to perimeter security, door access, playground access, visitor check-in procedures and emergency plans are needed before any recommendations can be made.

-The vestibule entrance to the facility needs to be secured and entry gained through buzzer. If entry into the building is made by unwanted persons, the reception area should have procedures in place to prohibit access to the rest of the facility.

 #272

Brandi Romag, Crime Prevention Officer
Community Services Bureau

Approved by:

 #54

Supervisor's Signature

RECEIVED
JUN 16 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Arlington Heights Police Department

Emergency Information Card

1. Fill in all information by tabbing to each field.
2. When completed, save the form and send as an attachment to: tmorales@vah.com.

Arlington Heights Police Department
200 E. Sigwalt Street
Arlington Heights, IL 60005-1499
Phone: 847/368-5300

Completed forms may also be printed and submitted in the following manner:

By Mail: Arlington Heights Police Department
200 E. Sigwalt Street, Arlington Heights, IL. 60005
Attention: Police Administration

By Fax: (847) 368-5970 - Attention: Police Administration

In Person: Dropped off at the Arlington Heights Police Department's front desk for forwarding to Police Administration.

Print Form (To Mail)

Name (Firm or Residence)

Address/City

Telephone Number

Date Information Obtained

IN CASE OF EMERGENCY PLEASE CALL:

Contact #1

Name

Address/City

Telephone Number

Cell Number

Contact #2

Name

Address/City

Telephone Number

Cell Number

Alarm System

☐ No

☐ Yes

Phone number:

Alarm Company Name

HEALTH SERVICES DEPARTMENT

6

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. _____	P.I.N.# <u>E9988-9668-07</u>
Petitioner: <u>Jori Reuter, Preschool Director</u>	Location: <u>431 S. Arlington Heights Road</u>
<u>431 S. Arlington Heights Road</u>	Rezoning: _____ Current: <u>R-3</u> Proposed: _____
<u>847-253-4859 or 847-293-0960 (cell)</u>	Subdivision: _____
Owner: <u>Faith Lutheran Church</u>	# of Lots: <u>15</u> Current: _____ Proposed: _____
<u>Chairperson, James Wegner</u>	PUD: _____ For: _____
<u>431 S. Arlington Heights Road</u>	Special Use: ☒ For: <u>Day Care Center</u>
Contact Person: <u>Jori Reuter</u>	Land Use Variation: _____ For: _____
Address: <u>431 S. Arlington Heights Road</u>	Land Use: _____ Current: _____
<u>Arlington Heights, IL 60005</u>	Proposed: _____
Phone #: <u>847-253-4839 or 847-253-4859</u>	Site Gross Area: <u>Lots 51-59 and 67-72 in Scarsdale</u>
Fax #: _____	# of Units Total: _____
E-Mail: <u>faithlutheranpreschool@ymail.com</u>	1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

1. GENERAL COMMENTS:*No Comments.*

RECEIVED

JUN 16 2016

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

 Environmental Health Officer

6-14-16

Date


 for

6/15/16

Direc
Date

PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT

7

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. _____
 Petitioner: Jori Reuter, Preschool Director
431 S. Arlington Heights Road
847-253-4859 or 847-293-0960 (cell)
 Owner: Faith Lutheran Church
Chairperson, James Wegner
431 S. Arlington Heights Road
 Contact Person: Jori Reuter
 Address: 431 S. Arlington Heights Road
Arlington Heights, IL 60005
 Phone #: 847-253-4839 or 847-253-4859
 Fax #: _____
 E-Mail: faithlutheranpreschool@ymail.com

P.I.N.# E9988-9668-07
 Location: 431 S. Arlington Heights Road
 Rezoning: _____ Current: R-3 Proposed: _____
 Subdivision: _____
 # of Lots: 15 Current: _____ Proposed: _____
 PUD: _____ For: _____
 Special Use: ✓ For: Day Care Center
 Land Use Variation: _____ For: _____
 Land Use: _____ Current: _____
 Proposed: _____
 Site Gross Area: Lots 51-59 and 67-72 in Scarsdale
 # of Units Total: _____
 1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

(Petitioner: Please do not write below this line.)

- | | <u>YES</u> | <u>NO</u> | |
|----|------------|-----------|---|
| 1. | <u>X</u> | _____ | COMPLIES WITH COMPREHENSIVE PLAN? |
| 2. | <u>X</u> | _____ | COMPLIES WITH THOROUGHFARE PLAN? |
| 3. | _____ | _____ | VARIATIONS NEEDED FROM ZONING REGULATIONS? → <i>Unknown until parking requirements are calculated</i> |
| | | | (See below.) |
| 4. | _____ | <u>X</u> | VARIATIONS NEEDED FROM SUBDIVISION REGULATIONS? |
| | | | (See below.) |
| 5. | _____ | <u>X</u> | SUBDIVISION REQUIRED? |
| 6. | _____ | <u>X</u> | SCHOOL/PARK DISTRICT CONTRIBUTIONS REQUIRED? |
| | | | (See below.) |

Comments:

Please See additional comments #7-16 attached.

_____ Date

Planning & Community Development Dept. Review

June 21, 2016



REVIEW ROUND 1

Project: Lambs of Faith Daycare – Amendment to Existing Special Use Permit
1234 N. Arlington Heights Road

Case Number: PC 16-014

General:

7. A Special Use Permit was granted to allow a Montessori School on the subject property via Ordinance #03-022. The Montessori School is no longer in operation, and it was determined in 2013 that the present daycare facility (Lambs of Faith Early Childhood Center) could assume the Special Use Permit granted to the Montessori School, provided that they abided by all conditions of approval as established in Ordinance #03-022. One of the conditions of approval limited the maximum number of children to 30. The petitioner would like to increase the maximum allowable children in the daycare to 48, which requires an amendment to the existing Special Use Permit.
8. The petitioner has indicated that the Lambs of Faith Early Childhood Center will have a maximum number of six part-time employees. This equates to eight students per employee. Please confirm if this is the correct ratio of students to teachers. Additionally, please clarify if the six part-time employees represents the total number of employees for Lambs of Faith *at maximum capacity* (i.e. was this figure just the teachers, or does this represent total Lambs of Faith employees *at maximum capacity*?).
9. Will there be any changes/expansion to the outdoor play area with the proposed increase in student capacity?
10. Are there any other functions conducted by the church, other than the Bible Study, which occur during the time when Lambs of Faith is in operation?
11. Please indicate, as based on the room numbers assigned on the submitted floor plan, what rooms are used by the church as their administrative offices and what rooms are used for the Bible Study Classes. Additionally, please confirm the square footage of those spaces.
12. Has the required dumpster enclosure been constructed? If not, when is it anticipated to be completed?

Parking/Traffic:

13. Are there any shared parking agreements with neighboring property owners that allow them to park on spaces located on the church property?
14. Have there been any issues with the drop off/pick up operations interfering with surrounding property owners that either you or the church is aware of?
15. Please clarify the total number of parking spaces provided on the site. The parking analysis states that there are 63 standard parking spaces and 6 handicap parking spaces provided between the north and south lots. However, a count of spaces based on the aerial shows the total number of parking spaces to be around 88 spaces. Please confirm the total number of spaces provided on the church property.
16. The total required parking, as per Section 11.4 of Chapter 28 of the Municipal Code, cannot be determined at

this time as certain information is missing. The below table summarizes the current parking as understood to-date:

Space	CODE USE	GROSS SQUARE FOOTAGE	PARKING RATIO (1:X)	NUMBER OF EMPLOYEES/OCCUPANTS	PARKING REQUIRED
Lambs of Faith	Day Care Center	3,500	3 spaces per 2 employees	6	9
Faith Lutheran Church Administrative Office	Office, Professional	504	1 space per 300 sq. ft.	-	2
Bible Study Classes	Assembly	Unknown	30% of occupancy	-	To be determined
<i>Total Parking Provided</i>					TBD
Total Parking Provided					TBD
Surplus/(deficit)					TBD

Prepared by: 

PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT

7A

PETITIONER'S APPLICATION - ARLINGTON HEIGHTS PLAN COMMISSION

Petition #: P.C. _____	P.I.N.# <u>E9988-9668-07</u>
Petitioner: <u>Jori Reuter, Preschool Director</u>	Location: <u>431 S. Arlington Heights Road</u>
<u>431 S. Arlington Heights Road</u>	Rezoning: _____ Current: <u>R-3</u> Proposed: _____
<u>847-253-4859 or 847-293-0960 (cell)</u>	Subdivision: _____
Owner: <u>Faith Lutheran Church</u>	# of Lots: <u>15</u> Current: _____ Proposed: _____
<u>Chairperson, James Wegner</u>	PUD: _____ For: _____
<u>431 S. Arlington Heights Road</u>	Special Use: ☒ For: <u>Day Care Center</u>
Contact Person: <u>Jori Reuter</u>	Land Use Variation: _____ For: _____
Address: <u>431 S. Arlington Heights Road</u>	Land Use: _____ Current: _____
<u>Arlington Heights, IL 60005</u>	Proposed: _____
Phone #: <u>847-253-4839 or 847-253-4859</u>	Site Gross Area: <u>Lots 51-59 and 67-72 in Scarsdale</u>
Fax #: _____	# of Units Total: _____
E-Mail: <u>faithlutheranpreschool@gmail.com</u>	1BR: _____ 2BR: _____ 3BR: _____ 4BR: _____

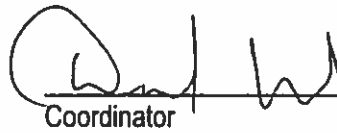
(Petitioner: Please do not write below this line.)

LANDSCAPE & TREE PRESERVATION:

	YES	NO
1. Complies with Tree Preservation Ordinance	<u>N/A</u>	_____
2. Complies with Landscape Plan Ordinance	<u>N/A</u>	_____
3. Parkway Tree Fee Required (See below.)	_____	<u>X</u>

Comments:

NO COMMENTS


6/17/16

 Coordinator Date



PLAN COMMISSION

RESPONSE TO REVIEW COMMENTS

Faith Lutheran Church/Lambs of Faith Early Childhood Center

6.29.2016

Petitioner and Preparer: Jori Reuter/Preschool Director/Lambs of Faith Early Childhood Center

Regarding: The following is a narrative response to the Village of Arlington Heights, internal department review comments based on the application submitted on June 6, 2016 for a request to amend the Special Use Permit at Faith Lutheran Church for Lambs of Faith Early Childhood Center. Review comments were received on 06.22.16

1. Building Services-Plan Review

1. Comment: Provide documentation of the changes listed below as required by the Office of the State Fire Marshall in a letter dated March 6, 2016

Response: Some of the work on this list is completed and some is still in progress. Documentation that all work is completed will be given to the Village of Arlington Heights after the final inspection of the Office of the State Fire Marshall in late July or August. The State Fire Marshall is coming out every 30 days until all the work is completed to stay on top of the necessary requirements. His next visit is scheduled for June 30, 2016.

Comment: Provide documentation of a re-inspection by the Office of the State Fire Marshal which indicates compliance to the above listed requirements.

Response: A copy of the final inspection notice from the Office of the State Fire Marshall will be given to the Village of Arlington Heights Building Services Department when all of the necessary fire work that is needed for the Office of State Fire Marshall is completed.

1A. Building Department

Comment: No objection/Concerns provided are all fire and life safety codes are followed.

Response: Acknowledged.

2. Public Works Department

1. Comment: If the addition of this many students required the use of an on-site kitchen, it needs to satisfy code requirement with regard to a grease trap.

Response: Lambs of Faith Early Childhood Center is a half-day program (9:00am-12:00pm). An on-site kitchen is not used for meals/snacks. A light pre-packaged snack that meets the needs of DCFS is served (i.e. pretzels, crackers, cheese sticks, etc.). Disposable paper products are used to serve the snacks.

3. Engineering Department

No Comments at this time.

4. Fire

Comment: Comply with Current Codes

Response: Acknowledged.

5. Police Department

Review Comments:

6. Comment: Traffic problems that may be created by the development. This development may create additional traffic problems especially during drop off and pick up times. There should be traffic control signage in the parking lot encouraging users to exit onto Pine instead of Arlington Heights Road.

Response: There are currently One Way signs posted in the South side parking lot to encourage users to enter on Arlington Heights Road and exit onto Park.

General Comments:

-Please ensure that there is an emergency information/contact card on file with the Arlington Heights Police Department and that it is up-to-date. Agent Contact information must be provided to the Arlington Heights Police Department during all construction phases. The form is attached. Please complete and return. This allows

police department personnel to contact an agent during emergency situation or for suspicious/criminal activity on the property during all hours.

Response: Minor interior building work is being completed during the church office hours. A staff member will be present during all building work. The Emergency Information card was completed and faxed to Police Department on June 29, 2016 with the Senior Pastor and Preschool Director as emergency contacts.

-Access control to the building and/or classroom areas must be considered. Consider numbering the exterior doors. Additional information as to perimeter security, door access, playground access, visitor check-in procedures and emergency plans are needed before any recommendations can be made.

Response: The doors of Faith Lutheran Church are always locked during school hours. Visitors must ring the doorbell and be greeted by a church staff member. Interior doors are numbered, but I will discuss exterior door numbering with our Building and Ground committee and follow up with you.

-The vestibule entrance to the facility needs to be secured and entry gained through buzzer. If entry into the building is made unaware by unwanted persons, the reception area should have procedures in place to prohibit access to the rest of the facility.

Response: The doors of Faith Lutheran Church are always locked during school hours. Visitors must ring the doorbell and be greeted by a church staff member. If entry is made by unwanted persons, Faith Lutheran Church has a procedure in place that alarms teachers to lock their classroom doors (classroom doors can be locked from inside or outside).

6. Health Services Department

No Comments

7. Planning and Community Development Department Review

General:

7. Comment: A Special Use Permit Use Permit was granted to allow a Montessori School on the subject property via Ordinance #03-022. The Montessori School is no longer in operation, and it was determined in 2013 that the present daycare facility (Lambs of Faith Early Childhood Center) could assume the Special Use Permit granted to the Montessori School, provided that they abided by all conditions of approval as established in Ordinance #03-022. One of the conditions of approval limited the maximum number of children to 30. The petitioner would like to increase the maximum

allowable children in the daycare to 48, which requires an amendment to the existing Special Use Permit.

Response: Acknowledged.

8. Comment: The petitioner has indicated that the Lambs of Faith Early Childhood Center will have a maximum number of six part-time employees. This equates to eight students per employee. Please confirm if this is the correct ratio of students to teachers. Additionally, please clarify if the six part-time employees represents the total number of employees for Lambs of Faith at maximum capacity (i.e. was this figure just the teachers, or does this represent total Lambs of Faith employees at maximum capacity?)

Response: At maximum capacity the total number of staff members at one time for Lambs of Faith Early Childhood Center would be nine employees (i.e. this includes teachers and assistants). As far as ratios, we must follow the DCFS ratios for preschoolers which are 1:8 for 2 year olds and 1:10 for 3-5 year olds. However, due to the fact that some of the classrooms do not have bathrooms located in them, one extra staff member per room without a bathroom is provided to keep the DCFS ratios at all times.

9. Comment: Will there be any changes/expansion to the outdoor play area with the proposed increase in student capacity?

Response: No, there will not be any changes/expansion made to the outdoor play area with the proposed increase in student capacity. The playground is licensed for 20 preschool children at a time. The different preschool classrooms will have scheduled times to go outside to use the outdoor play area, so that there are no more than 20 children on the playground at one time. For example, 3 classrooms, 3 scheduled outdoor times.

10. Comment: Are there any other functions conducted by the church, other than the Bible Study, which occur during the time when Lambs of Faith is in operation?

Response: No other functions, other than the Tuesday Bible Study are conducted by the church, during the hours of Lambs of Faith operation.

11. Comment: Please indicate, as based on the room numbers assigned on the submitted floor plan, what rooms are used by the church as their administrative office and what rooms are used for the Bible Study Classes. Additionally, please confirm the square footage of those spaces.

Response: The Administrative Offices is 504 sq. feet and includes Room 105, 113, 114, and 115. The Bible Study takes place in the North Room/Lounge (north of sanctuary) and it is 512 Sq. feet. The North Room is # 122 on the floor plan.

12. Comment: Has the required dumpster enclosure been constructed? If not, when is it anticipated to be completed?

Response: The required dumpster enclosure has not yet been constructed. It is anticipated to be completed by August 15, 2016.

13. Comment: Are there any shared parking agreements with neighboring property owners that allow them to park on spaces located on the church property?

Response: There is a written shared parking agreement with Scarsdale Auto to allow them to park on spaces located on the church property. The shared parking agreement is kept on file at Faith Lutheran Church.

14. Comment: Have there been any issues with the drop off/pick up operations interfering with surrounding property owners that either you or the church is aware of?

Response: To our acknowledgement, there are no issues with the drop off/pick up operations interfering with the surrounding property owners.

15. Comment: Please clarify the total number of parking spaces provided on the site. The parking analysis stated that there are 63 standard spaces and 6 handicap parking spaces provided between the north and south lots. However, a count of spaces based on the aerial shows the total number of parking spots to be around 88 spaces. Please confirm the total number of spaces provided on the church property.

Response: There is a confirmed total of 88 parking spaces on the church property (82 regular spots and 6 handicap spots). There are 49 regular spots and 4 handicap spots in the South lot and 33 regular spots and 2 handicap spots in the North lot.

16. Comment: The total required parking, as per Section 11.4 of Chapter 28 of the Municipal Code, cannot be determined at this time as certain information is missing.

Response: Please see the attached Revised Parking Analysis for Faith Lutheran Church.

7A. Planning and Community Development Department

No Comments

End of Responses

PLAN COMMISSION PROJECT TIMELINE

Project Name: Lambs of Faith Daycare
PC Number: 16-015
Location: 431 S. Arlington Heights Rd.
Requested Action: SUP Amendment

	Date	# of Business Days
Plat and Sub Committee Meeting	03/23/16	
Awaiting Petitioner PC Application	06/06/16	52
PC Application Submittal Date	06/06/16	-
1 st Round Department Comments	06/22/16	12
Petitioner's Response	06/29/16	5
PC Hearing*	07/13/16	26 days from application date
Village Board	08/01/16	13
Village Board Ordinance Adoption	08/15/16	10

Note:

*Legal notice; State Statute requires 15 to 30 days notice.



Item: BCRB - Proposed Variance Request from Chapter 23, Section 23-302, R309.1

Department: Building Services

Request

Petitioner, Karen and William Kissane of 1340 S. Evergreen, seeking a variance request from Section 23-302, R309.1 of Chapter 23 of the Arlington Heights Municipal Code regarding minimum garage widths.

Seeking variance to allow for an 18' free standing garage to replace an identical garage that was destroyed by a fallen tree. The Ordinance calls for a 21' wide garage. The wider garage would cover the water line that runs along side the garage. The wider garage would also cover 21" of a 40" wide yard. The new garage, if sized as required by the Village Code, would cause the lot coverage to exceed the allowed 55% coverage at 56.25%. The current garage replacement covers 54.94% of the lot.

Building Code Review Board Motion

Trustee Scaletta moved approval of a variation from Chapter 23, Section 23-302, R309.1 to allow for an 18' free standing garage to replace an identical garage damaged by a fallen tree during a storm. Seconded by Mr. Bondarowicz, Motion carried unanimously.

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Bid Amount:

ATTACHMENTS:

Description

Draft Minutes

Type

Minutes

DRAFT

BUILDING CODE REVIEW BOARD

MINUTES OF A MEETING BEFORE THE VILLAGE OF ARLINGTON HEIGHTS BUILDING CODE REVIEW BOARD

JULY 25, 2016

MEMBERS PRESENT:

Carl Baldassarra
Richard Bondarowicz
John Scaletta (Trustee)
Scott Smith

ADMINISTRATION PRESENT:

Steve Touloumis, Director of Building Services
Charley Craig, Assistant Building Official
Patty LeVee, Recording Secretary

OTHERS PRESENT:

William and Karen Kissane, Petitioner
Jeffery Maki, Danley's Garage, Contractor

SUBJECT:

- **Petitioner, William and Karen Kissane, seeking a variance from Section 23-302, R309.1 of Chapter 23 allow for an 18' free standing garage to replace an identical garage that was destroyed by a fallen tree during a storm.**
 - _____
-

There being a quorum present, Acting Chairman Carl Baldassarra called the meeting to order at 7:01 PM. All stood for the Pledge of Allegiance.

APPROVAL OF MINUTES

RICHARD BONDAROWICZ MOVED TO APPROVE THE MINUTES OF THE APRIL 30, 2015 MEETING, SECONDED BY TRUSTEE SCALETTA, THE MOTION PASSED UNANIMOUSLY.

NEW BUSINESS

Chairman Baldassarra introduced the request for a variance. **Mr. Kissane** noted he and his wife have been residents for 32 years. Their home is 47 years old; it is a four bedroom, split level, with a detached garage. On the 16th of March, a heavy 60mph wind toppled the neighbor's tree onto his garage, causing enough damage to need to have it demolished. He then contracted with Danley to replace the exact same garage and ran into a problem in terms of the width of the garage. According to code, garages need to be 21' wide and the garage that was there was 18' wide. The problem with the extension to 21' is that it would violate another Village Ordinance involving the impervious coverage would be more than 55% of the yard. The yard is 40' wide.

Mr. Kissane continued stating he would need to move the water connection. His situation is unique being that the water service runs between Evergreen and Dunton. **Mr. Baldassarra** asked if it was behind the house. **Mr. Kissane** replied, yes, not in front. It runs directly along, parallel with the side of the garage and if he put a 21 foot garage it would cover that water connection, including the shut off valve.

Mr. Kissane mentioned he spoke with a plumber named Todd, who said it would cost a minimum of \$8,000 to move the water line, probably closer to \$16,000. He did not know how much it would be because he would have to go to the Village to find out how they would want this configured.

Mr. Kissane explained that they went to the Planning Department and they checked out the footage. Pointing out the site plan exhibited, he noted they had written that if he put a 21.5 foot garage, it would be 56.25% of the impervious coverage of the yard. He is trying to just simply put the garage that sat there for 47 years, replace exactly the same size etc. His understanding is that either way he goes, it is a violation of the Ordinance. The only other alternative is to not have a garage and that would lower the property value.

Mr. Baldassarra stated that the copy of the survey they received was dated 1987. He asked if there was any substantive change on the survey that would be material to this discussion. **Mr. Kissane** replied no, he has an updated survey that he gave to Danley, done within a year, and nothing has changed.

Mr. Baldassarra asked for comments. **Mrs. Kissane** noted that this is a very small yard and to build a larger garage is ridiculous. **Mr. Maki** (Danley Garage) had no comments adding that they are just requesting a variance to replace existing footprint.

Mr. Touloumis added that he did ask the Public Works Department/Water Service Department to go out and verify that actual location of that water line to assure that it was in fact something that would need to be moved and they did verify that it was running right next to and parallel to the garage.

Mr. Baldassarra asked if the Village supports this request. **Mr. Touloumis** replied, yes.

Mr. Baldassarra opened to questions from the Board. **Mr. Bondarowicz** asked **Mr. Craig**, could they not just call this a one car garage. **Mr. Craig** replied, not with the width of the doors that is proposed. If you had a one car wide, 8 foot wide door, our Ordinance specifically states that with an 8 foot wide door it is a one car garage. The next step up, wider than 12 feet becomes a two car door; it becomes a two car garage. **Mr. Bondarowicz** asked if it was because of the size of the door to enter. **Mr. Craig** said, right, but what they want and what was there before was considered a two car garage and that is what they want to build. Our requirements or Ordinance state that by

definition of a two car garage, it must be full width. They meet the depth already, so that is not a question.

Mr. Bondarowicz asked; but if the garage was built exactly the size that it was, and it had an 8 foot wide door, could it be interpreted as a one car garage? **Mr. Craig** answered, yes; it could be a one car garage.

Mr. Baldassarra asked if they used the garage for two cars. **Mrs. Kissane** stated they had two cars in there all of the time. **Mr. Bondarowicz** said he is not suggesting that it be a one car garage, that this is a definition thing that actually surfaced a few years back and it has been a discussion on minimum widths. **Mrs. Kissane** stated the she is just thinking of resale value and that if they want to sell their house and list it, would it be considered a two car garage, which is what they bought it as, a two car garage.

Mr. Baldassarra did not think that should be a concern from their standpoint. He added, that he was on the Board when they made those changes and it was simply to improve the quality of life so that when you get in and out of your car, opening your door relatively easily, with people usually having other things in their garage, it was considered a good thing to do for new construction and he certainly understands their situation.

Mr. Baldassarra asked for further comments. **Mr. Smith** added his only comment is that they do not typically take into account the cost issue. How have we dealt with replacement in kind in the past? **Mr. Baldassarra** said that on this particular issue, and he has been on this Board since about 1987, he does not remember this particular issue coming up like this before. This is new for him. People have had hardships with setbacks and driveway widths, not having 10 feet or 9 ½ feet, and they have tried to work with people on that type of thing, this particular one though, he does not remember ever having come up before.

Mr. Baldassarra asked if the Village supports this because of the ground cover issue. **Mr. Touloumis** replied yes, that is part of it. He typically always looks at a person's intent. Did they intend to build a new garage? They did not just decide we want to build a new and bigger garage. This was something that occurred, if you want to call it an Act of God, they did not plan for it, and he agrees with the cost as not being the deciding issue, but this just was not intended, there was no intention to make this change.

Mr. Kissane said presently they have water pooling behind the garage and would imagine putting a wider garage would cause more of a flooding issue. **Mr. Baldassarra** mentioned it could be the opposite, depending on how it is graded.

Mr. Baldassarra asked if there was enough information for a motion. **Trustee Scaletta** stated he wanted it known on the record that he lives at 1336; he lives right next door to this property. With no reason that he can't participate in the dialog, he stated he has no financial interest, and knows the Kissane's who live next door to him. He knows exactly where the water line is and where the water shut off is. **Trustee Scaletta** noted there

are other garages in the neighborhood that are the same size this garage is and this also fits in the character of the neighborhood. If they were to make the garage any larger their side yard would again be considerably reduced, making the side yard almost useless. He is supportive of the variation and noted the Petitioner going through all the proper protocols, it just so happens they live next door.

Mr. Touloumis asked the Petitioner how far the house is from the garage. **Mr. Kissane** said it is about 12 feet. **Mr. Touloumis** mentioned the turning radius for a vehicle is probably pretty tight around the corner of the house. The **Kissane's** agreed it is, adding that they do use it but it is tight.

Mr. Baldassarra stated he would caveat this action tonight, if they move forward with it, that this does not set a precedent for future actions by this Board on this similar topic. Each one of these is a case by case basis.

Mr. Baldassarra called for a Motion.

TRUSTEE SCALETTA MOTIONED TO APPROVE THE VARIANCE REQUEST. SECONDED BY MR. BONDAROWICZ. THE MOTION CARRIED.



Item: Stormwater Update

Department: Village Manager's Office

Stormwater Update

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Bid Amount:

ATTACHMENTS:

Description	Type
Staff Flood Study Memo	Memorandum
Exhibit 1 - Stormwater Control Fund	Exhibits
Exhibit 2 - Estimated Stormwater Control Costs	Exhibits
Exhibit 3 - Estimated Storm Water Utility Fees	Exhibits



DATE: July 25, 2016

TO: Mayor and Village Board

FROM: Randy Recklaus, Village Manager
Tom Kuehne, Director of Finance
Jim Massarelli, Director of Engineering
Scott Shirley, Director of Public Works

SUBJECT: Analysis of Stormwater Control Studies

Introduction

The three recently completed Stormwater Studies provided a large volume of information to analyze. The studies attempted to define relatively uniform stormwater service levels across the community. The studies also identified potential improvements that would help the Village achieve those service levels, and the projected cost of the improvements. It should be noted that despite the large scale and high cost of the improvements identified, they are not designed to provide complete protection against a storm event like the one the Village experienced in 2011. If a storm with a similar intensity and duration occurred again, it is likely that extensive damage would still occur with or without the implementation of the improvements identified.

The Village must determine which of the improvements should or should not be pursued, considering the costs and benefits of each project. In addition, the Village must identify potential sources of funding for any improvements to be pursued. Given the complexity of our stormwater system and its impacts, these are not easy tasks.

Staff has been reviewing and organizing the data from the current stormwater studies. This memo will provide Village Staff's analysis of that information and a recommended process for acting on the concepts provided in the studies. Staff's analysis to date will be presented in detail at the August 1st Village Board meeting. It is our hope that the Board will be able to provide feedback and guidance to staff on some key issues (to be outlined in this memo) at that meeting.

Given the inter-related nature of the challenges presented by the stormwater studies and identified improvements, this memo will give a broad overview of each of the key challenges that must be addressed prior to decision making, and how they affect one another. After that overview, Staff has outlined a number of unanswered questions for each topic area, for which Staff would ask feedback and guidance at the August 1st Village Board meeting.

After the Board discussion, much work will still need to be done given the scale and complexity of the potential stormwater improvements identified. Staff will develop a recommended action plan in late 2016 based upon the direction given by the Board on August 1st. The goal will be to put the Village in a position to begin planning for any major stormwater improvement program as part of next year's Capital Improvement Planning process, including the identification of funding.

The following challenges to be discussed and resolved prior to the development of an action plan have been identified by staff.

How to Categorize Projects – Key Challenge 1

One of the challenging aspects of implementing any major improvement plan is being objective for all sections of the Village. This project is no exception. The three studies that were completed were separated into Combined Sewered Tributary Area (CSTA), prepared by CDM Smith, and Separate Sewered Areas (SSA), prepared by Christopher Burke, and a letter report issued last week that analyzed the Cypress area (also separately sewered). The combined sewer area drains storm water and waste water within the same conduit through the Village's combined sewer network discharging to TARP (deep tunnel), and then to the Metropolitan Water Reclamation District (MWRD) treatment plants, while the separate sewered areas drain storm water through storm sewers to a creek/stream, and waste water through sanitary sewers to the MWRD treatment plants.

Each of the areas have unique issues that create challenges in attempting to compare the proposed enhancements. The one issue that is difficult to evaluate is the level of service in the CSTA vs. level of service in the separate sewered area. The CSTA was developed prior to the development of detention basins. The CSTA conveys both rain water and sanitary flows in the same pipe. Within the CSTA, the storm water control (combined sewers) provide between a 10 - 25 year level of service. The sanitary service line that connects a house to the combined sewer will also act as a conduit for excess storm water to enter the house, which is how basement backups occur. One important item of reference is that a home in the CSTA can prevent sewer back up from occurring during extreme storm events by installing overhead sewers. In the separate

sewered areas, a design for the 100 year storm event is achieved with the installation of storm water control/detention basins.

The effort to categorize the types of potential improvement produced three sub-categories of the impact of stormwater on a home or neighborhood. The first sub-category, Structure flooding, has the most negative impact to homes. Once water enters the lower level of a structure, the potential damage can range from walls, furnaces and water heaters to personal belongings such as furniture, stored items and floor coverings. Structure flooding includes basement back-ups. The next sub-category is standing water greater than one foot in depth. This category impacts the ability of vehicles from traveling safely on the roadway. This is most significant to emergency vehicles but also affects the residents' ability to leave their home. An additional concern is the 'wake' effect created when vehicles try to navigate the deep water. The wakes can exacerbate the impact of the flooding above the level of the standing water. The third sub-category is street flooding less than one foot. This sub-category has the least negative impact but still creates a safety issue. As a note, detention facilities on parking lot surfaces are currently allowed to be designed with a maximum depth of one foot.

Exhibit 2 has the number of residences' that are affected by each of the sub-categories.

Evaluating Cost Effectiveness of Improvements – Key Challenge 2

The first step in evaluating the cost effectiveness of any proposed flood control improvement is to establish a value for the property damage prevented by a specific improvement. What could also be factored into the benefit side of this equation is the value of the "peace of mind" a flood control improvement would provide to the benefited residents. For purposes of moving forward, no monetary value will be assigned to this intangible "peace of mind" benefit.

Based on the feedback from the questionnaires returned after the July 23, 2011 storm event, the average reported damage in the effected single family homes was approximately \$8,500 (adjusted to today's dollars). It should be noted that the calculation of this average is completely unscientific and does not represent all of the survey respondents, as many did not give a dollar value. Furthermore, we know that the survey was not responded to by all the property owners that had predicted backups based on the CDM Smith analysis. Some of these homes may have installed overhead sewers or back-up control without permits or before the Village's cost sharing program was implemented. However, Staff also believes that many homeowners do not report back-ups to the Village.

On the cost side of the cost/benefit analysis, the projected improvement costs are relatively easy to estimate. The costs can also be adjusted to be more accurate as time

goes on with inflation adjustments. Unfortunately, the benefit calculation is more difficult as was alluded to previously. Every resident will assign a different value for damage, to restoration, and to peace of mind.

In the combined sewer areas where basement backups are the concern, quantifying the number of benefited properties is relatively straight forward, and we believe accurate. For purposes of this analysis, any water in any living unit is considered “structure flooding”.

The bigger challenge is estimating the number of homes/properties that are used in the cost/benefit calculation for ponding or street flooding problem areas. The reason that this is difficult to estimate is that a definition has to be established for what level of water on Village streets is acceptable. After discussions, staff decided that for purposes of street ponding, up to 1 foot of water on pavement is considered acceptable for two reasons. First, emergency vehicles can cross up to one foot of water with minimal chance of becoming damaged, as 12” near the typical curb height equates to around 9” in the center of the road. Second, our restricted pavement areas in the CSTA are designed to allow up to a maximum of 12” of temporary water ponding on pavements and parking lots. This level is seldom seen, and to our knowledge we have not experienced these levels in the CSTA at this depth since July 23, 2011.

COMBINED SEWER TRIBUTARY AREA (CSTA)

The CDM Smith report went into great detail analyzing the eight problem areas, proposed improvements for each and the cost per home protected. The report summarizes potential improvements necessary to bring the problem areas within the CSTA up to a 10-year service level of flood protection. The most intense rainfall in the 10-year service level was the 2.1 inches in 1-hour rainfall. The analysis revealed that the current level of service within the problem areas of the CSTA provides protection for basement backups for 1.8” in a 1-hour rain event (with a $\pm 15\%$ level of accuracy, or 0.3 inches). Outside the problem areas, the system meets the desired service level.

The following paragraphs summarize the various alternatives for all the problem areas in the CSTA. For the basement backup areas, there are relief sewer ‘only’ options and overhead sewer/relief sewer options. For the overland flow problem areas, there is only a relief sewer option.

The ‘relief sewer only’ improvement alternatives consist of the installation of new enlarged local combined sewers to provide additional capacity and diversion connections from enlarged combined sewers to existing sewers to make use of available capacity. Construction of new relief sewers provides the system with additional capacity and the improved level of service. A regional relief sewer provides protection to a determined level of service and all properties tributary to the relief sewer benefit from

the improvement. However, larger rainfall events that exceed the Village's design event could exceed the new relief sewer capacity and still result in basement backups in these and other areas of the Village.

The total estimated cost of the 'relief sewer only' alternative is approximately \$13 million.

In keeping with the Village Board's decision in 2001 to fund a cost sharing program for the installation of overhead sewers within individual private properties, CDM Smith was tasked with investigating the impact of this scenario in the eight basement backup problem areas.

Once the model of the CSTA was developed, CDM Smith evaluated the impact if all affected properties within each problem area installed overhead sewers. Prior to the development of the model, it was not possible to evaluate the effect this would have on adjacent properties. When an overhead sewer improvement is completed on a house, the property increases its flood protection significantly by raising its lowest possible opening several feet (therefore not affected by higher Hydraulic Grade Lines (HGLs). HGL is the engineering term for the pressure and flow depth of water in a sewer.

Development and evaluation of the overhead sewer improvements for each problem area identified that although the overhead sewers provided a more robust way to address basement backups, several of the problem areas still experience high HGLs during the design event. To reduce HGLs during the design events, a relief sewer component was added to the overhead sewer improvements in those problem areas where warranted. Therefore this alternative is being referred to as the overhead sewer/relief sewer alternative to distinguish it from the 'relief sewer only' alternative described earlier.

Because of the impracticality of installing overhead sewers in commercial properties, two of the areas were not evaluated for overhead sewers and only include a relief option for this analysis. The estimated cost of the installation of relief sewers in the overhead sewer/relief sewer alternative is approximately \$11 million. This estimated cost for the overhead sewer/relief sewer alternative assumes the Village continues its overhead sewer cost share program with homeowners and therefore the total private component of the cost is not included in the \$11 million figure.

If the Village were to fund 100% of the private property overhead sewer improvements, the approximate \$11 million cost for this alternative would increase to approximately \$15.5 million.

In addition to the eight problem areas in the CSTA with re-occurring basement backups, three additional locations were identified that experienced street ponding that causes

structure flooding during intense rain events. It should be noted that these areas were analyzed using the most intense one-hour rainfall event (2.59") for a 25-year service level. The current design standard for separate storm sewer areas is for 100-year protection, but this is not feasible in a combined system because of the complications posed by the detention of combined sewage and because storage is provided by Metropolitan Water Reclamation District's Deep Tunnel. The consultant reviewed potential improvements at the 10-year and the 25-year protection level. Staff determined that providing the 25-year protection level was the lowest level of protection that resulted in passable levels of water on pavements to facilitate emergency vehicle access. Additionally, a number of these areas cannot be controlled by inlet restriction, due to their proximity to State and County owned roadways.

Alternatives for implementation of improvements at the three street ponding locations to provide protection from severe street ponding and structural flooding for the 2.59 inches in 1-hour storm events is estimated to cost \$3 million. The \$2.7 million cost of the Campbell and Sigwalt area improvements are not included, as these same improvements are provided within the cost of the relief sewer alternative.

SEPARATE SEWERED AREAS

The Burke Study analyzed the performance of our system in seven areas that have experienced significant overland flooding in the past. According to Village records and resident reports, the flooding in these areas has occurred several times over the last 15 years.

The report summarizes potential improvements necessary to eliminate the excessive flooding within the seven specific problem areas.

The potential improvements for these areas include re-grading, installation of relief sewers, underground or surface detention or some combination thereof.

The relief sewer improvement alternatives consist of the installation of new enlarged local storm sewers to provide additional capacity and diversion connections from these surcharged storm sewers to existing sewers to make use of available capacity. Construction of new relief sewers will provide the system with additional capacity and an improved level of service.

Stormwater detention improvements could include surface detention or underground detention vaults. These detention facilities would essentially store stormwater until the peak of any storm event passed and then drain or possibly be pumped into the system once capacity is available. The cost for acquiring any easements or land necessary is not included in the estimated costs.

How will we pay for any storm water control projects? – Key Challenge 3

BACKGROUND

Since 1962 the Village of Arlington Heights has issued numerous General Obligation bonds to continue the Village's ongoing program to reduce the impact of heavy rainstorms on Village residents. Over the years the Village has spent over \$141 million dollars (inflation adjusted) on this program. In FY2014 the Village's stormwater efforts were consolidated into one fund called the Storm Water Control Fund. This fund has not had a dedicated source of revenue, but has relied on transfers from other funds. Recent infusions of cash have come from an FY2014 transfers-in from the General Fund of \$1 million and another transfer-in of \$500,000 during the 8-month transition period. A proposed \$2.7 million transfer-in during 2017 due to the closing of the Emerald Ash Borer (EAB) Fund is included as revenue in the Storm Water Control Fund.

Over the last couple of years the Village has included two ongoing programs in the Storm Water Control Fund budget. The Neighborhood Drainage Improvement Program, budgeted at \$300,000 per year provides new or improved access for residents to Village storm sewers. The program only covers work on public right-of-way with any connections or work on private property being the responsibility of the property owner. As part of the Water and Sewer Study completed in 2014, it was also noted that the Village does not currently have a storm sewer rehabilitation program. The first step of establishing such a program is the overall assessment of the system's condition. Based on the size of the Village's system, the Storm Water Control Fund includes an annual budget of \$500,000 to lightly clean, televise, and analyze the condition of the Village's system. This portion of the program will take seven more years to complete, after which the entire annual budget would be devoted to storm sewer maintenance, rehabilitation, and replacement work. As shown in the Storm Water Control Fund 5-Year financial projection (**Exhibit 1**), these ongoing program expenses will draw down current reserves to \$0 by 2022. At this point, the Village needs to identify a sustainable revenue source for the Storm Water Control Fund to ensure that the ongoing programs can be continued and any flood study projects can be considered.

There are a number of funding options that could be considered to pay for ongoing Storm Water Control projects and new improvements. The ongoing projects outlined above will require a sustainable revenue source that will generate consistent revenues on an annual basis. On the other hand, new improvements can be financed with new one-time revenues or ongoing revenues that are sufficient to cover annual debt service costs. The general options for funding these types of expenses are shown below:

Ongoing Storm Water Control Programs

- Storm Water Utility Fee
- Increase property taxes

New Improvements

- Bond Issue – using a Storm Water Utility Fee sufficient to cover annual debt service costs (paid by all residents)
- Bond Issue – increase in property tax level to cover annual debt service costs (paid by all residents)
- Bond Issue(s) – debt service paid by special service area(s) (paid by residents living in areas where storm water control work is completed)
- Grant Funding – MWRDGC Phase 2 Funding identified in the Flood Studies (Likely that only one project from the community would even be considered)
- Grant Funding – FEMA, IEPA identified as possibilities in the flood studies
- Low interest loans from other agencies

As with any new funding source, the Village would have to consider equity issues and service levels across the Village. For instance, if a portion of the Village is not protected up to a certain level of flood control that the rest of the Village enjoys, should those lacking in a base level of protection pay for the new improvements or should this be borne by the Village as a whole? However, if a resident or a portion of the community was being improved beyond the base level, should those residents be responsible for the cost or the entire Village? Answers to these types of questions can help frame what projects might be selected to move forward with, as well as the timing of when a project might be programmed.

Of the revenue options outlined above, the storm water utility fee option has already been implemented by many of our surrounding communities. Currently, Buffalo Grove, Des Plaines, Hoffman Estates, Palatine, Rolling Meadows, and Wheeling have all implemented this type of fee. Based on staff's review of a storm water utility fee there are three basic ways it can be implemented:

1. Complete a detailed analysis of impervious surface for each property in the Village and calculate a charge based on its total square feet of impervious surface; (This would be a time consuming and costly process and would require periodic updates)
2. Calculate an equivalent residential rate as an average for all single family residential units, but calculate a higher fee for other large property owners (businesses, churches, etc.);
3. Charge a flat rate for all property owners.

When establishing a basis for storm water utility fees a number of questions can arise including:

- What is equitable based on storm water runoff?
- What is administratively feasible? Who and how would changes in impervious surface be monitored?
- Should churches and schools be charged and if not, why not?
- If larger properties are charged more – how much more?

SUMMARY OF FLOOD STUDY COST ESTIMATES AND ESTIMATED STORMWATER UTILITY FEES

The three stormwater studies included cost estimates for each improvement. To provide an outline of the total estimated costs for ongoing storm water control programs and potential new improvements, **Exhibit 2** shows a list of these costs. For comparison purposes only, **Exhibit 3** shows estimated storm sewer utility fees estimated to sufficiently cover ongoing storm water control costs as well as fees needed to cover estimated debt service costs at various levels assuming 20 year bonds at 4% interest. To make the estimates as simple as possible at this point in time, this analysis also assumes a flat storm water utility rate charged to all property owners.

These Exhibits show that basic ongoing storm water control program costs amount to \$800,000 per year. This would result in an estimated storm water utility fee of \$3.25 per month to cover just the Village's ongoing costs with no further improvements to the system. New infrastructure improvement options identified through the flood studies total between \$47 and \$52 million depending on the extent of the work completed. It is unlikely that all of the new infrastructure improvement options will be selected or completed in the short-term. A 20 year \$10 million bond issue would require an additional storm water utility fee of \$3.00 per month, and a \$50 million bond issue would require an additional \$14.75 per month added to the amount needed for the ongoing programs.

How should project costs be distributed, Village-wide or locally?-Key Challenge 4

Currently, the Village pays for some small neighborhood level stormwater projects through the stormwater fund and reimburses 50% of the costs up to \$7,500 on the installation of overhead sewers (OHS) for existing single family homes in the combined sewer area. New homes built in the combined sewer area must include overhead sewers at the builder's expense. The Village has spent approximately \$831,000 over the past 15 years to assist with the installation of OHS for approximately 171 homes in this district.

The CDM Smith study indicated that an expansion of the OHS program with some supporting public improvements would be one of the most cost effective ways to enhance the CSTA system. However, it is unlikely that participation by home owners will increase dramatically without an increase in the Village's level of financial participation. An increase in the Village's cost sharing percentage, a higher maximum benefit or both could be considered to increase participation in the OHS program.

It should also be noted that many of the other improvements identified in the separate sewer system are designed only to address neighborhood street and yard flooding. The OHS program for the combined system is designed to help reduce basement back-ups. It can be argued that prevention of basement back-ups is a higher priority than yard and street flooding. Therefore, asking residents who have experienced basement back-ups to directly share in the costs of their improvements while not asking residents who are experiencing yard and street flooding to do so could be considered unfair. However, completely eliminating the cost sharing feature of this program after 171 homes have already performed the work could also be seen as unfair. It can also be argued that overhead sewer systems are essentially private improvements that increase the utility of a residence by allowing the finishing of basements. In the past many homeowners did not finish their basements and simply tolerated occasional flooding issues. However, property owners' expectations of their ability to finish their basements has evolved over time. In this way, overhead sewer systems do not benefit the overall stormwater control system, they only benefit the property owner who installs it, suggesting a private contribution to the cost is only fair.

By the same token, neighborhood flooding improvements in separate sewered areas could, arguably be partially funded by Special Service Areas, special assessments or other mechanisms as well. Unfortunately, these mechanisms can be complex and time consuming to establish and may result in high individual property owner costs for a neighborhood depending on the total cost of the project and the number of households that are asked to fund a project. For this reason, it may be difficult to utilize SSA's or similar mechanisms for stormwater projects.

While the studies encompassed many parts of the Village, each study had boundaries and limits based upon the available funding. Staff understands there are still other areas in town with drainage issues that need to be studied. Over time, and with proper funding, other areas can be evaluated, and the model can be expanded and enhanced.

Request for Board Feedback and Direction:

Based on discussion and analysis of the issues described above, Staff has reached certain conclusions, but is also requesting feedback on the following unanswered questions for each of the challenges identified:

Challenge 1: How to Categorize Projects

Staff believes it possible to prioritize projects within the different project areas, but next to impossible to provide equal comparisons of a combined sewer project to a separate sewer project.

Every neighborhood has specific needs and if we are going to pursue a Village wide funding source, then we believe we should at least have a plan to take on projects in all three areas as a system wide approach.

Individual projects can be prioritized or eliminated from consideration entirely based on the cost and projected benefit of each project within each study area.

Question a: Should Staff continue with the assumption that projects in 3 areas be pursued equally, or should projects that focus on reducing basement back-ups / structure flooding only be given precedence over street flooding projects?

Challenge 2: Evaluating the Cost Effectiveness of Projects

The studies show the size of affected areas and the number of homes involved. Staff believes the cost effectiveness of various projects (improvement in existing conditions vs. cost of homes) may suggest certain projects be placed on the backburner, or not pursued at all.

Question a: Does the Village Board want staff to prioritize the projects within the different areas, based on cost effectiveness, so that they can be considered and funded individually, or should all projects currently identified by the consultant studies, remain in consideration, as they are based on a unified “standard of service” within the study area.

Question b: Should projects with high cost per home values be eliminated from consideration or deprioritized?

Challenge 3: How do we pay for any stormwater control project?

No funding exists for any of the identified improvements nor for ongoing maintenance of the system beyond 2017. The Board has various options for establishing new revenue to support the stormwater program.

Question a: Is the Village Board interested in implementing a new storm water utility fee to pay for ongoing and one-time water control projects? If yes:

- I. What is an administratively feasible basis for such a fee: impervious surface area by property vs. an equivalent residential rate?

II. Should not-for-profit entities be charged? Why not?

III. If larger properties are charged more – how much more?

Challenge 4: Distribution of Costs

Staff believes that expansion of the OHS program is worthy of pursuit as it is the lowest cost option for the combined sewer area. As noted in the CDM Smith study, this option still requires some general improvements in addition to the installation of OH Sewers. Both changing the funding formula and keeping it the same present equity issues as described above. However, unlike other projects, the OHS program involves public funding of private improvements for individual homes. Therefore it can be argued that some sort of cost sharing is justified. Based on this conflict, staff is seeking direction from the Board on the following unanswered questions:

Question a: Does the Village Board wish to entertain continued sharing of project costs with residents for the OHS program, or should “fully funding” both public and private improvements be pursued as part of this effort?

Question b: Does the Village Board wish to modify the current funding formula for the OHS program to encourage greater participation?

Question c: Does the Village Board wish to consider other neighborhood project funding mechanism such as an SSA in any of the study areas to supplement a general stormwater fee?

Conclusion:

Staff wishes to get feedback and direction from the Board on the issues identified above at the August 1st Village Board meeting. Once we have guidance on the issues above, a more comprehensive set of recommendations can be developed by Staff consistent with the timeline described above.

As always feel free to contact us with any questions you may have on this complex issue.

STORM WATER CONTROL FUND (426)**EXHIBIT 1****5 YEAR CAPITAL IMPROVEMENT PROGRAM (CIP)**

ACCOUNT DESCRIPTION	PROJ #	8 MO. PER.								
		2014-15 ACTUAL	ENDING DEC. 2015 ACTUAL	2016 ESTIMATED ACTUAL	2016 BUDGET	2017 BUDGET	2018 BUDGET	2019 BUDGET	2020 BUDGET	2021 BUDGET
REVENUES										
INTEREST INCOME		6,169	744	3,000	3,000	1,500	0	0	0	0
STATE GRANT		0	0	0	0	0	0	0	0	0
OTHER INCOME		5,996	0	0	0	0	0	0	0	0
TRANSFER IN FROM GENERAL FUND		0	500,000	0	0	0	0	0	0	0
TRANSFER IN FROM EAB FUND		0	0	0	0	2,700,000	0	0	0	0
TOTAL REVENUES		12,165	500,744	3,000	3,000	2,701,500	0	0	0	0
EXPENDITURES										
SEWERS										
Neighborhood Drainage Improvements	SW-11-02	63,668	0	641,100	641,129	300,000	300,000	300,000	300,000	300,000
Flood Study	SW-13-02	102,343	10,690	0	0	0	0	0	0	0
Utility Modeling	SW-13-03	144,542	0	0	0	0	0	0	0	0
McDonald Creek Bank Stabilization	SW-14-01	63,323	0	0	0	0	0	0	0	0
Sewer Backup Rebate Program	SW-15-01	94,684	19,218	0	0	0	0	0	0	0
Storm Water Rehab/Replacement Program	SW-15-20	0	0	1,000,000	1,000,000	500,000	500,000	500,000	500,000	500,000
Arlington Knolls Storm Sewer Extension	SW-16-01	0	0	400,000	400,000	0	0	0	0	0
SUBTOTAL - SEWERS		468,560	29,908	2,041,100	2,041,129	800,000	800,000	800,000	800,000	800,000
OTHER EXPENSE										
IMET Expense		19,317	0	0	0	0	0	0	0	0
SUBTOTAL - Other Expense		19,317	0	0	0	0	0	0	0	0
TRANSFER TO		0	0	0	0	0	0	0	0	0
OPERATING CONTINGENCY		0	0	0	0	0	0	0	0	0
TOTAL EXPENDITURES		487,877	29,908	2,041,100	2,041,129	800,000	800,000	800,000	800,000	800,000
BEGINNING FUND BALANCE		3,675,974	3,200,262	3,671,098		1,632,998	3,534,498	2,734,498	1,934,498	1,134,498
REVENUES OVER (UNDER) EXPENDITURES		(475,712)	470,836	(2,038,100)	(2,038,129)	1,901,500	(800,000)	(800,000)	(800,000)	(800,000)
ENDING FUND BALANCE		3,200,262	3,671,098	1,632,998		3,534,498	2,734,498	1,934,498	1,134,498	334,498

EXHIBIT 2

Neighborhood Drainage Improvements	\$300,000
Storm Water Rehab./Replacement	<u>\$500,000</u>

Structure Flooding/ Basement Backups	Street Flooding > 1 Ft - # of Homes	Street Flooding < 1 Ft - # of Homes	Cost/Home
			Structure Flooding & Street Flooding > 1 Ft.

Area A - Burr Oak & Dryden Plc	\$ 1,890,000		2	yes	8	yes	27	\$ 189,000
Area B - North Stuart Dr	\$ 34,000		2		0	yes	10	\$ 17,000
Area C/NW - Burr Oak/Burning Tree	\$ 1,610,000		3	yes	9	yes	19	\$ 134,167
Area C/SE - Hintz Rd west of Arl Hts Rd	\$ 656,000		2	yes	0	yes	6	\$ 328,000
Area D - Greenbriar/Roanoke/Wilke	\$ 2,720,000		2	yes	20	yes	24	\$ 123,636
Area E - University Dr Detention Basin	\$ 6,800,000		1	yes	5	yes	0	\$ 1,133,333
Area F - Forest Ave	\$ 491,000		3		0	yes	8	\$ 163,667
Area G - Regency Park East	\$ 65,000		5	yes	1	yes	0	\$ 10,833

**Relief Sewer
& Overhead
(@ 50% Vill)**

Area 1 - NW Hwy & Chicago Ave	\$ 1,800,000	\$ 800,000	80					\$ 22,500	\$ 10,000
Area 2 - Ridge & Euclid/Walnut & Hawthorne	\$ 1,200,000	\$ 1,100,000	50					\$ 24,000	\$ 22,000
Area 3 - Arl Hts Rd & Miner St	\$ 2,400,000	\$ 2,400,000	110					\$ 21,818	\$ 21,818
Area 4 - Campbell, Vail, Dunton & Sigwalt	\$ 2,700,000	\$ 2,700,000	250					\$ 10,800	\$ 10,800
Area 5 - NW Hwy & Chatham Plc	\$ 900,000	\$ 1,000,000	20					\$ 45,000	\$ 50,000
Area 6 - Chestnut, Vail & Evergreen Ave	\$ 1,000,000	\$ 2,000,000	205					\$ 4,878	\$ 9,756
Area 7 - Beverly Ln & Orchard St	\$ 400,000	\$ 425,000	13					\$ 30,769	\$ 32,692
Area 8 - Westgate Subdivision	\$ 2,800,000	\$ 700,000	70					\$ 40,000	\$ 10,000

Structure Flooding & Street Flooding > 1 Ft.

Street Flooding > 1 Ft.									
Street Flooding Combined Area:									
	Race Ave & Chicago Ave	\$ 900,000		2	yes	1	yes	0	\$ 300,000
	Campbell St & Sigwalt St	\$ 2,700,000		7		0	yes	0	\$ 385,714
	Roosevelt Ave & Cleveland Ave	\$ 2,100,000		5	yes	1	yes	0	\$ 350,000
Grove Street Sewer		\$ 4,100,000		7		0	yes	0	\$ 585,714
Cypress Detention Basin		\$ 6,200,000		5	yes	35	yes	40	\$ 155,000

Total All One-Time Projects	\$43,466,000	844	80	134	\$	47,041
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\$ 44,795

Note: Completing all of the projects listed above would bring all areas of the Village up to at least a standard rain protection level of 2.12 inches/hour, but it would not protect homeowners against all of the effects of a 2011-type of rain event. Residents who install an overhead sewer system would protect their properties against basement sewer back-ups including 2011-type rain events. New homes and teardowns require that homeowners install overhead sewer systems as part of the cost of the house.

ESTIMATED STORM WATER UTILITY FEES

EXHIBIT 3

ONGOING PROGRAMS - ANNUAL COST

Neighborhood Darainage Improvements	300,000	Est	Est
Storm Water Rehab./Replacement	<u>500,000</u>	<u>Mo. Fee</u>	<u>Annual Revenue</u>
Subtotal Ongoing Programs	800,000	3.25	820,794

NEW IMPROVEMENTS - ONE-TIME COST

Separate Sewer Systems:	Cost	
	14,266,000	
		Relief Sewer & Overhead
		Relief Sewer Only (@ 50% Vill)
Combined Sewer Systems:	13,200,000	11,125,000
Other Storm Water Projects:	<u>16,000,000</u>	
Total All One-Time Projects	43,466,000	41,391,000

Property Owner Class

Commercial	1,003
Government, AH	28
Industrial	113
Residential	19,794
Residential, Multi-Family	53
School/Other Government Bodies	<u>55</u>

Total 21,046

Estimated Annual Debt Service (20 yrs, 4%) for bond issues of:*

		Est	Est
		<u>Mo. Fee</u>	<u>Annual Revenue</u>
10 million	735,820	3.00	757,656
15 million	1,103,730	4.50	1,136,484
20 million	1,471,640	6.00	1,515,312
25 million	1,839,550	7.50	1,894,140
30 million	2,207,460	8.75	2,209,830
40 million	2,943,280	11.75	2,967,486
50 million	3,679,100	14.75	3,725,142

* annual payment to retire \$1 million at 4% over 20 years =
73,582



Item: Closed Session

Department: Village Manager's Office

Request for Closed Session per 5 ILCS 120/2(c)(21): Discussion of minutes lawfully closed, whether for purposes of approval of the minutes or the semi-annual review of the minutes

- and -

5 ILCS 120/2(c)(5): Purchase or lease of real property for the use of the public body, including discussing whether a particular parcel should be acquired

Bid Section

Item:

Bid Opening Date:

Account Numbers:

Total Budget for Specific Item:

Bid Amount: