



Village of Arlington Heights
Conceptual Plan Review Committee
Virtual Meeting
July 22, 2020
6:45 PM

I. CALL TO ORDER

- A. In response to the COVID-19 pandemic, this meeting is closed to in-person, public attendance. The meeting is being held virtually, which permits the public to fully participate via their computers or using their phones.

To participate in the virtual meeting, please follow these instructions: <https://bit.ly/393trKE>

Individuals who wish to comment or ask a question on an item on the Agenda may either participate virtually or send an email to the Village at shubbard@vah.com. Please limit emails to 200 words or less. To be shared at the meeting, the email must be received by 3:00 p.m. on July 22, 2020.

II. ROLL CALL

III. APPROVAL OF MINUTES

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. Ryan Companies Mixed-Use Senior Housing - 364 E. Golf Rd. - T1702
PUD to allow Senior Living Facility, Preliminary Plat of Subdivision, Comprehensive Plan Amendment, Rezoning from B-2 District to I-District, Variations
- B. Cremation by Water - 11 W. College Dr. - T1701
Land Use Variation for Crematory in M-1 District

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible

formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



**Conceptual Plan Review Committee
7/22/2020**

Item: Ryan Companies Mixed-Use Senior Housing - 364 E. Golf Rd. - T1702

Department: Planning & Community Development

REQUESTED ACTION

1. A rezoning of approximately the north 8.0 acres of the site from the B-2 District to the Institutional (I) District.
2. A Planned Unit Development (PUD) to allow a 200 unit senior living facility and four commercial outlots.
3. Preliminary Plat of Subdivision.
4. Comprehensive Plan Amendment from Commercial to Mixed Use.

VARIATIONS REQUIRED

1. A density variation from Chapter 28 of the Municipal Code, Section 5.1-8.1, to allow 348,480 square feet of land area where 480,000 square feet of land area is required to allow 200 senior living units where 145 are allowed in the Institutional Zoning District.
2. A variation from Chapter 28, Section 5.1-8b., to grant relief from the requirement that property over 4 acres zoned Institutional must have frontage on at least a secondary arterial roadway.
3. A variation from Chapter 28 Section 10 Parking to allow a reduction to parking from 181 to 165 spaces.
4. A variation from Chapter 28 Section 5.1-8 Height to allow 48 feet (estimate) where 45 is allowed.

RECOMMENDATION

The Staff Development Committee reviewed the proposed rezoning from B-2 to Institutional, and the PUD to allow a 200 unit senior living facility and commercial outlots on the subject property, as well as variations for density, parking, height and frontage, and is generally supportive of the project, which

will start a long awaited redevelopment of the site, subject to the following:

1. The petitioner shall provide written justification to the following hardship criteria for each variation requested:

- The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.
- The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.
- The proposed variation is in harmony with the spirit and intent of this Chapter.
- The variance requested is the minimum variance necessary to allow reasonable use of the property.

2. Cross access shall be provided for all properties within the development and to the properties to the west for connectivity of parcels and access to the Golf Road signal and to Golf Terrace.

3. The petitioner shall continue to work with the Village to further develop the layout and size of the commercial outlots including aligning the rear of the commercial sites with Golf Terrace.

4. The petitioner shall provide a market analysis to show market demand for the senior housing development of this type at this location. Additionally, the petitioner should clarify if the State of Illinois will require a Certificate of Need for this facility.

5. The sidewalk along Golf Road shall be designed to expand to 8 feet in the future to accommodate a bikeway and setback approximately 8 feet from the Golf Road curb.

6. A traffic and parking study by a certified traffic engineer that assesses access (location, design, and Level of Service), on-site circulation, trip generation and distribution, parking, and impacts to public streets shall be required.

7. A Design Commission application will be required for architectural review of proposed buildings.

8. Preliminary engineering plans are required including a photometric plan.

9. Golf Terrace shall be improved as it provides access to Arlington Heights Road. Details of said improvement to be determined.

10. The developer shall explore with the Village expanding the rear detention lot to accommodate future development west of this site and / or allow for expansion of said basin.

11. A landscape plan shall be required and should incorporate a focal element at the corner of Arlington Heights Road and Golf Road if developed by this developer. Additional landscaping buffer along the east property line should be explored.

12. Impact Fees shall be required in accordance with Chapter 29 of the Municipal Code and past Village policy.

13. Affordable Housing shall be provided as per the Village's Multi-Family Affordable Housing Policy, if applicable.

14. The petitioner shall comply with all Federal, State, and Village Codes, Regulations, and Policies.

15. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:

Description

Staff Report

Narrative

Concept Plans

Type

Board or Commission Report

Correspondence

Exhibits



VILLAGE OF ARLINGTON HEIGHTS
STAFF DEVELOPMENT
COMMITTEE REPORT

Temp File Number: T1702

Project Title: Ryan Companies Mixed Use

Address: 364 E Golf Road

PIN's: Multiple

To: Conceptual Plan Review Committee

Prepared By: Bill Enright, Assistant Director
Planning and Community Development

Meeting Date: July 22, 2020

Date Prepared: July 16, 2020

Petitioner: Dan Walsh, Senior Vice President
Ryan Companies, US, Inc

Address: 111 Shuman Blvd, Suite 400
Naperville, IL 60563

Existing Zoning: B-2 Commercial

Comprehensive Plan: Commercial

SURROUNDING LAND USES

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	R-1	Single Family	Single Family
South	O-T	Commercial Buildings	Offices Only
East	R-6	Townhomes	Moderate Density Multi-Family
West	B-2 and R-1	Vacant lot / Single Family	Commercial

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2. A Planned Unit Development (PUD) to allow a 200 unit senior living facility and four commercial outlots.
3. Preliminary Plat of Subdivision.
4. Comprehensive Plan Amendment from Commercial to Mixed Use

Variations Required:

1. A density variation from Chapter 28 of the Municipal Code, Section 5.1-8.1, to allow 348,480 square feet of land area where 480,000 square feet of land area is required to allow 200 senior living units where 145 are allowed in the Institutional Zoning District.
2. A variation from Chapter 28, Section 5.1-8b., to grant relief from the requirement that property over 4 acres zoned Institutional must have frontage on at least a secondary arterial roadway.
3. A variation from Chapter 28 Section 10 Parking to allow a reduction to parking from 181 to 165 spaces.
4. A variation from Chapter 28 Section 5.1-8 Height to allow 48 feet (estimate) where 45 is allowed.

Project Background:

The subject property is International Plaza located just east of Arlington Heights Road along the north side of Golf Road. The property is currently a single story commercial shopping center consisting of approximately 164,000 square feet of floor area. The overall site is approximately 566,280 square feet (13 acres) and has access off Golf Road at a signalized main entrance and a secondary access on Golf Road at the east end of the property. The building on the site was developed in the mid 1980's as is included in Tax Increment Financing District #4.

Ryan Companies US, Inc., a national developer, is proposing demolition of the existing shopping center for redevelopment as a senior housing development at the rear and four to five new commercial outlots fronting along Golf Road. The petitioner is proposing a 200 unit senior living facility, which would have independent living, assisted living, and memory care on the rear 8 acres of the site with the commercial on the remaining five acres. Ryan Companies is the developer and is partnering with a senior housing provider who would operate the facility. The developer estimates the construction investment at \$90 million to \$100 million.

The senior housing facility would be located in a building of various heights up to 4 floors and approximately 222,000 square feet. Of the 200 units, 102 (51%) would be independent living units, 60 (30%) would be assisted living units, and 38 (19%) would be memory care units. The site would have a total of 165 parking spaces. Access to the facility would come from the main existing signalized driveway on Golf Road and secondary access to be provided from Arlington Heights Road via Golf Terrace.

The commercial portion would front along Golf Road and contain 4 to 5 outlots for commercial development as either retail, restaurant, service or medical offices or combination thereof depending on market conditions. The petitioner has indicated that they intend to develop both the senior living and the commercial outlots, although development of the commercial outlots is subject to market conditions. At a minimum the developer has indicated that the commercial lots will be established and infrastructure servicing those lots constructed. The developer shall address how the improvements would be sequenced.

Zoning and Comprehensive Plan

The subject property is currently zoned B-2 commercial, however the proposed land use change to a senior living facility will require a rezoning to I, Institutional Zoning District for the rear 8 acres. All developments within the I District area required to develop as a PUD, therefore, PUD approval is required. The Staff Development Committee is generally supportive of the mixed use redevelopment of this shopping center to include senior housing and new commercial outlots. The property would also be subdivided into multiple lots.

The Comprehensive Plan designates this property as Commercial and the proposed plans which include a mix of residential and commercial will require an amendment to the Comprehensive Plan to Mixed Use.

Per the density regulations within the I District, 145 units are allowed on the site. Since the petitioner has proposed a 200 unit facility, the following density variation is required:

- **Chapter 28 of the Municipal Code, Section 5.1-8.1, to allow 348,048 square feet of land area where 480,000 square feet of land area is required.**

In order to demonstrate conformance with the standards of approval for this Variation, the petitioner must provide written justification to the following hardship criteria:

- **The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.**
- **The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.**
- **The proposed variation is in harmony with the spirit and intent of this Chapter.**
- **The variance requested is the minimum variance necessary to allow reasonable use of the property.**

Given the limited impact of a senior-living density increase on traffic, schools, and parks, the Staff Development Committee is generally supportive of the requested variation. However, the petitioner must provide a market study to illustrate the market demand for this type of product at this location. Additionally, the petitioner should clarify if the State of Illinois will require a Certificate of Need for this facility.

TIF 4 Redevelopment Plan

The Village established a Tax Increment Financing District for this area in order to facilitate redevelopment, and obtained a 12 year extension to the TIF extending the TIF to 2037. This proposal would implement the long awaited goal of redeveloping the TIF district consistent with the objectives approved in the TIF 4 Redevelopment Plan and Project such as: eliminating blighted conditions; assembling of sites for development; encouraging consolidated development of parcels; assisting businesses with relocation, among others.

The approved TIF Redevelopment Plan indicates that the land use plan calls for Commercial development. Introducing residential uses such as the senior housing component will require an amendment to the TIF Redevelopment Plan which is a separate process to be reviewed by the Redevelopment Commission. This process can run on a similar time frame as the PUD/Rezoning process.

Consistent with the TIF 4 Redevelopment Plan implementation, the developer shall provide a written plan addressing the disposition of existing businesses and potential for relocation of viable businesses.

Impact Fees & Affordable Housing

Impact fees (school, park, library) are required for all Independent Living units. Assisted Living beds and Memory Care beds have not been historically required to pay impact fees. To reduce the school impact fee for the Independent units, the petitioner may demonstrate to the Village Board that there are no impacts on the schools given the age restrictions within the proposed development.

The Village Board is currently considering modifications to the Village of Arlington Heights Multi-Family Affordable Housing Policy, which could have an impact on whether affordable housing units and or contributions are required within this development. Current policy might require affordable housing based on only the independent units, but it would depend on the details and specifics of how they are used. As part of the Plan Commission process, the petitioner and Village will need to collaborate on affordable housing and the application of any code requirements as the Village Board is considering codifying this requirement.

Building, Site, Landscaping:

Based on a preliminary analysis, the site appears to conform to all setbacks and bulk requirements, however a portion of the senior housing development may require a height variation. The east wing of the senior housing building is 4 floors with a pitched roof line. The developer has indicated that this portion is 48 feet tall at the underside of the pitched roof line, whereas 45 feet is permitted. Given the setback of this building being approximately 80 feet from the east property line, staff does not have concerns with the variation but

the developer shall provide the justification for this and any other variations. A comprehensive analysis of zoning requirements will be completed during the Plan Commission process once detailed and dimensioned plans are prepared and submitted for review. Based on preliminary analysis the building setbacks of senior housing building are significantly more than required. The Floor Area Ratio also complies with code.

Architecture

Architectural design of the senior housing is a traditional, residential design concept incorporating brick, cement fiber board and trimmings. The east wing is four floors (independent living) while the middle wing (amenities) is at 2 floors and the west wing (assisted living / memory care) at 3 floors. The design proposes a pitched roof line in keeping with the residential character of the concept. No design concepts are provided for the commercial outlots but they should complement the senior housing in some manner to tie the development together. A Design Commission application for the new buildings will be required including review by the Design Commission. Staff suggests that once the architecture is designed, that a preliminary meeting of the Design Commission is held to obtain early feedback on design.

Commercial Outlots

The overall concept site plan provides for a good mix of uses and the Village will want to see sales tax/food and beverage tax businesses along Golf Road. Medical office is also feasible but should not include all the outlots. Staff will work with the developer on determining the appropriate mix of commercial uses. The commercial parcel site plan will require more thought as to layout as a series of buildings perpendicular to the roadway is not desirable/ viable. The depth of the commercial lots is about 250 feet and the Village would like to work with the developer on assessing if 10 to 15 feet of additional depth would make the lots even more viable. This would require the senior housing to be setback 10 to 15 feet north, but keeping the detention in the same location as a buffer. In addition, commercial outlots C, D and E are only 1.0 acre each which should be evaluated for maximum viability. The commercial outlots should be fully interconnected with cross access easements at the front and the primary access drives. The concept plan also incorporates the 1.35 acre corner currently owned by the Village which will enhance the corner's viability. Cross access easements shall be provided to allow that parcel access to the Golf Road signal. Overall the layout of the commercial lots should provide for flexibility to address market demand and to attract viable businesses.

Preliminary Engineering/Landscaping

Preliminary engineering plans must be provided as part of the Plan Commission application, and a code complaint landscape and tree preservation plan shall also be required. Preliminary plans show a stormwater detention pond to be located along the north side of the site as an outlot. This detention will serve the senior housing development and will provide a very nice buffer between the development and residential homes to the north. This basin shall include ample landscaping to provide an amenity for the development. The Village would like to explore with the developer either sizing the detention to accommodate future development of parcels to the west that are in this TIF District but not part of this request. Or in the alternate, design the basin for future expansion so there is a coordinated detention basin. The commercial lots would be served by a separate underground detention basin on those commercial outlots. Detention must conform to all Village and MWRD standards for stormwater management. The developer has provided a summary in their narrative regarding sustainable development features which should be explored further.

Staff would like to explore increasing the landscaping along the east property line as it appears that there is about 10 feet between the parking lot and property line. Also in general the site development plan shall provide for pedestrian connectivity between the various uses and lots in the development as well as

connecting to existing sidewalks off site and the public park to the northeast of the site. Decorative site furnishings should be explored including light fixtures, stamped paver crosswalks, small plaza areas as feasible in order to enhance the aesthetics of the development.

The sidewalk along the commercial frontage along Golf Road should be designed to expand to 8 feet to accommodate a future planned bikeways route with the sidewalk setback from the curb approximately 8 feet. Also Golf Terrace is in poor condition and shall be improved to accommodate anticipated traffic volumes with design details on width and standards to be determined. Finally, the petitioner must provide fire-truck auto turn exhibits as part of the redevelopment plans.

Parking and Traffic:

The petitioner is required to provide a traffic and parking study by a certified traffic engineer that assesses access (location, design, and Level of Service), on-site circulation, trip generation and distribution, parking, and impacts to public streets. However, a reduced scope study is necessary due to the uncharacteristically low traffic volumes due to the COVID-19 pandemic. Therefore, the traffic consultant should obtain the latest Arlington Heights Road and Golf Road traffic data from the State and make professional estimates for peak hour and directional distribution. The traffic study should use ITE standards to estimate “existing” traffic and parking assuming the existing buildings are fully occupied by office uses, then analyze estimated traffic and parking based on data from similar senior facilities to illustrate the differences and impact of each type of use.

As mentioned, cross access easement and interconnects shall be required of the development and cross access shall be provided for the properties to the west of this developer site to provide access to the signal at Golf Road. No new access drives are planned as the developer is utilizing existing curb cuts. The existing cross access to the east with the adjacent property should be shown on the site plan.

Based on a preliminary analysis of the proposed redevelopment, parking provided is 16 spaces less than required as depicted in **Table I** below, which shows the preliminary parking calculations:

Table I: Parking Calculations

Use	CODE USE	UNITS/BEDS	PARKING RATIO (1:X)	PARKING REQUIRED
Independent Living	Housing for Elderly	102 units	1:Unit	102
Assisted Living	Housing for Elderly	60 units	1:Unit	60
Memory Care	Nursing Home	38 units/beds	1/two beds	19
Total Required				181
<i>Total Provided</i>				165
Surplus / (Deficit)				(16)

The developer shall provide a written justification for the parking variation and address parking in the traffic and parking study. Also, bicycle parking spaces, as required by Section 10.8 of the Zoning Code, shall be required.

RECOMMENDATION

The Staff Development Committee reviewed the proposed rezoning from B-2 to Institutional, and the PUD to allow a 200 unit senior living facility and commercial outlots on the subject property, as well as variations for density, parking, height and frontage, and is generally supportive of the project, which will start a long awaited redevelopment of the site, subject to the following:

1. The petitioner shall provide written justification to the following hardship criteria for each variation requested:
 - **The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.**
 - **The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.**
 - **The proposed variation is in harmony with the spirit and intent of this Chapter.**
 - **The variance requested is the minimum variance necessary to allow reasonable use of the property.**
2. Cross access shall be provided for all properties within the development and to the properties to the west for connectivity of parcels and access to the Golf Road signal and to Golf Terrace.
3. The petitioner shall continue to work with the Village to further develop the layout and size of the commercial outlots including aligning the rear of the commercial sites with Golf Terrace.
4. The petitioner shall provide a market analysis to show market demand for the senior housing development of this type at this location. Additionally, the petitioner should clarify if the State of Illinois will require a Certificate of Need for this facility.
5. The sidewalk along Golf Road shall be designed to expand to 8 feet in the future to accommodate a bikeway and setback approximately 8 feet from the Golf Road curb.
6. A traffic and parking study by a certified traffic engineer that assesses access (location, design, and Level of Service), on-site circulation, trip generation and distribution, parking, and impacts to public streets shall be required.
7. A Design Commission application will be required for architectural review of proposed buildings.
8. Preliminary engineering plans are required including a photometric plan.
9. Golf Terrace shall be improved as it provides access to Arlington Heights Road. Details of said improvement to be determined.
10. The developer shall explore with the Village expanding the rear detention lot to accommodate future development west of this site and / or allow for expansion of said basin.
11. A landscape plan shall be required and should incorporate a focal element at the corner of Arlington Heights Road and Golf Road if developed by this developer. Additional landscaping buffer along the east property line should be explored.
12. Impact Fees shall be required in accordance with Chapter 29 of the Municipal Code and past Village policy.
13. Affordable Housing shall be provided as per the Village's Multi-Family Affordable Housing Policy, if applicable.
14. The petitioner shall comply with all Federal, State, and Village Codes, Regulations, and Policies.
15. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

July 16, 2020

Bill Enright, Deputy Director of Planning and Community Development

Cc: Randy Recklaus, Village Manager
All Department Heads
Temp File 1702



Proposed International Plaza Redevelopment

PROJECT NARRATIVE

July 10, 2020

I. PROJECT DESCRIPTION

Ryan Companies US, Inc. (Ryan) is pleased to present to the Village of Arlington Heights a \$90M - \$100M redevelopment of International Plaza featuring a mix of uses including an upscale senior living development and commercial, retail and medical offices. Ryan is under contract to purchase the 13-acre property at Golf Road and Arlington Heights Road, which is commonly known as International Plaza. The Project is located in Arlington Heights TIF #4, of which special legislation was passed to extend the TIF to 35-years in total life. The senior living community will offer approximately 200 residences for seniors that desire an independent living lifestyle, and for seniors in need of assisted living care and memory care. All units will have monthly market rates and will not have a large entrance fee like other senior living communities in the Village. In addition, there are approximately five (5) out-lots designated for commercial, retail and medical office use (one of which is village-owned).

The International Plaza shopping center is located near the northeast corner of Golf Road and South Arlington Heights Road. The existing one-story building sits on approximately 13 acres. The mostly vacant and deteriorating building and parking lot will be demolished and removed as part of the new redevelopment.

A few key points regarding this development:

- **Transformational Impact:** our redevelopment will transform the property to a highest-and-best use, achieving its true economic potential and eliminating a blighted eyesore on one of the Village's most heavily travelled roads;
- **Favorable Impacts for Schools and Traffic:** our redevelopment will generate strong real estate and sales taxes without creating more demand on services to the school systems. Additionally, the trip generation of the senior living community are off-peak, minimizing impacts to the local road networks;
- **Job Creation:** the senior living community is more than a residential option for Arlington Heights residents, as it alone will generate over 80 full-time jobs. Adding the retail, commercial and medical potential of the outlots, our redevelopment will create over 150 jobs and have significant positive impact on the local economy;



- **TIF #4 Impacts:** this redevelopment will fulfill the long-awaited vision of the Village and meet the goals in the Redevelopment Plan and eliminate the continuing blight that was the cause of the request for the special legislation to extend TIF #4 to 35-years.
- **Quality Sponsorship:** As a \$2 billion company, Ryan has a proven track record in the Chicago suburbs executing on large developments that deliver architectural and landscape excellence. This will be the 6th senior living community developed and constructed in the Chicagoland area by Ryan Companies, which to-date totals over 960 units and \$284 million of investment.

II. BUILDING DESCRIPTION – SENIOR LIVING

Ryan's proposed 4-story senior living community will consist of approximately 200 units (102 independent living, 60 assisted living and 38 memory care) and 165 parking spaces. The total building size will be approximately 220,000 gross square feet. The exterior of the new senior living building will consist primarily of brick, cement fiber board and decorative trim. It is important that the building has the proper mix of materials that result in an inviting residential pallet, as well as features such as balconies, varied roof lines and architectural details. Parking is a combination of 30 garage spaces within the building and the balance of surface parking.

Approximately 35% of the building is amenity space and support space for the residents and staff. Amenities include bistro serving breakfast and lunch items, separate formal dining venues for lunch and dinner, art studio, wellness and fitness center, movie room, beauty salon, social club & pub, and ample living room space for socializing. Upon entering the building during normal business hours, a concierge will welcome residents within the main lobby and direct visitors. In addition, there will be exterior amenities for residents such as outdoor dining courtyards, pergolas, and walking paths. The memory care area has been thoughtfully designed to give quality service to each of the residents. This controlled area includes two interior courtyards and ample interior common space with lots of outside light for the residents.

The unit designs and features will be Class A, including 9-foot ceilings, full-size appliances, designer kitchens and baths, walk-in closets, in-unit washers & dryers, granite countertops, ceiling fans, window treatments, tile backsplashes, keyless entry, carpet and luxury vinyl plank flooring, pendant lights over kitchen islands and individually-controlled heating and cooling. The independent units will include 1-bedroom, 2-bedroom and 2-bedroom+plus den configurations, all sized above the average within the market.

The design and construction will include many "green" initiatives, some of which include:

1. Stormwater management systems that reduces pollutants prior to leaving the property
2. Energy Star appliances
3. Low VOC finishes throughout the building for superior air quality
4. Low flow plumbing fixtures
5. A construction waste program that emphasizes recycling
6. Site lighting shields to eliminate light pollution
7. High efficiency heating and cooling units for the building

III. BUILDING DESCRIPTION – RETAIL/COMMERCIAL/MEDICAL OFFICE

The frontage along Golf Road will be planned for retail, commercial or medical office users. These buildings could be stand-alone properties housing just one tenant, or small multi-tenant buildings. The Subarea Plan in the concept package identifies four parcels, each between 1.0 and 2.0 acres. These parcels could be combined to accommodate a larger medical office user, for example (Parcels C, D or E) or subdivided to accommodate smaller tenants (Parcel B). This offers good flexibility to meet an ever-changing retail market. The signalized access is a critical requirement for tenants of these parcels, and this concept plan takes advantage of the existing signal. The various parcels could accommodate between 20,000 to 50,000 square feet of gross leasable area. We would like to incorporate the Village-owned 1.35-acre corner parcel, subject to an agreement with the Village.

IV. SITE DESIGN

The 13-acre property in Arlington Heights is located on the north side of Golf Road and just east of Arlington Heights Road. There are currently three curb cuts along Golf Road for the property, with the property's main entrance served by a traffic signal. This controlled intersection is a very important feature for a senior living community. It is also essential for the long-term success of retail, commercial and medical office. The property is bordered by a mix of commercial and residential to the west, residential to the north, and a mix of attached residential and commercial to the east. Commercial and retail uses are to the south across Golf Road. We have taken these neighboring land uses into account as we sited and oriented our buildings.

The senior living community is located on the north 8 acres of the property, with a storm water pond providing a buffer to the residential neighbors. The height of the building is a combination of 2, 3 and 4-stories, with a maximum height of 48 feet to the underside of pitched roofs. The retail/ commercial/ medical office uses are situated along Golf Road on approximately 5 acres, which can be subdivided to accommodate a wide range of tenants. This offers good flexibility, visibility and accessibility to attract high-quality business.

In addition to maintaining the three curb cuts along Golf Road, we have designed the interior road network to connect to the adjacent parcels to the west to improve circulation and enhance the redevelopment viability of those remaining parcels within TIF #4. Parking for the senior living community will be approximately 165 spaces (30 covered spaces within the building and 135 surface), and this is consistent with the actual use of our other suburban senior developments. Parking for the retail/commercial/medical office will be approximately 5.0 spaces per 1,000 square feet and will be surface parked.

There are currently no stormwater systems on the property that manage the runoff during a rain event. Stormwater management systems will be constructed with a combination of surface detention along the north perimeter and underground detention. The surface detention pond will be sized to serve the senior living parcel, and the underground detention will be sized to serve the retail/commercial/medical office parcels along Golf Road.



V. LIFESTYLE OFFERING AND VALUE PROPOSITION

The senior living community will be rich in services helping residents stay engaged with family, friends and community. The up-to-date design, amenities, services and location promotes a vibrant lifestyle, while assuring the added benefit of a customized range of residential and health care choices in one location with flexible month-to-month value. Our amenities and services include the following:

- ❖ Culinary excellence focused on nutrition & healthy dining
- ❖ Full-Service dining venues, bistro and pub/lounge
- ❖ Theatre for movies and parties
- ❖ Full-service salon and spa services
- ❖ Art studio and programmed activities with dedicated Life Enrichment Director
- ❖ Cardio and strength equipment; group exercise
- ❖ Outdoor gardening activities
- ❖ 24-hour staff and full-service concierge
- ❖ Continuing educations programs with lectures and discussion groups
- ❖ Whole-person wellness programs
- ❖ Health- or nursing-related services with light medical care, and medication management
- ❖ Transportation to local shopping, cultural events and medical appointments
- ❖ Different levels of care will provide for a host of options for each resident
- ❖ Extra assistance for Memory Care
- ❖ All housekeeping, maintenance and utilities included, except telephone
- ❖ Wi-Fi & latest technologies
- ❖ Limited covered resident parking

VI. MARKET FEASIBILITY

With Ryan's current senior living portfolio in the Chicagoland area, we have an accurate pulse of the market. The Arlington Heights senior living market is mature and competitive, yet there exists an unmet demand for a rental continuum of care community with upscale finishes, in the right location. Ryan prepares multiple market feasibility studies for every prospective development and the key favorable market indicators for this location are:

- The number of households that are 75+ age and \$75,000+ income in the designated Primary Market Area (PMA) is currently estimated at 3,538 households and is projected to grow by 985 households by 2024. This is a favorable percent increase of 28%.
- There are over 1,600 independent living units in the PMA, however, the average age of properties within the PMA offering independent senior living is over 30 years. There are over 1,000 units of assisted living in the PMA, however, the average age of properties within the PMA offering assisted living is over 20 years. The older ages of the competitive properties suggest that a new product would be well received in the PMA.



- New senior living construction in the PMA includes ISL's 100-unit assisted living/memory care in Mt. Prospect and the proposed 110-unit assisted living HarborChase at the former Motorola campus in Schaumburg. These are strong competitors in the assisted living and memory care space, but they do not have independent living units.

VII. REZONING REQUEST

Current zoning is B2 General Business District. Parcel A will be rezoned to I Institutional Zoning, and Parcels B through F would remain as B2 General Business District.

1. Subdivide the parcel and rezone a portion from B-2 to I district
2. A Planned Unit Development to allow a 200-unit Senior Living Facility



INTERNATIONAL PLAZA REDEVELOPMENT: MIXED USE SENIOR LIVING AND COMMERCIAL - CONCEPT PACKAGE

Arlington Heights, IL
July 14th, 2020

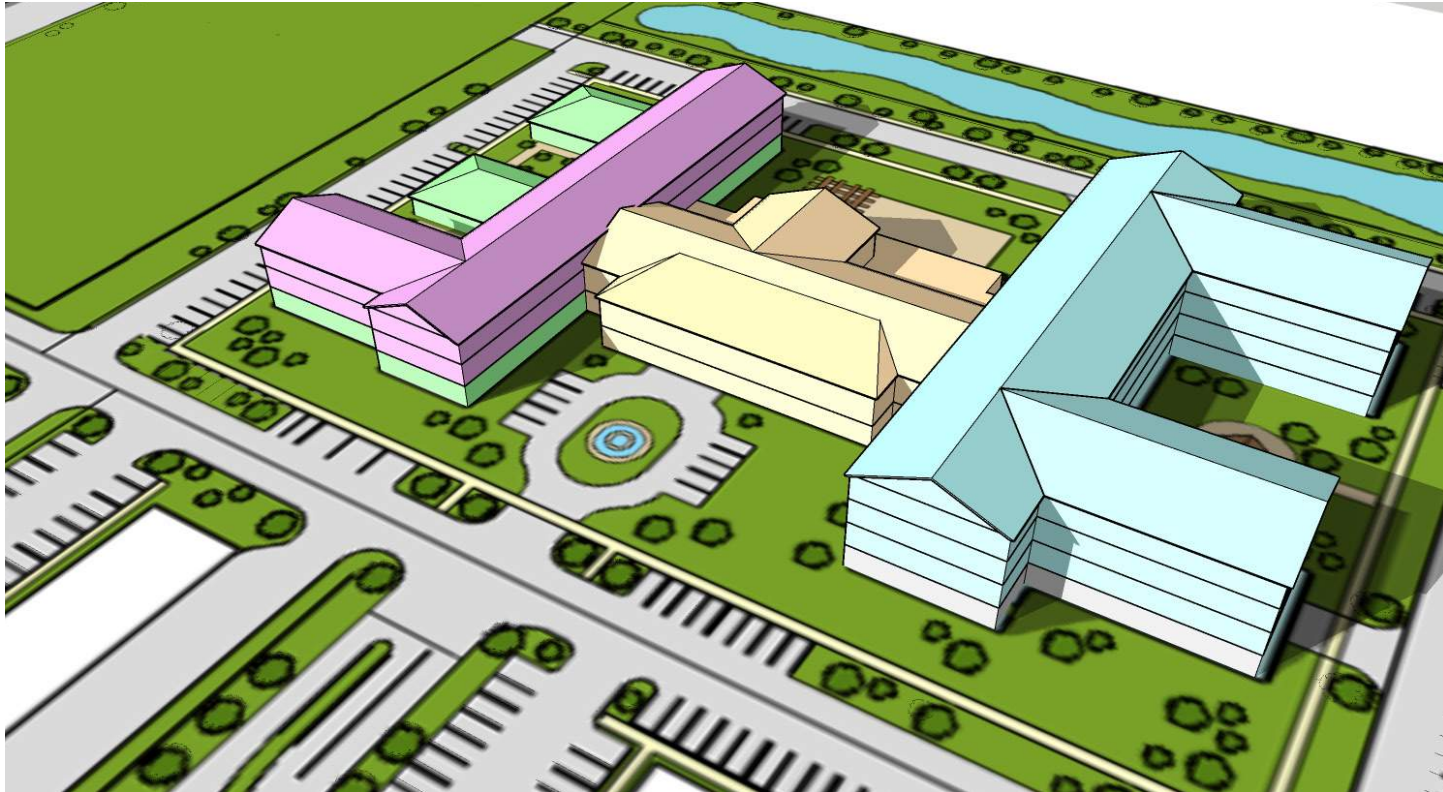




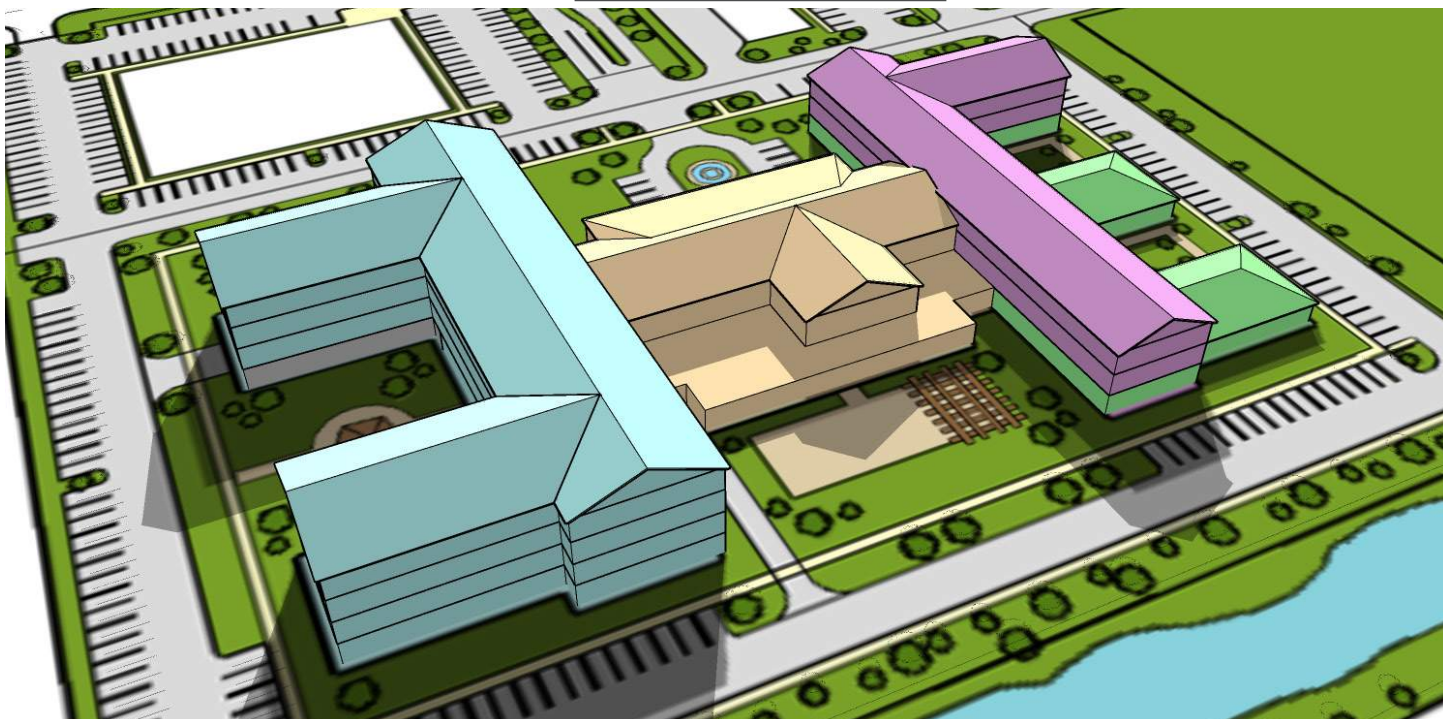
SUBAREA PLAN	
Senior Living	Area
A	8.07 ac
Retail, Commercial, Medical Office	
B	1.96 ac
C	0.99 ac
D	1.01 ac
E	1.03 ac
G*	1.35 ac
Access Road	
F	0.40 ac
TOTAL	14.41 ac

*VILLAGE OWNED

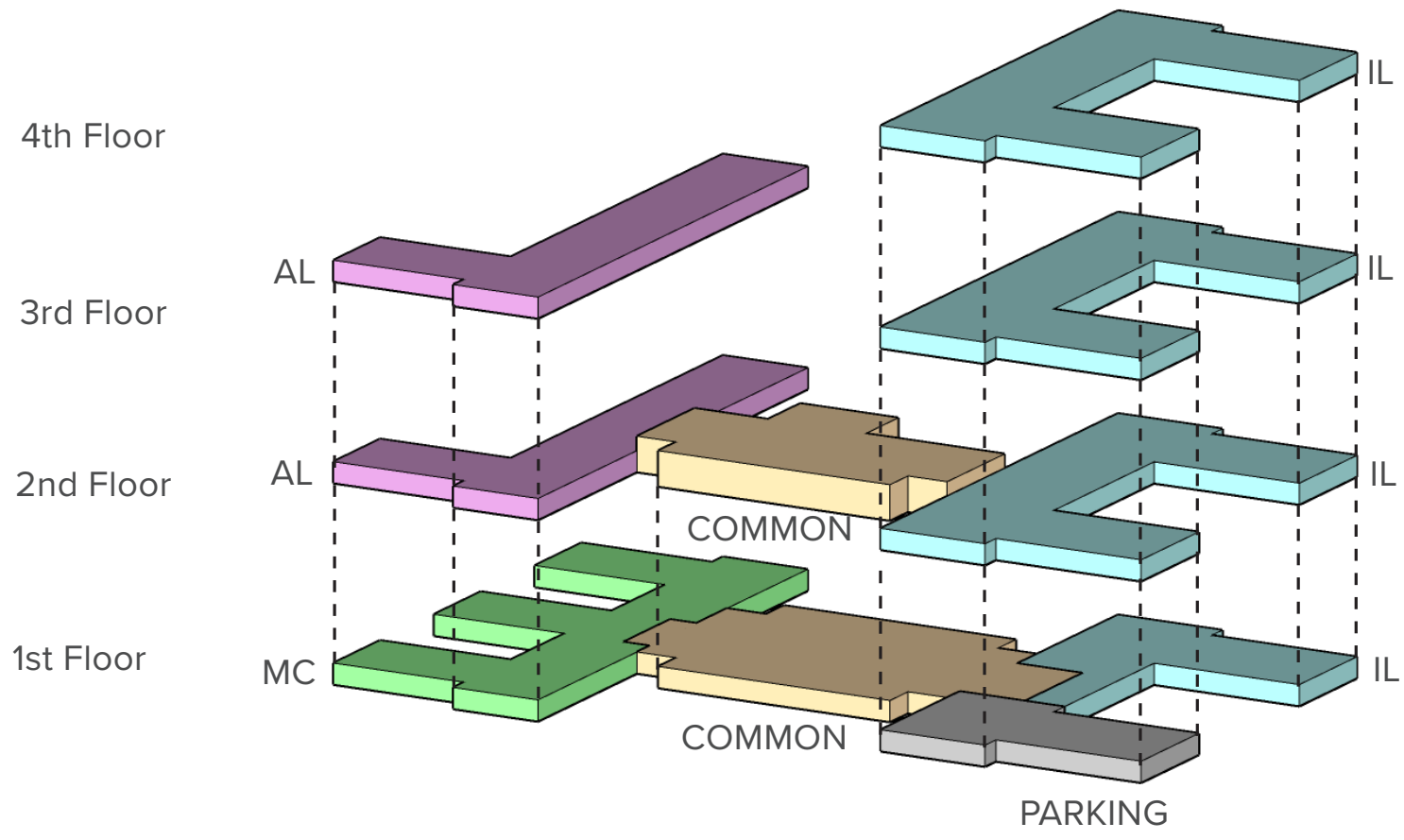
View from the South East



View from the North East



Stacking Diagram



Building Metrics

<u>Gross Square Feet:</u>	<u>220,000</u>
<u>Total Units:</u>	<u>204</u>
Independent Living	58
Assisted Living	107
Memory Care	39
<u>Total Parking</u>	<u>160-165</u> (Includes approx. 30 spaces within the building)





Clarendale at Indian Lake



Arbor Place of Lisle



Silver Creek on Main



Grand Living at Lake Lorraine





Conceptual Plan Review Committee
7/22/2020

Item: Cremation by Water - 11 W. College Dr. - T1701

Department: Planning & Community Development

Requested Action

1. Land Use Variation to allow a "Cemetery/Mausoleum" within the M-1 Zoning District.

Variations Required

1. Variation to Chapter 28, Section 6.12.2c, to waive the requirement for a traffic and parking analysis by a qualified professional engineer.

Recommendation

The Staff Development Committee (SDC) reviewed the proposed Land Use Variation to allow a "Cemetery/Mausoleum" within the M-1 District, as well as the following variation:

- Variation to Chapter 28, Section 6.12.2c, to waive the requirement for a traffic and parking analysis by a qualified professional engineer.

The SDC is generally supportive of the application and requests the petitioner to address the following items as part of their Plan Commission application:

1. For the requested land use variation and traffic/parking study variation, the petitioner shall provide a written response to each of the four hardship criteria necessary for variation approval, which have been included below:

The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.

- The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.
- The proposed variation is in harmony with the spirit and intent of this Chapter.
- The variance requested is the minimum variance necessary to allow reasonable use of the property.

2. The petitioner shall verify that all tenant information within the parking calculations is accurate (tenant name, size of tenant space).
3. The petitioner shall survey the parking lot at one-hour intervals over a two day period during times when the proposed use would be in operation.
4. The petitioner shall comply with all Federal, State, and Village Codes, Regulations, and Policies.
5. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:

Description

Staff Report

Aerial

Business Narrative

Floor Plan

Type

Board or Commission Report

Exhibits

Exhibits

Exhibits



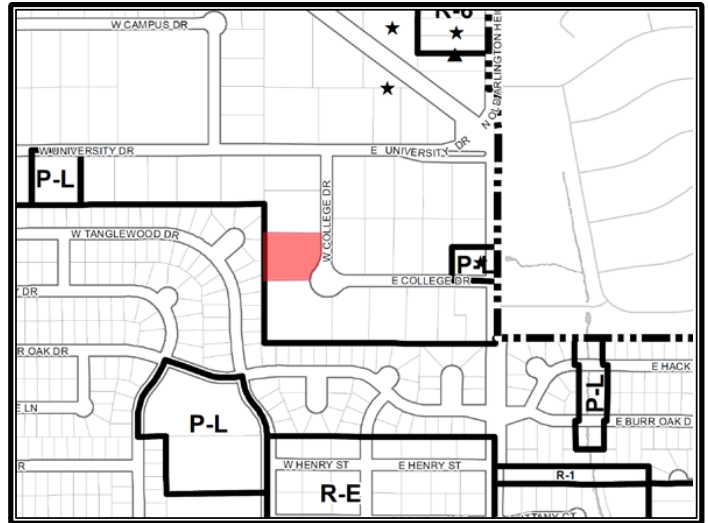
VILLAGE OF ARLINGTON HEIGHTS **STAFF DEVELOPMENT** **COMMITTEE REPORT**

Temp File Number: T1701
Project Title: Cremation By Water LUV
Location: 11 W. College Dr.
PIN: 03-08-316-002-0000

To: Conceptual Plan Review Committee
Prepared By: Sam Hubbard, Development Planner
Meeting Date: July 22, 2020
Date Prepared: July 17, 2020

Petitioner: Philip Flores, Jr.
 Cremation By Water LLC
Address: 11 W. College Dr.
 Arlington Heights, IL 60004

Existing Zoning: M-1: Research, Development and Light Manufacturing District
Comprehensive Plan: R&D, Mfg., Warehousing



SURROUNDING LAND USES

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	M-1: Research, Development and Light Manufacturing District	Flex Office/Light Industrial building	R&D, Mfg., Warehousing
South	M-1: Research, Development and Light Manufacturing District	Commercial Recreation facility (Heritage Tennis Club)	R&D, Mfg, and Warehousing
East	M-1: Research, Development and Light Manufacturing District	Multi-tenant Flex Office/Light Industrial building	R&D, Mfg, and Warehousing
West	R-3: One-Family Dwelling District	Single-Family Homes	Single-Family Detached

Requested Action:

1. Land Use Variation to allow a "Cemetery/Mausoleum" within the M-1 Zoning District.

Variations Required:

1. Variation to Chapter 28, Section 6.12.2c, to waive the requirement for a traffic and parking analysis by a qualified professional engineer.

Project Background:

The subject property is 79,897 square feet (1.83 ac.) in size and contains an approximately 23,000 square foot multi-tenant flex office/industrial building that is one story in height. Access to the site comes from two curb cuts on College Drive that provide one-way circular access around the building. There is a total of 64 on-site parking spaces.

The petitioner, Philip Flores, Jr., has signed a lease for a 2,400 square foot space (unit K) within the building, which has pedestrian access at the front of the unit (east) and an overhead door at the rear (west). With exception to the subject unit, the property is fully occupied. Mr. Flores is proposing to establish his business, Cremation By Water, on the subject property. Cremation by Water is a water based crematorium, where human and animal remains would be cremated by a water based method, as opposed to the more commonly known method involving cremation by incineration. Further details on the process can be found within the petitioners "Project Narrative", which has been transmitted to the Conceptual Plan Review Committee along with this staff report.

The business would be open to the public from 8:00am – 5:00pm, although the petitioner does not expect a high volume of foot traffic. There would be two employees, the petitioner and his wife, and the business would work directly with funeral directors for all human cremations, where their business would serve essentially as a sub-contractor for the cremation service, and the standard funeral process would be coordinated through and occur at the funeral home. Animal remains could be arranged directly with the animals' owner, so any foot traffic would likely be related only to animal cremations.

Zoning and Comprehensive Plan

The subject property is zoned M-1 Research, Development and Light Manufacturing District. The proposed crematory use is encompassed within the general use classification of "Cemetery/Mausoleum", which use is only allowed in residential zoning districts. Therefore, the proposed business requires a Land Use Variation. As part of any formal application to the Plan Commission, the petitioner must provide a written response to each of the four hardship criteria necessary for land use variation approval. The hardship criteria have been included below for reference:

- **The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.**
- **The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.**
- **The proposed variation is in harmony with the spirit and intent of this Chapter.**
- **The variance requested is the minimum variance necessary to allow reasonable use of the property.**

The Staff Development Committee is generally supportive of the proposed special use. The parking and traffic impact is expected to be minimal, and the use is generally harmonious with the surrounding land uses in that the hours of operation are compatible with the residential areas to the west, and the impacts of the business should not be observable outside of the subject unit. However, the petitioner should work with the landlord and neighboring tenants to ensure that the water cremation process, including the processing and handling of cadavers, will not create any objectionable odors that could be detected outside of the subject unit. The petitioner is aware that they must work with the MWRD on any sanitary sewer/wastewater output created by their use.

The Comprehensive Plan classifies this property as appropriate for “R&D, Mfg., and Warehousing” uses. The proposed use, given that there is no funeral service conducted on the premises and customer traffic is expected to be minimal, is more similar to a light industrial use than an institutional or commercial use. Therefore, the proposed use is compatible with the Comprehensive Plan designation.

Building, Site and Landscaping:

The petitioner is proposing certain interior renovations, which will require a building permit and MWRD permit. In order to create an interior space for unloading of cadavers, the petitioner will convert an overhead loading door into a formal garage space. Any chemical storage shall conform to all building code requirements relative to hazardous/flammable material storage. No changes to the exterior of the site have been proposed.

With regards to landscaping, in conjunction with any Plan Commission application submitted for this project, staff will inspect the site to determine if the existing site landscaping is compliant. Dead or missing landscaping would need to be replaced as part of any Land Use Variation approval. The petitioner should evaluate the buffer to the west where the property abuts single-family homes, and determine to what extent, if any, improvements may be needed in this area.

Parking & Traffic:

Per code, a traffic and parking study is required for Land Use Variations located on any “local” street. Since College Avenue is classified as a local street, a traffic and parking study is required. Given the low employee count and low expected volume of customer traffic, the SDC believes a variation to waive the traffic study may be warranted. However, the petitioner must verify if they are requesting the below variation, and must also justify any such request subject to the four hardship criteria as outlined above.

- **Variation to Chapter 28, Section 6.12.2c, to waive the requirement for a traffic and parking analysis by a qualified professional engineer.**

In order to ensure that the 64 parking spaces presently located on the site are suitable for the existing parking demand within the multi-tenant complex, the petitioner shall survey the parking lot at one-hour intervals over a two day period during times when the proposed use would be in operation. Relative to parking, the subject property appears to include the necessary number of off-street parking spaces to conform code requirements. The table below summarizes the onsite parking, and **Table 1** at the end of this report provides the detailed breakdown of parking calculations.

Total Parking Required	62 Spaces
Total Parking Provided	65 Spaces
Surplus/(Deficit)	3 Spaces

The petitioner shall be responsible to work with the landlord to verify if the tenant list and tenant space sizes are accurate. Any updates to this table must be included as part of any formal Plan Commission application.

Since the proposed use does not increase the overall parking requirement on the subject property, compliance with the bicycle parking regulations is not required at this time.

RECOMMENDATION

The Staff Development Committee (SDC) reviewed the proposed Land Use Variation to allow a "Cemetery/Mausoleum" within the M-1 District, as well as the following variation:

- Variation to Chapter 28, Section 6.12.2c, to waive the requirement for a traffic and parking analysis by a qualified professional engineer.

The SDC is generally supportive of the application and requests the petitioner to address the following items as part of their Plan Commission application:

1. For the requested land use variation and traffic/parking study variation, the petitioner shall provide a written response to each of the four hardship criteria necessary for variation approval, which have been included below:
 - **The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.**
 - **The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.**
 - **The proposed variation is in harmony with the spirit and intent of this Chapter.**
 - **The variance requested is the minimum variance necessary to allow reasonable use of the property.**
2. The petitioner shall verify that all tenant information within the parking calculations is accurate (tenant name, size of tenant space).
3. The petitioner shall survey the parking lot at one-hour intervals over a two day period during times when the proposed use would be in operation.
4. The petitioner shall comply with all Federal, State, and Village Codes, Regulations, and Policies.
5. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

July 17, 2020

Bill Enright, Deputy Director of Planning and Community Development

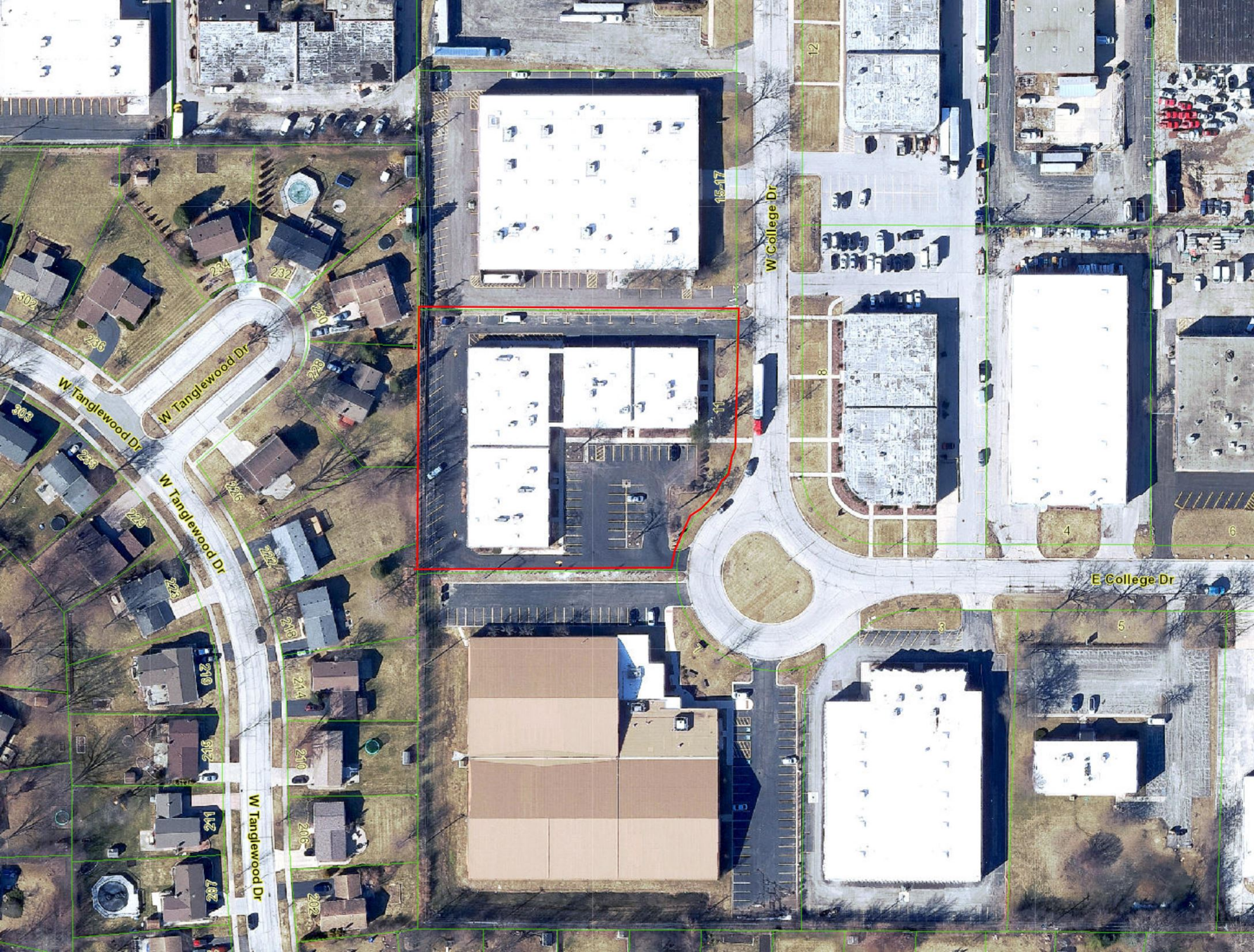
Cc: Randy Recklaus, Village Manager
All Department Heads
Temp File 1701

Table 1: Parking Calculations

Unit	Tenant	Total SF	Office SF	Ind. SF	Ind. Emps.	Vehicles	Ind. Parking	Office Parking	Req. Parking
A	Prestige Management	900	900	0	0	0	0	3	3
B	Dr. Randy Kettering	1,400	1,400	0	0	0	0	5	5
C	Detail Kitchens	2,700	2,700	0	0	0	0	9	9
D	Smart Construction Group	2,800	1,400	0	0	0	0	5	5
E	KZ Transport	1,400	1,400	0	0	0	0	5	5
F	John R. Willis, Inc.	1,400	1,400	0	0	0	0	5	5
G	ARS Point of Sale	1,200	370	830	1	1	2	1	3
H	Quick Kill Exterminating Company	1,300	1,000	300	0	6	6	3	9
I	Lorelle Communications	2,600	1,128	1,472	2	1	2	4	6
J	Smart Construction Group	2,400	1,300	0	0	0	0	4	4
K	Cremation By Water	2,400	400	2,000	2	1	2	1	3
M	TS Ventures	1,300	1,300	0	0	0	0	4	4
N	Artbeat Live	1,300	0	1,300	1	1	2	0	2
TOT		23,100	14,698	5,902	6	10	13	49	62

Existing Parking	65
Surplus/Deficit	3

Note: "Existing Parking" includes 1 interior garage space proposed within Unit K.



W Tanglewood Dr

W Tanglewood Dr

W Tanglewood Dr

W College Dr

E College Dr

15-17

11

12

8

4

6

3

5

302

236

234

232

230

228

303

233

226

229

222

612

248

214

210

215

211

207

206

202

Cremation by Water

BUSINESS NARRATIVE

Cremation by Water LLC (CBW) has a committed lease at 11 West College Drive – Unit K in Arlington Heights (AH). The building has 8 attached units under one roof in the North industrial park of AH, neighboring a 6 unit building on the same property owned by Rich Bondarowicz – Principal, 11 West College General Partnership and its members/partners and SMART Construction Group. Unit K is made up of 2,600 feet. There are 34 parking spots in the front of the building and 31 parking spots in the rear. The tenants consist of are Smart Home Builders, Art Theater Live, Room by Room, CominforSec, Lorelle, and ARS. The compliment of small business owner ranges from construction design, build, logistics, music, network security to residential building cosmetic.

[Philip Flores Jr](#) & [Colleen M Flores](#) are residents of the village, co-owners and operators. Philip will be the primary operator of the CBW startup.

Our mission at Cremation by Water is to help families celebrate a life lived and loved for deceased humans. Cremation by Water Pets will help to create lasting memories for family, relatives, friends, and pet owners. We specialize in the celebrations of life for those that choose cremation as their final disposition. Clients can visit our facilities between the hours of 8am-5pm.

CBW is addressing the important issue of eco-friendly solutions to save energy, recycle resources, specifically sanitize water where 99% of the water is returned to water treatment facility where it is recycled in the same manner as wastewater and ultimately improve the environment. The advantages of eco-friendly solutions are that they save water, improve health, improve mental health, save materials, and save the environment. With Aquamation, there are not direct emissions of harmful greenhouse gases or mercury to the atmosphere. The process does not burn any fossil fuels. It is very energy efficient – greater than 90% energy savings compared to flame cremation, with 1/10 of the carbon footprint. The water and waste consumption equates to that of family household.

The waste-based process uses a solution of 95% water and 5% alkaline (a combination of sodium and potassium hydroxide). The alkalis used in this process are the same as alkalis used in biodiesel production, common cosmetics products, body washes, shaving creams and even in food preparation. At the end of the process, the chemical has been completely consumed, neutralized, and no longer remains in the water solution. The storage of the chemicals will be in accordance with the best practices of the industry, storage in rubber made container. CBW will only store 2 50lbs bags of each dry chemicals in flake form.

The water output will flow to the Metropolitan Water Reclamation District of Greater Chicago (MWRD). Gregory Yarkin at WMRD, will have the approval submitted to me this week.

CBW take possession of the commercial space for operation in September with plans for operations to commence in October, upon VAH approval. The operation will commence in 2 phases with Animals first in late October and Humans in late December.

There will be build out for (plans attached):

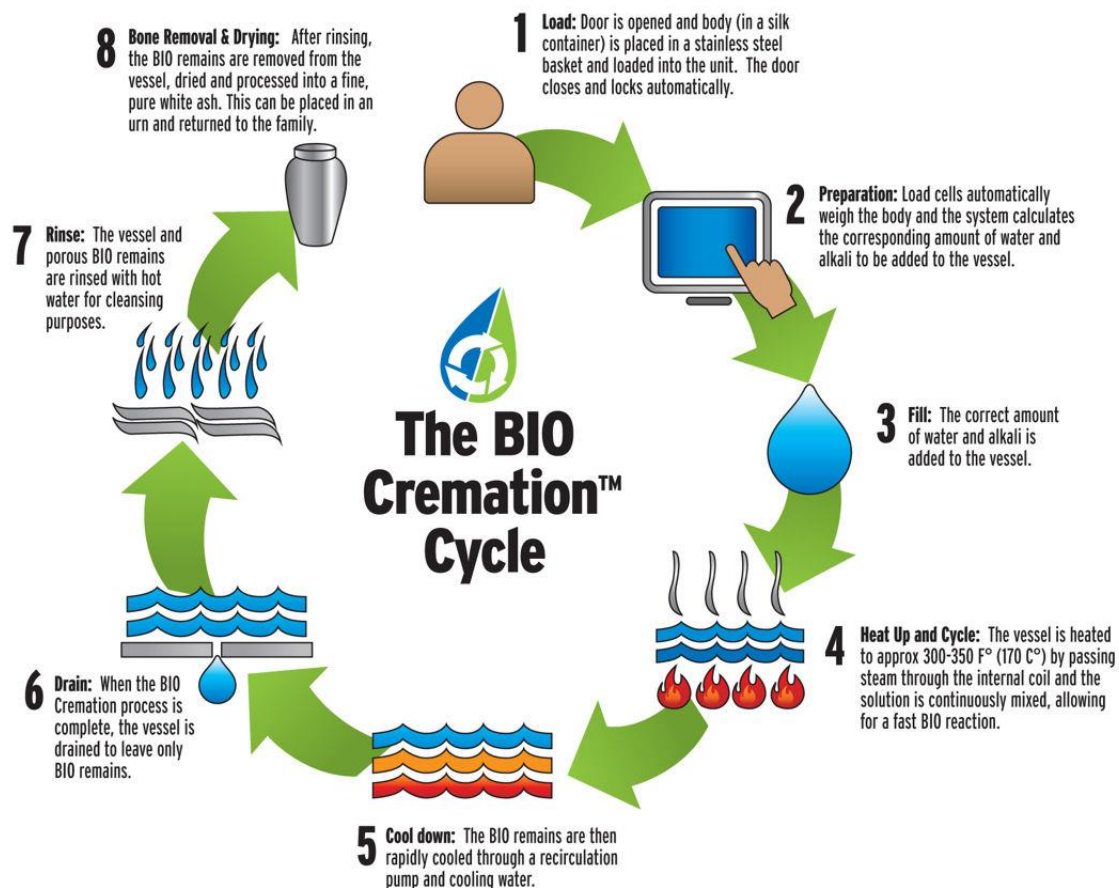
1. Garage enclosure to securely bring in animals and human remains
2. Floor plumbing and wall drains added to remove sanitized output water
3. Installation of 2 tankless water heaters added to help heat the water to 305 degrees Fahrenheit.

4. Colling condenser added to the roof
5. Electric panel upgrade to accommodate more circuit breakers

The core equipment will consist of:

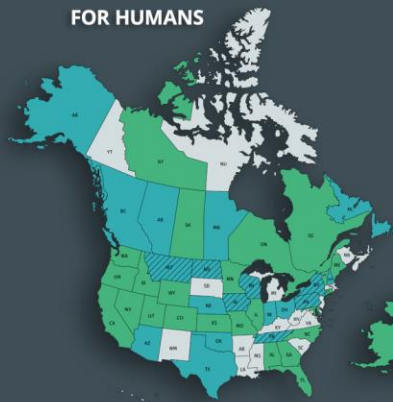
- [HT500](#) and [PET550](#) systems. With these 2 pieces of equipment, we have capacity to aqua cremate 3-4 humans in the HT500, up to 500lbs and 32 smaller animals in the PET550, up to 550lbs for communal cremations per day.
- Chest Freezer for Animals and Walkin Freezer for bodies.
- 2 Processors (crusher of bones)
- Ventilation System for bone dust

APPENDIX:



WHERE IS **AQUAMATION** APPROVED?

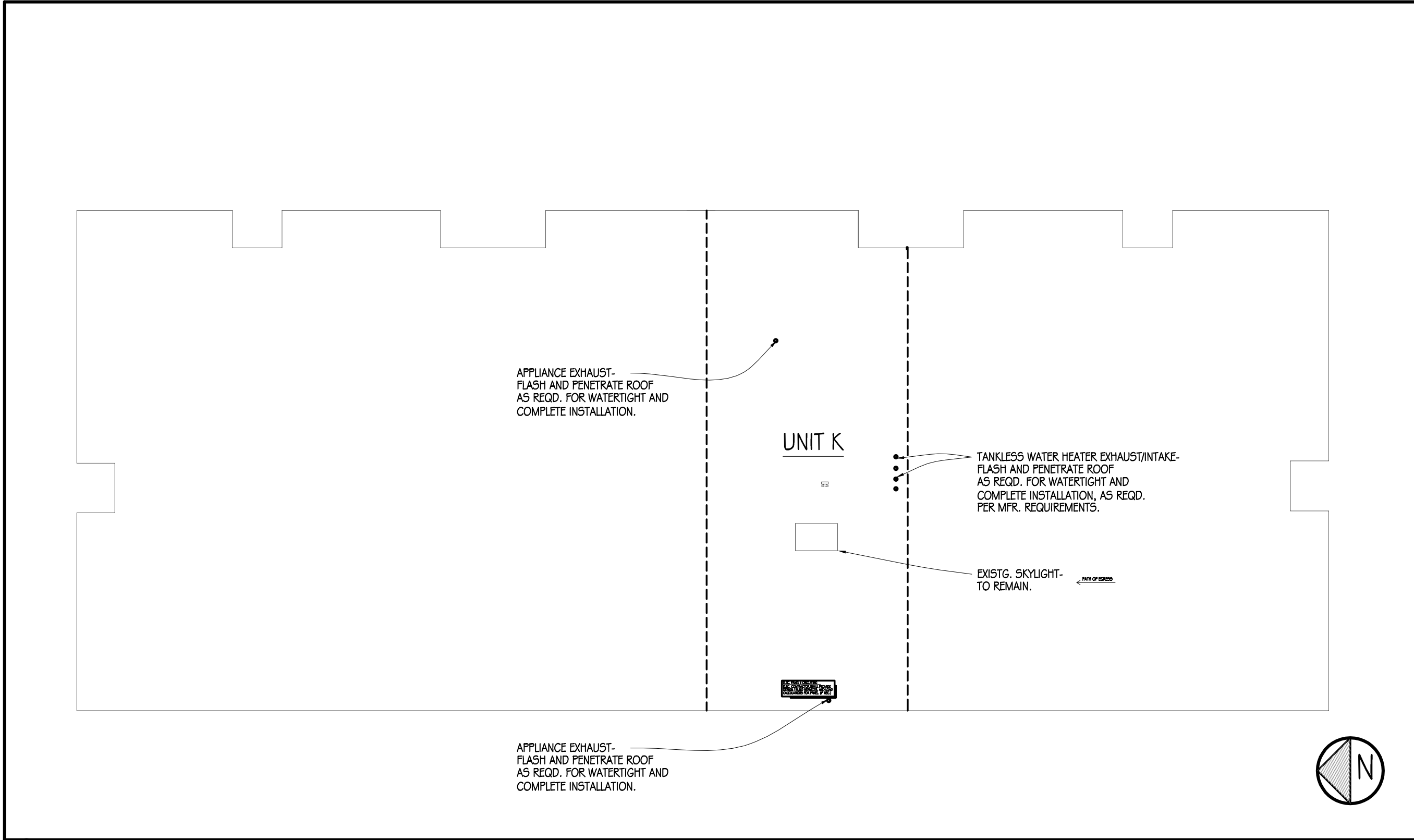
FOR HUMANS



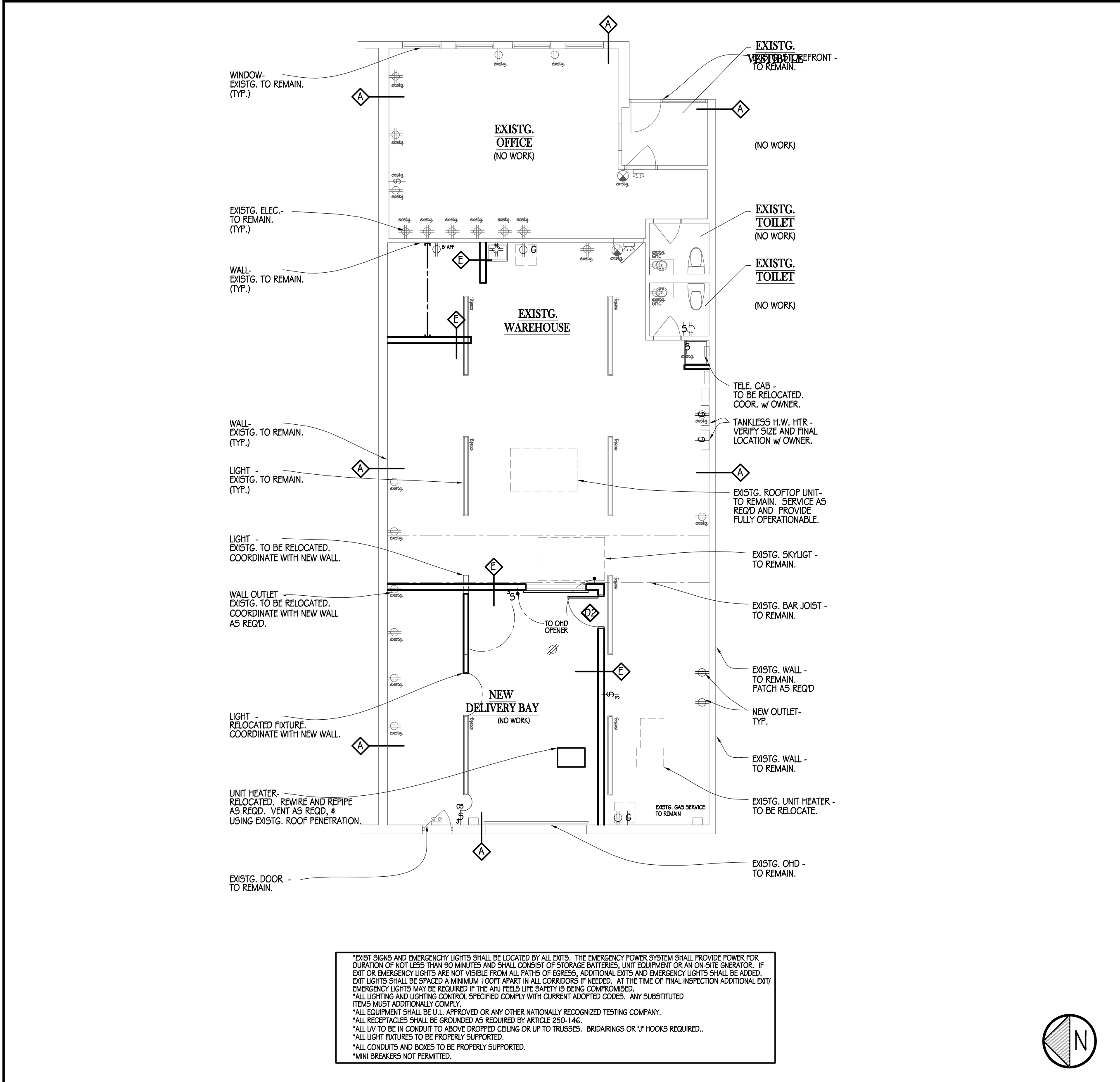
FOR PETS



- APPROVED
- ▨ ACTIVE LEGISLATION WITHIN THE PAST YEAR
- UNDER CONSIDERATION
- CURRENTLY UNKNOWN



14) Key Plan/Roof Plan scale: 1/16"=1'-0"



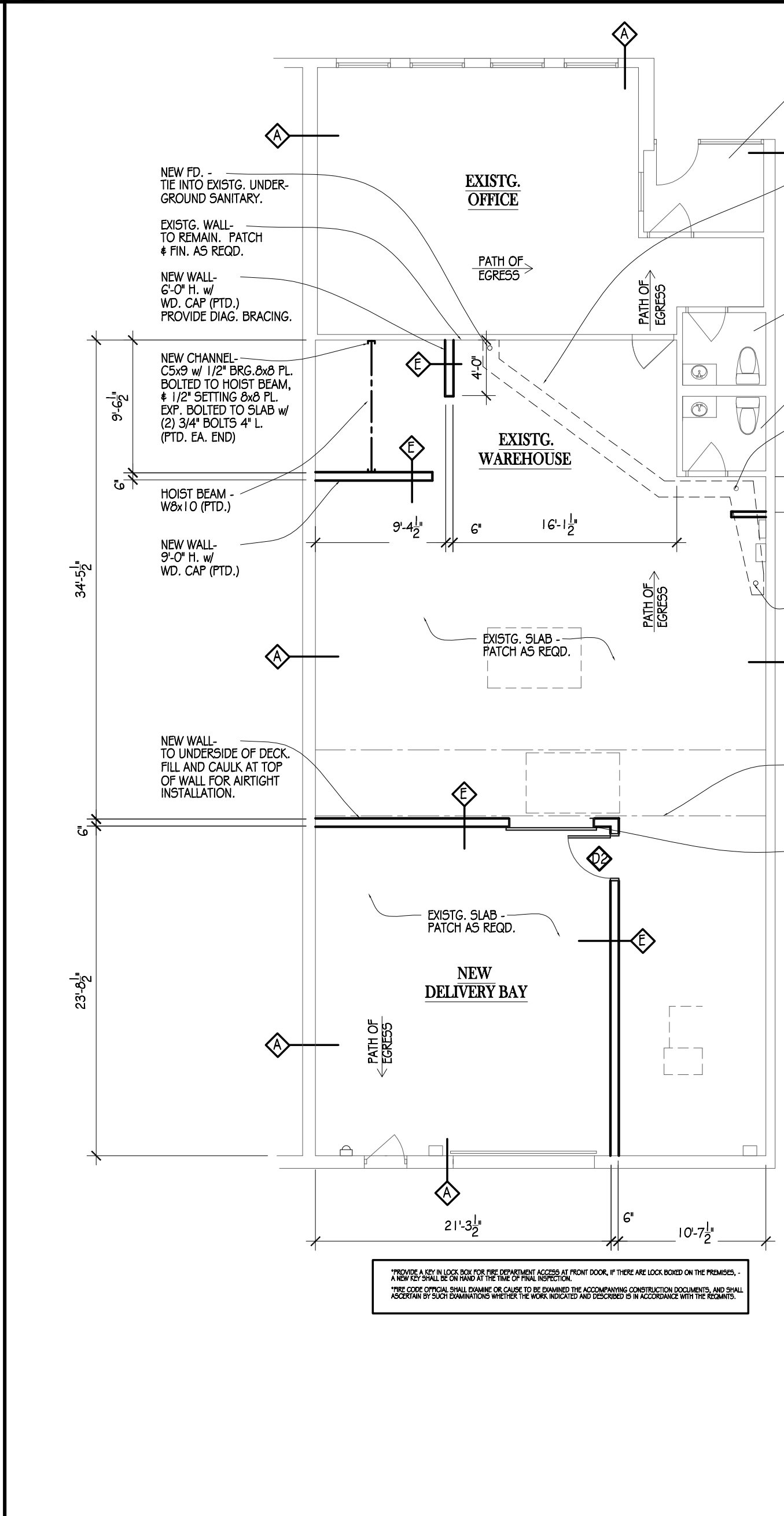
16) Electrical Plan scale: 1/8"=1'-0"

BUILDING CLASSIFICATION: S2	
CONSTRUCTION TYPE: IIIB	
BUILDING SF: 2,600 sf	
SPRINKLED: NO	

Element	Wind Design	Seismic Design	Subject to Damage From	Seismic Design	Seismic Design	Seismic Design	Seismic Design	Seismic Design	Seismic Design
Wind Load	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10
Wind Speed	100 mph	100 mph	100 mph	100 mph	100 mph	100 mph	100 mph	100 mph	100 mph
Wind Dir.	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10
Wind Exposed Area	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10
Wind Pressure	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10
Wind Moment	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10
Wind Shear	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10
Wind Torsion	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10
Wind Displacement	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10
Wind Drift	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10
Wind Vibration	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10
Wind Fatigue	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10
Wind Corrosion	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10
Wind Maintenance	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10
Wind Safety	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10
Wind Accessibility	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10	ASCE 7-10

BUILDING CODE INFORMATION:	
INTERNATIONAL BUILDING CODE W/ AMENDMENTS	- 2018
INTERNATIONAL FIRE CODE W/ AMENDMENTS	- 2018
INTERNATIONAL EXISTING BUILDING CODE W/ AMENDMENTS	- 2018
INTERNATIONAL MECHANICAL CODE W/ AMENDMENTS	- 2018
INTERNATIONAL FUEL GAS CODE W/ AMENDMENTS	- 2018
NATIONAL ELECTRICAL CODE W/ AMENDMENTS	- 2017
INTERNATIONAL PROPERTY MAINTENANCE CODE W/ AMENDMENTS	- 2018
ILLINOIS PLUMBING CODE W/ AMENDMENTS	CURRENT
ILLINOIS ENERGY CONSERVATION CODE	CURRENT
LIFE SAFETY CODE	- 2015
ILLINOIS ACCESSIBILITY CODE	CURRENT

9) Building Codes scale:(none)



8) Floor Plan scale: 1/8"=1'-0"

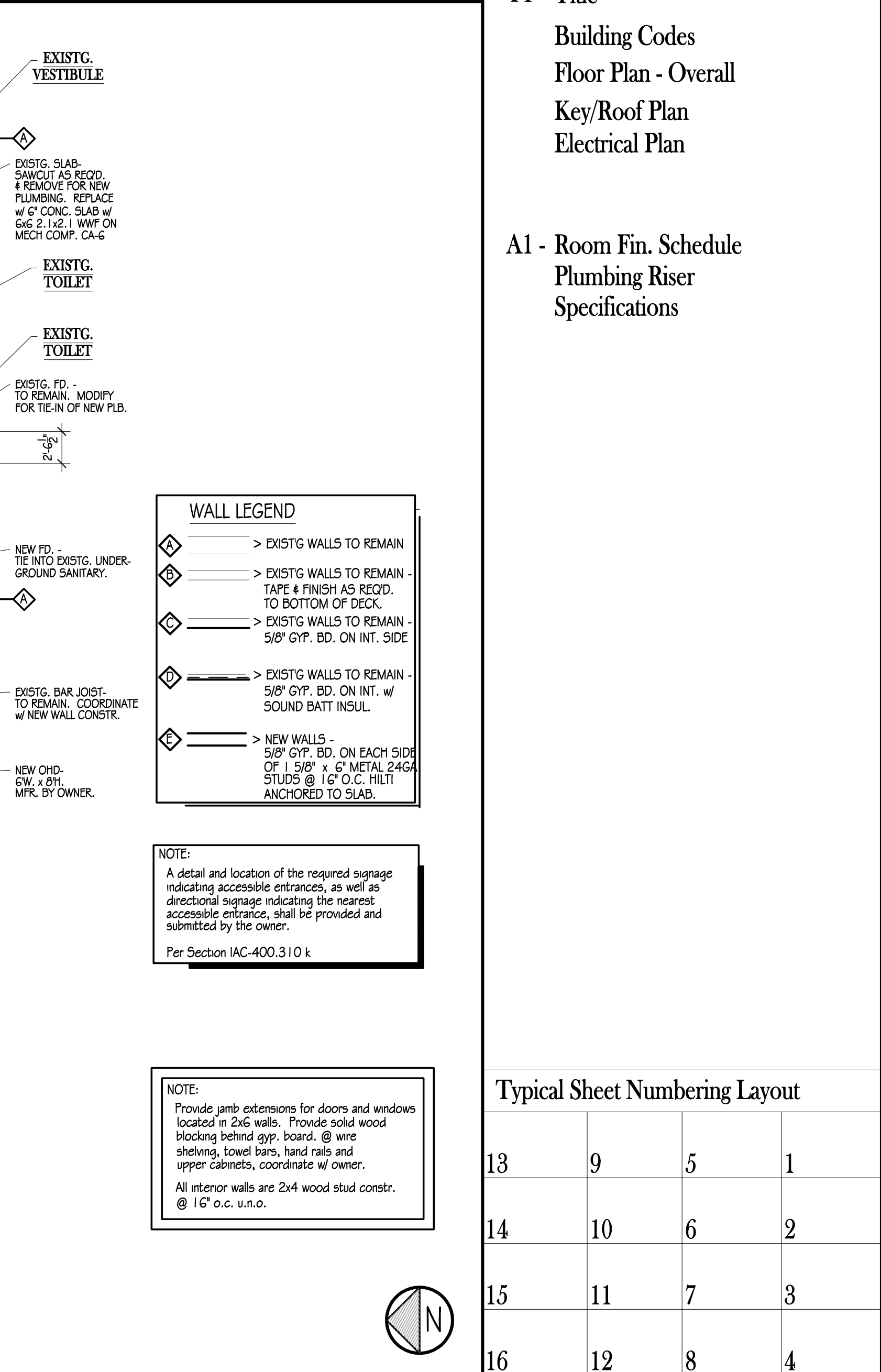
Cremation By Water

11 W. College Dr Unit K

Arlington Heights, IL

Minor Tenant Improv.

scale:(none)



4) Drawing Index scale: 1/8"=1'-0"

LIRA & ASSOCIATES

2015 S. Arlington Hts. Rd.
Suite 118 C
Arlington Heights, IL 60005
Phone 847.956.7100
Fax 847.956.7170

All designs and documents produced by Lira & Associates are instruments of Lira & Associates' professional service and shall remain the property of Lira & Associates, and may not be used, copied, reproduced, referenced or forwarded without the direct written consent of Lira & Associates for this project or any other. Doing so shall result in reimbursement for filing costs, legal fees, architectural fees and all other expenses to Lira & Associates.

MISCELLANEOUS NOTE:

> All demolition required shall include wall framing and all associated material, including but not limited to: Electrical, Mechanical, Plumbing

> All work to be demolished shall be the responsibility of each individual contractor to make the necessary adjustments, temporary/permanent as required to complete work required.

> All demolition work required is to be verified with existing conditions prior to any work performed. Should any trade require additional information regarding demolition work, the contractor is to contact the Architect immediately prior to any work beginning. Should the trade not receive a written directive from the Architect prior to the beginning of work, the contractor shall bear all responsibility for that portion of work, and any work affected.

> Each trade understands that the Owner has requested permit plans, only, from the Architect. Typical construction details and designs are not provided as per the Owner. Should the contractor require additional information than provided on the plans, he shall contact the Architect immediately prior to any work beginning. Should the trade not receive a written directive from the Architect prior to the beginning of work, the contractor shall bear all responsibility for that portion of work, and any work affected.

> All new work shall be as required by the Owner, and applicable to all codes. Demolished/Relocated systems are to be rerouted as required to provide a complete and properly operating system.

> All notes depicted in the documents shall be considered typical throughout. Discrepancies within the documents or related to the work shall be verified by the Contractor. Should the contractor proceed without receiving a written directive from the Owner, then the contractor shall bear full responsibility for that portion, and any work effected by it.

Certification

Kona-Ice
L&A #220 - Kona Ice

8 W. College Dr Unit F
Arlington Heights, IL 60004

Minor Tenant Improvement

DATE:
Permit Documents
19 March 2020

SHEET INDEX:
Title - Certification
4/T1 - Drawing Index
8/T1 - Floor Plan
14/T1 - Key/Roof Plan
16/T1 - Elec. Plan

T1