



Village of Arlington Heights
Plat and Subdivision Committee
Community Room, 3rd Floor
Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
July 22, 2015
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. 1510 E. Northwest Highway - T1507
Minimum Lot Size Variation
- B. 608-614 N. Haddow Ave. - T1508
Lot Consolidation

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: 1510 E. Northwest Highway - T1507

Department: Planning & Community Development

Requested Action

Approval associated with converting a 5-unit apartment building to a 6-unit apartment building requiring a variation.

Variations Required

Variation from Chapter 28, Section 5.1-6.3, Minimum Lot Size to allow a minimum lot size of 14,250 SF instead of the required 15,000 SF for 6 dwelling units.

Recommendation

On July 14, 2015, the Staff Development Committee reviewed the proposed request and is generally supportive, subject to the following conditions:

1. Provide a written justification for each variation based on the following hardship criteria:

- The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and
- The plight of the owner is due to unique circumstances; and
- The variation, if granted, will not alter the essential character of the locality.

2. As part of the formal Plan Commission application, the petitioner must provide clarification on how many parking spaces are available within the garage.

3. A Design Commission application must be submitted for the addition of the exterior stairs.

4. The west wall of the existing building faces a single family residential street. It is recommended that the stair be built within an enclosed addition to the building, or otherwise screened from view. A different configuration for the stairway should be considered to keep it closer to the existing building wall.

5. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:

Description

Staff Report
Supporting Documents & Drawings
Location Map

Type

Board or Commission Report
Exhibits
Exhibits

STAFF DEVELOPMENT COMMITTEE REPORT

To: Plat & Subdivision Committee
 Prepared By: Latika Bhide, Development Planner
 Meeting Date: July 22, 2015
 Date Prepared: July 16, 2015
 Project Title: 1510 E. Northwest Highway
 Address: 1510 E. Northwest Highway

Background Information

Petitioner: Angelo Rosado
 Address: 1510 E. Northwest Highway
 Arlington Heights, IL 60004

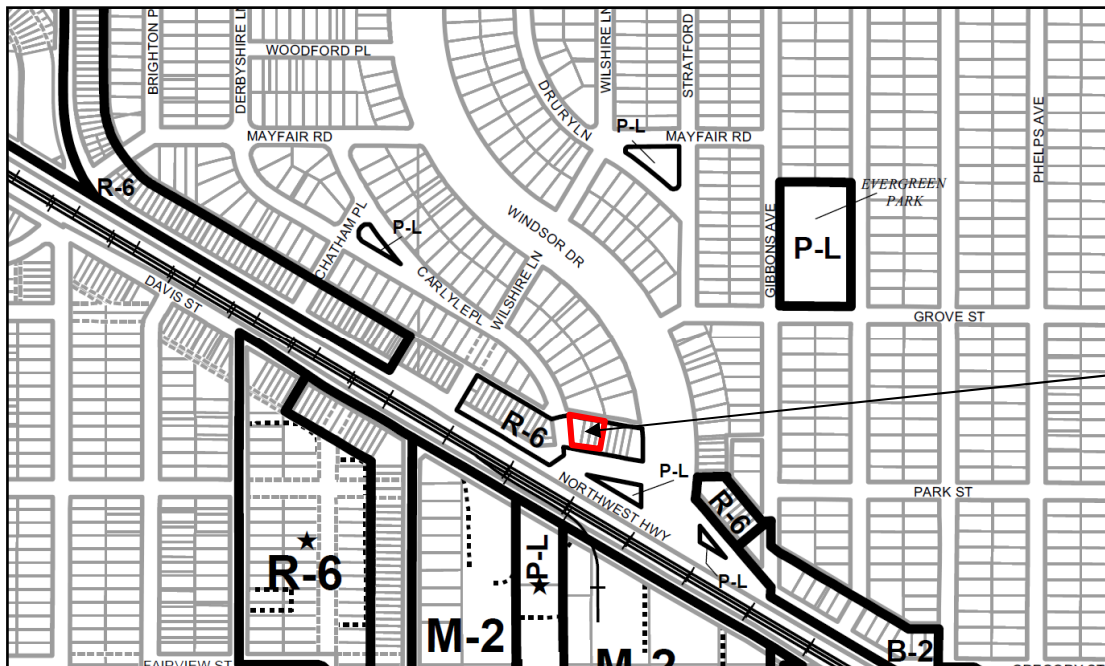
Existing Zoning: R-6, Multiple Family Dwelling District

Requested Action:

- Approval associated with converting a 5-unit apartment building to a 6-unit apartment building requiring a variation.

Variations Required:

- Variation from Chapter 28, Section 5.1-6.3, Minimum Lot Size to allow a minimum lot size of 14,250 SF instead of the required 15,000 SF for 6 dwelling units.

**Surrounding Properties:**

	Zoning	Use	Comprehensive Plan
North	R-3, One Family Dwelling District	Single-Family	Single Family Detached
South	R-3, One Family Dwelling District	Open Space	Parks
East	R-6, Multiple Family Dwelling District	Multi-Family	Moderate Density Multi- Family
West	R-6, Multiple Family Dwelling District	Townhomes	Moderate Density Multi- Family

Project Summary

The subject site is approximately 14,250 square feet (0.33 acres) in area and located on the north side of Northwest Highway, east of Carlyle Place. There is an existing 5-unit apartment building on this property – there are four 2-bedroom units and one 4-

bedroom unit which is two-story. It is the petitioner's intent to convert the one 4-bedroom apartment unit into two 2-bedroom apartment units. The petitioner is also proposing to add an outdoor stairwell for egress from the upper story unit.

Zoning and Comprehensive Plan

Pursuant to the Village's Comprehensive Plan, the properties are designated Moderate Density Multi-Family. The apartment building is consistent with the Village's Comprehensive Plan.

Per the Zoning Ordinance, the following are the minimum lot size requirements for multiple-family units in the R-6 district:

4-bedroom	4,000-sq.ft. per dwelling unit
3-bedroom	3,500-sq.ft. per dwelling unit
2-bedroom or less	2,500-sq.ft. per dwelling unit

Therefore, for the existing apartment configuration, a minimum lot area of 14,000-sq. ft. is required. Since the existing lot area is approximately 14,250-sq.ft., this requirement is met. With the proposed apartment configuration, a minimum lot size of 15,000-sq. ft. is required, necessitating a variation of 750-sq.ft.

CURRENT				
Number of Units	Type	Minimum Lot Size per unit	Lot size Required	Total Lot size Required
1	4-bedroom	4,000-sq.ft.	4,000-sq.ft.	14,000-sq.ft.
4	2-bedroom	2,500-sq.ft.	10,000-sq.ft.	
PROPOSED				
6	2-bedroom	2,500-sq.ft.	15,000-sq.ft.	15,000-sq.ft.

As the deficiency in the lot area represents only 5.3% of the total lot size (14,250-sq.ft.) the Staff Development Committee is generally supportive of the variation required for the conversion from a 5-unit to a 6-unit apartment building. It is important to note that additional variations may be required once more detailed plans are provided. The following variation is required:

- **Variation from Chapter 28, Section 5.1-6.3, Minimum Lot Size to allow a minimum lot size of 14,250 SF instead of the required 15,000 SF for 6 dwelling units**

As part of the formal review process, the Petitioner must provide a written justification for each variation that is based on the following hardship criteria listed below. Moreover, if said request is approved by the Village Board, Staff would recommend that these variations only apply to the existing structures, while all new structures would need to comply with current code standards.

- **The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and**
- **The plight of the owner is due to unique circumstances; and**
- **The variation, if granted, will not alter the essential character of the locality.**

Also, per Chapter 28, the maximum building coverage for new construction is 35% which for this property would be 4987.5-sq.ft. It appears that this requirement is met with the addition of the stairs. This must be verified with the formal PC application.

Building, Site, and Landscape Related Issues

The petitioner's intent is to convert the two-story 4-bedroom apartment into two 2-bedroom apartments. Since the upper floor unit would only have an indoor stairwell for egress, an exterior stair is being proposed as a second means of egress, as required by Building Code. Per Chapter 28, Steps as are necessary for access to a building are permitted obstructions in any yard as long as a minimum distance of 3.5 feet to side lot line or for access to a zoning lot from a street or alley is maintained. The proposed stairs will be 4.68 feet from the property line. The west wall of the existing building faces a single family residential street. The appearance of the proposed exterior stair is not in context with the neighborhood, and therefore requires a Design

Commission Application. It is recommended that the stair be built within an enclosed addition to the building, or otherwise screened from view. A different configuration for the stairway should be considered to keep it closer to the existing building wall.

The following are the required setbacks for this property:

Yards	Required Setback	Existing Setback	Meets/Does not Meet
Front (along Northwest Highway)	25 FT	24.5 FT	NO
Rear	30 FT	7.39 FT	NO – Variation granted
Exterior Side (along Carlyle Place)	20 FT	14.04 FT	NO
Interior Side	10 FT (10% of Lot Width)	10 FT (This appears to be 10', a to-scale plat must be provided)	YES

In 2014, the Zoning Board of Appeals granted a variation for this property to allow the attached garage 7.39 feet from the rear property line.

Traffic & Parking Issues

Per Chapter 28, two parking spaces are required per dwelling unit. Therefore, 12 parking spaces would be required for a 6-unit building. It appears that there are 12 parking spaces on the site – 9 surface spaces and 3 spaces within the garage. At the ZBA meeting on August 11, 2014, the petitioner stated that one space within the attached garage will be used for storing maintenance equipment. In that case, there would be a deficit of 1 space. As part of the formal application, the petitioner should clarify how many parking spaces are available within the garage.

Recommendation

On July 14, 2015, the Staff Development Committee reviewed the proposed request and is generally supportive, subject to the following conditions:

1. Provide a written justification for each variation based on the following hardship criteria:
 - **The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and**
 - **The plight of the owner is due to unique circumstances; and**
 - **The variation, if granted, will not alter the essential character of the locality.**
2. As part of the formal Plan Commission application, the petitioner must provide clarification on how many parking spaces are available within the garage.
3. A Design Commission application must be submitted for the addition of the exterior stairs.
4. The west wall of the existing building faces a single family residential street. It is recommended that the stair be built within an enclosed addition to the building, or otherwise screened from view. A different configuration for the stairway should be considered to keep it closer to the existing building wall.
5. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

_____, July 16, 2015

Bill Enright, Deputy Director of Planning and Community Development

C: Randy Recklaus, Village Manager
All Department Heads

PUBLIC ALLEY
BITUMINOUS PAVEMENT

137.05'

20'-0" SIDE
SETBACK LINE
EXISTING ASPHALT
PARKING
-NO WORK

20'-0" REAR
SETBACK LINE

EXISTING ASPHALT PARKING
-NO WORK

BRICK & FRAME
3 CAR ATTACHED GARAGE

GRASS

1510 E NORTHWEST HWY
2-STORY
BRICK & FRAME

EXISTING CONC. PATIO

NEW STAIRS

GRASS

25'-0" FRONT
SETBACK LINE

GRASS

E NORTHWEST HWY

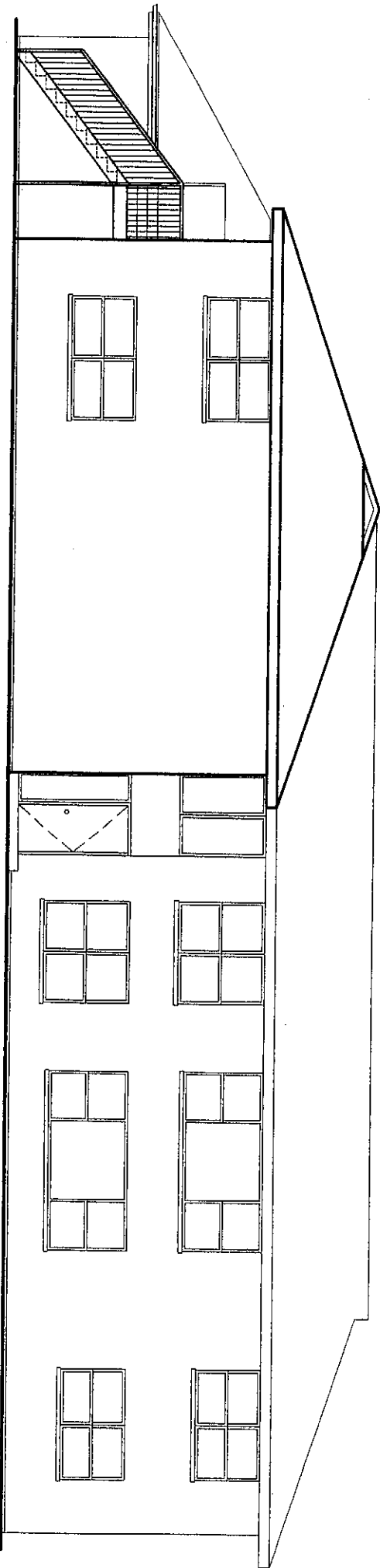
SITE PLAN

SCALE: 1/8"=1'-0"



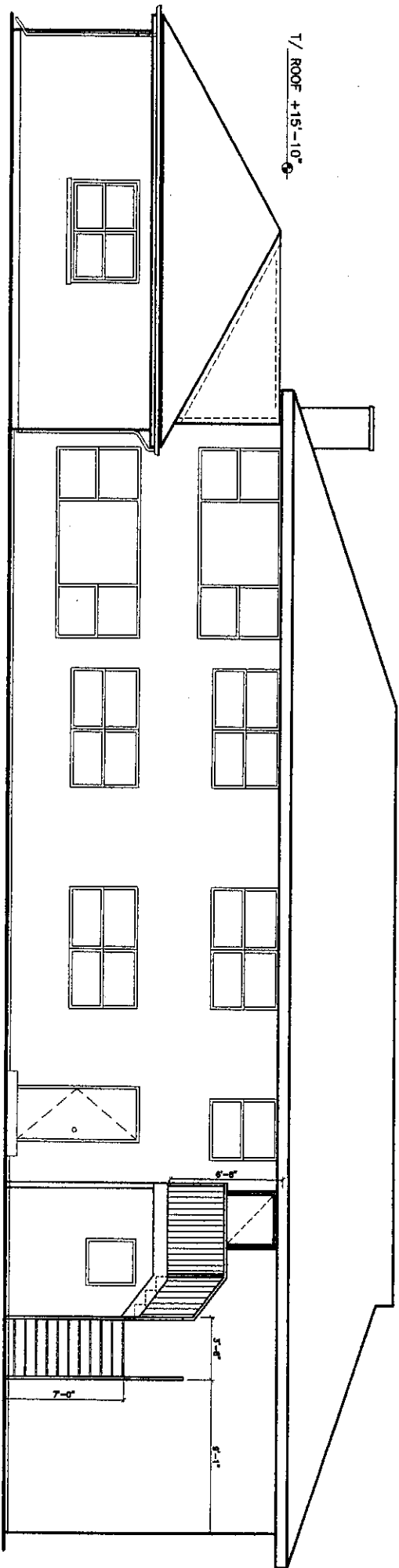
1510 E NW HWY

R-6



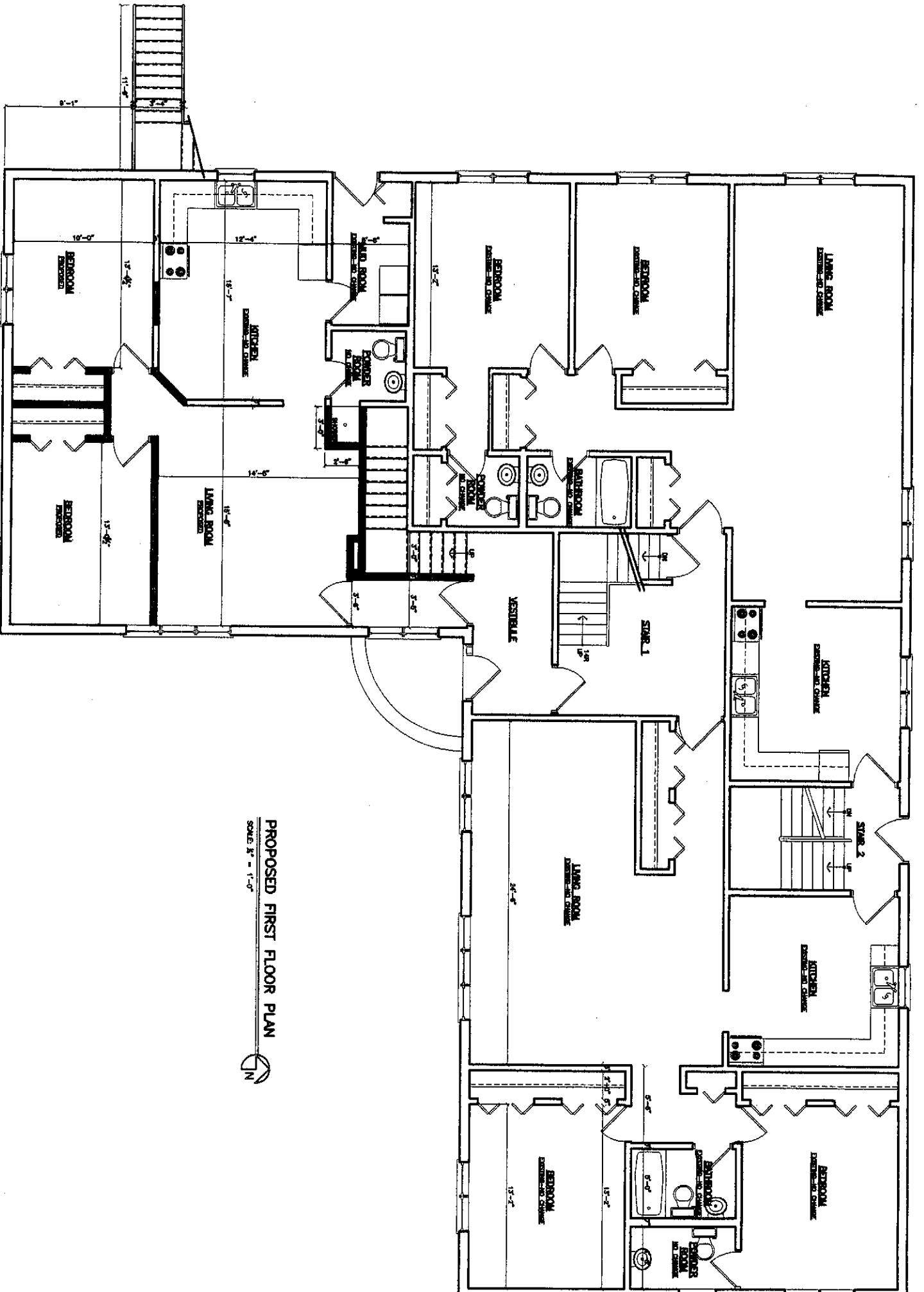
PROPOSED FRONT ELEVATION

SCALE: 3/16"=1'-0"

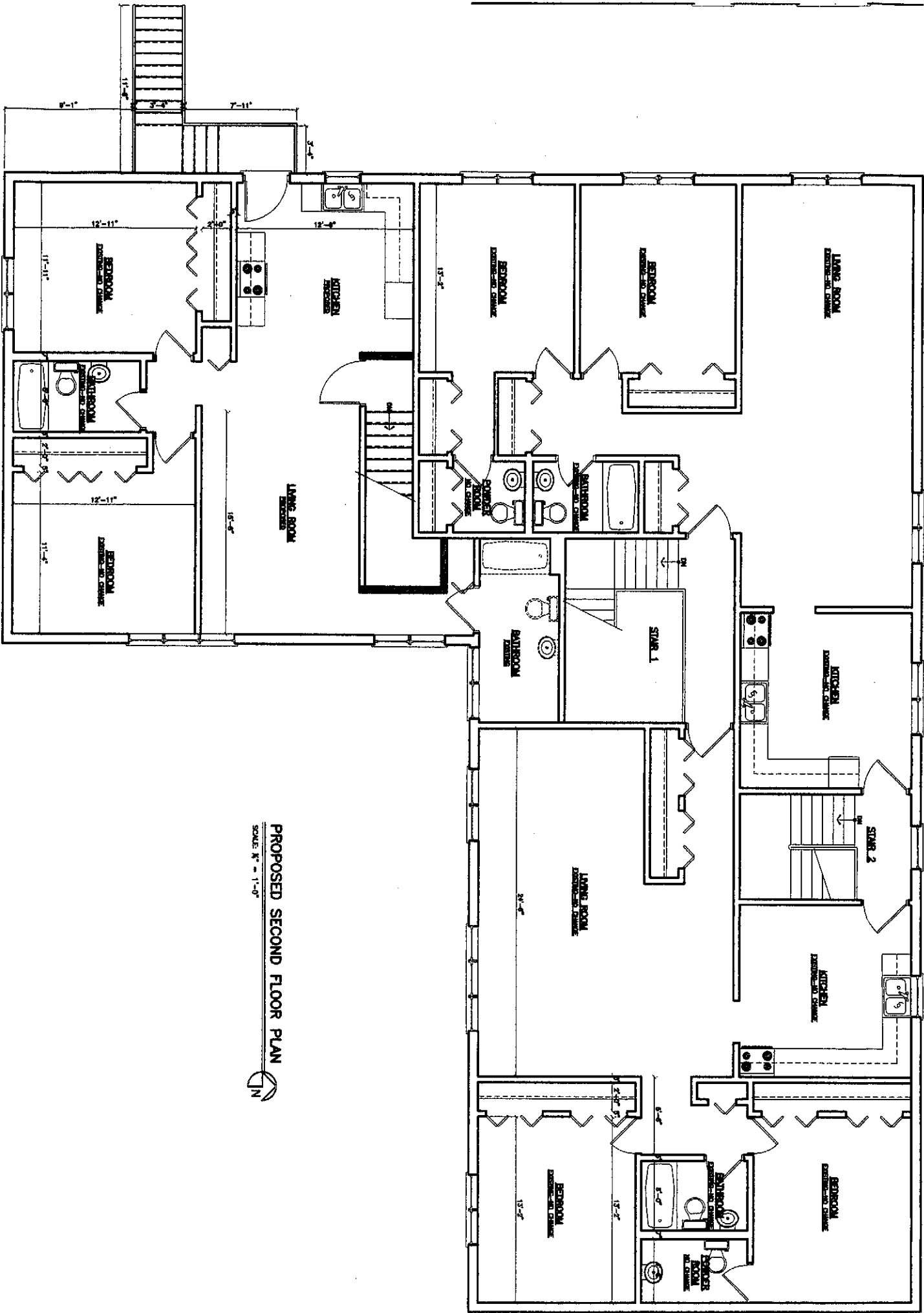


PROPOSED LEFT SIDE ELEVATION

SCALE: 3/16" = 1'-0"



PROPOSED FIRST FLOOR PLAN
 SCALE 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"





1510 E. Northwest Highway
Prepared by: Planning & Economic Development Department
Village of Arlington Heights
July 2015



Item: 608-614 N. Haddow Ave. - T1508

Department: Planning & Community Development

Requested Action

Preliminary Plat of Consolidation to consolidate the property at 608 and 614 N. Haddow Avenue.

Variations Required

1. A 6.8 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (garage/workshop) from 15 feet to 21.8 feet.
2. A 6.4 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (studio) from 15 feet to 21.4 feet.
3. A 6.0 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (playhouse) from 15 feet to 21 feet.
4. A 614 square foot variation from Chapter 28, Section 6.5-7 for a 914 square foot accessory structure for a two story studio where the maximum allowed is 300 square feet.
5. A 726 square foot variation from Chapter 28, Section 6.5-7 for a 1,446 square foot accessory structure for a two story detached garage where the maximum allowed is 720 square feet.
6. A 197 square foot variation from Chapter 28, Section 6.5-5 (Percentage of Rear Yard Occupied) to allow 1,717 square feet of the required rear yard to be occupied where the maximum allowed is 1,520 square feet (40%).

Recommendation

On June 30, 2015, the Staff Development Committee reviewed the proposed request. Before a recommendation can be rendered, additional information will be required as outlined below.

1. Provide a written justification for each variation based on the following hardship criteria:
 - The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and
 - The plight of the owner is due to unique circumstances; and
 - The variation, if granted, will not alter the essential character of the locality.
2. Submittal of a Final Plat of Consolidation.
3. A Design Commission application must be submitted for the proposed addition to the existing home.
4. Identify if there is electric, gas and plumbing to the accessory structures.
5. Identify what the basement will be used for that is shown for accessory structure 'B'.
6. Provide justification for the height variations.
7. Provide landscaping along the west property line to help buffer the three proposed accessory structures.
8. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:

Description

Staff Report

Supporting Documents & Drawings

Location Map

Type

Report

Exhibits

Exhibits

STAFF DEVELOPMENT COMMITTEE REPORT

To: Plat & Subdivision Committee
Prepared By: Derek Mach, Landscape Planner
Meeting Date: July 22, 2015
Date Prepared: July 15, 2015
Project Title: Lot Consolidation for 608-614 N. Haddow Avenue
Address: 608-614 N. Haddow Avenue

Background Information

Petitioner: Robert Flubacker
Address: Flubacker Architects
1835 Rohlwing Road
Arlington Heights, Illinois 60008

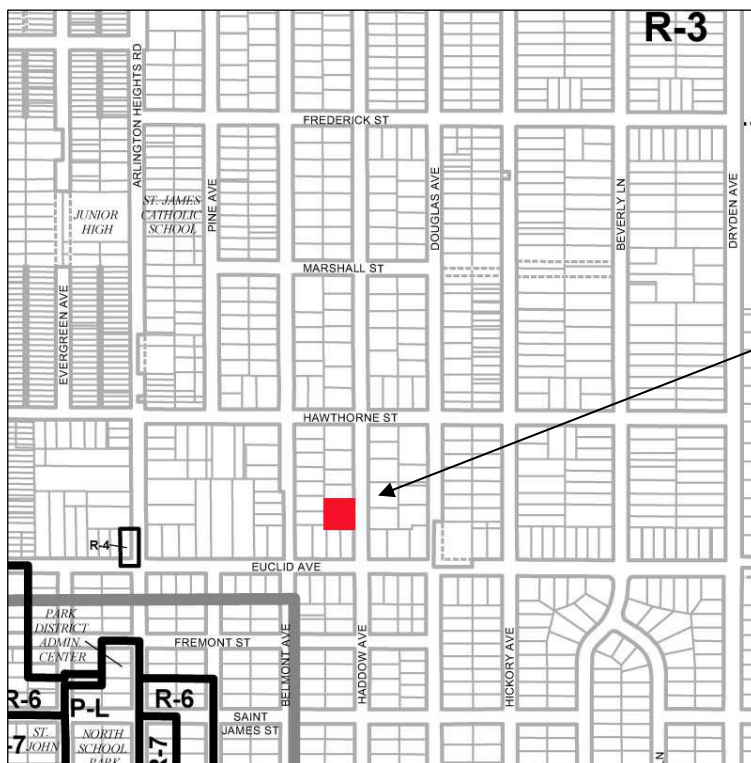
Existing Zoning: R-3, One Family Dwelling District

Requested Action:

- Preliminary Plat of Consolidation to consolidate the property at 608 and 614 N. Haddow Avenue.

Variations Required:

- A 6.8 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (garage/workshop) from 15 feet to 21.8 feet.
- A 6.4 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (studio) from 15 feet to 21.4 feet.
- A 6.0 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (playhouse) from 15 feet to 21 feet.
- A 614 square foot variation from Chapter 28, Section 6.5-7 for a 914 square foot accessory structure for a two story studio where the maximum allowed is 300 square feet.
- A 726 square foot variation from Chapter 28, Section 6.5-7 for a 1,446 square foot accessory structure for a two story detached garage where the maximum allowed is 720 square feet.
- A 197 square foot variation from Chapter 28, Section 6.5-5 (Percentage of Rear Yard Occupied) to allow 1,717 square feet of the required rear yard to be occupied where the maximum allowed is 1,520 square feet (40%).



Subject Site

Surrounding Properties:

	Zoning	Use	Comprehensive Plan
North	R-3, One Family Dwelling District	Single Family Residence	Single Family Detached
South	R-3, One Family Dwelling District	Single Family Residence	Single Family Detached
East	R-3, One Family Dwelling District	Single Family Residence	Single Family Detached
West	R-3, One Family Dwelling District	Single Family Residence	Single Family Detached

Project Summary

The subject site consists of one zoning lot that are comprised of two 66' wide parcels. The two parcels are 132 feet deep. The site is located on the west side of Haddow Avenue, north of Euclid Avenue. The total area of the subject site is 17,425 square feet. There is an existing two story home located on 614 N. Haddow Avenue and 608 N. Haddow is vacant with landscaping. The two parcels at 608 and 614 N. Haddow Avenue are proposed to be consolidated into a 132 foot wide lot. The petitioner's intent is to consolidate the two parcels and construct three accessory structures and a small addition to the rear of the home.

If approved, the property owner at 614 N. Haddow would construct three accessory structures. The petitioner will relocate the existing garage to the south and add a second story, construct a two story detached garage and construct a play house. The proposed action, if approved, would allow the Petitioner to construct an accessory structure on 608 N. Haddow. Pursuant to Chapter 28, Section 6.5-4, no accessory structure shall be constructed prior to the time of construction of the principal building to which it is accessory. The property was under common ownership prior to 2003; however, in 2001 the lot to the south (608 S. Haddow) was sold and the two parcels were no longer under common ownership. Per Chapter 29, Section 104b, No person shall consolidate residentially zoned lots which come under common ownership after November 1, 2003. In 2001, a previous owner of 608 N. Haddow did pursue a variation from the Zoning Board of Appeals in order to make 608 N. Haddow Avenue a buildable lot. The variation requested from ZBA was for a substandard 66 foot wide lot with an area of 8,712 where code requires 70 feet in width and 8,750 in area. The request was denied. As part of the preliminary review process, Staff evaluated the relationship of the new lots to the Zoning regulations (see Table 1).

Table 1: Analysis

Zoning Requirements	Minimum Lot Area		Minimum Lot Width		Front Yard Setback	Side Yard Setback	Rear Yard Setback	Corner Side Yard Setback
Typical R-3 Lot	Corner 9,900 SF	Standard 8,750 SF	Corner 90 FT	Standard 70 FT	Block Average (Must be calculated)	10% of Lot width (at least 7 feet)	30 FT	Average or 10% of lot width
Proposed Lot (608 & 614 N. Haddow)	N/A	17,424 SF	N/A	132 FT	N/A	13.2 feet	48 feet	N/A
624 N. Haddow	N/A	17,424 SF	N/A	132 FT	N/A	N/A	N/A	N/A
626 N. Haddow	N/A	11,352 SF	N/A	86 FT	N/A	N/A	N/A	N/A
630 N. Haddow	N/A	14,784	N/A	112 FT	N/A	N/A	N/A	N/A

Zoning and Comprehensive Plan

Pursuant to the Village's Comprehensive Plan, the properties are designated Single Family Detached. The proposed consolidation would be consistent with the Village's Comprehensive Plan. There are currently four zoning lots that front on the west side of Haddow Avenue between Euclid and Hawthorn Street. Of those lots, one lot is 132 feet wide, one is 112 feet wide

and one is 86 feet wide. If the consolidation was approved, the subject lot would be 132 feet in width. The proposed lot consolidation meets the R-3 standards and is consistent with the existing lots on the west side of Haddow Avenue relative to lot area and width (see Table 1 above). Per Chapter 28, Section 5.1-3.6, a minimum side yard of ten percent of the lot width is required. Therefore for 132 foot wide lots, a side yard of 13.2 feet is required. The existing home at 614 N. Haddow is setback 13.2 feet from the north property line to the proposed addition.

In addition to consolidating, the petitioner is proposing four accessory structures, three of which require variations. The petitioner is proposing a playhouse, studio, detached garage and a pergola. Pursuant to Chapter 28, Section 6.5-5, accessory structures may not occupy more than 40% of the required rear yard. The proposed four structures exceed the 40%. Therefore the petitioner requests the following variations:

- A 197 square foot variation from Chapter 28, Section 6.5-5 (Percentage of Rear Yard Occupied) to allow 1,717 square feet of the required rear yard to be occupied where the maximum allowed is 1,520 square feet (40%).

Playhouse (Accessory Structure A)

The petitioner is proposing a 296 square foot play house that is 21 feet high with the cupola. Therefore the petitioner requests the following variation:

- A 6.0 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (playhouse) from 15 feet to 21 feet.

Studio (Accessory Structure B)

The petitioner is proposing to relocate the existing garage and create a two story studio with a basement. Therefore the petitioner requests the following variations:

- A 6.4 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (studio) from 15 feet to 21.4 feet.
- A 614 square foot variation from Chapter 28, Section 6.5 for a 914 square foot accessory structure for a two story studio where the maximum allowed is 300 square feet.

Garage/Workshop (Accessory Structure C)

The petitioner is proposing a new two story detached garage with a workshop on the second level. Therefore the petitioner requests the following variations:

- A 6.8 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure (garage/workshop) from 15 feet to 21.8 feet.
- A 726 square foot variation from Chapter 28, Section 6.5 for a 1,446 square foot accessory structure for a two story detached garage where the maximum allowed is 720 square feet.

As part of the formal review process, the Petitioner must provide a written justification for each variation that is based on the following hardship criteria listed below. Moreover, if said request is approved by the Village Board, Staff would recommend that these variations only apply to the existing structures, while all new structures would need to comply with current code standards.

- **The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and**
- **The plight of the owner is due to unique circumstances; and**
- **The variation, if granted, will not alter the essential character of the locality.**

Building, Site, and Landscape Related Issues

An addition to the existing home shall require a Design Commission application to be submitted and approved prior to the issuance of a building permit. The petitioner is proposing a code compliant addition that is approximately 375 square feet as part of the project. The addition is located in the rear of the home in the northwest corner. It is recommended that if the three accessory structures are approved, that landscaping be provided along the west property line in order to buffer the proposed accessory structures.

Traffic & Parking Issues

According to the Village's Subdivision Control Regulations and Zoning Ordinance, a traffic study is required for residential developments that have at least 100 dwelling units or more. Since the Petitioner is only proposing a two-lot development a formal traffic study by a certified Traffic Engineer is not required.

Recommendation

On June 30, 2015, the Staff Development Committee reviewed the proposed request. Before a recommendation can be rendered, additional information will be required as outlined below.

1. Provide a written justification for each variation based on the following hardship criteria:
 - **The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and**
 - **The plight of the owner is due to unique circumstances; and**
 - **The variation, if granted, will not alter the essential character of the locality.**
2. Submittal of a Final Plat of Consolidation.
3. A Design Commission application must be submitted for the proposed addition to the existing home.
4. Identify if there is electric, gas and plumbing to the accessory structures.
5. Identify what the basement will be used for that is shown for accessory structure 'B'.
6. Provide justification for the height variations.
7. Provide landscaping along the west property line to help buffer the three proposed accessory structures.
8. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

July 16, 2015

Bill Enright, Deputy Director of Planning and Community Development

C: Randy Recklaus, Village Manager
All Department Heads

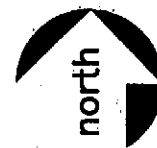
PLAT OF SURVEY

of

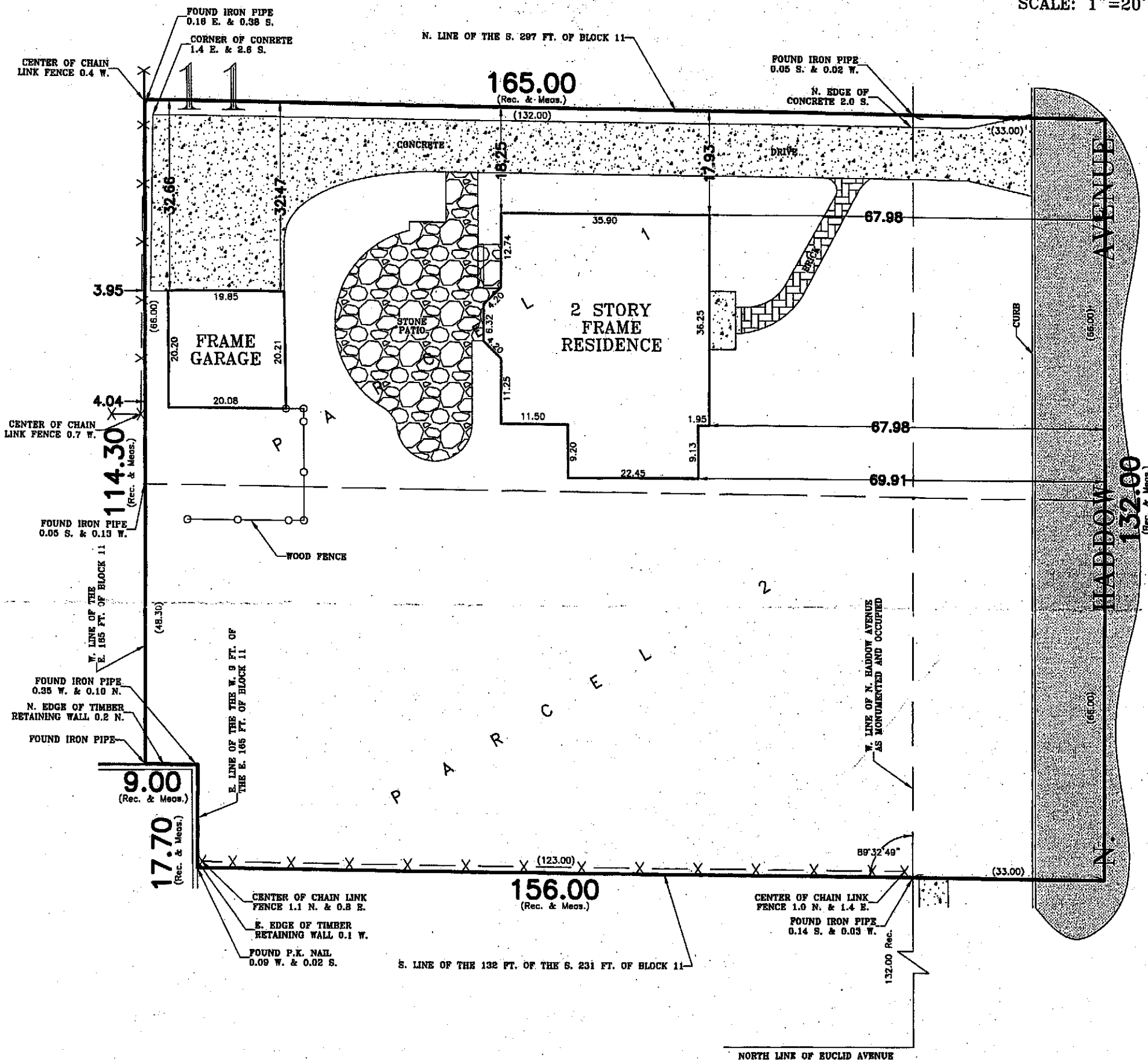
PARCEL 1: THE NORTH 66 FEET OF THE SOUTH 297 FEET OF THE EAST 165 FEET OF BLOCK 11 IN D. W. MILLER'S ARLINGTON HEIGHTS ACRE ADDITION IN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL 2: THE NORTH 66 FEET OF THE SOUTH 231 FEET OF THE EAST 165 FEET OF BLOCK 11, MEASURED FROM THE THE CENTER OF STREET, (EXCEPT THE WEST 9 FEET OF THE SOUTH 17.7 FEET OF SAID TRACT), IN D. W. MILLER'S ARLINGTON HEIGHTS ACRE ADDITION IN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

ADDRESS: 614 N. HADDOW AVENUE, ARLINGTON HEIGHTS, ILLINOIS



SCALE: 1"=20'



GENERAL NOTES:

- 1) THE LEGAL DESCRIPTION HAS BEEN PROVIDED BY THE CLIENT OR THEIR AGENT.
- 2) THIS SURVEY SHOWS THE BUILDING LINES AND EASEMENTS AS INDICATED BY THE RECORDED PLAT. THIS PLAT DOES NOT SHOW ANY RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES UNLESS SUPPLIED BY THE CLIENT.
- 3) BASIS OF BEARING FOR THIS SURVEY IS AS THE NORTH ARROW INDICATES, AND IS SHOWN TO INDICATE THE ANGULAR RELATIONSHIP OF THE BOUNDARY LINES.
- 4) MONUMENTS, IF SET, DURING THIS SURVEY, REPRESENT THE TRUE CORNERS OF THIS DESCRIPTION AS SURVEYED.
- 5) LOCATION OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY. NO EXTRAPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN HEREON.
- 6) ONLY COPIES WITH AN ORIGINAL SIGNATURE AND SEAL ARE OFFICIAL LEGAL DOCUMENTS. ALL SURVEYS ARE COPYRIGHTED MATERIALS WITH ALL RIGHTS RESERVED.

STATE OF ILLINOIS)
S.S.
COUNTY OF COOK)

SURVEY ORDERED BY: THOMAS D. RESNICK

I, JOSEPH P. MAIKISCH, AS AN EMPLOYEE OF PREFERRED SURVEY INC., DO HEREBY STATE THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARD FOR A BOUNDARY SURVEY. PROPERTY CORNERS HAVE BEEN SET OR NOT IN ACCORDANCE WITH CLIENT AGREEMENT. DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT.

GIVEN UNDER MY HAND AND SEAL THIS
22ND DAY OF MAY

MY LICENSE EXPIRES ON 12/30/18 BRIDGEVIEW, ILLINOIS

P.S.I. NO. 1296617

Professional Design Registration #184-002795

PREFERRED SURVEY, INC.

7845 W. 79TH STREET, BRIDGEVIEW, IL, 60455

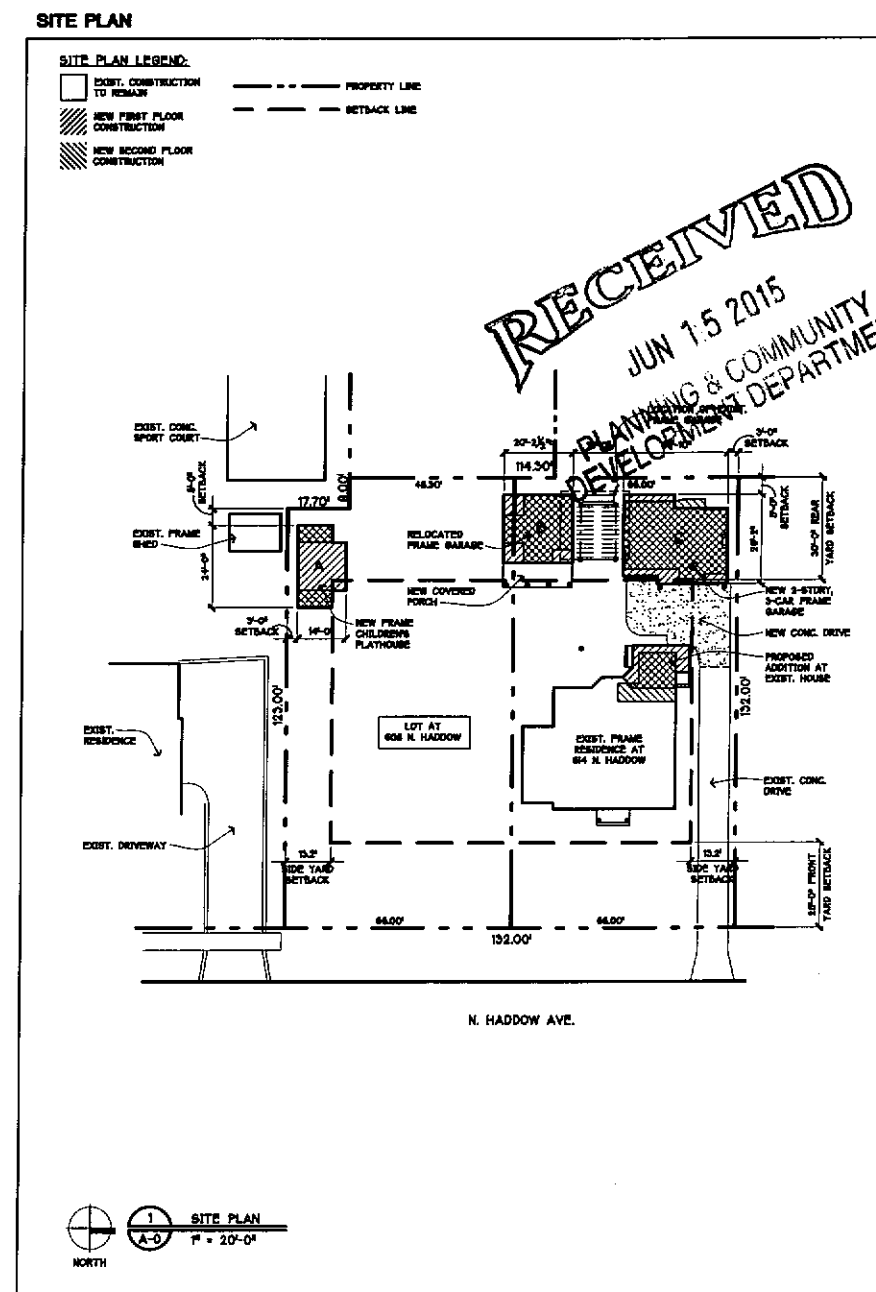
Phone 708-458-7845 / Fax 708-458-7855

www.psisurvey.com



Field Work Completed	05/17/12	FLD CREW:	CD/GZ
Land Area Surveyed	PARCEL 1: 10,889.7 Sq. Ft.	CAD:	EH
	PARCEL 2: 10,730.4 Sq. Ft.		
	TOTAL: 21,620.1 Sq. Ft.		
Drawing Revised			

**ALTERATIONS AND ADDITIONS FOR
THE KURZYNSKI
RESIDENCE
614 N. HADDOW AVE.
ARLINGTON HTS., ILLINOIS**

[illegible][illegible]

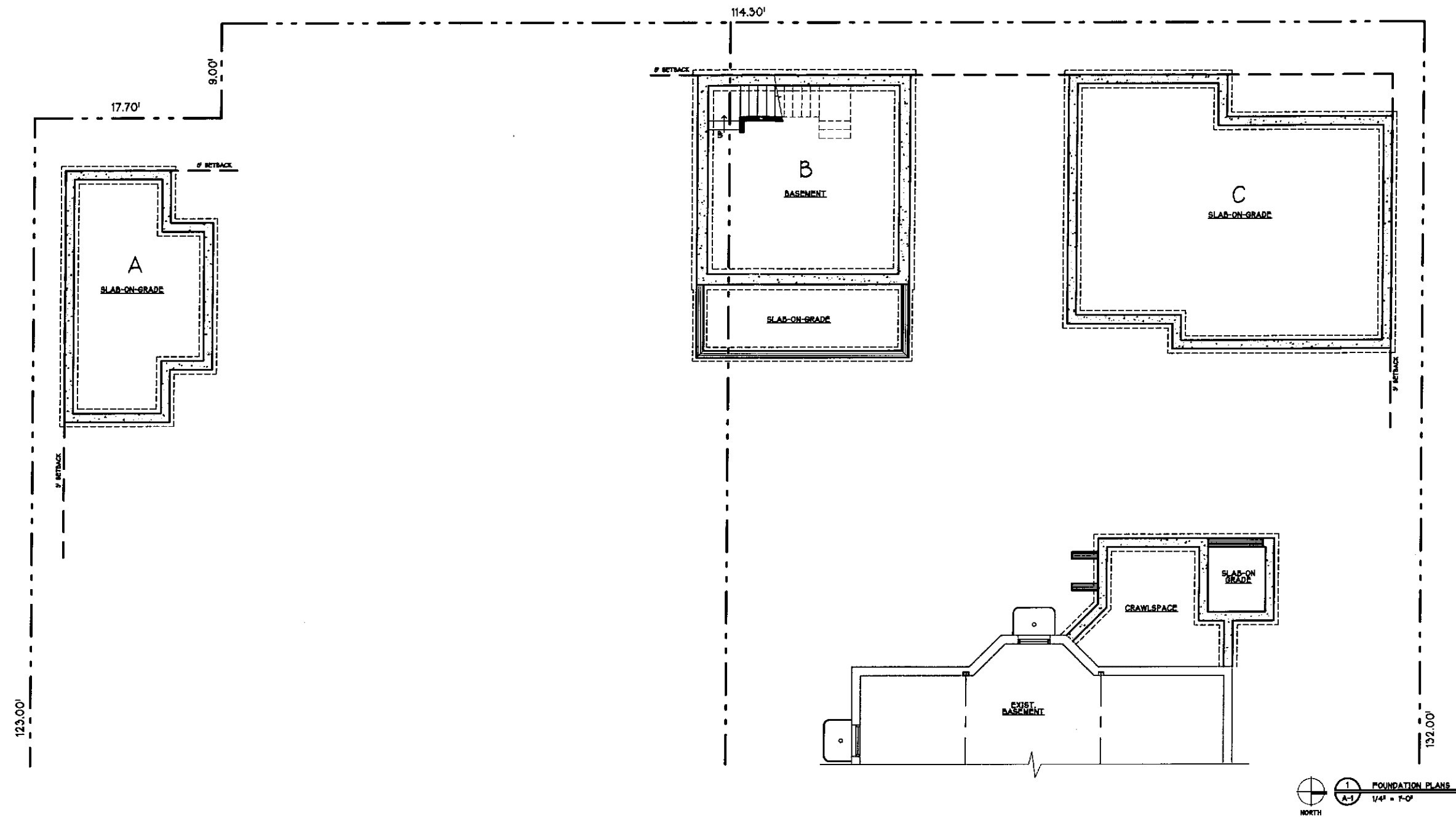
LIST OF DRAWINGS

A-0	TITLE SHEET / SITE PLAN
A-1	FOUNDATION PLANS
A-2	FIRST FLOOR PLANS
A-3	SECOND FLOOR PLANS
A-4	EXTERIOR ELEVATIONS

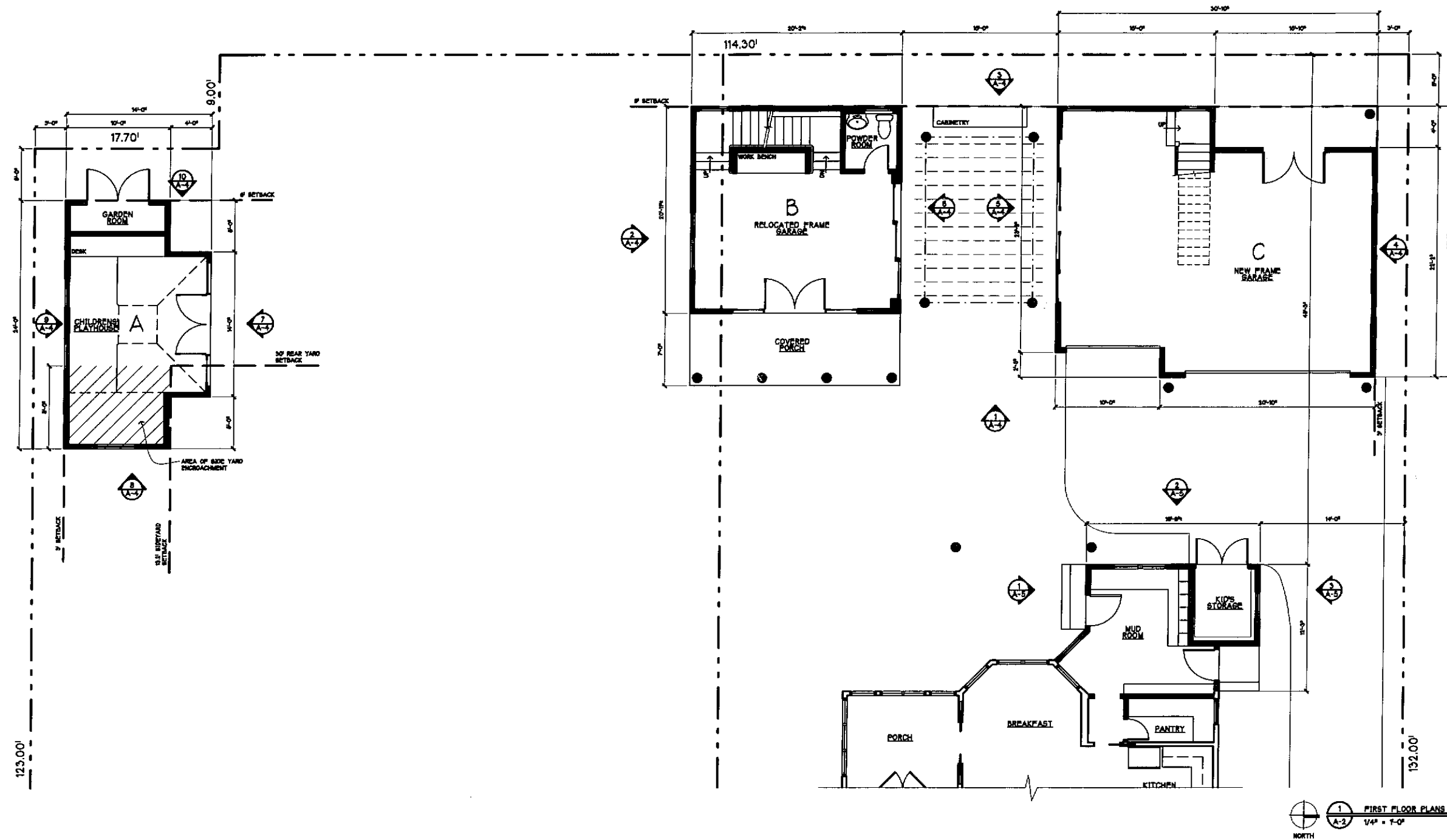
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**ALTERATIONS AND ADDITION FOR
THE KURZYNSKI RESIDENCE**
614 N. HADDOW AVE.
ARLINGTON HEIGHTS, ILLINOIS

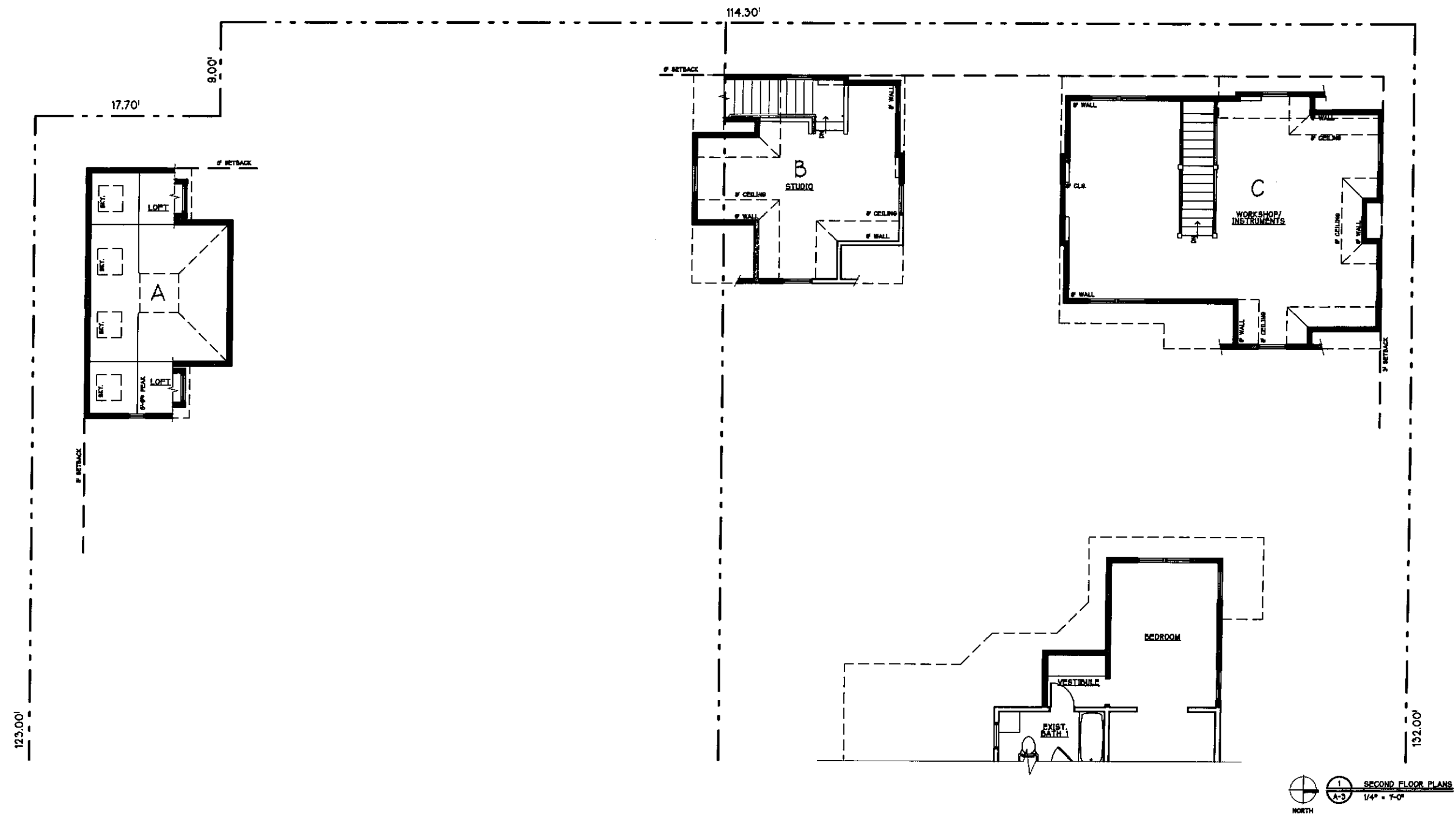
Date	Description
12.15	Z&A
SCHIS R.F.A. LTD.	
Project Number	
15014	

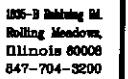


Date	Description
5.12.15	ZBA



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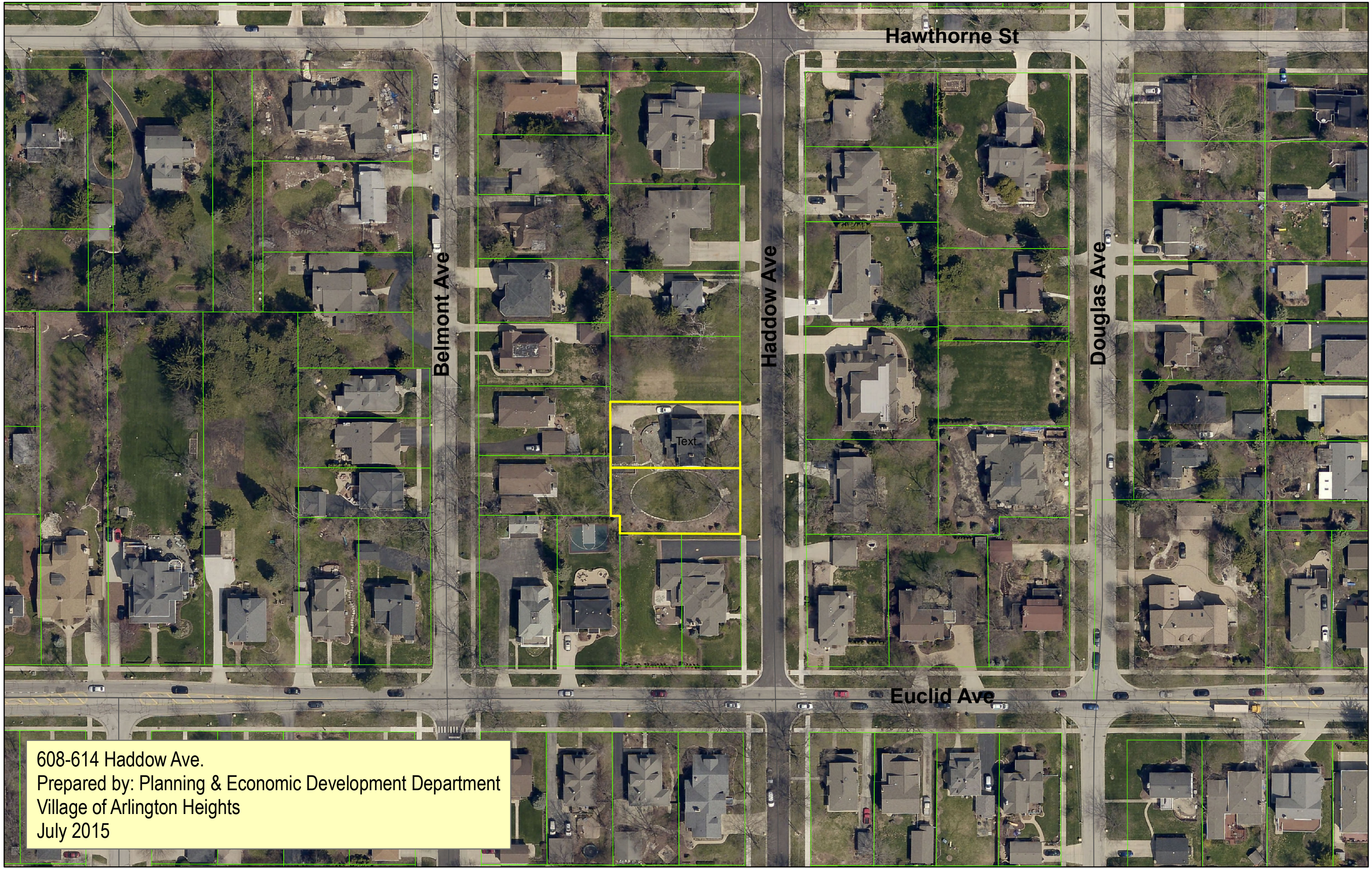
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ALTERATIONS AND ADDITION FOR
THE KURZYNSKI RESIDENCE
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ARLINGTON HEIGHTS, ILLINOIS

[illegible]

A-5



Hawthorne St

Belmont Ave

Haddow Ave

Douglas Ave

Euclid Ave

Text

608-614 Haddow Ave.
Prepared by: Planning & Economic Development Department
Village of Arlington Heights
July 2015