



Agenda
Village of Arlington Heights
Design Commission
Community Room, 3rd Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
July 12, 2016
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. DC#16-071 - 444 S. Lincoln Ln. - SF/Teardown
- B. DC#16-068 - 924 N. Ridge Ave. - SF/Teardown
- C. DC#16-074 - 9 E. Hawthorne St. - SF/Teardown

VII. OTHER BUSINESS

- A. Alan F. Bombick Award

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: DC#16-071 - 444 S. Lincoln Ln. - SF/Teardown

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission evaluate the design for the proposed new single-family residence to be located at 444 N. Lincoln Avenue. This recommendation is subject to compliance with the architectural plans dated 6/14/16 and received 6/15/16, and the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with Design Commission and any other Commission or Board approval conditions. It is the petitioner's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit, and signage requirements.
2. Compliance with all Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report
Drawings & Documents

Type

Board or Commission Report
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 444 S. Lincoln Ave.
Project Address: 444 S. Lincoln Ave.
Prepared By: Steve Hautzinger

Date Prepared: July 6, 2016

PETITION INFORMATION:

DC Number: 16-071
Petitioner Name: Kevin Geist
Petitioner Address: Michael Abraham Architecture
148 Burlington Ave.
Clarendon Hills, IL 60514
Meeting Date: July 12, 2016

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to demolish an existing two-story house with attached two car garage to allow construction of a new two-story residence with an attached two car garage and a detached one car garage. The existing house on the site has fallen into a state of disrepair. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 10,550 square feet and the proposed residence will have 3,919 square feet. The proposed house does comply with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 25 feet Side: 8.02 feet Exterior Side: 10.8 feet Rear: 30 feet	Front: 25.08 feet Side: 10.42 feet Exterior Side: 10.92 feet Rear: 32.25 feet
Building Height	25 feet to the midpoint	25 feet to the midpoint
FAR	4,658 SF	3,919 SF
Building Lot Coverage	3,692 SF	3,687 SF
Impervious Surface Coverage Total	5,275 SF	4,781 SF

Overall, the proposed design is very nicely done with an excellent level of detailing on all sides of the house and a unique architectural style. The scale of the proposed house fits in well with the surrounding homes, and the garage is thoughtfully arranged as a side load garage on the rear of the home, with a separate detached garage for a third car. The design includes a large wrapping front porch which is a great focal point on the corner lot.

This project is appearing before the Design Commission to evaluate the proposed design with the context of the neighborhood. The Scarsdale neighborhood is predominantly traditional style, two-story, colonial style homes with full or partial brick exteriors. Small entry porticos are also characteristic of the neighborhood. Some of the unique features of the proposed design include: a white painted siding exterior with contrasting dark bronze windows, a large covered front porch, and a sweeping one-and-a-half story roof line on the exterior side.

RECOMMENDATION:

It is recommended that the Design Commission **evaluate** the design for the proposed new single-family residence to be located at 444 N. Lincoln Avenue. This recommendation is subject to compliance with the architectural plans dated 6/14/16 and received 6/15/16, and the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In

addition to the normal technical review, permit drawings will be reviewed for consistency with Design Commission and any other Commission or Board approval conditions. It is the petitioner's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit, and signage requirements.

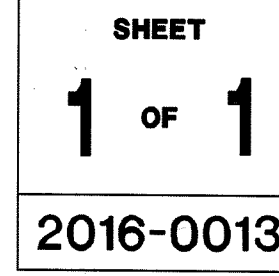
2. Compliance with all Federal, State, and Village codes, regulations and policies.

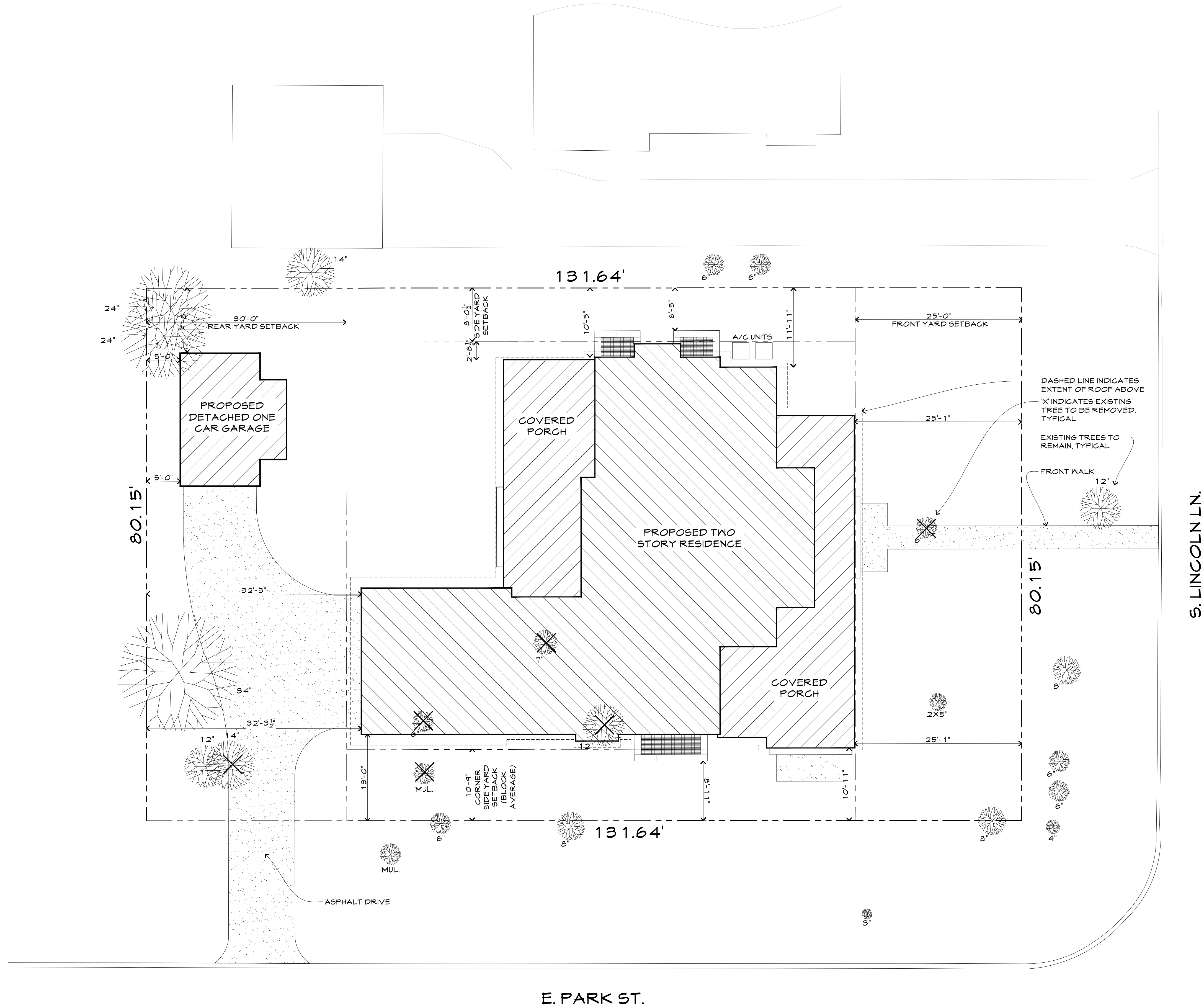
_____, July 6, 2016

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

C: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 16-071

COMMONLY KNOWN AS 444 S. LINCOLN LN., ARLINGTON HEIGHTS, ILLINOIS.

 BRICK/PAVER



TOTAL IMPERVIOUS
SURFACE AREA: 4,781 S.F.

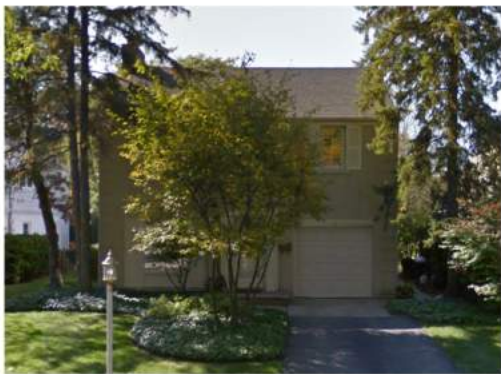
SITE PLAN

1/8" = 1'-0"

THE KNIGHT RESIDENCE
ARLINGTON HEIGHTS, IL

MICHAEL ABRAHAM
ARCHITECTURE

PARK ST. VIEW



508 S. LINCOLN LN.



504 S. LINCOLN LN.

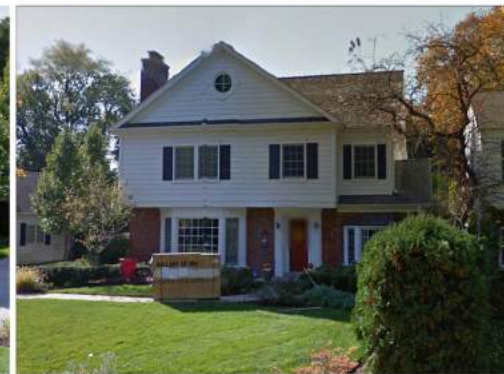


LINCOLN LN. VIEW
819 E. PARK ST.

ST.
V
P
A
P
W



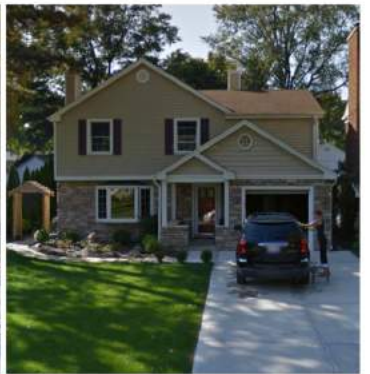
444 S. LINCOLN LN.



436 S. LINCOLN LN.



432 S. LINCOLN LN.



426 S. LINCOLN LN.

S. LINCOLN LN.

501 S. LINCOLN LN.



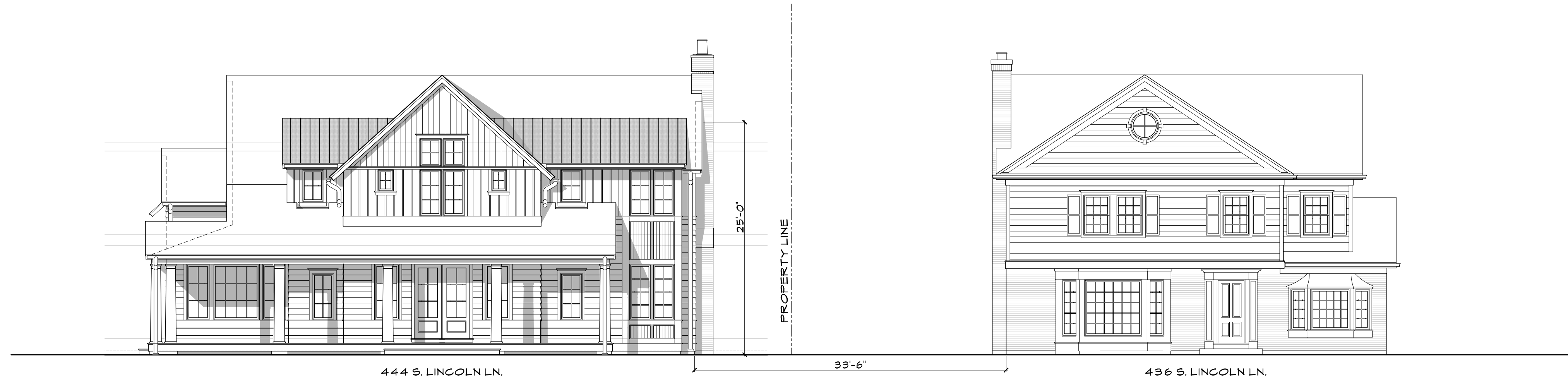
447 S. LINCOLN LN.



443 S. LINCOLN LN.

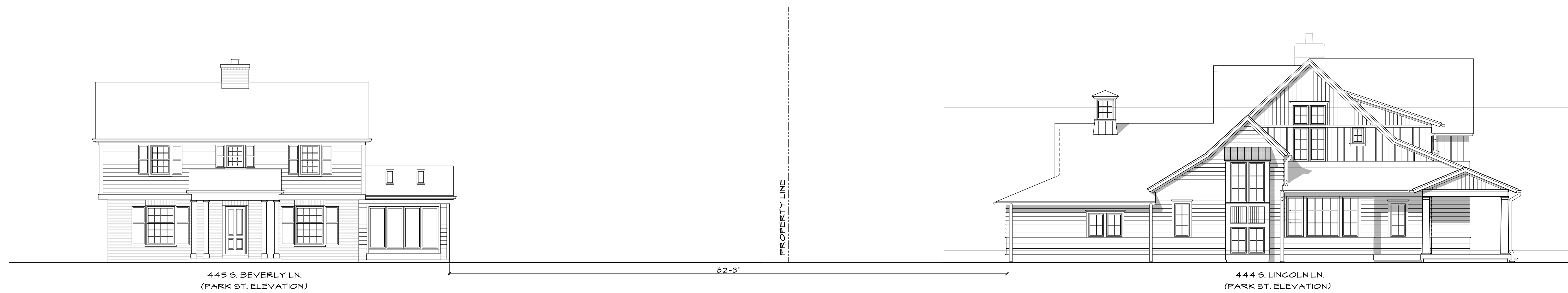


439 S LINCOLN LN.



PROPOSED CONTEXT ELEVATION - LINCOLN LN.

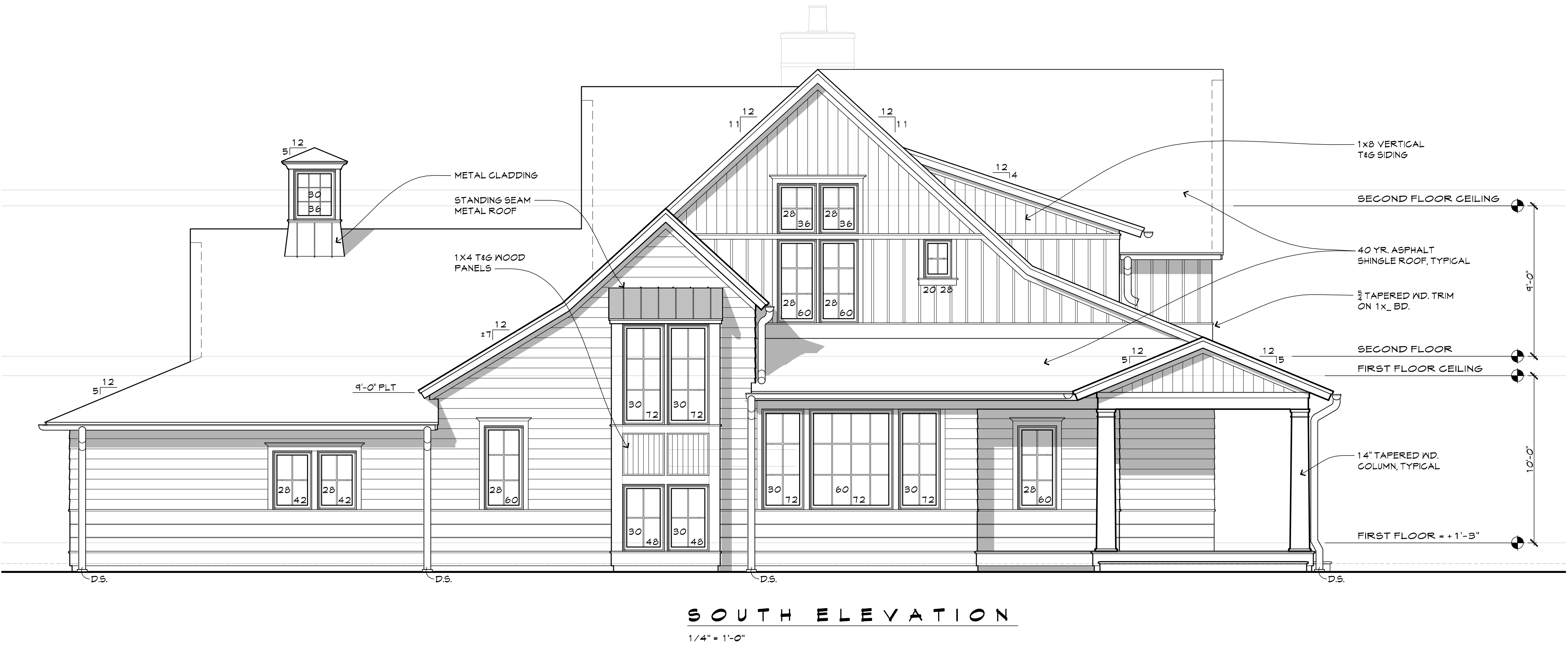
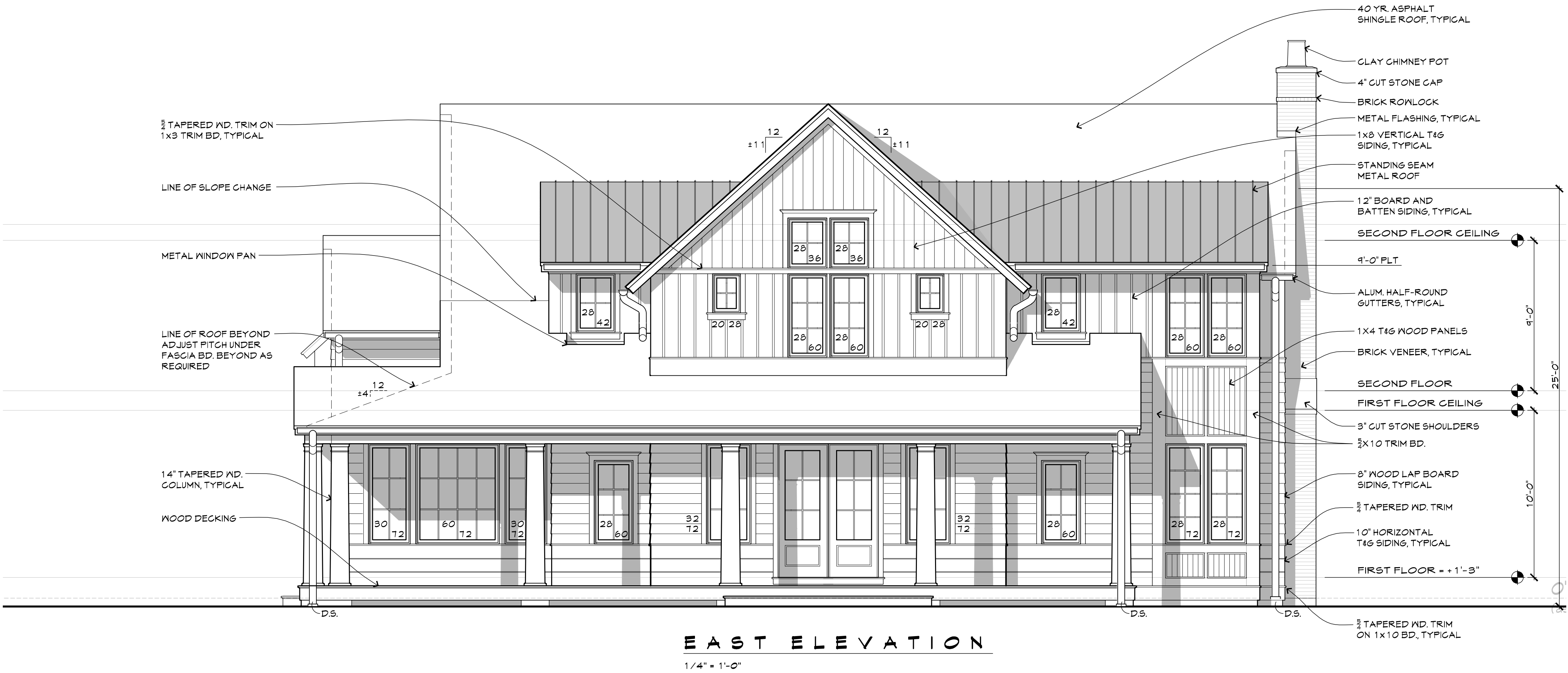
1/8" = 1'-0"



PROPOSED CONTEXT ELEVATION - PARK ST.

1/8" = 1'-0"

MATERIAL SCHEDULE			
ITEM	MATERIAL	MANUFACTURER	COLOR
ROOF - A	ASPHALT SHINGLES	GAF - TIMBERLINE	WEATHERED WOOD
ROOF - B	STANDING SEAM METAL	REVERE	FREEDOM GRAY
SIDING - A	8" CEDAR LAPBOARD	N/A	BENJAMIN MOORE #967 (CLOUD WHITE)
SIDING - B	CEDAR BOARD AND BATTEN	N/A	BENJAMIN MOORE #967 (CLOUD WHITE)
SIDING - C	1x8 CEDAR T&G, VERTICAL	N/A	BENJAMIN MOORE #967 (CLOUD WHITE)
TRIM / FASCIA	CEDAR	N/A	BENJAMIN MOORE #967 (CLOUD WHITE)
CHIMNEY	BRICK	BELDEN	TAN BLEND
GUTTERS	ALUMINUM HALF-ROUND	TO BE DETERMINED	WHITE
WINDOWS	ALUMINUM CLAD	JELD-WEN	DARK BRONZE
GARAGE DOOR	WOOD COMPOSITE	CUSTOM BY BUILDER	WHITE



MATERIAL SCHEDULE			
ITEM	MATERIAL	MANUFACTURER	COLOR
ROOF - A	ASPHALT SHINGLES	GAF - TIMBERLINE	WEATHERED WOOD
ROOF - B	STANDING SEAM METAL	REVERE	FREEDOM GRAY
SIDING - A	8" CEDAR LAPBOARD	N/A	BENJAMIN MOORE #967 (CLOUD WHITE)
SIDING - B	CEDAR BOARD AND BATTEN	N/A	BENJAMIN MOORE #967 (CLOUD WHITE)
SIDING - C	1x8 CEDAR T&G, VERTICAL	N/A	BENJAMIN MOORE #967 (CLOUD WHITE)
TRIM / FASCIA	CEDAR	N/A	BENJAMIN MOORE #967 (CLOUD WHITE)
CHIMNEY	BRICK	BELDEN	TAN BLEND
GUTTERS	ALUMINUM HALF-ROUND	TO BE DETERMINED	WHITE
WINDOWS	ALUMINUM CLAD	JELD-WEN	DARK BRONZE
GARAGE DOOR	WOOD COMPOSITE	CUSTOM BY BUILDER	WHITE



M A T E R I A L S C H E D U L E

ITEM	MATERIAL	MANUFACTURER	COLOR
ROOF - A	ASPHALT SHINGLES	GAF - TIMBERLINE	WEATHERED WOOD
ROOF - B	STANDING SEAM METAL	REVERE	FREEDOM GRAY
SIDING - A	8" CEDAR LAPBOARD	N/A	BENJAMIN MOORE #967 (CLOUD WHITE)
SIDING - B	CEDAR BOARD AND BATTEN	N/A	BENJAMIN MOORE #967 (CLOUD WHITE)
SIDING - C	1x8 CEDAR T&G, VERTICAL	N/A	BENJAMIN MOORE #967 (CLOUD WHITE)
TRIM / FASCIA	CEDAR	N/A	BENJAMIN MOORE #967 (CLOUD WHITE)
CHIMNEY	BRICK	BELDEN	TAN BLEND
GUTTERS	ALUMINUM HALF-ROUND	TO BE DETERMINED	WHITE
WINDOWS	ALUMINUM CLAD	JELD-WEN	DARK BRONZE
GARAGE DOOR	WOOD COMPOSITE	CUSTOM BY BUILDER	WHITE



Item: DC#16-068 - 924 N. Ridge Ave. - SF/Teardown

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission approve the design for the proposed new single-family residence to be located at 924 N. Ridge Avenue. This recommendation is subject to compliance with the architectural plans dated and received 6/22/16, and the following:

1. Consider increasing the depth of the front porch to align with the front of the garage.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with Design Commission and any other Commission or Board approval conditions. It is the petitioner's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit, and signage requirements.
3. Compliance with all Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report

Drawings & Documents

Type

Board or Commission Report

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 924 N. Ridge Ave.
Project Address: 924 N. Ridge Ave.
Prepared By: Steve Hautzinger

Date Prepared: July 6, 2016

PETITION INFORMATION:

DC Number: 16-068
Petitioner Name: John Sorenson
Petitioner Address: 31632 N. Ellis Road, #213
Volo, IL 60073
Meeting Date: July 12, 2016

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to demolish an existing one story house and detached garage to allow construction of a new two story residence with an attached two car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 6,590 square feet and the proposed residence will have 2,965 square feet. The project does comply with the R-3 zoning requirements as summarized below. However, a minimum 3" access easement is required to allow the neighboring property to the south to maintain a minimum 9 foot wide driveway to access their existing detached garage.

	ALLOWED	PROPOSED
Setbacks	Front: 25.5 feet Side: 5 feet Side: 5 feet Rear: 30 feet	Front: 25.97 feet Side: 5.1 feet Side: 6.25 feet Rear: 56 feet
Building Height	25 feet to the midpoint	24.6 feet to the midpoint
FAR	2,965 SF	2,965 SF
Building Lot Coverage	2,306 SF	1,885 SF
Impervious Surface Coverage Total	3,624 SF	2,871 SF

The existing neighborhood consists of a mix of single-story and one-and-a-half-story homes with predominantly detached garages. However, there are four examples of two-story homes on this block that were either teardowns or second floor additions.

Overall, the proposed design is nicely done with a traditional style and horizontal siding that fits with the style of the neighborhood. A detached garage would be ideal in this location, but the proposed attached garage is down played with a low pitched roof that ties into the single story front entry porch. The low hipped main roof on the house fits in well with the scale of the neighborhood. The only design suggestion is to increase the depth of the front porch to align it with the front of the garage.

RECOMMENDATION:

It is recommended that the Design Commission **approve** the design for the proposed new single-family residence to be located at 924 N. Ridge Avenue. This recommendation is subject to compliance with the architectural plans dated and received 6/22/16, and the following:

1. Consider increasing the depth of the front porch to align with the front of the garage.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with Design Commission and any other Commission or Board approval conditions. It is the petitioner's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit, and signage requirements.
3. Compliance with all Federal, State, and Village codes, regulations and policies.

July 8, 2016

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

C: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 16-068

PLAT OF SURVEY

LOT TWELVE (12) IN BLOCK ONE (1) IN R.A. CEPEK'S ARLINGTON RIDGE, BEING A SUBDIVISION OF THAT PART OF THE WEST HALF (EXCEPT THE EAST 33 FEET THEREOF) OF THE NORTHEAST QUARTER AND OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTHEASTERLY LINE OF NORTHWEST HIGHWAY, SAID NORTHEASTERLY LINE OF HIGHWAY BEING 66 FEET NORTHEASTERLY OF AND PARALLEL TO THE NORTHEASTERLY LINE OF CHICAGO AND NORTHWESTERN RAILWAY RIGHT OF WAY IN COOK COUNTY, ILLINOIS.

FILE

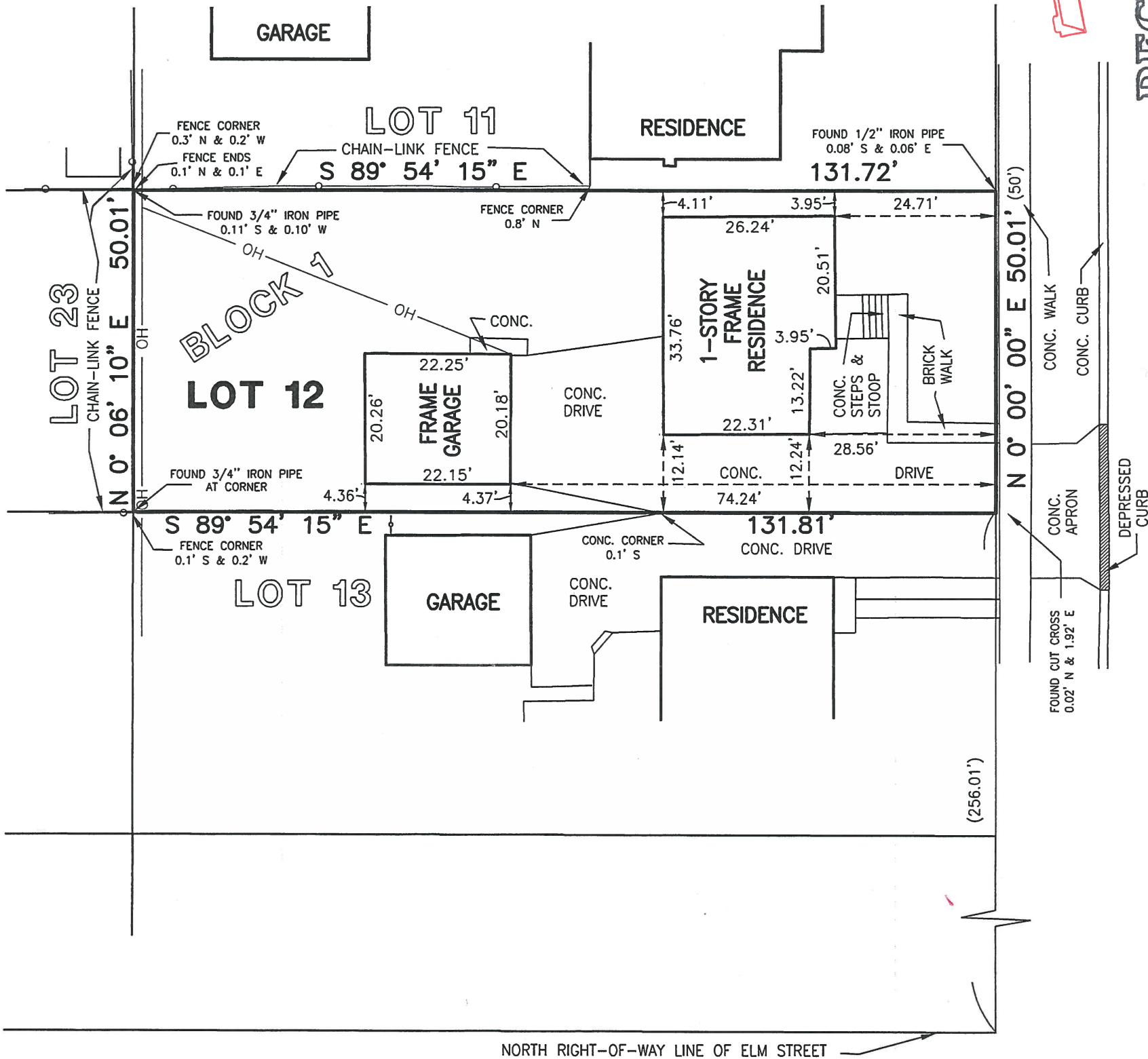
RECEIVED

JUN 02 2016

PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT

RIDGE AVENUE

ASPHALT PAVEMENT



LEGEND

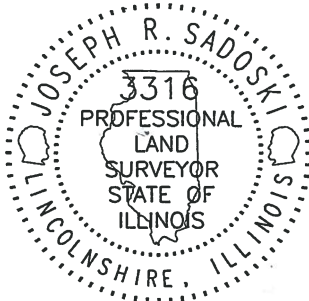
- POWER POLE
- OH OVERHEAD LINES

SURVEYORS NOTES:

- THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
- () DENOTES RECORD DIMENSION.
- BEARINGS HEREON SHOWN ARE ON AN ASSUMED BASIS.
- ORIGINAL CLIENT- U.S. SHELTER HOMES, LLC
- ORIGINAL FIELD WORK COMPLETED- 03-07-16

GENERAL NOTES:

- DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF.
- NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
- ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISION ARE SHOWN HEREON. THERE MAY BE ADDITIONAL TERMS, POWERS, PROVISIONS AND LIMITATIONS CONTAINED IN AN ABSTRACT DEED, LOCAL ORDINANCES, DEEDS, TRUSTS, COVENANTS OR OTHER INSTRUMENTS OF RECORD.
- COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.



AREA

6,590 Sq. Ft. OR 0.15 ACRES (MORE OR LESS)

STATE OF ILLINOIS }
COUNTY OF LAKE } SS

WE, GREENGARD INC., DO HEREBY STATE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 9TH DAY OF MARCH, A.D., 2016.

GREENGARD, INC.
111 BARCLAY BOULEVARD, SUITE 310
LINCOLNSHIRE, ILLINOIS 60069

JOSEPH R. SADOSKI
ILLINOIS
PROFESSIONAL LAND SURVEYOR NO. 3316
MY RENEWABLE LICENSE EXPIRES 11/30/16.

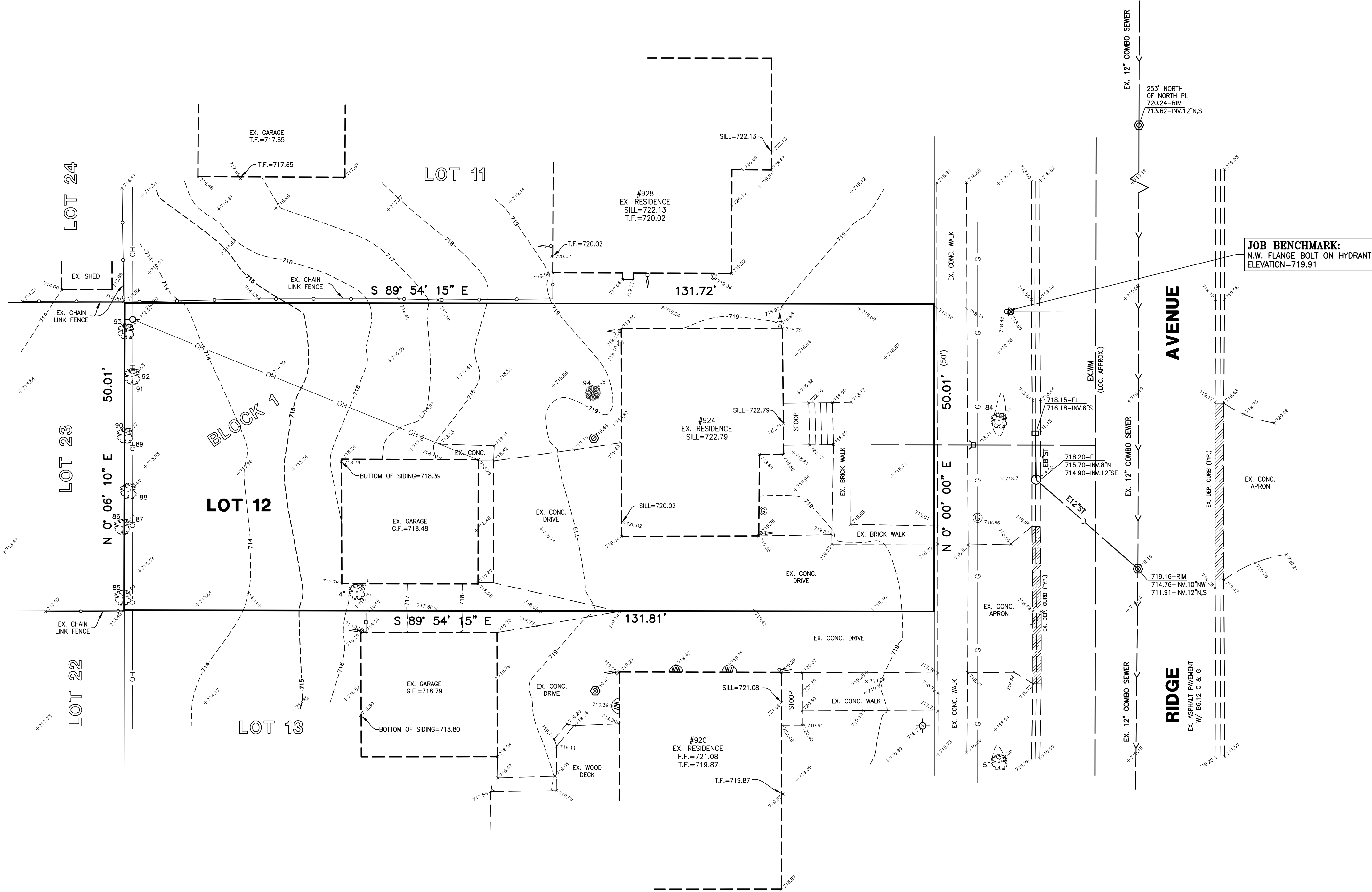
GREENGARD INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-2906
847/634-3883 E-MAIL: 231@greengardinc.com FAX: 847/634-0687

SCALE:	1"=20'
DRAWING No.	62039
SHEET	1 OF 1

924 N. RIDGE AVENUE - ARLINGTON HTS., ILLINOIS
PLAT OF SURVEY

LEGAL DESCRIPTION

LOT TWELVE (12) IN BLOCK ONE (1) IN R.A. CEPEK'S ARLINGTON RIDGE, BEING A SUBDIVISION OF THAT PART OF THE WEST HALF (EXCEPT THE EAST 33 FEET THEREOF) OF THE NORTHEAST QUARTER AND OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTHEASTERLY LINE OF NORTHWEST HIGHWAY, SAID NORTHEASTERLY LINE OF HIGHWAY BEING 66 FEET NORTHEASTERLY OF AND PARALLEL TO THE NORTHEASTERLY LINE OF CHICAGO AND NORTHWESTERN RAILWAY RIGHT OF WAY IN COOK COUNTY, ILLINOIS.



SOURCE BENCHMARK:
VILLAGE OF ARLINGTON HEIGHTS GPS
SURVEY MONUMENT. 3" DIA. BRONZE
DISK PLACED IN CONCRETE LOCATED
OAKTON ST AND KASPAR AVE.
ELEVATION=719.17 (NAVD 88)

JOB BENCHMARK:
N.W. FLANGE BOLT ON HYDRANT
ELEVATION=719.91

LEGEND

- 104 --- CONTOUR
- X 105.68 SPOT ELEVATION
- 10" DECIDUOUS TREE W/DIA.
- 12" CONIFEROUS TREE W/DIA.
- MANHOLE SANITARY MANHOLE
- MANHOLE STORM MANHOLE
- CATCH BASIN
- INLET
- WATER SERVICE BOX
- VALVE & VAULT
- FIRE HYDRANT
- UTILITY POLE
- LIGHT STANDARD
- STORM CULVERT
- 8" SA SANITARY SEWER
- 12" ST STORM SEWER
- 6" W WATER MAIN
- DITCH
- SWALE
- DIRECTION SURFACE DRAINAGE
- FENCE
- DOWNSPOUT

Tree Inventory			
TAG #	SIZE	SPECIES	CONDITION 1 - 6 (1=BEST - 6= DEAD)
84	17	Norway Maple	3
85	10	Buckthorn	4
86	7	Buckthorn	4
87	8	Mulberry	4
88	5	Siberian Elm	4
89	10	Mulberry	4
90	11	Mulberry	4
91	5	Mulberry	4
92	6	Mulberry	4
93	10	Mulberry	4
94	13	Yew	3
Lou Leggett			
Certified Arborist #177			
847-561-7061			

0 10 20 30 40
SCALE IN FEET

SOLE PROPERTY OF GREENGARD, INC. AND NO REPRODUCTION OR USE,
IN WHOLE OR PART WITHOUT WRITTEN PERMISSION OF GREENGARD, INC.

DRAWN BY: DATE:

REVISIONS

DRAWN BY: DATE:

REVISIONS

DESIGNED BY: AC DATE: 5-31-16
CHECKED BY: DRF DATE: 5-31-16
APPROVED BY: DRF DATE: 5-31-16



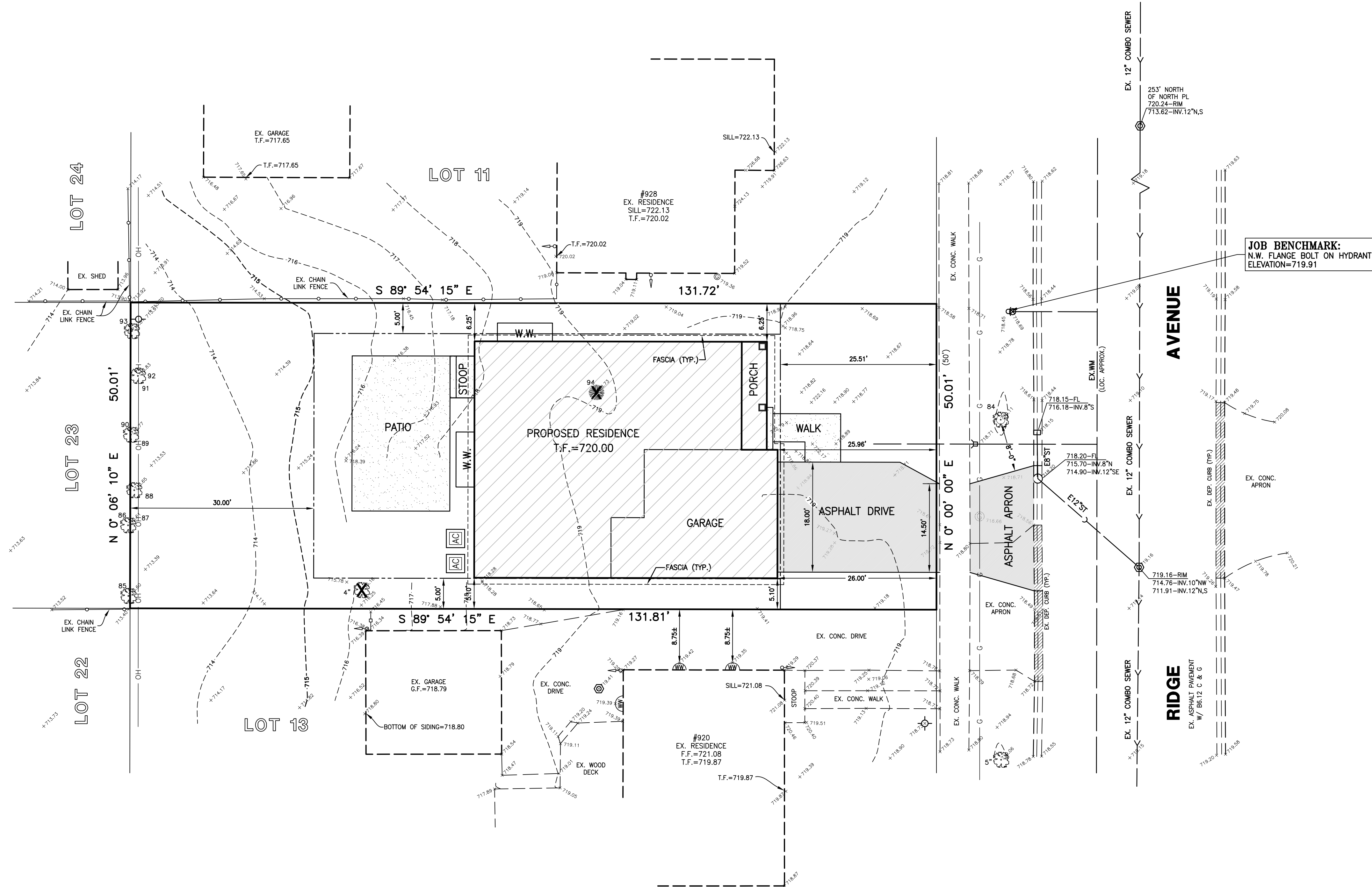
GREENGARD, INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3623
PHONE: 847-634-3883 FAX: 847-634-0687
E-MAIL: 231@GREENGARDINC.COM ILL. REGISTRATION NO. 184-000995

SCALE: 1"=10'
DRAWING No. 62039
SHEET 1 of 2

924 N. RIDGE AVENUE - ARLINGTON HEIGHTS, IL
EXISTING TOPOGRAPHY



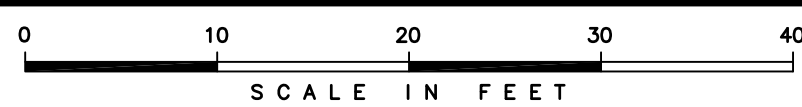
LOT COVERAGE TABLE	
LOT AREA	= 6,589 S.F.
EXISTING IMPERVIOUS AREAS	
HOUSE	= 837 S.F.
GARAGE	= 449 S.F.
DRIVE	= 1,144 S.F.
WALKS/STOOPS	= 187 S.F.
TOTAL EXISTING	= 2,617 S.F. (39.7%)
PROPOSED IMPERVIOUS AREAS	
HOUSE	= 1,885 S.F.
DRIVE	= 458 S.F.
WALKS/STOOPS	= 95 S.F.
PATIO	= 433 S.F.
TOTAL PROPOSED	= 2,871 S.F. (43.5%)
FRONT YARD IMPERVIOUS AREAS	
FRONT YARD	= 1,250 S.F.
TOTAL PROPOSED	= 503 S.F. (40.2%)
MAX ALLOWABLE (50%)	= 625 S.F.



SOURCE BENCHMARK:
VILLAGE OF ARLINGTON HEIGHTS GPS
SURVEY MONUMENT. 3" DIA. BRONZE
DISK PLACED IN CONCRETE LOCATED
OAKTON ST AND KASPAR AVE.
ELEVATION=719.17 (NAVD 88)

Tree Inventory			
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91	5	Mulberry	4
92	6	Mulberry	4
93	10	Mulberry	4
94	13	Yew	3
Lou Leggett Certified Arborist #177 847-561-7061			

LEGEND	
104	CONTOUR
X 105.08	SPOT ELEVATION
10"	DECIDUOUS TREE W/DIA.
12"	CONIFEROUS TREE W/DIA.
12"	SANITARY MANHOLE
12"	STORM MANHOLE
12"	CATCH BASIN
12"	INLET
12"	WATER SERVICE BOX
12"	VALVE & VAULT
12"	FIRE HYDRANT
12"	UTILITY POLE
12"	LIGHT STANDARD
12"	STORM CULVERT
12"	SANITARY SEWER
12"	STORM SEWER
12"	WATER MAIN
12"	DITCH
12"	SWALE
12"	DIRECTION SURFACE DRAINAGE
12"	FENCE
12"	DOWNSPOUT



SOLE PROPERTY OF GREENGARD, INC. AND NO REPRODUCTION OR USE,
IN WHOLE OR PART WITHOUT WRITTEN PERMISSION OF GREENGARD, INC.

AC 5-21-16 NEW SITE PLAN PER VILLAGE REVIEW

DRAWN BY: DATE: REVISIONS

DESIGNED BY: AC 5-31-16
CHECKED BY: DRF 5-31-16
APPROVED BY: DRF 5-31-16



GREENGARD, INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3623
PHONE: 847-634-3883 FAX: 847-634-0687
E-MAIL: 231@GREENGARDINC.COM
ILL. REGISTRATION NO. 184-000995

SCALE: 1"=10'
DRAWING No. 62039
SHEET 2 of 2

924 N. RIDGE AVENUE - ARLINGTON HEIGHTS, IL

SITE PLAN

Single Family Home Design Review
Street Scape - Existing
RE: 924 N. Ridge (June 1, 2016)



3 Left
912



2 Left
914



1 Left
920



Subject Property
924



Right 1
928



Right 2
932



Right 3
936

North Ridge Ave.

Property Across 1
919

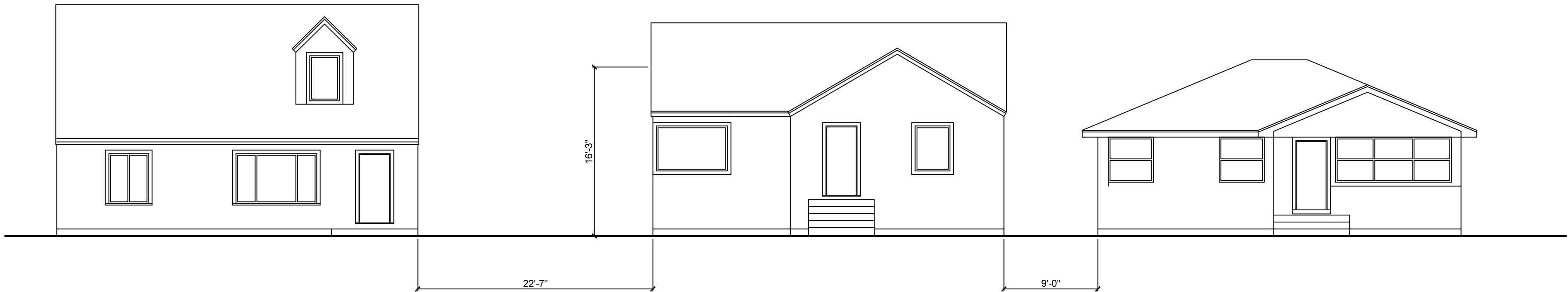


Property Across 2
923



Property Across 3
927





1 EXISTING CONTEXT ELEVATION
1/8" = 1'-0"



2 PROPOSED CONTEXT ELEVATION
1/8" = 1'-0"

REV.	DATE	ISSUE
—	05.24.16	DESIGN COMMISSION REVIEW
—	06.20.16	DCR REVISION
—	—	—
—	—	—
—	—	—
—	—	—
—	—	—
—	—	—
—	—	—

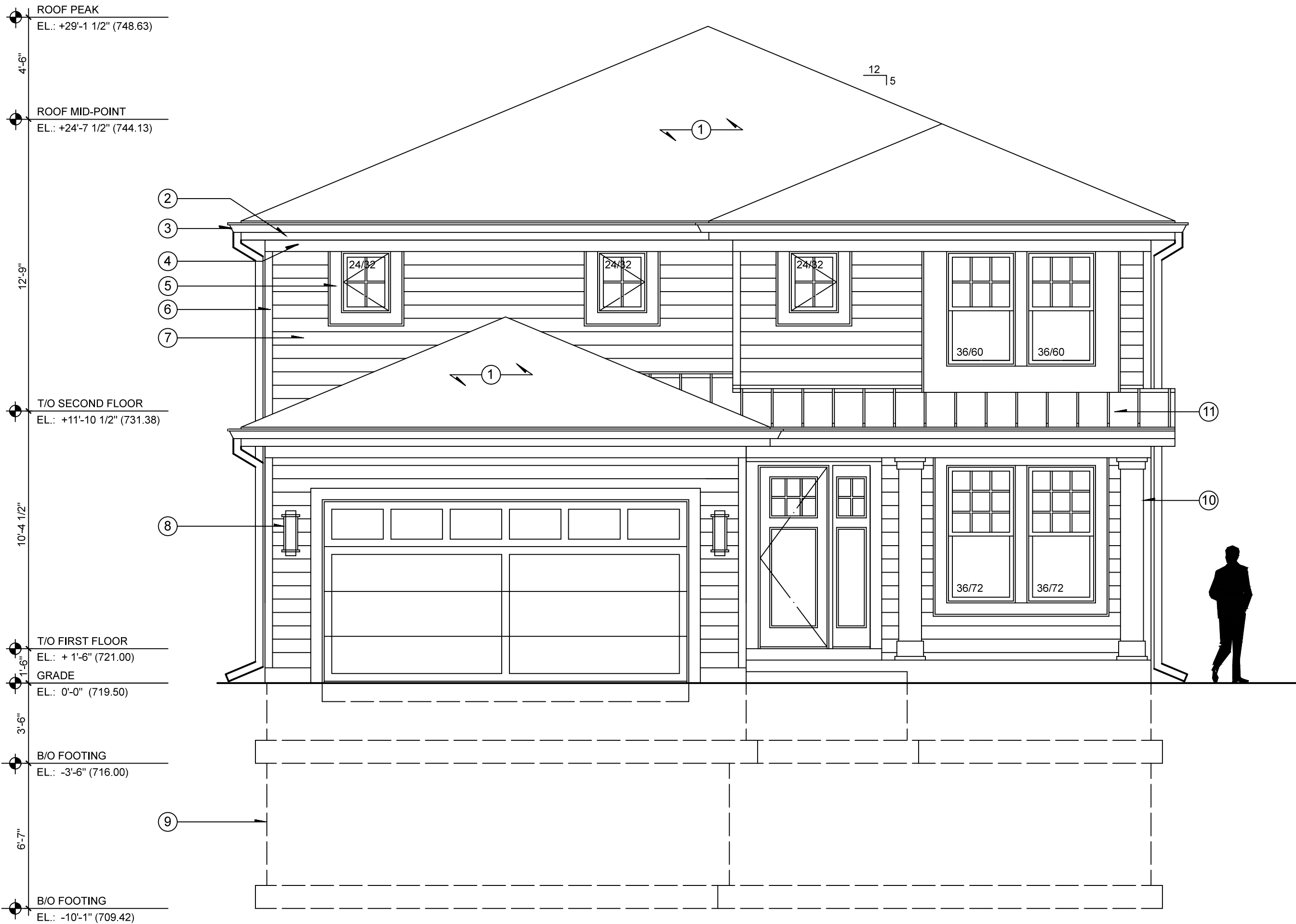
EXISTING CONTEXT ELEVATIONS,
PROPOSED CONTEXT ELEVATIONS

NEW SINGLE FAMILY RESIDENCE:
924 N. RIDGE RD
ARLINGTON HEIGHTS, IL

DATE: 04.03.16

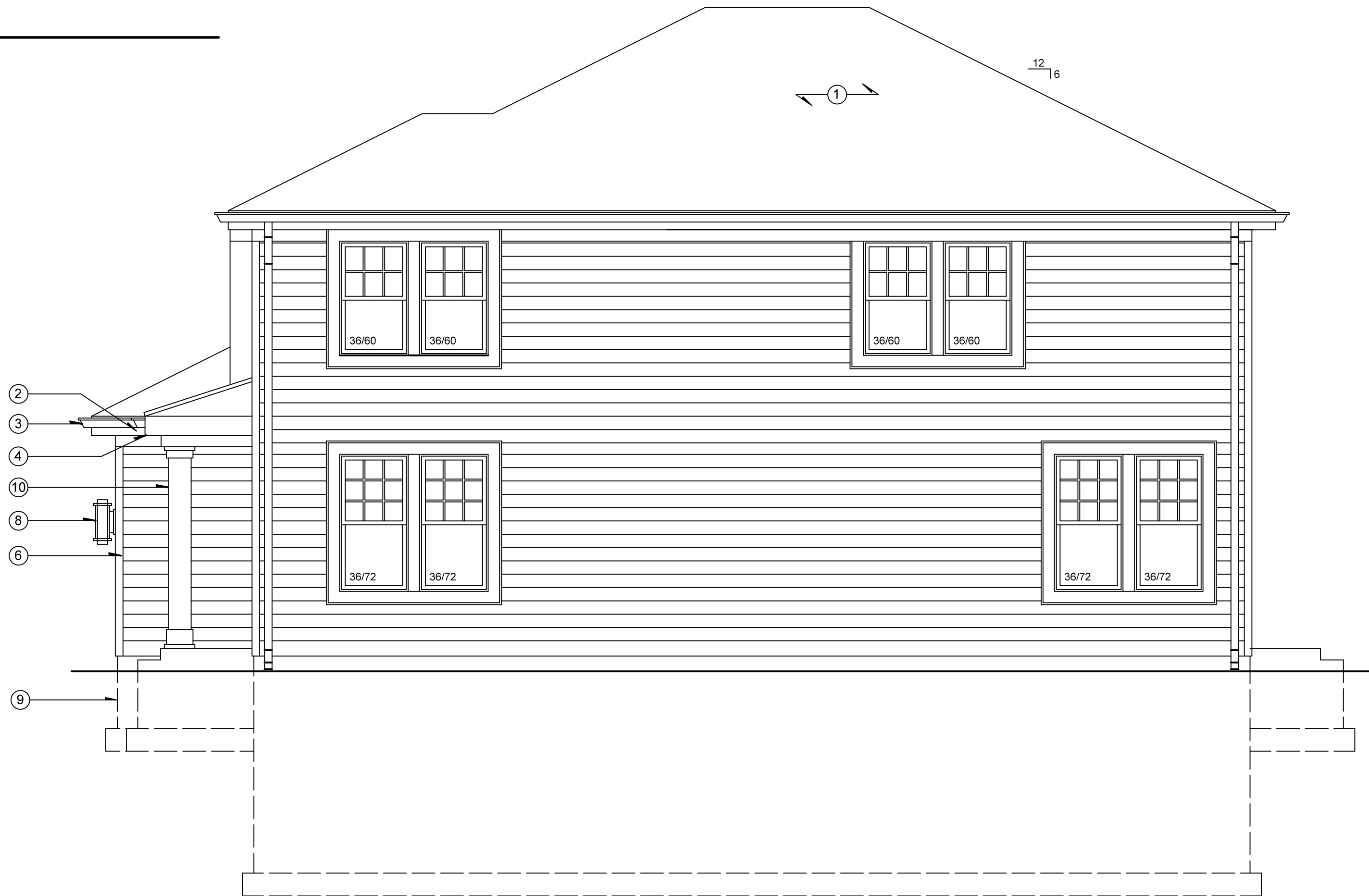
SCALE: 1/8" = 1'-0"

JOB NO.: 1616

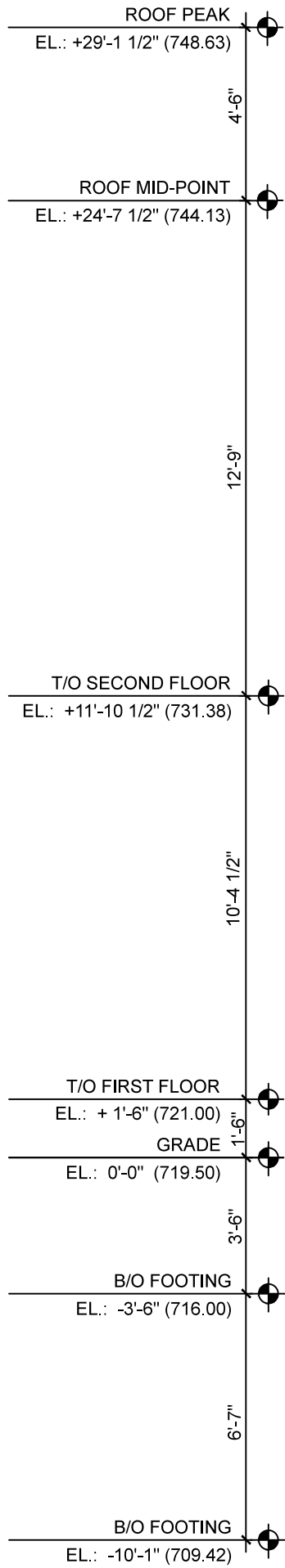


1 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"

- MATERIALS LEGEND**
1. ASPHALT SHINGLE ROOFING
 2. 10" H. SMOOTH WESTERN RED CEDAR FASCIA (S1S2E) FOR STAIN
 3. 4" PRE-FINISHED ALUM. GUTTER AND DOWNSPOUT. SPLASH AT GRADE
 4. 6" H. SMOOTH WESTERN RED CEDAR FRIEZE (S1S2E) FOR STAIN
 5. 6" SMOOTH WESTERN RED CEDAR TRIM (S1S2E) W/1" BAND FOR STAIN
 6. 4" SMOOTH WESTERN RED CEDAR CORNER BOARD (S1S2E) FOR STAIN
 7. CEDAR LAP SIDING FOR STAIN
- 7" EXPOSURE
- GRADE A CLEAR OR BETTER
 8. SURFACE-MOUNTED LIGHT FIXTURE. VERIFY HEIGHT WITH OWNER/ARCHITECT.
 9. CONCRETE FOUNDATION WALL AND FOOTING
 10. 10" X 10" SQUARE PERMACAST COLUMN
 11. PRE-FINISHED STANDING SEAM METAL ROOFING



2 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



REV.	DATE	ISSUE
05.24.16	DESIGN COMMISSION REVIEW	
06.20.16	DCR REVISION	

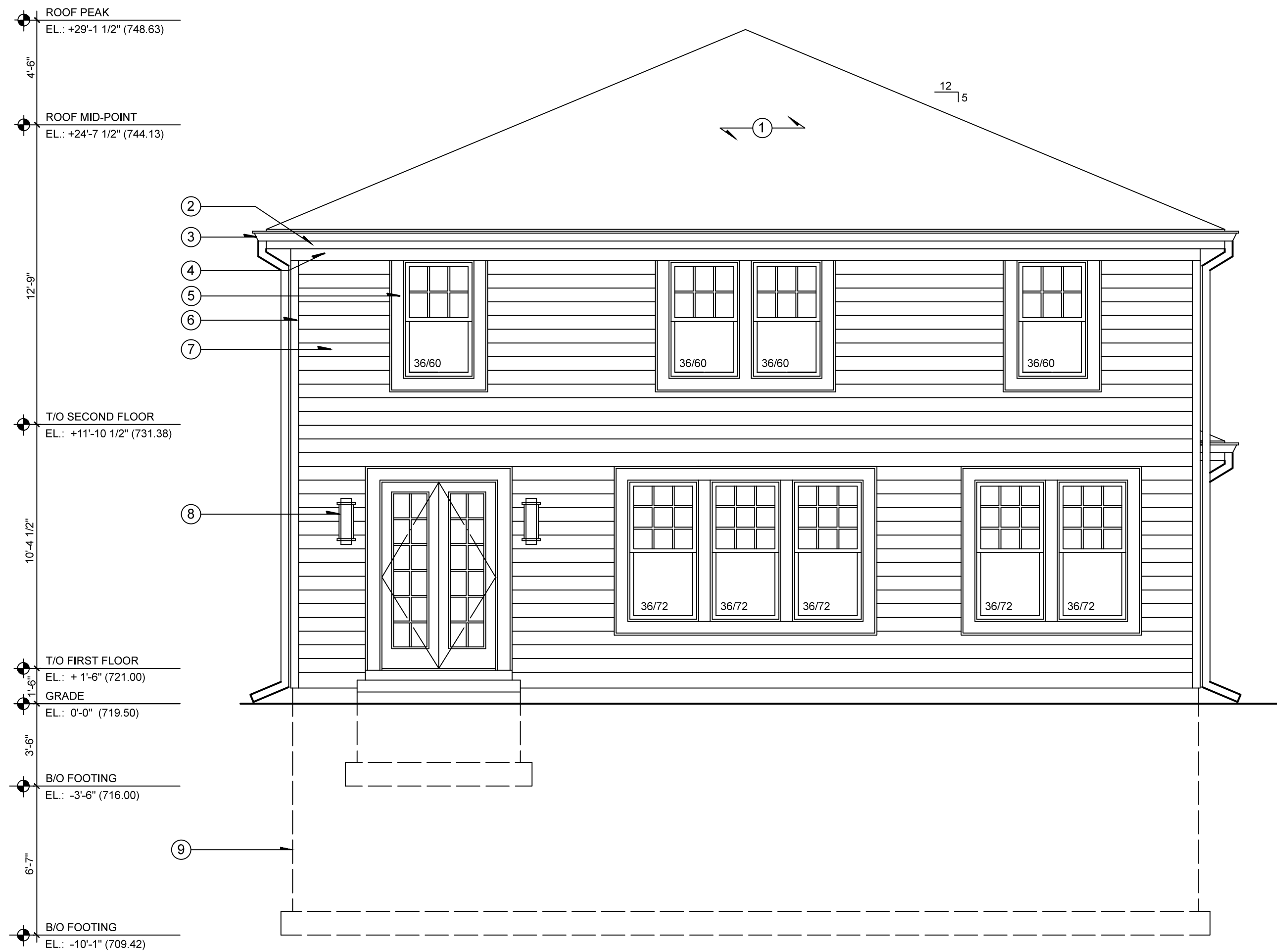
EXTERIOR ELEVATIONS

NEW SINGLE FAMILY RESIDENCE:
924 N. RIDGE RD
ARLINGTON HEIGHTS, IL

DATE: 04.03.16

SCALE: AS NOTED

JOB NO. 1616



1
EXTERIOR ELEVATION - WEST
1/4" = 1'-0"

- MATERIALS LEGEND**
1. ASPHALT SHINGLE ROOFING
 2. 10" H. SMOOTH WESTERN RED CEDAR FASCIA (S1S2E) FOR STAIN
 3. 4" PRE-FINISHED ALUM. GUTTER AND DOWNSPOUT. SPLASH AT GRADE
 4. 6" H. SMOOTH WESTERN RED CEDAR FRIEZE (S1S2E) FOR STAIN
 5. 6" SMOOTH WESTERN RED CEDAR TRIM (S1S2E) W/1" BAND FOR STAIN
 6. 4" SMOOTH WESTERN RED CEDAR CORNER BOARD (S1S2E) FOR STAIN
 7. CEDAR LAP SIDING FOR STAIN
- 7" EXPOSURE
- GRADE A CLEAR OR BETTER
 8. SURFACE-MOUNTED LIGHT FIXTURE. VERIFY HEIGHT WITH OWNER/ARCHITECT.
 9. CONCRETE FOUNDATION WALL AND FOOTING
 10. 10" X 10" SQUARE PERMACAST COLUMN
 11. PRE-FINISHED STANDING SEAM METAL ROOFING



2
EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"

REV.	DATE	ISSUE
05.24.16	DESIGN COMMISSION REVIEW	
06.20.16	DCR REVISION	

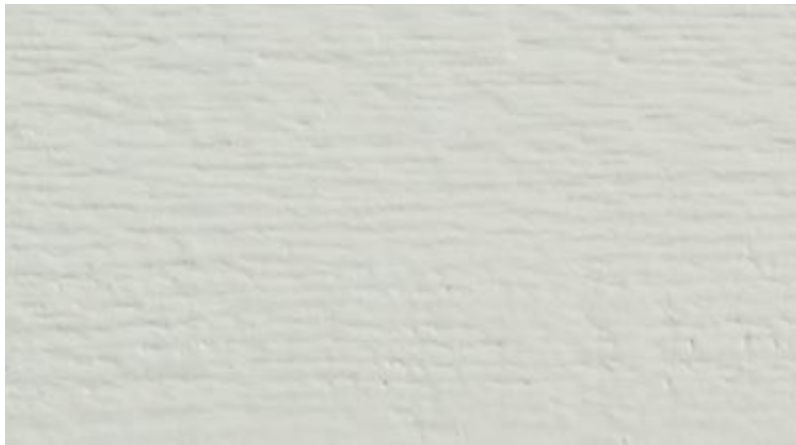
EXTERIOR ELEVATIONS

NEW SINGLE FAMILY RESIDENCE:
924 N. RIDGE RD
ARLINGTON HEIGHTS, IL

DATE: 04.03.16
SCALE: AS NOTED
JOB NO.: 1616

Single Family Home Exterior Selections			
Address: 924 N. Ridge			
1-Jun-16			
Material Schedule			
<u>Item</u>	<u>Material</u>	<u>Manufacturer</u>	<u>Color/Selection</u>
Roof	Architectural Shingle	Owens Corning - Artisan Series	Estate Gray
Siding	Wood	LP Smart Siding	Gray Mist
Gutters/Fascia/Soffit	Aluminum	American Construction Metals	"White" Rainware Colors
Windows	Vinyl	Jeld Wen	White
Garage Door	Steel	Clopay	White
Stone	Rademan Stone	Fond Du Lac	"Stone Ridge"
Exterior Trim	Wood	LP Smart Trim	White - SW7006

LP "Gray Mist"



Owens Corning "Estate Gray"



Rademan Stone – Fond Du Lac “Stone Ridge”





Item: DC#16-074 - 9 E. Hawthorne St. - SF/Teardown

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission require revisions and approve the design for the proposed new single-family residence to be located at 9 E. Hawthorne Street. This recommendation is subject to compliance with the architectural plans dated 6/6/16 and received 6/17/16, and the following:

1. Revise the roof to have a single gable across the front with lowered eaves and intersecting gables on the sides, similar to as shown on the attached sketches SK-1 & SK-2.
2. Continue the stone base down the side elevations.
3. Consider a detached garage.
4. If the attached garage remains, add windows to the left elevation.
5. Consider a lighter siding color.
6. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with Design Commission and any other Commission or Board approval conditions. It is the petitioner's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit, and signage requirements.
7. Compliance with all Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description	Type
--------------------	-------------

Staff Report
Drawings & Documents

Board or Commission Report
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 9 E. Hawthorne St.
Project Address: 9 E. Hawthorne St.
Prepared By: Steve Hautzinger

Date Prepared: July 6, 2016

PETITION INFORMATION:

DC Number: 16-074
Petitioner Name: Tony Van Dijk
Petitioner Address: DRH Cambridge Homes
800 S. Milwaukee Ave.
Libertyville, IL 60048
Meeting Date: July 12, 2016

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to demolish an existing two-story house and detached garage to allow construction of a new two-story residence with a three car garage attached to the rear of the house. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 10,410 square feet and the proposed residence will have 3,388 square feet. This project does comply with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 17.16 feet Side: 5 feet Side: 5 feet Rear: 30 feet	Front: 18.12 feet Side: 5.25 feet Side: 14.78 feet Rear: 88.86 feet
Building Height	25 feet to the midpoint	23.6 feet to the midpoint
FAR	4,602 SF	3,388 SF
Building Lot Coverage	3,644 SF	2,445 SF
Impervious Surface Coverage Total	5,205 SF	4,595 SF

This project is located in one of Arlington Heights' older historic neighborhoods, and the existing home (proposed to be demolished) is a historic farmhouse style home that is listed in a Community Preservation Report which was prepared by the School of the Art Institute of Chicago in 2004. The Preservation Report was prepared in an effort to raise community awareness and promote the preservation of the historic character of certain neighborhoods in Arlington Heights. Homes in the report are rated in order of importance as "Exceptional", "Notable", or "Contributing". The subject house is rated as "Contributing".

The proposed design does have a traditional style and a full front porch that generally fits the character of the neighborhood, and the garage located on the rear of the home is a nice way of fitting in with the surrounding homes that have detached garages.

However, the main concern with the design is the long flat side walls and the low hipped roof which are not in character with the historic neighborhood. The neighbors directly to the east have reviewed the plans, and have expressed concern about the large flat wall and attached garage facing their property.

A more authentic historic massing should be required in this location. An excellent example is the newer house located at 3 E. Hawthorne which has very articulated roof lines with multiple gables and varying wall heights.

To enhance the proposed design, the following revisions are recommended:

1. Revise the roof to have a single gable across the front with lowered eaves and intersecting gables on the sides. This will help break up the large side walls and provide a more authentic historic look. Refer to the attached sketches SK-1 & SK-2 for a concept of how this could look.

2. The stone base on the front of the house should be continued down the side elevations to further break up the large walls.
3. A detached garage should be considered.
4. If the attached garage remains, then windows should be added to break up the blank wall.
5. The proposed siding color is very dark. A lighter color siding may help to soften the large side walls.

RECOMMENDATION:

It is recommended that the Design Commission **require revisions and approve** the design for the proposed new single-family residence to be located at 9 E. Hawthorne Street. This recommendation is subject to compliance with the architectural plans dated 6/6/16 and received 6/17/16, and the following:

1. Revise the roof to have a single gable across the front with lowered eaves and intersecting gables on the sides, similar to as shown on the attached sketches SK-1 & SK-2.
2. Continue the stone base down the side elevations.
3. Consider a detached garage.
4. If the attached garage remains, add windows to the left elevation.
5. Consider a lighter siding color.
6. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with Design Commission and any other Commission or Board approval conditions. It is the petitioner's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit, and signage requirements.
7. Compliance with all Federal, State, and Village codes, regulations and policies.

_____, July 6, 2016

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

C: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 16-074


$$\frac{1}{4}^\circ = 1' - 0''$$


- * DO NOT SCALE ELEVATIONS, VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
- * WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE.
- * SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
- * IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS

- * TOP OF WINDOWS IN REMODELED AREAS TO MATCH EXISTING
- * TOP OF WALKOUT WINDOWS 6'-6" AFF
- * TOP OF WINDOWS 10' 3/4" ABOVE SLAB-FLOOR
- * FOR 10'-6" PLATES, UNLESS OTHERWISE NOTED
- * TOP OF WINDOWS 14' 3/4" ABOVE SLAB-FLOOR
- * FOR 9'-6" PLATES, UNLESS OTHERWISE NOTED
- * TOP OF WINDOWS 82 3/4" ABOVE SLAB-FLOOR
- * FOR 8'-6" PLATES, UNLESS OTHERWISE NOTED
- * ALL WINDOWS ARE DESIGNATED IN NOTES AS FINISH, SHOWN IN FEET AND INCHES
- * EXAMPLE: 2550 = 2'-5" 5'-5" (TO BE NET IN TOP OR EXCEEDED)
- * PROVIDE (2) X 125 ABOVE ALL WINDOWS AND OPENINGS UNLESS OTHERWISE NOTED
- * PROVIDE SILENT CLADDING IN ALL WINDOWS WITH A MAX OF 2" HENRY DOWD
- * WITHIN 18" OF FLOOR, IN RAUBERHORN ENCLOSURES, AND IN STAIR WELLS
- * PROVIDE WINDOW GUARDS THAT COMPLY WITH ASTM F2000 OR F2080
- * WITHIN 24" OF FLOOR
- * WITHIN 24" OF FLOOR
- * ALL FENESTRATIONS SHALL HAVE A MAXIMUM U-VALUE AS FOLLOWS:
- WINDOWS & DOORS - 0.32, SKYLIGHTS - 0.56

E - EGRESS WINDOW

Job Number: 16133
Sheet Number: A200

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SK-1



NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	10-23-14	AL	AL
2	ISSUED FOR PERMIT	10-23-14	AL	AL
3	ISSUED FOR PERMIT	10-23-14	AL	AL
4	ISSUED FOR PERMIT	10-23-14	AL	AL
5	ISSUED FOR PERMIT	10-23-14	AL	AL
6	ISSUED FOR PERMIT	10-23-14	AL	AL
7	ISSUED FOR PERMIT	10-23-14	AL	AL

JB HORTON INC
9 E HAWTHORNE STREET
ARLINGTON HEIGHTS, IL

LEFT ELEVATION
RIGHT ELEVATION

Architects & Planners, Inc.
1111 North La Grange Road
Crest Hill, IL 60411
Telephone: 630-784-0000 Fax: 630-784-0001



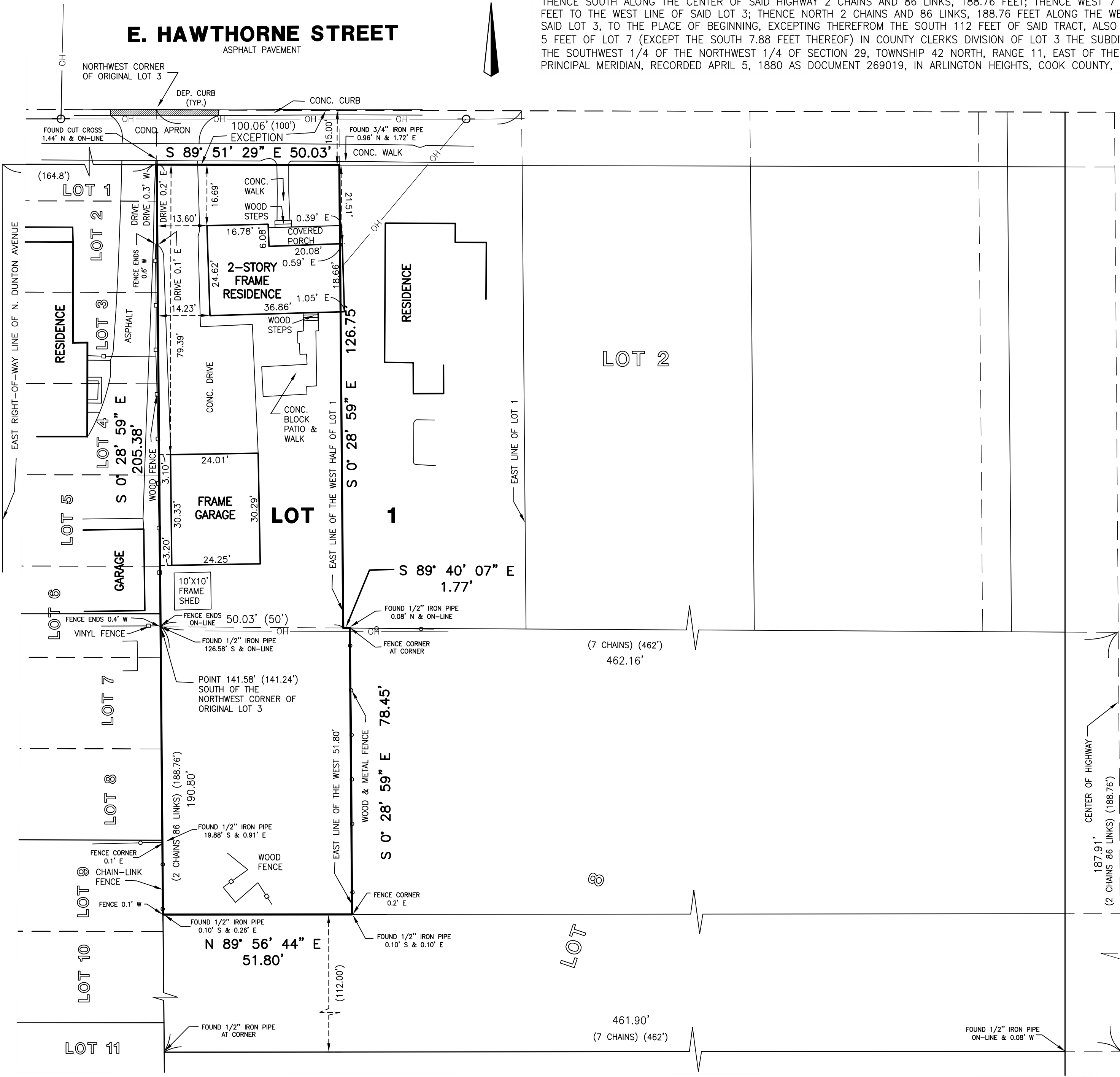
Job Number:
16133
Sheet Number:
A201

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SK-2

PLAT OF SURVEY

THE WEST 1/2 OF LOT 1 (EXCEPT THE NORTH 15 FEET THEREOF TAKEN FOR STREET) IN COUNTY CLERK'S DIVISION OF LOT 3 IN SUBDIVISION OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. ALSO: THE WEST 51.80 FEET OF THAT PART OF ORIGINAL LOT 3 IN THE SUBDIVISION OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN RECORDED MARCH 14, 1868 IN BOOK 166 OF MAPS, PAGE 62 ASA DOCUMENT 162099, DESCRIBED AS FOLLOWS; COMMENCING 2 CHAINS AND 14 LINKS, 141.24 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 3, RUNNING THENCE EAST 7 CHAINS, 462 FEET TO THE CENTER OF THE HIGHWAY; THENCE SOUTH ALONG THE CENTER OF SAID HIGHWAY 2 CHAINS AND 86 LINKS, 188.76 FEET; THENCE WEST 7 CHAINS, 462 FEET TO THE WEST LINE OF SAID LOT 3; THENCE NORTH 2 CHAINS AND 86 LINKS, 188.76 FEET ALONG THE WEST LINE OF SAID LOT 3, TO THE PLACE OF BEGINNING, EXCEPTING THEREFROM THE SOUTH 112 FEET OF SAID TRACT, ALSO THE SOUTH 5 FEET OF LOT 7 (EXCEPT THE SOUTH 7.88 FEET THEREOF) IN COUNTY CLERKS DIVISION OF LOT 3 THE SUBDIVISION OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THE THIRD PRINCIPAL MERIDIAN, RECORDED APRIL 5, 1880 AS DOCUMENT 269019, IN ARLINGTON HEIGHTS, COOK COUNTY, ILLINOIS.



LEGEND

- POWER POLE
- OH OVERHEAD LINES

SURVEYORS NOTES:

- THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
- () DENOTES RECORD DIMENSION.
- BEARINGS HEREON SHOWN ARE ON AN ASSUMED BASIS.
- ORIGINAL CLIENT- DR HORTON
- ORIGINAL FIELD WORK COMPLETED- 05-20-16

GENERAL NOTES:

- DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF.
- NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
- ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISION ARE SHOWN HEREON. THERE MAY BE ADDITIONAL TERMS, POWERS, PROVISIONS AND LIMITATIONS CONTAINED IN AN ABSTRACT DEED, LOCAL ORDINANCES, DEEDS, TRUSTS, COVENANTS OR OTHER INSTRUMENTS OF RECORD.
- COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.

AREA

10,410 Sq. Ft. OR 0.24 ACRES (MORE OR LESS)

STATE OF ILLINOIS }
COUNTY OF LAKE } SS

WE, GREENGARD INC., DO HEREBY STATE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 3RD. DAY OF JUNE, A.D., 2016.

GREENGARD, INC.
111 BARCLAY BOULEVARD, SUITE 310
LINCOLNSHIRE, ILLINOIS 60069

JOSEPH R. SADOSKI
ILLINOIS
PROFESSIONAL LAND SURVEYOR NO. 3316
MY RENEWABLE LICENSE EXPIRES 11/30/16.



DESIGNED BY:	DATE:
AN	06-01-16
CHECKED BY:	DATE:
JRS	06-03-16

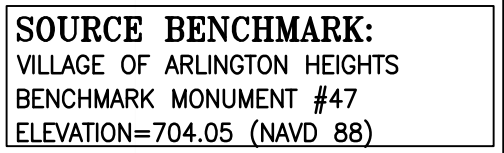
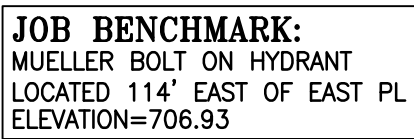


GREENGARD, INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3615
PHONE: 847-634-3883 FAX: 847-634-0687
E-MAIL: 231@GREENGARDINC.COM
ILL. REGISTRATION NO. 184-000995

SCALE:	1"=20'
DRAWING No.	62119
SHEET	1 OF 1

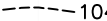
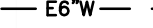
9 E. HAWTHORNE STREET - ARLINGTON HEIGHTS., ILLINOIS
PLAT OF SURVEY

THE WEST 1/2 OF LOT 1 (EXCEPT THE NORTH 15 FEET THEREOF TAKEN FOR STREET) IN COUNTY CLERK'S DIVISION OF LOT 3 IN SUBDIVISION OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 1E, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS; ALSO THE WEST 51.80 FEET OF THAT PART OF ORIGINAL LOT 3, SAID SUBDIVISION, WHICH IS SHOWN ON MAPS, PAGE 62 ASA DOCUMENT 162099, AS BEING 78.8 FEET SOUTH OF THE CORNER OF SAID LOT 3, THENCE NORTH 2 CHAINS AND 14 LINKS, 14.124 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 3, RUMBLING THEN FOLLOWS: 2 CHAINS 46.7 FEET TO THE CENTER OF THE HIGHWAY; THENCE SOUTH ALONG THE SAID LOT 3, SAID HIGHWAY, 2 CHAINS 80 LINKS, 88.7 FEET THENCE TO THE WEST LINE OF SAID LOT 3, TO THE PLACE OF BEGINNING, EXCEPTING THEREFROM THE SOUTH 112 FEET OF SAID TRACT, ALSO THE SOUTH 5 FEET OF LOT 7 (EXCEPT THE SOUTH 7.88 FEET THEREOF) IN COUNTY CLERK'S DIVISION OF LOT 3, THE SUBDIVISION OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 1E, EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED APRIL 5, 1880 AS DOCUMENT 269019, IN ARLINGTON HEIGHTS, COOK COUNTY, ILLINOIS.



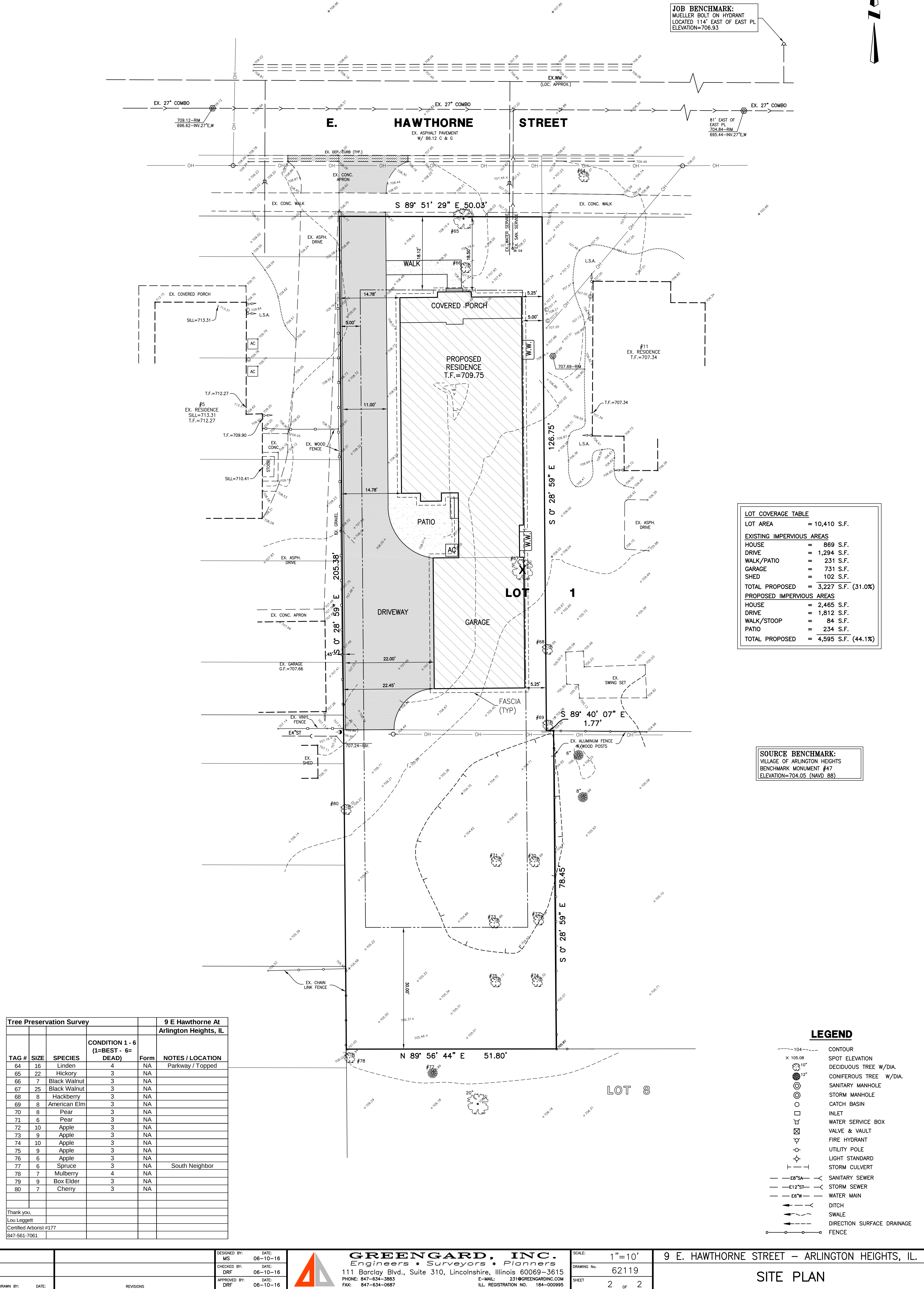
Tree Preservation Survey				9 E Hawthorne At Arlington Heights, IL
TAG #	SIZE	SPECIES	CONDITION 1 - 6 (1=BEST - 6= DEAD)	Form
64	16	Linden	4	NA
65	22	Hickory	3	NA
66	7	Black Walnut	3	NA
67	25	Black Walnut	3	NA
68	8	Hackberry	3	NA
69	8	American Elm	3	NA
70	8	Pear	3	NA
71	6	Pear	3	NA
72	10	Apple	3	NA
73	9	Apple	3	NA
74	10	Apple	3	NA
75	9	Apple	3	NA
76	6	Apple	3	NA
77	6	Spruce	3	NA
78	7	Mulberry	4	NA
79	9	Box Elder	3	NA
80	7	Cherry	3	NA
Thank you,				
Low Leggett				
Certified Arborist #177				
847-561-7061				

LEGEND

	CONTOUR
	SPOT ELEVATION
	DECIDUOUS TREE W/DIA.
	CONIFEROUS TREE W/DIA.
	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	INLET
	WATER SERVICE BOX
	VALVE & VAULT
	FIRE HYDRANT
	UTILITY POLE
	LIGHT STANDARD
	STORM CULVERT
	SANITARY SEWER
	STORM SEWER
	WATER MAIN
	DITCH
	SWALE
	DIRECTION SURFACE DRAINAGE
	FENCE

LEGAL DESCRIPTION

THE WEST 1/2 OF LOT 1 (EXCEPT THE NORTH 15 FEET THEREOF TAKEN FOR STREET) IN COUNTY CLERK'S DIVISION OF LOT 3 IN SUBDIVISION OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS; ALSO: THE WEST 51.80 FEET OF THAT PART OF ORIGINAL LOT 3 IN THE SUBDIVISION OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN RECORDED MARCH 14, 1868 IN BOOK 166 OF MAPS, PAGE 62 ASA DOCUMENT 162099, DESCRIBED AS FOLLOWS; COMMENCING 2 CHAINS AND 14 LINKS, 141.24 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 3, RUNNING THENCE EAST 7 CHAINS, 462 FEET TO THE CENTER OF THE HIGHWAY; THENCE SOUTH ALONG THE CENTER OF SAID HIGHWAY 2 CHAINS AND 86 LINKS, 188.76 FEET; THENCE WEST 7 CHAINS, 462 FEET TO THE WEST LINE OF SAID LOT 3; THENCE NORTH 2 CHAINS AND 86 LINKS, 188.76 FEET ALONG THE WEST LINE OF SAID LOT 3, TO THE PLACE OF BEGINNING, EXCEPTING THEREFROM THE SOUTH 112 FEET OF SAID TRACT, ALSO THE SOUTH 5 FEET OF LOT 7 (EXCEPT THE SOUTH 7.88 FEET THEREOF) IN COUNTY CLERKS DIVISION OF LOT 3 THE SUBDIVISION OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THE THIRD PRINCIPAL MERIDIAN, RECORDED APRIL 5, 1880 AS DOCUMENT 269019, IN ARLINGTON HEIGHTS, COOK COUNTY, ILLINOIS.



Subject Property



103



101



11



9



5



3

E Hawthorne

Dunton Ave

Evergreen Ave



706 Evergreen



6

FILE

RECEIVED
JUN 17 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



DESIGN STAGE		1	2	3	4	5
CONCEPTUAL DESIGN						
PRELIMINARY DESIGN	06-03-16 BAJ					
DESIGN DEVELOPMENT	06-06-16 BAJ					
SCHEMATIC DESIGN						
PERMITTING						
RELEASE FOR PERMIT						
CONSTRUCTION						

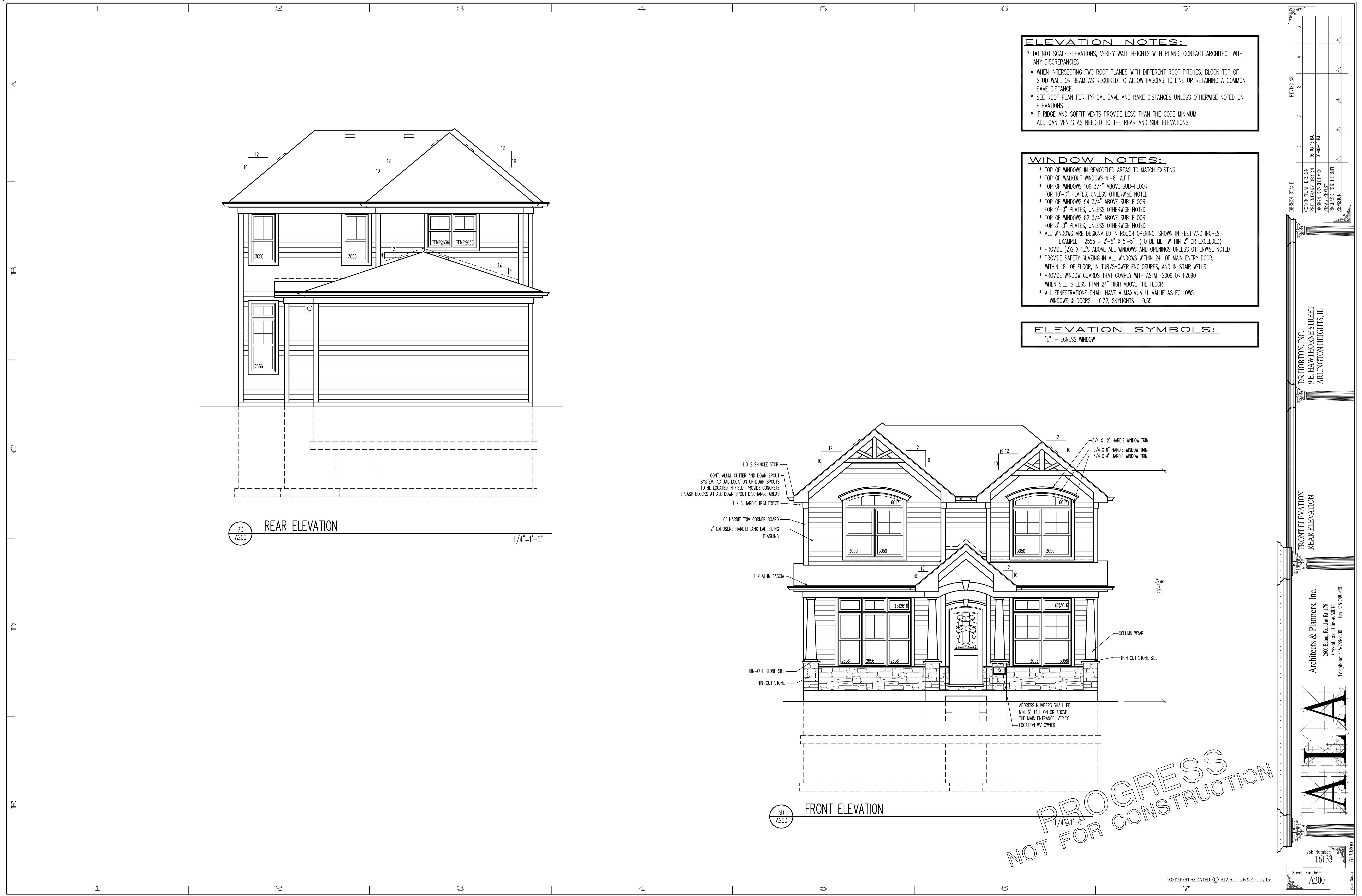
DR HORTON, INC.
9 E. HAWTHORNE STREET
ARLINGTON HEIGHTS, IL.

EXISTING ELEVATION CONTEXT
PROPOSED ELEVATION CONTEXT

Architects & Planners, Inc.
2600 Belan Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax 815-788-9201

ALA

Job Number: 16133
Sheet Number: A202
File Name: 16133202



ELEVATION NOTES:

- * DO NOT SCALE ELEVATIONS, VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
- * WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE.
- * SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
- * IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS

WINDOW NOTES:

- * TOP OF WINDOWS IN REMODELED AREAS TO MATCH EXISTING
- * TOP OF WALKOUT WINDOWS 6'-8" A.F.F.
- * TOP OF WINDOWS 106 3/4" ABOVE SUB-FLOOR FOR 10'-0" PLATES, UNLESS OTHERWISE NOTED
- * TOP OF WINDOWS 94 3/4" ABOVE SUB-FLOOR FOR 9'-0" PLATES, UNLESS OTHERWISE NOTED
- * TOP OF WINDOWS 82 3/4" ABOVE SUB-FLOOR FOR 8'-0" PLATES, UNLESS OTHERWISE NOTED
- * ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET AND INCHES
EXAMPLE: 2555 = 2'-5" X 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED)
- * PROVIDE (2)2 X 12'S ABOVE ALL WINDOWS AND OPENINGS UNLESS OTHERWISE NOTED
- * PROVIDE SAFETY GLAZING IN ALL WINDOWS WITHIN 24" OF MAIN ENTRY DOOR, WITHIN 18" OF FLOOR, IN TUB/SHOWER ENCLOSURES, AND IN STAIR WELLS
- * PROVIDE WINDOW GUARDS THAT COMPLY WITH ASTM F2006 OR F2090 WHEN SILL IS LESS THAN 24" HIGH ABOVE THE FLOOR
- * ALL FENESTRATIONS SHALL HAVE A MAXIMUM U-VALUE AS FOLLOWS:
WINDOWS & DOORS - 0.32, SKYLIGHTS - 0.55

ELEVATION SYMBOLS:

"E" - EGRESS WINDOW

REVISIONS

1	06-05-16 BU	CONCEPTUAL DESIGN
2	06-06-16 BU	PRELIMINARY DESIGN
3		DESIGN DEVELOPMENT
4		FINAL REVIEW
5		RELEASE FOR PERMIT
		REVISION

DESIGN STAGE

DR HORTON, INC.
9 E. HAWTHORNE STREET
ARLINGTON HEIGHTS, IL

FRONT ELEVATION
REAR ELEVATION

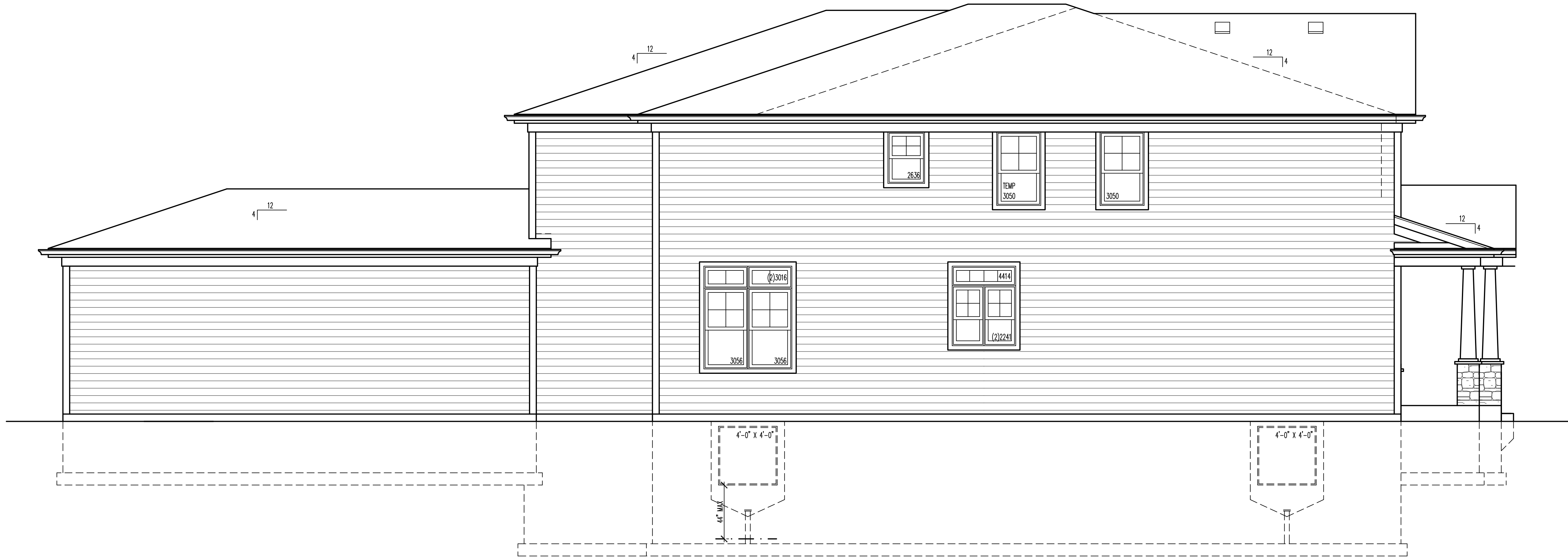
ALA
Architects & Planners, Inc.
2600 Belton Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax 815-788-9201

Job Number:
16133

Sheet Number:
A200

File Name:
16133200

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2B
A201

LEFT ELEVATION

1/4"=1'-0"



1E
A201

RIGHT ELEVATION

1/4"=1'-0"

DESIGN STAGE		REVISIONS				
CONCEPTUAL DESIGN	06-05-16 BJD	1				
PRELIMINARY DESIGN	06-06-16 BJD	2				
DESIGN DEVELOPMENT	06-06-16 BJD	3				
FINAL REVIEW		4				
REQUEST FOR PERMIT		5				
REVISION						

DR. HORTON, INC.
9 E. HAWTHORNE STREET
ARLINGTON HEIGHTS, IL

LEFT ELEVATION
RIGHT ELEVATION

Architects & Planners, Inc.
2600 Belton Road at Rt. 176
Crystal Lake, Illinois 60014
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ALA
Job Number: 16133
Sheet Number: A201
File Name: 16133201

9 E Hawthorne Street, Arlington Heights IL

EXTERIOR COLOR PACKAGE

TRADE:

COLOR:

ROOFING:

IKO – DUEL BLACK

SIDING:

JAMES HARDIE – IRON GRAY

SHAKES:

JAMES HARDIE – IRON GRAY

SOFFIT/TRIM:

SW7005 – PURE WHITE

STONE:

SUNSET STONE – BALA COBBLE

GUTTERS:

WHITE

WINDOWS:

M/I WHITE VINYL

GARAGE DOOR:

WAYNE DALTON 9100 SERIES W/ STOCKTON GLASS