



Agenda
Village of Arlington Heights
Design Commission
Community Room, 3rd Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
June 24, 2014
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Minutes - 6/10/14

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. DC14-058 - Hickory / Kensington Design Guidelines

VII. OTHER BUSINESS

- A. Sandwich Board Signs, Community Wide - Preliminary Discussion

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Minutes - 6/10/14

Department: Planning & Community Development

Approval of DC minutes from 6/10/14

ATTACHMENTS:

Description

DC Minutes 6/10/14

Type

[Minutes](#)

DRAFT

MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
JUNE 10, 2014

Chair Eckhardt called the meeting to order at 6:30 p.m.

Members Present: Ted Eckhardt, Chair
John Fitzgerald
Anthony Fasolo
Jonathan Kubow
Alan Bombick

Members Absent: None

Also Present: Sean Kelly, Rize Properties for 923 N. Kaspar Ave.
Joe Labelle, Rize Properties for 923 N. Kaspar Ave.
Steve Hautzinger, Staff Liason

REVIEW OF MEETING MINUTES FROM MAY 27, 2014

A MOTION WAS MADE BY COMMISSIONER FITZGERALD SECONDED BY COMMISSIONER KUBOW, TO APPROVE THE MEETING MINUTES OF MAY 27, 2014. ALL WERE IN FAVOR. THE MOTION CARRIED.

ITEM. 1. SINGLE-FAMILY TEARDOWN REVIEW**DC#14-037 – 923 N. Kaspar Ave.**

Mr. Sean Kelly and **Mr. Joe Labelle**, representing *Rize Properties*, were present on behalf of the project.

Chair Eckhardt asked if there was any public comment and there was no response from the audience.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing single-story home and two-car detached garage to allow the construction of a new two-story home with an attached, two-car garage. The project complies with all R-3 zoning requirements. The front of the proposed home is nicely designed with varying roof lines, varied materials, and good proportions. Staff recommends the following to improve the side and rear elevations and tie the overall design together:

1. Add double hung windows to the right side elevation in the Living Room and Loft.
2. Lower the transom window in the stairwell on the right side elevation and changing it to a double hung window.
3. Add double hung windows to the left side elevation in the Garage and Bedroom 3.
4. Add decorative grilles (grids) to all double hung windows on the sides and rear, to match the front elevation.

The existing neighborhood consists primarily of single-story and one and a half-story homes. This project is appearing before the Design Commission due to past concerns in this neighborhood regarding teardown/new construction, and to evaluate the proposed architectural design with the context of the neighborhood. The hipped main roof, lowered garage roof, and single-story front porch do help to break up the massing of the home, and although the neighborhood is predominantly smaller homes, the subject property does have a similar scale, two-story home on the lot directly to the north.

Staff is recommending approval of the proposed design, with the recommendations previously stated.

Mr. Kelly stated that although they are not opposed to the recommendations made by Staff, he would offer the following regarding window placement:

- Add transom windows in lieu of double-hung windows to the right side elevation in the Living Room and Loft, to allow the homeowner more options with furniture placement.
- A preference to keep the transom window in the stairwell on the right side elevation as currently proposed, in order to ensure privacy, although they are not opposed to increasing the size of the transom window and/or lowering it slightly.
- A preference to add a transom window instead of the double hung window to the left side elevation in Bedroom 3, to allow for furniture placement.

- A preference to not add a window to the left side elevation in the garage because of security reasons.
- A preference to add window grilles on the front and side elevations only, to allow full glass views on the rear of the home.

Commissioner Fitzgerald felt the front elevation was nicely designed; the materials, the mix and the colors. With regards to window grilles, he felt there was a trend now occurring that he did not care for, which is that money is being spent on front elevations while leaving the side and rear elevations lacking. He felt strongly that window grilles should match on all elevations for more uniformity, and he appreciated how the bump out was treated on the rear of the home. He also liked Staff's comments on the placement of the windows, and he disagreed with the petitioner's concerns about adding a window in Bedroom 3.

Commissioner Bombick generally agreed that the front elevation was nicely done and the new home will fit well with the neighborhood. He felt the transom window in the stairwell was odd looking, and that the stairwell was an opportunity to create a bump out with a window seat or some other way to bring light in, which the homeowner could add a shade or window treatment over for privacy. Rooms with natural light always look better with light coming from two sides. The design looks incomplete without window grilles on all four sides.

Commissioner Fasolo felt the home was nicely designed and he agreed with adding more windows on the two sides of the home, although he understood the concerns about furniture placement and was not opposed to transom windows instead. He also agreed with tying in the side and rear elevations with the front elevation with decorative grilles.

Commissioner Kubow agreed with the other commissioners that the front elevation looks really nice and the petitioner did a great job. He also agreed that the side and rear elevations were lacking detail, especially the right side elevation. He was concerned about the amount of transom windows on the sides of the home and he suggested adding a feature type window in the stairwell to help break the elevation, or bumping out the garage on the left side and wrapping the stone base around from the front. He also felt that window grilles are important and should be consistent on all four sides of the home, and adding a window in the garage was unnecessary if a window is added in Bedroom 3.

Chair Bombick asked about the number of window wells being proposed, which were not shown on the drawings, and expressed concerns about side yard setback requirements for them. **Mr. Kelly** replied that 3 or 4 window wells are being proposed. **Mr. Hautzinger** stated that Staff previously commented that window wells must be shown on the permit plans, and it is required to maintain a minimum of 3-feet between the window well and the property line.

Chair Eckhardt asked that the motion should include a requirement that muntins (grilles) be provided in all windows on the home. He was fine with not adding a window in the garage on the left side of the home; however, he felt a window should be added in Bedroom 3. He

preferred 2 narrow windows be added in the Living Room and Loft on the right side elevation, and a larger window in the stairwell, instead of one transom window as currently proposed.

Commissioner Fitzgerald agreed with Commissioner Bombick's concerns about window well setbacks in the side yard, which have a huge drainage impact on the adjacent neighbor. **Commissioner Bombick** added that he did not understand why the Village allowed basement windows below eye level on 50' wide lots such as this one.

Commissioner Kubow pointed out that the right elevation is actually the south elevation and the primary source of sunlight for the homeowners; therefore, larger windows would provide more light than transom windows.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER KUBOW, TO APPROVE THE DESIGN OF THE PROPOSED NEW SINGLE-FAMILY HOME TO BE LOCATED AT 923 N. KASPAR AVENUE. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE ARCHITECTURAL PLANS DATED 12/17/13 AND RECEIVED 5/06/14, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND RESOLUTION OF THE FOLLOWING:

- 1. A REQUIREMENT TO ADD DECORATIVE WINDOW GRILLES ON ALL SIDES OF THE HOME TO MATCH THE FRONT ELEVATION.**
- 2. A REQUIREMENT TO ADD 2 TALLER WINDOWS IN THE LIVING ROOM ON THE FIRST-FLOOR ON THE RIGHT SIDE ELEVATION.**
- 3. A REQUIREMENT TO ADD 1 LARGER SINGLE DOUBLE-HUNG WINDOW IN THE LOFT SPACE ON THE SECOND-FLOOR ON THE RIGHT SIDE ELEVATION, TO BE CENTERED BETWEEN THE WINDOWS ON THE FIRST-FLOOR.**
- 4. A REQUIREMENT TO ENLARGE THE WINDOW IN THE STAIRWELL ON THE RIGHT SIDE ELEVATION, TO MATCH THE SIZE OF THE WINDOW IN THE LOFT.**
- 5. A REQUIREMENT TO ADD A SINGLE DOUBLE-HUNG WINDOW IN BEDROOM 3 ON THE SECOND-FLOOR ON THE LEFT SIDE ELEVATION, TO MATCH THE HEIGHT OF THE OTHER WINDOWS ON THE SECOND-FLOOR.**
- 6. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, SIGN CODE OR BUILDING OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE ARCHITECT/HOMEOWNER/BUILDER'S RESPONSIBILITY TO COMPLY WITH THE DESIGN COMMISSION APPROVAL AND ENSURE THAT BUILDING PERMIT PLANS COMPLY WITH ALL ZONING CODE REQUIREMENTS.**

**FASOLO, AYE; FITZGERALD, AYE; KUBOW, AYE; BOMBICK, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. THE MOTION CARRIED.**

ITEM 2. GENERAL MEETING

The commissioners stated their intent to be in attendance at the COW / Boards & Commissions meeting on June 23, 2014.

Electronic (NOVUS) packets were also discussed. **Mr. Hautzinger** clarified that technical drawings such as floor plans cannot be requested through FOIA and therefore, cannot be posted on the website as part of the new NOVUS system. **Chair Eckhardt** felt that floor plans were an integral part of their design review, and he could not conduct an accurate review of a project without them. He suggested a separate, secure log-in for commissioners to view the entire meeting packet.

Overall, the commissioners were in support of the new electronic meeting packet and with Staff projecting the packet electronically at the meeting. The commissioners suggested combining documents/drawings for each project into one pdf, instead of separate attachments.

Mr. Hautzinger reiterated that the intent is to post the meeting agenda, minutes, staff report, site plan, elevations, context elevation and photos of surrounding properties on the Village website for public view; however, commissioners will continue to receive actual hard copy meeting packets for the time being, which will include floor plans. **Chair Eckhart** asked Staff to discuss with appropriate Village Staff, the possibility of electronically posting all drawings in a secured format for the commissioners' view only. He wanted to see an electronic packet with all documents, and the other commissioners agreed.

Commissioner Bombick said that because petitioners are now providing electronic documents, he felt that 11 x 17 drawings instead of large 24 x 36 drawings were adequate for commissioners at the meeting, which will reduce costs and save paper. **Commissioner Kubow** preferred large drawings. **Commissioner Fasolo** was in favor of going all electronic, with one set of large drawings available for the commissioners at the meeting. **Commissioner Fitzgerald** felt that 11 x 17 drawings were fine during this transitional period of going electronic. **Chair Eckhardt** agreed with Commissioner Fitzgerald. **Commissioner Kubow** revised his previous comment, and stated that 11 x 17 drawings were acceptable.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER KUBOW, TO ADJOURN THE MEETING AT 7:15 P.M. ALL WERE IN FAVOR. THE MOTION CARRIED.



Item: Hickory / Kensington Design Guidelines - DC14-058

Department: Planning & Community Development

REQUESTED ACTION:

Approval of the proposed Hickory/Kensington Area Design Guidelines.

SUMMARY:

In 2013, the Village Board adopted Ordinance 13-001, amending the Comprehensive Plan and adopting the Hickory/Kensington Area Plan, which outlined several goals and objectives for the area including rezoning properties and developing Design Guidelines. Also in 2013, the Village Board approved rezoning portions of the area to start implementation of the plan. Finally, the Village Board approved hiring a consultant to conduct a feasibility study for creating a TIF District for the area.

Consistent with recommendations contained in the Hickory/Kensington Area Plan, Design Guidelines for the Hickory/Kensington Area have been developed by the Planning and Community Development Department and are being submitted to the Design Commission for review and approval. The intent and purpose of the Design Guidelines is to establish the design standards for the overall Hickory/Kensington development, and to ensure a minimum standard of quality, character, and cohesiveness for the development of the area. As each portion of the Hickory/Kensington area is developed, the individual proposals will be evaluated against the standards established by these guidelines. These guidelines are intended to be used as a tool, early in the design process, to guide the design of each project being proposed within the development area.

RECOMMENDATION:

It is recommended that the Design Commission approve the proposed Hickory/Kensington Area Design Guidelines dated June 2014.

ATTACHMENTS:

Description	Type
Hickory/Kensington Design Guidelines	Exhibits

Hickory / Kensington Area Design Guidelines



Village of Arlington Heights

Prepared by the Department of Planning and Community Development

June 2014

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1. Introduction

In 1991, the Village Board amended the Comprehensive Plan and designated the Hickory/Kensington area as a redevelopment project area as part of the Comprehensive Planning Program. The Hickory/Kensington area is defined by Dryden Avenue on the east, Miner Street on the north, Northwest Highway on the south, and Belmont Avenue on the west (refer to Figure 1).

In November, 1993 the Village Board adopted Ordinance 93-096, approving the Hickory/Kensington Redevelopment Plan. Since that time, much of the area has either redeveloped or is in the process of redeveloping, with the exception of the middle or Core area as illustrated below. In 2013, the Village Board adopted the Hickory/Kensington Area Plan, which outlined several goals and objectives for the area including rezoning properties and developing Design Guidelines. Subsequently, a portion of the area has been rezoned to allow for mixed use and residential development.



Figure 1. Map of Plan Area

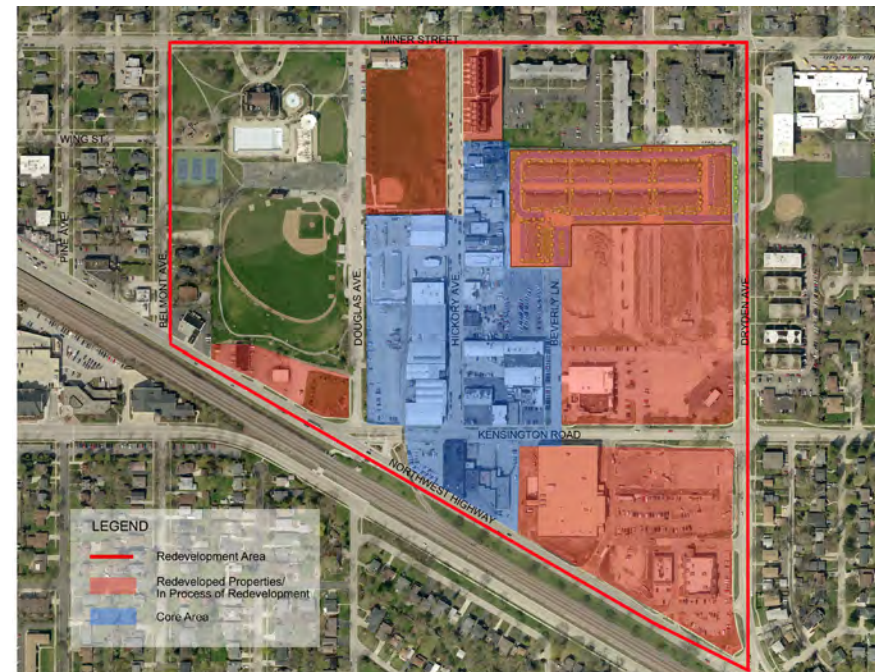


Figure 2. Map of Core Area

Hickory/Kensington Area Plan - Core Area

The Core area is designated to be redeveloped as mixed use commercial and residential with the intent to create a new, vibrant mixed use neighborhood. The plan below illustrates the established zoning throughout the overall development and core areas. New developments will be required to comply with the appropriate zoning requirements (R-6, R-7, B-2 / B-3) as well as the requirements of the Hickory/Kensington Overlay Zone.

Zoning Districts per Chapter 28 Zoning Regulations

Section 5.1-6:

R-6, Moderate Density Multiple Family Dwelling District

Section 5.1-7:

R-7, High Density Multiple Family Dwelling District

Section 5.1-11:

B-2: General Business / Mixed Use District

Section 5.1-12:

B-3: General Service, Wholesale and Retail District

Section 5.1-23:

Overlay Zoning District – Hickory Kensington Area

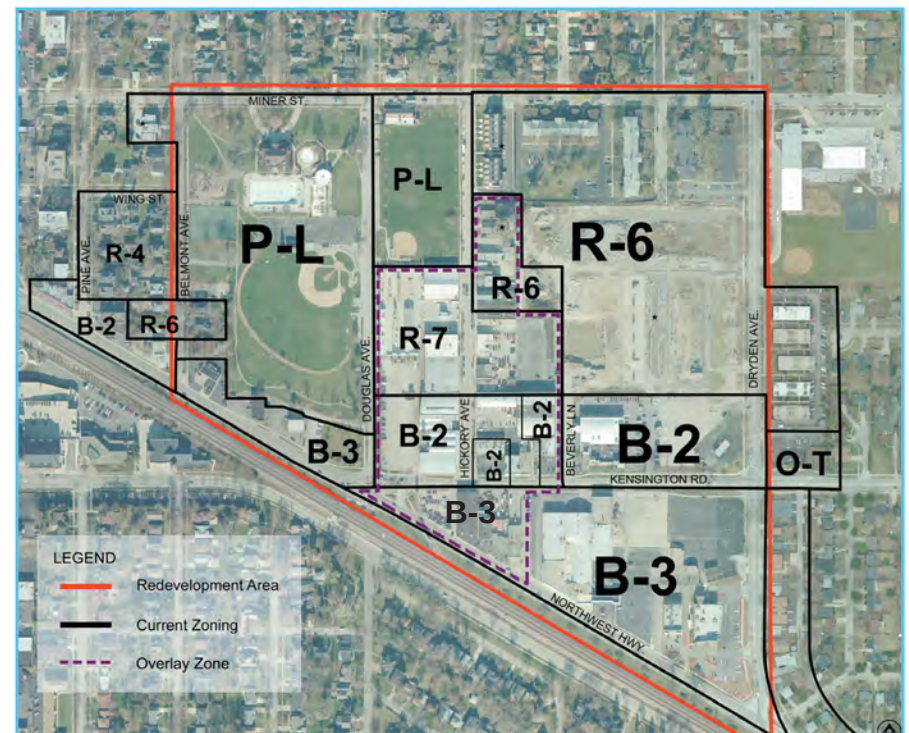


Figure 3. Zoning Map

2. Design Guidelines, Intent and Purpose

Per the direction of the Village Board, these Design Guidelines have been developed by the Village of Arlington Heights Planning and Community Development Department, and are approved by the Arlington Heights Design Commission.

The intent and purpose of the Design Guidelines is to establish the design standards for the overall Hickory/Kensington development, and to ensure a minimum standard of **quality, character**, and **cohesiveness** for the development of the area. As each portion of the Hickory/Kensington area is developed, the individual proposals will be evaluated against the standards established by these guidelines. These guidelines are intended to be used as a tool, early in the design process, to guide the design of each project being proposed within the development area.

Design Guidelines, by definition:

- Design, “the way in which something is planned and made.”
- Guidelines, “an official recommendation indicating how something should be done...”

3. Design Goals and Objectives

The focus of these Design Guidelines is on the architectural and streetscape requirements **for the Core Area**. The overall character and style envisioned for the Core area will be a **clean and modern** aesthetic. However, to ensure a cohesive overall character throughout the entire Hickory/Kensington area, context and compatibility of the Core area with the completed portions of the development area will be an important consideration of these guidelines.

Hickory/Kensington Area Plan

Vision Statement

A vibrant, mixed use neighborhood which complements the downtown area, providing new housing and commercial opportunities in a walkable, pedestrian friendly environment.

Design Goals and Objectives

- Develop a modern architectural aesthetic that is unique to Arlington Heights.
- Establish a modern streetscape aesthetic that is inviting and interesting.
- Implement exceptional architecture and urban design to create a unique, interesting, and vibrant place
- Create a walkable, pedestrian friendly neighborhood.
- Establish continuity throughout the development area by expanding upon completed portions of the development.
- Encourage sustainable development including, but not limited to, the use of bioswales for storm water management, green buildings, and energy efficient street lighting.

The Core Area is divided into four main zones:

- Mixed Use Zone
- High Density Residential Zone
- Moderate Density Residential Zone
- Commercial Zone

The Design Guidelines are arranged according to these four main zones in order to address the unique design requirements for each zone. Streetscape design standards are another focus of these design guidelines. The streetscape standards established in these Design Guidelines will apply throughout the Core Area and will serve as a common thread to tie all of the zones together.



Figure 4. Current Comprehensive Plan

The Core Area plan envisions moderate density multi-family housing, mixing row townhomes with multifamily buildings of 3 to 5 stories along Hickory Avenue from just north of Wing Street to Campbell Street. South of Campbell Street to Kensington Road would include mixed use development with commercial on the first floor and residential above, 4 to 5 stories. South of Kensington Road through to Northwest Highway would remain as commercial, with the western portion within the core area as a potential redevelopment site for new commercial.

The site plan and renderings below illustrate the type and scale of development envisioned.



Figure 5. Conceptual Build Out Plan



Figure 6. Conceptual Site Plan



Figure 7. Conceptual Street View of Hickory Looking South

4. Mixed Use Zone (B-2) & High Density Residential Zone (R-7)

The Mixed Use and High Density Residential zones are located along Hickory Avenue, starting at Kensington Road going north (refer to Figure 4 on page 5). The architectural style for these zones shall be fresh, clean, and modern. A modern aesthetic will be unique to Arlington Heights and will establish a distinctive identity for the Hickory/Kensington neighborhood core. Buildings fronting Kensington Road shall include first floor commercial space. Restaurants and service uses compatible with a mixed use neighborhood are encouraged.



Building Height (as adopted in the Overlay Zone per Ordinance 13-031):

- Mixed Use zone **B-2**: 4 – 5 stories, 40' minimum height, and 60' maximum height.
- High Density Residential zone **R-7**: 3 – 5 stories, 35' minimum height, and 55' maximum height.

Architectural Design Features:

- Flat roofs with deep horizontal projected cornices (Figures 8 & 10).
- Exposed metal features, such as balconies, canopies, and awnings, are encouraged to recall the former industrial use of the neighborhood (Figures 10 & 12).
- Clean details.
- Expansive use of glass.
- Simple geometric forms (Figure 9).
- Combinations of recessed and projected balconies for visual interest.
- Building Materials should have a crisp and clean appearance such as: glass, stucco, brick, and dressed stone masonry.
- Corner features are encouraged to create focal points of interest on the building design (Figures 8 & 9).

Street Level, Commercial space:

- The first floor shall have a distinctive appearance from the floors above.
- Expansive use of glass to promote pedestrian interaction with the business storefronts.
- Adequate wall area for signage shall be provided above the storefronts (Figure 11).

Character Images



Figure 8. Flat roofs and projected horizontal cornices establish a modern aesthetic.



Figure 9. Simple geometric forms and extruding volumes provide a visual hierarchy.



Figure 10. Non-traditional window patterns and metal framed canopies & balconies create a clean, modern appearance.

Street Level Character Images



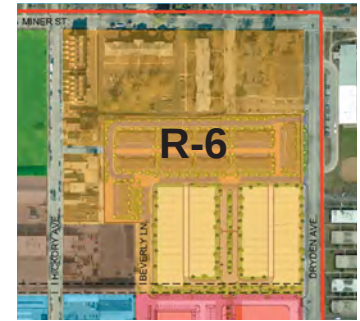
Figure 11. Example of signable wall area integrated into the building design. Recessed storefronts create a pedestrian scale and enhanced pedestrian experience.



Figure 12. Exposed steel framing evokes an industrial, but modern feel.

5. Moderate Density Residential Zone (R-6)

The Moderate Density Residential zone is located between the high density residential zone and the existing moderate density residential area along Hickory Avenue to the north (refer to Figure 4 on page 5). The moderate density residential zone will serve as a transition in architectural style from the modern high density residential zone to the existing, traditionally designed residential areas.



Building Height (as adopted in the Overlay Zone per Ordinance 13-031):

- 3 stories, 30' minimum height, and 40' maximum height.

Architectural Style / Character:

- Blend of modern and traditional forms (Figures 17-20).
- Can be traditional in form, but with a clean modern appearance (Figure 17-20).
- 4-sided architecture. Side and rear elevations shall be developed to a similar level of detail as the front elevations.

Suggested Design Features:

- Primarily flat roofs.
- Simple geometric massing.
- Exposed metal bays with simple, modern geometries.
- Regular window spacing to complement the existing adjacent traditional style developments.
- Building Materials should have a crisp and clean appearance, such as glass, stucco, brick, and dressed stone masonry.
- Corner features are encouraged to create focal points of interest on the building design (Figure 20).

Existing Residential Context



Figure 13. 177-197 N. Hickory Rowhomes



Figure 14. 177-197 N. Hickory Rowhomes



Figure 15. Arlington Crossings Townhomes, along Dryden Avenue



Figure 16. Arlington Market Single Family Residences (proposed)

Character Images for the R-6 Core Area



Figure 17. Blending traditional gable roofs with flat roofs provides an aspect of comfort to the modern aesthetic.



Figure 18. A mix of brick and stone masonry with simplified modern detailing complements the adjacent traditional homes.



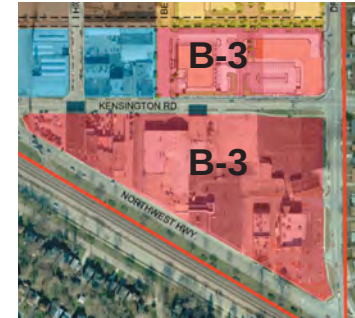
Figure 19. Flat roofs and simple geometric massing create an overall modern look.



Figure 20. Simple, modern geometry combined with traditional brick offers a sense of comfort to the area.

6. Commercial Zone (B-3)

The Commercial Zone is located along Kensington Road, between Dryden Street and Northwest Highway (refer to Figure 4 on page 5). A large portion of the commercial zone has already completed redevelopment. The guiding requirement for the architectural style of the remaining sites shall be to coordinate with and complement the existing context of the completed buildings.



Building Height:

- 1 or 2 stories

Architectural Design Features:

- Roof forms and building massing to complement the adjacent existing retail buildings.
- Colorful blend of materials.
- Expansive glass storefronts.
- Adequate wall area for signage shall be provided above the storefronts.
- Corner features are encouraged to create focal points of interest on the building design.

Existing Commercial Context



Figure 21. Mariano's Fresh Market, 802 E. Northwest Highway



Figure 22. Multi-tenant Retail along Kensington Road



Figure 23. Walgreens and Multi-Tenant Retail at Northwest Highway and Dryden Avenue

7. Sustainability / Green Technology

Per the Village Board goal to “promote green based policies and services”, sustainable design and construction methods are encouraged throughout the development area. There are numerous sustainable design strategies to consider which offer many benefits such as enhancing building occupants’ comfort and convenience, reducing energy and water consumption, aiding in the management of storm water, reducing air pollution, and minimizing construction waste.

Alternative Transportation:

- Promote the use of public transportation.
- The Arlington Heights Metra commuter rail station and Pace Bus stops are 1/2 mile from the Hickory / Kensington site.
- Encourage covered bicycle storage facilities on site for building occupants.



Green (vegetated) Roofs offer many benefits:

- Improves roof insulation which reduces energy consumption and improves occupant comfort.
- Extends the life of roofing membranes
- Helps manage storm water
- Reduces local heat island effects



Optimize Building Energy Performance:

- Efficient Mechanical Systems
- Energy Efficient Appliances and Lighting Fixtures
- Enhanced Building Envelope Insulation

Construction Materials:

- Consider environmentally friendly building products which contain at least 25% postconsumer recycled content.
- Use construction materials that are extracted, processed, and manufactured within 500 miles of the site.
- Responsibly manage construction waste to divert materials taken off of the site from landfills.

Reduce Water Consumption:

- Specify low consumption plumbing fixtures in kitchens and bathrooms.

ENERGY **OPTIMIZATION**



8. Streetscape

Streetscape improvements will be incorporated throughout the Hickory/Kensington area. The improvements will include items such as special paving, benches, trash receptacles, street trees, lighting and tree grates. The streetscape is designed to reduce maintenance by using materials such as concrete for the walkways with stamped concrete at key intersections. The overall style of the streetscape will be a clean and modern aesthetic. Below is a map identifying the area where the streetscape elements will be implemented, as well as a conceptual street view.



Figure 24. Map of pending streetscape application

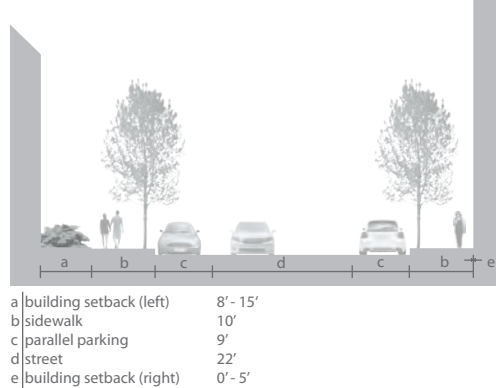


Figure 25. Conceptual street view of Hickory looking south

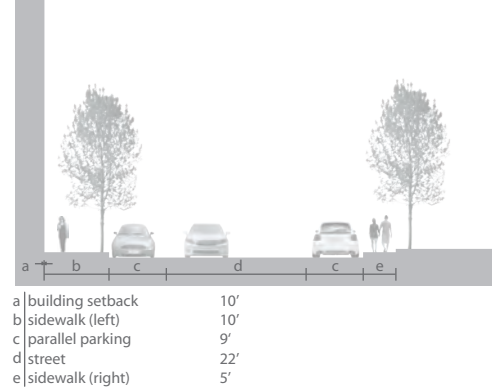
Street Sections

Cross sections for Campbell Street, Hickory Street, Douglas Avenue and Kensington Road have been designed to guide development and establish dimensions for landscaping and walkways. New development shall provide for sidewalks pursuant to the cross sections for each street delineated.

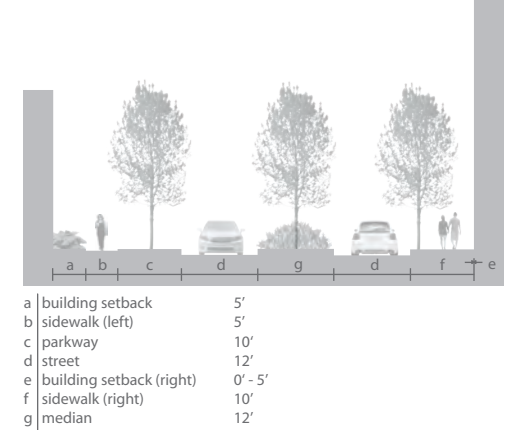
Hickory Avenue, Campbell Street



Douglas Avenue



Kensington Road



Streetscape Elements

The street network is on a grid with the key intersection located at Hickory Avenue and Campbell Street. The detail below includes curb bump outs, with stamped concrete at the bump outs only, along with stained concrete in the crosswalks. Concrete should be utilized for the walkways with decorative stamped concrete and curb bump outs at key intersections. These details are required at all intersections throughout the Hickory/Kensington core area. The Hickory/Kensington plan calls for extending Campbell Street from Douglas Avenue to Dryden Avenue.

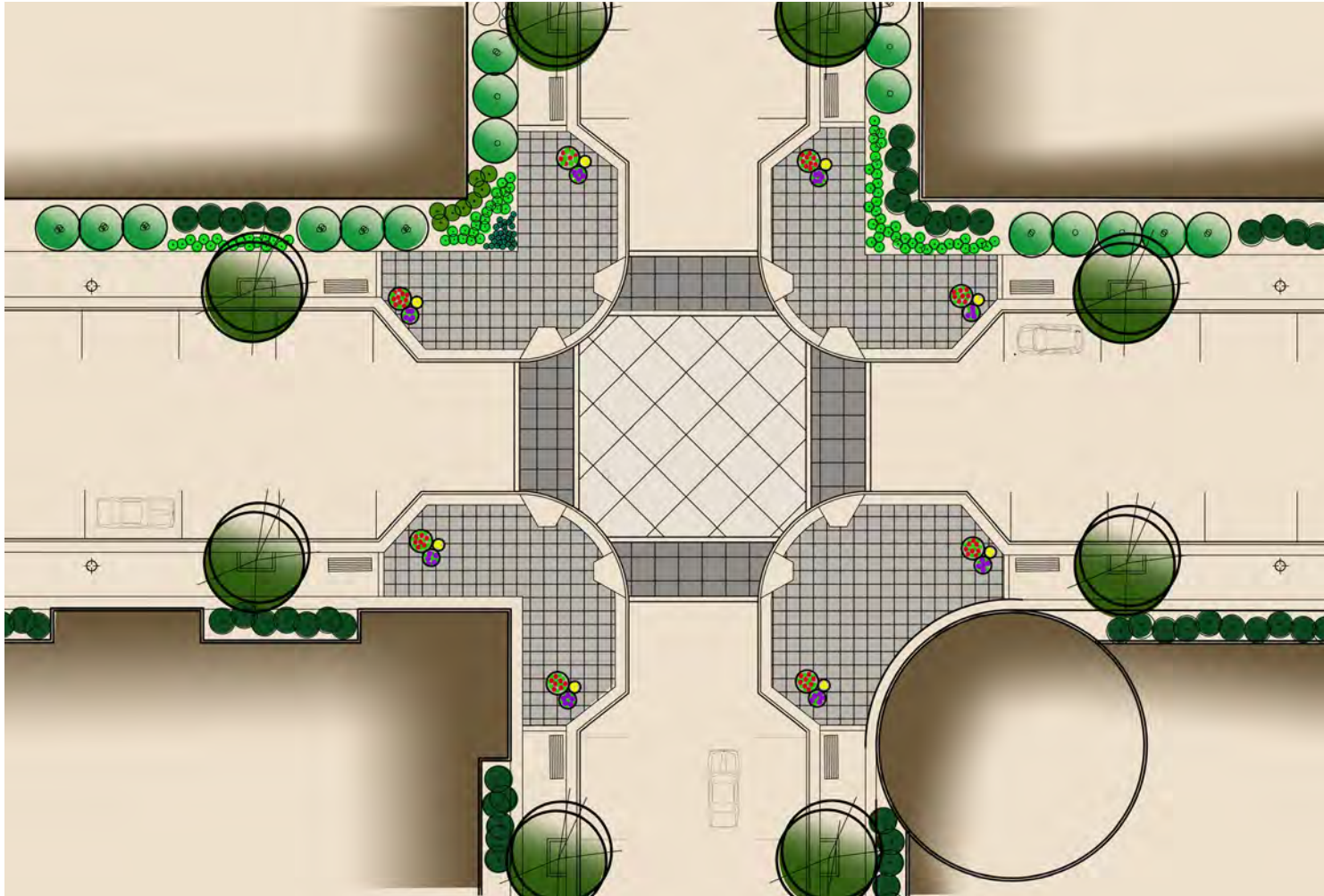


Figure 26. Curb bump out of Hickory Avenue and Campbell Street

Design Features

The use of street trees and other types of plant material along each corridor are important elements to help define the street edge and help soften the building mass as well as complement the architecture. Landscaping, along with lighting and street furniture will reinforce the modern design theme of the area. Landscaping will be used to add texture, color, form and seasonal interest and will be used to provide visual screening of undesirable views such as parking lots. The use of streetscape elements such as light fixtures, benches, trash receptacles and stamped concrete at key intersections will enhance and articulate the area. The streetscape is designed to be **low maintenance and cost effective**. Streetscape furnishings shall consist of contemporary furnishings in order to carry out the modern aesthetic.

- Install colored stamped concrete at the corners of key intersections along with curb bumpouts
- Paving colors will be tones of gray to establish a fresh modern look
- Utilize concrete for the walkways
- Implement decorative lighting within or along the right-of-way
- incorporate shade trees on public right-of-way that are spaced 35-40 feet apart
- Incorporate street furnishings that include benches, trash cans and raised planters

Kensington Road Improvements

Along Kensington Road, landscaped medians should be incorporated where feasible. Medians will help provide visual connectivity for the south commercial district and the north commercial/mixed use. A few of the benefits that medians can provide include:

- **Environmental**—landscaped medians incorporate trees and other plantings that help reduce the urban heat island effect.
- **Stormwater management**—medians collect and store stormwater, reducing the amount that enters storm sewers.
- **Aesthetics**—median plantings contribute to the “greening” and beautification .

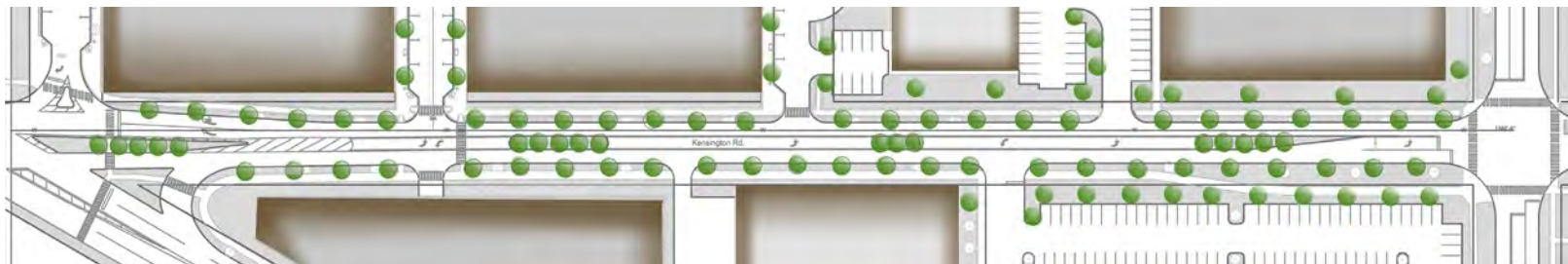


Figure 27. Kensington Road

Site Furnishings

The overall style of the site furnishings will complement the architecture and will consist of a clean and modern aesthetic.

Benches

- Clean, modern geometry
- Steel finish
- Should be carefully and conveniently located



Trash Receptacles

- Clean, modern geometry
- Steel finish
- Complement bench and site furnishings package



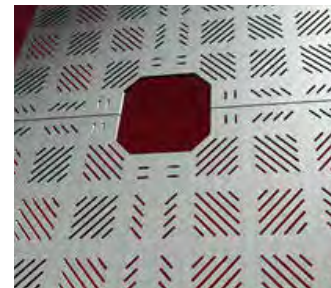
Colored Stamped Concrete

- Grey color
- Located at key intersections



Tree Grates

- Simple modern design
- Complement site furnishings package



Street Lights

- Modern, sculptural style
- Energy efficient LED light fixture
- Dark sky compliant



Bike Racks

- Simply designed with minimal visual impact
- Design consistent with bench and trash receptacle
- Shall be conveniently located but separate from pedestrian walks



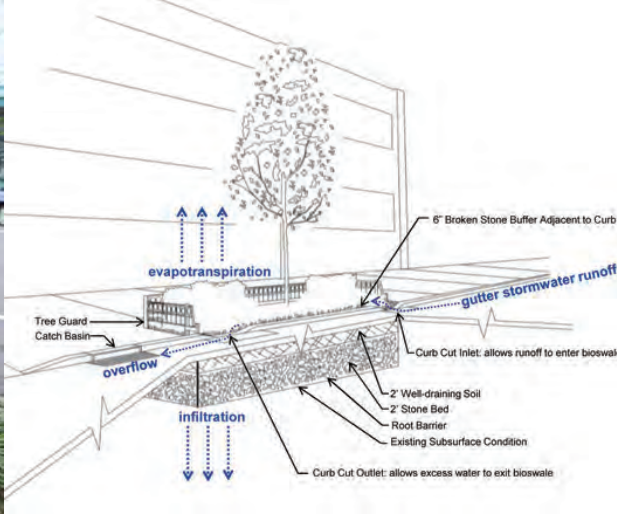
Pervious Pavement

- Explore the use of pervious pavement for parking lots
- Reduce water run-off
- Environmental benefits



Bio-Swales

Bio-swales are planting beds designed to remove silt and pollution from surface runoff water. They consist of a swaled drainage course with gently sloped sides and are filled with vegetation. The water's flow path, along with the wide and shallow ditch, is designed to maximize the time water spends in the swale, which aids in the trapping of pollutants. In addition to filtering runoff, bio-swales will absorb some of the water which will reduce run-off. Bio-swales will be incorporated into the streetscape within the core area.



The application of the recommended design treatments and details defined in this document can help establish a unified modern theme and unique visual image of the Hickory/ Kensington area. The use of the brick pavers at key intersections, light poles, and other site elements are essential in achieving a consistent level of corridor detail and beautification.

9. Summary

The design standards set forth in these Design Guidelines will serve to direct the overall aesthetic quality of the development of the Hickory/Kensington area towards the creation of a vibrant, mixed use neighborhood with a fresh and modern aesthetic that will be unique to Arlington Heights, and will provide new housing and commercial opportunities in a walkable, pedestrian friendly environment.



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Village of Arlington Heights
Department of Planning and Community Development
33 S. Arlington Heights Road
Arlington Heights, IL 60005
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Item: Sandwich Board Signs, Community Wide - Preliminary Discussion

Department: Planning & Community Development

As a result of the recently approved Downtown Sandwich Board and Removable Hanging Sign code revisions, the Village Board has requested that Staff review with the Design Commission, the possibility of expanding sandwich board signage community wide, throughout Arlington Heights. The purpose of placing this item on the Design Commission agenda for preliminary discussion is to obtain feedback from the Design Commission if this is an area you would like to explore further.

ISSUES: When evaluating this proposal, the Design Commission should consider the following issues:

1. Arlington Heights' Image.

- o Would Sandwich Board signs throughout the Village create the type of image desired for Arlington Heights?
- o Arlington Heights' primary competitors for retail business are:
 - Deer Park. Sandwich Board Signs are not allowed.
 - Mount Prospect. Sandwich Board signs are allowed in Downtown only.
 - Schaumburg. Sandwich Board signs are allowed in Downtown only.

2. Sign Blight.

- o Would allowing Sandwich Board signs throughout Arlington Heights create an overabundance of signage? How much signage is too much?
- o As determined by a Visual Preference Survey conducted in 2012, respondents prefer a limited amount of tastefully designed signage in lieu of an overabundance of signage.
- o Businesses are currently allowed: ground signs, wall signs, canopy/awning/marquee signage, and temporary "event" signage. Temporary signs are typically ground mounted signs or wall mounted banners.

RESEARCH: Staff reviewed nine select communities' sign codes for comparison.

Of the nine (9) communities surveyed:

- Two (2) of the communities do not allow sandwich board signs at all.
- Three (3) of the communities allow sandwich board signs in the Downtown area only.
- Four (4) of the communities allow sandwich board signs throughout all Business Districts, but require signs to be located adjacent to the building or within a short distance from the building entrance.

Staff also conducted a survey of Arlington Heights for sandwich board signs currently being used illegally outside of the Downtown. Many examples were found. Some were nicely designed and tastefully located along business storefronts, but many others were poor in appearance and located along roadways. Keeping the positive image of Arlington Heights as a priority, Staff does not recommend allowing sandwich board signs (outside of the Downtown) to be in the public way along streets or in parking lots and landscape islands. If sandwich board signs are to be considered in zoning districts outside of the Downtown, then it is recommended that they be required to be adjacent to the building entrance. It is cautioned that code enforcement of sandwich board signs throughout Arlington Heights

will be difficult if regulations are complex.

In regards to Removable Hanging Signs, it is Staff’s opinion that the character of this type of signage is unique to the Downtown pedestrian environment, and they are not recommended community wide.

The Design Commission should provide feedback as to whether you would like to see further study of these types of signage community wide.

ATTACHMENTS:

Description

Type

No Attachments Available