



Agenda
Village of Arlington Heights
Design Commission
Community Room, 3rd Floor
Arlington Heights Village Hall, 33 S. Arlington Heights Rd.
June 14, 2022
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Minutes - 5/24/22

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. DC#22-012 - 300 E. Emerson St. / SF-Addition
- B. DC#22-023 - 631 N. Beverly Ln. / SF-Teardown
- C. DC#22-029 - 203 S. Ridge Ave. / SF-Addition

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Rosangela Maldonado, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, rmaldonado@vah.com or (847)368-5791.



Design Commission
6/14/2022

Item: Minutes - 5/24/22

Department: Planning & Community Development

ATTACHMENTS:

Description

Minutes - 5/24/22

Type

Minutes

DRAFT

MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
MAY 24, 2022

Chair Kubow called the meeting to order at 6:30 p.m.

Members Present: Jonathan Kubow, Chair
Ted Eckhardt
Kirsten Kingsley
John Fitzgerald

Members Absent: Scott Seyer

Also Present: Jack Scapin, Owner of *1206 N. Harvard Ave.*
Robby Whitehead, Olympic Signs for 85 W. Algonquin Rd.
Geraldine Cretacci, Owner of *March Animal Hospital*
Steve Hautzinger, Planning Staff Liaison

REVIEW OF MEETING MINUTES FOR APRIL 12, 2022

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE MEETING MINUTES OF APRIL 12, 2022. ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 1. SINGLE-FAMILY ADDITION REVIEWDC#22-003 – 1206 N. Harvard Ave.

Jack Scapin, the homeowner, was present on behalf of the project.

Mr. Hautzinger summarized Staff comments. The petitioner is proposing a two-story addition to an existing two-story house, including a new front porch and a three-car attached garage. This project received approval from the Zoning Board of Appeals on May 9, 2022 for a front setback variation to allow the new garage addition with a front setback of 26 feet, where 36.6 feet minimum is required. The project does comply with all other R-1 single-family zoning requirements.

The subject property is located in an R-1 Zoning District where the minimum lot size is 15,000 sf. The context of the neighborhood has a variety of primarily traditional style homes, including small and large single-story and two-story homes with primarily attached garages. Overall, the proposed addition is nicely done in a classic colonial style that fits well with the existing house and neighborhood. The only concern with the proposed design is the prominence of the new three-car garage facing Clarendon Street on the south. The garage is quite tall and large, and it is recommended that the Design Commission evaluate the scale and massing.

Mr. Scapin addressed the essential character of the neighborhood to the unique circumstances of his property and further explained the hardship his family is incurring as a result of the property and why this design is the best proposed outcome. The essential character of this neighborhood is the diversity and lack of conformance to current standards. There are no sidewalks, the streets are curved, and the homes were intentionally offset and angled in the original design of the neighborhood in the 1930's. The intent of his project is to better incorporate the past additions of his home and do a comprehensible approach to the home. There appears to be four different previous additions to his home, which is common throughout this neighborhood, and they are somewhat piecemeal. Once this proposed design is completed, it will provide a 2-story single-family home that fits with the neighboring homes and the community. His home is angled along Harvard Avenue and the intersection is a sweeping curve, with no room to further utilize the land to the north or to the east because of restricted setbacks. His home was built in 1939, prior to neighboring homes, on an elevated lot with a severe grade change from the north sloping to the south.

Mr. Scapin also said that the proposed design is in harmony with the spirit and intent of the existing neighborhood. The garage will be situated parallel to the street and adjacent to the neighbor's garage, an elevation consistent with the neighbors. He is trying to follow the street as much as possible and pivot the home along the dog leg of the intersection, and align the garage face with the street, which is on Clarendon and consistent with the neighbors. The zoning variance he recently received is the minimum necessary to allow reasonable use of the existing property because as currently constructed, the garage and the driveway are not safe for his young children to play on, and the variation allows for a safer slope because of the extent of the grade change. The pictures provided do not really show how challenging and unsafe the slope of his driveway really is. He and his wife bought this home 4 years ago and want to raise their 3 children here and make this their forever home. The property's unique circumstances and the safety he is trying to create for him family are the intent of the design being presented tonight.

Mr. Scapin also commented about the massing and scale of the proposed addition, which helps assist the front porch roof meet the side of the garage and provide a continuous appearance. He tried to use the eave at the garage to break up the appearance and add windows on the garage to create more interest. He

reviewed these plans with the neighbors that directly surround his home and they are in full support of the project, including the variance that was recently approved. Mr. Scapin added that there is a home located kitty-corner from his home that has a garage within 10-feet of a setback, and there are a lot of homes in this neighborhood with variations. His home will be white with a green roof, their intent is to improve the character and maintain the harmony of the neighborhood. He welcomed any questions from the commissioners.

The commissioners summarized their comments. Commissioner Eckhardt appreciated the complexity of the proposed addition, which at first was a bit challenging for him. He said it was intriguing how the garage steps down and de-scales itself, making the center of the home prominent, which he likes. Although it is a big garage structure, the structure shrinks down by its lower elevation, and he could appreciate the grade change problems that currently exist. He felt this white home with a green roof simplifies a lot of the aesthetic things this commission looks at, and the home will be very attractive on this corner site. He had no problem with the proposed addition at this time.

Commissioner Fitzgerald said it was a very nice addition and will solve a lot of issues and will look like it belongs. The scale of the garage is in keeping with the home and is one of the nicer garages this commission has seen in a long time. He asked if the existing brick would remain white and he suggested beefing up the pillars on the front of the home because they seem a little small for such a large home. He also felt the material along the angled sides of the stairs leading up to the porch seem awkward. Overall, Commissioner Fitzgerald felt the proposed design would look nice and had no further comments.

Mr. Scapin responded to the comments from Commissioner Fitzgerald. He said the existing brick will remain white, and the material at the front steps will be white Hardie siding. He also explained his inspiration for the column design was taken from his visit to the second childhood home of John F. Kennedy in Brookline, Massachusetts. Commissioner Fitzgerald reiterated that the columns still felt a little small to him for such a large home.

Commissioner Kingsley agreed with the comments from the other commissioners. This is a nice home and the petitioner has given a lot of thought to the details of how to seamlessly make this old home cohesively fit together with all the previous additions that were done. She liked the columns on the front of the home and was okay with their size; however, how the columns terminate into the beam at the top is not shown, and she encouraged the petitioner to understand this detail. She was also not opposed to increasing the size of the columns to 8x8, and asked if the material would be smooth cedar and Mr. Scapin said yes. Commissioner Kingsley also commented that the style of the fish scale shingles on the bay window did not fit the rest of the home, especially with the brick, the siding and the garage, and she recommended using siding or a panel instead. She was happy to see that the size of the shutters actually fit the window, and she suggested putting shutters on the windows below on the brick.

Chair Kubow agreed with the comments from the other commissioners. He acknowledged the large amount of grade change that currently exists from the driveway to the street, and he understood the necessity to drop the garage and make it a little safer. Initially, he felt the garage would protrude and interrupt the scale of the neighborhood; however, looking at the previous elevation really helps. He was glad to see a petitioner that decides to expand their home and make it more visually interesting, instead of tearing it down. He was in support of the design as submitted.

Commissioner Eckhardt was concerned about the exposure of the grey concrete foundation line across the front of the home and the angled stair area at the porch, and he asked if there were plans to finish or paint these areas of exposed concrete. Mr. Scapin replied that there are no plans to paint these areas; however,

there are areas of existing landscaping and ground cover on the front of the home. Commissioner Eckhardt also pointed out that the area of the large drop-off at the stairs does not show a handrail, which will need to be addressed. He also suggested adding thin brick on the wing wall of the stairs to cover the exposed grey concrete.

Chair Kubow asked if there was any public comment on the project and there was no response from the audience.

Commissioner Kingsley asked for confirmation that all the trim will be wrapped aluminum, the siding will be Hardie, the columns along the front will be cedar, and the brackets by the garage will be smooth painted cedar, and Mr. Scapin confirmed this. With regards to the columns along the front of the home, Chair Kubow suggested looking at how the cornice piece comes to the top of the soffit, and perhaps mimic that.

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER ECKHARDT, TO RECOMMEND APPROVAL OF THE PROPOSED ARCHITECTURAL DESIGN FOR THE SINGLE-FAMILY HOME ADDITION AT 1206 N. HARVARD AVENUE, AS SUBMITTED. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE PLANS RECEIVED 3/28/22, ELEVATIONS RECEIVED 4/5/22, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT TO DO SOMETHING TO FINISH THE EXPOSED FOUNDATION WALL AT THE PORCH STEPS TO THE GARAGE, SUCH AS PAINTING IT OR USING THE SAME STONE OR BRICK USED ON THE HOME.
2. A RECOMMENDATION TO INCREASE THE SIZE OF THE COLUMNS/POSTS ON THE FRONT PORCH TO 8X8.
3. A RECOMMENDATION FOR THE SIDING DETAIL IN THE UPPER BAY WINDOW TO USE EITHER THE SAME HARDIE LAP SIDING MATERIAL ON THE HOME OR JUST PANELS.
4. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

FITZGERALD, AYE; KINGSLEY, AYE; ECKHARDT, AYE; KUBOW, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 2. SIGN VARIATION REVIEWDC#22-022 – 85 W. Algonquin Rd.

Robby Whitehead, representing *Olympik Signs* was present on behalf of the project.

Mr. Hautzinger summarized Staff comments. This is a sign variation request to allow a new wall sign. The subject property is an existing six-story office building located between the I-90 tollway on the south, and Algonquin Road on the north. Per Chapter 30 sign code, for multi-story buildings with a shared common entrance, only one wall sign is allowed at the top of the building per street frontage. The subject property already has a “Derick Dermatology” wall sign located at the top of the building on the southeast wall facing the I-90 tollway. The petitioner is proposing a wall sign for American Community Bank to be located at the top of the building on the southwest wall facing the I-90 tollway. American Community Bank will be on the fifth floor with 7,000 sf of office space to start and options to potentially expand. Since only one wall sign is allowed per code, a sign variation is required to allow two wall signs facing the I-90 tollway.

1. A variation from Chapter 30, section 30-402.b Number, to allow two wall signs at the top of the building facing the I-90 tollway, where only one wall sign is allowed per street frontage.
2. A variation from Chapter 30, section 30-403.a Dimensions, to allow a 208.1 sf wall sign facing the I-90 tollway, where 0 sf is allowed.

The petitioner has submitted a letter addressing the sign variation criteria, stating that American Community Bank needs the wall sign to identify their business and their location. They feel the orientation of the building creates a unique hardship, and the wall sign is within the character of the building and surrounding similar buildings and signage.

Staff agrees that the angled orientation of the building is a unique situation which creates two walls with good visibility from the I-90 tollway. Staff also agrees that the proposed wall sign fits well with the character of the building and the surrounding context. The square footage of the proposed sign complies with 25% of the signable wall area, and Staff has no objections.

Staff recommends the Design Commission recommend approval to the Village Board for the following sign variations for 85 W. Algonquin Road:

1. A variation from Chapter 30, section 30-402.b Number, to allow two wall signs at the top of the building facing the I-90 tollway, where only one wall sign is allowed per street frontage.
2. A variation from Chapter 30, section 30-403.a Dimensions, to allow a 208.1 sf wall sign facing the I-90 tollway, where 0 sf is allowed.

This recommendation is subject to compliance with the plans received 4/22/22, Federal, State, and Village Codes, regulations, and policies, and the issuance of all required permits, and the following conditions:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage

requirements.

Mr. Whitehead said that he represents Olympik Signs which is a 40-year old sign company that does a lot of work in this community. The existing building is unique in the way it is orientated with the street frontage and they are trying to get some exposure from I-90 and to the community. The wall sign being proposed is similar to other signs in the area.

The commissioners summarized their comments. Commissioner Kingsley saw the hardship for the petitioner and felt there was no issue with having a second wall sign on the building, it would only help. She said the wall sign was nicely designed and proportioned, although she suggested making the sign left-justified on the building to give more separation from the existing Derick Dermatology wall sign. Commissioner Kingsley felt the proposed wall sign will be an asset for the new client in the building. Commissioner Eckhardt was fine with the proposed new wall sign and variations requested. Commissioner Fitzgerald was also fine with the wall sign because of the angle of the building along I-90. Chair Kubow agreed and had no further comments.

Chair Kubow asked if there was any public comment on the project and there was no response from the audience.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER FITZGERALD, TO RECOMMEND TO THE VILLAGE BOARD OF TRUSTEES, APPROVAL OF THE FOLLOWING SIGN VARIATION REQUEST FOR 85 W. ALGONQUIN ROAD:

1. A VARIATION FROM CHAPTER 30, SECTION 30-402.B NUMBER, TO ALLOW TWO WALL SIGNS AT THE TOP OF THE BUILDING FACING THE I-90 TOLLWAY, WHERE ONLY ONE WALL SIGN IS ALLOWED PER STREET FRONTAGE.
2. A VARIATION FROM CHAPTER 30, SECTION 30-403.A DIMENSIONS, TO ALLOW A 208.1 SF WALL SIGN FACING THE I-90 TOLLWAY, WHERE 0 SF IS ALLOWED.

THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE PLANS RECEIVED 4/22/22, FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

FITZGERALD, AYE; ECKHARDT, AYE; KINGSLEY, AYE; KUBOW, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

Mr. Hautzinger said that Staff will be in contact with the petitioner regarding the scheduling of the variation request before the Village Board, which will be the next step.

DRAFT

ITEM 3. COMMERCIAL REVIEWDC#22-025 – March Animal Hospital – 1000 E. Central Rd.

Geraldine Cretacci, owner of *March Animal Hospital*, was present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing exterior modifications to an existing animal hospital building, including painting the exterior brick, replacing the fabric awnings, repair and paint the existing wood fence screening. The exterior design of this building received Design Commission approval in 2002, with the following conditions:

1. THAT ALL WINDOWS AND DOORS BE GRAY ALUMINUM;
2. THAT ALL AWNINGS BE BURGUNDY WITH GRAY ACCENT FASCIA AND BE CONSISTENT IN A SLOPED, SHED-STYLE WITH CLOSED SIDES;
3. THAT THE EXISTING BLUE COPING BE PAINTED A COLOR TO MATCH THE STANDARD GRAY ALUMINUM;
4. THAT ALL DOWNSPOUTS BE PAINTED OUT TO MATCH THE BRICK COLOR TO MAKE THEM DISAPPEAR.
5. THAT ALL UTILITY METERS AND EQUIPMENT AS WELL AS ROOFTOP MECHANICAL EQUIPMENT BE SCREENED.

Since the petitioner is proposing changes to the above conditions, Design Commission approval is required.

The proposed whitewash paint with black fabric awnings will work well with the existing black windows, and overall it will be a nice update to the building's appearance. However, for a cohesive appearance, it is recommended that the existing tan covered entry porch be painted white, the existing brown asphalt roof shingles be replaced with black shingles, existing tan gutters/downspouts be replaced with white, and the metal flashing and coping around the top of the building be painted black. Photos have been provided of two actual paint samples applied in the existing building wall. Staff recommends the left paint sample, which has a more even appearance than the spotted sample on the right.

The existing building has three areas of board-on-board wood picket fencing used to enclose the trash area on the back of the building, enclose an exit door on the west side of the building (to prevent animals from escaping), and screen rooftop mechanical equipment. All of the fencing is currently painted dark brown. The petitioner is proposing to replace broken/missing pickets and apply a fresh coat of brown paint. For a cohesive appearance with the proposed white & black color scheme, Staff recommends that the trash and exit door enclosures be painted white to match the proposed new wall paint, and the rooftop screen be painted black.

There is one rooftop mechanical unit located at the northwest corner of the building with exposed ductwork that is not screened and highly visible. Due to the unit being so close to the edge of the roof, it does not look feasible to add screening around this unit. It is recommended that in the future when this mechanical unit is ready for replacement, it be relocated away from the edge of the building, ductwork routed inside the building, and screening provided around the unit.

There is an existing shed located against the west wall of the building, facing the street. Per code, sheds are accessory structures, which are only allowed in the rear yard. The Village does not have any records of a

permit for the existing shed, which makes it illegal. The shed either needs to be removed, or if there is a hardship requiring the shed to remain, a zoning variation can be requested from the Zoning Board of Appeals. If a zoning variation is granted allowing the shed to remain, it is recommended that it be painted white with black door, black trim, and black roof shingles to match the proposed new color scheme.

Staff recommends approval of the architectural design changes proposed for the building, with the recommendations and comments as summarized in the Staff report.

Ms. Cretacci said that after reviewing the recommendations from Staff, she is proposing the following: paint the existing brick the whitewash color shown on the left side sample, black fabric awnings, change the porch roof shingles to black, paint the tan entrance white to match the brick but paint the columns black for contrast, and change the downspouts to white. She loved the idea of painting the rooftop fence screening black, and she proposed doing the same with the other fence screening on the side and rear of the building. Ms. Cretacci also had no issue with removing the shed on the west side of the building that was installed prior to her purchasing the building in 2017.

Chair Kubow asked the petitioner about her decision to propose the white/black concept for the building, which he felt will require extensive painting and repair work, versus keeping the existing white/brown color scheme. Ms. Cretacci said that she wants to modernize the building more and have a little more contrast. This is the first step in her plan to also update some of the building's interior to create a farmhouse rustic feel.

The commissioners summarized their comments. Commissioner Fitzgerald said that in general, everything looks good and he agreed with all of Staff's recommendations. If the petitioner really wants the columns to be black, then he would suggest the wood trim and the gutters above also be black. He liked the idea of either white or black for the fence screening, and the removal of the shed should be included in the motion tonight. Commissioner Fitzgerald also liked either sample being shown for the white paint color for the building.

Mr. Hautzinger asked if the dark spots shown on the paint sample on the right are the existing brick color showing through, or applied after the white color. Ms. Cretacci said the spots are the existing brick color on the building. She also said she was unsure which color to choose for the columns, white or black, and she will be requesting a rendering of both from her painter, and welcomed comments from the commissioners as well.

Commissioner Eckhardt was glad to see the building being updated and painted white, and he was okay with either of the paint samples shown; however, he preferred the sample on the right, if it is applied correctly. For the black color being proposed, he suggested a color more graphite than jet black, and if the columns are painted black, then it should be continued up into the pediment area and the beams; there cannot be white trim and black columns. He also encouraged the petitioner to use mock-ups to help with the decisions on color.

Commissioner Kingsley agreed with the comments made. She was not opposed to painting the columns black; however, then the trim and the eaves coming down should also be black, as well as the gutters. She was okay with painting the columns white, but suggested not painting the limestone cap on the brick base of the columns. She had hesitations with the true black color being proposed, which was very dark, and she suggested a dark black charcoal or a dark bronze color instead, to give more warmth and help with a lot of the nuance. Ms. Cretacci was not opposed to a darker brown color for the fence screening, and she suggested a dark burnt cedar color, which is a very dark bronze almost black color. Commissioner Kingsley

also preferred the white paint sample on the left, because she was concerned about the polka dot look on the right sample.

Chair Kubow asked for clarification on the color of the rooftop fence screening, and Ms. Cretacci said she was considering a dark burnt cedar color that is a very dark brown/almost black color, instead of black. Chair Kubow felt the changes being proposed would be a great refresh to the building, although he also expressed concerns that the white paint color could look more artificial than natural, and the existing brick color could show through.

Ms. Cretacci asked the commissioners for clarification about using a dark burnt cedar color on the other areas of fence screening located on the side and rear of the building. The commissioners were okay with that change.

Chair Kubow asked if there was any public comment on the project and there was no response from the audience.

A MOTION WAS MADE BY COMMISSIONER KINGSLEY, SECONDED BY COMMISSIONER FITZGERALD, TO RECOMMEND APPROVAL OF THE PROPOSED ARCHITECTURAL DESIGN FOR *MARCH ANIMAL HOSPITAL* LOCATED AT 1000 E. CENTRAL ROAD. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE PLANS RECEIVED 5/5/22, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT THAT THE FRONT ENTRY BE PAINTED WHITE OR BLACK, DEPENDING ON THE COLOR OF THE COLUMNS.
2. A REQUIREMENT THAT THE COLUMNS BE WHITE OR BLACK, AND THE TRIM BE THE SAME COLOR AS THE COLUMNS.
3. A REQUIREMENT THAT ALL FENCE SCREENING BE PAINTED BLACK OR A DARK COLOR SIMILAR TO BLACK, SUCH AS A DARK EBONY, BURNT CEDAR, OR DARK BRONZE.
4. A REQUIREMENT THAT THE EXISTING SHED ON THE WEST SIDE OF THE BUILDING BE REMOVED.
5. A REQUIREMENT THAT THE ROOF SHINGLES OVER THE FRONT ENTRY BE A DARK CHARCOAL COLOR OR BLACK.
6. A REQUIREMENT THAT THE COPING AND THE METAL WORK BE PAINTED A COLOR SIMILAR TO THE FENCES.
7. A RECOMMENDATION THAT THE BRICK BE PAINTED THE WHITE COLOR SHOWN ON THE LEFT OF THE 2 SAMPLES SHOWN.
8. A RECOMMENDATION THAT IN THE FUTURE, WHEN THE EXPOSED MECHANICAL UNIT LOCATED AT THE NORTHWEST CORNER OF THE ROOF IS READY FOR REPLACEMENT, THAT IT BE RELOCATED AWAY FROM THE EDGE OF THE BUILDING, DUCTWORK ROUTED INSIDE THE BUILDING, AND SCREENING PROVIDED AROUND THE UNIT.
9. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN

COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

FITZGERALD, AYE; KINGSLEY, AYE; ECKHARDT, AYE; KUBOW, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

Ms. Cretacci asked about final permit approval to begin work, and Mr. Hautzinger said he believed a permit was not required to paint the building, so with this approval tonight, the work can proceed.

ITEM 4. GENERAL MEETING

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER FITZGERALD, TO ADJOURN THE MEETING AT 7:30 P.M.

FITZGERALD, AYE; ECKHARDT, AYE; KINGSLEY, AYE; KUBOW, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

DRAFT



Design Commission
6/14/2022

Item: DC#22-012 - 300 E. Emerson St. / SF-Addition

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for an addition to an existing single-family residence.

Recommendation

It is recommended that the Design Commission evaluate the design of the proposed addition at 300 E. Emerson Street. This recommendation is based on the architectural plans received on 4/5/22, and the following:

1. Evaluate the massing of the proposed design with the two-story addition attached to the back of the existing single-story house.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with Design Commission and any other Commission or Board approval conditions. It is the petitioner's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit, and signage requirements.
3. Compliance with all Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report
Exhibits

Type

Board or Commission Report
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: Gavanovic Residence
Project Address: 300 E. Emerson Street
Prepared By: Steve Hautzinger

Date Prepared: June 8, 2022

PETITION INFORMATION:

DC Number: 22-012
Petitioner Name: Kevin Purdom
Petitioner Address: JRC Design Build
1275 E. Davis Street
Arlington Heights, IL 60005
Meeting Date: June 14, 2022

Requested Action(s): Approval of the proposed architectural design for an addition to an existing single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines.

The petitioner is proposing a two-story addition to an existing single-story house, including a new attached two-car garage. An existing detached garage will remain. The property has a total land area of 24,070 square feet and the proposed residence with additions will be approximately 2,744 square feet. The project does comply with the R-1 single-family zoning requirements as summarized below.

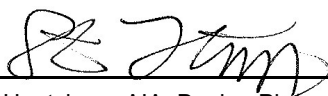
	ALLOWED	PROPOSED
Setbacks	Front: 50 feet max or average of block Side: 14.3 feet Side: 14.3 feet Rear: 30 feet	Front: 53.4 (to new addition) Side: 14.6 feet Side: 73.8 feet Rear: 89.9 feet
Building Height	25 feet to the midpoint	23 feet to the midpoint
FAR	7,221 SF	2,744 SF
Building Lot Coverage	7,221 SF	2,171 SF
Impervious Surface Coverage Total	12,035 SF	3,509 SF

Overall, the proposed two-story addition is poorly integrated with the existing single-story house. Per the Design Guidelines, "*new additions will look like they belong and not dominate the original building*". In this case, the two-story addition looks tacked onto the back of the existing house with little effort made to blend the massing together to feel like one house. A more conventional approach to this project would be a second story addition placed on top of the existing house with a single-story garage attached to the side.

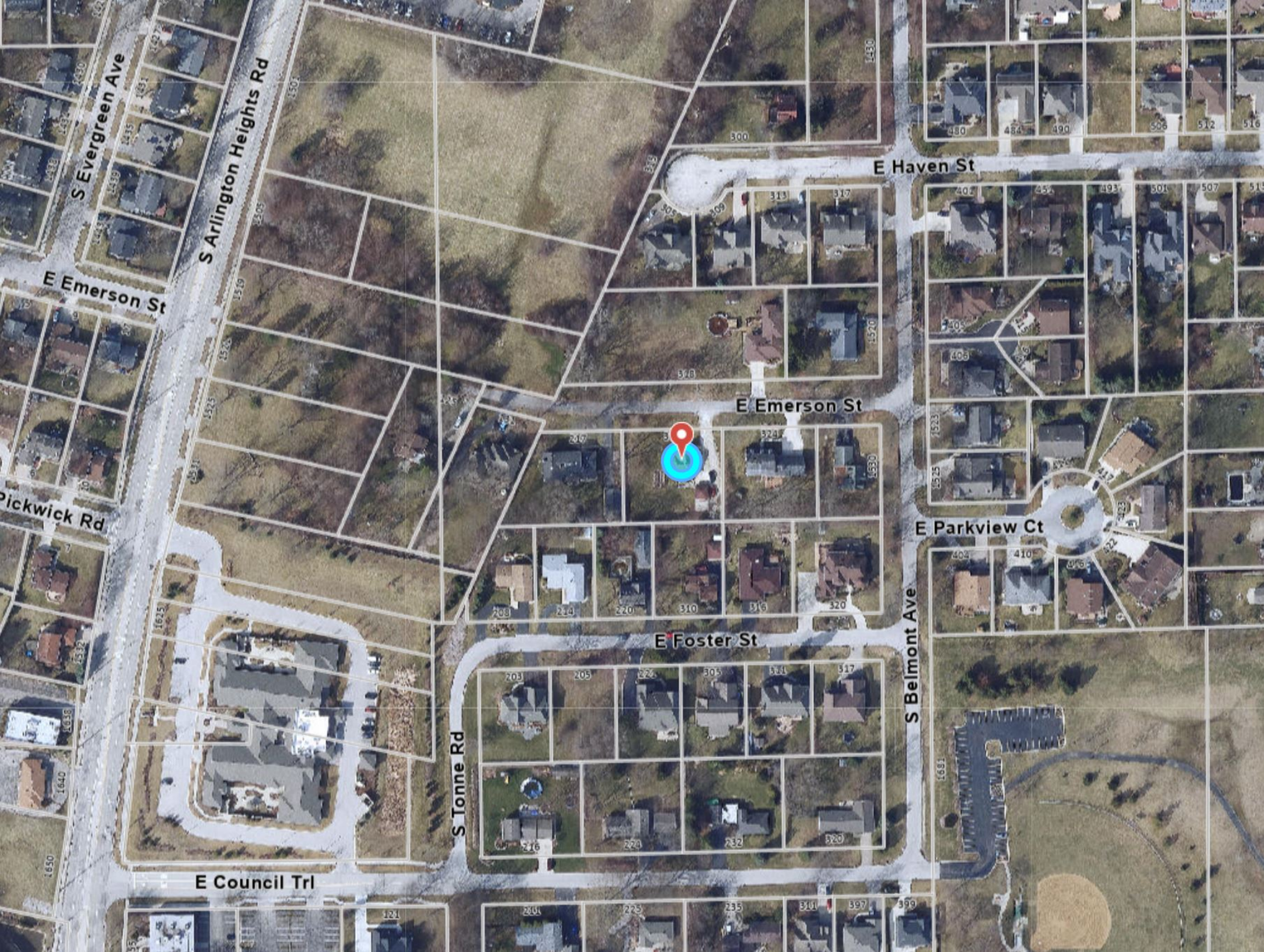
RECOMMENDATION:

It is recommended that the Design Commission evaluate the design of the proposed addition at 300 E. Emerson Street. This recommendation is based on the architectural plans received on 4/5/22, and the following:

1. Evaluate the massing of the proposed design with the two-story addition attached to the back of the existing single-story house.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with Design Commission and any other Commission or Board approval conditions. It is the petitioner's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit, and signage requirements.
3. Compliance with all Federal, State, and Village codes, regulations and policies.

 June 8, 2022
Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

C: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 22-012



S Evergreen Ave

S Arlington Heights Rd

E Emerson St

Pickwick Rd

E Haven St

E Emerson St

E Parkview Ct

E Foster St

E Council Trl

S Belmont Ave

S Tonne Rd

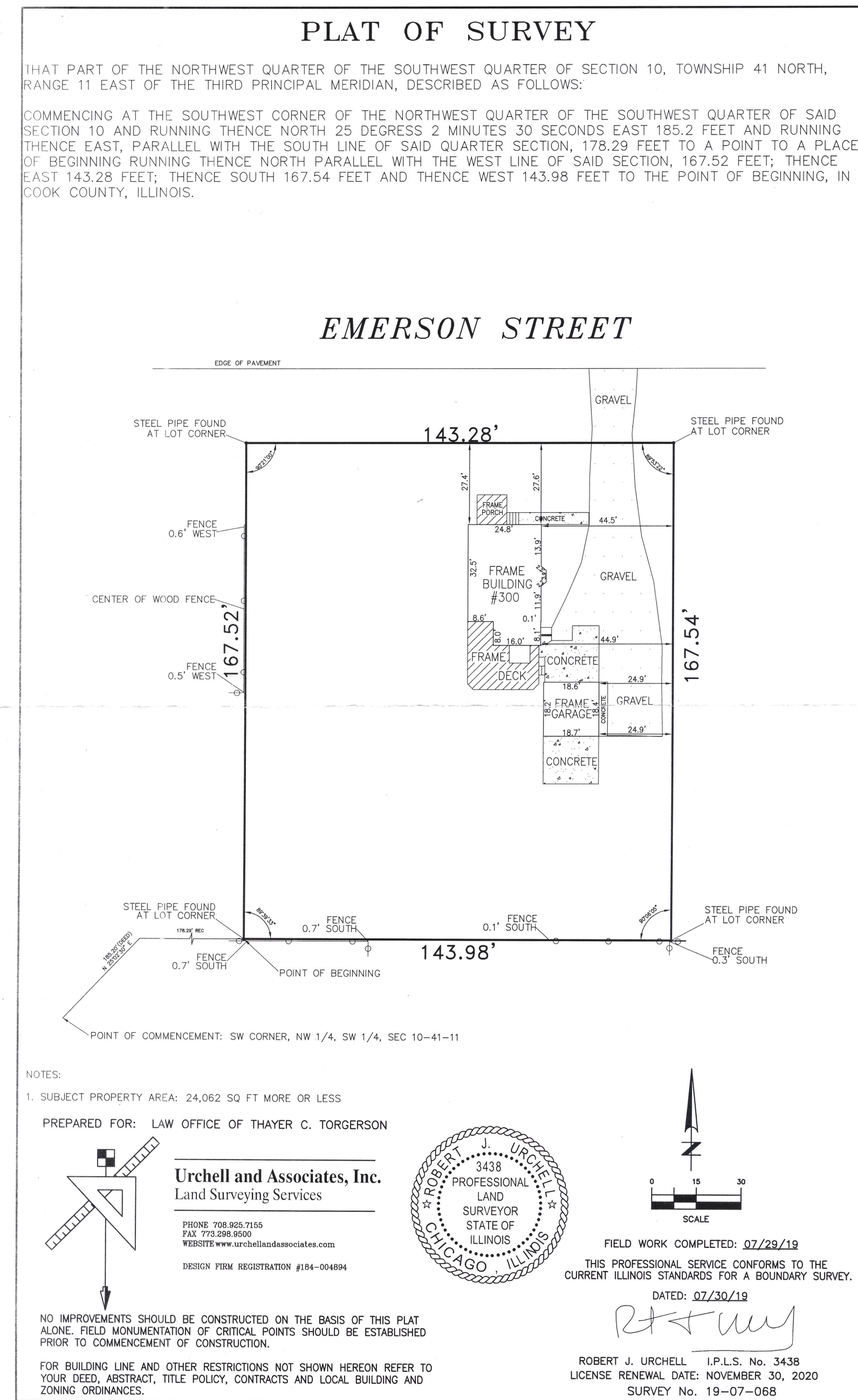
ADDITION TO
GAVRANOVIC RESIDENCE
300 E EMERSON ST
ARLINGTON HEIGHTS, IL

DATE

03/25/2022

ISSUE DATE

03/25/2022 1 - DESIGN REVIEW



1 NORTH ELEVATION - EXISTING
A0.00 1/8" = 1'-0"



2 WEST ELEVATION - SIDE
A0.00 1/8" = 1'-0"

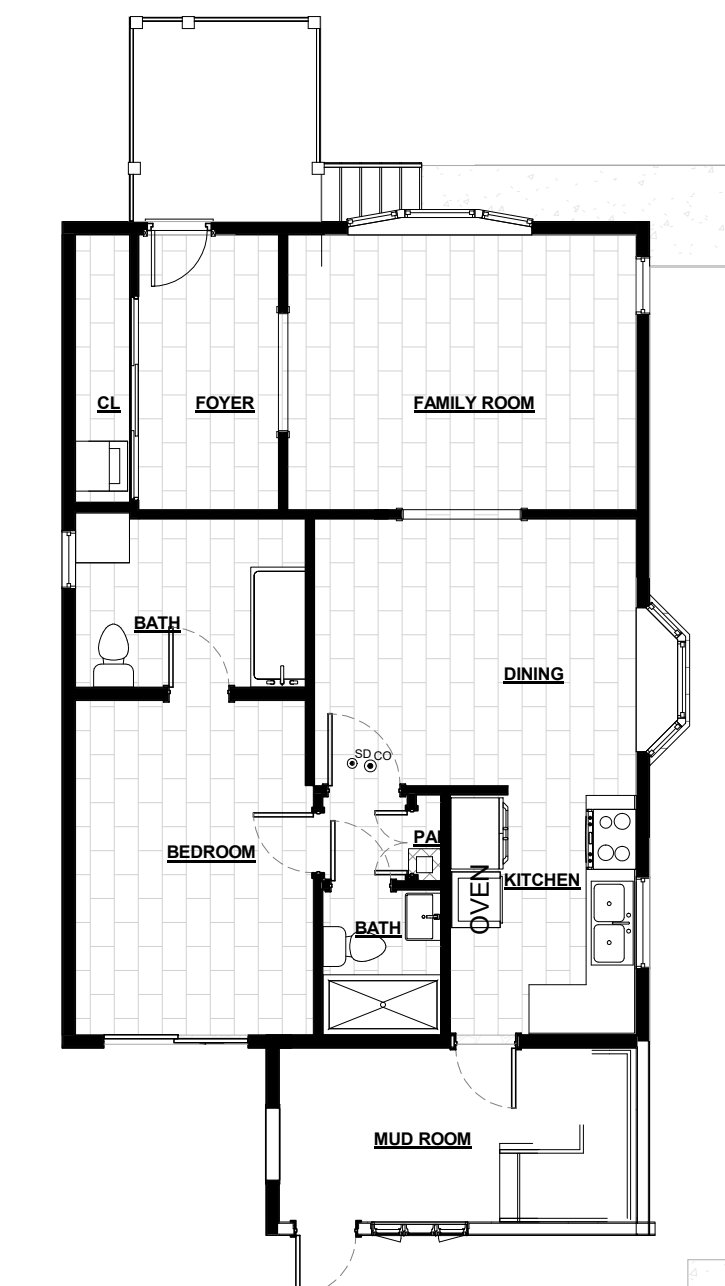


3 SOUTH ELEVATION - REAR
A0.00 1/8" = 1'-0"

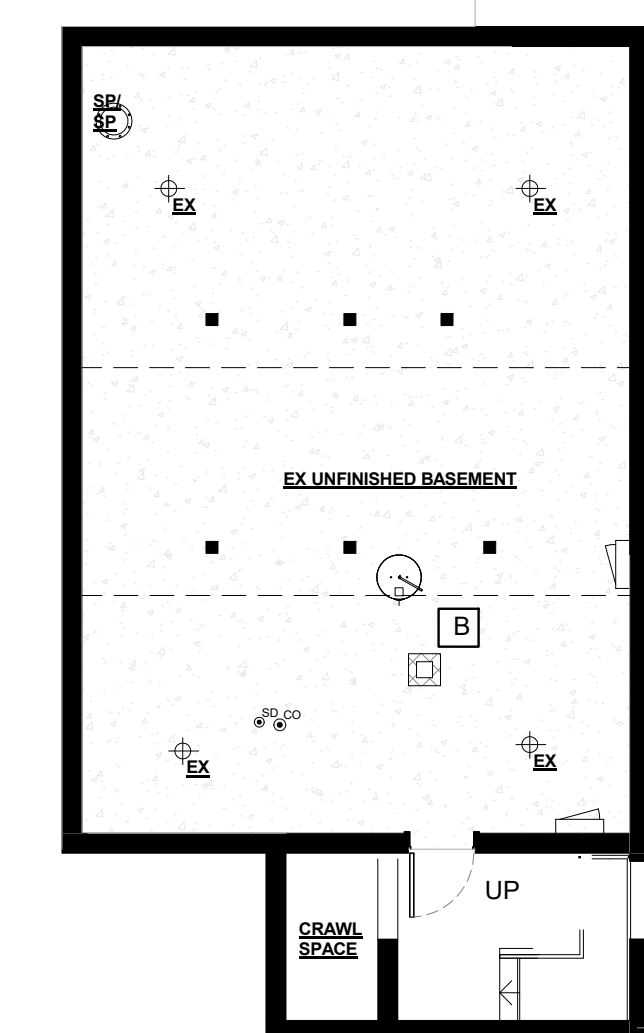


4 EAST ELEVATION - EXISTING
A0.00 1/8" = 1'-0"

5 FIRST FLOOR - EXISTING
A0.00 1/8" = 1'-0"



6 BASEMENT - EXISTING
A0.00 1/8" = 1'-0"



THESE DRAWINGS ARE NOT FOR CONSTRUCTION AND ARE FOR CONCEPT ONLY. DIMENSIONS, HEIGHTS, AND WALL LOCATIONS TO BE VERIFIED.

SHEET TITLE
EXISTING DRAWINGS

SHEET NUMBER

A0.00

SITE SETBACKS (R-1)

	REQUIRED	PROPOSED
FRONTYARD	40'-0"	EX 28'-1"
INTERIOR SIDEYARD 10% LOT WIDTH	14'-3"	EX 73'-10"
INTERIOR SIDEYARD 10% LOT WIDTH	14'-3"	14'-7"
REARYARD	30'-0"	89'-11"
HEIGHT - MEAN	MAX 25'-0"	25'-0

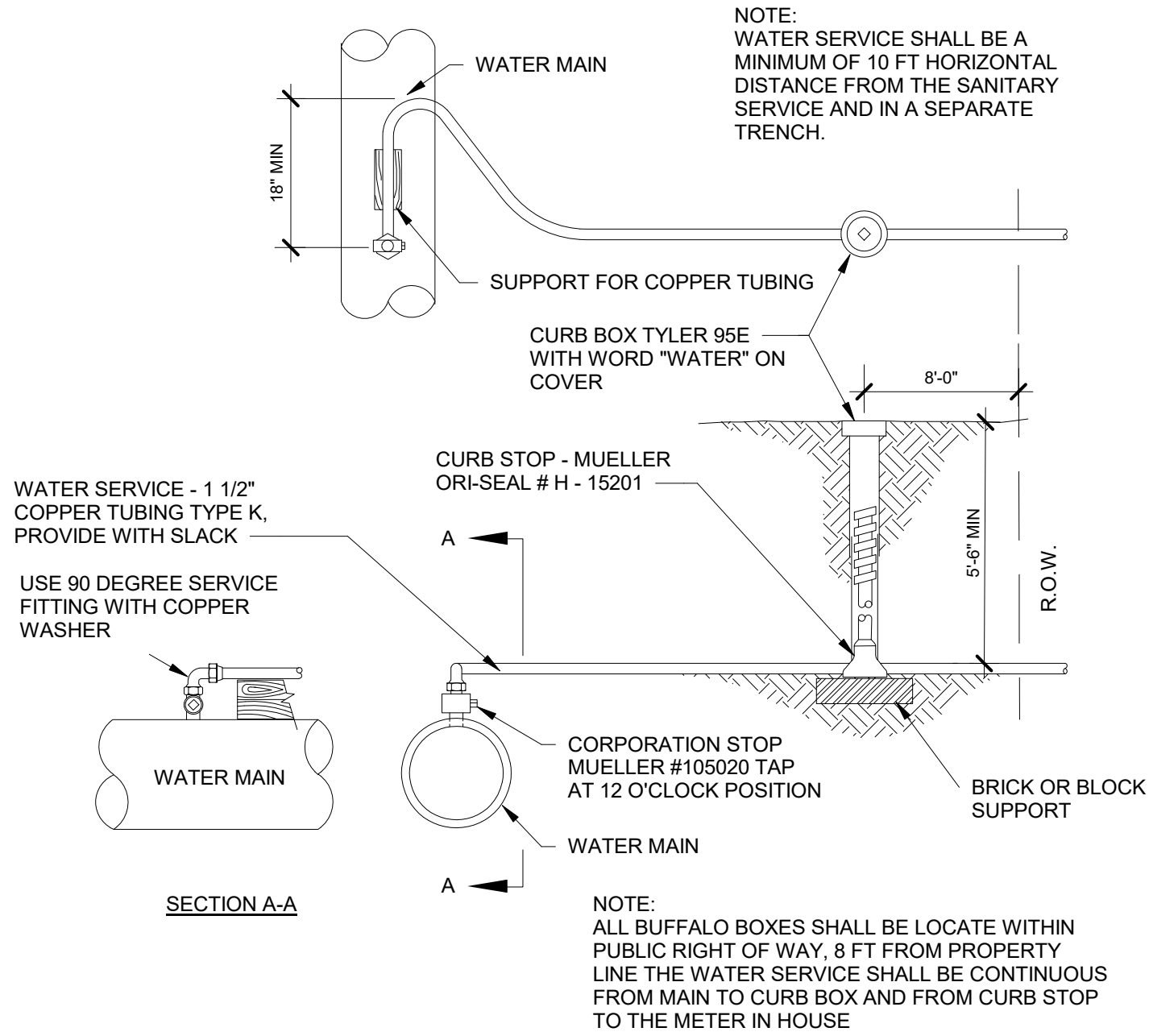
AVERAGE SETBACKS

ADDRESS	FRONT YARD
125 E EMERSON ST	67'-0"
131 E EMERSON ST	44'-6"
217 E EMERSON ST	25'-0"
EX. 300 E EMERSON ST	27'-0"
324 E EMERSON ST	36'-0"
AVERAGE SETBACK	39'-9"

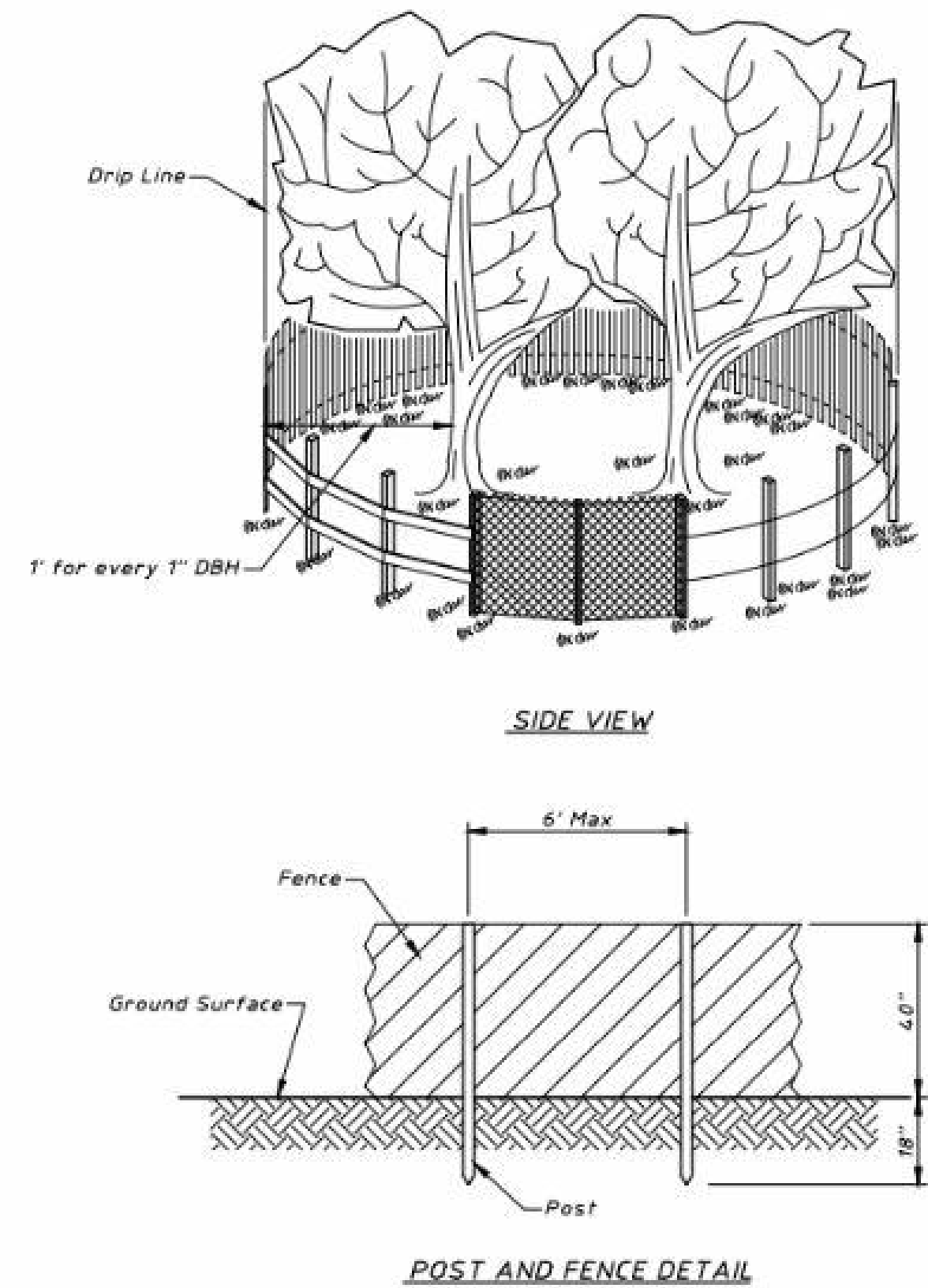
SITE PLAN LEGEND & NOTES

- INFORMATION ON THIS DRAWING IS ACCUMULATED FROM EXISTING DOCUMENTATION AND MUST BE CONFIRMED BY THE CONTRACTOR AND COORDINATED WITH THE ARCHITECT PRIOR TO CONSTRUCTION. ARCHITECTURAL SITE PLAN IN FOR SCHEMATIC PURPOSES ONLY. SEE SITE ENGINEERING PLAN AND LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- VERIFY LOCATIONS OF ALL UTILITIES AND OTHER BUILDING SERVICES PRIOR TO EXCAVATION.
- PROVIDE REQUIRED WORK TO ACCOMMODATE EXISTING UTILITIES OR OTHER BUILDING SERVICES.
- PROTECT EXISTING LANDSCAPING DURING CONSTRUCTION, TO GREATEST EXTENT POSSIBLE.
- PROVIDE TEMPORARY CONSTRUCTION/SECURITY FENCING AROUND ALL OPEN EXCAVATIONS; HEIGHT AS REQ'D BY LOCAL CODES.
- VERIFY LOCATIONS OF ALL MATERIAL STOCKPILES AND DUMPSTERS WITH OWNER.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCIES IN FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.
- PLEASE NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- STATE LAW: BEFORE DIGGING, CALL JULIE (811 OR 1-800-892-0123) FOR LOCATION OF PUBLIC AND PRIVATE UTILITIES AT WORK SITE. 48 HOUR NOTICE IS REQUIRED.
- THE HOUSE SHALL PASS A BLOWER DOOR TEST AND A COPY OF THE RESULTS SHALL BE PROVIDED TO THE BUILDING DEPARTMENT PRIOR TO SCHEDULING THE FINAL INSPECTIONS.
- CONSTRUCTION DEBRIS AND REFUSE CONTAINMENT SHALL BE REQUIRED FOR ALL JOB SITES. CONTAINMENT SHALL OCCUR ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT & SHALL BE WITHIN A DUMPSTER, STRUCTURE, OR CONTAINER THAT CAN BE COVERED TO PREVENT WINDBLOWN DEBRIS. ALL SUCH DUMPSTERS, STRUCTURES, OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.
- ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH NEW SOD ON 6" OF TOPSOIL. ALL SOD SHALL BE WATERED AS REQ'D TO SUSTAIN GROWTH.
- ALL PARKWAY TREES SHALL HAVE A SNOW FENCE THAT EXTENDS TO THE DRIP LINE. NO TRAFFIC SHALL GO OVER THE ROOT SYSTEM. SURFACE DRAINAGE TO BE DIVERTED FROM STRUCTURE SO AS NOT TO CREATE A HAZARD ON THIS OR ADJACENT PROPERTY. GRADE FROM FOUNDATION TO DROP A MINIMUM OF 6" IN 10'-0". PROVIDE SWALES OR DRAINS TO ENSURE DRAINAGE FROM STRUCTURE AND ADJACENT PROPERTY.
- TOILET FACILITIES SHALL BE PROVIDED AT ALL JOB SITES PER ILLINOIS PLUMBING CODE. THIS WILL BE A CONDITION OF THE PERMIT.
- PROVIDE AND MAINTAIN A 5'-0" HIGH FENCE ALONG THE FULL LENGTH OF INTERIOR SIDE YARDS UNTIL EXTERIOR CONSTRUCTION IS COMPLETE.
- PROVIDE AND MAINTAIN A 5'-0" HIGH CONSTRUCTION FENCE DURING NON-WORKING HOURS THAT WILL ENCLOSE ALL OPEN EXCAVATIONS UNTIL FOUNDATION IS BACK-FILLED & FIRST FLOOR DECK IS COMPLETED.
- ERECT PROTECTIVE SNOWFENCE PRIOR TO ANY CONSTRUCTION ACTIVITY. DO NOT STORE ANY EQUIPMENT OR MATERIALS WITHIN THE PROTECTION AREA. REMOVE THE PROTECTIVE SNOW FENCE ONLY AFTER CONSTRUCTION IS COMPLETE.
- ALL TREES ARE TO BE PROTECTED DURING CONSTRUCTION WITH FENCING FOR EVERY 1" OF TREE DIAMETER. MAINTAIN 1'-0" DISTANCE AWAY FOR FENCING.

- · — · — PROPERTY LINE
- — — — — SETBACK LINE
- — — — — EASEMENT LINE
- E — ELECTRIC SERVICE
- G — GAS SERVICE
- (— (— STORM SEWER
- < — < — SANITARY SEWER
- W — WATER SERVICE
- X — FENCE



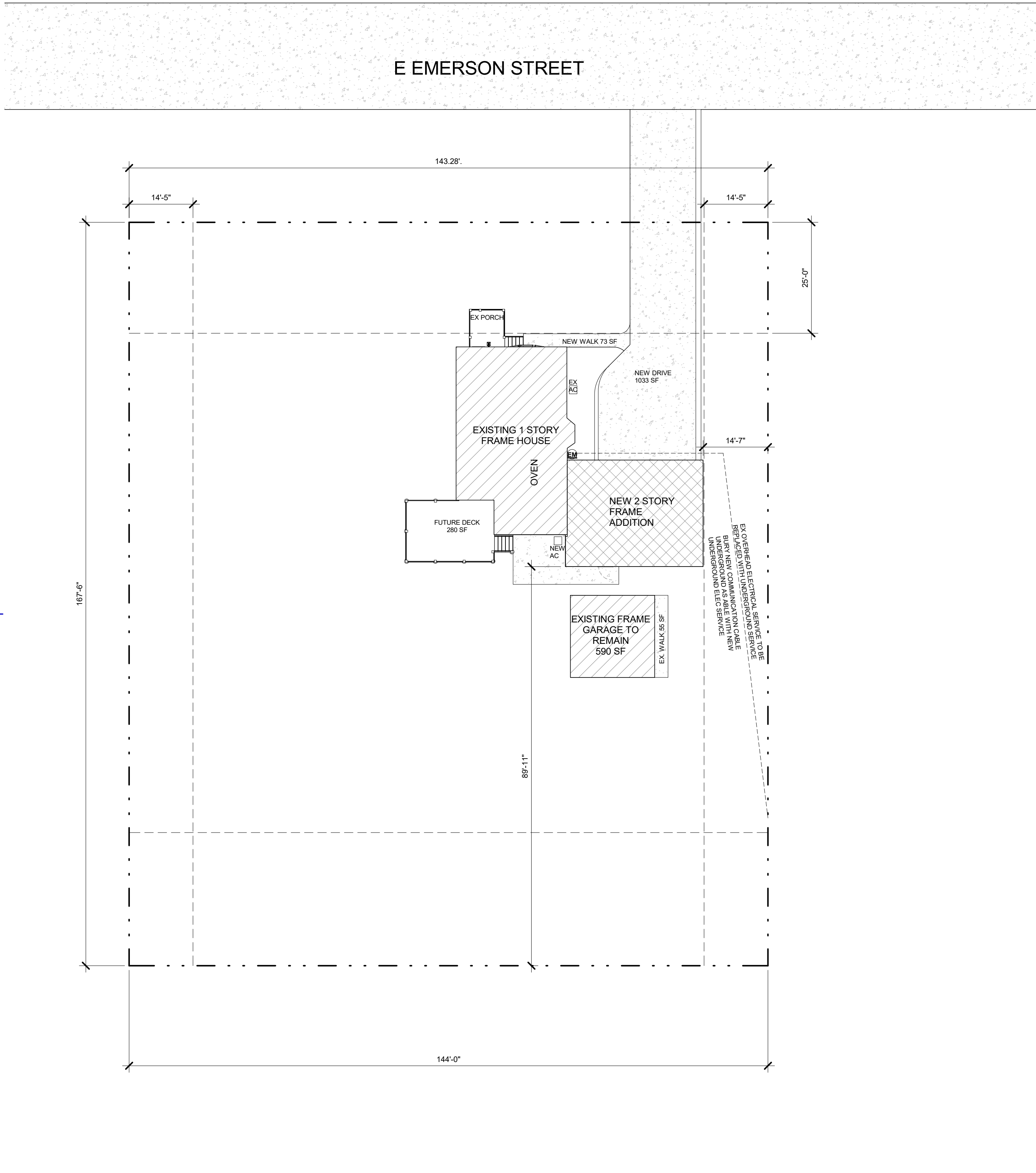
1 TYPICAL 1 1/2" WATER SERVICE DIAGRAM
A1.0 1/8" = 1'-0"



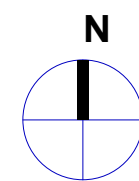
NOTES:

- The fence shall be located outside the drip line of the tree to be saved and in no case closer than 1 foot for every 1" DBH to the trunk of any tree.
- Fence posts shall be either standard steel posts or wood posts with a minimum cross sectional area of 3.0 sq. in..
- The fence may be either 40" high snow fence, 40" plastic web fencing or any other material as approved by the engineer.

TREE PROTECTION - FENCING



2 SITE PLAN - EXISTING
A1.0 1/16" = 1'-0"



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DATE

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ISSUE DATE

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SHEET TITLE

SITE PLAN

SHEET NUMBER

A1.0

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S BELMONT AVE



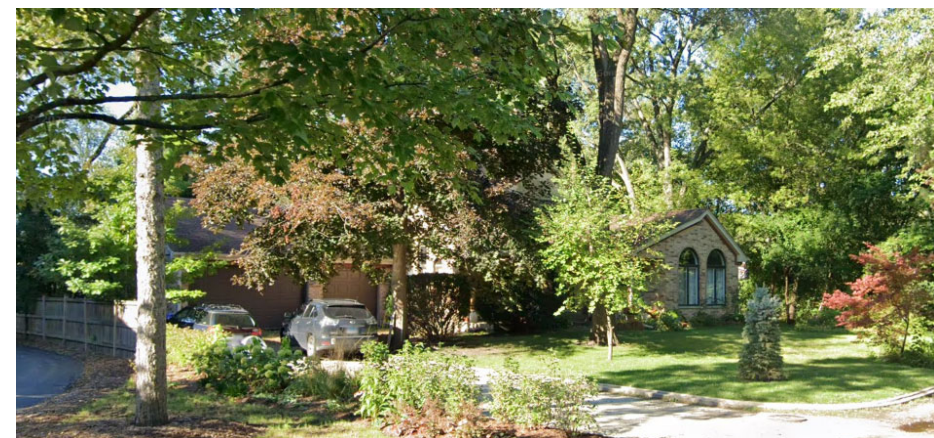
PROPERTY ACROSS 1
318 E EMERSON



PROPERTY ACROSS 2
1520 S BELMONT AVE

E EMERSON ST

PROPERTY TO RIGHT 3
125 E EMERSON



PROPERTY TO RIGHT 2
131 E EMERSON



PROPERTY TO RIGHT 1
217 E EMERSON



SUBJECT PROPERTY
300 E EMERSON



PROPERTY TO LEFT 1
324 E EMERSON



PROPERTY TO LEFT 2
1530 S BELMONT AVE



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SHEET TITLE
SURROUNDING PROPERTIES

SHEET NUMBER

A5.1

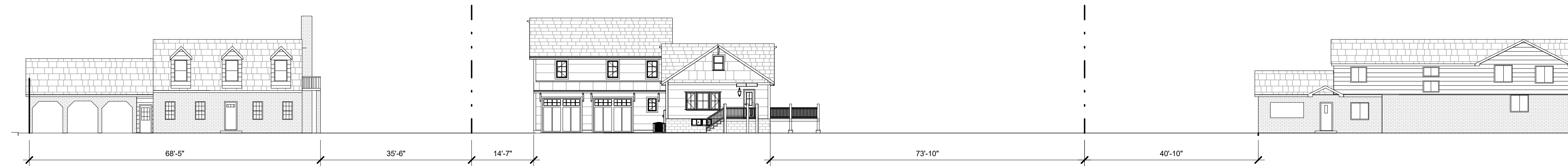
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1
A5.0 **EXISTING NORTH ELEVATION**
1/16" = 1'-0"



2
A5.0 **PROPOSED NORTH ELEVATION**
1/16" = 1'-0"

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SHEET TITLE
NEIGHBORING ELEVATIONS

SHEET NUMBER

A5.0

PROJECT DATA

PROJECT LOCATION:	300 E EMERSON
ZONING DISTRICT:	R-1
LOT AREA:	18,571 SF
PIN:	08-10-300-054-0000
MAX LOT COVERAGE:(30%)	5571 SF
PROPOSED LOT COVERAGE:	2,171 SF
MAX FAR: 3062 + [(18,571-8750) X 0.26]	5615 SF
PROPOSED FAR:	2,744 SF
MAX IMPERVIOUS COVERAGE (50%)	9285 SF
PROPOSED IMPERVIOUS COVERAGE:	3,509 SF
MAX BUILDING HEIGHT:	25'-0"
PROPOSED BUILDING HEIGHT:	25'-0"
LOCATION AREAS:	
HARDSCAPE	1,338 SF
FIRST FLOOR	1,230 SF
SECOND FLOOR	973 SF
EX GARAGE	351 SF
GARAGE	590 SF
TOTAL GROSS BUILDING SIZE:	2,203 SF

APPLICABLE CODES

ALL WORK PERFORMED AND MATERIALS USED SHALL COMPLY WITH THE FOLLOWING:

BUILDING CODE	2018 INTERNATIONAL RESIDENTIAL CODE WITH AMENDMENTS
MECHANICAL CODE	INTERNATIONAL MECHANICAL CODE, 2018
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
PLUMBING CODE	2014 ILLINOIS PLUMBING CODE WITH AMENDMENTS
ENERGY CODE	2018 ILLINOIS ENERGY CONSERVATION CODE WITH STATE AMENDMENTS

ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES, AND REGULATIONS.

MANUFACTURERS' SPECIFICATIONS AND TRADE ASSOCIATIONS RECOMMENDATIONS.

ACCEPTED ENGINEERING AND CONSTRUCTION PRACTICES.

ENERGY CODE COMPLIANCE NOTES

1.

ENERGY CODE COMPLIANCE DESIGN BY PRESCRIPTIVE MEANS.

CLIMATE ZONE : 5

MAX. GLAZING U-FACTOR: 0.30

ACTUAL U-FACTOR: 0.30

MIN. SKYLIGHT U-FACTOR: 0.55

ACTUAL SKYLIGHT U-FACTOR: 0.55

SHGC : N R

MIN. CEILING R-VALUE: 49

ACTUAL CEILING R-VALUE: 49 (BLOWN)

MIN. FRAME WALL R-VALUE: 20 OR 13+5

ACTUAL WALL R-VALUE: 15 + 5 (BATT & RIGID)

MIN. FLOOR R-VALUE: 30

ACTUAL FLOOR R-VALUE: N/A

MIN. BASEMENT R-VALUE: 15/19

ACTUAL BASEMENT R-VALUE: 21

GC TO PROVIDE PERMANENT CERTIFICATE TO BE POSTED ADJACENT TO ELECTRICAL PANEL INDICATING INSULATION AND ENERGY VALUES FOR BUILDING INSULATION, FENESTRATION AND DUCT SYSTEMS.

SPRAY FOAM BOX SILLS AND SILL PLATES, AND ADD R-15 HIGH DENSITY FRICTION FIT BATT INSULATION.
2.

ALL PENETRATIONS THROUGH THERMAL ENVELOPE SHALL BE ADEQUATELY SEALED BY CAULK, GASKET, WEATHERSTRIPPING OR OTHER BARRIER MEANS PER 2018 IECC REQUIREMENTS.

ALL WINDOWS AND EXTERIOR DOOR JAMBS ARE TO BE SEALED WITH LOW-EXPANSION FOAM.

ALL BOTTOM PLATES ON EXTERIOR WALLS SHALL BE GLUED TO SUB-FLOOR.
3.

ALL FIREPLACES SHALL HAVE GASKETED DOORS & OUTSIDE COMBUSTION AIR.
4.

ALL RECESSED LIGHTING IN THERMAL ENVELOPE SHALL BE SEALED TO PREVENT AIR LEAKAGE. ALL RECESSED DOWNLIGHTING TO BE IC-RATED.

DESIGN CRITERIA

FLOOR	
SLEEPING ROOMS	40# LL - 10# DL
OTHER ROOMS	40# LL - 10# DL
VEH. GARAGES	50# LL - 10# DL
WALL	
	60# PLF OR ACTUAL LOAD
	20 PSF WIND 0'-20' HEIGHT
	25 PSF WIND 21'-29' HEIGHT
	30 PSF WIND 30' HEIGHT AND ABOVE
CEILING	
UNHAB W/O STOR	10# LL - 10# DL
UNHAB LIM STOR	20# LL - 10# DL
HAB W/ FIX STAIR	30# LL - 10# DL
WIND SPEED	115 MPH 3 SECOND GUST & 89
NOMINAL	
ROOF	
	30# LL (SNOW) - 10# DL (ALL SLOPES)
CATHEDRAL	30# LL - 15# DL (ALL SLOPES)
EXT DECK	40# LL - 10# DL
EXT BALCONY	40# LL - 10# DL
STAIRS	40# LL + 300# CONCENTRATED LOAD
GUARD & HANDRAILS	200# LL AT ANY DIRECTION APPLIED AT THE TOP
FROST DEPTH	42" (3'-6")

STRUCTURAL FRAMING LUMBER
BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)
GRADE #2 SPECIES SPF DOMESTIC OR CANADIAN BASE Fb 875

SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM PRODUCT WITH THE CURRENT SIZE, Fb, AND E VALUES PER MANUFACTURER

MANUFACTURER - TRUS-JOIST
PRODUCT - LVL HEADERS & BEAMS MICRO-LAM

ADDITION TO GAVRANOVIC RESIDENCE



TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMANGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDER LAYMENT REQ.	FLOOD HAZARDS CHAPTER 15 OF VILLAGE CODE	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WIND- BORNE DEBRIS ZONE		WTHRING	FROST LINE DEPTH	TERMITE					
25	115	NO	NO	NO	b	SEVERE	42"	MOD -TOP- HEAVY	-4	YES	NOV 6 2000	2000	47.6

SHEET INDEX - ARCHITECTURAL

A0.0	COVER SHEET	03/25/2022
A0.00	EXISTING DRAWINGS	03/25/2022
A1.0	SITE PLAN	03/25/2022
A2.0	FOUNDATION & BASEMENT PLANS	03/25/2022
A2.1	FIRST FLOOR PLAN	03/25/2022
A2.2	SECOND FLOOR PLAN	03/25/2022
A2.3	ROOF PLAN & STAIR DETAILS	03/25/2022
A3.0	NORTH AND EAST ELEVATIONS	03/25/2022
A3.1	SOUTH AND WEST ELEVATIONS	03/25/2022
A5.0	NEIGHBORING ELEVATIONS	03/25/2022
A5.1	SURROUNDING PROPERTIES	03/25/2022
A5.2	MATERIAL BOARD	03/25/2022
MEP2.0	FIRST & SECOND FLOOR MEP & STRUCTURE PLANS	03/25/2022



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SHEET TITLE
COVER SHEET

SHEET NUMBER

A0.0

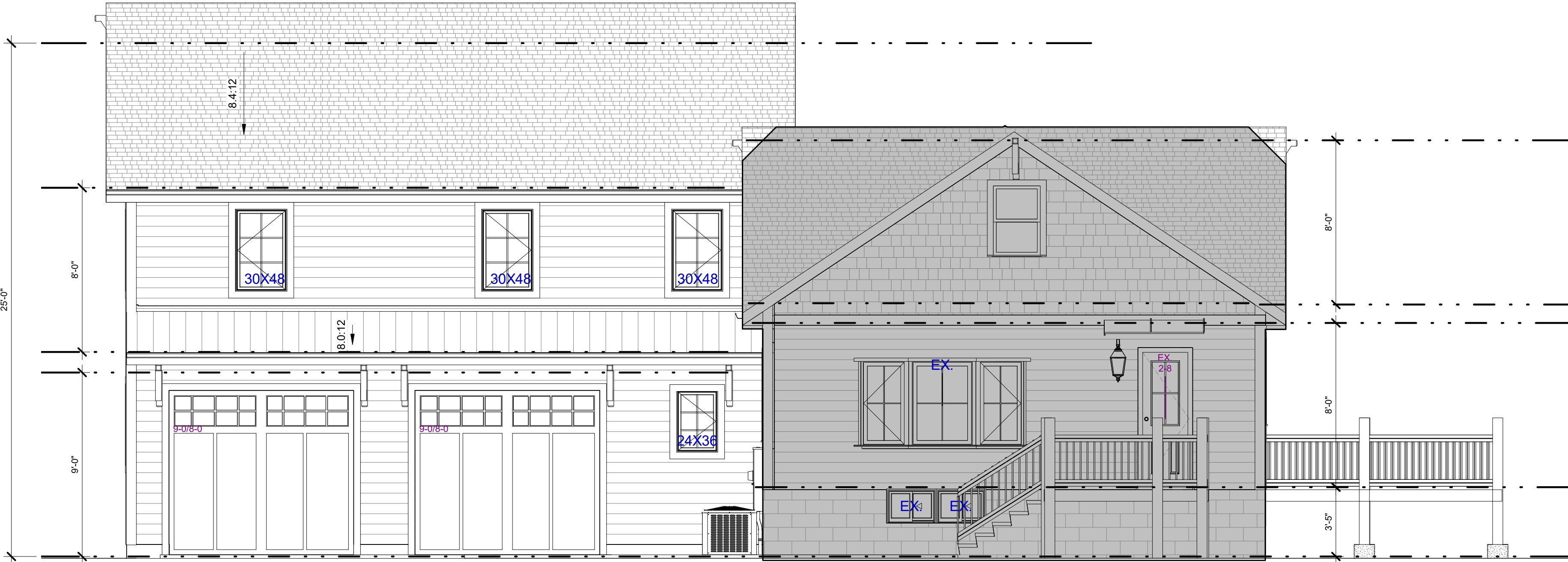
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1 NORTH ELEVATION - FRONT
A3.0 1/4" = 1'-0"



2 EAST ELEVATION - SIDE
A3.0 1/4" = 1'-0"

ELEVATION MATERIALS

LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.		HATCH PATTERN	DESCRIPTION	MANUF.
SIDING (1)		HORIZONTAL LAP SIDING - VINYL [VICTORIAN GRAY OR SIMILAR]	PLYGEM MASTIC	TRIM AND FASCIA		TRIM [WHITE]	
SIDING (2)		SHAKER HARDIE BOARD SIDING [VICTORIAN GRAY OR SIMILAR]	PLYGEM MASTIC	SOFFIT AND FASCIA		ALUMINUM - VENTED [WHITE]	
SIDING (3)		EX. BLOCK FOUNDATION		COLUMNS		WHITE	
ROOFING (1)		ASPHALT SHINGLES [MATCH EX.]		GUTTERS, DOWNSPOUTS		ALUMINUM [WHITE, MATCH EX]	
DOORS		[MATCH EX.]		WINDOWS		FIBERGLASS [WHITE, TYP.]	

1. WINDOW SIZES : ROUGH OPENING TO BE VERIFIED IN FIELD W/ CHOSEN WINDOW MANUF. & CONTRACTOR PRIOR TO CONSTRUCTION
2. GLASS SIZES TO BE FOLLOWED AS CLOSE AS POSSIBLE PER DIFFERENT MANUF.
3. BEDROOM WINDOWS TO HAVE EGRESS HARDWARE & FOLLOW EGRESS REQUIREMENTS AS LABELED ON ELEVATIONS.
4. WINDOWS IN WHICH THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" ABOVE THE TOP OF THE FLOOR ARE REQUIRED TO BE TEMPERED.
5. FIELD VERIFY EMERGENCY ESCAPE & RESCUE OPENINGS IN SLEEPING ROOMS EGRESS WINDOW REQUIREMENTS
PROVIDE A NET CLEAR OPENING OF 5.7 SF OR GREATER, ACHIEVED BY SIMPLY OPENING THE WINDOW
PROVIDE A NET CLEAR OPENING OF 5.0 SF OR GREATER FOR GRADE LEVEL WINDOWS.
A MINIMUM CLEAR WIDTH OF 20"
A MINIMUM CLEAR HEIGHT OF 24"
A SILL HEIGHT OF LESS THAN 44" AFF
6. ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.3

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TO BE VERIFIED.

SHEET TITLE
NORTH AND EAST ELEVATIONS

SHEET NUMBER

A3.0

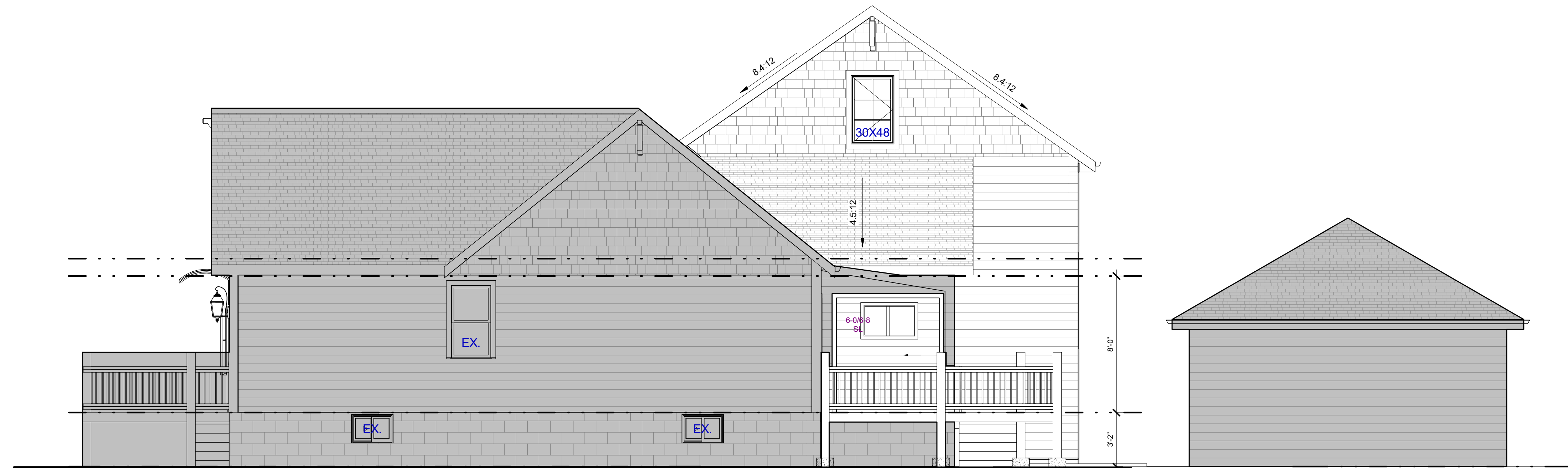
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1 SOUTH ELEVATION - REAR
A3.1 1/4" = 1'-0"



2 WEST ELEVATION - SIDE
A3.1 1/4" = 1'-0"

ELEVATION MATERIALS							
LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.		HATCH PATTERN	DESCRIPTION	MANUF.
SIDING (1)		HORIZONTAL LAP SIDING - VINYL [VICTORIAN GRAY OR SIMILAR]	PLYGEM MASTIC	TRIM AND FASCIA		TRIM [WHITE]	
SIDING (2)		SHAKER HARDIE BOARD SIDING [VICTORIAN GRAY OR SIMILAR]	PLYGEM MASTIC	SOFFIT AND FASCIA		ALUMINUM - VENTED [WHITE]	
SIDING (3)		EX. BLOCK FOUNDATION		COLUMNS		WHITE	
ROOFING (1)		ASPHALT SHINGLES [MATCH EX.]		GUTTERS, DOWNSPOUTS		ALUMINUM [WHITE, MATCH EX.]	
DOORS		[MATCH EX.]		WINDOWS		FIBERGLASS [WHITE, TYP.]	

1. WINDOW SIZES : ROUGH OPENING TO BE VERIFIED IN FIELD W/ CHOSEN WINDOW MANUF. & CONTRACTOR PRIOR TO CONSTRUCTION
2. GLASS SIZES TO BE FOLLOWED AS CLOSE AS POSSIBLE PER DIFFERENT MANUF.
3. BEDROOM WINDOWS TO HAVE EGRESS HARDWARE & FOLLOW EGRESS REQUIREMENTS AS LABELED ON ELEVATIONS.
4. WINDOWS IN WHICH THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" ABOVE THE TOP OF THE FLOOR ARE REQUIRED TO BE TEMPERED.
5. FIELD VERIFY EMERGENCY ESCAPE & RESCUE OPENINGS IN SLEEPING ROOMS EGRESS WINDOW REQUIREMENTS PROVIDE A NET CLEAR OPENING OF 5.7 SF OR GREATER, ACHIEVED BY SIMPLY OPENING THE WINDOW PROVIDE A NET CLEAR OPENING OF 5.0 SF OR GREATER FOR GRADE LEVEL WINDOWS. A MINIMUM CLEAR WIDTH OF 20" A MINIMUM CLEAR HEIGHT OF 24" A SILL HEIGHT OF LESS THAN 44" AFF
6. ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.3

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SHEET TITLE
SOUTH AND WEST ELEVATIONS

SHEET NUMBER

A3.1



ROOF - GAF TIMBERLINE
CHARCOAL



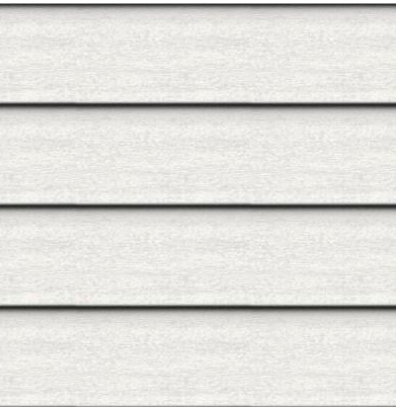
TRIM
WHITE TO MATCH EX.



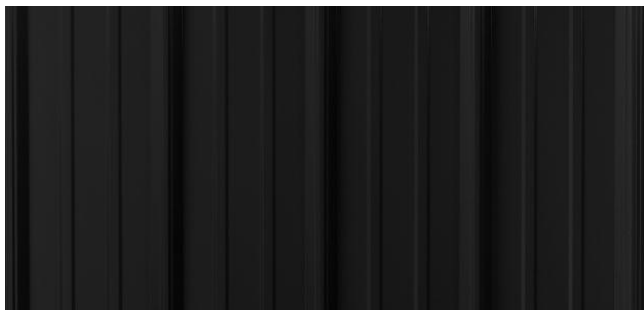
GABLE SIDING - MASTIC
WHITE VINYL
SHAKE SIDING



WINDOWS
BLACK



SIDING - MASTIC
WHITE VINYL
HORIZONTAL LAP SIDING



ROOF OVER GARAGE
BLACK STANDING SEAM METAL



Design Commission 6/14/2022

Item: DC#22-023 - 631 N. Beverly Ln. / SF-Teardown

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission approve the proposed new (teardown) single-family residence to be located at 631 N. Beverly Lane. This recommendation is based on the architectural plans received 5/23/22, and the following:

1. A recommendation to use the Arctic White siding color.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
3. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report
Supporting Documents

Type

Board or Commission Report
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: Deger Residence
Project Address: 631 N. Beverly Lane
Prepared By: Steve Hautzinger

Date Prepared: June 8, 2022

PETITION INFORMATION:

DC Number: 22-023
Petitioner Name: Vikki Concialdi
Petitioner Address: Icon Building Group
106 Roman Lane
Hawthorne Woods, IL 60047
Meeting Date: June 14, 2022

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines.

The petitioner is proposing to demolish an existing single-story house and two-car detached garage to build a new a new two-story residence with an attached two-car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 12,838 square feet and the proposed residence will have approximately 3,382 square feet. The proposed design complies with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 25 feet Side: 6 feet Side: 6 feet Rear: 30 feet	Front: 26 feet Side: 6.8 feet Side: 8.7 feet Rear: 125.3 feet
Building Height	25 feet maximum	23.4 feet to top of wall
FAR	5,573 SF	3,382 SF
Building Lot Coverage	4,493 SF	2,206 SF
Impervious Surface Coverage Total	6,419 SF	3,315 SF

The subject property is located on a street consisting of primarily single-story houses with detached garages. The surrounding homes have a very uniform appearance with low pitched roofs and brick exteriors with stone and siding accents.

Overall, the proposed design is very thoughtfully done to fit with the existing context. The design includes low pitched roof lines and a brick exterior on the first floor (front). The single-story roof above the garage and front porch bring down the scale of the two-story house to help relate to the adjacent single-story homes. The Design Commission should evaluate the proposed attached garage within the context of predominantly detached garages, however the attached garage is nicely set back from the front of the house to keep the focal point on the house, similar to the surrounding homes that have detached garages.

The proposed brick is a nice reddish color which will fit very well with the surrounding homes. However, the petitioner has provided three options for the color of the siding: Evening Blue, Boothbay Blue, and Arctic White. Staff recommends the Arctic White color for the siding to fit best with the surrounding context. Both of the blue siding options are quite dark and bold, and will look out of place in this location.

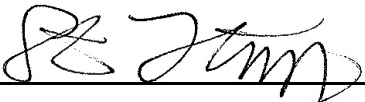
RECOMMENDATION:

It is recommended that the Design Commission **approve** the proposed new (teardown) single-family residence to be located at 631 N. Beverly Lane. This recommendation is based on the architectural plans received 5/23/22, and the following:

1. A recommendation to use the Arctic White siding color.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In

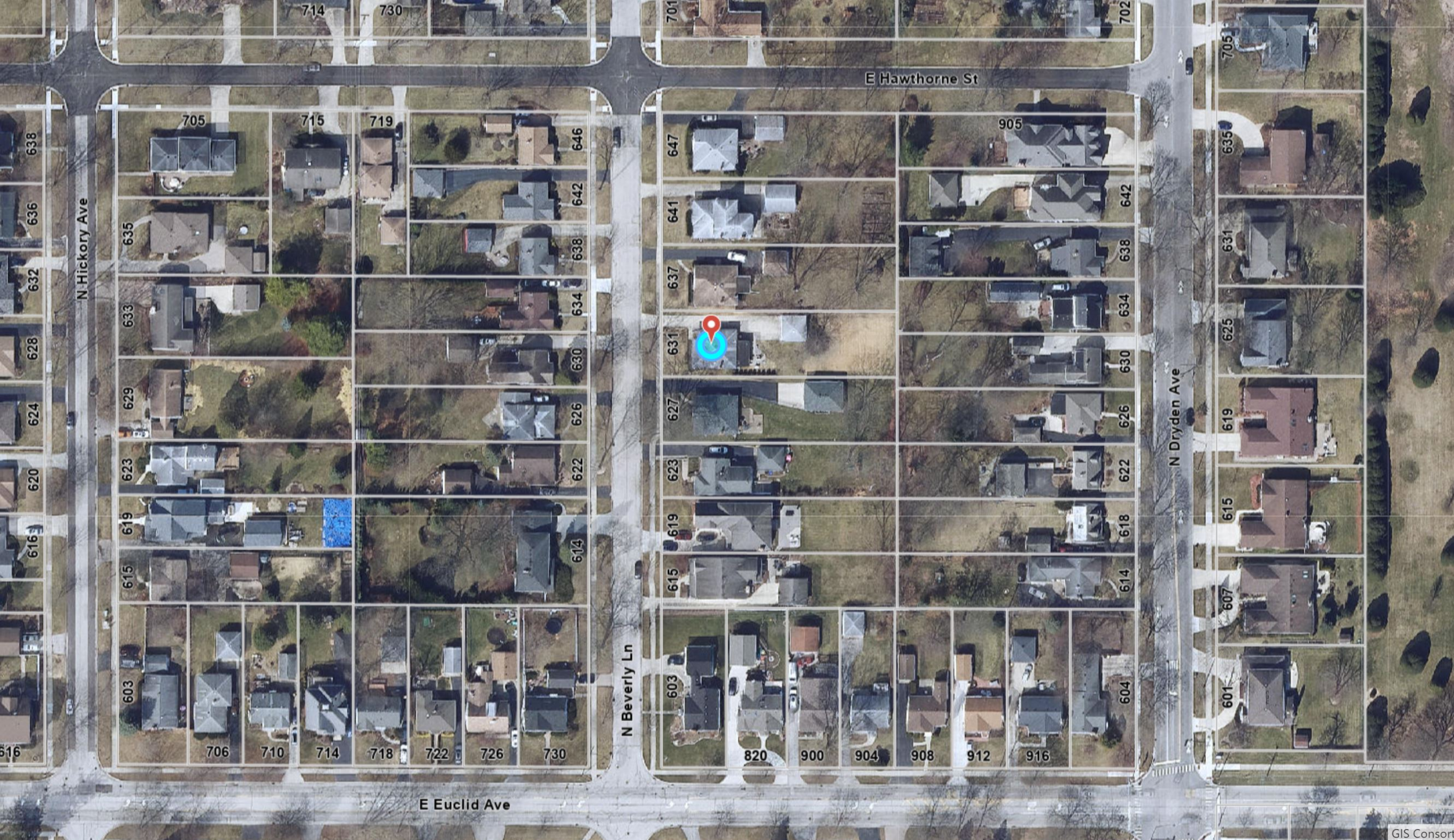
addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

3. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

 June 8, 2022

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 22-023



N Hickory Ave

E Hawthorne St

N Beverly Ln

E Euclid Ave

N Dryden Ave

PARCEL DETAILS

ADDRESS: 631 BEVERLY LN.
ARLINGTON HEIGHTS, IL 60004
PIN NO.: 03-29-209-037-0000

LEGAL DESCRIPTION

THE NORTH 60 FEET OF THE SOUTH 120 FEET OF LOT 13 IN BLOCK 7 IN ARLINGTON FARMS, A SUBDIVISION OF THE EAST 80 ACRES OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

SURVEYOR'S NOTES

1. FIELD WORK COMPLETED ON 5/4/2015.
2. BEARINGS ARE ASSUMED. THE BEARINGS ARE BASED UPON THE EAST LINE OF BEVERLY LN. BEING NORTH 00 DEGREES 14 MINUTES 52 SECONDS WEST.
3. NO ANGLES OR DISTANCES ARE TO BE ASSUMED BY SCALING.
4. MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
5. THE EASEMENTS SHOWN HEREON ARE PROVIDED FROM THE CURRENT TITLE COMMITMENT PREPARED BY CHICAGO TITLE AS 15PS174004RM WITH AN EFFECTIVE DATE OF APRIL 9, 2015 AND MAPS IN THE SURVEYOR'S POSSESSION. FOR BUILDING LINES AND EASEMENTS REFER TO ABSTRACT OF TITLE FOR POSSIBLE ADDITIONAL EASEMENTS AND/OR BUILDING LINES. COVENANT RESTRICTIONS OR OTHER ENCUMBRANCE UPON SUBJECT TO PROPERTY REFER TO VILLAGE, CITY, OR COUNTY CODES FOR FRONT, SIDE, AND/OR REAR BUILDING SETBACK RESTRICTIONS. NO SEARCH OF THE RECORDS FOR EASEMENTS OR ENCUMBRANCES WAS MADE AS PART OF THIS SURVEY.
6. THIS PLAT IS NOT VALID WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE AND SEAL.
7. COMPARE THE DESCRIPTION ON THIS PLAT WITH YOUR DEED OR CERTIFICATE OF TITLE. ALSO COMPARE ALL POINTS BEFORE BUILDING, AND REPORT ANY DIFFERENCES TO THE SURVEYOR IMMEDIATELY.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS) SS.
COUNTY OF WINNEBAGO)

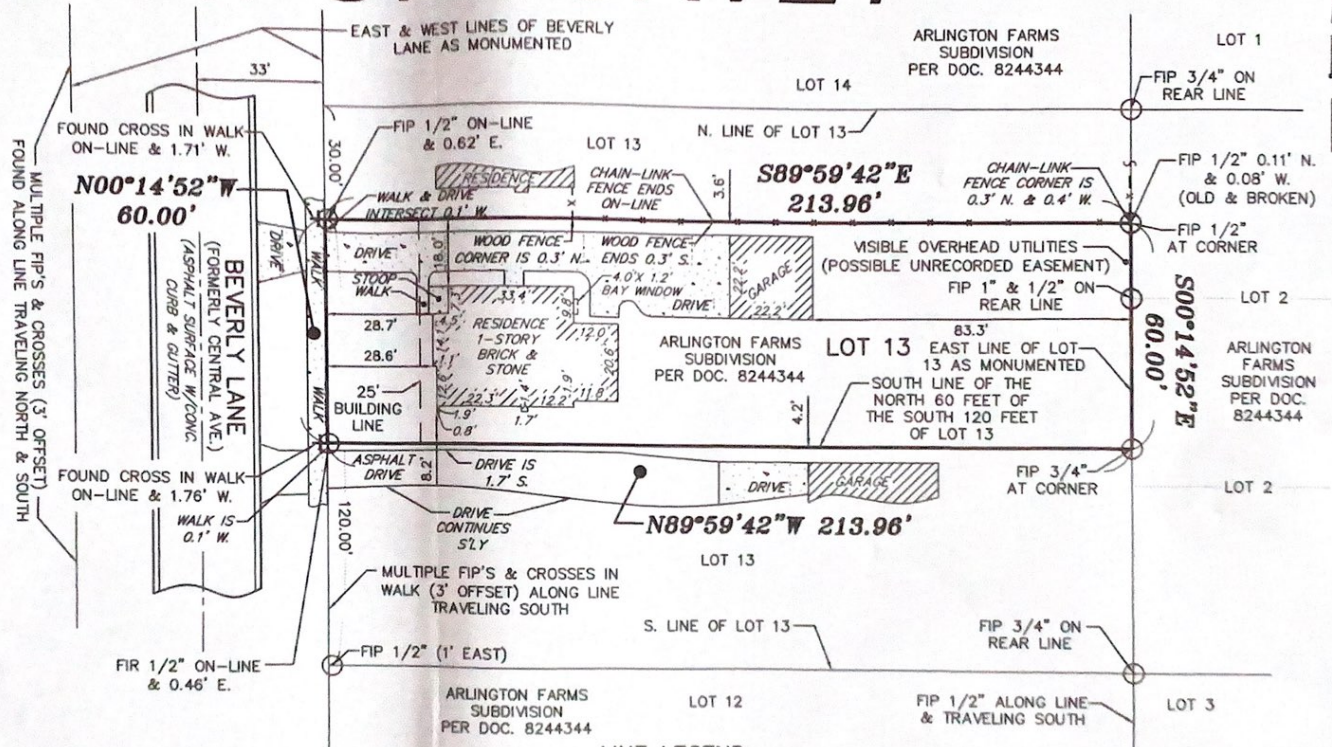
I, ERIC ZINGRE JR., AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY DIRECTION AND THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 4TH DAY OF MAY, A.D., 2015.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3724
MY REGISTRATION EXPIRES ON NOVEMBER 30, 2016
PROFESSIONAL DESIGN FIRM LICENSE NO. 184-005886
EXPIRATION DATE IS APRIL 30, 2017

PLAT OF SURVEY

SHEET 1 OF 1



SYMBOL LEGEND

- - FOUND IRON PIPE/ROD
- FIP - FOUND IRON PIPE
- FIR - FOUND IRON ROD
- - CONCRETE SURFACE
- (XXX.XX) - RECORD CALL
- ⊕ - FOUND CROSS

LINE LEGEND

- - PROPERTY LINE
- - - CENTER LINE
- - - ADJACENT PROPERTY LINE OR RIGHT-OF-WAY LINE
- x - x - FENCE LINE
- - - BUILDING SETBACK
- - - PARCEL LINE

AREA

MEASURED PARCEL AREA IS
12,837 SQ. FT. =
0.295 ACRES MORE OR LESS

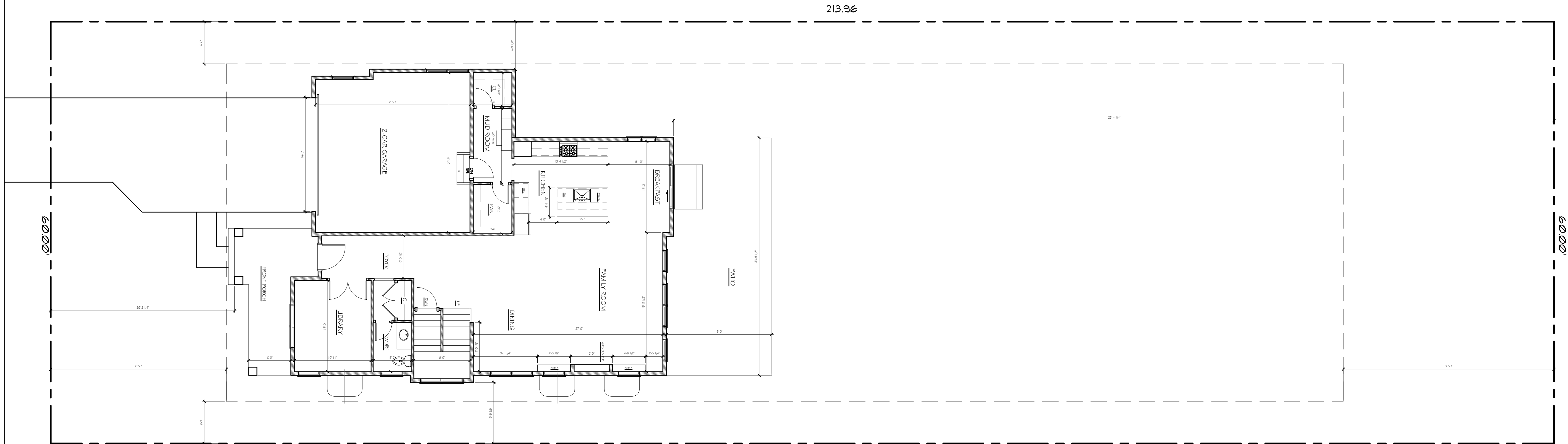
PREPARED FOR

SAMUEL BELL
7749 NORTH MILWAUKEE AVENUE
NILES, IL 60714

PLAT OF SURVEY

DRAWN BY DS	DATE 5/11/15	EE SURVEYING, INC. P.O. BOX 895 ROCKTON, IL 61072 (815) 519-7319 EMAIL: ERIC@EESURVEYING.COM WWW.EESURVEYING.COM
PROJECT NO. 2015078	SHEET 1 OF 1	
SCALE 1" = 30'		

BEVERLY LANE



SITE PLAN N
1/8" = 1'-0"

ALLOWABLE

Lot Area: ±12,840 s.f.
Max F.A.R.: 3,938 + [(Area - 8,750) x 0.4]
Max F.A.R.: 5,574 s.f.
Max Lot Coverage: 35%
Max Lot Coverage: 4,494 s.f.
Max Impervious Cover: 50%
Max Impervious Cover: 6,420 s.f.

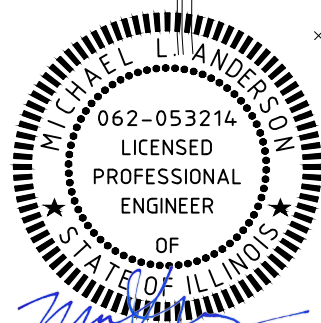
(Arlington Heights R-3 Zoning Standards)

PROPOSED

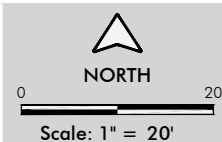
3,382 S.F. (F.A.R.)
2,206 S.F.
3,315 S.F. (IMPERVIOUS)

A NEW CUSTOM RESIDENCE
FOR THE DEGER FAMILY
631 N. BEVERLY LANE
ARLINGTON HEIGHTS, ILLINOIS

SHEET NO.	SITE PLAN	JOB NO.	PAP			PSENKARCHITECTS, INC. ARCHITECTURE • PLANNING • DESIGN • BUILD 148 WEST STATION STREET, BARRINGTON, IL 60010 TEL: 847-754-4001 FAX: 847-754-4001	COPYRIGHT	ISSUE DATES:	
			DRAWN BY:	CHECKED BY:	APPROVED			DATE	REMARKS
P-1	A NEW CUSTOM RESIDENCE FOR THE DEGER FAMILY 631 N. BEVERLY LANE ARLINGTON HEIGHTS, ILLINOIS					THE DRAWING, SPECIFICATION AND ANY OTHER INFORMATION HEREON ARE THE PROPERTY OF PSENKARCHITECTS, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PSENKARCHITECTS, INC.	© 2020 PSENKARCHITECTS	5-11-22	FOR REVIEW



EXPIRES 11-30-23



No.	Date	Revision
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ENGINEERING SITE PLAN

631 N. BEVERLY LANE
ARLINGTON HEIGHTS
ICON BUILDING GROUP

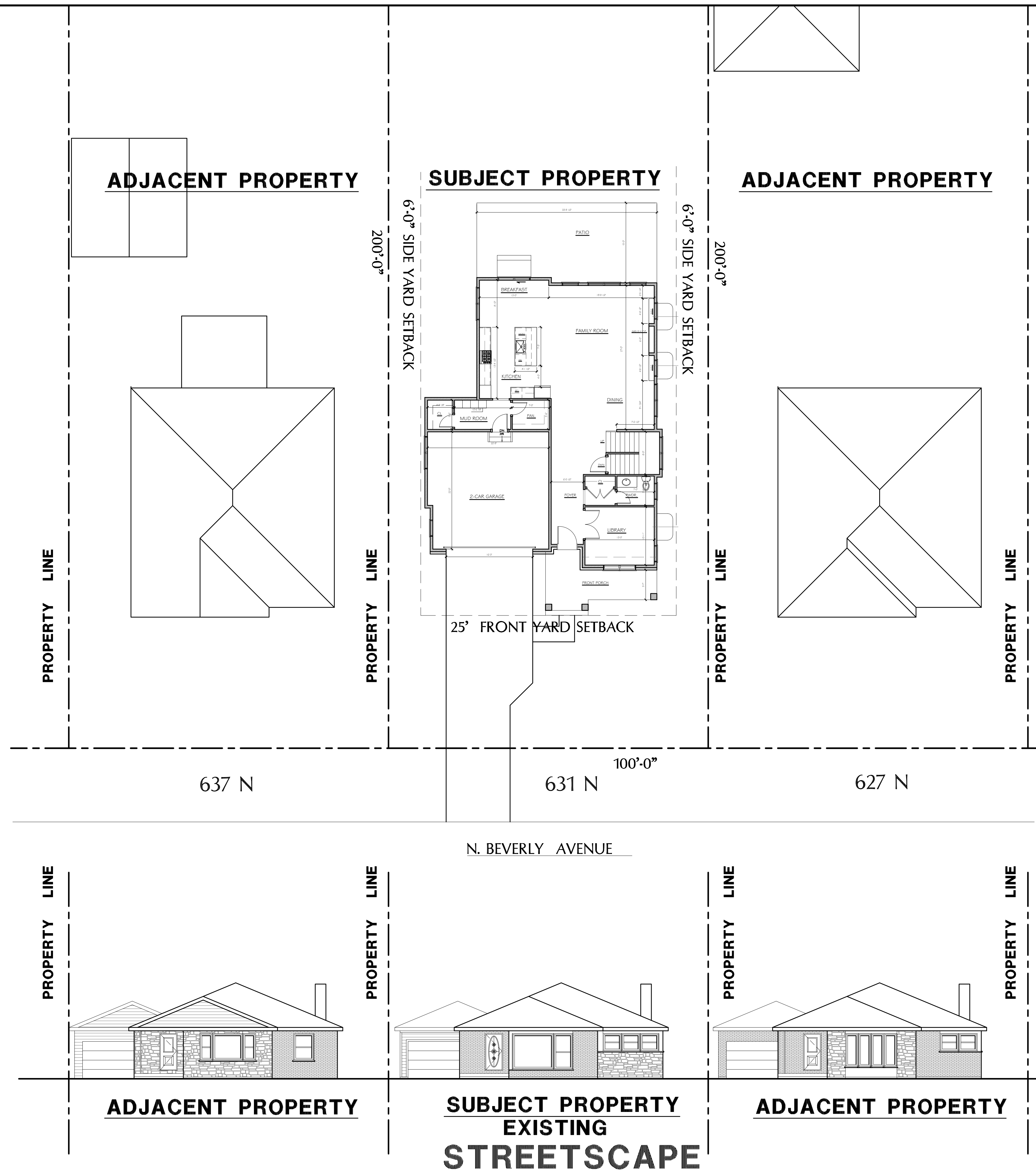


Project Manager: MLA
Engineer: MLA
Date: 05.19.2022
Project No. 22-005
Sheet 1 / 1

LEGAL DESCRIPTION

THE NORTH 60 FEET OF THE SOUTH 120 FEET OF LOT 13 IN BLOCK 7 IN ARLINGTON FARMS, A SUBDIVISION OF THE EAST 60 ACRES OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

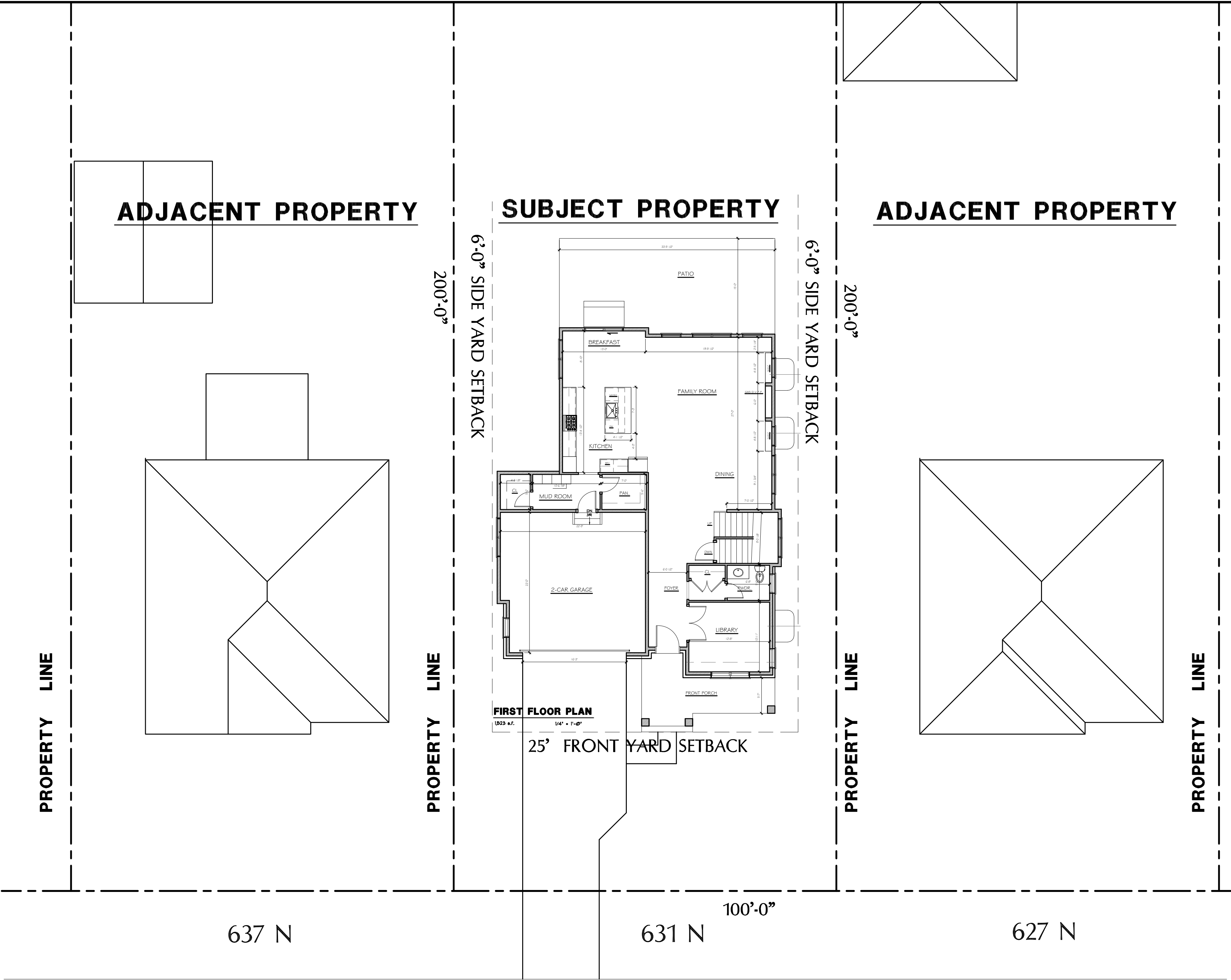
P.I.N.: 03-29-209-037



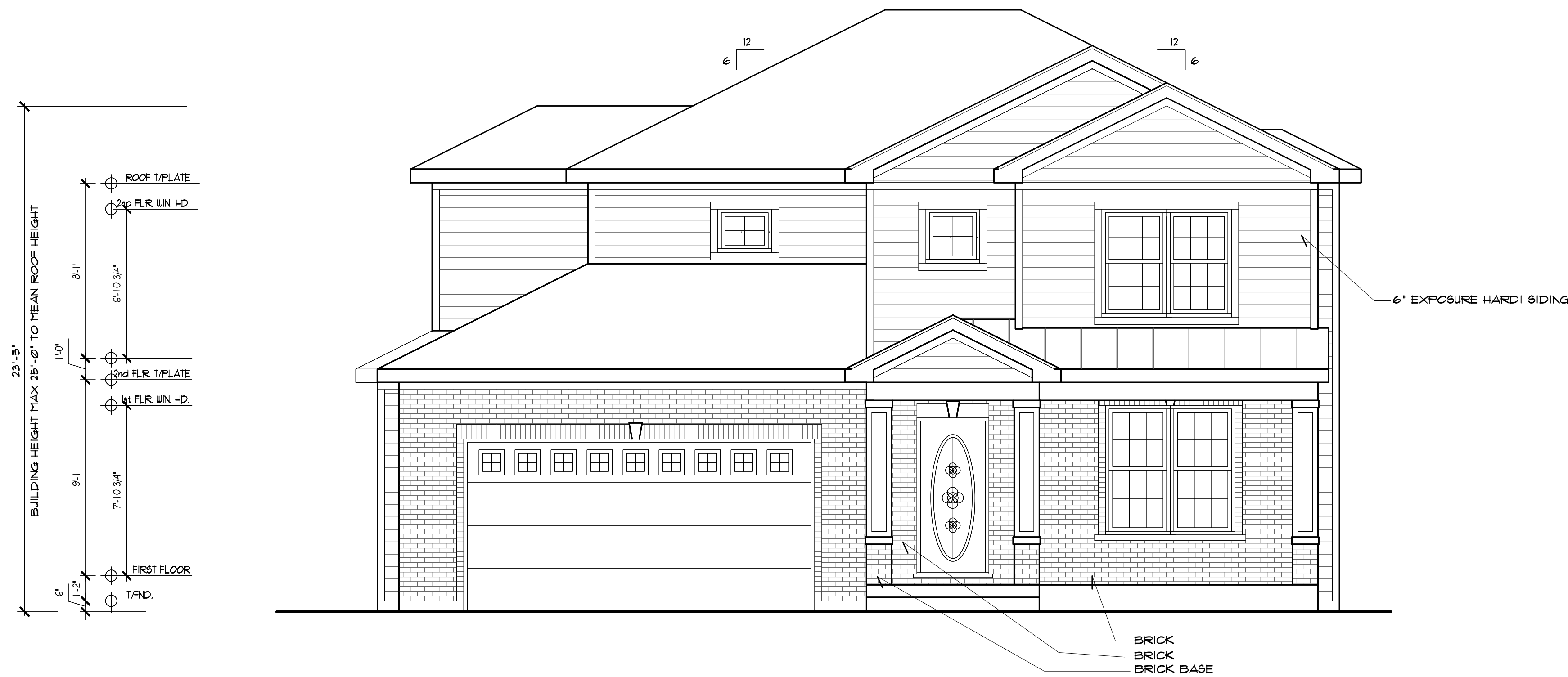
P-4EX

PSENKA ARCHITECTS Inc.
ARCHITECTURE • PLANNING • DESIGN • BUILD
148 WEST STATION STREET, BARRINGTON, IL 60010
FAX 847/756-4701 TELEPHONE 847/756-4700

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P-4	
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FRONT ELEVATION
1/4" = 1'-0"



RIGHT SIDE ELEVATION
1/4" = 1'-0"

A NEW CUSTOM RESIDENCE
FOR THE DEGER FAMILY
631 N. BEVERLY LANE
ARLINGTON HEIGHTS, ILLINOIS

ELEVATIONS		JOB NO.		ISSUE DATES:	
A NEW CUSTOM RESIDENCE FOR THE DEGER FAMILY 631 N. BEVERLY LANE ARLINGTON HEIGHTS, ILLINOIS		DRAWN BY: PAP		DATE	
		CHECKED BY: PAP		5-11-22	
		APPROVED: PAP			
SHEET NO.		P-2		PSENKA ARCHITECTS Inc.	
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REAR ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"

A NEW CUSTOM RESIDENCE
FOR THE DEGER FAMILY
631 N. BEVERLY LANE
ARLINGTON HEIGHTS, ILLINOIS

ELEVATIONS		JOB NO.		ISSUE DATES:	
A NEW CUSTOM RESIDENCE FOR THE DEGER FAMILY 631 N. BEVERLY LANE ARLINGTON HEIGHTS, ILLINOIS		DRAWN BY:	PAP	DATE	REMARKS
		CHECKED BY:	PAP	5-11-22	FOR REVIEW
SHEET NO.		P-3		COPYRIGHT	
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MATERIAL SCHEDULE**631 N. BEVERLY****5/23/2022**

OPTION 1	ITEM	MATERIAL	MANUFACTURER	COLOR
	BRICK	Clay	Brampton	Morgan Modular
	ROOF	Asphalt	GAF	Charcoal
	METAL ROOF	Metal	Pac-Clad	Black
	SIDING	Fiber Cement	James Hardie	Evening Blue
	GUTTERS / TRIM / FASCIA	Aluminum	Mastic	White
	WINDOWS	Vinyl	Windsor	White
	GARAGE DOOR	Metal	Clopay	White
	FRONT DOOR	Fiberglass	Masonite	White

OPTION 2	ITEM	MATERIAL	MANUFACTURER	COLOR
	BRICK	Clay	Brampton	Morgan Modular
	ROOF	Asphalt	GAF	Charcoal
	METAL ROOF	Metal	Pac-Clad	Black
	SIDING	Fiber Cement	James Hardie	Boothbay Blue
	GUTTERS / TRIM / FASCIA	Aluminum	Mastic	White
	WINDOWS	Vinyl	Windsor	White
	GARAGE DOOR	Metal	Clopay	White
	FRONT DOOR	Fiberglass	Masonite	White

OPTION 3	ITEM	MATERIAL	MANUFACTURER	COLOR
	BRICK	Clay	Brampton	Morgan Modular
	ROOF	Asphalt	GAF	Charcoal
	METAL ROOF	Metal	Pac-Clad	Black
	SIDING	Fiber Cement	James Hardie	Arctic White
	GUTTERS / TRIM / FASCIA	Aluminum	Mastic	White
	WINDOWS	Vinyl	Windsor	White
	GARAGE DOOR	Metal	Clopay	White
	FRONT DOOR	Fiberglass	Masonite	Blue

Exterior Selections – OPTION #1

Scott and Ashley Deger– OS Deger

631 N. Beverly Lane

Arlington Heights, IL 60004

05/23/2022



Roof: Timberline GAF Charcoal

Metal Roof: Black

Gutters & Downspouts: 30 Degree White

Windows: White Int./ White Ext.

Trim: White

Soffit/Fascia: White

Siding: Hardie Evening Blue

Brick: Brampton Brick – Morgan Modular

Stone: NA

Front Door: White

Garage Doors: Standard White Woodgrain

Exterior Selections – OPTION #2

Scott and Ashley Deger– OS Deger

631 N. Beverly Lane

Arlington Heights, IL 60004

05/23/2022



Roof: Timberline GAF Charcoal

Metal Roof: Black

Gutters & Downspouts: 30 Degree White

Windows: White Int./ White Ext.

Trim: White

Soffit/Fascia: White

Siding: Hardie Boothbay Blue

Brick: Brampton Brick – Morgan Modular

Stone: NA

Front Door: White

Garage Doors: Standard White Woodgrain

Exterior Selections – OPTION #3

Scott and Ashley Deger– OS Deger

631 N. Beverly Lane

Arlington Heights, IL 60004

05/23/2022



Roof: Timberline GAF Charcoal

Metal Roof: Black

Gutters & Downspouts: 30 Degree White

Windows: White Int./ White Ext.

Trim: White

Soffit/Fascia: White

Siding: Hardie Arctic White

Brick: Brampton Brick – Morgan Modular

Stone: NA

Front Door: Blue

Garage Doors: Standard White Woodgrain



Design Commission 6/14/2022

Item: DC#22-029 - 203 S. Ridge Ave. / SF-Addition

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for an addition to an existing single-family residence.

Recommendation

It is recommended that the Design Commission evaluate the design of the proposed addition at 203 S. Ridge Avenue. This recommendation is based on the architectural plans received on 5/24/22, and the following:

1. Further design development of the proposed addition is recommended to achieve a more cohesive appearance with the existing house.
2. The addition should be made wider to improve the proportions.
3. Align the eaves with existing, and reduce the gable roof pitch.
4. Lower the roof pitch of the porch gable below, or omit the porch gable and let the porch roof run straight across.
5. The small square windows do not fit with the existing house design. A larger window (or windows) is recommended.
6. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with Design Commission and any other Commission or Board approval conditions. It is the petitioner's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit, and signage requirements.
7. Compliance with all Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:**Description**

Staff Report

Supporting Documents

Staff - Other examples

Type

Board or Commission Report

Exhibits

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: Brown Residence
Project Address: 203 S. Ridge Avenue
Prepared By: Steve Hautzinger

PETITION INFORMATION:

DC Number: 22-029
Petitioner Name: Kevin Davis
Petitioner Address: Fairfield Homes
530 S Arthur Avenue
Arlington Heights, IL 60005
Meeting Date: June 14, 2022

Date Prepared: June 9, 2022

Requested Action(s): Approval of the proposed architectural design for an addition to an existing single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines.

The petitioner is proposing a small second floor and porch addition to an existing two-story house. The property has a total land area of 9,900 square feet and the proposed residence with addition will be approximately 3,609 square feet. The project does comply with the R-3 single-family zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 25 feet Side: 7.5 feet Side: 7.5 feet Rear: 30 feet	Front: 25 Side: 7.5 feet Side: 7.5 feet Rear: 68 feet
Building Height	25 feet to the midpoint	22 feet to the midpoint
FAR	4,398 SF	3,609 SF
Building Lot Coverage	3,465 SF	2,544 SF
Impervious Surface Coverage Total	4,950 SF	4,865 SF

The proposed addition is small, but it has a big impact on the appearance of the front of the house. The addition has poor proportions and looks out of place with the existing house. Further design development is recommended to achieve a more cohesive appearance. Staff has provided other examples of similar homes with nicely designed center bump-outs above the front porch. Staff recommends the following revisions:

- The addition should be made wider to improve the proportions.
- Align the eaves with existing, and reduce the gable roof pitch.
- Lower the roof pitch of the porch gable below, or omit the porch gable and let the porch roof run straight across.
- The small square windows do not fit with the existing house design. A larger window (or windows) is recommended.

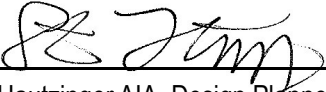
RECOMMENDATION:

It is recommended that the Design Commission **evaluate** the design of the proposed addition at 203 S. Ridge Avenue. This recommendation is based on the architectural plans received on 5/24/22, and the following:

1. Further design development of the proposed addition is recommended to achieve a more cohesive appearance with the existing house.
2. The addition should be made wider to improve the proportions.
3. Align the eaves with existing, and reduce the gable roof pitch.
4. Lower the roof pitch of the porch gable below, or omit the porch gable and let the porch roof run straight across.
5. The small square windows do not fit with the existing house design. A larger window (or windows) is recommended.
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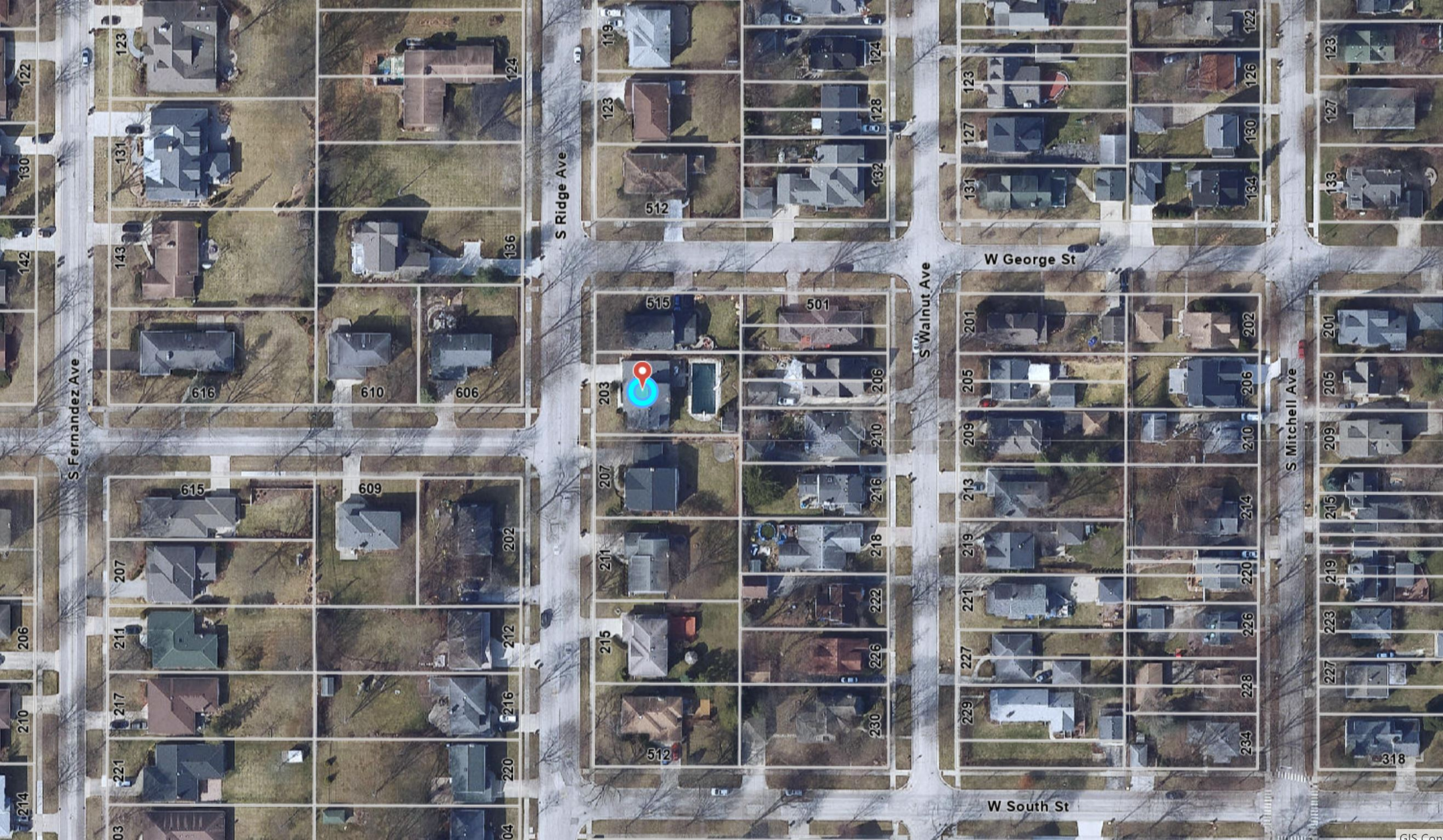
7. Compliance with all Federal, State, and Village codes, regulations and policies.



June 9, 2022

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

C: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 22-029



S Fernandez Ave

S Ridge Ave

S Walnut Ave

S Mitchell Ave

W George St

W South St





Surrounding Properties

Village of Arlington Heights 203 S Ridge Ave Arlington Heights

W George St



Property to left 3
123 S Ridge Ave



Property to left 2
512 W George St



Property to left 1
515 W George St



Subject Property
203 S Ridge Ave



Property to right 1
207 S Ridge Ave



Property to right 2
211 S Ridge Ave



Property to right 3
215 S Ridge Ave

N Kaspar Ave

N Kaspar Ave

Property Across to left 3
124 S Ridge Ave



Property Across to left 1
136 S Ridge Ave



Property Across
606 W George St



W George St

Property Across to right 1
202 S Ridge Ave



Property Across to right 2
212 S Ridge Ave





EXISTING 515 W GEORGE

EXISTING 203 S RIDGE

EXISTING 207 S RIDGE

EXISTING ELEVATIONS EAST SIDE OF SOUTH RIDGE AVE

SCALE = 1/8" = 1'-0"



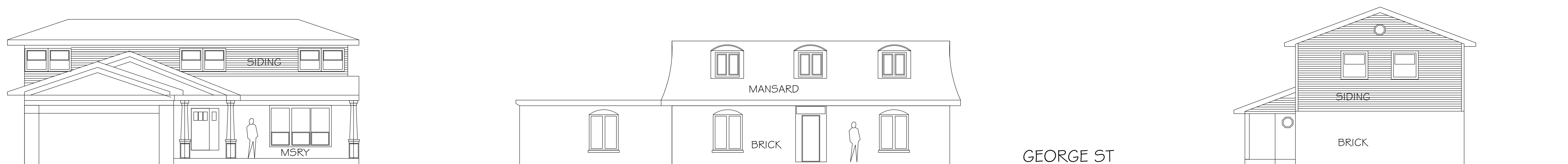
EXISTING 501 W GEORGE

PROPOSED NEW 203 S RIDGE

EXISTING 207 S RIDGE

PROPOSED ELEVATIONS EAST SIDE OF SOUTH RIDGE AVE

SCALE = 1/8" = 1'-0"



EXISTING 2125 RIDGE

EXISTING 202 S RIDGE

EXISTING 606 W GEORGE

EXISTING ELEVATIONS WEST SIDE OF SOUTH RIDGE AVE

SCALE = 1/8" = 1'-0"

[illegible]

Marshall F Hjertstedt AIA SE
rchitects & Engineers
936 S Scarsdale Ct
Arlington Heights, IL
60005
Phone: 312-258-0530

CONTEXT ELEVATIONS

MASTER BATH ADDITION

BROWN RESIDENCE

MR & MRS STEVE BROWN
203 S RIDGE AVE
ARLINGTON HEIGHTS, IL

	DRAWING
--	---------

ZG14

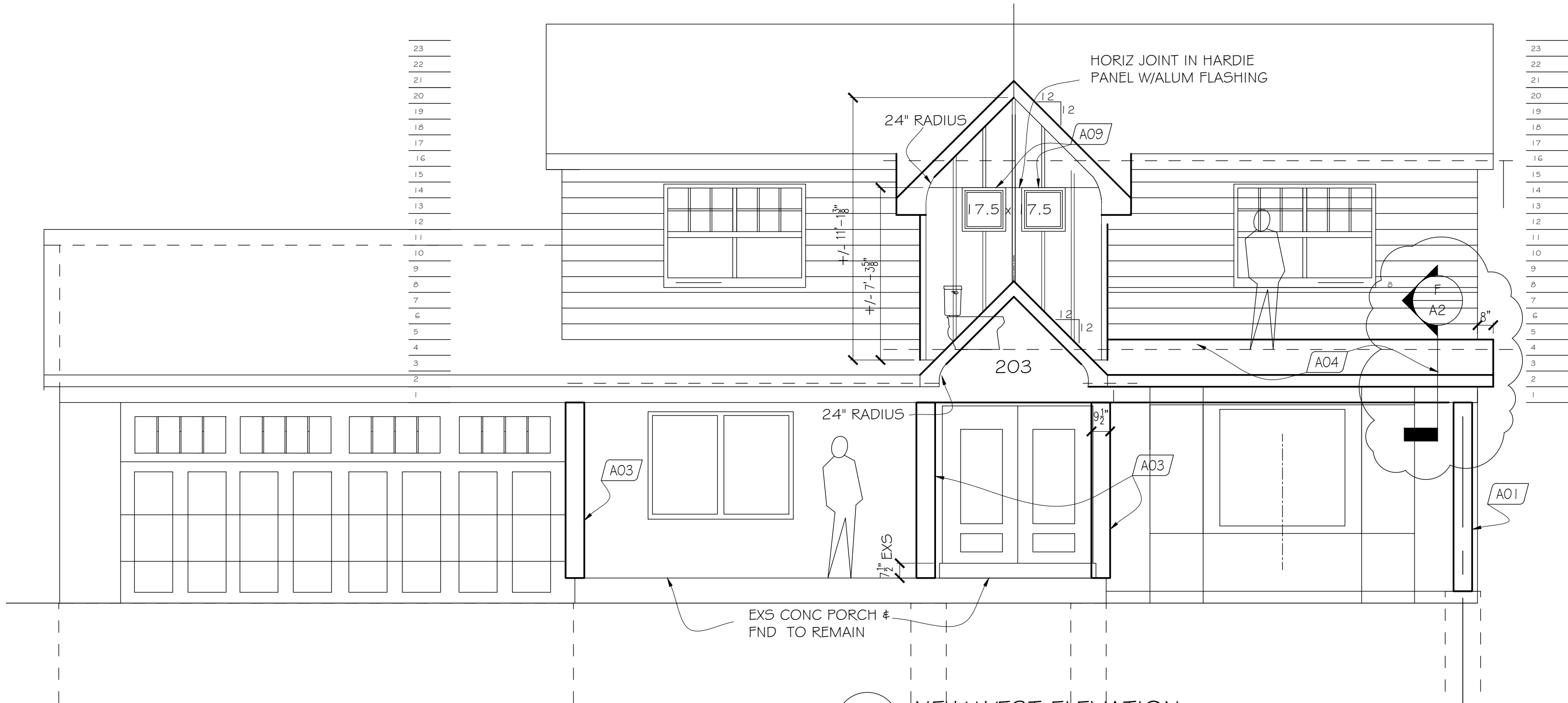
CE



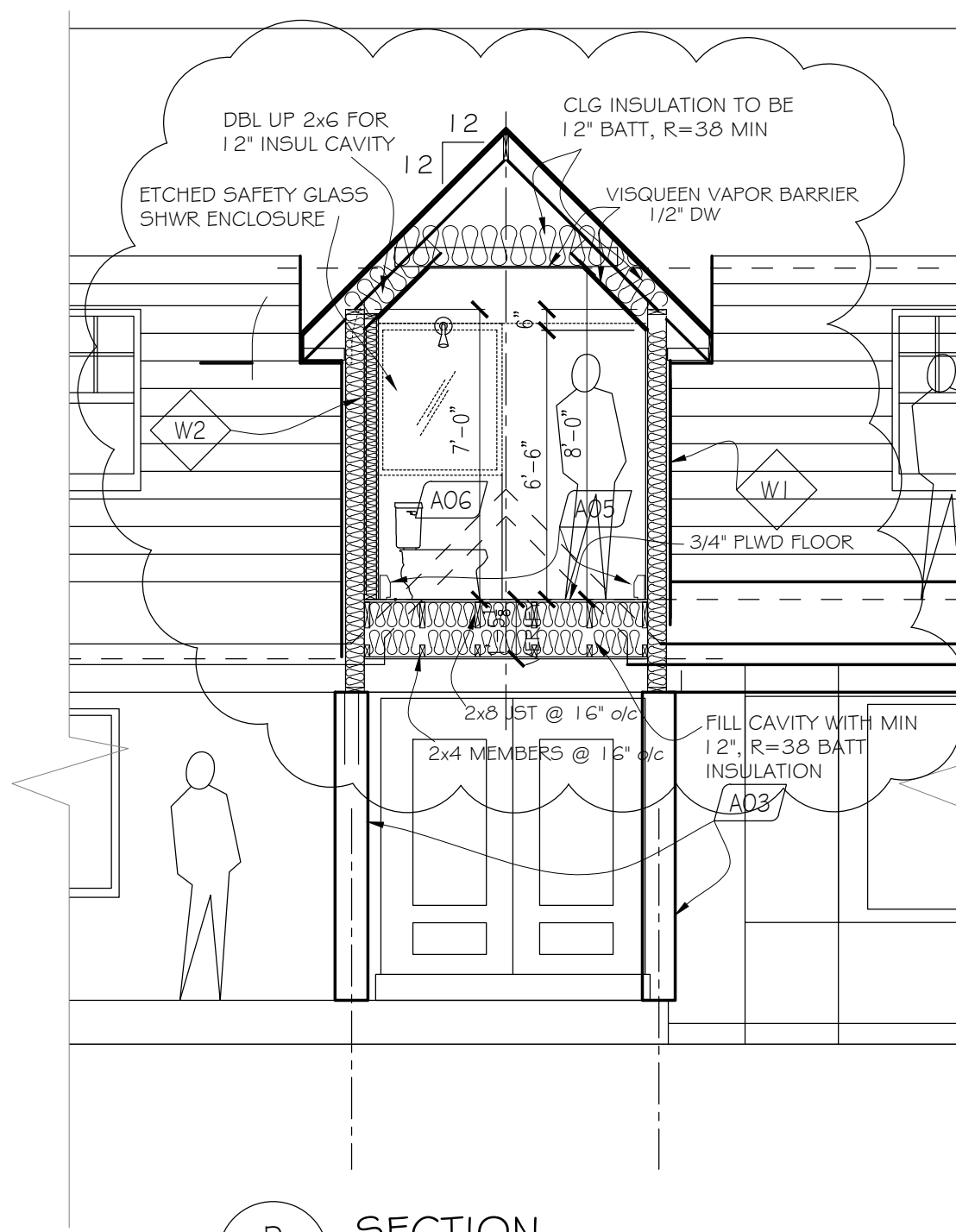
A
A2 EXIST WEST ELEVATION
SCALE: 1/4"= 1'-0"



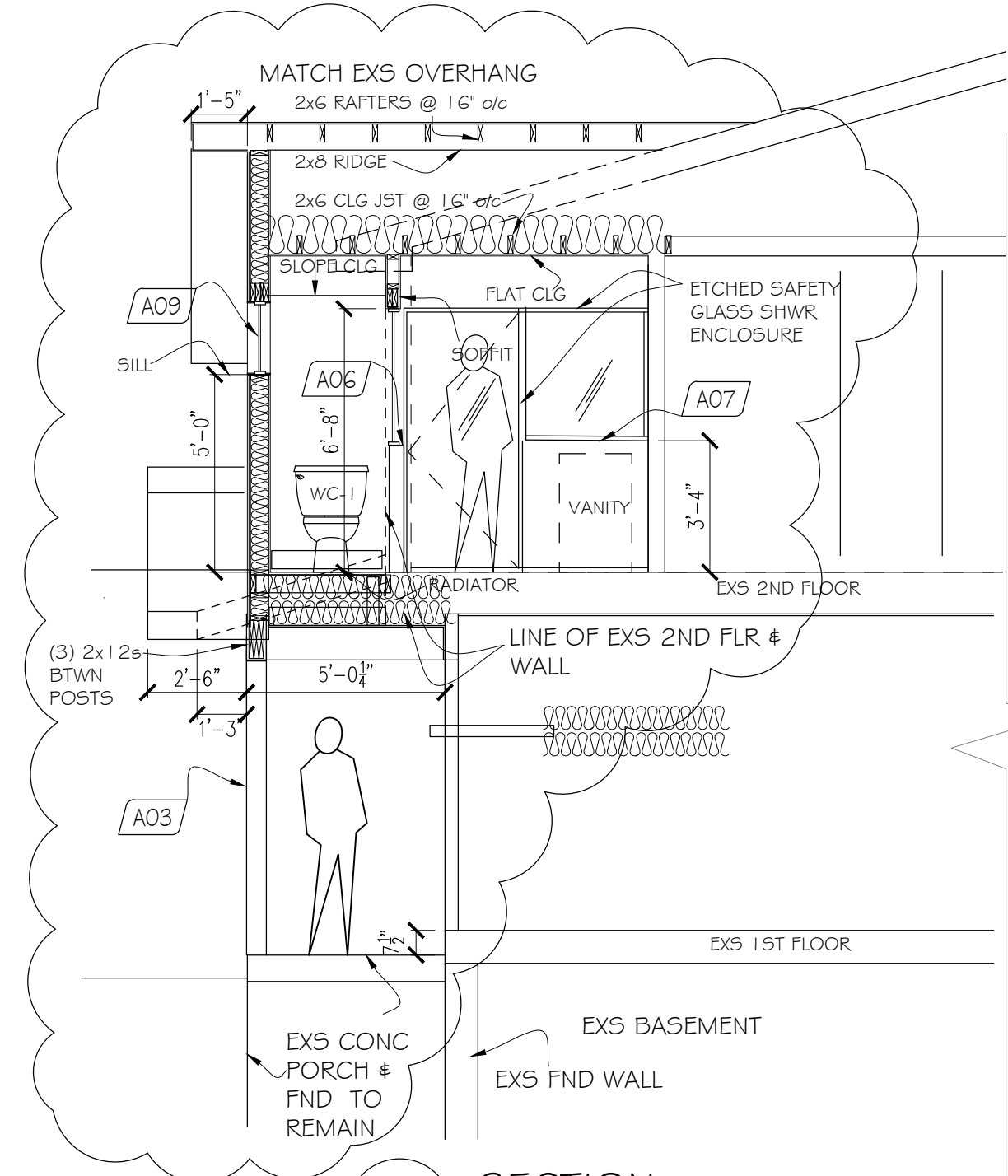
B
A2 SOUTH ELEVATION
SCALE: 1/4"= 1'-0"



C
A2 NEW WEST ELEVATION
SCALE: 1/4"= 1'-0"



D
A2 SECTION
SCALE: 1/4"= 1'-0"

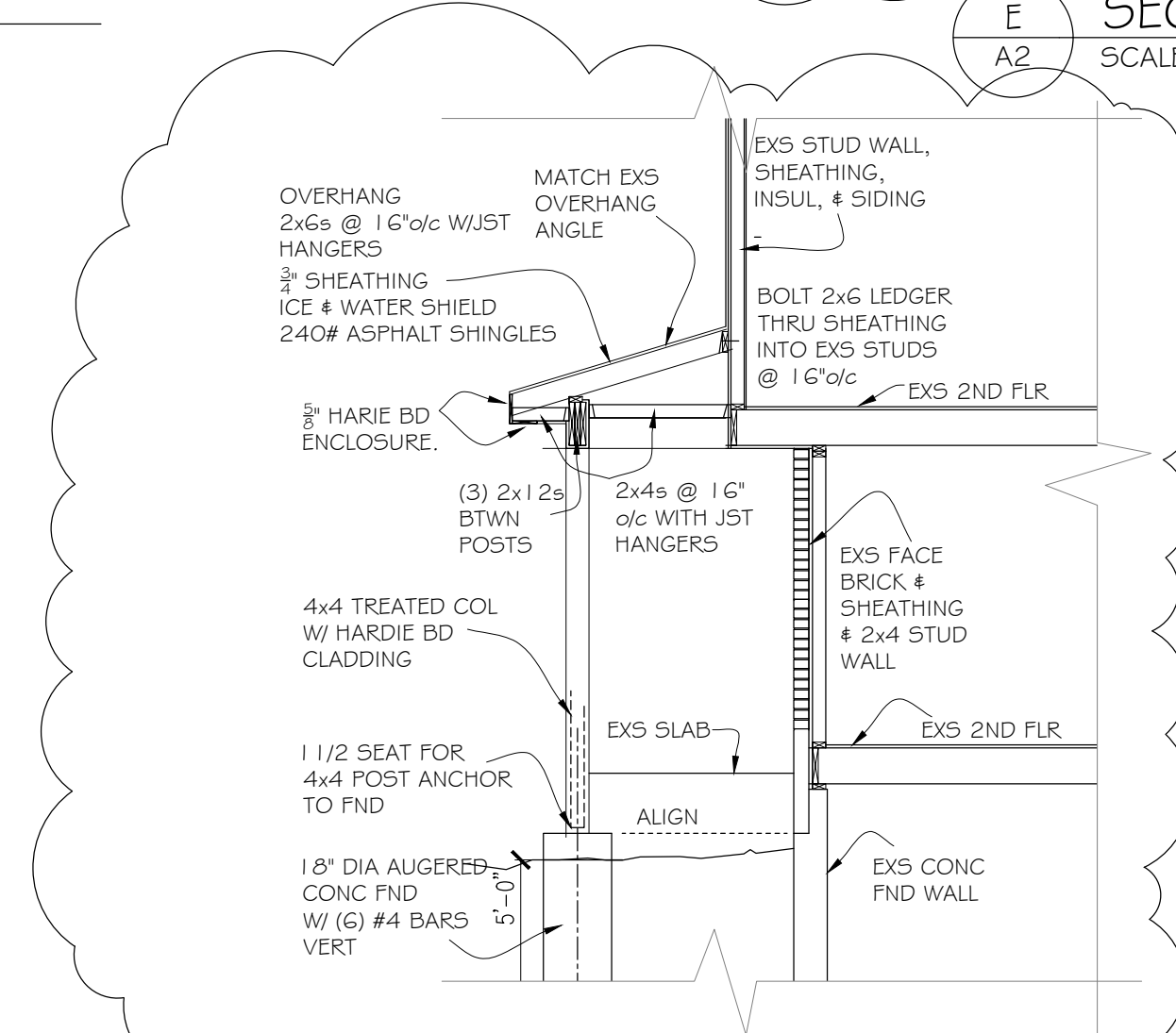


E
A2 SECTION
SCALE: 1/4"= 1'-0"

DEMOLITION NOTES	
MK	NOTE
DO1	- REMOVE EXISTING BATHROOM FIXTURES - SHOWER, VANITY, & SINK - DISCONNECT AND REMOVE EXISTING RADIATOR. (PIPING TO BE RECONNECTED LATER.) - REMOVE EXISTING TILE ON WALL AND FLOOR
DO2	REMOVE EXISTING EXTERIOR WALL AND WINDOW. MAKE SURE EXIST CEILING AND ROOF FRAMING ARE PROPERLY SUPPORTED.
DO3	EXISTING POSTS TO REMAIN.
DO4	CUT AND REMOVE EXISTING ROOF FRAMING OVER FRONT DOOR ENTRY.
DO5	OPEN EXS SOFFIT BEAM AND REFRAME WITH LONG SPAN LAMINATED BEAM TO REMOVE SINGLE COLUMN.
DO6	CUT AND REMOVE EXISTING ROOF FRAMING OVER NEW BATHROOM EXTENSION
DO7	REMOVE EXISTING SIDING DOWN TO SHEATHING FOR ATTACHMENT OF SOFFIT EXTENSION

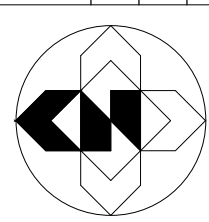
CONSTRUCTION NOTES	
MK	NOTE
A01	NEW 4x4 POST AND CLADDING FOR SUPPORT OF EXTENDED OVERHANG. - AUGER 1/8" ROUND CONC FND DOWN 5'-0" BELOW GRADE. TOP OF FND +3" FROM GRADE.
A02	NEW OVERHANG TO MATCH EXIST PORCH ROOF OVERHANG.
A03	REMOVE EXIST CLADDING & FRAME FRAME OUT EXISTING 4x4 POST TO NEW CONFIGURATION.
A04	NEW SOFFIT AND LOW ROOF EXTENSION
A05	NEW RADIATORS - CONNECT INTO EXISTING HW PIPING
A06	NEW SHORT STUB WALL. 3' HIGH STUD & DW.
A07	BUILD OUT NEW SHORT STUB WALL 3' HIGH STUD & DW
A08	NEW 3'0 x 6'-8 DOOR. REFRAME EXIST OPNG FOR NEW DOOR. MOVE EXS LIGHT SWITCH FOR NEW LARGER OPNG.
A09	NEW ANDERSON 17.5 x 17.5 AWNING WINDOWS
A10	NEW VANITY WITH WALL MIRROR AND WALL LIGHT

CONSTRUCTION ASSEMBLIES	
MK	NOTE
W1	WALL W1 - EXTERIOR SIDING - HARDIE BOARD PANELS WITH VERTICAL BOARD AND BATTEN - TYVEK WATER BARRIER FABRIC - 2 x 6 WALL CONSTRUCTION - 5 1/2" FIBERGLASS INSULATION, R=20 MIN - VISQUEEN VAPOR BARRIER. - 1/2" THICK MOLD & WATER RESISTANT DW - SEMI-GLOSS PAINT CHOSEN BY OWNER
W2	EXTERIOR WALL - EXTERIOR SIDING - HARDIE BOARD PANELS WITH VERTICAL BOARD AND BATTEN - TYVEK WATER BARRIER FABRIC - 2 x 6 WALL CONSTRUCTION - 5 1/2" FIBERGLASS INSULATION, R=20 MIN INNER WALL - 3 1/2" STUD INNER WALL - 3 1/2" BATT INSULATION, R=11 - WATER PIPE FOR TOILET IN THIS WALL - VISQUEEN VAPOR BARRIER - 1/2" THICK MOLD & WATER RESITANT DW - SEMI-GLOSS PAINT BY OWNER.



F
A2 SECTION
SCALE: 1/4"= 1'-0"

REV	DESCR	DATE
0	FOR REVIEW	1/01/22
1	FOR PERMIT	1/14/22
2	PLAN CORRECTIONS	4/28/22



MFH ASSOCIATES
Architects & Engineers
936 S Scarsdale Ct
Arlington Heights, IL 60005
phone: 312-258-0530

TITLE: PLANS & DETAILS
PROJECT: MASTER BATH ADDITION
OWNER: BROWN RESIDENCE
ADDRESS: MR & MRS STEVE BROWN
203 S RIDGE AVE
ARLINGTON HEIGHTS, IL
PROJECT: ZG14
DRAWING: A2
EXPIRES: 11/30/22

Material Board

Address: 203 S Ridge Ave



Roofing Color:
Weathered Wood



Horizontal Siding
Color: White



Windows & Window
Trim Color: Black



Columns & Garage Doors &
Railings Color: White



Front Door Color:
White



Brick Color: Painted White



Soffit-Fascia-Gutters
Color: Black

Fairfield Homes, Inc.
203 S Ridge Ave
Material Schedule

ITEM	MATERIAL	MANUFACTURER	COLOR
Brick	Existing	NA	White painted
Stone	NA	NA	NA
Roof	Exisitng	NA	Weatherwood
Siding	Wood	LP	White
Shutters	NA	NA	NA
Gutters/Trim/Fascia	Aluminum	Best Line	Black
Columns/Porch Trim	Wood	LP	Medium Stain
Windows	Vinyl	Anderson	Black
Garage Door	Exisiting	NA	White



Marshall F Hjertstedt
Architects & Engineers

936 S Scarsdale Ct
Arlington Heights, ILL 60005
(312)-258-0530

PLAN CORRECTIONS

ZG14-Design Response

To: **Department of Planning**
 Village of Arlington Heights
 33 S Arlington Heights Rd,
 Arlington Heights, IL

5/18/22

Re: **Permit Application No. #22-980**
 Residential Single Family Addition
 203 S Ridge Ave
 Arlington heights, IL

This is to respond to Plan Review Comments from the DESIGN COMMISSION about our intention to combine vertical and horizontal siding in the same front elevation of the existing house at 203 S Ridge. Below you will see photos taken from the Internet that show several examples where these siding changes have been successfully employed.



It should be noted that the siding and window colors in this example show the same color scheme that will be used in the home renovation at 203 S Ridge.



This is another example of vertical and horizontal siding being combined in the same elevation. Also note the color scheme is very close to what is proposed for 203 S Ridge.



Here is another example of combining horizontal and vertical siding, though the color scheme does not represent what is proposed for 203 S Ridge.

I hope this will clarify what the design intent is for the Renovation at 203 S Ridge.

Thank you.

Marshall Hjertstedt, AIA, SE, PE

cc.









ESTATES

TO BE BUILT





