



Agenda
Village of Arlington Heights
Design Commission
Community Room, 3rd Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
June 10, 2014
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Design Commission Minutes - 5/27/14

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. DC#14-037 - 923 N. Kaspar Ave. - SF/Teardown

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Design Commission Minutes - 5/27/14

Department: Planning & Community Development

Approval of Design Commission Minutes - 5/27/14

ATTACHMENTS:

Description

DC Minutes 5-27-14

Type

[Minutes](#)

DRAFT

MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
MAY 27, 2014

Chair Eckhardt called the meeting to order at 6:30 p.m.

Members Present: Ted Eckhardt, Chair
John Fitzgerald
Anthony Fasolo
Jonathan Kubow

Members Absent: Alan Bombick

Also Present: Randal Kane, 2401 Inc. for *Transitional Care*
Robert Losselyoung, Tinaglia Architects for 212 N. Dunton Ave.
Kelle Bruckbauer, Tinaglia Architects for 212 N. Dunton Ave.

REVIEW OF MEETING MINUTES FROM MAY 13, 2014

A MOTION WAS MADE BY COMMISSIONER FITZGERALD SECONDED BY COMMISSIONER FASOLO, TO APPROVE THE MEETING MINUTES OF MAY 13, 2014. ALL WERE IN FAVOR. THE MOTION CARRIED.

ITEM. 1. INSTITUTIONAL RE-REVIEW

DC#12-097 – Transitional Care Management – 1200 N. Arlington Heights Rd.

Mr. Randal Kane, representing *2401 Inc.*, was present on behalf of the project.

Chair Eckhardt noted that there was nobody other than the petitioner in the audience.

Mr. Hautzinger presented Staff comments. The project is returning to the Design Commission after a re-review at the last meeting on May 13, 2014 regarding a change in the location of one of the mechanical decks from the courtyard side to the west elevation. The petitioner explained that due to mechanical and structural constraints, it is not possible to move the mechanical deck back to the courtyard side of the roof. The commissioners approved the proposed location of the mechanical deck on May 13, 2014 and required that the screening design be brought back to the Design Commission for further review with the following revisions:

- Raise the brick all the way up to the top of the faux chimney and provide an appropriate looking chimney cap to make the chimney look like an authentic fireplace.
- Increase the height of the mansard roof to better match some of the features on the other building elevations.

Mr. Hautzinger stated that the petitioner has addressed the above revisions and is requesting approval of the design tonight. The chimney now appears as an authentic fireplace and the increased mansard roof blends in well with the building design. Staff recommends approval of the design being presented tonight.

Chair Eckhardt commented that it appeared as though the petitioner did everything asked by the commissioners regarding the revised design of the mechanical deck. **Commissioner Kubow** agreed that the petitioner followed all of the suggestions made by the commissioners at the last meeting. He liked that the brick was carried all the way up, and overall he felt the revised design looked good.

Commissioner Fasolo was in favor of the revised design, which resembles a chimney and hides the mechanical equipment. **Commissioner Fitzgerald** agreed with the comments made by the other commissioners, and added a suggestion to add fascia or trim at the lower gutter line to help break up the expanse of siding. **Mr. Kane** was not opposed to adding a trim piece there. **Chair Eckhardt** agreed with the other commissioners, as well as Commissioner Fitzgerald's suggestion.

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO APPROVE THE DESIGN OF THE WEST MECHANICAL ROOF DECK FOR THE NEW TRANSITIONAL CARE MANAGEMENT BUILDING TO BE LOCATED AT 1200 N. ARLINGTON HEIGHTS ROAD. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE PLANS RECEIVED 5/21/14, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL

APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND RESOLUTION OF THE FOLLOWING:

1. A REQUIREMENT TO ADD FASCIA BOARD TO CONNECT A VISUAL LINE BETWEEN THE BOTTOM TWO GUTTERS, BREAKING AT THE BRICK CHIMNEY FAÇADE.
2. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, SIGN CODE OR BUILDING OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE ARCHITECT/HOMEOWNER/BUILDER'S RESPONSIBILITY TO COMPLY WITH THE DESIGN COMMISSION APPROVAL AND ENSURE THAT BUILDING PERMIT PLANS COMPLY WITH ALL ZONING CODE REQUIREMENTS.

FASOLO, AYE; FITZGERALD, AYE; KUBOW, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. THE MOTION CARRIED.

ITEM 2. MIXED-USE CBD REVIEW

DC#14-040 – Parkview Apartments – 212 N. Dunton Ave.

Mr. Robert Losselyoung and **Ms. Kelle Bruckbauer**, representing *Tinaglia Architects*, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is seeking approval of the architectural design for a new Mixed-Use apartment building to include indoor parking and retail space. The proposed location is a vacant site on the north end of the Downtown (B-5) Zoning District at the corner of Dunton Avenue and Eastman Street. The proposed development will be seven-stories in height with 45 residential apartment units occupying floors three through seven. The first and second-story will contain indoor parking for use by the apartment residents. The petitioner is also proposing 1,254 sf of retail space located at sidewalk level, at the northeast corner of the first-floor.

The proposed development does comply with the B-5 zoning requirements for building height and density; however this project does require approval as a Planned Unit Development through the Plan Commission process. A previous version of this proposal, which was eight-stories in height and had 49 residential units, received Design Commission and preliminary PUD approval in 2007.

The proposed design is a very nice traditional composition with good massing and rich materials. The design is largely in keeping with the previously approved design from 2007 with some revisions. Primary changes are as follows:

1. Retail space on the first-floor (except for the northwest corner) has been replaced with indoor parking and false spandrel glazed storefronts.
2. The second-floor is proposed to be parking instead of residential units with windows and balconies.
3. The eighth-floor residential units and roof top terraces have been omitted.

The proposed palette of exterior materials is rich and nicely coordinated. However, the proposed brick is nearly an identical match to the brick on the existing Hancock Square Apartment building across the street from the subject site, and the window frames are a similar dark color. The overall color tone of the body of the proposed building will have a very similar appearance to the existing apartment building. Additionally, the proposed white stone and dark window frames are used on the existing condominium building to the west. The proposed palette of materials should be evaluated with the context of the two existing buildings, and a revised color scheme should be considered to create more variety between the three multi-unit residential buildings.

Village Staff and the Plat & Subdivision Committee have raised concerns about the lack of retail space proposed, and it is possible that the amount of retail space will be increased during the Plan Commission and Village Board review. If additional retail space is added, then revisions to

the exterior design of the first floor may be necessary.

Staff is recommending approval of the proposed design, with a suggestion to consider revising the exterior colors to allow more variety between the proposed design and the existing adjacent developments.

Mr. Losselyoung stated that the current project is slightly different in scope from 2007, with apartments now being proposed instead of condominiums; the underground parking being removed and above-grade parking now being proposed; elimination of the eighth-floor penthouse; and less units overall in the building. An attempt was made to keep the current design similar to the previous design in 2007, and they feel the Traditional style building now being proposed will add to the north side of the Downtown.

Mr. Losselyoung explained that the brick originally proposed in 2007 was chosen to match the brick color of the Heritage Gallery building; however, this brick is no longer available, therefore, a standard brick is now being proposed that is almost identical, although slightly darker, with grey mortar. He added that they are not opposed to using colored mortar as well in the brick sections.

Commissioner Fasolo felt the building was nicely designed and would fit in well with the surrounding properties. He agreed with the suggestion to use a dark mortar in the brick sections, similar to the Heritage Gallery, which would differentiate the building from the Hancock Square building. He had no other comments.

Commissioner Fitzgerald asked for clarification about the aluminum at the four corners at the top of the building, which the petitioner explained and Commissioner Fitzgerald understood. **Commissioner Fitzgerald** also agreed with using a dark mortar color and felt the building was nicely designed and would look good on the site.

Commissioner Kubow felt the petitioner did a great job with the proposed new building and filling the vacant parcel. He felt the building would have really good street presence. He was disappointed to see that the amount of retail space was reduced, and he encouraged the petitioner to further explore this.

Chair Eckhardt also agreed with using a dark mortar color, and he was not particularly worried if the brick matched the existing adjacent apartment building, as long as the mortar is dark, and he encouraged the petitioner to choose a rich brick color. He pointed out that the balconies were changed from the original proposal in 2007, which he was fine with, and he applauded the second-story parking being proposed. With regards to the retail space, he felt that parking was more important than retail space that could possibly be vacant at some point, and he was fine with the proposed false storefronts. He felt the small retail space being proposed was something that would support only the residents of the building; he was unsure where pedestrian traffic would come from. He pointed out that the north elevation of the building

had the same prominence and same detailing as the front elevation. He supported the project with the comments already made.

Mr. Hautzinger confirmed with the petitioner that the proposed brick is "Prairie Sunset velour" by Sioux City Brick.

Chair Eckhardt stated that there was nobody other than the petitioner present in the audience for public comment.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR THE NEW *PARKVIEW APARTMENTS* TO BE LOCATED AT 212 N. DUNTON AVENUE. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE PLANS DATED 5/12/14 AND RECEIVED 5/13/14, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND RESOLUTION OF THE FOLLOWING:

- 1. A REQUIREMENT THAT A DARKER MORTAR COLOR THAN GREY BE USED WITHIN THE BRICK SECTION, MORE OF A DARK RED OR BROWNISH COLOR.**
- 2. ALL SIGNAGE MUST MEET CODE PER CHAPTER 30.**
- 3. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, SIGN CODE OR BUILDING OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE ARCHITECT/HOMEOWNER/BUILDER'S RESPONSIBILITY TO COMPLY WITH THE DESIGN COMMISSION APPROVAL AND ENSURE THAT BUILDING PERMIT PLANS COMPLY WITH ALL ZONING CODE REQUIREMENTS.**

Chair Eckhardt asked if awning color has been determined. **Mr. Losselyoung** replied that all awnings would be black, including the retail awnings. **Commissioner Kubow** asked about the material on the protruding balconies and the material at the cornice. **Mr. Losselyoung** replied that the balconies will be an extension of the balcony plank and covered in concrete, and the cornice material will be Azek and Fypon.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO AMEND THE MOTION TO ADD THE FOLLOWING:

- 4. A REQUIREMENT THAT THE AWNINGS ALL BE BLACK.**

**FASOLO, AYE; FITZGERALD, AYE; KUBOW, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. THE MOTION CARRIED.**

ITEM 3. GENERAL MEETING

Staff updated the commissioners on the new electronic NOVUS system being implemented by the Village that will allow for electronic meeting packets to be accessed by the public, as well as commission members. These electronic packets are intended to replace the hard copy packets provided to commissioners for each meeting. **Mr. Hautzinger** instructed the commissioners how to access the electronic meeting packets on the Village website, and explained that the commissioners are encouraged to bring their personal electronic device to each meeting to electronically access and review projects.

Chair Eckhardt noted that Commissioner Bombick is not here tonight and should be part of this discussion. **Chair Eckhardt** felt the idea of going electronic is well intended; however, he felt there should be at least one set of scaled plans available at each meeting for the commissioners' viewing, until each commissioner is comfortable with not having a drawing to look at, touch, and sometimes sketch on.

Commissioner Fitzgerald liked the idea of going electronic, which he could get used to after some adjustments.

Mr. Hautzinger stated that for the time being, Staff can continue to provide the commissioners with hard copies of only the plans for each meeting; however, agendas and staff reports for each project should be accessed through the Village website.

Chair Eckhardt suggested the commissioners arrive early or stay late at the next meeting in order to conduct a run through with Staff for a better understanding of the new procedure. He felt the Village should use the technology available in meeting rooms to project the digital images for each project being reviewed at Design Commission meetings. **Mr. Hautzinger** was not opposed to this suggestion.

Commissioner Fasolo agreed that at least one hard copy of plans should still be available at each meeting for the commissioners.

Commissioner Kubow felt the commissioners should continue to receive full packets of documents and drawings, with the exception of the agenda and minutes. He felt hard copies were important to be able to review and get a scaled perspective of each project.

Chair Eckhardt asked that a full packet be delivered for the next meeting, as well as the commissioners being prepared to access the meeting electronically. He agreed with Commissioner Kubow's comment about the importance of having a scaled drawing in hand. He also reiterated that Commissioner Bombick still needed to be aware of this new procedure and provide feedback at a future meeting.

There was no further discussion.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER FASOLO, TO ADJOURN THE MEETING AT 7:15 P.M. ALL WERE IN FAVOR. THE MOTION CARRIED.



Item: DC#14-037 - 923 N. Kaspar Ave. - SF/Teardown

Department: Planning & Community Development

BACKGROUND:

Approval of the proposed architectural design for a new (teardown) single-family residence.

RECOMMENDATION:

It is recommended that the Design Commission consider the recommended revisions and approve the proposed new single-family residence to be located at 923 N. Kaspar Avenue with the context of the neighborhood.

This recommendation is subject to compliance with the architectural plans dated 12/17/13 and received 5/06/14, and the following:

1. Recommend adding double hung windows to the right side elevation in the Living Room and Loft.
2. Recommend lowering the transom window in the stairwell on the right side elevation and changing it to a double hung window.
3. Recommend adding double hung windows to the left side elevation in the Garage and Bedroom 3.
4. Recommend adding decorative grilles (grids) to all double hung windows on the sides and rear, to match the front elevation.
5. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
6. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description	Type
Staff Report	Report
Site Plan	Exhibits
Plat of Survey	Exhibits
Elevations	Exhibits
Context Elevation	Exhibits
Roof Plan	Exhibits
Photos of Surrounding Properties	Exhibits
Material List	Correspondence

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 923 N. Kaspar Ave.
Project Address: 923 N. Kaspar Ave.
Prepared By: Steve Hautzinger

Date Prepared: June 3, 2014

PETITION INFORMATION:

DC Number: 14-037
Petitioner Name: Joseph Labelle
Petitioner Address: 307 S. Emerson St.
Mt. Prospect, IL 60056
Meeting Date: June 10, 2014

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to demolish an existing single story residence and two car detached garage to allow the construction of a new two story residence with an attached, two car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 6,608 square feet and the proposed residence will have 2,969 square feet. The project does comply with all R-3 zoning requirements as summarized below..

	ALLOWED	PROPOSED
Setbacks	Front: 35 feet Side: 5 feet Side: 5 feet Rear: 30 feet	Front: 35.5 feet Side: 5.16 feet Side: 5.13 feet Rear: 46 feet
Building Height	25 feet to the midpoint	25 feet to the midpoint
FAR	2,974 SF	2,969 SF
Building Lot Coverage	2,313 SF	1,794 SF
Impervious Surface Coverage Total	3,630 SF	2,763 SF

The front of the proposed residence is nicely designed with varying roof lines, varied materials, and good proportions. However, the following are recommendations to improve the side and rear elevations and tie the overall design together:

1. Recommend adding double hung windows to the right side elevation in the Living Room and Loft.
2. Recommend lowering the transom window in the stairwell on the right side elevation and changing it to a double hung window.
3. Recommend adding double hung windows to the left side elevation in the Garage and Bedroom 3.
4. Recommend adding decorative grilles (grids) to all double hung windows on the sides and rear, to match the front elevation.

The existing neighborhood consists primarily of single story and one and a half story homes. This project is appearing before the Design Commission due to past concerns in this neighborhood regarding teardown/new construction, and to evaluate the proposed architectural design with the context of the neighborhood. The hipped main roof, lowered garage roof, and single story front porch do help to break up the massing of the home, and although the neighborhood is predominantly smaller homes, the subject property does have a similar scale, two story home on the lot directly to the north.

RECOMMENDATION:

It is recommended that the Design Commission **consider the recommended revisions and approve** the proposed new single-family residence to be located at 923 N. Kaspar Avenue with the context of the neighborhood. This recommendation is subject to compliance with the architectural plans dated 12/17/13 and received 5/06/14, and the following:

1. Recommend adding double hung windows to the right side elevation in the Living Room and Loft.
2. Recommend lowering the transom window in the stairwell on the right side elevation and changing it to a double hung window.

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6. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

June 3, 2014

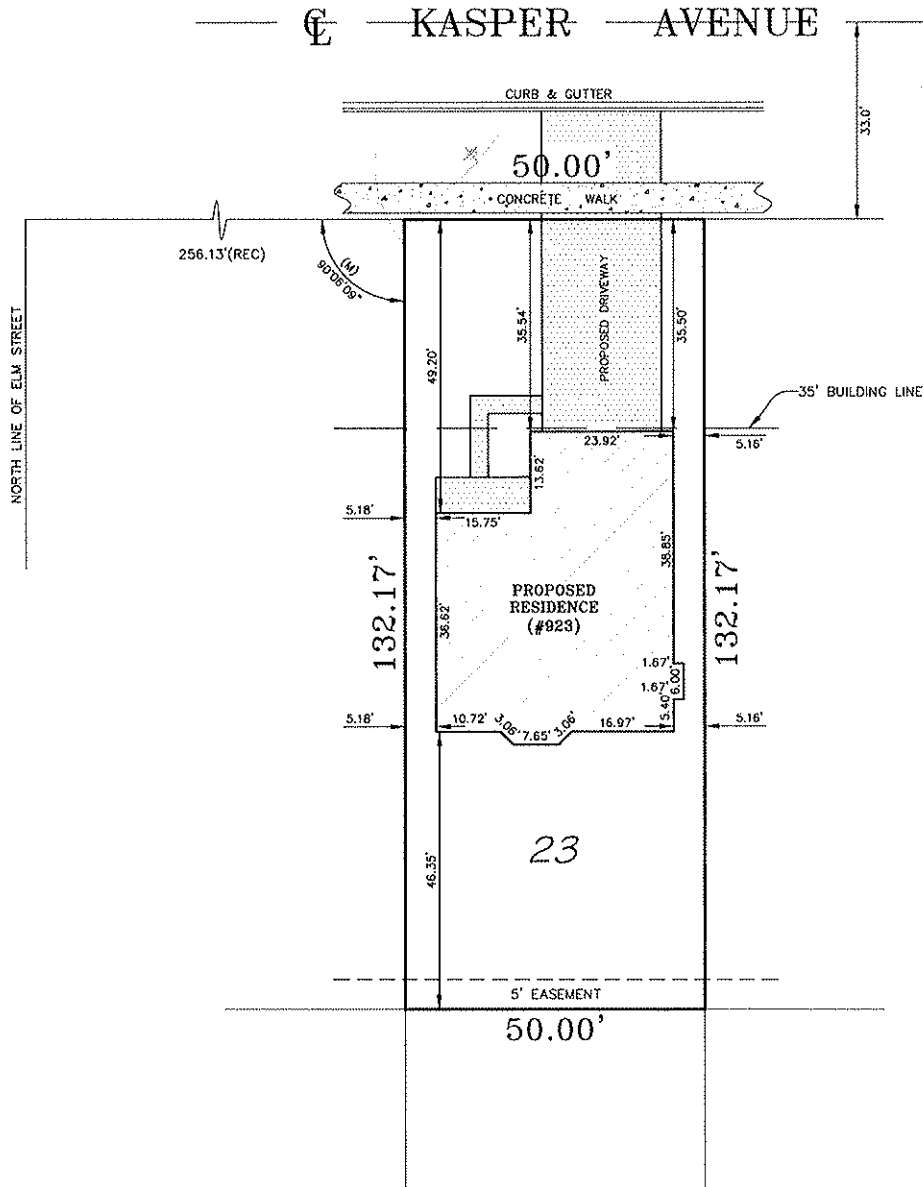
Steve Hautzinger, Design Planner
Department of Planning and Community Development

Cc: William C. Dixon, Village Manager, Charles Witherington Perkins, Director of Planning and Community Development, James McCalister, Director Building & Health Services, Charley Craig, Building Services, Petitioner, DC File 14-037

CONCEPT PLAN

OF

LOT 23 IN BLOCK 3 IN R.A. CEPEK'S ARLINGTON RIDGE, BEING A SUBDIVISION OF THAT PART OF THE WEST 1/2 (EXCEPT THE EAST 33 FEET THEREOF) OF THE NORTHEAST 1/4 AND OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTHEASTERLY LINE OF THE NORTHWEST HIGHWAY, SAID NORTHEASTERLY LINE OF SAID HIGHWAY BEING 66 FEET NORTHEASTERLY OF AND PARALLEL TO THE NORTHEASTERLY LINE OF C.&N.W.R. RAILROAD RIGHT OF WAY, IN COOK COUNTY, ILLINOIS.



RECEIVED

MAY - 6 2014

PLANNING & DEVELOPMENT

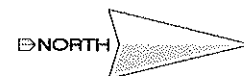
PREPARED FOR: SEAN KELLY
 JOB ADDRESS: 923 N. KASPER AVE., ARLINGTON HEIGHTS, IL.
 JOB NO.: 13-11-0099-B

NEKOLA SURVEY, INC.

PROFESSIONAL LAND SURVEYING SERVICES
 WWW.NEKOLASURVEY.COM

400 N. SCHMIDT RD., STE. 203
 BOLINGBROOK, ILLINOIS 60440
 (630) 226-1530 PHONE (630) 226-1430 FAX

AREA = 6,609 SQ. FT.
 MORE OR LESS

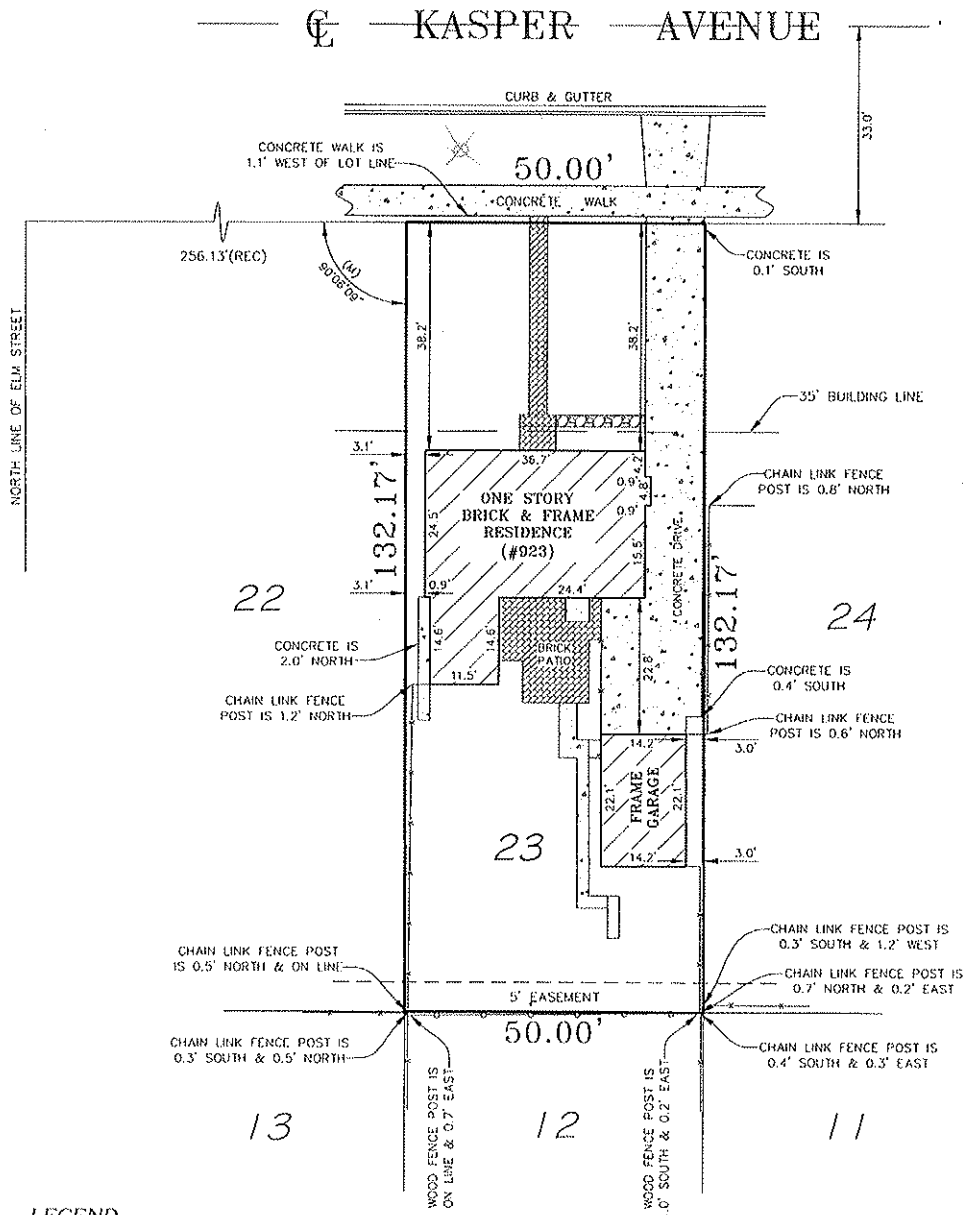


SCALE: 20'

PLAT OF SURVEY

OF

LOT 23 IN BLOCK 3 IN R.A. CEPEK'S ARLINGTON RIDGE, BEING A SUBDIVISION OF THAT PART OF THE WEST 1/2 (EXCEPT THE EAST 33 FEET THEREOF) OF THE NORTHEAST 1/4 AND OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTHEASTERLY LINE OF THE NORTHWEST HIGHWAY, SAID NORTHEASTERLY LINE OF SAID HIGHWAY BEING 66 FEET NORTHEASTERLY OF AND PARALLEL TO THE NORTHEASTERLY LINE OF C.&N.W.R. RAILROAD RIGHT OF WAY, IN COOK COUNTY, ILLINOIS.



LEGEND

(R/M) - RECORD / MEASURED
L - ARC LENGTH
R - RADIUS
CH - CHORD

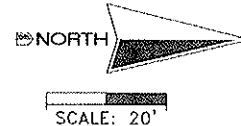
AREA = 6,609 SQ. FT.
MORE OR LESS

PREPARED FOR: SEAN KELLY
JOB ADDRESS: 923 N. KASPER AVE., ARLINGTON HEIGHTS, IL
JOB NO.: 13-11-0099

NEKOLA SURVEY, INC.

PROFESSIONAL LAND SURVEYING SERVICES
WWW.NEKOLASURVEY.COM
400 N. SCHMIDT RD., STE. 203
BOLINGBROOK, ILLINOIS 60440
(630) 226-1530 PHONE (630) 226-1430 FAX

☒ - "X" IN BOX INDICATES THE HEREON DRAWN PLAT WAS ORDERED AS A NON MONUMENTED SURVEY.
NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. FIELD MONUMENTATION OF CRITICAL POINTS SHOULD BE ESTABLISHED PRIOR TO COMMENCEMENT OF ANY AND ALL CONSTRUCTION. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, ABSTRACT, TITLE POLICY, CONTRACTS AND LOCAL BUILDING AND ZONING ORDINANCES.



FIELD WORK COMPLETED ON THE 26TH DAY OF NOVEMBER, 2013.

(STATE OF ILLINOIS)
(COUNTY OF WILL) SS

NEKOLA SURVEY INC. DOES HEREBY CERTIFY THAT IT HAS SURVEYED THE TRACT OF LAND ABOVE DESCRIBED, AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 26TH DAY OF NOVEMBER, 2013.

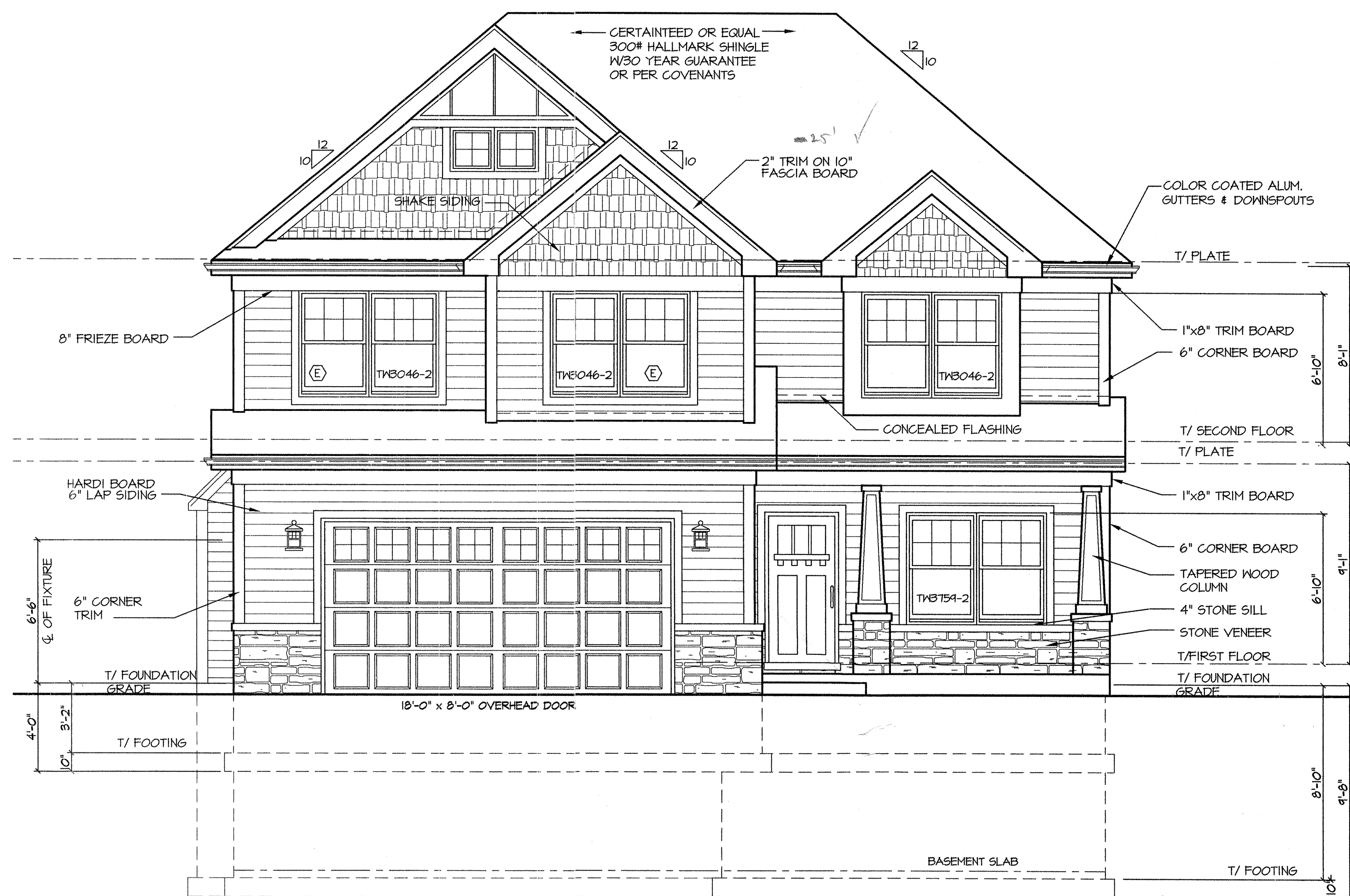
Wayne W. Nekola
P.L.S. No. 2923
LICENSE RENEWAL DATE: 30 NOVEMBER 2014.

RECEIVED
MAY - 6 2014
PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT



REAR ELEVATION

1/4" = 1'-0"



FRONT ELEVATION

1/4" = 1'-0"

CARPENTER CONTRACTOR NOTE: THE ABOVE SPAN TABLES ARE TO BE USED FOR REFERENCE FOR MAXIMUM ROOF RAFTER SPANS. IF CARPENTER SUBCONTRACTOR IS ABLE TO SHORTEN SPAN, HE IS PERMITTED TO DO SO AS LONG AS HE DOES NOT EXCEED RAFTER SPANS ALLOWED BY LOCAL CODE. FURTHER, IF RAFTER SPAN IN A ROOF AREA CHANGES FROM MAX. SPAN ALLOWED TO LESSER SPAN CONTRACTOR MAY MAKE THAT ADJUSTMENT, SAY FROM 2'x10'S TO 2'x8'S BY ADJUSTMENT IN HIS BIRDS MOUTH CUT.

CARPENTER CONTRACTOR: IT SHALL BE THE RESPONSIBILITY OF CONTRACTOR, OWNER/CONTRACTOR AND CONCRETE CONTRACTOR TO HAVE FULL SET OF ARCHITECTURAL DRAWINGS "MARKED CONSTRUCTION", WITH LATEST REVISION DATE MARKED. IF DIMENSIONAL ERRORS ARE FOUND BETWEEN DIMENSIONS ON FOUNDATION FIRST, AND SECOND FLOOR DRAWINGS, ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT PROCEED UNTIL THE DISCREPANCY IS RESOLVED. A LETTER OF DIRECTION OR A REVISED DRAWING SHALL BE PREPARED IMMEDIATELY FOR CONTRACTORS, OWNER, AND ARCHITECT'S RECORD.

PROVIDE VENTILATION FOR ALL ATTIC AREAS. MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THEN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED AT LEAST 50% AND NOT MORE THEN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, OR A VAPOR BARRIER HAVING MAXIMUM 1 PERM TRANSMISSION RATE IS WARM SIDE OF THE CEILING. VENTILATING OPENINGS SHALL BE PROVIDED WITHIN 18" OF THE CORNICE OR THE CORNICE-RESISTANT WIRE MESH WITH 1/8-1/4 INCH OPENINGS.

1. EXTERIOR WINDOWS SHALL BE A MIN. OF INSULATED GLASS WITH LOW E COATING AND SHALL CARRY THE US DEPARTMENT OF ENERGY'S ENERGY STAR RATING.

2. EXTERIOR DOORS SHALL CARRY THE US DEPARTMENT OF ENERGY'S ENERGY STAR RATING, AND SHALL MEET OR EXCEED THE FOLLOWING:

A. DOORS SHALL BE EITHER SOLID CORE WOOD, INSULATED FIBERGLASS, INSULATED STEEL OR AN APPROVED ALTERNATIVE. THIS PROVISION SHALL APPLY TO SERVICE DOORS, FRONT DOORS, BACK DOORS AND DOORS BETWEEN THE GARAGE AND THE HOUSE.

B. WEATHER STRIPPING SHALL BE PROVIDED FOR DOOR-SIDE TREATMENTS AND DOOR-BOTTOM TREATMENTS TO REDUCE AIR INFILTRATION TO NOT MORE THAN 5 CUBIC FEET PER MINUTE SQUARE FOOT.

C. GLAZING IN DOORS, SIDELIGHTS AND TRANSOMS SHALL BE OF AMIN. INSULATED GLASS CONFORMING TO TABLE 402.1.1 OF THE IECC OR AN APPROVED ALTERNATIVE.

ELEVATION NOTES

1. CONTRACTOR NOTE: ALL TRADES MUST CONFORM TO CURRENT EXISTING CODES APPLYING TO THIS PROJECT. CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE EXECUTING ANY WORK. REPORT ANY DISCREPANCIES AT ONCE. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
2. ALL BEDROOMS SHALL HAVE AT LEAST ONE "EGRESS WINDOW" WHICH HAS A NET CLEAR OPENING OF 5.7 SF AND A MINIMUM WIDTH OF 20".
3. UNIT GLASS AND/OR MULTIPLE UNIT GLASS SHALL BE INSULATED TEMPERED SAFETY GLASS PER ANSI'S SPECS.
4. CONTRACTOR SHALL SUBMIT VERIFICATION THAT ALL GLAZING HAS A MAXIMUM U-FACTOR OF 0.35. CONTRACTOR TO SUBMIT CUT SHEETS ON WINDOWS TO THE BUILDING DEPARTMENT.
5. PROVIDE SPLASH BLOCKS AT ALL DOWNSPOUTS.
6. WRAP EAVE RETURNS WITH RAIN GUTTER AND FLASH AS SHOWN.
7. FIREPLACE FLUES TO BE MIN. (2'-0") ABOVE ANY ROOF SURFACE WITHIN MIN. HORIZONTAL DISTANCE OF (10'-0").
8. WINDOW DESIGNATIONS INDICATES "PELLA" MANUFACTURER CLAD WINDOWS. COORDINATE WINDOW & DOOR WFR. WITH OWNER FOR EXACT SIZES & TYPES.
9. ALL SOLDIER AND ROWLOCK BRICK COURSE SHALL PROJECT 3/4" FROM FACE OF WALL UNLESS OTHERWISE NOTED.

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DEVELOPMENT DEPARTMENT

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WOLSON
ARCHITECTS
INC.

ROOF PLAN
AND FRONT
ELEVATION

APP'D: MKO

CHECKED: MKO

DRAWN: JK, MES

DATE: 12/17/13

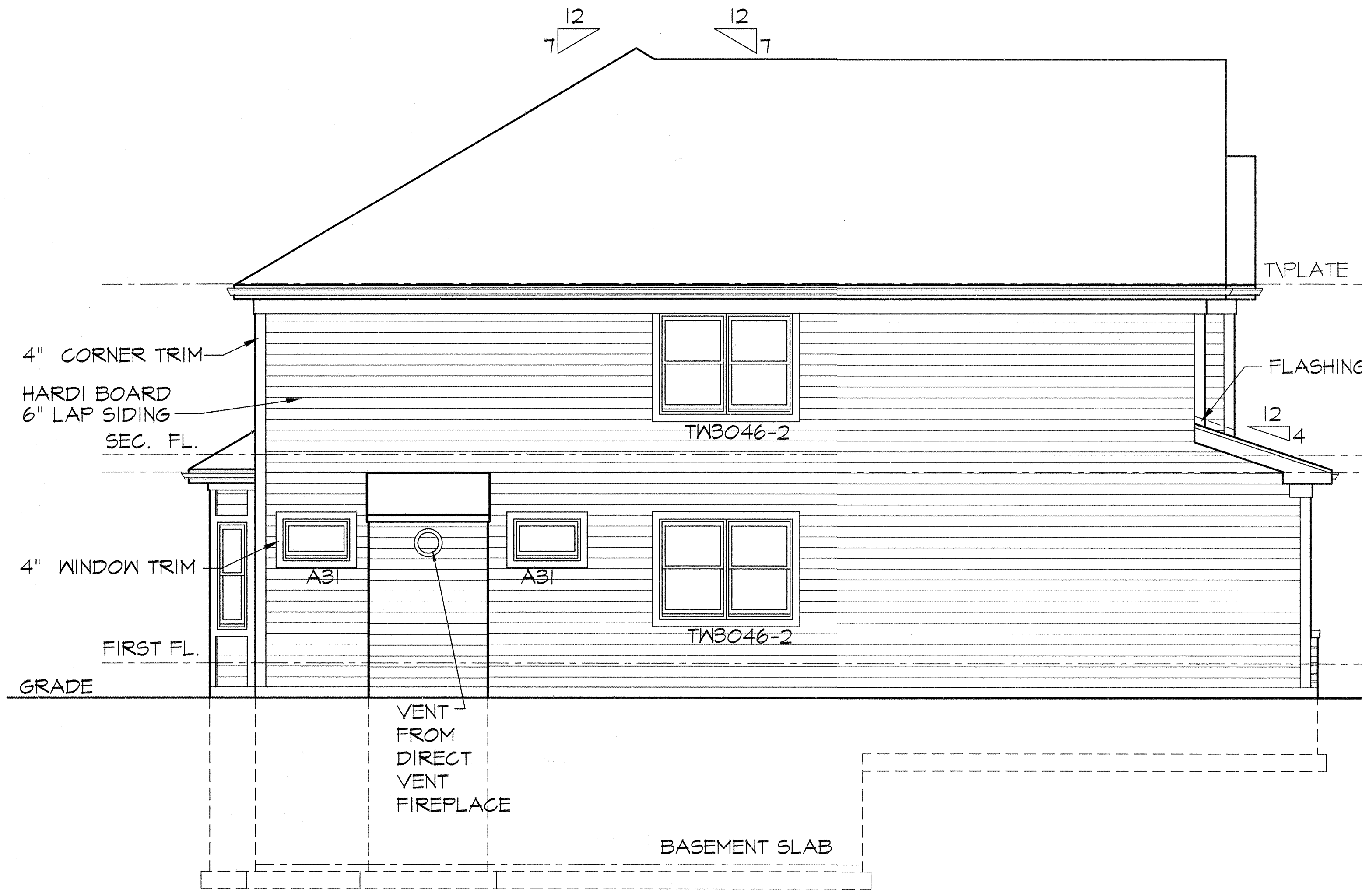
PROJ NO: 313148

PREV NO: (313006)

SHEET NUMBER

A-1

OF 13



LEFT ELEVATION

1/4" = 1'-0"

SAFETY GLASS REQUIREMENTS

THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING:

1. GLAZING IN INGRESS AND MEANS OF EGRESS DOORS EXCEPT JALOUSIES.
2. GLAZING IN THE FIXED AND SLIDING PANELS OF SLIDING(PATIO) DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS.
3. GLAZING IN STORM DOORS.
4. GLAZING IN ALL UNFRAMED DOORS.
5. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60"(1524MM) ABOVE THE DRAIN INLET.
6. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24"(610MM) ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60"(1524MM) ABOVE THE FLOOR OF WALKING SURFACE.

7. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 5 AND 6 ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

- 1.1 EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
- 1.2 BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
- 1.3 TOP EDGE GREATER THEN 36" ABOVE THE FLOOR.
- 1.4 ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY TO THE GLAZING.
8. ALL GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT ABOVE A WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILLS PANELS.

9. GLAZING IN WALLS AND FENCES ARE ENCLOSING INDOORS AND OUTDOORS SWIMMING POOLS AND WHERE THE BOTTOM EDGE OF THE POOL SIDE IS (1)LESS THAN 60" ABOVE A WALKING SURFACE AND (2)WITHIN 36" HORIZONTALLY OF A WALKING SURFACE. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.

FOR EXCEPTIONS SEE 45(C)ABO SEC. 308.4

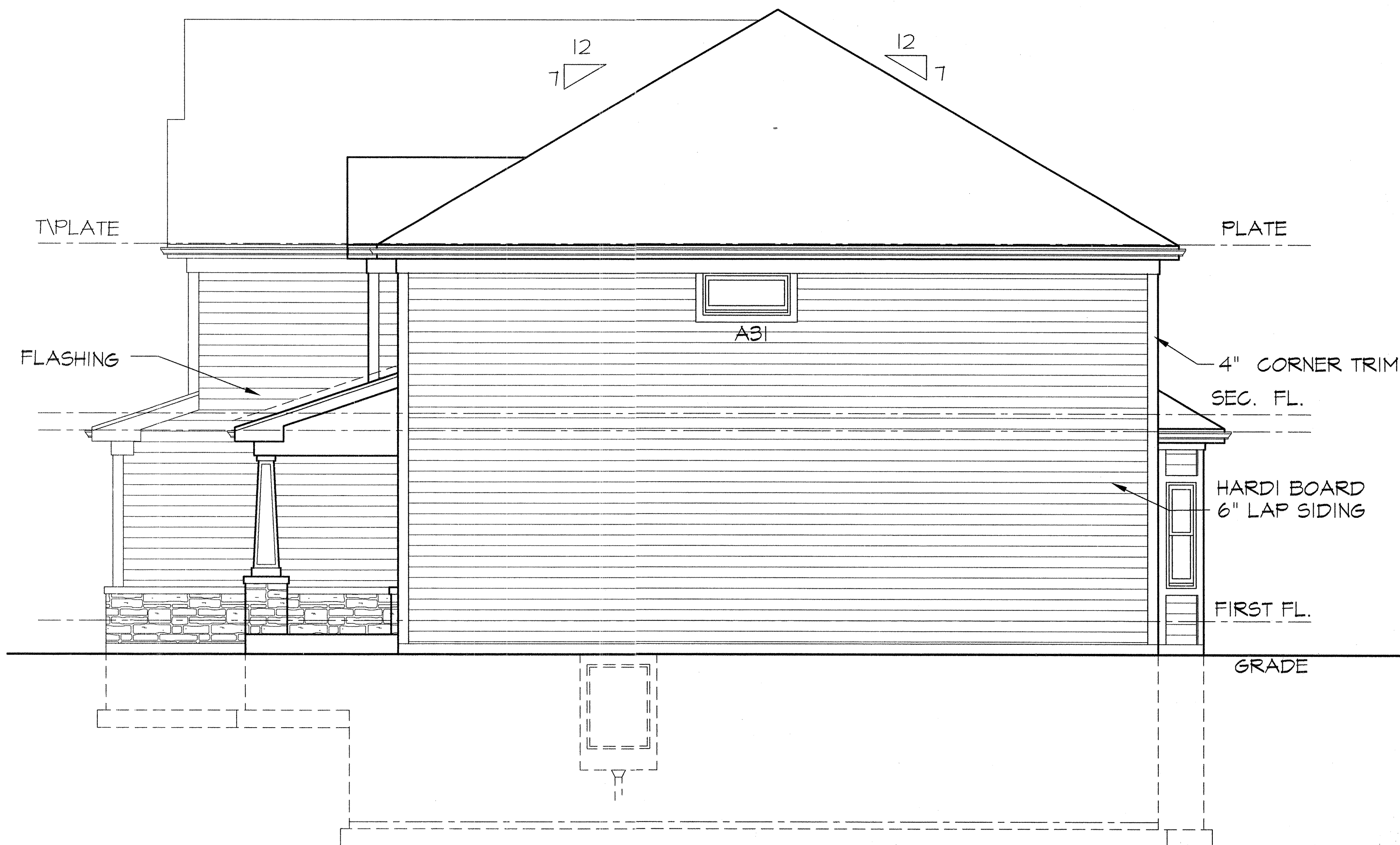
ACTUAL INSULATION PROVIDED BY COMPONENT IN THIS PROJECT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE AND DEPTH	CRACK SPACE WALL R-VALUE
5 AND MARINE 4	.32 min.	.55 MIN	NR	.44	20 OR 15-15	13/17	30	15/19	4'-0" BELOW GRADE	15/19

2012 IECC COMPLIANCE REQUIREMENTS

1. A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON THE ELECTRICAL DISTRIBUTION PANEL BY THE BUILDER OR ARCHITECT. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN THE CEILING/ROOF, WALLS, FOUNDATION(SLAB, BASEMENT WALL, CRAWL SPACE WALL AND/OR FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES(U-FACTORS FOR FENESTRATION AND THE SHGC OF FENESTRATION)AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING, WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATE SHALL LIST THE VALUE COVERING THE LARGEST AREA.
2. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO CREATE AN AIR BARRIER TO LIMIT AIR INFILTRATION. THE BUILDING MUST BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 2 INCHES(50 PASCALS) AND DONE BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL(IF USING A BUILDING WRAP THAT CAN QUALIFY AS AN AIR BARRIER TAPE ALL SEAMS).
3. PROVIDE GASKET ON DOORS FOR WOOD BURNING FIREPLACES(EXCEPT LISTED AND APPROVED PRE-FAB FIREPLACES).
4. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE (G-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2 CFM. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.
5. A MINIMUM OF 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS EXCEPT LOW VOLTAGE LIGHTING.
6. BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLenums.
7. AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM.
8. ATTIC ACCESS PANELS MUST BE INSULATED EQUIVALENT TO THE SURROUNDING SURFACE AND WEATHER STRIPPED. MUST HAVE DRYWALL ON THE UNDERSIDE.
9. MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO A MINIMUM R-3.
10. ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO A MIN. OF R-2 WITH A READILY ACCESSIBLE MANUAL SWITCH THAT CAN TURN OFF THE HOT WATER CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE.

11. INSULATE THE FOLLOWING PIPES WITH R-3 INSULATION.
 - a. PIPING LARGER THAN 3/4" NOMINAL DIAMETER
 - b. PIPING SERVING MORE THAN ONE DWELLING UNIT
 - c. PIPING FROM THE WATER HEATER TO KITCHEN OUTLETS
 - d. PIPING LOCATED OUTSIDE THE CONDITIONED SPACE
 - e. PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD
 - f. PIPING LOCATED UNDER A FLOOR SLAB
 - g. BURIED PIPING
12. OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT IN USE.
13. SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-3. ALL OTHER DUCTS SHALL BE INSULATED TO A MINIMUM OF R-6. ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. AIR HANDLERS SHALL HAVE AN AIR LEAKAGE OF NO MORE THAN 2% OF THE DESIGN AIR FLOW RATE WHEN TESTED IN ACCORDANCE WITH ASHRAE 155.
14. HEATING AND COOLING EQUIPMENT MUST BE SIZED PER ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH MANUAL J FOR OTHER APPROVED HEATING AND COOLING CALCULATION METHODS(SUBMIT CALCS).
15. DUCT TIGHTNESS. IF DUCTS ARE OUTSIDE THE THERMAL ENVELOPE THE DUCTS MUST BE DUCT BLASTED TO CHECK FOR TOTAL LEAKAGE OF LESS THAN OR EQUAL TO 4 CFM PER 100 SQUARE FEET OF CONDITIONED FLOOR AREA WHEN TESTED ACROSS THE ENTIRE SYSTEM.
16. MAINTENANCE INSTRUCTIONS SHALL BE FURNISHED FOR EQUIPMENT AND SYSTEMS THAT REQUIRE PREVENTATIVE MAINTENANCE.
17. BUILDINGS OF UNUSUALLY TIGHT CONSTRUCTION SHALL HAVE ALL COMBUSTION AIR TAKEN FROM THE OUTSIDE.
18. ALL DOORS AND WINDOWS WILL HAVE A U-VALUE OF .32 OR LESS AND A SKYLIGHT U-VALUE OF .55 OR LESS(LEAVE STICKERS ON WINDOWS UNTIL AFTER INSULATION INSPECTION).
19. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR FROM THE EAVE INTO THE ATTIC. FOR AIR IMPERMEABLE INSULATIONS IN VENTED ATTICS A Baffle MUST BE INSTALLED BETWEEN EACH RAFTER ALONG THE SIDE AND OVER THE INSULATION(ANY SOLID MATERIAL IS ACCEPTABLE).
20. THE THICKNESS OF BLOWN-IN OR SPRAYED ROOF-CEILING INSULATION(FIBERGLASS OR CELLULOSE)SHALL BE WRITTEN IN INCHES ON MARKERS THAT ARE INSTALLED AT LEAST ONE FOR EVERY 300 S.F. THROUGHOUT THE ATTIC SPACE.
21. NEW WOOD BURNING FIREPLACES SHALL HAVE TIGHT FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR.
22. THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC SECTION R308.4 AND DESIGNED TO MEET 3 OR INTERNATIONAL MECHANICAL CODE, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION(HVAC CONTRACTOR TO SUBMIT METHOD OF COMPLIANCE).



RIGHT ELEVATION

1/4" = 1'-0"

REVISIONS

CUSTOM HOME FOR
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923 N. KASPAR AVE.
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WIKOLSON ARCHITECTS INC.
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E-mail wkolsonarc@aol.com

ELEVATIONS

APP'D: WKO

CHECKED: WKO

DRAWN: JK, MES

DATE: 12/17/13

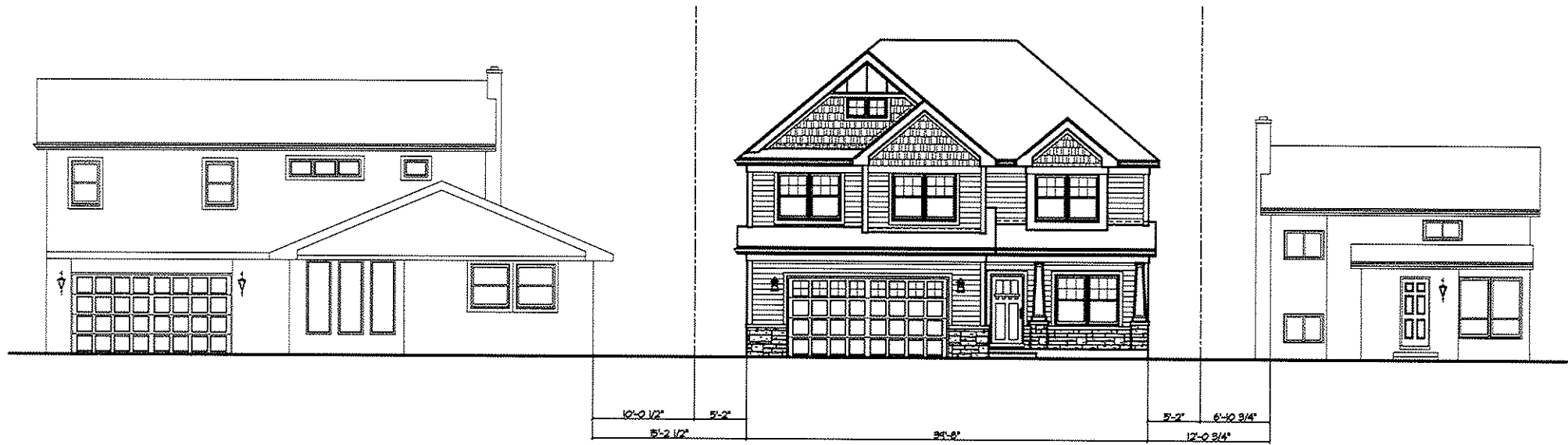
PROJ NO: 313148

PREV NO: (313006)

SHEET NUMBER

A-2

OF 13



PROPOSED CONTEXT ELEVATION

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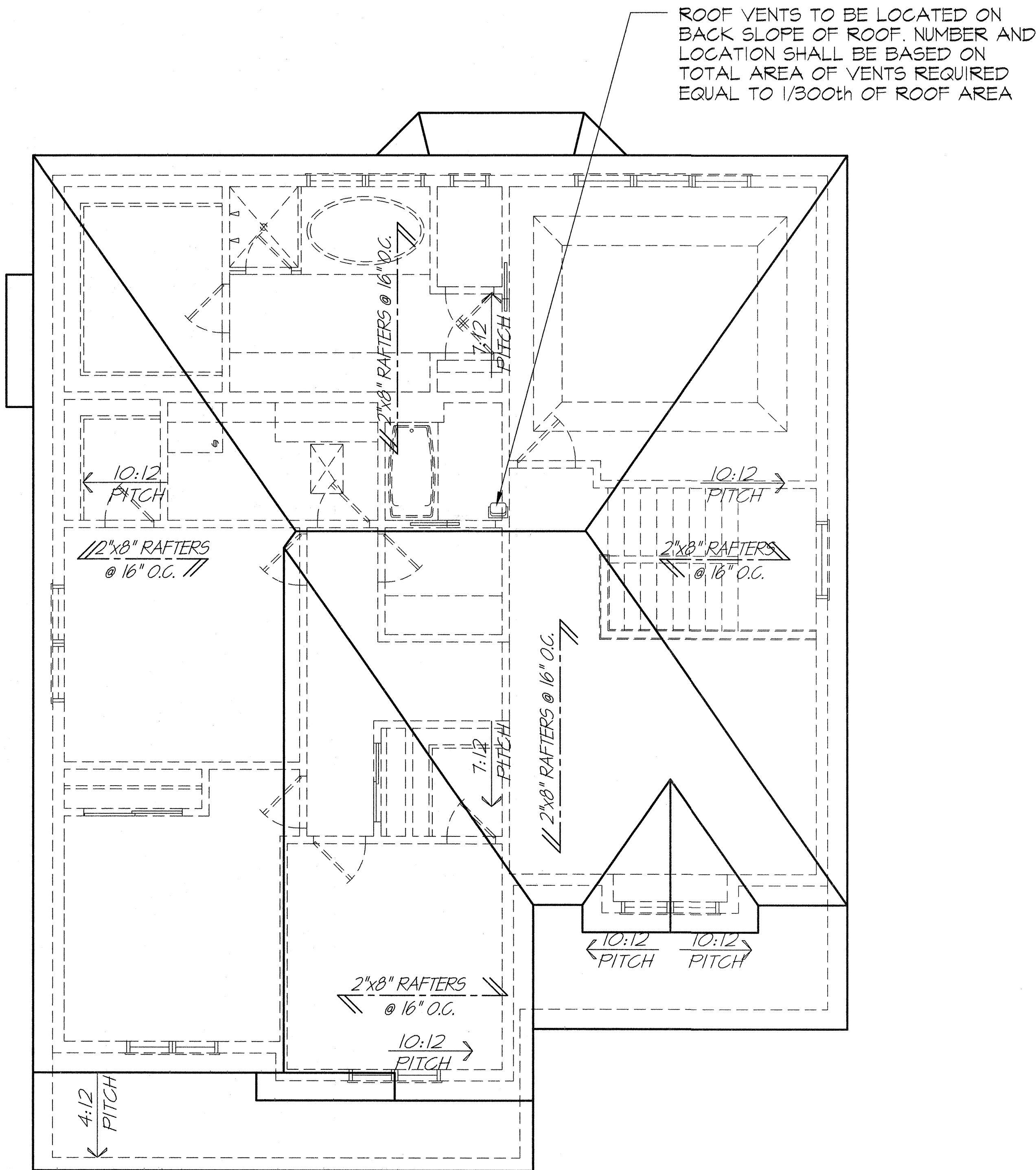
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

City of Portland, Oregon

CADD REF : 313198 -3973

ROOF PLAN

1/4" = 1'-0"



ROOF PLAN NOTES

GROUND SNOW LOAD: 30 PSF
DEAD LOAD: 10 PSF
WIND SPEED: 90 MPH

- USE CANADIAN SPRUCE-PINE-FIR NO. 2 FOR ROOF RAFTERS THRU 2"x10". 2"x12" ROOF RAFTERS SHALL BE CANADIAN HEM-FIR NO. 2 PER U.S. SPAN BOOK FOR CANADIAN LUMBER.
SPAN TABLES SFF FOR SOUTHERN LUMBER (NORTHERN LUMBER GREATER SPANS ARE ALLOWED)
2"x6" @ 12" O.C. = 13'-4" 2"x8" @ 12" O.C. = 17'-5" 2"x10" @ 12" O.C. = 21'-4"
2"x6" @ 16" O.C. = 11'-11" 2"x8" @ 16" O.C. = 15'-1" 2"x10" @ 16" O.C. = 18'-5"
HEM-FIR
2"x12" @ 12" O.C. = 24'-4"
2"x12" @ 16" O.C. = 21'-1"
- ROOF MEMBER SIZES ARE BASED ON ALLOWABLE RAFTER SPANS FOR SPRUCE-PINE-FIR (#2 NORTH) UP THRU 2"x10" RAFTERS, IF 2"x12" RAFTERS ARE USED THEN HEM-FIR #2 SHALL BE USED.
- HIP OR VALLEY RAFTERS EXCEEDING 24'-0" IN LENGTH SHALL BE 1 3/4" WIDE GANG LAM MEMBERS x RAFTER DEPTH PLUS 2" DEEP.
- ALL HIP VALLEY CRIPPLE JACKS SHALL BE INSTALLED AND SHALL BE EQUAL IN DEPTH AND SPACING TO MAIN RAFTER FRAMING INTO HIP OR VALLEY RAFTER.
- IT WILL BE ALLOWED IF FRAMING CARPENTER CHOOSES TO REDUCE SIZE OF ROOF RAFTERS BY PROVIDING INTERMEDIATE WALLS OR BEAMS TO ROOF RAFTERS, THIS REDUCING SPAN, THEN SUPPORTED BACK TO INTERIOR BEARING WALLS, ARCHITECT SHALL BE NOTIFIED OF CHANGES BEFORE FRAMING WORK STARTS.
- COLLAR TIES SHALL BE INSTALLED PER LOCAL GOVERNING BUILDING CODES.
- WHERE HIP RAFTERS FRAME PERPENDICULAR TO CEILING JOISTS PROVIDE SOLID BLOCKING AT 8'-0" O.C. BETWEEN JOISTS FOR A DISTANCE OF 10'-0" FROM EXTERIOR WALL. WHEN SPANS ON CEILING JOISTS EXCEED 16'-0" SPANS.
- PROVIDE FLASHING AT ALL WALL AND ROOF INTERSECTIONS WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS.
- RAFTERS SHALL BE FRAMED TO EACH OTHER WITH A GUSSET PLATE OR TO A MINIMUM 1-INCH NOMINAL THICKNESS RIDGE BOARD, NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. A MINIMUM 2-INCH NOMINAL THICKNESS VALLEY OR HIP RAFTER IS REQUIRED AT ALL VALLEYS AND HIPs, NOT LESS THAN THE DEPTH OF THE CUT END OF THE RAFTER, AND SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PARTITION.
- THE ENDS OF EACH RAFTER AND CEILING JOIST SHALL HAVE NOT LESS THAN 1-1/2" OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3" ON MASONRY OR CONCRETE.
- THE ENDS OF EACH RAFTER AND CEILING JOIST SHALL HAVE NOT LESS THAN 1-1/2" OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3" ON MASONRY OR CONCRETE.

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ROOF PLAN AND FRONT ELEVATION	
APP'D: WKO	
CHECKED: WKO	
DRAWN: JK, MES	
DATE: 12/1/13	
PROJ NO: 313198	
PREV NO: (313006)	
SHEET NUMBER A-1a	
OF 13	



PROPERTY TO LEFT 3



PROPERTY TO LEFT 2



PROPERTY TO LEFT 1



SUBJECT PROPERTY
923 N. KASPAR AVE.



PROPERTY TO RIGHT 1



PROPERTY TO RIGHT 2



PROPERTY TO RIGHT 3

NORTH KASPAR AVE



PROPERTY ACROSS 1



PROPERTY ACROSS 2



PROPERTY ACROSS 3

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

FILE

923 N. Kasper Arlington Heights

Material Schedule

Stone	Illinois Brick	Fonda Lac Country Squire
Roof	GAF	Weather wood 30 year
Siding	Hardie Board	Sage
Trim	LP Smart trim	Painted White
Gutters/Soffits/	ABC Building Supply	White Aluminum
Windows	Pella Pro Line	White Aluminum

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