



Agenda
Village of Arlington Heights
Zoning Board of Appeals
Virtual Hearing

June 8, 2020
7:00 PM

I. CALL TO ORDER

- A. Pursuant to orders issued in response to the COVID-19 pandemic, this hearing is closed to in-person, public attendance. The hearing is being held via virtual Webinar, which permits the public to fully participate in the virtual hearing via the Webinar or their phones.

To participate via the Webinar, this link will take you to instructions for joining the hearing: <https://bit.ly/2XsRLI3>

Individuals who wish to comment or ask a question on an item on the Agenda may either participate via the Webinar, their phone, or send an email to the Village at dmach@vah.com no later than 3:00 p.m. on June 8, 2020, to be shared at the hearing. Please limit emails to 200 words or less.

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. 215 S. Burton Pl - 5/11/20
B. 6 E. Hawthorne St. - 5/11/20

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. 2 N. Ridge Ave. - ZBA#20-007
B. 1200 E. Woodford Pl. - ZBA#20-009
C. 1202 W. Marion Rd. - ZBA#20-011
D. 1722 N. Dover Ln. - ZBA#20-013

VII. OTHER BUSINESS

VIIIADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Zoning Board of Appeals 6/8/2020

Item: 215 S Burton Pl - 5/11/20

Department: Planning & Community Development Department

ATTACHMENTS:

Description	Type
215 S Burton Pl - 5/11/20 Minutes	Minutes
215 S Burton Pl - 5/11/20 Findings	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 215 SOUTH BURTON PLACE - ZBA #20-005

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Virtual Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, Arlington Heights, Illinois on the
11th day of May, 2020 at the hour of 7:00 p.m.

MEMBERS PRESENT:

PETER SIAVELIS, Chairman
JOSEPH GEISEL
JEFFREY LANAGHAN
BENJAMIN JAFFE
THOMAS DRAKE
JOSEPH SELBKA
DAVID DIVITO

ALSO PRESENT:

DEREK MACH, Development Planner

CHAIRMAN SIAVELIS: Okay, so let's call the meeting to order. This is Monday, May 11th and this is the meeting of the Village of Arlington Heights Zoning Board of Appeals. My name is Peter Siavelis. I am the new Chairman of the Board. Big shoes to fill of those of David Divito who has relinquished the Chairmanship after three glorious and lustrous years of misstate pre-decision making.

I want to welcome everyone to today's meeting. There are two Petitioners today and by the way, Petitioners, this is our first meeting in the virtual space; so, please be patience with me and be kind to us if we're talking over each other. And let's all try and make the effort not to talk over each other. And I know it's difficult, but I think a lot of people are evolving the way they present and do things on these virtual meetings.

After the Petitioner presents and as part of comments from the audience, public attendees will have an opportunity to speak. If there are members from the public who wishes to speak, please select the, raise your hand icon, on the display and wait for me or Derek to call on you. One at a time, please.

And by the way, this meeting is transcribed by a recorder so it's important that we don't speak over each other. We don't interrupt each other; that way the reporter has an accurate transcript and he's not guessing after the fact when we're speaking over each other, interrupting each other.

Also, for participants who are not speaking, please mute your microphone when you're not talking to avoid background noise, and dog barking, your kids, whatever. During the meeting, if the host, which is Derek, Staff Liaison, losses connection, please remain in the meeting room until he reconnects and rejoins and we'll proceed from there. If you, a Participant, losses connection you can rejoin using the original meeting link.

So, with that in mind with those instructions and guidelines of mine, let's proceed to the roll call, Derek?

MR. MACH: Chairman Siavelis.

CHAIRMAN SIAVELIS: Here.

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Here.

MR. MACH: Mr. Geisel.

COMMISSIONER GEISEL: Here.

MR. MACH: Mr. Jaffe.

COMMISSIONER JAFFE: Here.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Here.

MR. MACH: Mr. Selbka.

COMMISSIONER SELBKA: Here.

MR. MACH: Mr. DIVITO.

COMMISSIONER DIVITO: Here.

CHAIRMAN SIAVELIS: All right. Okay, the next item is the Pledge of Allegiance. Derek, are we going to display the flag?

MR. MACH: Yes.

CHAIRMAN SIAVELIS: Okay, then do you want to start us off on that?

MR. MACH: Sure.

(Pledge of Allegiance recited.)

CHAIRMAN SIAVELIS: That wasn't nearly as cumbersome as I anticipated.

Okay, next up is the approval of the minutes from the prior meeting.

Derek, can you flip back to the agenda so that people can see it?

So, at our prior meeting back in March, March 9th; there was no April meeting, we had two items there. Has everybody on the Board had a chance to review the minutes?

(Chorus of yeses.)

CHAIRMAN SIAVELIS: Great. Are there any comments or edits for the record on the minutes?

(No response.)

CHAIRMAN SIAVELIS: Sounds like no there. That's good. So, I move then to approve the minutes. And Derek, we do this via voice vote, right?

MR. MACH: We do. And Chairman, one of the members of the ZBA should move too.

CHAIRMAN SIAVELIS: Okay.

COMMISSIONER LANAGHAN: I move to accept the meeting minutes as written.

COMMISSIONER DRAKE: Second.

CHAIRMAN SIAVELIS: Okay. All in favor?

(Chorus of ayes.)

CHAIRMAN SIAVELIS: Right. Okay, so now the minutes have been approved, there are a couple of other procedures that are relevant for today's Petitioners and Derek and I kind of put together a list. There's a couple points that I'll read into the record and then Derek will handle a couple points as well.

So, it sounds like or it seems like we have a full Board today, but if less than six members are present; there is an option for the Petitioners to continue the meeting. It takes four affirmative votes to approve a variance regardless of the number Board members in attendance. And if a petition is denied, a Petitioner cannot re-apply for a whole year. So, with that in mind, a Petitioner has the opportunity given what they see as far as how many Board members are present to essentially not present and withdraw his or her petition, but again, if you proceed and you don't get the four votes for approval you're going to have to wait a full year to re-apply.

Okay, so with that in mind, Derek, I believe the Staff's presentation portion is next.

MR. MACH: Sure. The next petition item is 215 South Burton Place. The Petitioner is proposing to construct a one-story addition in the rear of the home. The subject property is zoned R-3. The Petitioner is proposing to align the addition with the existing structure that is encroaching into the required side-yard setback. Therefore, the Petitioner is requesting a 0.6 foot variation from Chapter 28, Section 5.1-3.2. To allow an addition with a side-yard setback as 7.3 feet instead of the required 7.9 feet.

Thank you, Chairman.

CHAIRMAN SIAVELIS: Okay, this is the point in time where we make sure

the Petitioners understand that there's four elements that they need to establish in order for the Board to be able to vote on it and grant a variance. And these elements are the responsibility of the Petitioner, not the Board to make. Okay, so make sure the Petitioner, when you're speaking to the Board and presenting, you hit each of these four elements to satisfy each of these four elements.

Element one, is that the proposed use will not alter the essential character of the locality and will be capability with existing uses and zoning of nearby properties. Element two, is that the plight of the owner is due to unique circumstances which may include that the length of time the subject property has been vacant as zoned.

Number three, that the proposed variation is in commonly of the spirit and intent of this chapter. And Number four, that the variance requested is the minimal variance necessary to allow a reasonable use of the property. A variation shall be permitted only if the evidence in the judgment of the Board of Appeals sustains each of the four conditions in the ordinance.

Okay, so now is the point in time where the Petitioner for 215 South Burton proceeds with his or her presentation.

MRS. O'CONNOR: Hi, I'm Maggie O'Connor.

MR. O'CONNOR: I'm Joe O'Connor.

MRS. O'CONNOR: And we are the residents of 215 South Burton. I believe that the documents that you have include are letters of support from a variety of neighbors that live on our street. I hope that you have those documents. And then, also the request for the .6 variation on the north end of the house. This is to keep in-line with the existing structure that is there, so the addition will stay in-line with the existing home. We have support of our neighbors, especially the one on the north end of the house. The character of the neighbor would be the same as we're staying in-line with the current home that exists.

CHAIRMAN SIAVELIS: Okay, so you have existing non-conforming structure, correct?

MR. O'CONNOR: Right.

CHAIRMAN SIAVELIS: You are aligning, either will be the proposed variation basically aligns the new structure with the existing structure, correct?

MRS. O'CONNOR: Correct.

MR. O'CONNOR: Correct.

CHAIRMAN SIAVELIS: Okay. Derek, can you flip on the screen just – yes, you can go to the site plan if you want.

MR. MACH: This is the site plan.

CHAIRMAN SIAVELIS: Can you zoom on that?

COMMISSIONER DIVITO: If you hover back over the view that might help.

MR. MACH: It's not.

CHAIRMAN SIAVELIS: So, if he exits full screen and clicks shift and then uses his wheel on his mouse, will that increase the size there?

COMMISSIONER DIVITO: Yes, if you get out of full screen you'll be able to then just use the magnifier glass and expand it.

CHAIRMAN SIAVELIS: There you go.

MR. MACH: Thank you, David.

CHAIRMAN SIAVELIS: So, I just have a quick question to ask the Petitioner. It's the variance that's needed on the north side of the house, correct? I'm kind of basically where Detail E is shown as you go east?

MR. O'CONNOR: Correct.

CHAIRMAN SIAVELIS: Okay, and that's the alignment that we're talking about of the new and old structures, correct?

MRS. O'CONNOR: Correct.

CHAIRMAN SIAVELIS: Okay. Any other questions from the Board members?

COMMISSIONER DIVITO: You're tearing down the existing patio? I'm assuming that you're just going to extend the new patio using that same brick in a similar fashion?

MRS. O'CONNOR: Yes. We haven't -- we don't have plans for the patio as of right now, but yeah, that would be the plan in the future.

COMMISSIONER LANAGHAN: Derek, I think this question is more for you. The expansion, they don't have any issues with FAR? I'm eyeballing this and I'm assuming the FAR is fine.

MR. MACH: That is correct. They are below the allowable FAR.

COMMISSIONER LANAGHAN: Thank you.

CHAIRMAN SIAVELIS: Any other questions from the Board?

COMMISSIONER JAFFE: No.

COMMISSIONER GEISEL: No. It's very straight-forward.

CHAIRMAN SIAVELIS: Yes, I agree. Very straight-forward. Very minimum.

Okay, let's see if there's anybody in the audience who wants to raise a point or a comment. If yes, this would be the time to do that.

(No response.)

CHAIRMAN SIAVELIS: Okay, hearing nothing then we can close down the Petitioner's side of the presentation and then open up deliberations from the Board members.

So, like the other members said, I think this is a very straight-forward, very nominal. Existing non-conforming structure you're trying to align with. I think it's reasonable. I would support it.

COMMISSIONER DRAKE: I would as well. It's minimal and it is a non-conforming structure.

COMMISSIONER JAFFE: Otherwise here, they have support of their neighbors.

CHAIRMAN SIAVELIS: Yes, exactly. Okay, does anybody want to make a motion?

COMMISSIONER DRAKE: I'd move approval of the petition.

COMMISSIONER SELBKA: Second.

CHAIRMAN SIAVELIS: All right, Derek, do you want to take roll on that now?

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Geisel.
COMMISSIONER GEISEL: Yes.
MR. MACH: Mr. Jaffe.
COMMISSIONER JAFFE: Yes.
MR. MACH: Mr. Lanaghan.
COMMISSIONER LANAGHAN: Yes.
MR. MACH: Mr. Selbka.
COMMISSIONER SELBKA: Yes.
MR. MACH: Mr. Divito.
COMMISSIONER DIVITO: Yes.
MR. MACH: Chairman Siavelis.
CHAIRMAN SIAVELIS: Yes.

to proceed. All right, congratulations. Your variance is passed and you are good

MR. O'CONNOR: Thank you.
MRS. O'CONNOR: Thank you so much. I appreciate your time.
MR. O'CONNOR: Thanks. Have a good night.
CHAIRMAN SIAVELIS: Thank you. You too.

(Whereupon, the public hearing on the above-mentioned
petition was adjourned at 7:14 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS May 11, 2020

PETITIONER: O'Connor Residence
ADDRESS OF PROPERTY: 215 S. Burton Pl.
VARIATION: 5.1-3.2

A 0.6' variation to allow an addition with a side yard setback of 7.3' instead of the required 7.9'.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they are proposing an addition in the rear of the home. The petitioner testified that they are seeking a 0.6 foot variation on the north side of the house. The petitioner explained that the variance is necessary in order to keep the addition in-line with the existing structure.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Drake and seconded by Mr. Selbka. Thereafter, the Board voted 7-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 7-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Peter Siavelis, Chairman
Zoning Board of Appeals
Village of Arlington Heights



Zoning Board of Appeals 6/8/2020

Item: 6 E. Hawthorne St. - 5/11/20

Department: Planning and Community Development Department

ATTACHMENTS:

Description	Type
6 E Hawthorne St - 5/11/20 Minutes	Minutes
6 E Hawthorne St - 5/11/20 Findings	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 6 EAST HAWTHORNE STREET - ZBA #20-006

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Virtual Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, Arlington Heights, Illinois on the
11th day of May, 2020 at the hour of 7:15 p.m.

MEMBERS PRESENT:

PETER SIAVELIS, Chairman
JOSEPH GEISEL
JEFFREY LANAGHAN
BENJAMIN JAFFE
THOMAS DRAKE
JOSEPH SELBKA
DAVID DIVITO

ALSO PRESENT:

DEREK MACH, Development Planner

CHAIRMAN SIAVELIS: All right, the next item while Derek calls it up would be Petitioner No. 2. And I believe this is Keith, who is the Petitioner. I'll give a second, Derek. Sorry.

MR. MACH: Thank you, Peter.

CHAIRMAN SIAVELIS: So, this is 6 East Hawthorne Street.

MR. MACH: Yes. Chairman, the Petitioner is proposing to construct a one-story addition to the existing home. The subject property is zoned R-3. The proposed addition is located at the southeast corner of the structure and it's encroaching into the required exterior side yard set-back. The Petitioner is requesting a 4.1 foot variation from Chapter 28, Section 5.1-3.2, to allow an addition with an exterior side yard set-back of 32.9 feet instead of the required 37 feet, and an additional 2.7 feet for the eaves.

CHAIRMAN SIAVELIS: Okay, with that in mind, Petitioner Keith Ginnodo, this is the spot where you can step in and begin your presentation.

MR. GINNODO: Very good. Thank you very much, and kudos to you guys for taking on a new format. Hopefully it's not the way we go forward, but I'm really glad there's a way to do this. So, thank you all for doing this.

The – this house is similar to the last and that it is also a non-conforming existing condition. If you look at the boundary on the top plan there that's showing, I mean, there's almost no portion of the house that isn't in a bad spot on this lot from the standpoint of stricken here to the set-backs. The addition in the lower right-hand corner the building, you can see on the bottom, this just is basically extending the line of the front of the house. The front door faces south and this is just basically extending a line to the east and kind of squaring off the roof and making room for a nice kitchen that's going in there.

The four points are about the character. When you take a look at the elevations you'll see that we've kept very close to the original design of the house; so, which is kind of a common brick with a hip roof. We just kind of extended the same vocabulary. So, the character has been maintained. The circumstance that makes it unique is it's on an alley on a corner lot with a house adjacent that's set in a place that makes it difficult for us to, you know, do anything other than what we're doing and even we have to do is a variation request.

In harmony with the character, yeah, again the design, you know, most people won't even realize that we've made an addition to the house when it's all done. And as far as minimum to achieve what's reasonable, yeah, this is the minimum. The next step would be to go second floor and there's no intention for that. It's just a one-story extension of the existing everything.

CHAIRMAN SIAVELIS: Okay, makes sense.

Any questions from the Board?

COMMISSIONER LANAGHAN: Have you approached any of the neighbors about the proposed addition?

MR. GINNODO: I've heard from Michael Parra, the owners that they've had plenty of sidewalk conversations. It's an interesting way for them to meet the neighbors. I'm sorry I'm in the shadow here.

And I haven't heard of anything negative about those encounters.

CHAIRMAN SIAVELIS: Any other questions from the Board?

(No response.)

CHAIRMAN SIAVELIS: All right, let's open it up and see if there are any comments from the audience. I don't think anybody else has joined.

(No response.)

CHAIRMAN SIAVELIS: All right, so no comments from the audience. All right, at this point in time let's close it down then for discussion amongst the Board members.

Jeff, I don't know if you want to start on this since you raised a question?

COMMISSIONER LANAGHAN: Yes, I'd be happy too. You know, I certainly understand kind of the building is already as they've mentioned pretty well over most of the lot line. It's an existing non-conforming; no question. This is about as unobtrusive as you can make an addition in my opinion. So, I have no objections with what they're proposing here.

CHAIRMAN SIAVELIS: Yes, well said. I agree with you on all those points. And there's no neighbor opposition in the record whatsoever that we're aware of.

Anyone else on the Board?

COMMISSIONER GEISEL: I think it looks good. It actually balances out the – that south elevation and would be a very nominal addition at all.

CHAIRMAN SIAVELIS: Agreed.

All right, anybody else?

(No response.)

CHAIRMAN SIAVELIS: Okay, is there a motion?

COMMISSIONER DIVITO: Motion to approve.

COMMISSIONER SELBKA: Second.

CHAIRMAN SIAVELIS: Okay, great. Derek, can you take roll call?

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Geisel.

COMMISSIONER GEISEL: Yes.

MR. MACH: Mr. Jaffe.

COMMISSIONER JAFFE: Yes.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. MACH: Mr. Divito.

COMMISSIONER DIVITO: Yes.

MR. MACH: Chairman Siavelis.

CHAIRMAN SIAVELIS: Yes.

MR. GINNODO: Thank you very much.

CHAIRMAN SIAVELIS: All right, thank you, Keith.

MR. GINNODO: Thanks a lot. Take care guys.

CHAIRMAN SIAVELIS: Thank you.

Okay, before we adjourn, Derek, is there any other housekeeping

matters we need to address? Anything of that nature?

MR. MACH: There are no items from Staff.

CHAIRMAN SIAVELIS: All right, so adjournment. Anybody move to adjourn?

COMMISSIONER DIVITO: I'll move.

COMMISSIONER DRAKE: Second.

CHAIRMAN SIAVELIS: This is a voice vote, right Derek? I forget.

MR. MACH: Chairman, all in favor is a voice.

CHAIRMAN SIAVELIS: That's right. All in favor?
(Chorus of ayes.)

CHAIRMAN SIAVELIS: All right. All ayes no nays. Thank you very much everyone. Not as painful as I anticipated, so thank you for your time. We appreciate it, and we'll be talking soon, right? In about 10 days I think we have another one, right Derek?

MR. MACH: Yes, the next ZBA meeting is May 21st.

CHAIRMAN SIAVELIS: Okay, great. Okay, thank you everyone. Stay healthy, and same goes to your family and we'll be talking soon.
(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:23 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS May 11, 2020

PETITIONER: Para Residence
ADDRESS OF PROPERTY: 6 E. Hawthorne St.
VARIATION: 5.1-3.2

A 4.1' variation to allow an addition with an exterior side yard setback of 32.9' instead of the required 37.0' and an additional 2.7' for the eaves.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that the existing home has a non-conforming footprint. The petitioner further explained that they are proposing an addition that is in-line with the existing non-conforming structure and is encroaching 4.1 feet into the required exterior side yard setback. The petitioner testified that the addition is in harmony with the character of the existing home.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Divito and seconded by Mr. Selbka. Thereafter, the Board voted 7-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 7-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Peter Siavelis, Chairman
Zoning Board of Appeals
Village of Arlington Heights



**Zoning Board of Appeals
6/8/2020**

Item: 2 N. Ridge Ave. - ZBA#20-007

Department: Planning & Community Development

REQUEST

A 10.7 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow a new home with a rear yard setback of 19.3 feet instead of the required 30.0 and an additional 2.0 feet for the eave.

ATTACHMENTS:

Description

Supporting Documents

Type

Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: June 8, 2020
Date Prepared: June 1, 2020
Project Title: Pigott Residence
Address: 2 N. Ridge Ave.

Background Information

Petition Number: ZBA #20-007
Petitioner: Kevin Davis
Address: 530 S. Arthur Ave.
Arlington Heights IL 60005

Existing Zoning: R-3 Single-Family Residential District

Requested Action/Background Information

The petitioner is proposing to build a new single-story residence with an attached three-car garage on an existing vacant lot. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 9,901 square feet and the proposed residence will have approximately 2,465 square feet.

This existing vacant lot was created as part of a three lot subdivision that was approved in 2003 via Subdivision Ordinance 03-012. The other two lots to the north have already been developed with new two-story homes. Per the 2003 subdivision ordinance, the front elevations for all three new houses are required to face Ridge Avenue, and for this lot, the garage is required to be accessed from Campbell Street only. The proposed design complies with both of these requirements. This project requires a zoning variation to allow a rear yard setback of 19.3 feet, where 30 feet minimum is required. Therefore, the petitioner requests the following variation:

- **A 10.7 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow a new home with a rear yard setback of 19.3 feet instead of the required 30.0 and an additional 2.0 feet for the eave.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	5/20/20	
2. List of Property Owners Within 250 feet of Subject Property	✓	5/20/20	
3. Letter that was Mailed	✓	5/20/20	
4. Photographs of Sign on Property	✓	5/20/20	

Photographs of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Pigott Residence

Project Address: 2 N Ridge Ave

ZBA #: 20-007

Date: April 13, 2020

Derek:

I have reviewed the request for a 10.7 foot variance to allow a new home with a rear yard setback of 19.3 feet where 30.0 feet is required.

ZBA# 20-007
2 N Ridge Ave- ZBA
Rev. Eng: Briget Schwab, P.E.
cc: Mike Pagones, P.E. Village Engineer

Application Date: No Date
Received by Planning:
Transmitted to Engineering: April 10, 2020
Completed: April 13, 2020

The proposed ZBA application indicates that the petitioner is seeking:

A 10.7 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow a new home with a rear yard setback of 19.3 feet instead of the required 30.0.

The Engineering Division has NO OBJECTION on the proposed variances for setback.

NOTES: The existing lot is back pitched. The public sewer shall be extended as needed to address any drainage or grading concerns.

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PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Pigott Residence

Project Address: 2 N. Ridge Avenue

ZBA #: 20-007

ZBA Hearing Date: To Be Determined

To: Mike Pagones, Village Engineer
Steven Touloumis, Director of Building and Life Safety

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: April 10, 2020

- A 10.7 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow a new home with a rear yard setback of 19.3 feet instead of the required 30.0

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THE PROPOSED DESIGN IS NICELY DONE, BUT
DESIGN COMMISSION APPROVAL IS REQ'D PER THE
SUBDIVISION ORDINANCE. DC MEETING IS SCHEDULED
FOR MAY 12. - STEVE HAUZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than April 23, 2020.

APPROVED

**MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION
VIRTUAL MEETING
May 12, 2020**

Chair Fitzgerald called the meeting to order at 6:30 p.m.

Members Present: John Fitzgerald, Chair
Kirsten Kingsley
Jonathan Kubow
Ted Eckhardt
Scott Seyer

Members Absent: None

Also Present: John Anstadt, JMB Architects for 735 N. Dunton Ave.
Rich Bondarowicz, SMART Construction Group for 735 N. Dunton Ave.
Kevin Davis, Fairfield Homes for 2 N. Ridge Ave.
Dan & Cynthia Pigott, Owners of 2 N. Ridge Ave.
Steve Hautzinger, Staff Liaison

REVIEW OF MEETING MINUTES FOR MARCH 10, 2020

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER KUBOW, TO APPROVE THE MEETING MINUTES OF MARCH 10, 2020. ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 2. SINGLE-FAMILY NEW REVIEW**DC#20-014 – 2 N. Ridge Ave.**

Kevin Davis, representing *Fairfield Homes*, and **Dan & Cynthia Pigott**, the homeowners, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to build a new single-story residence with an attached three-car attached garage on an existing vacant lot. This project requires approval by the Zoning Board of Appeals for a zoning variation to allow a rear yard setback of 19 feet, where 30 feet minimum is required, otherwise the project does comply with all other R-3 zoning requirements.

This existing vacant lot was created as part of a three lot subdivision that was approved in 2003 via Subdivision Ordinance 03-012. The other two lots to the north have already been developed with new two-story homes. The immediate surrounding context is an eclectic mix of different home styles, scales and ages. The proposed design is a traditional style with materials and detailing that complement the two newer homes to the north, but in a single-story design. Per the 2003 subdivision ordinance, the front elevations for all three new houses are required to face Ridge Avenue, and for this lot, the garage is required to be accessed from Campbell Street only. The proposed design complies with both of these requirements.

Overall, Staff feels that the proposed design is nicely done and will fit in well in this location. However, the following revisions are recommended to enhance the design:

1. It is recommended that the stone base be returned down the side of the garage to the sunroom wall.
2. It is recommended that the stone base be returned down the north wall to the end of the Master Bedroom.
3. It is recommended that the corner trim boards stop at the top of the stone base.
4. It is recommended that windows be added in the top of the garage doors to soften the appearance.

Mr. Davis said they are excited about this project because it is a ranch home, which is difficult to build due to FAR restrictions in the Village. He felt the home blends in extremely well with the other homes in the neighborhood.

Chair Fitzgerald asked if there was any public comment and there was response from the public.

PUBLIC COMMENT

Tom Lipscomb asked for clarification on the location of the sunroom that would face Campbell Street, and **Mr. Hautzinger** said the sunroom would be on the west elevation, which is the rear of the home. Mr. Lipscomb said that a lot of the water from the surrounding homes flows to what would be the northwest corner of this lot where there are 2 large drainage pipes, and he asked if this would be impacted in any way by the construction of the new home. **Mr. Hautzinger** explained that civil engineering matters are not under the purview of this commission, and are reviewed by the Village Engineering Department at time of permit review. **Mr. Davis** added that they have spent a lot of time with the Engineering Department to make sure that this lot not only drains well, but that it does not negatively impact other lots. Mr. Lipscomb also asked if the 2 existing large trees on the property would be removed, and **Mr. Hautzinger** said the trees are required to be preserved as part of the subdivision ordinance, as well as the addition of new trees along the west property line. **Mr. Davis** said he did not recall these requirements as part of the ordinance, but understood them. Mr. Lipscomb agreed with Staff's comment that windows be added in the top of the garage doors, which would help improve the aesthetics of the home from Campbell Street.

The Commissioners summarized their comments.

Commissioner Kingsley was glad to see a ranch home being proposed and she agreed with the four recommendations from Staff that include returning the stone base down the side of the garage to the sunroom wall; returning the stone base down the north wall to the end of the Master bedroom; stopping the corner trim boards at the top of the stone base; and adding windows in the top of the garage doors. She also felt that the stone base on the north elevation should continue to a more natural stopping point a little further down the elevation, and she highly recommended using smooth trim, which is more

conductive to the style of the home. She pointed out that not all the shutters match the size of the windows, and **Mr. Davis** explained that this was because there are many instances where there is not enough space. **Commissioner Kingsley** felt that shutters should only be on windows where they fit, and if they do not fit then leave them off; this needs to be done well or it should not be done at all. Also, this style of home should have a more recessed style of shutter, rather than the rustic 2-panel with horizontal trim being shown, and the shutters should match in size.

Commissioner Kingsley also suggested adding a vent in the gable end above the garage door to help with the balance of the elevation, and changing the single box bay window to the right of the garage to a double double-wide window, because this side elevation faces Campbell and is similar to the front of a home. She also suggested changing the only windows in the kitchen located above the sink from double-hung windows to casement windows with a horizontal muntin to resemble a sash; this will make it easier to open the windows. She also asked the homeowners to consider adding windows on the north side of the kitchen as well.

Commissioner Kubow agreed with the recommendations in the Staff report and said it was a nicely designed home. He agreed with Commissioner Kingsley's comments about the garage side elevation and her suggestion to change the single box bay window located next to the garage, suggesting a grouping of two windows instead of the single box bay window. He also agreed with the suggestion to add windows at the top of the garage doors, as well as add some type of circular element in the siding above the garage doors for more detail.

Commissioner Seyer said that the home looks nice, and he agreed with Staff's suggestions to return the stone base down the side of the garage to the sunroom wall, and down the north wall to the end of the Master Bedroom, which would make for a greatly improvement aesthetic. He also agreed that the corner trim boards should stop at the top of the stone base. He questioned if the petitioner was receptive to these suggestions because he was sympathetic to making these requirements versus recommendations. He pointed out that the color rendering of the garage shows horizontal siding above the garage doors and the drawing shows shake style siding; he preferred the added details of the shake siding above the garage doors. He also agreed with the previous suggestion to add windows at the top of the garage doors, and to increase the size of the window located to the right of the garage, although he understood if the petitioner had concerns about doing this because of privacy.

Commissioner Eckhardt agreed with the comments made by the other commissioners, as well as the 4 suggestions in the Staff report that he felt should be requirements. He agreed with Commissioner Kubow's suggestion to add a circular element or window in some of the gable ends, such as at the front door, the gable to the right, or maybe the large gable to the left and not the other one. He also agreed with Commissioner Seyer that the fenestration above the garage gable end should have the same siding as the rest of the home because it is the front door. In closing, **Commissioner Eckhardt** said he was very pleased to see the development of this site.

Chair Fitzgerald agreed with the comments in the Staff report and wanted to see them as requirements. He liked Commissioner Kingsley's comments about the shutters; the shutters should fit the size of the windows, which would be a recommendation for him. He also liked the suggestion to add some type of element in the gable above the garage door, and he was okay either way with the window located right of the garage door, which additional landscaping would help soften. He felt this was a beautiful home.

Mr. Davis commented that it is always a fine balance between budget, cost, and what looks good. He felt that everyone could agree that the new home looks good and that this ranch home will complement the environment. He said the homeowners are very passionate about their privacy and are not receptive to adding windows in the garage doors or increasing the size of the box bay window next to the garage door. He asked that these be recommendations and not requirements.

Chair Fitzgerald asked if the garage doors being proposed would be white raised panel metal doors and **Mr. Davis** said yes. **Chairman Fitzgerald** said that knowing the garage doors face the street, and that several of the commissioners like the windows, as well as the neighbor who spoke tonight, he was still in favor of this being a requirement. **Commissioner Kingsley** suggested translucent windows for the garage door to help with privacy. **Mr. Pigott** said his issue is with the security and maintenance of having windows in the garage, which he really did not like the look of anyway. He disagreed that having

windows in the garage doors would make a difference, and he assured the commissioners that the garage doors would not be cheap aluminum doors. He added that he was not opposed to the suggestion to add a circular element above the garage in the shake siding, although he was not in favor of it being a real window, again for security and maintenance reasons.

Commissioner Kubow understood the homeowner's concerns about the security and maintenance of adding windows in the garage. He felt the shake style siding in the gable above the garage would help a lot, as well as the addition of a window or circular element there, which would go a long way. He also agreed with the homeowner's privacy concerns about increasing the size of the single window in Bedroom #2 located next to the garage; however, he wanted to work with the builder and homeowner to come to a happy medium.

Commissioner Kingsley was glad to hear what the homeowner's concerns are. She clarified her previous comment to add a vent in the space above the garage doors; not a working vent or a window, just something maintenance free that would help to reduce the look of how large that space is. **Chair Fitzgerald** was okay with just the shake siding detail above the garage, although he liked the other ideas that were given as well. **Commissioner Kubow and Seyer** also agreed.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER SEYER, TO RECOMMEND APPROVAL OF THE PROPOSED NEW SINGLE-FAMILY HOME TO BE LOCATED AT 2 N. RIDGE AVENUE. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE PLANS DATED 2/10/20, RECEIVED 2/24/20, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT THAT THE STONE BASE BE RETURNED DOWN THE SIDE OF THE GARAGE TO THE SUNROOM WALL.
2. A REQUIREMENT THAT THE STONE BASE BE RETURNED DOWN THE NORTH WALL TO THE END OF THE MASTER BEDROOM.
3. A REQUIREMENT THAT THE CORNER TRIM BOARDS STOP AT THE TOP OF THE STONE BASE.
4. A RECOMMENDATION TO ADD WINDOWS IN THE TOP OF THE GARAGE DOORS TO SOFTEN THE APPEARANCE WHICH COULD BE OBSCURED GLASS FOR PRIVACY.
5. A RECOMMENDATION TO ELIMINATE OR ENLARGE THE SHUTTERS AS APPROPRIATE, TO BE MORE GENUINE IN THEIR FUNCTION.
6. A REQUIREMENT THAT SHAKE STYLE SIDING BE USED IN THE GABLE ABOVE THE GARAGE DOORS, AS SHOWN IN THE DRAWINGS.
7. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

KINGSLEY, AYE; KUBOW AYE; ECKHARDT, AYE; SEYER, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

PETITION

NOW COMES the Petitioner, Dan Pigott and Cynthia Pigott, being the owner of the property commonly known as 2 N Ridge Ave, Arlington Heights, IL 60005 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.2, Chapter 28, of the Arlington Heights Municipal Code, in order to allow for a new single family single-story residential home to be built, which will be a 19' rear yard setback and +2' for the roof eave, where 30' rear yard setback is required.

I hereby state that the following hardship would exist if the variation were not granted:

The proposed variance requested is the minimum variance necessary to allow reasonable use of the property for a one-story home. This property does not accommodate a 2,152sf single-story (ranch) home on this lot. In addition, the current layout has the least impact to the home to the rear.

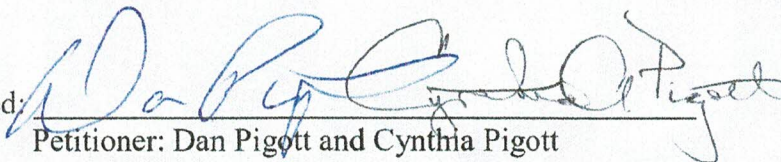
I hereby state that the following unique circumstances exist:

This is a corner lot on two fairly busy streets that has been vacant for over 15 years. Many adults are looking for one-story or ranch home designs. The problem is that the footprint can be twice as big as a two-story house. Current zoning laws have setbacks and FAR's that are designed to control the size of two-story homes, but create hardships on one-story homes due to the lack of an appropriate lot size. This home handily meets all of the FAR restrictions, but due to two front yard setbacks there is not enough space for a 3-car garage and a 2,152sf single-story home, which is very reasonably sized.

I hereby state that the variation, if granted, will not alter the essential character of the locality because:

This lot was created from a re-subdivision from one (1) large lot to three (3) 9,900sf lots about 15 years ago. This lot remains vacant. Two very large 3,800+ sf two-story new homes have been built

next door. This is a corner lot on two fairly busy streets, Ridge and Campbell. The location is zoned R-3 and this house, at 2,152sf, is understated and fits extremely well into the character of the neighborhood and will be compatible with existing uses and zoning of nearby properties.

Signed:  Date: 3/25/20
Petitioner: Dan Pigott and Cynthia Pigott

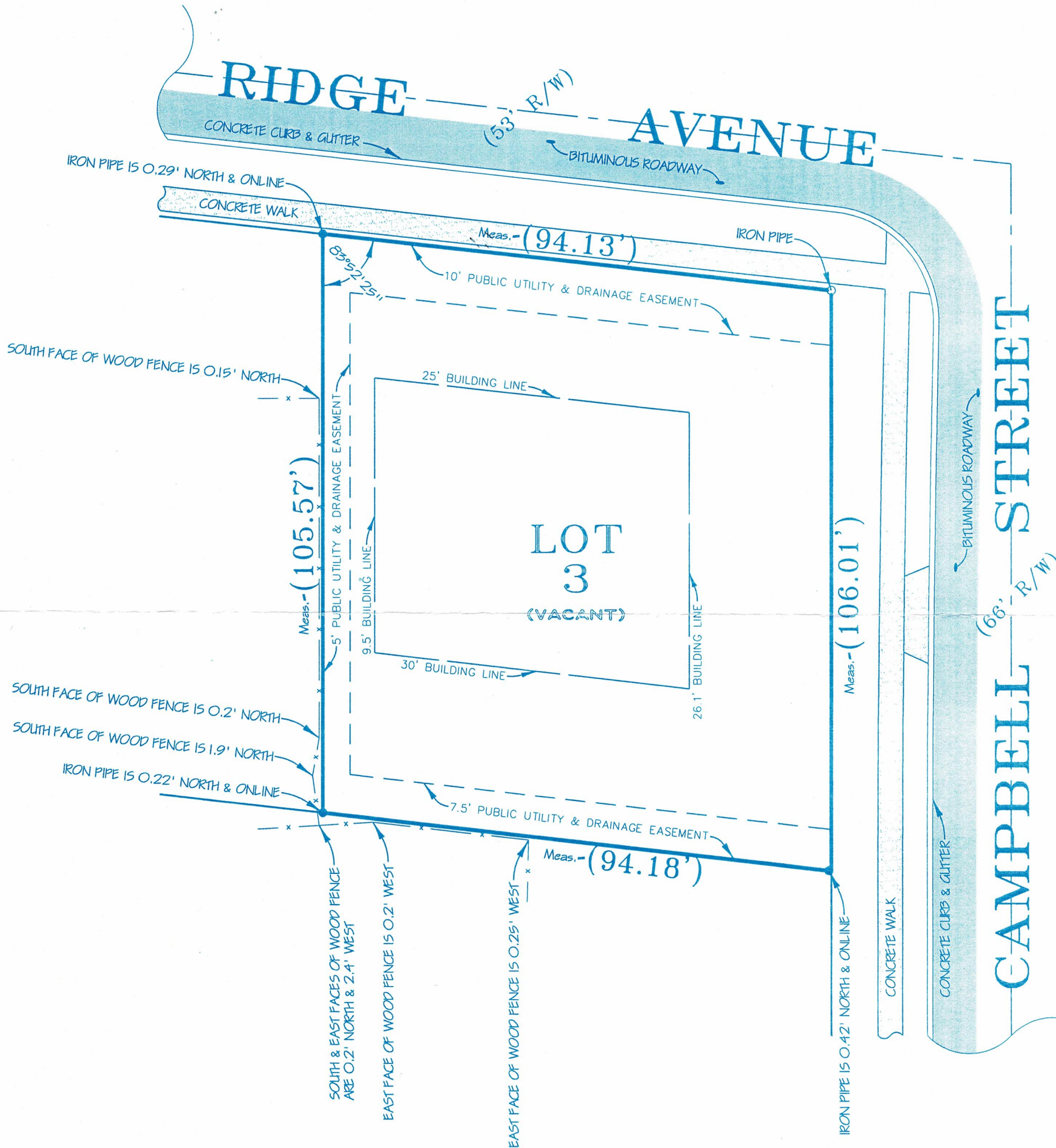
SURVEY LEGEND

- Monumentation Found
- Monumentation Set (IRLS 35-2551)
- (50') Record Dimension
- X— Fence Line

PLAT OF SURVEY

LOT 3 IN HOOD'S RESUBDIVISION, BEING A RESUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

AREA OF SITE = 9,901 SQ.FT.



CARRADUS



NOTES

- All distances shown hereon are in feet and decimal parts thereof corrected to 68° f. Distances shown along curved lines are Arc Measurements unless otherwise noted.
- Compare the Legal Description, Building Lines, and Easements as shown hereon with your Deed, Title Insurance Policy or Title Commitment.
- Consult local authorities for additional setbacks and restrictions not shown hereon.
- Compare all survey points and report any discrepancies immediately.
- Consult utility companies and municipalities prior to the start of any construction.
- Dimensions to and along buildings are exterior foundation measurements.
- Do Not Assume distances from scaled measurements made hereon.

STATE OF ILLINOIS)
COUNTY OF DU PAGE) SS

THIS IS TO CERTIFY THAT I, ALLEN D. CARRADUS, A PROFESSIONAL LAND SURVEYOR, LICENSED IN THE STATE OF ILLINOIS, HAVE SURVEYED THE PROPERTY AS DESCRIBED HEREON AND THAT THE ANNEXED PLAT IS A CORRECT AND TRUE REPRESENTATION THEREOF, AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

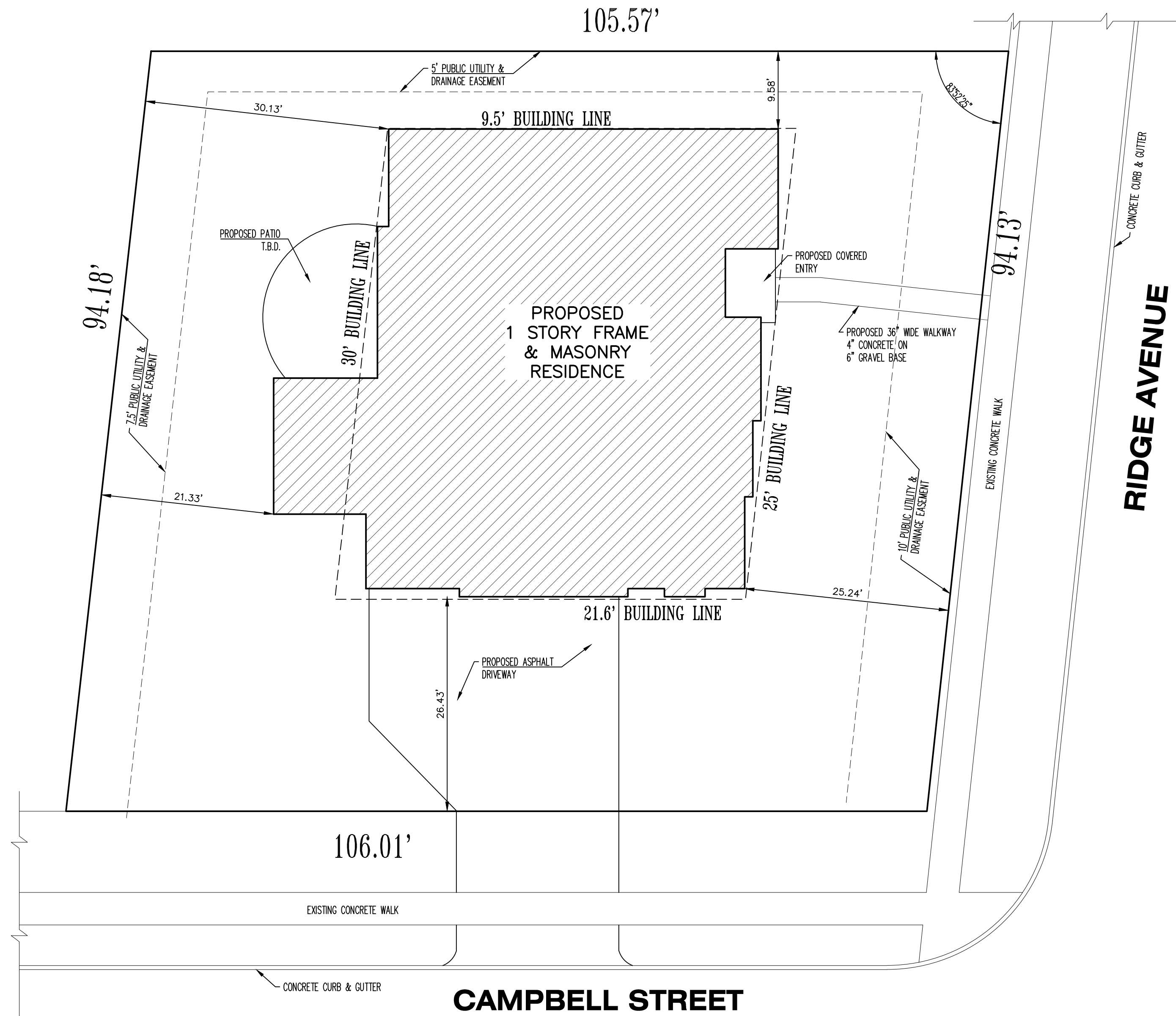
SIGNED AND SEALED AT WHEATON, ILLINOIS THIS 30th DAY OF August, A.D. 2017
BY Allen D. Carradus ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-2551.
MY LICENSE EXPIRES NOVEMBER 30, 2018.

CARRADUS LAND SURVEY, INC.

Residential & Commercial Land Surveying Services
100 Bridge Street Suite 1, Wheaton, Illinois 60187
(630) 588-0416 (Fax) 653-7682

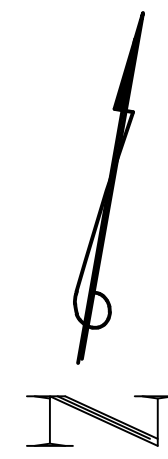
PREPARED FOR: LAW OFFICES OF STEVEN K. NORGAARD, P.C.
DRAWN BY: CMG DATE OF FIELD WORK: 08/30/17 SCALE: 1" = 20' FLD. BK. - PAGE: 375-34 PROJECT NO.: 29986

FAIRFIELD HOMES
PIGOTT RESIDENCE
2 N RIDGE AVENUE
ARLINGTON HEIGHTS, IL 60004



NOTES:

1. VERIFY UTILITY LOCATIONS.
2. VERIFY TREES TO BE REMOVED WITH OWNER
3. VERIFY STRUCTURE LOCATION WITH OTHERS.
SITE PLAN DEPICTED REPRESENTS A REFERENCE LOCATION ONLY, NOT TO BE USED FOR STAKING, EXCAVATION, FOUNDATION LOCATION OR BUILDING OF ANY KIND. REFERENCE CIVIL ENGINEERING FOR ACTUAL HOUSE LOCATION AND VERIFY IN FIELD NO PORTION OF THE STRUCTURE EXTENDS OVER SETBACKS, BUILDING LINES OR EASEMENTS.
4. REFER TO CIVIL ENGINEERING PLANS FOR UTILITY INFORMATION.
5. BOUNDARY BASED UPON PLAT OF SURVEY FURNISHED TO ARCHITECT BY OWNER. VERIFY LOT DIMENSIONS IN FIELD.



SITE PLAN

1"=10'

DRAWING INDEX

A000 SITE PLAN, DRAWING INDEX,
GENERAL NOTES
A100 FOUNDATION PLAN,
FOUNDATION SECTIONS
A101 FIRST FLOOR PLAN,
O.H. GARAGE DOOR DETAILS
A200 FRONT ELEVATION, REAR ELEVATION
A201 RIGHT SIDE ELEVATION,
LEFT SIDE ELEVATION

A400 FINISHED BASEMENT PLAN, TYP.
FINISHED BASEMENT WALL SECTION

DESIGN STAGE	REVISION	DATE	BY	APP
CONCEPTUAL DESIGN	1	10-04-19	ALA	ALA
PRELIMINARY DESIGN	2	10-11-19	ALA	ALA
DESIGN DEVELOPMENT	3	10-15-19	ALA	ALA
RELEASE FOR BID	4	11-15-19	ALA	ALA
FINAL REVIEW	5	11-15-19	ALA	ALA
RELEASE FOR PERMIT	6	11-15-19	ALA	ALA

FAIRFIELD HOMES
PIGOTT RESIDENCE
2 N RIDGE AVENUE
ARLINGTON HEIGHTS, IL 60004

SITE PLAN
DRAWING INDEX
GENERAL NOTES

Architects & Planners, Inc.
2000 Behan Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-0200 Fax: 815-788-0201

11A

Job Number
19238

Sheet Number
A000



1B
A200

REAR ELEVATION

1/4"=1'-0"



1E
A200

FRONT ELEVATION

1/4"=1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
BIDDING OR PERMIT

DESIGN STAGE	1	2	3	4	5
CONCEPTUAL DESIGN					
PRELIMINARY DESIGN					
DESIGN DEVELOPMENT					
RELEASE FOR BID					
FINAL REVIEW					
RELEASE FOR PERMIT					
REVISION					

FAIRFIELD HOMES
PIGOTT RESIDENCE
2 N RIDGE AVENUE
ARLINGTON HEIGHTS, IL 60004

FRONT ELEVATION
REAR ELEVATION

Architects & Planners, Inc.
2000 Behan Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-0200 Fax: 815-788-0201

ALA

Job Number
19238

Sheet Number
A200

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File Name: 19238200



1C
A201

RIGHT ELEVATION

1/4"=1'-0"

1E
A201

LEFT ELEVATION

1/4"=1'-0"

123456789101112

12345

REVISIONS

1
10-04-18 BUI
2
10-11-18 BUI
3
10-15-18 BUI
4
11-15-18 BUI
5
11-29-18 BUI

DESIGN STAGE

CONCEPTUAL DESIGN
PRELIMINARY DESIGN
DESIGN DEVELOPMENT
RELEASE FOR BID
FINAL REVIEW
RELEASE FOR PERMIT
REVISION

FAIRFIELD HOMES
PIGOTT RESIDENCE
2 N RIDGE AVENUE
ARLINGTON HEIGHTS, IL 60004

LEFT ELEVATION
RIGHT ELEVATION

PRELIMINARY

Architects & Planners, Inc.
2000 Behan Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-0200 Fax: 815-788-0201

Job Number
19238

Sheet Number
A201

File Name
19238A201



**Zoning Board of Appeals
6/8/2020**

Item: 1200 E. Woodford Pl. - ZBA#20-009

Department: Planning & Community Development

REQUEST

A 6.5 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow an addition with an exterior side yard setback of 3.5 feet instead of the required 10.0 feet.

ATTACHMENTS:

Description

Supporting Documents

Type

Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: June 8, 2020
Date Prepared: June 1, 2020
Project Title: Gockenbach Residence
Address: 1200 E. Woodford Place

Background Information

Petition Number: ZBA #20-009
Petitioner: James Cochran / JRC Design Build
Address: 1275 E Davis St
Arlington Heights IL 60005

Existing Zoning: R-3 Single-Family Residential District

Requested Action/Background Information

The petitioner is proposing to construct a two-story addition to the existing home. The subject property is zoned R-3, One Family Dwelling District. The property has a total land area of 6,557 square feet and the residence, with the addition, will have approximately 2,269 square feet. The proposed addition is located in the southeast corner of the structure and is encroaching into the required exterior side yard setback along Derbyshire Lane. Therefore, the petitioner requests the following variation:

- **A 6.5 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow an addition with an exterior side yard setback of 3.5 feet instead of the required 10.0 feet.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	5/20/20	
2. List of Property Owners Within 250 feet of Subject Property	✓	5/20/20	
3. Letter that was Mailed	✓	5/20/20	
4. Photographs of Sign on Property	✓	5/20/20	

Photographs of Existing Structure



ZBA# 20-009
1200 E Woodford Place- ZBA
Rev. Eng: Briget Schwab, P.E.
cc: Mike Pagones, P.E. Village Engineer

Application Date: No date
Received by Planning:
Transmitted to Engineering: May 19, 2020
Completed: May 20, 2020 with revisions sent on 6/1/2020

The proposed ZBA application indicates that the petitioner is seeking:

A 6.5 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow an addition with an exterior side yard setback of 3.5 feet instead of the required 10.0 feet.

The Engineering Division has NO OBJECTION on the proposed variances for setbacks and driveway width.

NOTES: This is a corner lot with parkway adjacent to the sideyard. The proposed addition will match the existing sideyard setback.

--



Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Gockenbach Residence

Project Address: 1200 E Woodford Place

ZBA #: 20-009

Date: May 20, 2020

Derek:

I have reviewed the request for a 6.5 foot variance to allow an addition with an exterior side yard setback of 3.5 feet from the west property line instead of the minimum 10.0 feet and do not have any comments.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Gockenbach Residence

Project Address: 1200 E. Woodford Place

ZBA #: 20-009

ZBA Hearing Date: June 8, 2020

To: Mike Pagones, Village Engineer
Steven Touloumis, Director of Building and Life Safety

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: May 19, 2020

A 6.5 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow an addition with an exterior side yard setback of 3.5 feet instead of the required 10.0 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

The design of the proposed addition fits with the character of the existing house and neighborhood. It is favorable for an administrative (Staff) design approval, pending the outcome of the ZBA review.

- Steve Hautzinger, Design Planner

Please review, comment, and return to me no later than May 29, 2020.

ZONING PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner JRC Design Build

being the owner of the property commonly known as: 1200 E Woodford PL

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from 5.1 3.2 (c)

Section Chapter 28, of the Arlington Heights Municipal Code, in order to: allow addition to align with existing

building and not abiding by the required setback.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): the new addition with align with the existing building and not impede on any current foot traffic as no sidewalk is planned for exterior sideyard.

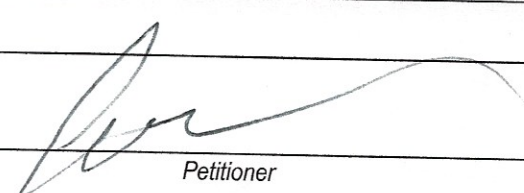
This will allow better cohesion of exterior facade between new and old.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): _____

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): there still remains a setback from the road greater than the required setback but in order to match the existing, the new must vary from the requirements

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): The new addition with align with the existing building and not impede on any current foot traffic as no sidewalk is planned for exterior sideyard. This will allow better cohesion of exterior facade between new and old.

Signed: _____


Petitioner

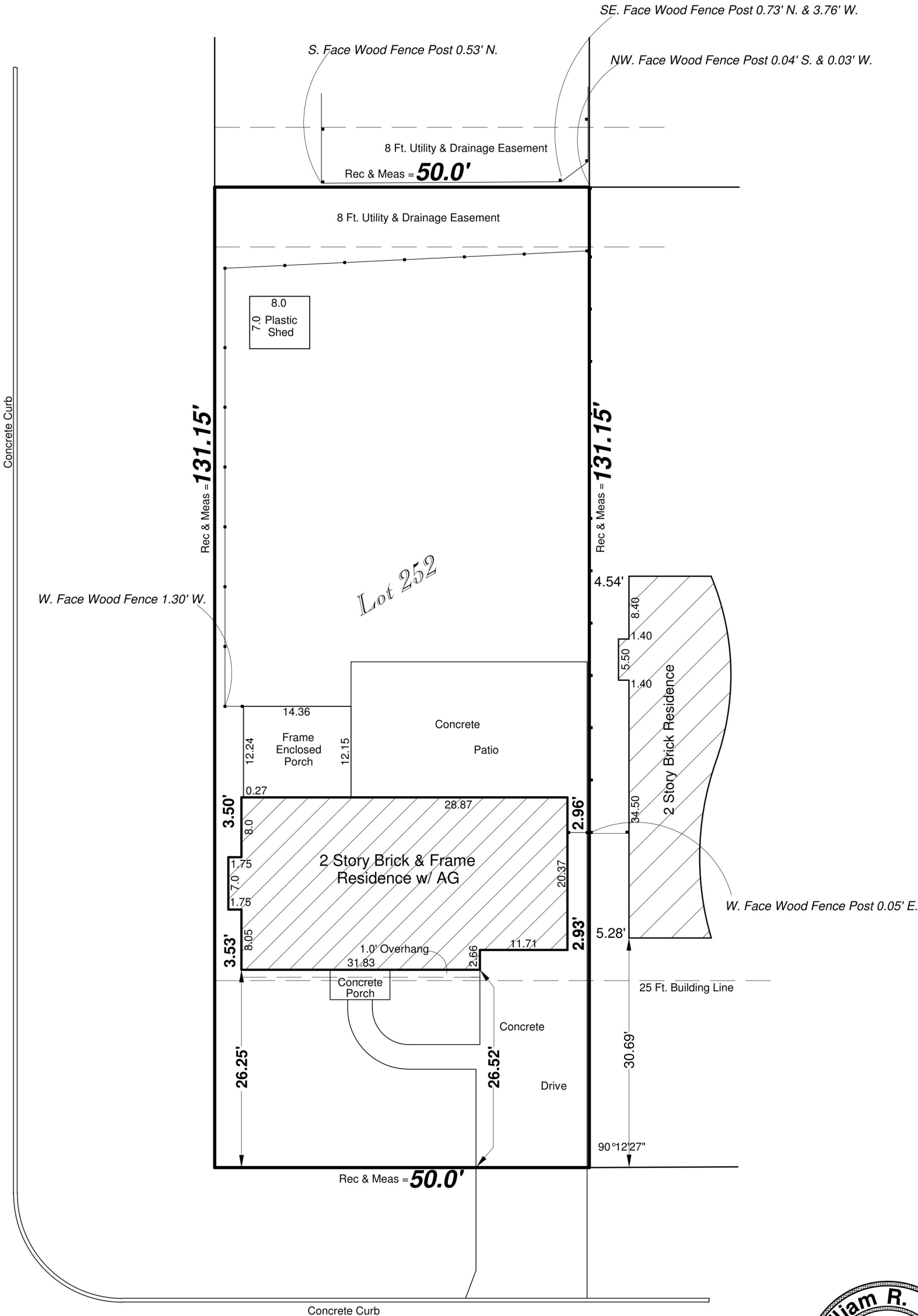
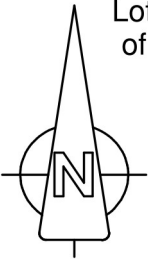
Date: 04/07/2020

Plat of Survey

Central Survey Company, Inc., 6415 N. Caldwell Ave., Chicago, Illinois 60646-2713
Phone (773) 631-5285 www.Centralsurvey.com Fax (773) 775-2071

Legal Description

Lot 252 in Stonegate, being a Resubdivision of H. Roy Berry Company's East Moreland, being a Subdivision of that part of the West 1/2 of the Northwest 1/4 of Section 33 and that part of the East 1/2 of the Northeast 1/4 of Section 32, lying Northeasterly of the Chicago and Northwestern Railroad Company, all in Township 42 North, Range 11 East of the Third Principal Meridian, in Cook County, Illinois
Commonly Known as: 1200 E. Woodford Place, Arlington Heights, Illinois
Area of Land Described: 6,557 Sq. Ft.



Legend

N. = North
S. = South
E. = East
W. = West
(TYP) = Typical
Rec = Record
Meas = Measure
St. = Street
Ave. = Avenue

Decimal/Inch Conversions		
0.01' = 1/8"	0.08' = 1"	0.58' = 7"
0.02' = 1/4"	0.17' = 2"	0.67' = 8"
0.03' = 3/8"	0.25' = 3"	0.75' = 9"
0.04' = 1/2"	0.33' = 4"	0.83' = 10"
0.05' = 5/8"	0.42' = 5"	0.92' = 11"
0.06' = 3/4"	0.50' = 6"	1.00' = 12"
0.07' = 7/8"		

NOTES: *Property corners were NOT staked per customer.
*AutoCad file will not be provided under this contract. *For building restrictions refer to your abstract, deed, contract, title policy and local ordinances. *Assume no dimension from scaling upon this plat. *Compare all points before building and report any difference at once.

Scale: 1 Inch equals 15 Feet.
Ordered By: Charles Gochenbach
Order Number: 1200B

Woodford Place

State of Illinois)
County of Cook)S.S.

Central Survey LLC does hereby certify that an on the ground survey per record description of the land shown hereon was performed on Mar. 10, 2020 and that the map or plat hereon drawn is a correct representation of said survey. When bearings are shown the bearing base is assumed. Dimensions are shown in feet and hundredths and are correct at a temperature of 68° Fahrenheit.

Dated this 10th day of March 2020

William R. Webb P.L.S. #2190 (exp.11/30/2020) Professional Design Firm Land Surveying LLC (#184.005417)



This professional service conforms to current Illinois minimum standards for a boundary survey.

PROJECT DATA

PROJECT LOCATION:	1200 WOODFORD PL ARLINGTON HEIGHTS, IL
ZONING DISTRICT:	R-3
LOT AREA:	6,557 SF
PIN:	15 ACRES 03-32-205-009-0000
MAX FAR:	.45
EXISTING FAR:	(1,707/6,557) = .26
PROPOSED FAR:	(2,816.5/6,557) = .43
MAX IMPERVIOUS COVERAGE (55%)	3,606.35 SF
EXISTING IMPERVIOUS COVERAGE	2,075.33 SF
PROPOSED IMPERVIOUS COVERAGE:	2,474.42 SF
MAX BUILDING HEIGHT:	25'-0"
PROPOSED BUILDING HEIGHT:	MATCH EXISTING 21'-4"
LOCATION AREAS:	
EX. FIRST FLOOR	898 SF
EX. SECOND FLOOR	809 SF
TOTAL	1707 SF
FIRST FLOOR DEMO	-176 SF
ADDITION FIRST FLOOR	526 SF
ADDITION SECOND FLOOR	368 SF
NEW FIRST FLOOR	1,249 SF
NEW SECOND FLOOR	1,176.5 SF
NEW TOTAL BUILDING SIZE:	2,425.5 SF

DIVISION 01 - GENERAL REQUIREMENTS

- PROJECT IS A TWO STORY SINGLE FAMILY RESIDENCE WITH A PROPOSED 896 SF 2 STORY ADDITION (KITCHEN & LIVING ROOM/MASTER SUITE) TO BE BUILT ON NEW FOUNDATION AND UNFINISHED BASEMENT.
- PROJECT LOCATION: 1200 WOODFORD PL ARLINGTON HEIGHTS, IL.
- ARCHITECT IDENTIFICATION: THE CONTRACT DOCUMENTS WERE PREPARED BY JRC DESIGN BUILD, ARLINGTON HEIGHTS, IL.
- THE WORK CONTAINED IN THESE CONSTRUCTION DOCUMENTS SHALL BE PERFORMED UNDER AIA DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" (LATEST EDITION).
- OWNER WILL CAUSE THE ARCHITECT/ENGINEER, THEIR CONSULTANTS AND EMPLOYEES TO BE NAMED AS ADDITIONAL NAMED INSURED UNDER THE BUILDERS RISK INSURANCE APPLICABLE TO THE PROJECT.
- ON SITE VERIFICATION OF ALL DIMENSIONS AND FIELD CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS.
- PROJECT WILL BE CONSTRUCTED UNDER A GENERAL CONSTRUCTION CONTRACT.
- THE SUPERINTENDENT OR PROJECT ARCHITECT SHALL BE NOTIFIED SHOULD ANY DISCREPANCY OR QUESTIONS ARISE PERTAINING TO THESE DRAWINGS. NO CHANGE SHALL BE MADE WITHOUT REVIEW AND APPROVAL BY THE OWNER/ARCHITECT.
- ALL NEW INTERIOR DIMENSIONS ARE NOTED ON DRAWING.
- ALL EXTERIOR FRAME DIMENSIONS ARE TO FACE OF SHEATHING UNLESS NOTED OTHERWISE.
- ALL EXTERIOR MASONRY DIMENSIONS ARE TO FACE OF STONE.
- ALL CONTRACTORS SHALL VISIT JOB SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE SUBMITTING BIDS.
- IF LATENT OR UNFORESEEN CONDITIONS REQUIRE MODIFICATIONS TO THE CONTRACT, CONTRACTOR MAY PROPOSE CHANGES BY SUBMITTING A REQUEST FOR A CHANGE. INCLUDE A STATEMENT OUTLINING REASONS FOR THE CHANGE AND THE EFFECT OF THE CHANGE ON THE WORK. INDICATE THE EFFECT OF THE PROPOSED CHANGE ON THE CONTRACT SUM AND THE CONTRACT TIME.
- ALL WORK SHALL BE PERFORMED IN A GOOD WORKMANLIKE MANNER CONTRACTORS TO REMOVE THEIR DEBRIS AND LEAVE THE JOB SITE BROOM SWEEPED AT THE END OF EACH WORKING DAY.
- CONTRACTORS SUBMITTING A BID WITH A PRODUCT SUBSTITUTION SHALL BE REQUIRED TO SUBMIT MANUFACTURER'S PRODUCT DATA AND SAMPLES (WHERE APPROPRIATE) AT THE TIME OF SUBMITTING A BID FOR APPROVAL OF THE SUBSTITUTION.
- ALL WORK SHALL BE WARRANTED AND GUARANTEED FOR A PERIOD ON ONE (1) YEAR FROM THE DATE OF THE CERTIFICATE OF OCCUPANCY UNLESS NOTED OTHERWISE. (SEE CONTRACT W/ GENERAL)
- SHOULD ANY DEFECTS DEVELOP IN AFORE SAID WORK WITHIN THE SPECIFIED PERIODS, DUE TO FAULTS IN MATERIALS AND/OR WORKMANSHIP, MAKE REPAIRS AND DO NECESSARY WORK TO CORRECT DEFECTIVE WORK AS APPROVED. EXECUTE SUCH REPAIRS, CORRECTIVE WORKING INCLUDING COSTS OF MAKING GOOD OTHER WORK DAMAGED BY OR OTHERWISE AFFECTED BY MAKING REPAIRS OR CORRECTIVE WORK, WITHOUT EXTRA COST TO OWNER WITH FIVE (5) DAYS AFTER WRITTEN NOTICE FROM OWNER.
- EACH CONTRACTOR SHALL DO ALL CUTTING, FITTING, DIGGING, BACKFILLING, DRILLING AND TAPPING AS REQUIRED FOR THE INSTALLATION OF HIS WORK.
- APPROVED PLANS SHALL BE ON SITE FOR ALL INSPECTIONS.

APPLICABLE CODES

ALL WORK PERFORMED AND MATERIALS USED SHALL COMPLY WITH THE FOLLOWING:	
BUILDING CODE	INTERNATIONAL RESIDENTIAL CODE, 2015 WITH AMENDMENTS PER VILLAGE OF ARLINGTON HEIGHTS
MECHANICAL CODE	INTERNATIONAL EXISTING BUILDING CODE, 2015
ELECTRICAL CODE	NATIONAL ELECTRIC CODE, 2017
PLUMBING CODE	ILLINOIS PLUMBING CODE, 2014
ENERGY CODE	INTERNATIONAL ENERGY CONSERVATION CODE 2016 WITH ILLINOIS AMENDMENTS
FUEL CODE	INTERNATIONAL FUEL GAS CODE, 2015
FIRE CODE	INTERNATIONAL FIRE CODE, 2015
ACCESSIBILITY	ILLINOIS ACCESSIBILITY CODE, LATEST
LIFE SAFETY	NFPA 101, 2000
ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES, AND REGULATIONS.	
MANUFACTURERS' SPECIFICATIONS AND TRADE ASSOCIATIONS RECOMMENDATIONS.	
ACCEPTED ENGINEERING AND CONSTRUCTION PRACTICES.	

DESIGN CRITERIA

FLOOR	40# LL - 10# DL
SLEEPING ROOMS	40# LL - 10# DL
OTHER ROOMS	60# PLF OR ACTUAL LOAD
WALL	20 PSF WIND 0'-20' HEIGHT 25 PSF WIND 21'-29' HEIGHT 30 PSF WIND 30' HEIGHT AND ABOVE
CEILING	10# LL - 10# DL
UNHAB W/O STOR	20# LL - 10# DL
UNHAB LIM STOR	30# LL - 10# DL
HAB W/ FIX STAIR	
WIND SPEED	115 MPH 3 SECOND GUST & 89
NOMINAL	
ROOF	30# LL (SNOW) - 10# DL (ALL SLOPES)
CATHEDRAL	30# LL - 15# DL (ALL SLOPES)
STAIRS	40# LL + 300# CONCENTRATED LOAD
GUARD & HANDRAILS	200# LL AT ANY DIRECTION APPLIED AT THE TOP

STRUCTURAL FRAMING LUMBER
BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)
GRADE #2 SPECIES SPF DOMESTIC OR CANADIAN BASE Fb 875

SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM PRODUCT WITH THE CURRENT SIZE, Fb, AND E VALUES PER MANUFACTURER

MANUFACTURER - TRUS-JOIST
PRODUCT - LVL HEADERS & BEAMS MICRO-LAM

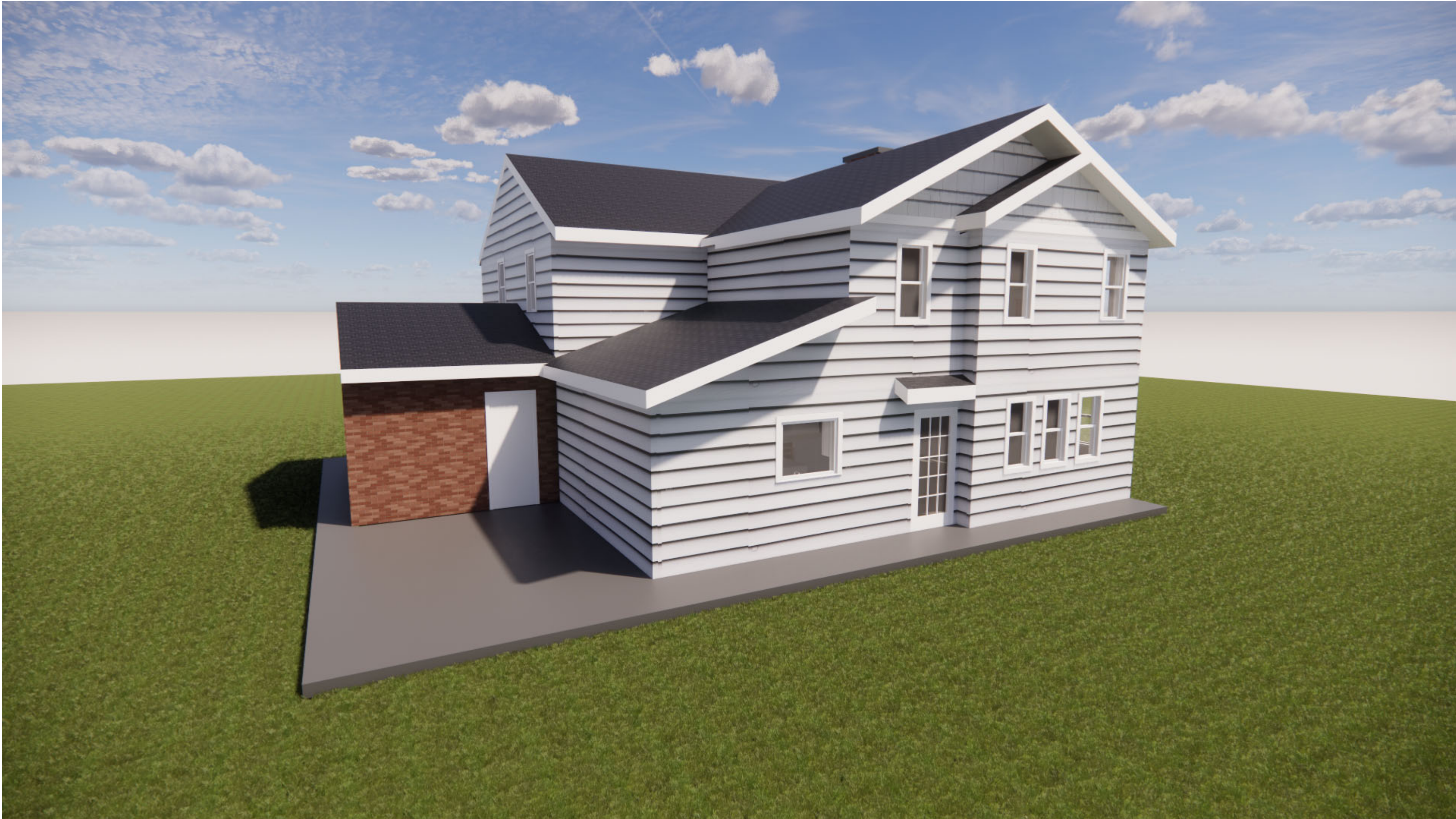
ENERGY CODE COMPLIANCE NOTES

- ALL PENETRATIONS THROUGH THERMAL ENVELOPE SHALL BE ADEQUATELY SEALED BY CAULK, GASKET, WEATHERSTRIPPING OR OTHER BARRIER MEANS PER 2015 IECC REQUIREMENTS. ALL WINDOWS AND EXTERIOR DOOR JAMBS ARE TO BE SEALED WITH LOW-EXPANSION FOAM. ALL BOTTOM PLATES ON EXTERIOR WALLS SHALL BE GLUED TO SUB-FLOOR.
- ALL FIREPLACES SHALL HAVE GASKETED DOORS & OUTSIDE COMBUSTION AIR.
- ALL RECESSED LIGHTING IN THERMAL ENVELOPE SHALL BE SEALED TO PREVENT AIR LEAKAGE. ALL RECESSED DOWNLIGHTING TO BE IC-RATED.
- PROVIDE PROGRAMMABLE THERMOSTATS FOR EACH ZONE WITH SETBACK AND MANUAL OVERRIDE.
- ALL ACCESS HATCHES/DOORS TO UNCONDITIONED SPACE SHALL BE INSULATED & WEATHERSTRIPPED.
- AT LEAST 75% OF ALL LIGHTING TO HAVE HIGH-EFFICACY BULBS.
- FURNACE: +90% AFUE
WATER HEATER: +95% AFUE
A/C: 13+ SEER
SHGC: 0.27 OR BTR

ABBREVIATIONS

A.B.	ANCHOR BOLT	F.D.	FLOOR DRAIN	PLYWD.	PLYWOOD
A.C.	AIR CONDITIONING	F.E.	FIRE EXTINGUISHER	P.S.F.	POUNDS PER SQUARE FOOT
ACOUS.	ACOUSTIC	F.F.	FINISH FLOOR	P.S.I.	POUNDS PER SQUARE INCH
ADJ.	ADJUSTABLE	FIN.	FINISH	P.V.C.	POLYVINYLCHLORIDE
A.F.F.	ABOVE FINISH FLOOR	FIXT.	FIXTURE	Q.T.	QUARRY TILE
ALUM.	ALUMINUM	FLR.	FLOOR	R.	RADIUS
ALT.	ALTERNATE	FLSHG.	FLASHING	R.D.	ROOF DRAIN
A.P.	ACCESS PANEL	FDN.	FOUNDATION	R & S	ROD & SHELF
APPROX.	APPROXIMATE	F.O.	FACE OF	REC	RECESSED
ARCH.	ARCHITECTURAL	F.S.	FOOTING SUMP	REFR.	REFRIGERATOR
Ø	AT ANGLE	FTG.	FOOTING	REG.	REGULAR
B.	BOARD	FURN.	FURNACE	REINF.	REINFORCE
BD	BUILT-IN	G.	GALV.	RM.	ROOM
BI	BUILDING	G.F.I.	GROUND FAULT INTERRUPT	R.O.	ROUGH OPENING
BLDG.	BOTTOM	GLU-LAM	GLUE LAMINATED BEAM	R.R.	ROOF RAFTERS
BOT.	BOTTOM OF	GYP.	GYPSUM	SECT.	SECTION
B.	BOTTOM OF	HD	HEAD	SHT.	SHEET
BRO.	BEARING	HDR.	HEADER	SHWR.	SHOWER
B.R.	BULB	HT.	HEIGHT	SHTG.	SHEATHING
B.U.R.	BUILT UP ROOFING	H.M.	HOLLOW METAL	SIM.	SIMILAR
CRPT.	CARPET	HORZ.	HORIZONTAL	SL	SLIDING
CABT.	CABINET	H.P.	HIGH POINT	SPEC.	SPECIFICATION
C.I.	CAST IRON	HTG.	HEATING	S.Q.	SQUARE
C.J.	CEILING JOISTS	H.V.A.C.	HEAT, VENTILATE, AIR CONDITIONING	S.S.	SANITARY SUMP
C.J.T.	CONSTRUCTION JOINTS	INSUL.	INSULATION	STD.	STANDARD
C.	CENTER LINE	INT.	INTERIOR	STL.	STEEL
CLG.	CEILING	L.	LINEN	STOR.	STORAGE
CLO.	CLOSET	LAM.	LAMINATE	STRUC.	STRUCTURAL
C.M.U.	CONCRETE MASONRY UNIT	LAV.	LAVATORY	SUSP.	SUSPENDED
C.D.	CASED OPENING	L.L.	LIVE LOAD	T. & B.	TOP & BOTTOM
COL.	COLUMN	L.P.	LOW POINT	T/	TOP OF
CONC.	CONCRETE	MAX.	MAXIMUM	TEL.	TELEPHONE
CONST.	CONSTRUCTION	M.C.	MEDICINE CABINET	T. & G.	TONGUE & GROOVE
CONT.	CONTINUOUS	MECH.	MECHANICAL	THK.	THICK
C.T.	CERAMIC TILE	MED.	MEDIUM	TJI	TRUSS JOIST
C.W.	COLD WATER	MIN.	MINIMUM	T.O.P.	TOP OF PLATE
DEMO.	DEMOLITION	MISC.	MISCELLANEOUS	T.V.	TELEVISION
DIA.	DIAMETER	M.L.	MICROLAM	TYP.	TYPICAL
DIAG.	DIAGONAL	M.O.	MASONRY OPENING	U.C.	UNDER COUNTER
DIM.	DIMENSION	MPBL	MARBLE	U.O.N.	UNLESS OTHERWISE NOTED
DISP.	DISPOSAL	MTL.	METAL	V.C.T.	VINYL COMPOSITION TILE
DIV.	DIVISION	M.W.	MICROWAVE	VERT.	VERTICAL
DN.	DOWN	N.C.	NOT IN CONTRACT	V.I.F.	VERIFY IN FIELD
DWGS.	DRAWINGS	N.O.	NUMBER	W./	WITH
D.S.	DOWNSPOUT	NOM.	NOMINAL	W.C.	WATER CLOSET
D.W.	DISHWASHER	N.T.S.	NOT TO SCALE	WIC	WALK-IN CLOSET
EA.	EACH	O.	OVER	WD.	WOOD
EXIST.	EXISTING	O.A.	OVER ALL	WDO	WINDOW
E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	O.C.	ON CENTER	WH	WATER HEATER
EXP.	EXPANSION	OP.	OPPOSITE	W./O.	WITHOUT
ELECT.	ELECTRICAL	OPT.	OPTIONAL	W.P.	WATERPROOF
ELEV.	ELEVATION	PERF.	PERFORATED	WT.	WEIGHT
EQUIP.	EQUIPMENT	PL.	PLATE	W.W.F.	WELDED WIRE FABRIC
EQUIV.	EQUIVALENT	P.LAM.	PLASTIC LAMINATE		
E.W.	EACH WAY				

2 STORY ADDITION TO GOCKENBACH RESIDENCE



SHEET INDEX - ARCHITECTURAL

0	COVER SHEET	04/03/2020	
A.	SITE PLAN	04/03/2020	
B.	PLAT OF SURVEY	04/03/2020	
C.	EXISTING PLANS AND ELEVATIONS	04/03/2020	
D.	PROPOSED ELEVATIONS	04/03/2020	
D.1	FIRST AND SECOND FLOOR PLANS	04/03/2020	
E.	ROOF PLAN	04/03/2020	
F.	SURROUNDING PROPERTIES	04/03/2020	
G.	ELEVATION STUDIES	04/03/2020	
H	MATERIAL BOARD	04/03/2020	

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDER LAYMENT REQ.	FLOOD HAZARDS CHAPTER 15 OF VILLAGE CODE	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE	WITHRNG	FROST LINE DEPTH	TERMITE						
30	90	NO	NO	NO	b	SEVERE	42"	MOD -TO- HEAVY	-4	YES	NOV 6 2000	2000	47.6

PRESCRIPTIVE METHOD

BUILDING THERMAL REQUIREMENTS

CLIMATE ZONE	GLAZING U-FACTOR	CEILING R-VALUE	WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALLS	HOT WATER PIPES	HVAC DUCTS
5A	.32	49	20 OR 13 + 5	30	15/19	R-3	R-8



1275 E DAVIS STREET
ARLINGTON HEIGHTS, IL 60005
PHONE: (847)255-2322
EMAIL: JIMJRCDB@GMAIL.COM
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**SINGLE FAMILY
HOME REMOVAL
AND ADDITION
GOCKENBACH RESIDENCE**
1200 E WOODFORD PL.
ARLINGTON HEIGHTS, IL

DATE

04/03/2020

ISSUE DATE

04-03-2020

DESIGN COMMISSION

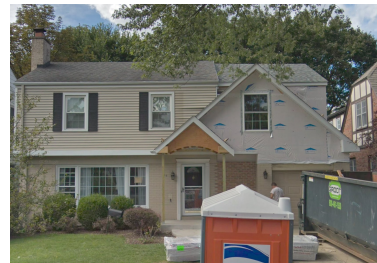
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SHEET TITLE

COVER SHEET

SHEET NUMBER

0



PROPERTY TO LEFT 1
116 S DERBYSHIRE LN



PROPERTY TO LEFT 2
120 S DERBYSHIRE LN



PROPERTY TO LEFT 3
200 S DERBYSHIRE LN

S DERBYSHIRE LN



PROPERTY TO LEFT
103 S DERBYSHIRE LN



SUBJECT PROPERTY
1200 E WOODFORD PL



PROPERTY TO RIGHT 1
1200 E WOODFORD PL



PROPERTY TO RIGHT 2
1212 E WOODFORD PL

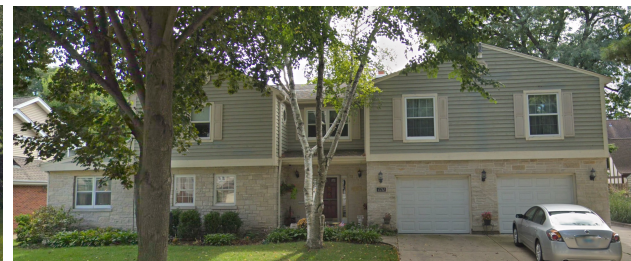


PROPERTY TO RIGHT 3
1216 E WOODFORD PL

E WOODFORD PL



PROPERTY ACROSS 1
1203 E WOODFORD PL



PROPERTY ACROSS 2
1211 E WOODFORD PL



PROPERTY ACROSS 3
1219 E WOODFORD PL



SINCE 1985

**SINGLE FAMILY
HOME
REMOVAL
AND ADDITION**
GOCKENBACH RESIDENCE

**1200 E WOODFORD PL.
ARLINGTON HEIGHTS, IL**

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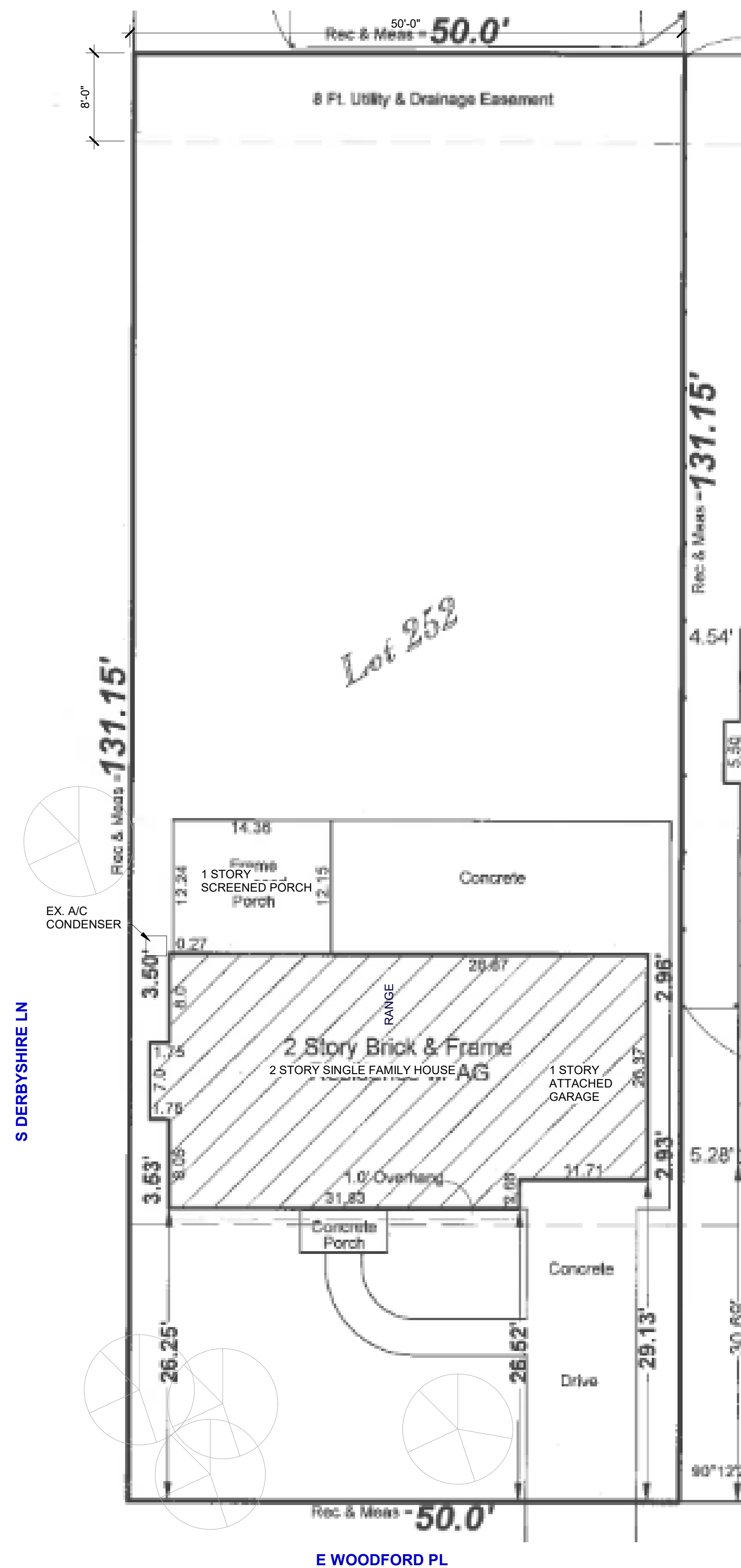
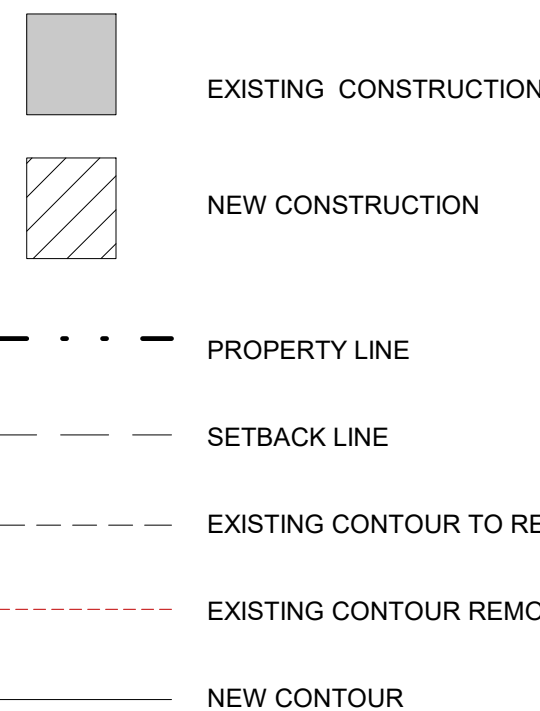
F.

04/03/2020

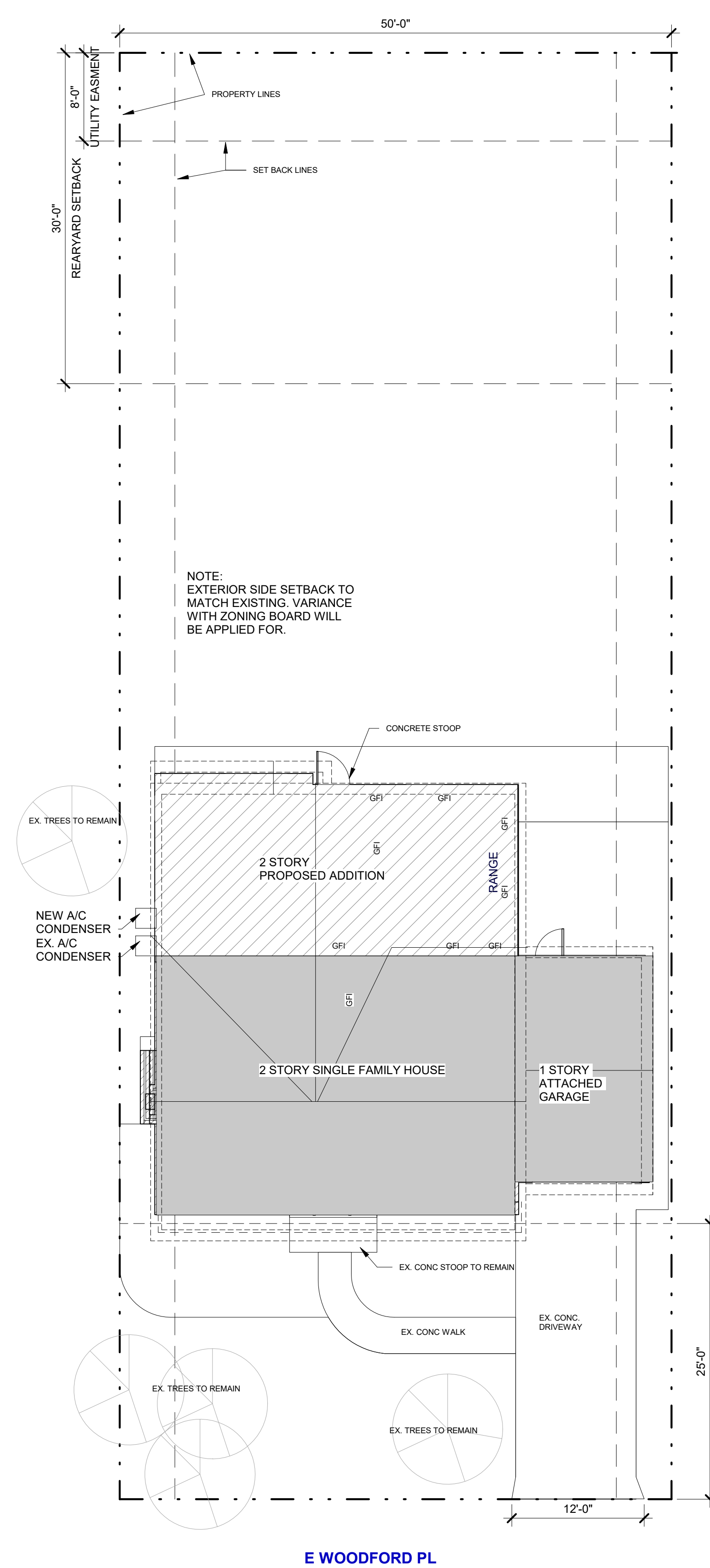
SITE SETBACKS (R-A)	REQUIRED	PROPOSED
FRONTYARD	EX. 25'-0" PLATTED BEFORE 1959	EX. 26'-3"
EXTERIOR SIDE YARD	10% LOT = 5'-0"	EX. 3'-6"
INTERIOR SIDEYARD	10% LOT = 5'-0"	EX. 2'-11"
REARYARD	30'-0"	65'-2"

SITE PLAN LEGEND & NOTES

1. INFORMATION ON THIS DRAWING IS ACCUMULATED FROM EXISTING DOCUMENTATION AND MUST BE CONFIRMED BY THE CONTRACTOR AND COORDINATED WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
2. VERIFY LOCATIONS OF ALL UTILITIES AND OTHER BUILDING SERVICES PRIOR TO EXCAVATION.
3. PROVIDE REQUIRED WORK TO ACCOMMODATE EXISTING UTILITIES OR OTHER BUILDING SERVICES.
4. PROTECT EXISTING LANDSCAPING DURING CONSTRUCTION, TO GREATEST EXTENT POSSIBLE.
5. PROVIDE TEMPORARY CONSTRUCTION/SECURITY FENCING AROUND ALL OPEN EXCAVATIONS; HEIGHT AS REQ'D BY LOCAL CODES.
6. VERIFY LOCATIONS OF ALL MATERIAL STOCKPILES AND DUMPSTER WITH OWNER.
7. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK WITH THE WORK. ANY DISCREPANCIES IN FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.
8. PLEASE NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS.
9. STATE LAW BEING ENFORCED, CALL JULIE 811 OR 1-800-892-0123) FOR LOCATION OF PUBLIC AND PRIVATE UTILITIES AT WORK SITE. 48 HOUR NOTICE IS REQUIRED.
10. ALL TREES ARE TO BE PROTECTED DURING CONSTRUCTION WITH FENCING FOR EVERY 1" OF TREE DIAMETER. MAINTAIN 1'-0" DISTANCE AWAY FROM TREE.
11. CONSTRUCTION DEBRIS AND REFUSE CONTAINMENT SHALL BE REQUIRED FOR ALL JOB SITES. CONTAINMENT SHALL OCCUR ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT & SHALL BE WITHIN A DUMPSTER, STRUCTURE, OR CONTAINER THAT CAN BE COVERED TO PREVENT WINDBLOWN DEBRIS. ALL SUCH DUMPSTER, STRUCTURE OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.
12. ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH NEW SOD ON 6" OF TOPSOIL. ALL SOD SHALL BE WATERED AS REQ'D BY PERMIT.
13. ALL PARKWAY TREES SHALL HAVE A SNOW FENCE THAT EXTENDS TO THE DRIP LINE. NO TRAFFIC SHALL GO OVER THE ROOT SYSTEM. SURFACE DRAINAGE TO BE DIVERTED FROM STRUCTURE SO AS NOT TO CREATE A HAZARD ON THIS OR ADJACENT PROPERTY.
14. STATE FROM FOUNDATION TO DROP A MINIMUM OF 5" IN 10'-0". PROVIDE SWALES OR DRAINS TO ENSURE DRAINAGE FROM STRUCTURE AND ADJACENT PROPERTY.
15. TOILET FACILITIES SHALL BE PROVIDED AT ALL JOB SITES PER ILLINOIS PLUMBING CODE. THIS WILL BE A CONDITION OF THE PERMIT.
16. PROVIDE AND MAINTAIN A 5'-0" HIGH FENCE ALONG THE FULL LENGTH OF INTERIOR SIDE YARDS UNTIL EXTERIOR CONSTRUCTION IS COMPLETE.
17. ERECT PROTECTIVE SNOWFENCE PRIOR TO ANY CONSTRUCTION ACTIVITY TO NO PASSAGE OF ANY EQUIPMENT OR MATERIALS WITHIN THE PROTECTION AREA. REMOVE THE PROTECTIVE SNOW FENCE ONLY AFTER CONSTRUCTION IS COMPLETE.



1 SITE PLAN - EXISTING
A. 1/8" = 1'-0"



2 SITE PLAN - PROPOSED
A. 1/8" = 1'-0"



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**SINGLE FAMILY
HOME REMOVATION
AND ADDITION
GOCKENBACH RESIDENCE
1200 E WOODFORD PL.
ARLINGTON HEIGHTS, IL**

DATE _____

04/03/2020

ISSUE DATE

04-03-2020 DESIGN COMMISSION

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LOCATIONS TO BE VERIFIED.

SHEET TITLE
SITE PLAN

SHEET NUMBER

A.

SINGLE FAMILY

HOME REMOVATION

AND ADDITION

GOCKENBACH RESIDENCE

1200 E WOODFORD PL.

ARLINGTON HEIGHTS, IL

DATE

04/03/2020

ISSUE DATE

04-03-2020 DESIGN COMMISSION

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LOCATIONS TO BE VERIFIED.

SHEET TITLE

EXISTING PLANS AND ELEVATIONS

SHEET NUMBER

C.

SINGLE FAMILY
HOME REMOVAL
AND ADDITION
GOCKENBACH RESIDENCE
1200 E WOODFORD PL.
ARLINGTON HEIGHTS, IL

DATE

04/03/2020

ISSUE DATE

04-03-2020

DESIGN COMMISSION

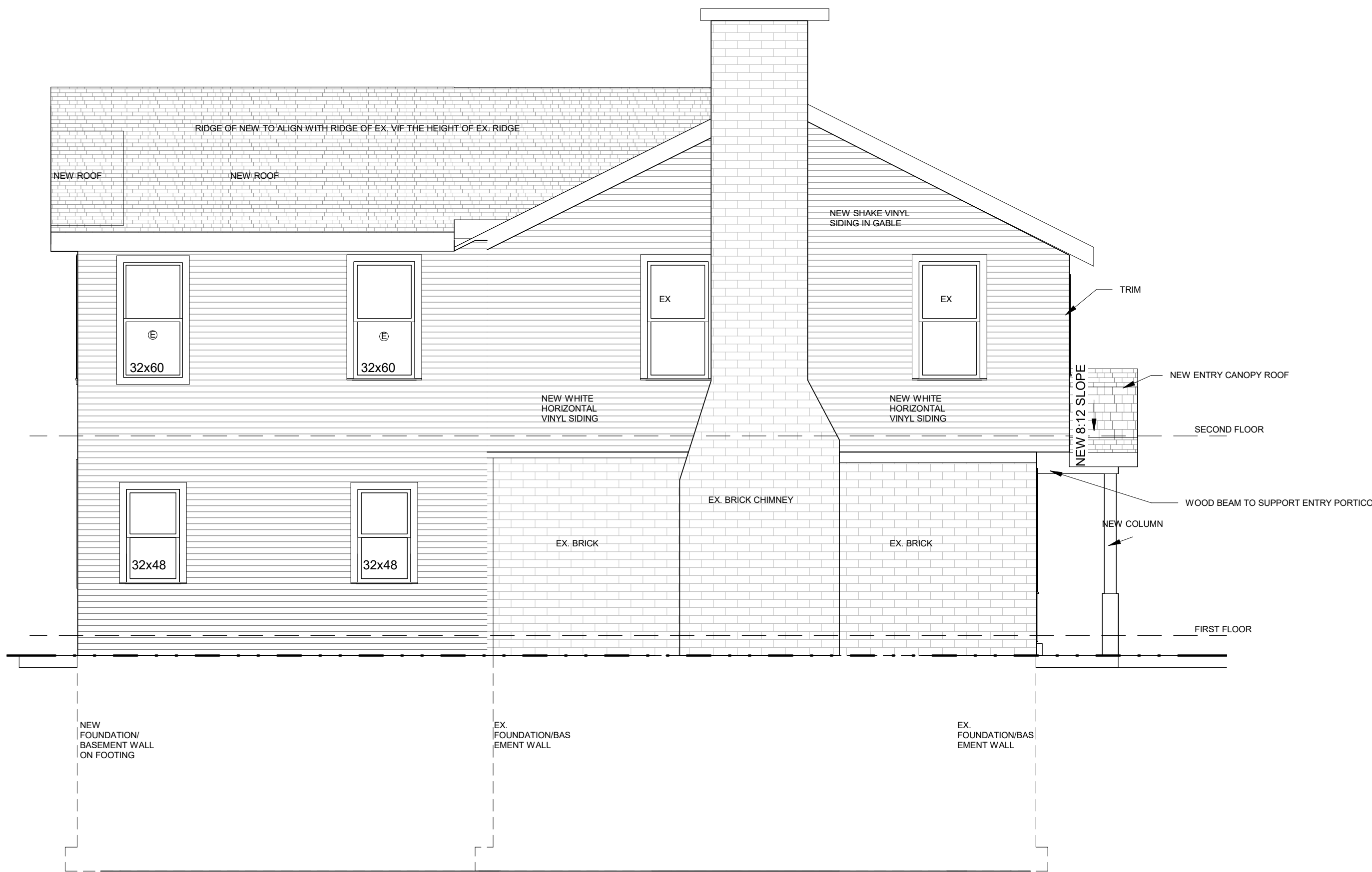
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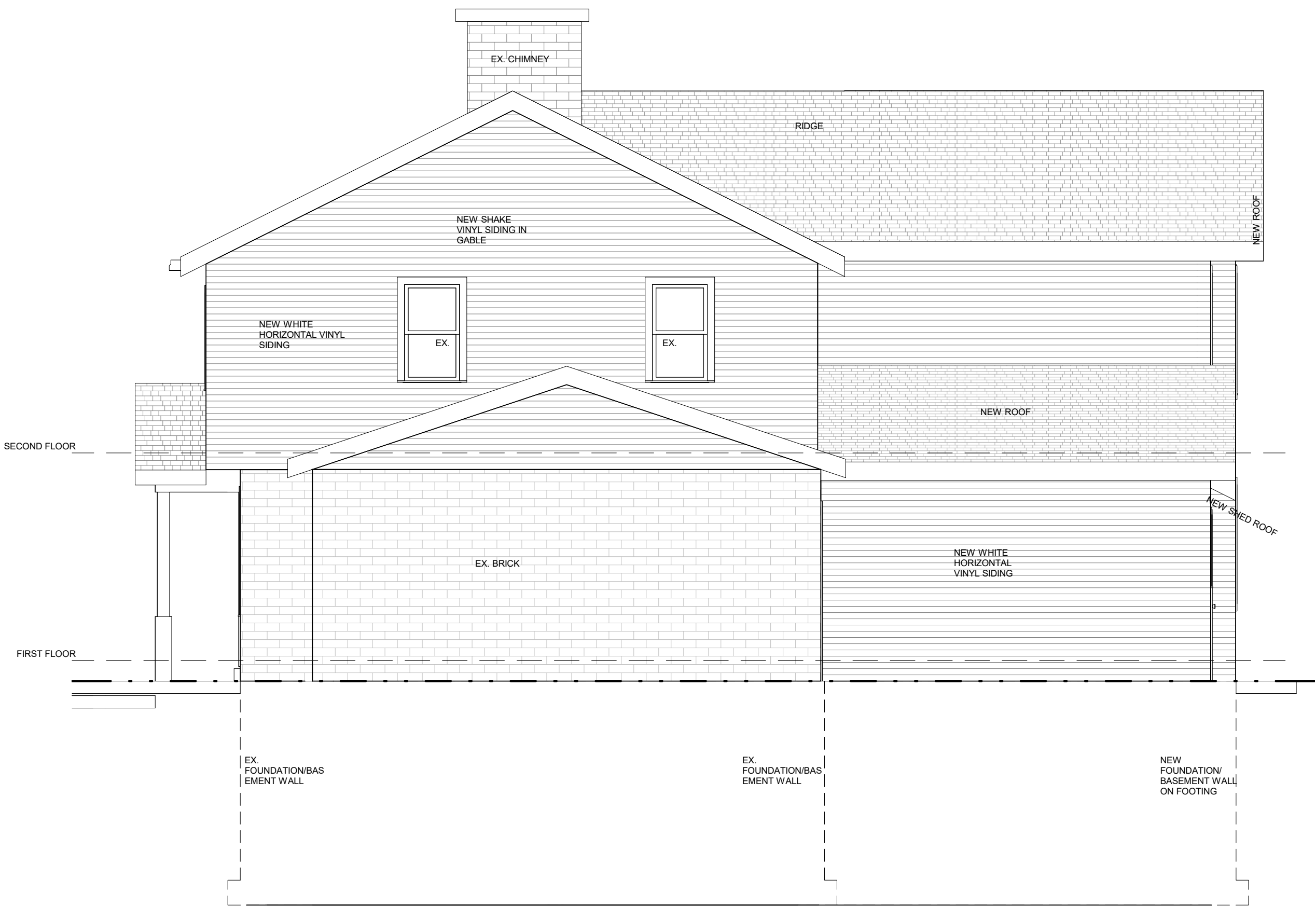
PROPOSED ELEVATIONS

SHEET NUMBER

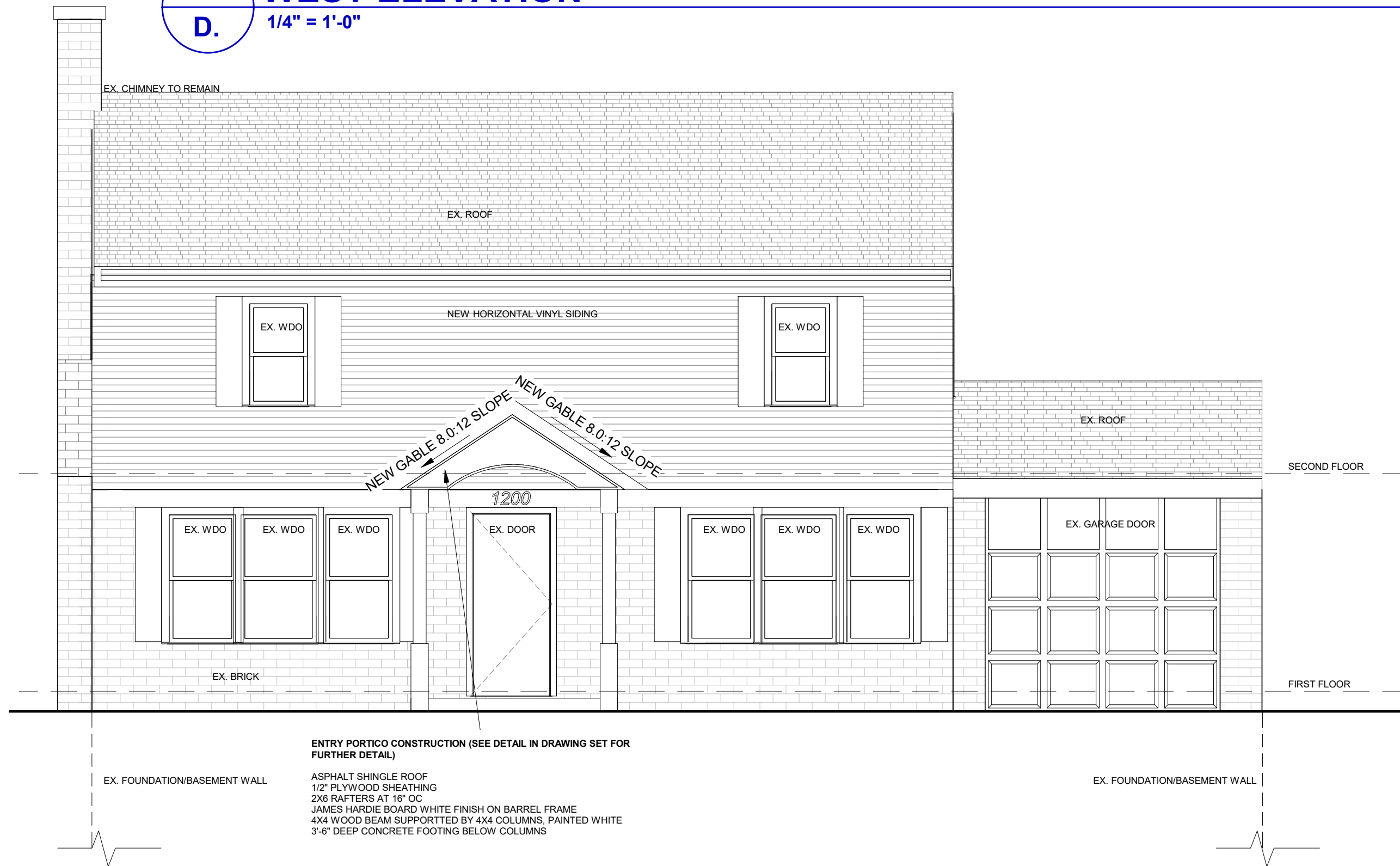
D.



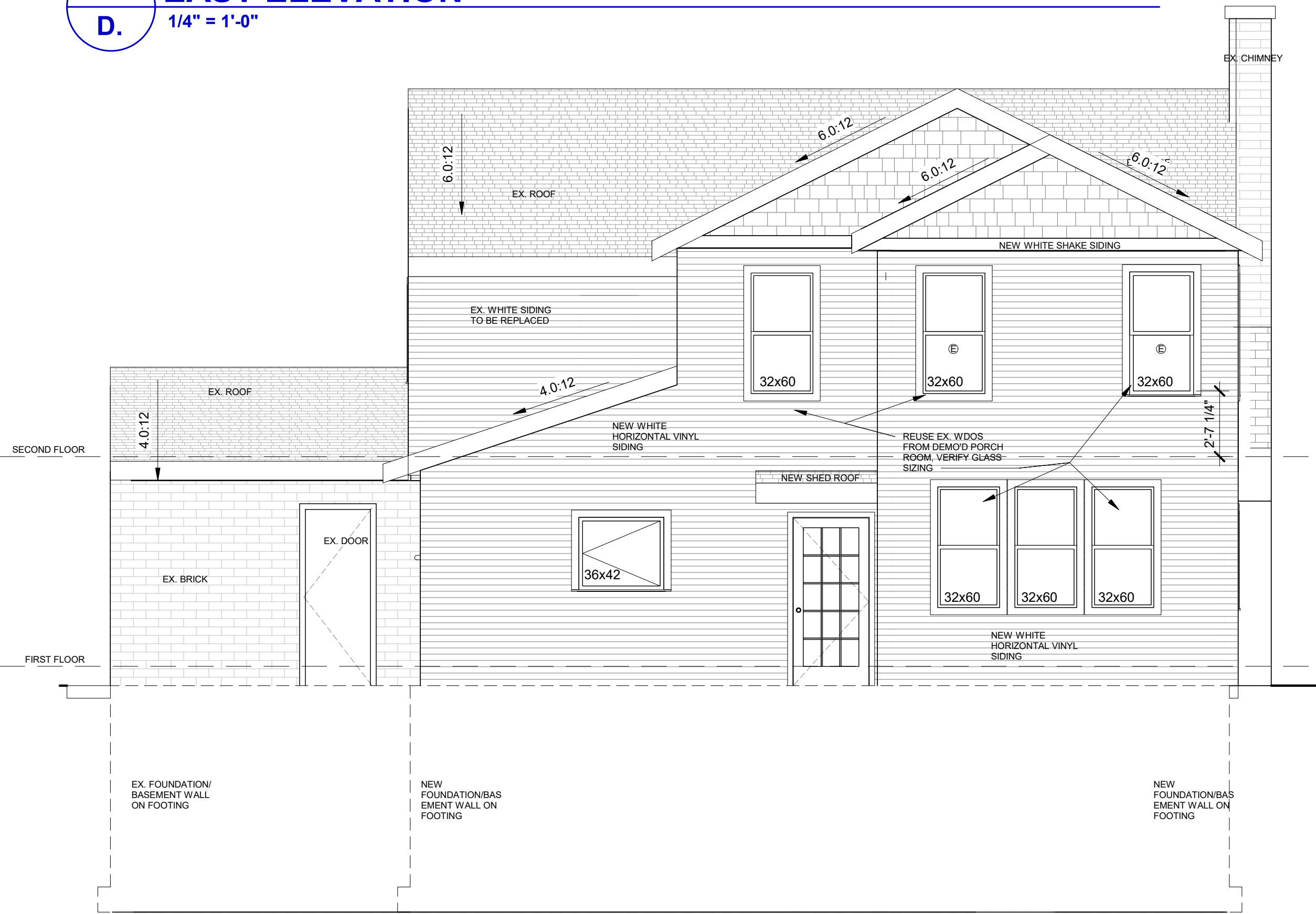
1 WEST ELEVATION
D. 1/4" = 1'-0"



2 EAST ELEVATION
D. 1/4" = 1'-0"



3 SOUTH ELEVATION
D. 1/4" = 1'-0"



4 NORTH ELEVATION
D. 1/4" = 1'-0"

ELEVATION NOTES:

1. WINDOW SIZES BASED ON GLASS SIZES: ROUGH OPENING TO BE VERIFIED IN FIELD W/ CHOSEN WINDOW MANUF. & CONTRACTOR PRIOR TO CONSTRUCTION
2. GLASS SIZES TO BE FOLLOWED AS CLOSE AS POSSIBLE PER DIFFERENT MANUF.
3. BEDROOM WINDOWS TO HAVE EGRESS HARDWARE & FOLLOW EGRESS REQUIREMENTS AS LABELED ON ELEVATIONS.
4. WINDOWS IN WHICH THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" ABOVE THE TOP OF THE FLOOR ARE REQUIRED TO BE TEMPERED.
5. FIELD VERIFY EMERGENCY ESCAPE & RESCUE OPENINGS IN SLEEPING ROOMS
6. EGRESS WINDOW REQUIREMENTS
PROVIDE A NET CLEAR OPENING OF 5.7 SF OR GREATER, ACHIEVED BY SIMPLY OPENING THE WINDOW
A MINIMUM CLEAR WIDTH OF 20"
A MINIMUM CLEAR HEIGHT OF 24"
A SILL HEIGHT OF LESS THAN 44" AFF
ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.32

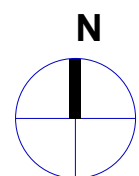
WINDOW LEGEND:
Ⓔ EGRESS WINDOW
Ⓓ TEMPERED GLASS
EX. EXISTING WINDOW TO REMAIN

ELEVATION MATERIALS

LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.	LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.
SIDING (1)		HORIZ VINYL TEXTURED LAP SIDING [WHITE IN COLOR]	LP SMARTSIDE	GUTTERS, DOWNSPOUTS		ALUMINUM [WHITE IN COLOR]	
SIDING (2)		CEDAR TEXTURE SHAKES [WHITE IN COLOR]	LP SMARTSIDE	WINDOWS		VINYL, WHITE (REUSE EX. WHERE POSSIBLE)	
SIDING (3)		EX. BRICK	EX.	DOORS		VERIFY WITH OWNER, WHITE	
ROOFING (1)		ASPHALT SHINGLES [BLACK TO MATCH EX.]	GAF	SOFFIT AND FASCIA		ALUMINUM, WHITE- VENTED	ACM
TRIM AND FASCIA		LP SMARTSIDE TRIM	LP SMARTSIDE				



DATE	
04/03/2020	
ISSUE DATE	
04-03-2020	DESIGN COMMISSION



THESE DRAWINGS ARE NOT FOR
CONSTRUCTION AND ARE FOR CONCEPT
ONLY. DIMENSIONS, HEIGHTS, AND WALL
LOCATIONS TO BE VERIFIED.

SHEET NUMBER

E.

SINGLE FAMILY
HOME REMOVATION
AND ADDITION
GOCKENBACH RESIDENCE
1200 E WOODFORD PL.
ARLINGTON HEIGHTS, IL

DATE

04/03/2020

ISSUE DATE

04-03-2020

DESIGN COMMISSION



105 DERBYSHIRE

PROPERTY TO THE LEFT



1200 E WOODFORD PL

EXISTING HOUSE TO REMAIN, EXISTING 1 STORY ENCLOSED PORCH TO BE DEMOLISHED

1

G.

WEST ELEVATION - EXISTING

1/8" = 1'-0"



105 DERBYSHIRE

PROPERTY TO THE LEFT



1200 E WOODFORD PL

SUBJECT PROPERTY ADDITION

2

G.

WEST ELEVATION

1/8" = 1'-0"

STRUCTURAL

- ALL WALLS WILL BE PROVIDED WITH A DOUBLE TOP PLATE LAPPED AT THE CORNERS.
- CONSTRUCTION LUMBER TO SPF CONSTRUCTION GRADE NO. 2
Fb = 1000 PSI MODULUS OF ELASTICITY 1,100,000
- LUMBER WITH SPANS GREATER THAN 12' TO BE DOUGLAS FIR CONSTRUCTION GRADE NO. 2
Fb = 1200 PSI MODULUS OF ELASTICITY 1,100,000
- ALL BEARING PARTITIONS W/ PIPES LARGER THAN 3/4" AND ALL NON-BEARING PARTITIONS W/ PIPES LARGER THAN 1 1/4" SHALL BE INCREASED TO A MIN. 2X6 STUD WALL TO APPROPRIATELY ACCOMMODATE THE MAX. NOTCHING AND BORING RESTRICTIONS.
- ALL INTERIOR WALL FRAMING, UNLESS OTHERWISE NOTED, TO BE 2 X 4 STUDS @ 16" OC W/ 1/2" DRYWALL EACH SIDE.
- PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS. OPENINGS IN FLOOR CONSTRUCTION SHALL BE FRAMED WITH DOUBLE HEADER AND TRIMMER JOISTS. PROVIDE JOIST HANGERS AS REQUIRED.
- PROVIDE 2 - 2X12 HEADER WITH 1/2" PLYWOOD AND SINGLE CRIPPLE FOR SPENS UP TO 6'. SEE PLAN FOR SPANS GREATER THAN 6'; PROVIDE DOUBLE CRIPPLE FOR SPANS EXCEEDING 6'.
- EXTERIOR OR LOAD BEARING WALLS WITH STUDS DRILLED WITHIN 5/8" OF THE FACE OF THE STUD SHALL BE REINFORCED WITH A STRUCTURAL STUD SHOE. (SECTION R602.6)
- ROOF, FLOOR, AND WALL FRAMING ARE DESIGNED TO MEET THE FOLLOWING DESIGN LOAD CRITERIA:
ROOF - 30 PSF SNOW
FLOOR - 40 PSF LIVE
60 PSF LIVE FOR STAIRWAYS
40 PSF LIVE FOR EXTERIOR DECKS
WALLS - 20 PSF WIND 0'-20' HEIGHT. 25 PSF WIND 21'-29' HEIGHT.
30 PSF WIND 30' HEIGHT AND ABOVE
- ALL RAFTER TIES SHALL BE PROVIDED IN ACCORDANCE WITH 2009 R802.11.1 RESULTING UPLIFT FORCES FROM THE TIES SHALL BE TRANSMITTED TO THE FOUNDATION.
- RIDGE BOARD SHALL BE AT LEAST ONE- INCH (1") NOMINAL THICKNESS & NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. VALLEY & HIP RAFTERS SHALL NOT BE LESS THAN TWO-INCH(2") NOMINAL THICKNESS & NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTERS
- HIP RAFTERS TO BE SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PARTITION OR BE DESIGNED TO CARRY & DISTRIBUTE THE SPECIFIC LOAD AT THAT POINT.
- CUT NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR I-JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED. (SECTION R502.8.2)
- EXTERIOR OR LOAD BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHED MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE 16 GAUGE AND 1 1/2" WIDE FASTENED TO EACH PLATE. (SECTION R602.6.1)

FIRE PROTECTION

- PROVIDE FIRE-BLOCKING CONFORMING TO IRC R602.8
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY. DRAFT STOPPING SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 500 SF OR 25 FT IN ANY HORIZONTAL DIRECTION. DRAFT STOPPING SHALL BE DIVIDED IN EQUAL AREAS.
- FIRESTOPPING TO BE INSTALLED AT ALL PLATE PENETRATIONS, SOFFITS, FURRED SPACES CONCEALED SPACES, ETC. AS PER THE BUILDING CODE.
- FIELD VERIFY CODE COMPLIANT FIRESTOPPING IS PROVIDED AT THE FOLLOWING LOCATIONS
A. CONCEALED SPACES OF STUD WALLS & PARTITIONS. INCLUDING FURRED SPACES, AT THE CEILING & FLOOR LEVEL & AT 10'-0" INTERVALS BOTH HORIZONTAL AND VERTICAL
B. ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILING, ETC.
C. CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
D. OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT THE CEILING AND FLOOR LEVEL. W/OUT NON COMBUSTIBLE MATERIALS.
- WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS LOCATED AS REQUIRED FOR NEW DWELLINGS. (IRC R317.1.1) SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA VICINITYOF BEDROOMS & ON EACH ADDITIONAL STORY INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN SPLIT LEVEL HOMES A SMOKE DETECTOR NED BE INSTALLED ON UPPER LEVEL IF LOWER LEVEL IS LESS THAN FULL STORY BELOW. SMOKE DETECTORS SHALL HAVE BATTERY BACKUP (IRC R317.1) VERIFY EXISTING, ADD AS NEEDED IN SPACES IN AREAS WHERE NO OTHER WORK IS DONE WE WILL CONSIDER USING BATTERY ONLY DEVICES. SMOKE DETECTORS IN EXISTING AREAS ARE NOT TO BE HARDWIRED
- FOAM PLASTIC FINISHES AND CORES SHALL BE IGNITION PROTECTED OR HAVE A FLAME SPREAD RATING OF NOT MORE THAN 75 AND SMOKE-DEVELOPED RATING OF NOT MORE THAN 450 WHEN TESTED IN MAX. THICKNESS INTENDED FOR USE. (IRC R318.1.1) THE APPROVED TESTS: ASTM E 83, FM 4880, UL 41040, ASTM E 152 OR UL 1715, (R318.3)

ENERGY CONSERVATION NOTES:

- A PERMANENT CERTIFICATE SHALL BE POSTED ON A WALL IN THE SPACE WHERE THE FURNACE IS LOCATED. A UTILITY ROOM OR AN APPROVED LOCATION IN THE BUILDING. IT SHALL LIST THE R-VALUES OF INSULATION INSTALLED, U-FACTORS OF GLAZING, DUCT TESTING & BLOWER DOOR RESULTS.

THERMAL AND MOISTURE PROTECTION:

ROOFING:
SHINGLES SHALL COMPLY W/ ASTM D225 OR D3462. PROVIDE NO LESS THAN 4 NON-CORROSIVE FASTENERS PER STRIP. BASE FLASHING TO BE COROSIVE- RESISTANT METAL MIN. .019 INCH THICK OR MINERAL SURFACE ROLL 77#/100 SF. CAP FLASHING TO BE CORROSIVE-RESISTANT METAL MIN. .019 INCH THICK. OPEN VALLEYS TO BE LINED W/ METAL 24" (MIN.) WIDE OR 2 PLIES OR MINERAL SURFACE ROLL 36" (MIN.) WIDE, CLOSE VALLEY THE SAME AS OPEN VALLEY OR ONE PLY MIN. 36" WIDE.

ICE AND WATER SHIELD IS REQUIRED IN ALL VALLEYS AND ON EAVES, A MINIMUM OF 2'-0" BEYOND THE INTERIOR WALL LINE.

R-VALUE SHALL BE INDICATED ON INSULATION OR CERTIFICATION OF THE INSTALLED R-VALUE SHALL BE PROVIDED AT THE JOB SITE BY THE INSULATION INSTALLER.

GLAZING: MAXIMUM ALLOWED GLAZING U FACTOR IS .32 [BTU/HR X FT2 X F] GLAZING U FACTOR SHALL BE SHOWN ON THE WINDOW LABEL DURING INSPECTION.

PROVIDE 3/4" PIPE INSULATION FOR REFRIGERANT PIPING.

ACCESS DOORS FROM CONDITIONED TO UNCONDITIONED SPACE SHALL BE WEATHER-STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO INSULATION ON THE SURROUNDING AREAS.

THE VAPOR BARRIER SHALL BE LAPPED 12 INCHES AND THE SEAMS SEALED WITH COMPATIBLE GLUES.

WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF ONE-INCH (1") SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENT.

AIR BARRIER SHALL BE INSTALLED ON FIREPLACE WALLS AND BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.

FENESTRATIONS SHALL BE LISTED AND LABELED BY THE MANUFACTURER. THE MAX AIR INFILTRATION OF WINDOWS, SKYLIGHTS, AND SLIDING GLASS DOORS IS 0.3 CFM PER SF. MAX AIR INFILTRATION OF SWINGING DOORS IS 0.5 CFM PER SF.

STRUCTURAL STEEL:

ANCHOR RODS (BOLTS) SHALL CONFORM TO ASTM A1554.

STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 OR ASTM A992 WITH 36,000 PSI MINIMUM YIELD STRENGTH.

PIPE COLUMNS SHALL CONFORM TO ASTM A53--GRADE B WITH 35,000 PSI MINIMUM YIELD STRENGTH.

ALL STEEL WORK SHALL BE FABRICATED AND ERECTED TO CONFORM WITH THE LATEST AISC SPECS.

SHOP CONNECTIONS SHALL BE WELDED OR BOLTED; FIELD CONNECTIONS SHALL BE BOLTED.

WELDING SHALL CONFORM TO THE LATEST AMERICAN WELDING SOCIETY SPECS., & MADE WITH A5.1 OR A5.5, E70XXX ELECTRODES & IN ACCORDANCE WITH THE LATEST AWS D1.1 STRUCTURAL WELDING CODE.

ALL WELDERS SHALL BE CERTIFIED BY A LABRATORY OF RECOGNIZED STANDING.

BOLTS SHALL BE 3/4" A325N U.N.O

BOLT HOLES SHALL BE 13/16" U.N.O

THE CONTRACTOR SHALL BRACE VERTICALLY AND/OR HORIZONTALLY, ALL THE CONSTRUCTION WHICH MAY BE UNSTABLE PENDING ITS FINAL INTEGRATION AND/OR INTERACTION WITH ADJACENT ELEMENTS OF PERMANENT CONSTRUCTION, WHICH WOULD ELIMINATE THE NEED FOR INTERIOR BRACING.

THESE DRAWINGS ARE NOT FOR CONSTRUCTION AND ARE FOR CONCEPT ONLY. DIMENSIONS, HEIGHTS, AND WALL LOCATIONS TO BE VERIFIED.

SHEET TITLE

ELEVATION STUDIES

SHEET NUMBER

G.



Windows/Doors



Roof



Shaker
Siding



Horiztonal
Siding



Zoning Board of Appeals 6/8/2020

Item: 1202 W. Marion Rd. - ZBA#20-011

Department: Planning & Community Development

REQUEST

A 6.4 foot variation from Chapter 28, Section 5.1-1.2 (Required Minimum Yards) to allow an addition with a front yard setback of 32.0 feet instead of the required 38.4 feet and an additional 2.1 feet for the eave.

A 3.4 foot variation from Chapter 28, Section 5.1-1.2 (Required Minimum Yards) to allow an addition with a side yard setback of 8.6 feet instead of the required 12.0 feet and an additional 2.1 feet for the eave.

A 3.0 foot variation from Chapter 28, Section 10.2-11.1c (Parking in Yards - Maximum Driveway Width) to allow a driveway that is 35.0 feet in width where code allows a maximum width of 32.0 feet for a three car garage.

ATTACHMENTS:

Description	Type
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: June 8, 2020
Date Prepared: June 1, 2020
Project Title: Santeler Residence
Address: 1202 W Marion Rd.

Background Information

Petition Number: ZBA #20-011
Petitioner: Keith Ginnodo
Address: 33 N. Hickory Ave.
Arlington Heights IL 60004

Existing Zoning: R-1 Single-Family Residential District

Requested Action/Background Information

The subject site is zoned R-1, One Family Dwelling District. The property has a total land area of 26,465 square feet and the proposed residence with the addition will have approximately 3,380 square feet. The petitioner is proposing a one-story code compliant addition in the rear of the home. As part of the project the petitioner is also proposing to expand the existing two car attached garage and create a three car attached garage. The proposed garage addition requires a zoning variation to allow a side yard setback of 8.6 feet, where 12.0 feet is required. In addition, the petitioner is proposing an open porch that has a front yard setback of 32.0 feet where 38.4 feet is required. The petitioner is also requesting a variance for a driveway that is 35 feet wide where 32 feet is the maximum width for a three car garage. Therefore, the petitioner is requesting the following variations:

- A 6.4 foot variation from Chapter 28, Section 5.1-1.2 (Required Minimum Yards) to allow an addition with a front yard setback of 32.0 feet instead of the required 38.4 feet and an additional 2.1 feet for the eave.
- A 3.4 foot variation from Chapter 28, Section 5.1-1.2 (Required Minimum Yards) to allow an addition with a side yard setback of 8.6 feet instead of the required 12.0 feet and an additional 2.1 feet for the eave.
- A 3.0 foot variation from Chapter 28, Section 10.2-11.1c (Parking in Yards - Maximum Driveway Width) to allow a driveway that is 35.0 feet in width where code allows a maximum width of 32.0 feet for a three car garage.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	5/20/20	
2. List of Property Owners Within 250 feet of Subject Property	✓	5/20/20	
3. Letter that was Mailed	✓	5/20/20	
4. Photographs of Sign on Property	✓	5/20/20	

Photographs of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Santeler Residence

Project Address: 1202 W Marion Rd

ZBA #: 20-011

Date: May 20, 2020

Derek:

I have reviewed the request for the following variances:

- A 6.4 foot variation to allow an addition with a front yard setback of 32.0 feet instead of the required 38.4 feet and an additional 2.1 feet for the eave.
- A 3.4 foot variation to allow an addition with a side yard setback of 8.6 feet instead of the required 12.0 feet and an additional 2.1 feet for the eave.
- A 3.0 foot variation to allow a driveway that is 35.0 feet in width where code allows a maximum width of 32.0 feet for a three car garage;

and do not have any comments.

ZBA# 20-0011
1202 W Marion Rd- ZBA
Rev. Eng: Briget Schwab, P.E.
cc: Mike Pagones, P.E. Village Engineer

Application Date: April 10, 2020
Received by Planning:
Transmitted to Engineering: May 19, 2020
Completed: May 20, 2020

The proposed ZBA application indicates that the petitioner is seeking:

A 6.4 foot variation from Chapter 28, Section 5.1-1.2 (Required Minimum Yards) to allow an addition with a front yard setback of 32.0 feet instead of the required 38.4 feet and an additional 2.1 feet for the eave.

A 3.4 foot variation from Chapter 28, Section 5.1-1.2 (Required Minimum Yards) to allow an addition with a side yard setback of 8.6 feet instead of the required 12.0 feet and an additional 2.1 feet for the eave.

A 3.0 foot variation from Chapter 28, Section 10.2-11.1c (Parking in Yards - Maximum Driveway Width) to allow a driveway that is 35.0 feet in width where code allows a maximum width of 32.0 feet for a three car garage.

The Engineering Division has NO OBJECTION on the proposed variances for setbacks and driveway width.

NOTES: There is an existing swale located along the west property line that must be maintained.

--

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Santeler Residence

Project Address: 1202 W. Marion Road

ZBA #: 20-011

ZBA Hearing Date: June 8, 2020

To: Mike Pagones, Village Engineer
Steven Touloumis, Director of Building and Life Safety

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: May 19, 2020

- A 6.4 foot variation from Chapter 28, Section 5.1-1.2 (Required Minimum Yards) to allow an addition with a front yard setback of 32.0 feet instead of the required 38.4 feet and an additional 2.1 feet for the eave.
- A 3.4 foot variation from Chapter 28, Section 5.1-1.2 (Required Minimum Yards) to allow an addition with a side yard setback of 8.6 feet instead of the required 12.0 feet and an additional 2.1 feet for the eave.
- A 3.0 foot variation from Chapter 28, Section 10.2-11.1c (Parking in Yards - Maximum Driveway Width) to allow a driveway that is 35.0 feet in width where code allows a maximum width of 32.0 feet for a three car garage.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

The design of the proposed addition fits with the character of the existing house and neighborhood. It is favorable for an administrative (Staff) design approval, pending the outcome of the ZBA review.

- Steve Hautzinger, Design Planner

Please review, comment, and return to me no later than May 29, 2020.

April 10, 2020

PETITION

1202 West Marion Road, Arlington Heights, Illinois 60004

NOW COMES the Petitioner Keith and Aimee Santeler being the owners of the property commonly known as: 1202 W. Marion Road, Arlington Heights, Illinois 60004 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variance from the Arlington Heights Municipal Code, Chapter 28 Zoning Regulations, Section 5.1-1.2 (Required Minimum Yards) in order: to build a garage that encroaches into the required side yard by 3.4' and a front porch that encroaches into the front yard by 6.3' and any other variations which may be required by the Zoning Board of Appeals.

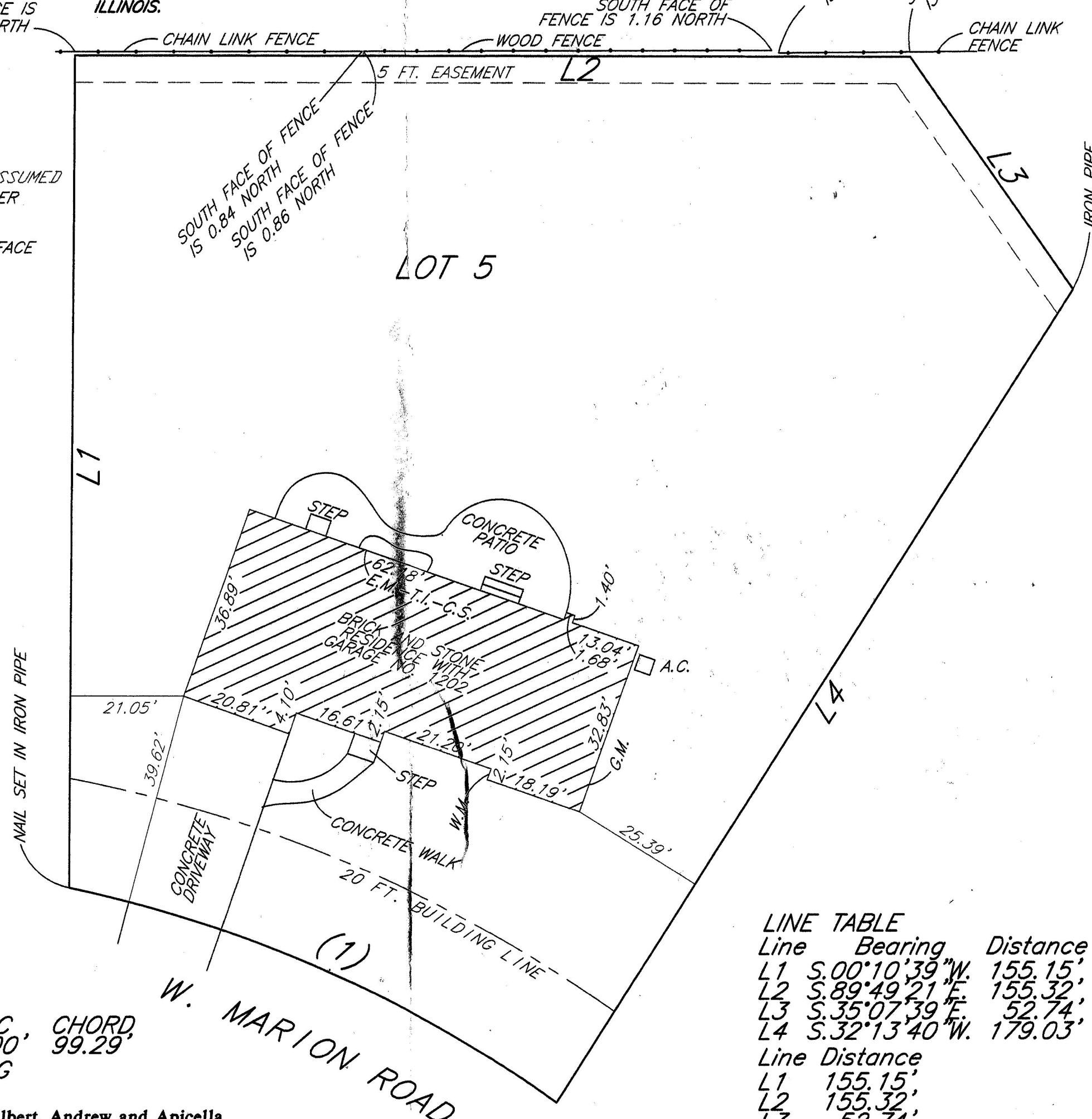
I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with the existing uses and zoning of nearby property if the variations were granted: The proposed front porch will be the new focal point of the front elevation in lieu of the existing garage. The garage extension is set back from the existing garage and is balanced in size and form to the existing garage.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned: The front porch allows the front door to be the celebrated front entry of the home without taking away from the existing small interior entry. The resulting front set back of 32' remains gracious.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter: The garage and front porch are in keeping with the style of the house and allows the Owners to remain in their home while taking full advantage of their home.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property: The garage is designed to the Village ordinances while allowing proper circulation into the new garage door. The size of the front porch is the appropriate sizing for the function of the entry and front porch. 5.1-1.2

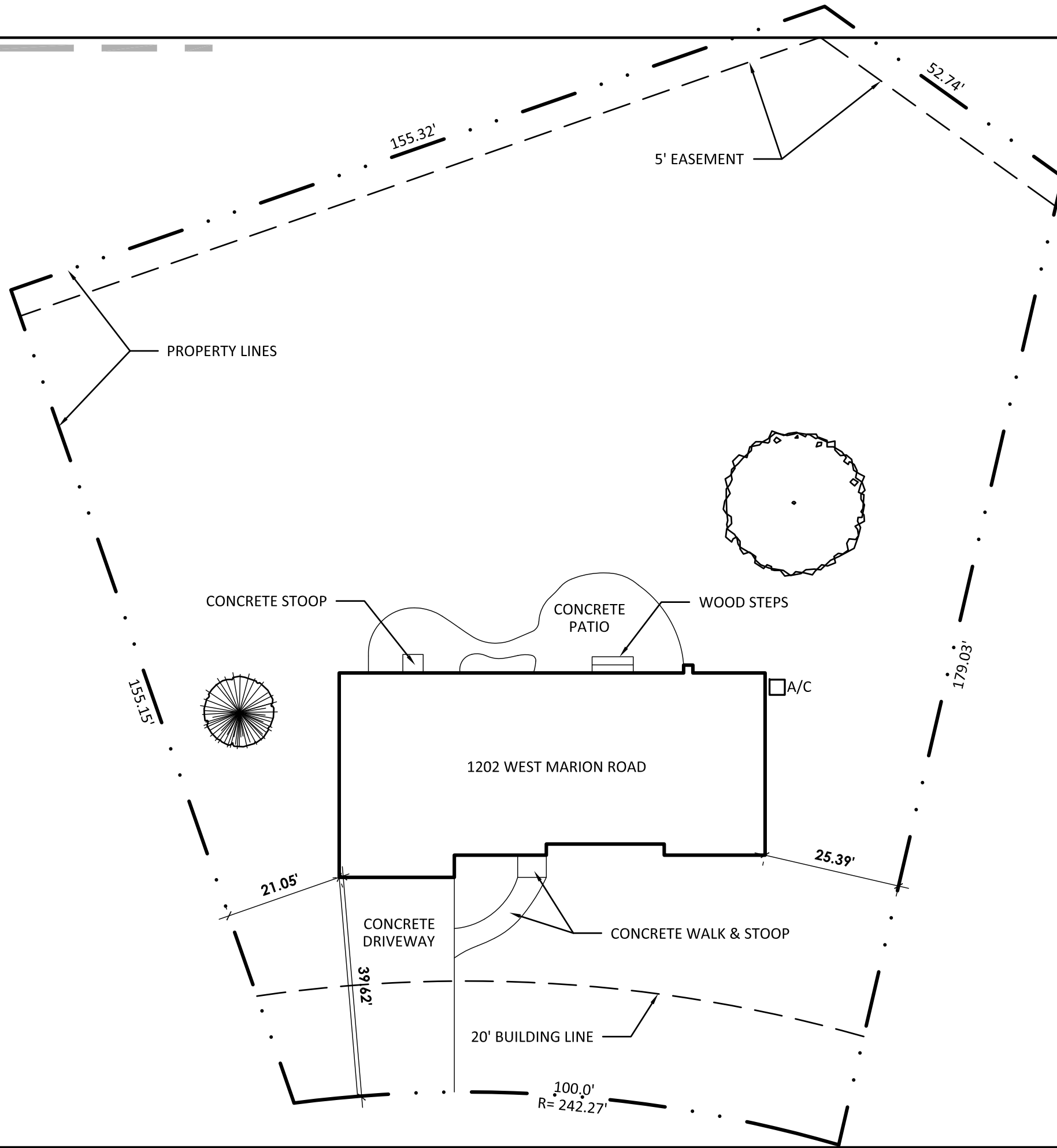
Signed: (petitioner)   date: 4/10/2020



State of Illinois)

LINE TABLE		
Line	Bearing	Distance
L1	S. 00° 10' 39" W.	155.15'
L2	S. 89° 49' 21" E.	155.32'
L3	S. 35° 07' 39" E.	52.74'
L4	S. 32° 13' 40" W.	179.03'

Line	Distance
L1	155.15'
L2	155.32'
L3	52.74'
L4	179.03'



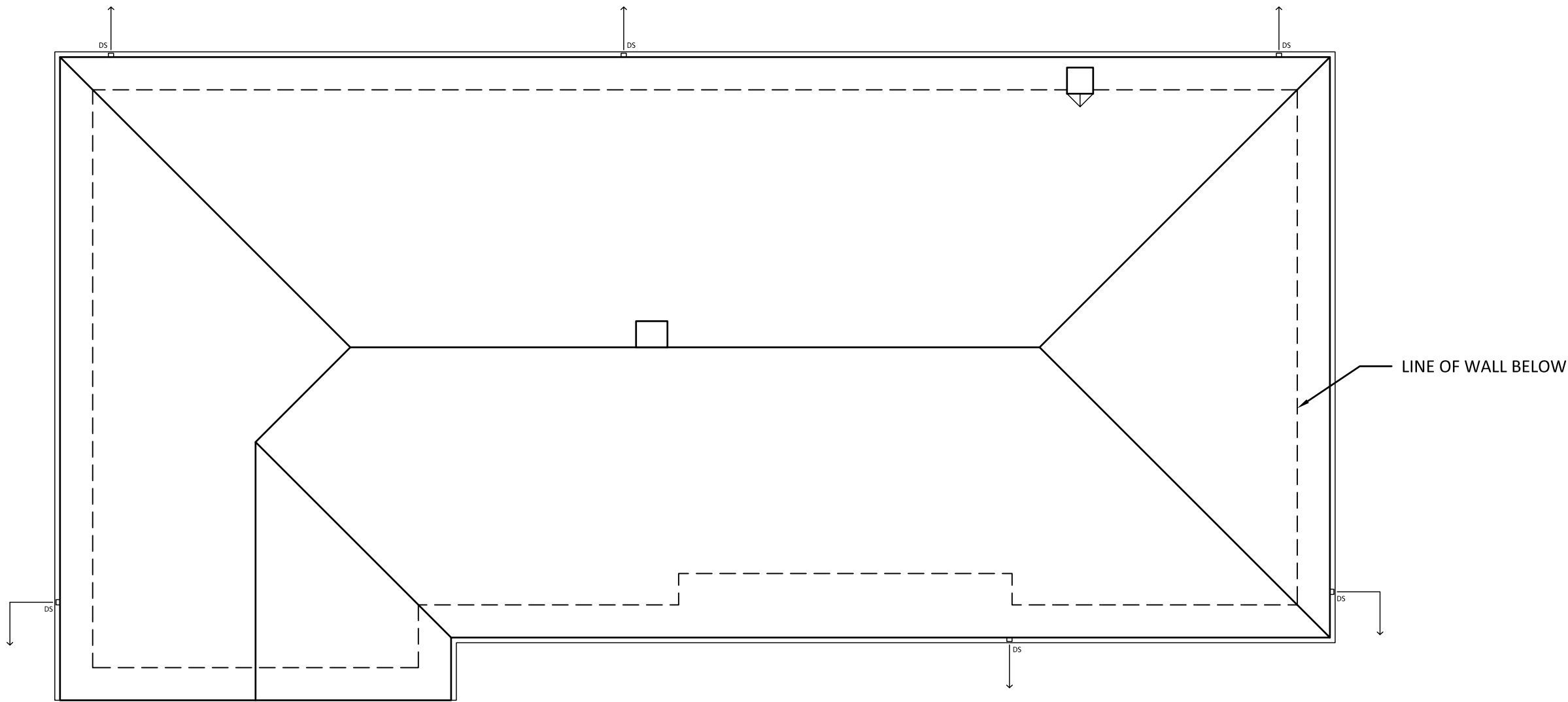
DRAWING INDEX	
EX0	EXISTING SITE PLAN
EX1	EXISTING BASEMENT PLAN
EX2	EXISTING FIRST FLOOR PLAN
EX4	EXISTING ROOF PLAN
EX5	EXISTING SOUTH ELEVATION
EX6	EXISTING WEST ELEVATION
EX7	EXISTING NORTH ELEVATION
EX8	EXISTING EAST ELEVATION

1

EXISTING SITE PLAN

1" = 20'-0"





1 EXISTING ROOF PLAN
1/8" = 1'-0"



KEITH AND AIMEE SANTELER
1202 WEST MARION ROAD, ARLINGTON HEIGHTS, IL 60004





1 **EXISTING SOUTH ELEVATION**
1/8" = 1'-0"

KEITH AND AIMEE SANTELER
1202 WEST MARION ROAD, ARLINGTON HEIGHTS, IL 60004

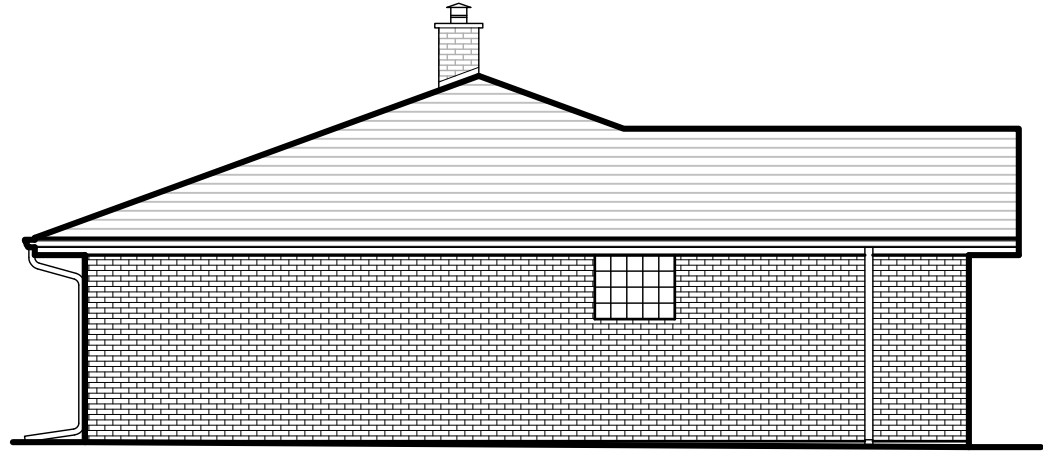


KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV. ARLINGTON HTS. IL 60004

EX5

2.19.20

© KINGSLEY + GINNODO ARCHITECTS



1 EXISTING WEST ELEVATION
1/8" = 1'-0"

KEITH AND AIMEE SANTELER
1202 WEST MARION ROAD, ARLINGTON HEIGHTS, IL 60004

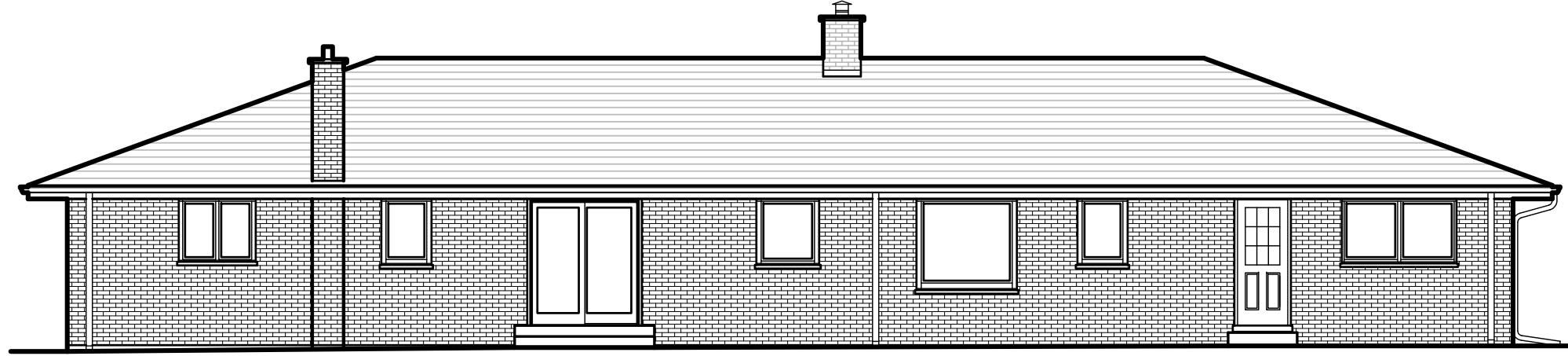


KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV. ARLINGTON HTS. IL 60004

EX6

2.19.20

© KINGSLEY + GINNODO ARCHITECTS



1 **EXISTING NORTH ELEVATION**
1/8" = 1'-0"

KEITH AND AIMEE SANTELER
1202 WEST MARION ROAD, ARLINGTON HEIGHTS, IL 60004



KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV. ARLINGTON HTS. IL 60004

EX7

2.19.20

© KINGSLEY + GINNODO ARCHITECTS



1 **EXISTING EAST ELEVATION**
1/8" = 1'-0"

KEITH AND AIMEE SANTELER
1202 WEST MARION ROAD, ARLINGTON HEIGHTS, IL 60004



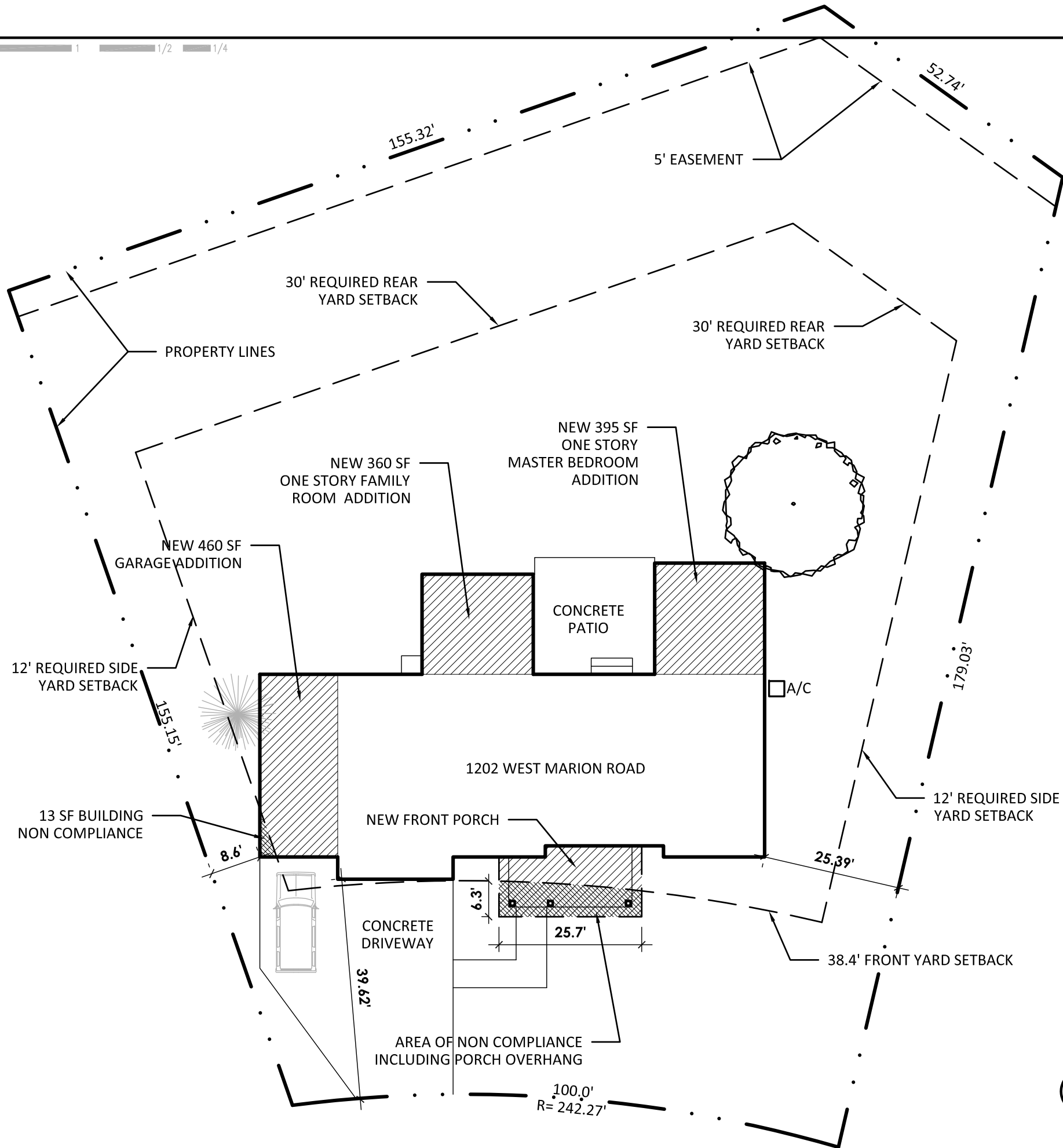
KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV. ARLINGTON HTS. IL 60004

EX8

2.19.20

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1 1/2 1/4

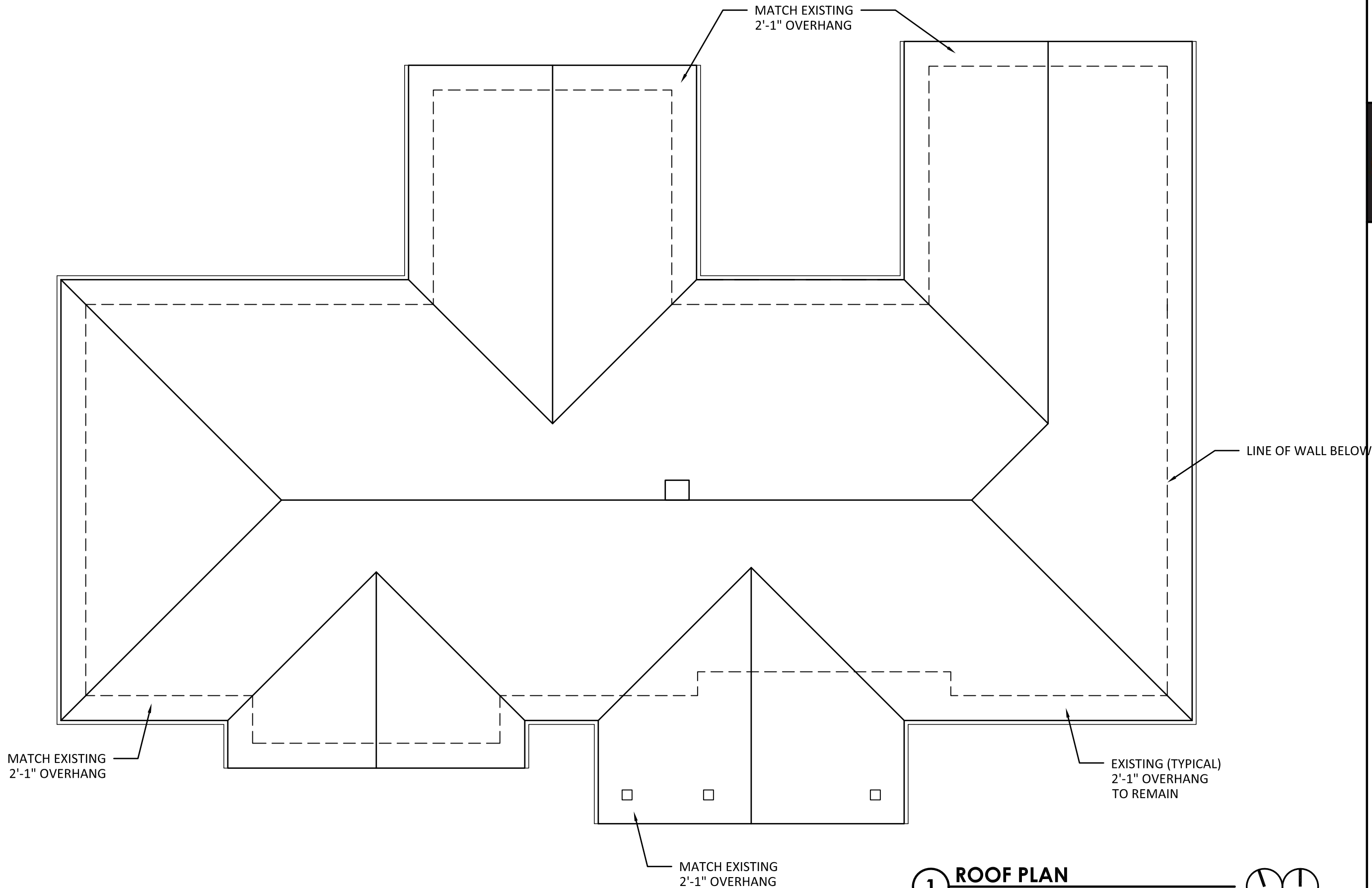


FRONT YARD SETBACKS	
ADDRESS	SETBACK
1106 W. MARION	31'
1110 W. MARION	42'
1118 W. MARION	40'
1202 W. MARION	39'
1212 W. MARION	40'
192'/5 HOUSES	= 38.4'
ESTABLISHED FRONT YARD SET BACK = 38.4'	

1 SITE PLAN 1" = 20'-0"

KEITH AND AIMEE SANTELER
1202 WEST MARION ROAD, ARLINGTON HEIGHTS, IL 60004

1 1/2 1/4



1 ROOF PLAN
1/8" = 1'-0"



KEITH AND AIMEE SANTELER
1202 WEST MARION ROAD, ARLINGTON HEIGHTS, IL 60004



KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV. ARLINGTON HTS. IL 60004

4-10-20
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A4

1 1/2 1/4

NEW ASPHALT SHINGLES TO
MATCH EXISTING

EXISTING ROOFING
TO REMAIN

NEW FIBER CEMENT SIDING,
TRIM, AND CORNER BOARDS

1 SOUTH ELEVATION
1/8" = 1'-0"

STONE BASE TO MATCH
EXISTING STONE

EXISTING BRICK AND STONE
TO REMAIN

NEW FIBER CEMENT SIDING,
TRIM, AND CORNER BOARDS

2 NORTH ELEVATION
1/8" = 1'-0"

EXISTING BRICK TO REMAIN

NEW ASPHALT SHINGLES TO
MATCH EXISTING

NEW MARVIN WINDOWS
BRONZE TO MATCH EXISTING

NEW FIBER CEMENT SIDING,
TRIM, AND CORNER BOARDS

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333 N HICKORY AV. ARLINGTON HTS. IL 60004

A5

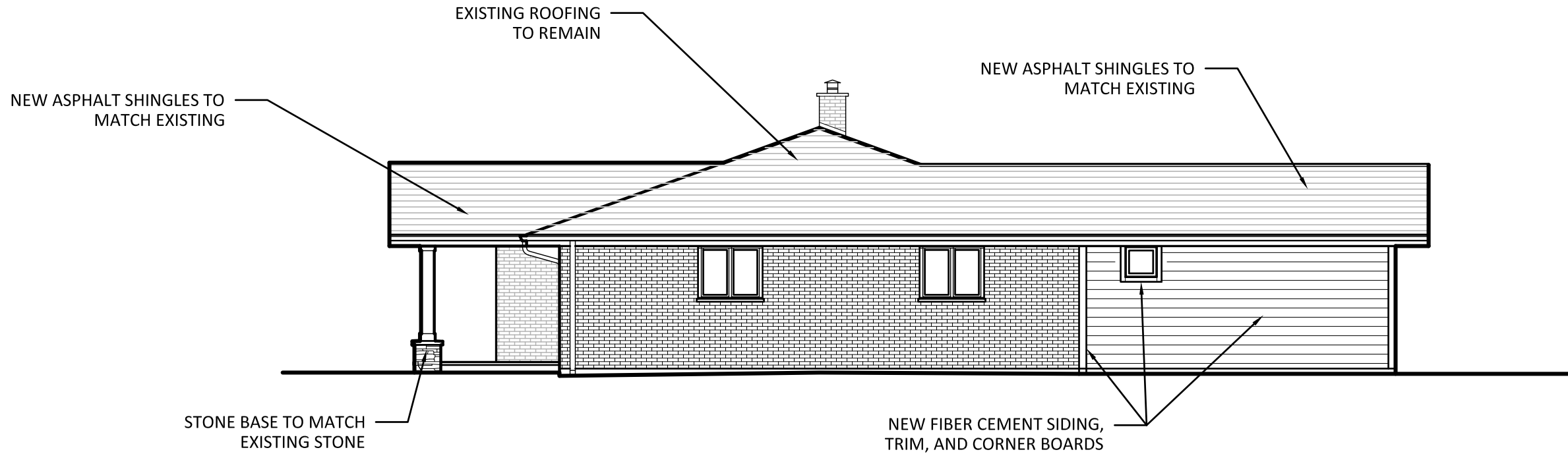
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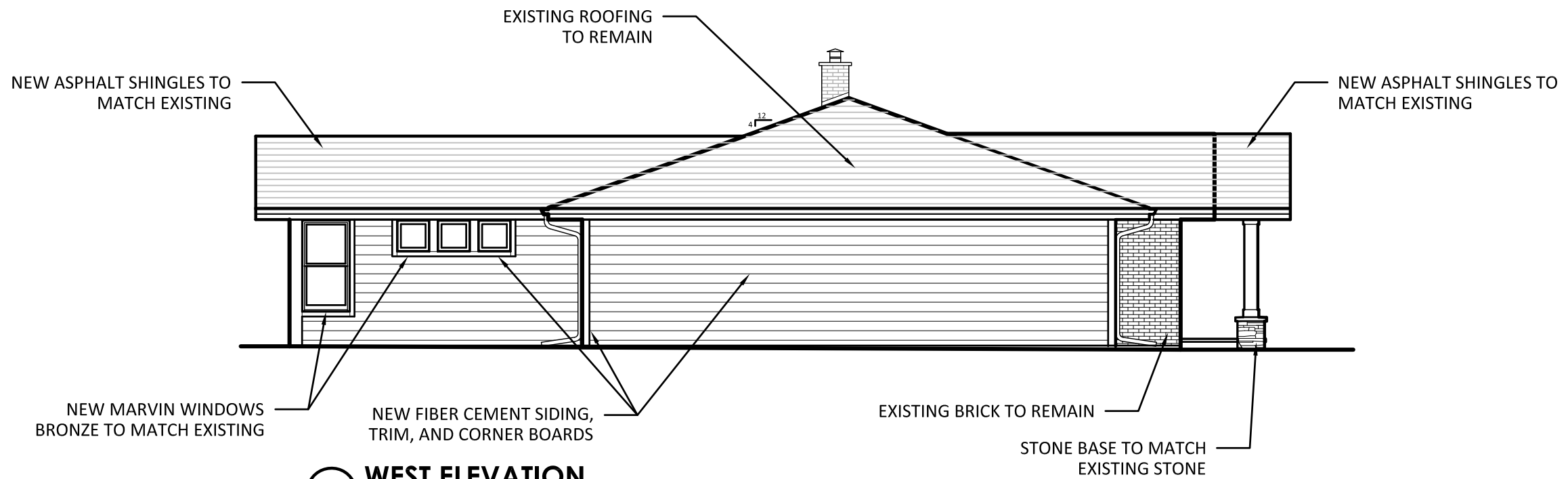


KEITH AND AIMEE SANTELER
1202 WEST MARION ROAD, ARLINGTON HEIGHTS, IL 60004

1 1/2 1/4



2 EAST ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"

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33 N HICKORY AV. ARLINGTON HTS. IL 60004



A6

4.10.20
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KEITH AND AIMEE SANTELER
1202 WEST MARION ROAD, ARLINGTON HEIGHTS, IL 60004



**Zoning Board of Appeals
6/8/2020**

Item: 1722 N. Dover Ln. - ZBA#20-013

Department: Planning & Community Development

REQUEST

A 541 square-foot variation from Chapter 28, Section 5.1-3.3a (Maximum Floor Area Ratio) to allow a home with a floor area of 4,673 square feet where 4,132 square feet is the maximum allowed.

ATTACHMENTS:

Description

Supporting Documents

Type

Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: June 8, 2020
Date Prepared: June 1, 2020
Project Title: Cuevas Residence
Address: 1722 N. Dover Lane

Background Information

Petition Number: ZBA #20-013
Petitioner: Zach Zielinski
Address: 575 S. Arthur Lane
Arlington Heights IL 60004

Existing Zoning: R-3 Single-Family Residential District

Requested Action/Background Information

The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 9,235 square feet. The petitioner is proposing a one-story 182 square foot sunroom addition in the rear of the home. The existing home exceeds the allowable floor area ratio and with the proposed sunroom, the petitioner requires the following variation:

- A 541 square-foot variation from Chapter 28, Section 5.1-3.3a (Maximum Floor Area Ratio) to allow a home with a floor area of 4,673 square feet where 4,132 square feet is the maximum allowed.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

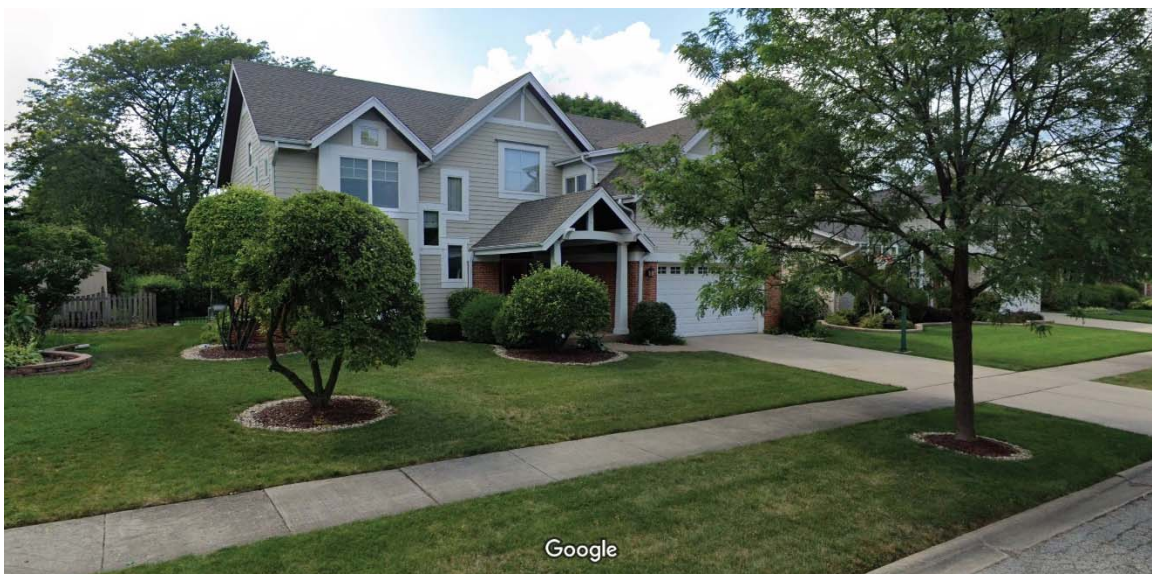
Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	5/22/20	
2. List of Property Owners Within 250 feet of Subject Property	✓	5/22/20	
3. Letter that was Mailed	✓	5/22/20	
4. Photographs of Sign on Property	✓	5/22/20	

Photographs of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Cuveas Residence

Project Address: 1722 N Dover Ln

ZBA #: 20-013

Date: May 20, 2020

Derek:

I have reviewed the request for a 541 square-foot variance to allow a home with a floor area of 4,673 square feet where 4,132 square feet is the maximum allowed, and do not have any comments.

ZBA# 20-013
1722 N Dover Lane- ZBA
Rev. Eng: Briget Schwab, P.E.
cc: Mike Pagones, P.E. Village Engineer

Application Date: April 7, 2020
Received by Planning:
Transmitted to Engineering: May 19, 2020
Completed: May 20, 2020

The proposed ZBA application indicates that the petitioner is seeking:

A 541 square-foot variation from Chapter 28, Section 5.1-3.3a (Maximum Floor Area Ratio) to allow a home with a floor area of 4,673 square feet where 4,132 square feet is the maximum allowed.

The Engineering Division has NO OBJECTION on the proposed variances for maximum floor area ratio.

NOTES:

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PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Cuveas Residence

Project Address: 1722 N. Dover Lane

ZBA #: 20-013

ZBA Hearing Date: June 8, 2020

To: Mike Pagones, Village Engineer
Steven Touloumis, Director of Building and Life Safety

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: May 19, 2020

- A 541 square-foot variation from Chapter 28, Section 5.1-3.3a (Maximum Floor Area Ratio) to allow a home with a floor area of 4,673 square feet where 4,132 square feet is the maximum allowed.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

Staff does not object to the design of the proposed sunroom, which is relatively small and concealed from view on the back of the house. -

- Steve Hautzinger, Design Planner -

Please review, comment, and return to me no later than May 29, 2020.

PETITION

PETITION

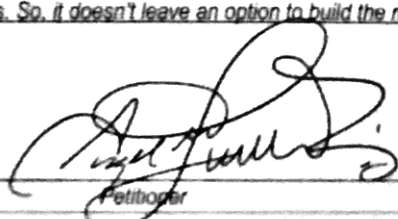
NOW COMES the Petitioner Manuel Cuevas *(full legal name Angel M. Cuevas-Torres)*
being the owner of the property commonly known as: 1722 N Dover Ln
and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.3
Chapter 28, of the Arlington Heights Municipal Code, in order to: Construct a 14x13 3-season room in the back of
our home.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): It will not alter the character of the neighborhood and will be compatible with existing uses since it is merely a minor addition.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): The house as it is currently built is already over the maximum building size which would not allow any addition of any size to be built. When purchasing the house, this was not an issue that was brought up.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): The proposed variation is in harmony with the spirit and intent of this chapter.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): It is the minimum variance necessary, this is because since the building was built over the maximum building size as is. So, it doesn't leave an option to build the room a different size.

Signed: 
Petitioner

Date: 4-7-2020

T.K.D. Land Surveyors, Inc.

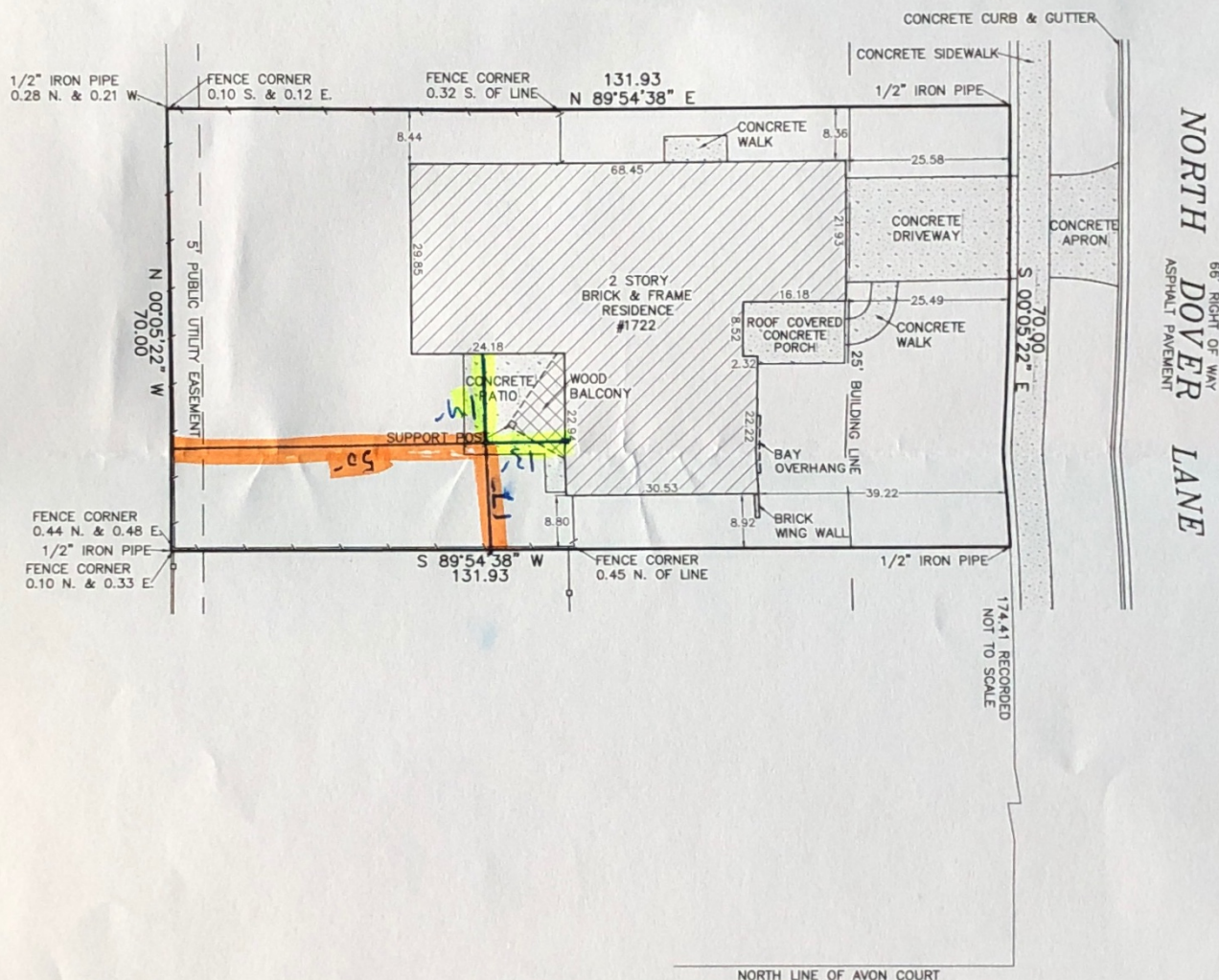
P.O. Box 212, South Elgin, Illinois 60177
Phone: (847) 997-9292
tkdlandsurveyors@aol.net

PLAT OF SURVEY OF

LOT 14 IN I. SIMON & SONS FIRST ADDITION TO ARLINGTON TERRACE UNIT NO. 3 IN THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

Proposed Sunroom
Setbacks

BASIS OF BEARING
(ASSUMED)



LEGEND

- WOOD FENCE
- METAL FENCE

MEASURED LOT AREA = 9,235 SQ. FT. (0.212 ACRES)

- All dimensions shown are given in feet & decimal parts thereof
- No angles or distances are to be assumed by scaling
- Legal description, building lines and easements are taken from recorded subdivision plat and/or other available documentation. Refer to title policy, deed or local jurisdiction for building setbacks and easements not shown hereon and report any discrepancies.

Scale: 1" = 20'
Order # 20-089
Address: 1722 N. Dover Ln.
Arlington Heights, IL 60004
P.I.N. 03-21-116-005-0000
Ordered by: Envy Home Services

THIS SURVEY IS VALID ONLY WITH EMBOSSING SEAL



STATE OF ILLINOIS } ss.
COUNTY OF KANE }

I, Keith E. DeLaney, an Illinois Professional Land Surveyor do hereby certify that I have surveyed the above described property, and that the above plat is a correct representation of said survey.

Lic. Exp. 11-30-20

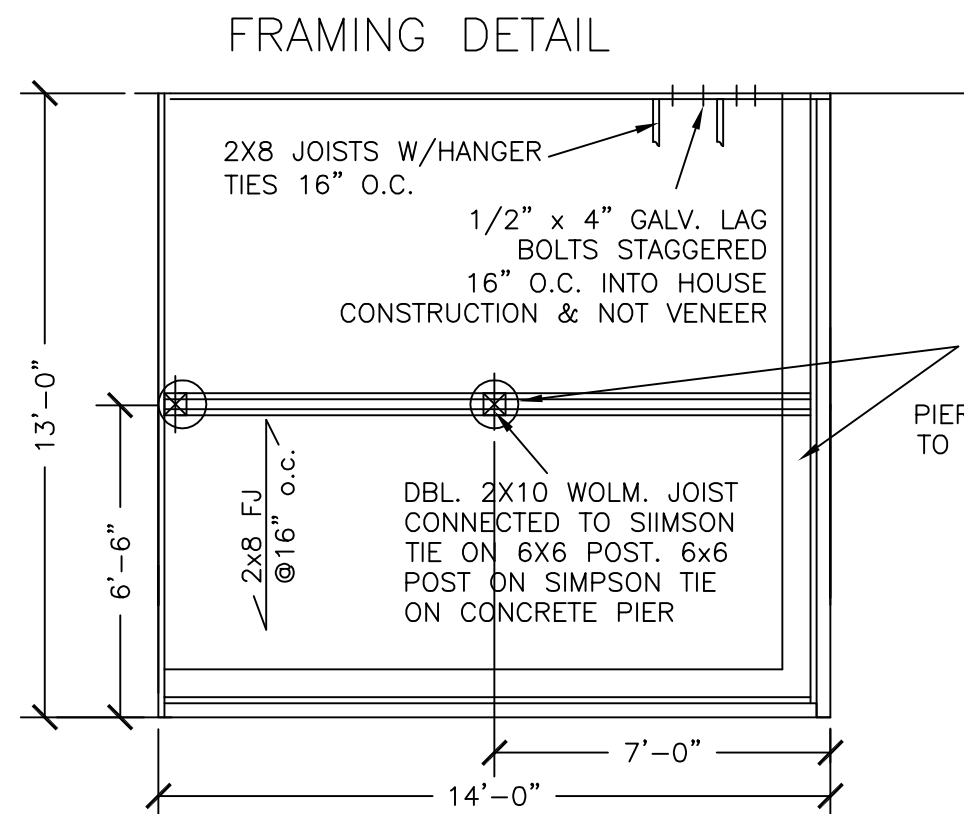
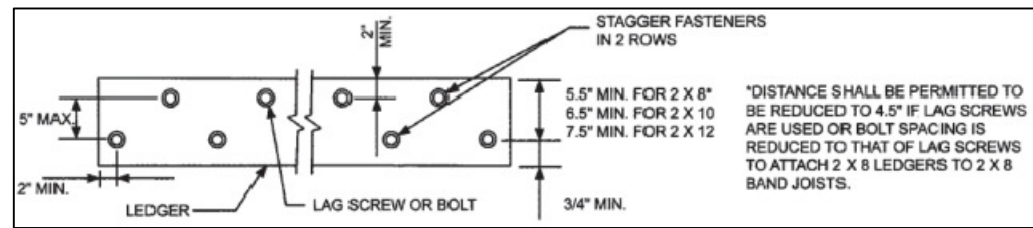
Keith E. DeLaney, Illinois P.L.S. #035-003385

Dated: February 27, 2020

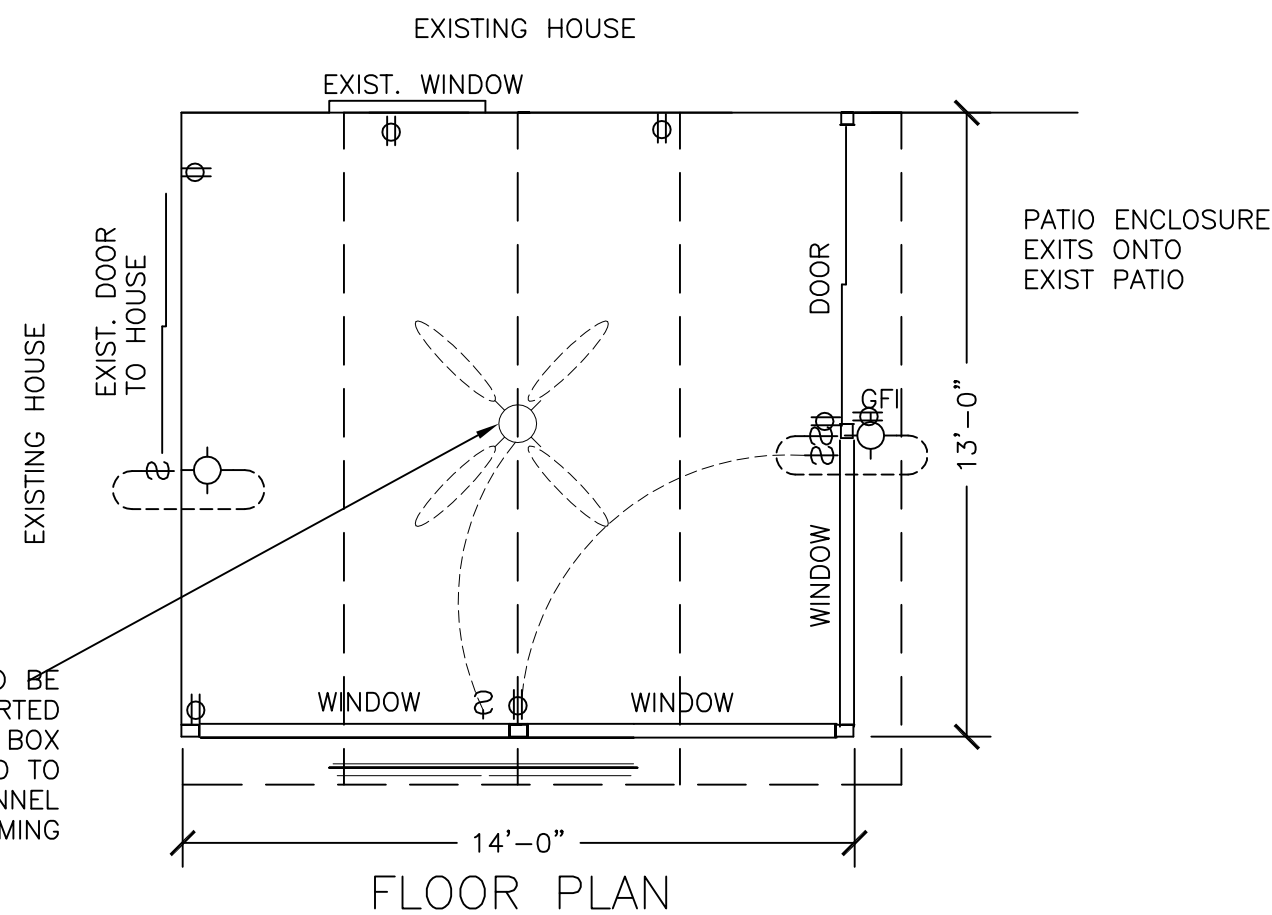
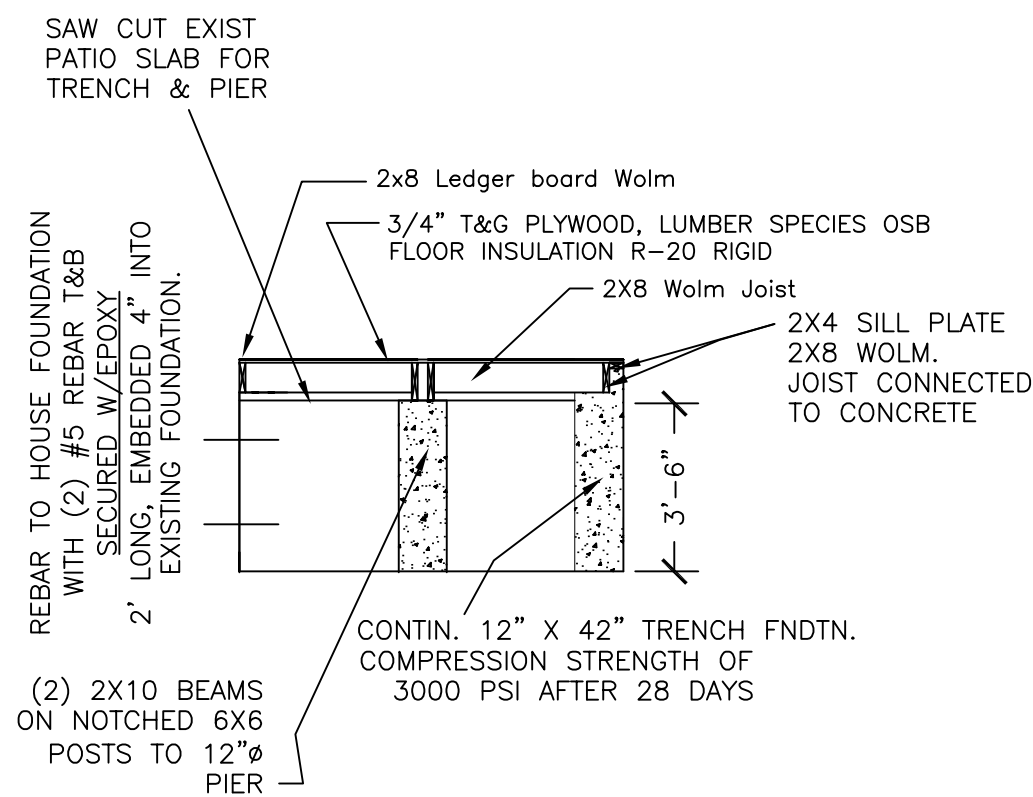
Field work completed: February 27, 2020

Professional Design Firm Lic. No. 184.005204

This professional service conforms to the current Illinois minimum standards for a boundary survey.



NOTE:
REMOVE 2ND STORY DECK AND INSTALL RAILING BY PATIO DOOR. SEE MFR. SHOP DRWGS FOR ALL CONNECTIONS & SPECS. ALL WORK TO CONFORM TO 09 IRC, 09 IFC, 09 IMC, 09 IPMC, 05 NEC, 15 IECC & VILLAGE AMENDMENTS. UNCONDITIONAL SPACE. ELECTRIC TO CODE, AS SHOWN, EMT CONDUIT, WITH NEW 110 VOLT CIRCUIT, 15 AMP, 14 GAGE WIRE IN IN CONDUIT AND APPROVED ELECTRICAL CONDUIT BOXES. RECEPTACLES SHALL BE GFI PROTECTED AND TAMPER RESISTANT. ALL GLASS IS SAFETY TEMPERED AND SHALL BE PERMANETLY ETCHED FOR VERIFICATION, .24 U-FACTOR, LOWE ARGON GLASS W/SCREENS. WALL WIND RATING, 90 MPH 3 SECOND GUST. MFR CUT SHEETS WILL BE PROVIDED FOR WINDOW AND DOOR PANELS. ONE OPEN SPACE IS REQUIRED IN THE SERVICE PANEL FOR FUTURE EXPANSION AFTER PROJECT IS COMPLETED. WALL WIND RATING, 90 MPH 3 SEC. GUST.



I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE CONFORM TO THE BUILDING CODE OF THE CITY OF ARLINGTON HTS

R. DONALD JOHNSON ARCHITECT
(EXPIRES: 11/30/2020)

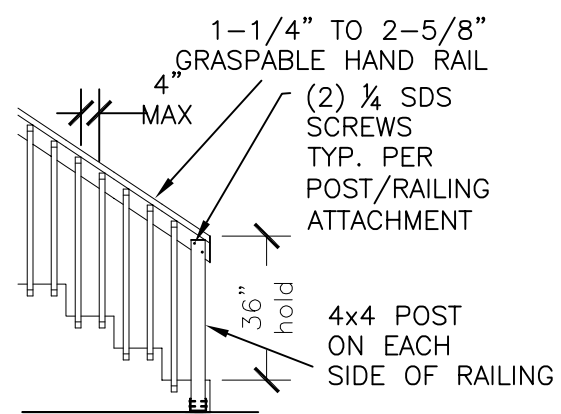
SCALE 1/4"=1'-0" DATE: 2/15/20 DRAWN BY: CDS ENGINEERING

REV	DESCRIPTION

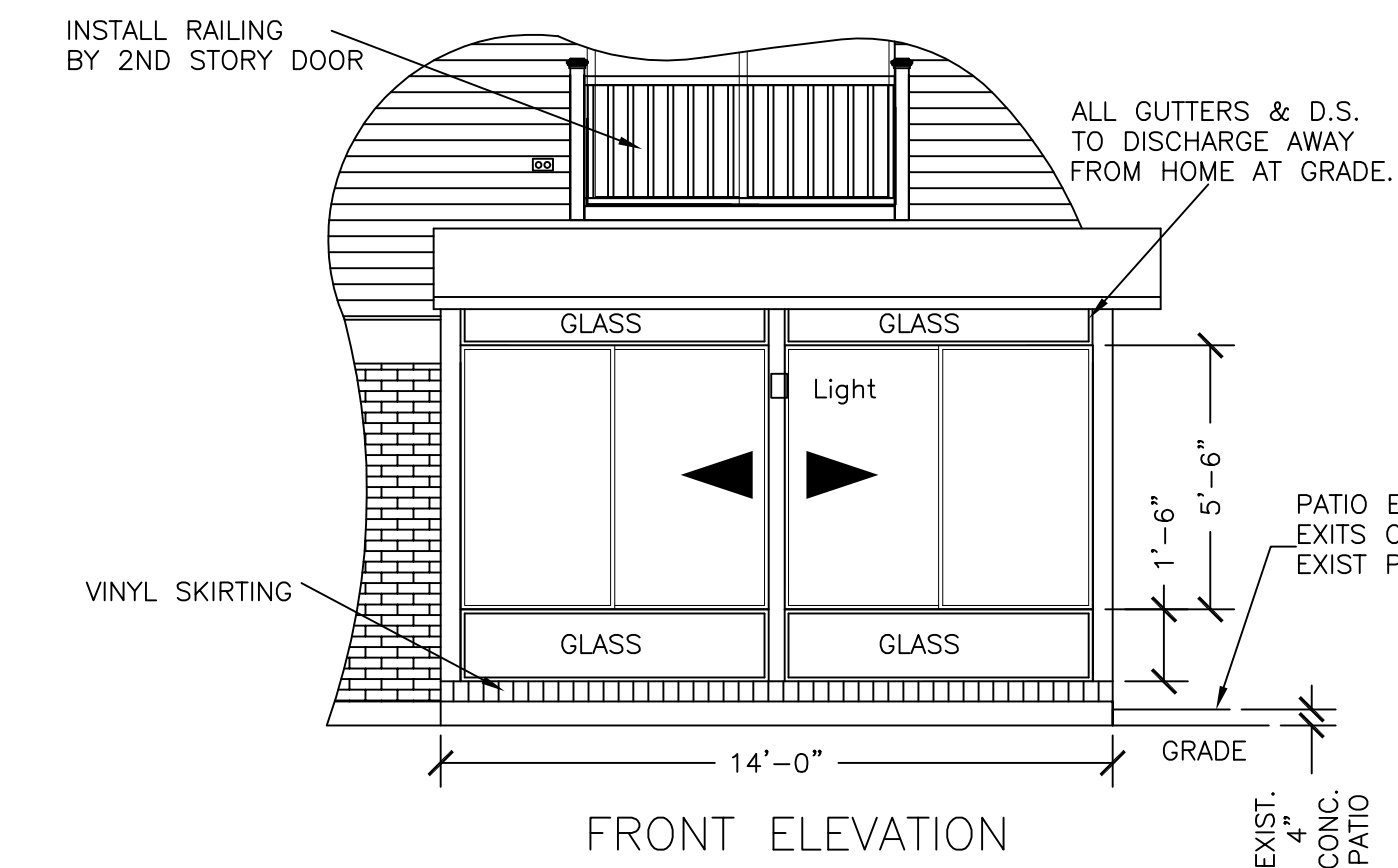
CUEVAS
1722 N. DOVER LN.
ARLINGTON HTS, IL 60004

ENVY HOME SERVICES
575 S. ARTHUR AVE
ARLINGTON HEIGHTS, IL 60005
OFFICE: 847.873.0693
FAX: 866.405.0680
<http://envyhomeservices.com>

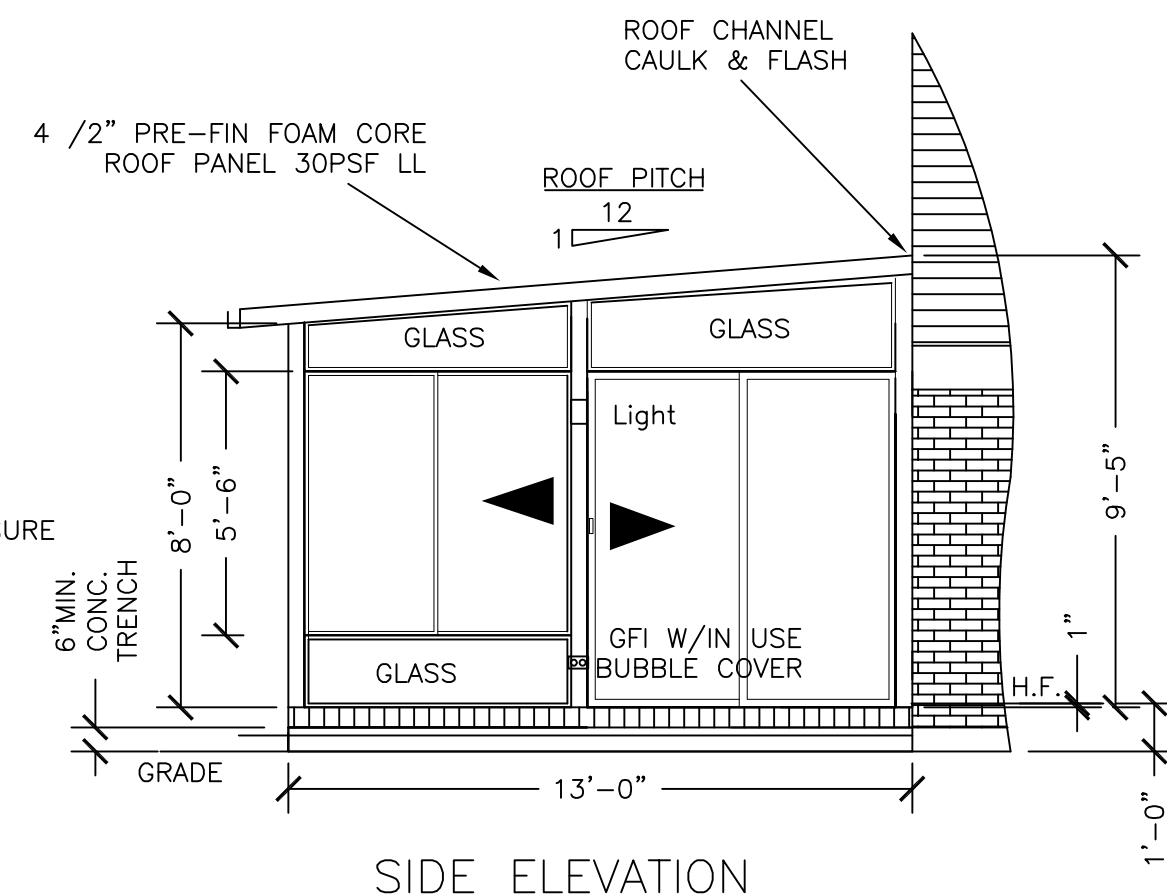
FRAME & TRENCH FOUNDATION DETAIL



RAILING DETAIL



FRONT ELEVATION



SIDE ELEVATION