



Agenda
Village of Arlington Heights
Design Commission
Community Room, 3rd Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
May 23, 2017
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Minutes - 4/25/17

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. DC#17-059 - 1715 N. Mitchell Ave. - SF/Teardown
- B. DC#17-058 - 1831 N. Mitchell Ave. - SF/Teardown
- C. DC#17-056 - Stonebridge Village Apartments - 600 W. Rand Rd. - Multi-Family

VII. OTHER BUSINESS

- A. 221 S. Evergreen Ave. - Multi-Family
Preliminary Review

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Minutes - 4/25/17

Department: Planning & Community Development Department

ATTACHMENTS:

Description

Minutes 4/25/17

Type

Minutes

DRAFT

**MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
APRIL 25, 2017**

Chair Eckhardt called the meeting to order at 6:30 p.m.

Members Present: Ted Eckhardt, Chair
Anthony Fasolo
John Fitzgerald
Kirsten Kingsley
Jonathan Kubow

Members Absent: None

Also Present: Jamie O'Donnell, Owner of 419 N. Hickory Ave.
Keith Ginnodo, Kingsley/Ginnodo Architects for 419 N. Hickory Ave.
Gary Wronkiewicz, Stonefield Custom Homes for 1017 N. Beverly Ln.
Joe Wronkiewicz, Stonefield Custom Homes for 1017 N. Beverly Ln.
Steve Hautzinger, Staff Liaison

Chair Eckhardt recognized Commissioner Fasolo who is resigning after tonight's meeting, and thanked him for his dedication and service to the Design Commission.

REVIEW OF MEETING MINUTES FROM APRIL 6, 2017

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO APPROVE THE MEETING MINUTES OF APRIL 6, 2017. ALL WERE IN FAVOR. THE MOTION CARRIED.

ITEM 1. SINGLE-FAMILY ADDITION REVIEW**DC#17-039 – 419 N. Hickory Ave.**

Commissioner Kingsley recused herself from the discussion of this project that her architectural firm is representing.

Keith Ginnodo, representing *Kingsley-Ginnodo Architects*, and **Jamie O'Donnell**, the homeowner, was present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to add a second-floor addition and a new front porch to an existing single-story home. The existing one-car garage will also be demolished. This project went before the Zoning Board of Appeals on April 17, 2017 and received a variation to allow a 20.9' front yard setback to accommodate the new front porch, where 24.9' is required. The project does comply with all other R-3 zoning requirements.

The existing block consists of primarily single-story, mid-century homes with one-car attached garages. The homes on the block have a very consistent and uniform appearance because there have been very few changes to the existing homes on the block, although the property directly south of the subject property was expanded with a second-floor addition, as well as one other 2-story home at the north end of the block.

The proposed renovation and addition has a one-and-a-half story scale that fits well with the overall scale of the block. The proposed design has a Craftsman style that Staff recommends the commissioners evaluate with the context of the block and the neighborhood.

Mr. Ginnodo said they are trying to mediate between the 2-story addition next door and the rest of the neighborhood, which are one-story ranch homes, and trying to taper up to the home to the south without dwarfing the home to the north. The materials being proposed are not out of context with the existing home, which consists of stone and siding.

Commissioner Fasolo felt it was a nice addition to the existing home. He asked about the color of the shake siding, and **Mr. Ginnodo** replied that it would be the same material and color as the sample, but instead of clapboard it would be shingle style. **Commissioner Fasolo** suggested adding a first-floor window to the left of the front door to help balance the entrance and front elevation, although he acknowledged the difficulty with the interior staircase. He had no further comments.

Commissioner Fitzgerald felt the addition was nicely designed and the scale of it will fit in with the neighborhood. He felt the style being proposed is just updated and not one specific style, and the colors are nice. With regards to the adjacent home to the left, he suggested adding a small ornamental tree to help soften the impact of the addition, and he thanked the petitioner for the details on all four sides of the home.

Commissioner Kubow commented that the petitioner appears to be very mindful of context with their projects, which is much appreciated by the commission. He acknowledged the difficulty and challenges when adding on to a small ranch home, and he appreciates when a home is added on to instead of torn down and that the petitioner goes out of their way to design something tasteful and respectful of the neighbors. He felt the addition was fantastic and he loved the color palette and the materials. He had no further comments.

Chair Eckhardt agreed with the comments made by the other commissioners. He felt the four sides of the home looked great and he appreciated that the rear of the home has a covered area. He suggested blue stone or slate for the front porch material, to complement the colors of the home and the stone entrance, and he agreed with Commissioner Fitzgerald's suggestion to add a small ornamental tree to help soften the front corner of the home.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR THE ADDITION TO THE EXISTING SINGLE-FAMILY HOME LOCATED AT 419 N. HICKORY AVENUE, AS SUBMITTED. THIS APPROVAL IS BASED ON THE ARCHITECTURAL PLANS DATED 3/08/17 AND RECEIVED 3/14/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
2. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.

Chair Eckhardt referred to the previous suggestion to add an ornamental tree.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO AMEND THE MOTION TO ADD THE FOLLOWING:

3. A REQUIREMENT TO ADD AN ORNAMENTAL TREE IN THE LEFT (NORTH) SIDE YARD.

Commissioner Fitzgerald clarified that a small ornamental tree on the left side of the home to help soften that corner of the home.

FASOLO, AYE; FITZGERALD, AYE; KUBOW, AYE; ECKHARDT, AYE; KINGSLEY, RECUSE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 2. SINGLE-FAMILY TEARDOWN REVIEW**DC#17-044 – 1017 N. Beverly Ln.**

Gary Wronkiewicz & Joe Wronkiewicz, representing *Stonefield Custom Homes*, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing single story residence and detached one car garage to allow construction of a new two story residence with an attached, two car garage. The project received ZBA approval on July 11, 2016 for a zoning variation to allow a 10 foot exterior side setback, where 23.3 feet is required. However, the proposed design does not comply with the following zoning requirements, which will either need to be corrected or additional variations requested from the Zoning Board of Appeals:

- The proposed FAR (Floor Area Ratio) is approximately 3,272 sf, where 3,133 sf is the maximum allowed.
- The proposed shed has a rear setback of 3 feet, where a minimum 5 foot rear setback is required.
- The proposed driveway is 24 feet at the widest point, where 22 feet is the maximum allowed width.
- The proposed 4 foot tall fence is located on the north property line, where a 5 foot minimum setback is required, with landscaping required to be a minimum 3 feet high spaced a maximum of 4 feet on center along the street side of the fence.

The project does comply with the other R-3 zoning requirements.

Mr. Hautzinger stated that the existing neighborhood consists of primarily single-story homes with a mix of attached and detached garages. However, there have been numerous teardowns completed on this block, one of which is directly south of the subject property.

Overall, the proposed design is of similar scale and character as the other newer homes in the neighborhood. The property is a corner lot, and the location of the covered front entry porch facing the corner is nicely done. However, the garage does project about 10 feet in front of the porch, so it is recommended that the garage be further recessed, and/or the porch depth be increased to place the focus on the front porch instead of on the garage.

In regards to the exterior elevations, Staff would offer the following:

- The proposed brick base wraps around the sides and onto the rear, which is nicely done.
- Window grilles (grids) on the front elevation should be provided on all sides of the house.
- Additional detailing is recommended to add interest to the north elevation since it faces the street; consider adding windows in the stairwell at the landings.
- The tall dormer on the front elevation (above the front entrance door) has odd proportions that should be further studied.
- The proposed "Iron Gray" siding and "Moire Black" roofing are very dark, and should be evaluated with the context of the neighborhood.

Mr. Hautzinger said that Staff recommended approval with the required revisions stated in the Staff report.

Gary Wronkiewicz presented photos of a similar home he recently built in Palatine that represents the siding and roof color being proposed on the home being reviewed tonight. He also provided revised drawings that address the zoning issues as follows:

- The FAR was reduced to meet code.
- The rear setback for the shed was adjusted to the 5' minimum.
- The driveway was reduced to 17' wide and will no longer be curved around an existing parkway tree that was recently removed by the Village.
- The 4' tall open fence on the north side of the property was reduced to 3' tall.

In response to the suggestions from Staff, **Gary Wronkiewicz** said that the garage was recessed back approximately 1' and the porch was brought out, with approximately 9' between the porch and the edge of the garage, and all of the windows will have grills in the upper sash. With regards to providing additional detailing on the north elevation, a window will be added in the bedroom to help balance the elevation; however, they envision artwork in the stairwell on the north elevation instead of windows, as well as concerns for privacy. He pointed out the window next to the front door and the window above the front entry as other sources of natural light in the stairway, as well as the existing parkway tree and how it relates to the north elevation. The height of the dormer above the front door was reduced to be consistent with the entry dormer on the home to the south. With regards to the concerns about the siding color, he referred to the photos of the home he recently built in Palatine that has the same siding color, which he has received many favorable comments about. **Joe Wronkiewicz** added that this neighborhood has a mix of light to dark colors, and he pointed out a home located one block west at 1013 N. Hickory with very similar colors to the new home being proposed.

Commissioner Fasolo felt that overall the new home is nicely designed. He liked the porch element facing Oakton, although he suggested continuing the porch out to the line of the garage, as well as further recessing the garage. **Gary Wronkiewicz** replied that the porch was already brought out as much as possible without affecting the pitch of the roof, and recessing the garage further would negatively impact the size of the living room and dining room. He felt the home was well designed for a corner lot with the way it steps back and follows the curve of the corner. **Commissioner Fasolo** also said that while he appreciated the window that was added in the bedroom on the north elevation, he felt that a window should also be added at the second-floor stairway, to match the height of the arch window on the front elevation and help balance the north elevation. He also suggested adding a belly band to separate the first and second-floor on the north elevation and continue it on the south and east elevations as well. He felt that the window grills help tie all sides of the home together, and he was okay with the dormer above the front entry and the colors being proposed.

Commissioner Kingsley agreed with much of what Commissioner Fasolo stated, although she was unsure about adding the belly band trim on the north and south elevations because it might look horizontal with the stone base. She agreed with some of the petitioner's comments about having the garage pushed forward and following the site, and having the porch on the corner; however, it was unfortunate that what the petitioner stated about not wanting to add windows on the north elevation because of the traffic on Oakton, yet a porch is being proposed out there, which the petitioner states is a really important feature, and yet you are really turning your back on the porch. She felt the petitioner should look at Oakton as a walking street and not just a driving street. She pointed out that having the porch on the north side and the garage pulled out so far on the south, meant that the porch will always be in shadow; Staff's suggestion to push the garage back as much as possible would be very beneficial for the front porch and the entry.

Commissioner Kingsley strongly recommended that the head height of the entire front porch, front door and garage be lowered, which would bring down the scale of the home, and she suggested using a stone material for the porch floor, since it is adjacent to stone and would finish off the porch. She agreed with Staff's concerns about the dormer above the front entry door, which she felt should be eliminated and replaced with a square window, and she felt that a window should be added at the west end of the north elevation above the first-floor stairway landing, which would not get in the way of artwork or cause privacy concerns. She further suggested that the awning window and the small windows in the master bedroom be operable and more in proportion to the double-hung windows, and that some type of roof cover be added above the doors on the rear elevation. She asked for clarification on the color of the shake siding and the Hardi board siding, and **Mr. Wronkiewicz** said that all of the siding is the same 'Iron Gray' color. **Commissioner Kingsley** reiterated that she felt the dormer above the front door should be eliminated and the gutter should go all the way across and the window should be straight up; it fights with all the other roofs and would be nicer if it just went straight across.

Commissioner Kubow said he was fine with the overall massing of the home and he understood the placement of the garage, which he was okay with on this corner lot. He was also in favor of the muntins that were added to the top

of all the windows. His major concern was with the lack of details on the north elevation, which he felt was the 'front' of the home. He suggested wrapping the porch around to the north elevation up to the transom window in the bathroom, which Staff indicated would require a zoning variation. **Commissioner Kubow** felt that adding a horizontal trim board that was suggested by Commissioner Fasolo made sense and the existing parkway tree on the north side helped, but something more was still needed on the north elevation; perhaps adding a dormer. He agreed with Commissioner Kingsley that the dormer above the front entry was too tall and did not fit with the overall aesthetic of the front elevation. For the most part, he was in agreement with the other commissioners, and added that the north elevation needs more detail, whether it be a window to the foyer, the horizontal trim band, or a dormer added.

Commissioner Fitzgerald agreed with most of the comments made by the other commissioners. He agreed with Commissioner Kingsley about removing the tall dormer above the front door, and was also in favor of having no arches on the home at all because they do not look appropriate. He pointed out that all of the details on the north elevation are at the west end; there is nothing to look at when coming east on Oakton and turning south on Beverly. He was in favor of any type of architectural details being added at the east end of the north elevation. He felt the north elevation as currently proposed was not appropriate to face the street and almost looked like an apartment building. He also suggested adding a window on the north side of the garage. He appreciated that the brick base was extended from the north elevation around to the rear elevation; however, he felt that it would look unusual from the backyard and suggested stopping the brick at the northeast corner of the home instead. He liked Commissioner Kingsley's suggestion to add a covering above the doors on the rear elevation, and he really liked the colors being proposed.

Chair Eckhardt was in favor of the adjustments that were made on the revised drawings with the shingle style siding on the front gables. He felt the dormer above the front door was too tall and should be brought down; he suggested removing the arch window and making it a volume space, or squaring it off and adding a clerestory window, which would give validity to the tall element. He also had concerns about the north elevation, which is really a 'front' elevation, and lacked the details that the front (west) elevation has. Landscaping will be an important part of the north elevation, and the existing parkway tree will help. He agreed with the suggestion to add a roof cover above the patio doors on the rear elevation, and he liked the materials and colors being proposed.

In response to the commissioners' concerns about the tall dormer above the front door, **Mr. Hautzinger** suggested omitting the dormer and providing a double gable instead, which would allow for the same stepping wall arrangement as proposed, while addressing the issues and concerns about the proportions of the dormer. With regards to the north elevation, he felt that it was missing gables and shingle siding as shown on the west (front) elevation, which would add architectural interest to the elevation. He added that bay windows are an allowable encroachment in the exterior side yard, which could be considered at the west end of the north elevation in the stairway, or in place of the window above the kitchen sink.

Mr. Wronkiewicz suggested removing the dormer from above the front door and moving it to the north elevation. **Commissioner Kingsley** said she was looking for something that would break down the lack of rhythm on the north elevation and reduce the scale of the elevation; she liked the idea of increasing the size of the kitchen window and making it a box bay with a shed roof, even if the height of the brick base had to be lowered to accommodate this. She added that the awning window above the box bay should be the same proportion as the upper sash, so the divisions could be the same. **Commissioner Fitzgerald** agreed with the suggestion to increase the size of the kitchen window, which would be consistent with the large size of the kitchen. **Mr. Hautzinger** cautioned that the bay window projection be no more than 1-foot due to the previous setback variation already granted on the exterior side.

Mr. Wronkiewicz was concerned about the costs associated with adding too many gables to the home; however, he was not opposed to moving the dormer from the west elevation to the north elevation.

A MOTION WAS MADE BY COMMISSIONER KINGSLEY, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR THE NEW SINGLE-FAMILY HOME TO BE LOCATED AT 1017 N. BEVERLY LANE. THIS APPROVAL IS BASED ON THE REVISED ARCHITECTURAL PLANS DATED 4/22/17 AND RECEIVED 4/25/17,

DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT THAT THE UPPER SASH OF ALL THE DOUBLE-HUNG WINDOWS HAVE MUNTINS, AND THAT ANY CASEMENT WINDOWS WILL APPEAR LIKE DOUBLE-HUNG WINDOWS WITH MUNTINS THAT MATCH THE REST OF THE HOME.
2. A REQUIREMENT THAT THE ENTRY DORMER OVER THE FRONT DOOR BE REDUCED TO A STRAIGHT ACROSS EAVE WITH A SQUARED WINDOW BELOW.
3. A REQUIREMENT THAT THE HEIGHT HEAD OF THE FRONT PORCH AND GARAGE BE BROUGHT DOWN.
4. A REQUIREMENT THAT A WINDOW BE ADDED IN THE STAIRWELL ON THE NORTH ELEVATION, WHETHER IT BE AT THE FIRST-FLOOR OR SECOND-FLOOR LEVEL, TO BREAK UP THE ELEVATION.
5. A REQUIREMENT TO ADD A BOX BAY ON THE KITCHEN WINDOW ON THE NORTH ELEVATION AT MINIMUM, AND POTENTIALLY ALSO ADD A BOX BAY TO THE SECOND-FLOOR WINDOW ON THE NORTH ELEVATION.
6. A RECOMMENDATION THAT A CANOPY OF SOME SORT BE ADDED ABOVE THE BACK DOOR.
7. A RECOMMENDATION THAT SOME KIND OF TILE OR STONE BE PUT ON THE PORCH FLOOR, TO TIE IN WITH THE STONE ON THE REST OF THE HOME.
8. A RECOMMENDATION TO LOOK AT THE AWNING WINDOWS IN THE MASTER BEDROOM TO MAKE THEM BE PROPORTIONAL TO THE DOUBLE-HUNG WINDOWS ON THE HOME.
9. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
10. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.

Commissioner Kubow said that he agreed with all of the recommendations, but with only 3 of the 5 requirements. He did not agree with the requirement to drop the head height of the front porch and the garage, and the requirement to add a window in the stairway on the north elevation, which the petitioner made a strong case against. **Chair Eckhardt** asked for clarification on what is being lowered on the front elevation. **Commissioner Kingsley** explained that the height of the front door appears higher than the window height and she is suggesting that it be lowered to the same height as the window, and that the entire first floor plate height across the front of the home be brought down. **Mr. Wronkiewicz** was concerned that this would make the entry too low when entering the home. **Commissioner Fasolo** pointed out that there was nothing in the motion about the type of roof (shed) on the box bay window on the north elevation, or about the brick base on the east elevation. **Commissioner Kingsley** added a suggestion to add a window in the garage on the north elevation.

Commissioner Fitzgerald seconded the motion.

Commissioner Fasolo reiterated his previous comments, and added that bringing the height of the front door down to 7-feet is enough for him; he was not on board with dropping the entire first floor eave height because the height is consistent with the home next door. **Commissioner Kubow** agreed. **Commissioner Fitzgerald** was in favor of making the kitchen window on the north elevation larger and adding a shed roof above it, as well as adding a gable roof above the second-floor double-hung window on the north elevation, and he really liked the idea of adding a

window on the north side of the garage. **Chair Eckhardt** agreed with Commissioner Fasolo that lowering the height of the front door is enough, and he was okay with the head height of the front porch and garage as proposed. He agreed with Commissioner Kingsley's comments about the front dormer; however, he was unclear if adding a dormer above the double windows on the second-floor north elevation was meant to be included in the motion. He presented a sketch of what he envisioned for the dormer above the second-floor window that included a shadow box, which created some decoration on the north elevation, although he felt the west side of the north elevation still looked like it needed something more. He agreed with the rest of the comments about adding a window in the garage on the north elevation, and stopping the brick base at the northeast corner of the home.

Commissioner Kingsley said that the motion still stands at having the roof lowered and having a window added on the stairway. She understood the petitioner's reasons for not having a window there; however, adding a window at the west end of the north elevation is not going to be any different than the window on the front elevation, because it is at the same elevation. Her intent is to allow the petitioner to detail the north elevation so that if the kitchen window ends up being a large window that they are not required to put something in on second-floor that might not be in keeping with the larger kitchen window. Her motion stands, with the addition of a requirement to add a window on the north elevation of the garage.

A MOTION WAS MADE BY COMMISSIONER KINGSLEY TO AMEND THE MOTION TO ADD THE FOLLOWING:

11. A REQUIREMENT TO ADD A WINDOW ON THE NORTH ELEVATION OF THE GARAGE.

Commissioner Fitzgerald clarified that the intent of #5 of the motion is that the second-floor window on the north elevation is being left open so the petitioner can decide one or the other, or both, to be approved by Staff, and **Commissioner Kingsley** agreed.

COMMISSIONER FITZGERALD SECONDED THE AMENDED MOTION.

Mr. Hautzinger pointed out that the comment about the second-floor box bay window on the north elevation is really a recommendation, and he suggested using the sketch drawn by Chair Eckhardt as an example of the general idea being suggested. **Commissioners Fitzgerald and Fasolo** were in favor of the sketch drawn by Chair Eckhardt. **Chair Eckhardt** asked for clarification on the placement of the additional window on the north elevation, and **Commissioner Kingsley** stated that the intent is that a window be added somewhere in the stairwell on the north elevation, at the same head height as the adjacent windows. **Chair Eckhardt** said he was concerned about too much window in the platform of the stairwell; however, a first-floor window at the stairway platform would be very attractive and provide a lot of light. **Commissioner Kingsley** added that the window should be at the same head height as the adjacent windows.

The commissioners all understood the motion as it stands.

**KUBOW, AYE; FASOLO, AYE; KINGSLEY, AYE; FITZGERALD, AYE; ECKHARDT, NAY.
ALL WERE IN FAVOR. MOTION CARRIED.**

Mr. Wronkiewicz asked for clarification on the final motion. **Mr. Hautzinger** stated that the following items are required to be on the plans submitted for permit:

1. A requirement that the upper sash of all the windows have the decorative grills, including casement windows.
2. A requirement that the dormer on the front elevation be reduced to be straight across the eave, with a square window.
3. A requirement to lower the roofline of the front porch and garage, although no amount was specified. Chair Eckhardt said the intent is to allow clearance for a screen door; lowered approximately 6 to 8-inches.
4. A requirement to add a window on the north elevation, somewhere in the area of the stairwell.

5. A requirement to add a box bay to the kitchen window on the north elevation, and a suggestion to add a box bay to the second-floor window on the north elevation.
6. A requirement to add a window on the north side of the garage.
7. A recommendation to add a cover/canopy over the patio door on the rear elevation.
8. A recommendation to add stone flooring material to the front porch.
9. A recommendation to study the proportions of the awning windows in both the bathroom and the Master Bedroom, to be more in keeping with the scale and proportion of the upper sash.

Commissioner Kingsley cautioned the petitioner about the dimensions of the garage to be sure that the interior dimensions meet the minimum requirement; they look a bit small.

There were no further comments.

ITEM 3. OTHER BUSINESS

2017 Alan F. Bombick Excellence in Design Award – Nominations Discussion

Mr. Hautzinger presented the commissioners with photographs of potential nominations to be considered for the first Alan F. Bombick Excellence in Design Award, with one single- family and one commercial project to be selected. Five completed single-family nominations were presented, which included 2 teardown projects and 3 addition projects; and six completed commercial projects were presented, which included a multi-family project. Possible conflict of interest (nominated projects that a commissioner was involved with) still needs to be discussed with the Village Legal Department.

The commissioners felt that a design should stand on its own regardless of conflict of interest. A suggestion was made to vote tonight, regardless of conflict of interest, and because tonight is Commissioner Fasolo's last meeting. **Chair Eckhardt** suggested the commissioners keep in mind 'what would Alan pick' when voting on the nominations.

The commissioners reviewed and discussed the single-family home projects being nominated, and a final selection was made, 1216 E. Mayfair Road. Comments made about this project were that it was a challenging addition that was very well executed, and Commissioner Bombick really liked this particular design when it was brought before the Design Commission for review.

The commissioners reviewed and discussed the commercial projects being nominated, and a final selection was made, Starbucks Coffee at 1808 S. Arlington Heights Road. Comments made about this project were that it was a very successful adaptive re-use of an existing old bank building into a modern and contemporary building design that is strong and bold. **Commissioner Fitzgerald** commented that no one would ever know that it used to be a bank.

Chair Eckhardt stated that he would assist Staff by obtaining the award plaques, as well as work with the Bombick family on the appropriate timing of the award presentation. He also felt the Design Commissioners should present the award to the recipients at the Village Board meeting, and the commissioners agreed. It was further suggested that the name of the award recipients, along with a photo of each project, be displayed within the Planning Department and used as examples by Staff when meeting with petitioners, as well as on the Village website.

ITEM 4. GENERAL MEETING

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO ADJOURN THE MEETING AT 8:45 P.M. ALL WERE IN FAVOR. THE MOTION CARRIED.



Item: DC#17-059 - 1715 N. Mitchell Ave. - SF/Teardown

Department: Planning and Community Development Department

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 1715 N. Mitchell Avenue. This recommendation is subject to compliance with the architectural plans dated 2/27/17 received on 5/2/17, and the following:

1. Reduce the roof pitch on the sides from 10:12 to 8:12.
2. Add a window in the side of the garage.
3. Add windows in Bedroom 3 and Bedroom 4 on the right side elevation.
4. Add detailing to the rear elevation. Consider a portico roof above the patio door or a small box bay window at the kitchen sink.
5. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
6. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report

Type

Board or Commission Report

Drawings & Documents

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 1715 N. Mithcell Ave.
Project Address: 1715 N. Mitchell Ave.
Prepared By: Steve Hautzinger

Date Prepared: May 17, 2017

PETITION INFORMATION:

DC Number: 17-059
Petitioner Name: John Sorenson
Petitioner Address: US Shelters LLC
31632 N. Ellis Dr. #213
Volo, IL 60073
Meeting Date: May 23, 2017

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to demolish an existing single story residence and two car detached garage to allow the construction of a new two story residence with an attached, two car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 8,778 square feet and the proposed residence will have 3,860 square feet. This project does comply with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 32.2 feet Side: 7.7 feet Side: 7.7 feet Rear: 30 feet	Front: 32.5 feet Side: 7.9 feet Side: 9.8 feet Rear: 31.9 feet
Building Height	25 feet to the midpoint	25 feet to the midpoint
FAR	3,949 SF	3,860 SF
Building Lot Coverage	3,072 SF	2,581 SF
Impervious Surface Coverage Total	4,389 SF	3,854 SF

The existing neighborhood consists primarily of single-story homes with one car attached garages. This project is appearing before the Design Commission due to past concerns in this neighborhood regarding teardown/new construction, and to evaluate the proposed architectural design with the context of the neighborhood. Although the neighborhood is predominantly single story homes, it should be noted that there are a few other teardowns previously completed on this block, and numerous teardowns completed throughout the neighborhood.

The proposed house is on a 77 foot wide lot, and there is abundant space between the adjacent homes. However, the house does have a large, wide appearance as it relates to the context of the smaller homes in the neighborhood. The front porch is nicely aligned with the garage, but the gable roof above the garage is somewhat prominent. Staff offers the following comments to enhance the design:

1. Reduce the scale of the gable above the garage and the overall roof by reducing the roof pitch on the sides from 10:12 to 8:12.
2. The stone is nicely returned down the side of the garage. To further enhance the appearance, it is recommended to add a window in the side of the garage.
3. The right side elevation second floor has no windows. It is recommended to add a window in Bedroom 3 and Bedroom 4.
4. The rear elevation needs some detailing to tie it in with the rest of the design. Consider a portico roof above the patio door or a small box bay window at the kitchen sink.

RECOMMENDATION:

It is recommended that the Design Commission **approve** the proposed new single-family residence to be located at 1715 N. Mitchell Avenue. This recommendation is subject to compliance with the architectural plans dated 2/27/17 received on 5/2/17, and the following:

1. Reduce the roof pitch on the sides from 10:12 to 8:12.
2. Add a window in the side of the garage
3. Add windows in Bedroom 3 and Bedroom 4 on the right side elevation.
4. Add detailing to the rear elevation. Consider a portico roof above the patio door or a small box bay window at the kitchen sink.
5. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
6. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

_____, May 17, 2017

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 17-059

- LEGEND**
- MONUMENT FOUND
 - (50.0') RECORD DIMENSION
 - P.U.E. PUBLIC UTILITY EASEMENT
 - DE. DRAINAGE EASEMENT
 - STORM SEWER INLET
 - STORM SEWER MANHOLE-INLET
 - SANITARY MANHOLE
 - FIRE HYDRANT
 - WATERMAIN VALVE VAULT MANHOLE
 - WATERMAIN VALVE BOX
 - WATERMAIN B-BOX
 - MONITORING WELL
 - WELL CAP
 - STREET LIGHT
 - UTILITY POLE
 - STORM SEWERLINE
 - SANITARY SEWERLINE
 - WATERMAIN LINE
 - OVERHEAD WIRES
 - STORM SEWER FLARED END-SECTION
 - SIGN
 - 12" TREE AND DIAMETER

WOLF PACK CONSULTING, LLC

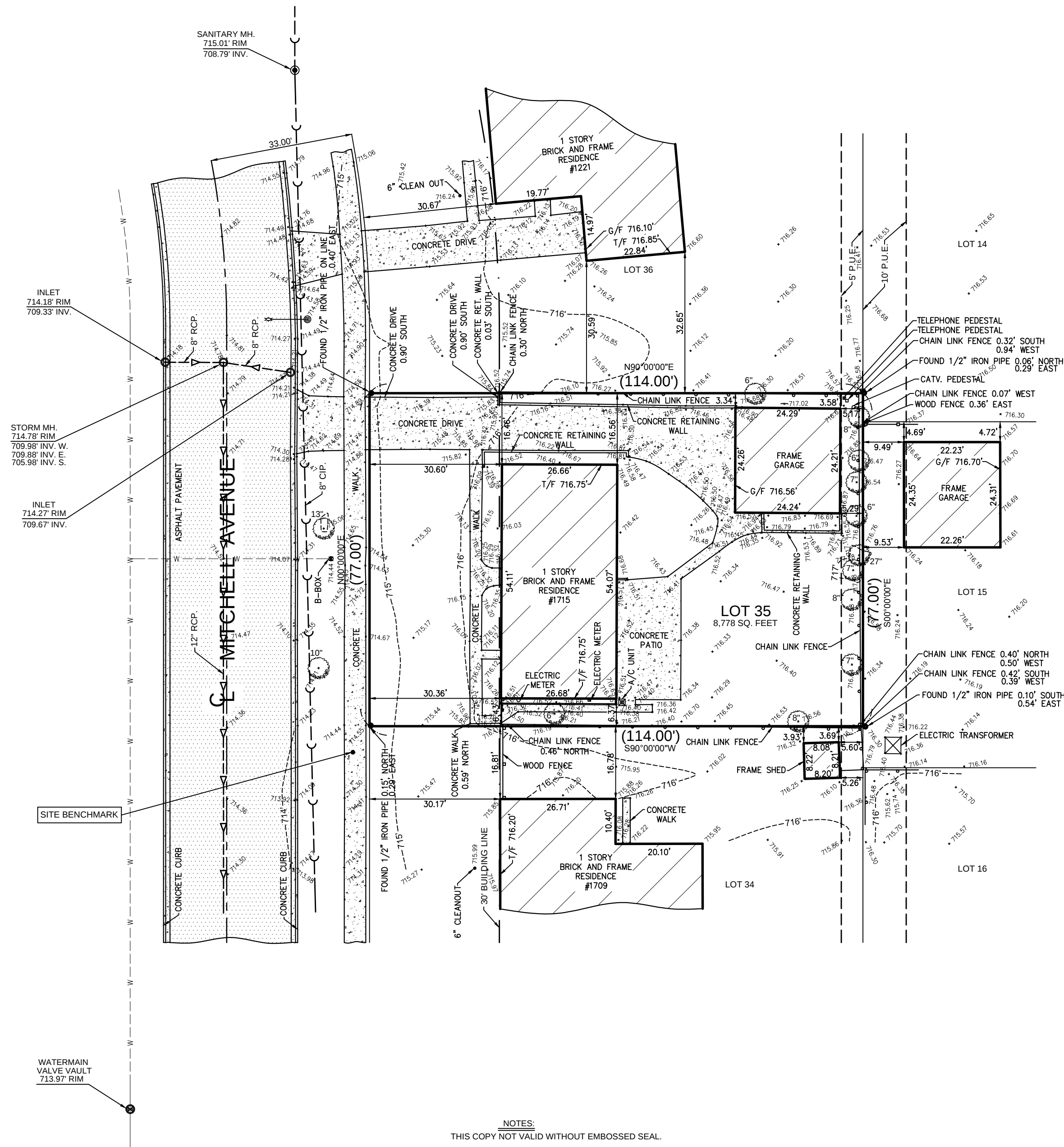
BOUNDARY AND TOPOGRAPHIC SURVEY

PIN: 03-19-206-036-0000



LOT 35 IN BLOCK 2 HASBROOK SUBDIVISION UNIT NO. 2, OF PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 17, 1957 AS DOCUMENT NUMBER 17041013, IN COOK COUNTY, ILLINOIS.

COMMON ADDRESS: 1715 NORTH MITCHELL AVENUE, ARLINGTON HEIGHTS, ILLINOIS



BENCHMARK: NGS PID: DM3897

STAINLESS STEEL ROD IN SLEEVE LOCATED NEAR THE SOUTHWEST CORNER OF THE INTERSECTION OF NORTH CHICAGO AVENUE AND SOUTH WILKE ROAD. STATION IS LOCATED 164 FEET NORTH OF WATER PUMPING STATION AT 1720 NORTH CHICAGO AVENUE, 72' SOUTH OF THE SOUTH EDGE OF PAVEMENT OF NORTH WILKE ROAD AND 18 FEET WEST OF THE WEST EDGE OF PAVEMENT OF NORTH CHICAGO AVENUE.

ELEVATION = 734.95' (NAVD 88)

BENCHMARK: (ON-SITE)

CROSS CUT IN CONCRETE WALK 6.02' SOUTH AND 3.85' WEST OF THE SOUTHWEST CORNER OF LOT 35 AS SHOWN HEREON.

ELEVATION = 714.45' (NAVD 88)

NOTES:

THIS COPY NOT VALID WITHOUT EMBOSSED SEAL.

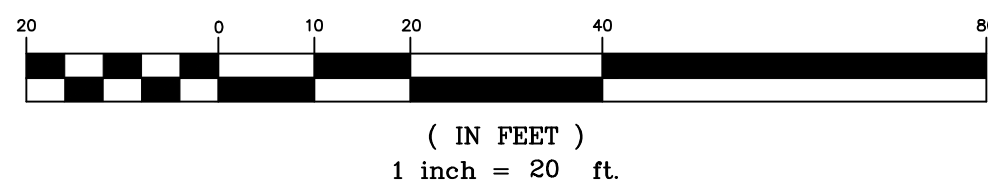
ALL DISTANCES ARE IN FEET AND DECIMAL PARTS THEREOF.

BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS. COMPARE THE LEGAL DESCRIPTION, BUILDING LINES, AND EASEMENTS AS SHOWN HEREON WITH YOUR DEED OR TITLE POLICY.

CONSULT THE LOCAL AUTHORITIES FOR ADDITIONAL SETBACK LINES AND RESTRICTIONS NOT SHOWN HEREON. COMPARE ALL POINTS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES AT ONCE.

DO NOT ASSUME DISTANCES FROM SCALED MEASUREMENTS MADE HEREON.

GRAPHIC SCALE



PREPARED FOR:	CAGE ENGINEERING
DATE:	FEBRUARY 22, 2017
SCALE:	1"=20'
JOB#	17-22
DRAWN BY:	JJN.
FLD. BK/PG:	99-51-54



MY LICENSE EXPIRES NOVEMBER 30, 2018

STATE OF ILLINOIS) SS.
COUNTY OF DUPAGE)

I, MICHAEL J. NELSON, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY DESCRIBED ABOVE, AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS.

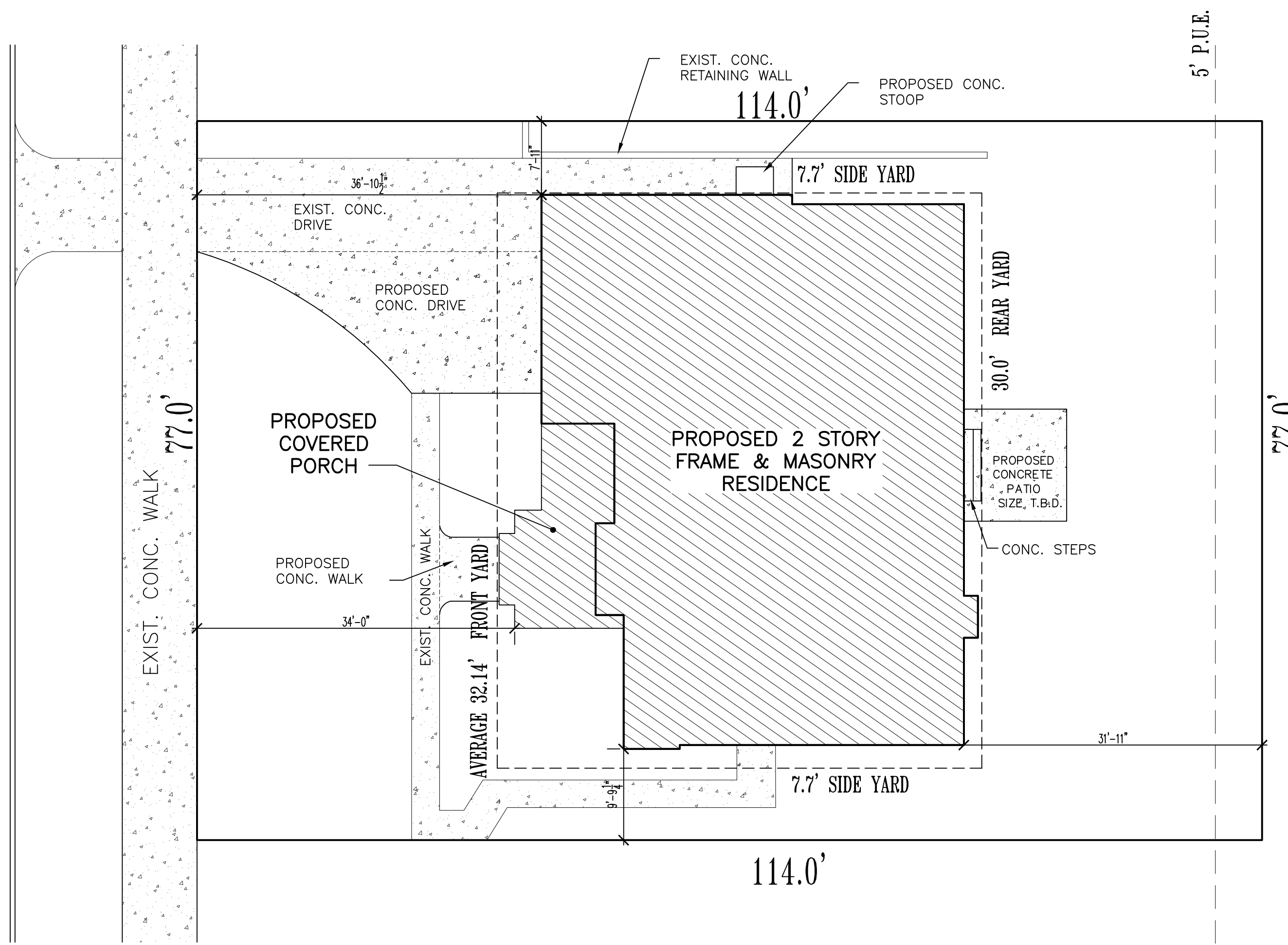
WESTMONT, ILLINOIS, FEBRUARY 22, 2017

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3095
PROFESSIONAL DESIGN FIRM LICENSE NO. 184.007246-0010 EXPIRES 04/30/2017
FIELD WORK COMPLETED ON FEBRUARY 22, 2017

BASIS OF BEARINGS = THE EAST LINE OF BLOCK 1 IN HASBROOK SUBDIVISION UNIT NO. 2 = (S90°00'00"W) SOUTH (RECORDED)

THE SORENSON RESIDENCE
1715 N. MITCHELL AVE.
ARLINGTON HEIGHTS, IL 60004

N. MITCHELL AVE.



SITE PLAN

- NOTES:
- VERIFY UTILITY LOCATIONS.
 - VERIFY TREES TO BE REMOVED WITH OWNER
 - VERIFY STRUCTURE LOCATION WITH OTHERS.
SITE PLAN DEPICTED REPRESENTS A REFERENCE LOCATION ONLY, NOT TO BE USED FOR STAKING, EXCAVATION, FOUNDATION LOCATION OR BUILDING OF ANY KIND. REFERENCE CIVIL ENGINEERING FOR ACTUAL HOUSE LOCATION AND VERIFY IN FIELD NO PORTION OF THE STRUCTURE EXTENDS OVER SETBACKS, BUILDING LINES OR EASEMENTS.
 - REFER TO CIVIL ENGINEERING PLANS FOR UTILITY INFORMATION.
 - BOUNDARY BASED UPON PLAT OF SURVEY FURNISHED TO ARCHITECT BY OWNER. VERIFY LOT DIMENSIONS IN FIELD.

AVERAGE FRONT YARD OF ADJACENT HOMES ON STREET		
	HOUSE #	DISTANCE FEET
1	1605 NORTH MITCHELL AVE.	32.980
2	1611 NORTH MITCHELL AVE.	29.090
3	1615 NORTH MITCHELL AVE.	30.410
4	1619 NORTH MITCHELL AVE.	30.010
5	1623 NORTH MITCHELL AVE.	35.050
6	1627 NORTH MITCHELL AVE.	35.070
7	1703 NORTH MITCHELL AVE.	30.170
8	1709 NORTH MITCHELL AVE.	30.170
9	1715 NORTH MITCHELL AVE.	30.360
10	1721 NORTH MITCHELL AVE.	30.670
11	1729 NORTH MITCHELL AVE.	31.950
12	1803 NORTH MITCHELL AVE.	35.880
13	1805 NORTH MITCHELL AVE.	35.140
14	1809 NORTH MITCHELL AVE.	36.410
15	1815 NORTH MITCHELL AVE.	36.080
16	1819 NORTH MITCHELL AVE.	32.280
17	1825 NORTH MITCHELL AVE.	32.070
18	1831 NORTH MITCHELL AVE.	31.510
19	1805 RIDGE AVE.	25.350
	TOTAL	610.650
	AVERAGE DISTANCE	32.14

BUILDING LOT COVERAGE	
AREA OF LOT	8,778 S.F.
ZONING DISTRICT	R-3
MAXIMUM LOT COVERAGE	35%
ALLOWABLE LOT COVERAGE	3,072 S.F.
PROPOSED LOT COVERAGE	
1st FLOOR & GARAGE	+2,392 S.F.
PORCHES/STEPS	+218 S.F.
TOTAL FLOOR AREA	2,610 S.F. ✓

IMPERVIOUS SURFACE COVERAGE	
AREA OF LOT	8,778 S.F.
ZONING DISTRICT	R-3
MAXIMUM IMPERVIOUS COVERAGE	50%
ALLOWABLE IMPERVIOUS	4,389 S.F.
PROPOSED IMPERVIOUS	
1st FLOOR & GARAGE	+2,392 S.F.
PORCHES/STEPS	+218 S.F.
DRIVEWAY/WALKWAY/PATIO	+1,273 S.F.
TOTAL IMPERVIOUS COVERAGE	3,883 S.F. ✓

FRONT YARD IMPERVIOUS SURFACE COVERAGE	
AREA OF FRONT YARD	2,347 S.F.
ZONING DISTRICT	R-3
MAXIMUM IMPERVIOUS COVERAGE	50%
ALLOWABLE IMPERVIOUS	1,173 S.F.
PROPOSED FRONT YARD IMPERVIOUS	814 S.F. ✓

DRAWING INDEX

- A000 SITE PLAN, DRAWING INDEX, GENERAL NOTES
A101 FIRST FLOOR PLAN
A102 SECOND FLOOR PLAN
A200 FRONT ELEVATION
REAR ELEVATION
A201 RIGHT ELEVATION
LEFT ELEVATION
A202 CONTEXT ELEVATION
A300 ROOF PLAN

IECC - INTERNATIONAL ENERGY CONSERVATION CODE
--NOTE TO PLAN REVIEWERS, OFFICIALS & CONTRACTORS--
* THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE TO THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE AND MEET OR EXCEED ALL APPLICABLE REQUIREMENTS OF SAID CODE.
* THE ARCHITECT HAS CHOSEN TO CONFORM TO THE PRESCRIPTIVE METHOD AS ALLOWED FOR IN IECC, CHAPTER 1, "ADMINISTRATION (FIGURE 1) IECC SCOPE AND APPLICATION ABSTRACT - RESIDENTIAL, OPTION 1," MEETING OR EXCEEDING ALL APPLICABLE INSULATION VALUES AND SPECIFICATIONS REQUIRED BY THE CODE.
* AS SPECIFIED BY THE CODE, OPTION 1, WALKS THE REQUIREMENT OF PERFORMING A "SIMULATED PERFORMANCE ALTERNATIVE" OR "RESHECK" TO EVALUATE THE ENVELOPE. THE PRESCRIPTIVE METHOD EXCEEDS ALL APPLICABLE REQUIREMENTS REQUIRED BY THE CODE AND IS SPECIFICALLY ALLOWED FOR AS A REPLACEMENT FOR THE "SIMULATED PERFORMANCE ALTERNATIVE" OR "RESHECK".
* THESE PLANS STATE CERTAIN APPLICABLE ASPECTS OF THE 2015 IECC CODE AND ARE NOT INTENDED TO RESTATE THE ENTIRE CODE OR ACT AS A REPLACEMENT TO THE CODE. ALL CONTRACTORS ARE TO FAMILIARIZE THEMSELVES WITH THE CODE AND FOLLOW THOSE REQUIREMENTS THAT RELATE TO THEIR PARTICULAR TRADE AND ARE RESPONSIBLE FOR SAME.

ENERGY NOTES
* INSULATE ALL HOT WATER PIPING IN ACCORDANCE WITH SECTION 403.4.2 OF THE 2015 IECC
* THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALES). TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.
* RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES.
* ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE NOT MORE THAN 2.0 CFM WHEN TESTED IN ACCORDANCE WITH ASTM E 283 AT A 1.57 PSF (75 PA) PRESSURE DIFFERENTIAL. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.
* THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE OR THE INTERNATIONAL MECHANICAL CODE, AS APPLICABLE, OR WITH OTHER APPROVED MEANS OF VENTILATION, OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR MANUAL DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.
* WHERE INSTALLED IN AN UNCONDITIONED SPACE, ALL DUCTS SHALL BE SEALED WITH APPROVED TAPES OR SEALANTS. SUPPLY DUCTS IN ATTICS SHALL BE INSULATED WITH A MINIMUM OF R-6 DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION M901.3.1. DUCT TIGHTNESS SHALL BE VERIFIED BY EITHER OF THE FOLLOWING:
* POST CONSTRUCTION TEST: LEAKAGE TO THE OUTDOORS SHALL BE LESS THAN OR EQUAL TO 8 CFM PER 100 FT2 OF CONDITIONED FLOOR AREA OR A TOTAL LEAKAGE LESS THAN OR EQUAL TO 12 CFM PER 100 FT2 OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 1 INCH W.G. ACROSS THE ENTIRE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER AND CLOSURE. ALL REGISTER BOOTS SHALL BE TESTED OR OTHERWISE SEALED DURING THE TEST.
* ROUGH IN TEST (RECOMMENDED): TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 6 CFM PER 100 FT2 OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 1 INCH W.G. ACROSS THE ENTIRE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER CLOSURE. ALL REGISTER BOOTS SHALL BE TESTED OR OTHERWISE SEALED DURING THE TEST. IF THE AIR HANDLER IS NOT INSTALLED AT THE TIME OF THE TEST, TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 4 CFM PER 100 FT2 OF CONDITIONED FLOOR AREA.
* WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE, AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY.
* MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY LAMPS OR A MINIMUM OF 75% OF PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICIENCY LAMPS.
* BLOWER DOOR TEST SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY AND A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED AND PROVIDED TO THE CODE OFFICIAL.
* A PERMANENT EFFICIENCY CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF THE INSULATION INSTALLED, U-FACTORS FOR AND SHG OF PENETRATION, AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING.
* INSULATE ATTIC ACCESS OPENINGS WITH MIN. R-38 INSULATION
* ALL HOT WATER PIPING SHALL BE INSULATED AS REQUIRED BY IECC 403.4

STAIR NOTES
* STAIRS SHALL HAVE MAXIMUM 1/4" RISER HEIGHTS & MINIMUM 10" TREAD DEPTHS
* GUARDRAILS SHALL HAVE SPACING SUCH THAT THEY WILL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE
* PROVIDE A MINIMUM OF 6'-6" CLEAR HEADROOM FOR STAIRS IN ALL CONDITIONS. PROVIDE FULL LENGTH CONTINUOUS HANDRAIL, 36" IN HEIGHT AT ALL STAIR RUNS WITH 4 OR MORE RISERS. HAND RAILS TO BE RETURNED OR TERMINATE IN NEEL RISERS
* PROVIDE A MINIMUM OF 6'-6" CLEAR HEADROOM FOR STAIRS IN ALL CONDITIONS. PROVIDE FULL LENGTH CONTINUOUS HANDRAIL, 36" IN HEIGHT AT ALL STAIR RUNS WITH 4 OR MORE RISERS. HAND RAILS TO BE RETURNED OR TERMINATE IN NEEL RISERS
* MINIMUM OF 12'-0" BETWEEN TYPICAL ROOM OUTLETS UNLESS OTHERWISE NOTED
* VERIFY THAT NO POINT ALONG ANY WALL 2'-0" LONG OR LONGER IN ANY HABITABLE ROOM TO BE MORE THAN 6'-0" FROM AN OUTLET.
* ALL ELECTRICAL CONDUCTORS ARE TO BE SOLID COPPER IN ELECTRICAL METALLIC TUBING
* ALL OUTLETS SHALL BE ARC FAULT PROTECTED
* ALL 15 & 20 AMP OUTLETS SHALL BE TAMPER RESISTANT
* RECESSED INCANDESCENT OR SURFACE MOUNTED FLUORESCENT LIGHT FIXTURES IN CLOSETS SHALL BE LOCATED A MIN. OF 6" IN FRONT OF THE TOP SHELF AND SURFACE MOUNTED INCANDESCENT FIXTURES IN WALK-IN CLOSETS SHALL BE AT LEAST 12" IN FRONT OF TOP SHELF AND SHALL BE FULLY ENCLOSED WITH A GLOBE. SURFACE MOUNTED INCANDESCENT LIGHT FIXTURES ARE NOT PERMITTED IN CLOSETS OTHER THAN WALK-IN.
* ALL CEILING OUTLET ELECTRICAL BOXES SHALL BE CAPABLE OF SUPPORTING A CEILING FAN
* PROVIDE 3 SEPARATE 20 AMP CIRCUITS FOR THE REFRIGERATOR, MICROWAVE AND DISPOSAL/DISHWASHER
* PROVIDE 36" DEEP x 30" WIDE x 6'-6" HIGH CLEAR AREA IN FRONT OF ELECTRICAL PANEL.
* 200 AMP SERVICE UP TO 6,000 SF.
* 400 AMP SERVICE OVER 6,000 SF.

PLAN & ELEVATION SYMBOLS
5 SHELVES
GAS HOOKUP
SHOWER HEAD FAUCET
PRE-FAB FIREPLACE FLUE
CEILING DETAIL DIAGRAM
SECTION/VIEW MARKER
FACE BRICK
HORIZONTAL Siding
GRAVEL
1 SHELF & 1 ROD
SHOWER RAIN HEAD
MASONRY FIREPLACE FLUE
WORK POINT
ELEVATION MARKER
FIELD STONE
STONE
SHAKE Siding
ROOFING
FACE BRICK ON STONE (SEE SECTION)
STUCCO / EIFS
ASPHALT SHINGLES ROOFING
CEDAR SHAKE ROOFING
SPRINKLER HEAD
FROST PROOF HOSE BIB
FLOOR DRAIN
REAR
ROOF PITCH
REVISION MARKER
WATER HOOKUP
SHOWER RAIN HEAD
MASONRY FIREPLACE FLUE
WORK POINT
ELEVATION MARKER
FIELD STONE
STONE
SHAKE Siding
ROOFING
FACE BRICK ON STONE (SEE SECTION)
STUCCO / EIFS
ASPHALT SHINGLES ROOFING
CEDAR SHAKE ROOFING
SPRINKLER HEAD
FROST PROOF HOSE BIB
FLOOR DRAIN
REAR
ROOF PITCH
REVISION MARKER

WINDOW & DOOR NOTES
EXAMPLE WINDOW: 2556 = 2'-5" x 5'-5" (1) - LARGEST WINDOW (2) - FIXED WINDOW
EXAMPLE DOOR: 2468 = 2'-4" x 6'-8" (1) - FIXED WINDOW
ELECTRICAL SYMBOLS:
SINGLE OUTLET (1)
DUPLEX OUTLET (2)
QUAD OUTLET (4)
FLUORESCENT LIGHT FIXTURE
LIGHT FIXTURE
RECESSED CAN LIGHT
DIRECTIONAL RECESSED CAN LT.
SURFACE MOUNTED LED CAN LIGHT
WALL MOUNTED LIGHT FIXTURE
EXTERIOR FLOOD LIGHTS
A/C HARD WIRED CARBON MONOXIDE DETECTOR/BATTERY BACKUP
SWITCHED DUPLEX OUTLET (2)
SWITCH
DOOR ACTIVATED SWITCH
EXHAUST FAN (VENTED TO EXTERIOR)
EXHAUST FAN/LIGHT (VENTED TO EXTERIOR)
UNDER CABINET LIGHT
EXTERIOR COACH LIGHT FIXTURE
CEILING MOUNTED FAN/LIGHT
TELEVISION JACK
PHONE JACK
HDMI JACK
110V SMOKE DETECTOR WIRED IN SERIES
BATTERY BACKUP RUN ON DEDICATED CIRCUIT

WALL TYPES
NEW FRAME WALL
DRYWALL/ARCHED OR CASSED OPENING
BEARING WALL ABOVE
NEW FOUNDATION WALL & FOOTING
DEPRESSED FOUNDATION WALL
TR. SILL PLATE @ FOTN. WALL

NOTE TO CONTRACTORS
* ALL CONTRACTORS PRIOR TO CONSTRUCTION ARE TO FAMILIARIZE THEMSELVES WITH THE PLANS AND EXISTING CONDITIONS OF THE PROJECT. ALL CONTRACTORS ARE RESPONSIBLE FOR PERFORMING WITHIN INDUSTRY STANDARDS AND TO COMPLY WITH ALL APPLICABLE CODES. NOTIFY ARCHITECT OF ANY CONDITIONS OR DISCREPANCIES ON PLANS WHICH MAY INTERFERE WITH SUCCESSFUL COMPLETION OF THE PROJECT, PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR DEMOLITION.
* ALL NOTES SHOWN ARE TYPICAL, AND SOME MAY NOT APPLY TO THE SCOPE OF WORK.

CODE CONFORMANCE
THE DRAWINGS AND RELATED CONSTRUCTION TO CONFORM WITH THE FOLLOWING
* 2009 INTERNATIONAL RESIDENTIAL CODE
* 2009 INTERNATIONAL FIRE CODE
* 2009 INTERNATIONAL MECHANICAL CODE
* 2009 INTERNATIONAL FUEL GAS CODE
* 2005 INTERNATIONAL ENERGY CONSERVATION CODE
* 2005 NATIONAL ELECTRICAL CODE
* 2009 INTERNATIONAL PROPERTY MAINTENANCE CODE
* 2014 ILLINOIS PLUMBING CODE
* CITY OF ARLINGTON HEIGHTS AMENDMENTS

DESIGN LOADING VALUES
ROOF: 30 PSF LIVE LOAD
CEILING: 20 PSF LIVE LOAD
FLOOR: 60 PSF LIVE FOR EXTERIOR BALCONY
40 PSF LIVE FOR FLOORS, DECKS, STAIRS
30 PSF LIVE FOR BEDROOMS
WALLS: 20 PSF WIND FOR 0-20 FT. HEIGHT
25 PSF WIND FOR 21-29 FT. HEIGHT
30 PSF WIND FOR 30 FT. AND ABOVE
SOIL: 3000 PSF ASSUMED MINIMUM ASSUMED
OWNER/CONTRACTOR RESPONSIBLE TO VERIFY
FOUNDATION NOTES:
* SEE FOUNDATION PLAN AND SECTIONS FOR HEIGHT OF FOUNDATION WALLS
* ALL FOUNDATION WALLS OVER 8'-0" TALL TO BE A MINIMUM OF 10" THICK (SEE SECTIONS)
* ALL FOUNDATION WALLS WITH BRICK ABOVE TO BE A MINIMUM OF 10" THICK (SEE SECTIONS)
* VERIFY THICKNESS OF ALL FOUNDATION WALLS TO CONCLUDE WITH THICKNESS REQUIRED FOR EXTERIOR WALL FINISHES SHOWN ON ELEVATIONS (BRICK OR FRAME)
* ALL EXTERIOR WALKOUT OR EXPOSED BASEMENT FRAME WALLS 4" (2x6 W/ 1/2" SHEATHING)
* STRENGTH OF CONCRETE AFTER 28 DAYS TO BE 3000 PSI FOR CONCRETE WALLS AND 3500 PSI FOR CONCRETE SLAB WORK AND EXTREME CONDITIONS
* ALL PORCHES, STEPS AND GARAGE FLOOR SLABS SHALL BE A MIN. OF 3500 PSI AND BETWEEN 3/8" & 7/8" AIR ENTRAINED
WINDOW NOTES:
* TOP OF WALKOUT BASEMENT WINDOWS 6'-8" AFF.
* TOP OF WINDOWS 94-3/4" ABOVE SUB-FLOOR FOR 9'-0" PLATES, UNLESS OTHERWISE NOTED
* TOP OF WINDOWS 82-3/4" ABOVE SUB-FLOOR FOR 9'-0" PLATES, UNLESS OTHERWISE NOTED
* ALL WINDOWS ARE DESIGNATED IN BOLD OPENING, SHOWN IN FEET AND INCHES
EXAMPLE: 2556 = 2'-5" x 5'-5" TO BE MET WITHIN 2" OR EXCEEDED
* PROVIDE (2) X 12'S ABOVE ALL WINDOWS AND OPENINGS UNLESS OTHERWISE NOTED
* PROVIDE TEMPERED SAFETY GLAZING IN ALL WINDOWS WITHIN 24" OF ANY DOOR, WITHIN 48" OF FLOOR, IN TUB/SHOWER ENCLOSURES, AND IN STAIR WELLS

STRUCTURAL NOTES
* DOUBLE JOISTS UNDER ALL BEARING PARALLEL PARTITIONS, KITCHEN ISLANDS AND POINT LOADS
* ALL INTERIOR PARTITIONS 3/4" UNLESS OTHERWISE NOTED
* ALL EXTERIOR WALLS 4x6 (2x4 WITH 1" SHEATHING)
* ALL EXTERIOR BRICK WALLS 9x6 (2x4 W/ 1" SHEATHING & 1" AIR SPACE & 4" BRICK VENEER)
* ALL EXTERIOR WALLS 11" (2x6 W/ 1/2" SHEATHING AND 1" AIR SPACE & 4" BRICK VENEER)
* ALL EXTERIOR BRICK WALLS 11" (2x6 W/ 1/2" SHEATHING AND 1" AIR SPACE & 4" BRICK VENEER)
* PROVIDE 5" x 3/4" x 3/4" ST. ANGLE L.L.V. ABOVE OPENINGS UP TO 9' WIDE WITH BRICK ABOVE.
* PROVIDE 8" x 4" x 1/2" ST. ANGLE L.L.V. ABOVE OPENINGS FROM 9' TO 16' WIDE WITH BRICK ABOVE.
* PROVIDE 7" x 4" x 1/2" ST. ANGLE L.L.V. ABOVE 16'-0" & 18'-0" WIDE OVERHEAD DOORS WITH UP TO 2' OF BRICK ABOVE.
* PROVIDE 9" x 4" x 1/2" ST. ANGLE L.L.V. ABOVE 16'-0" & 18'-0" WIDE OVERHEAD DOORS WITH MORE THAN 2' OF BRICK ABOVE.
* STEEL FABRICATOR SHALL PROVIDE ALL MISCELLANEOUS CONNECTORS AND SHIMS FOR A COMPLETE INSTALLATION.
* STEEL FLITCH PLATE BEAMS TO BE CONNECTED WITH 3/8" BOLTS #007 O.C. AND (2) # EACH END
* ALL STEEL BEAMS, LINTELS & COLUMN PLATES SHALL BE SHOP PRIMED
* WALLS SHALL BE BRICK AT EACH END AND 25" O.C. MAX.
* ALL JOISTS, STUDS & PARTITIONS TO BE SPF #1/E (CANADIAN) UNLESS OTHERWISE NOTED
* ALL 2 X 10 FLOOR JOISTS OVER 14'-0" IN LENGTH TO BE HEM FIR #2 OR BETTER (CANADIAN, NORTHERN AND SOUTHERN ACCEPTABLE) (SPRUCE PINE FIR #2 STANDARD)
* ALL 2 X 12 FLOOR JOISTS OVER 16'-0" IN LENGTH TO BE HEM FIR #2 OR BETTER (CANADIAN, NORTHERN AND SOUTHERN ACCEPTABLE) (SPRUCE PINE FIR #2 STANDARD)
* ALL HEADERS TO BE (2) 2X12 SPF #1/E (CANADIAN) UNLESS OTHERWISE NOTED
* THE DIAMETER OF HOLES BORED INTO SOLID SAWN MEMBERS SHALL NOT EXCEED 1/3 THE DEPTH OF THE MEMBER AND SHALL NOT BE CLOSER THAN 2" FROM THE TOP OR BOTTOM OF THE MEMBER OR TO ANY OTHER HOLE.
* THE DIAMETER OF HOLES BORED INTO PRE-ENGINEERED MEMBERS SHALL BE APPROVED BY THE MANUFACTURER.
* PROVIDE PRE-ENGINEERED FLOOR JOIST MANUFACTURER'S INSTALLATION INSTRUCTIONS ON THE JOBSITE AT THE TIME OF INSPECTIONS.
* PRE-ENGINEERED FLOOR JOIST TO BE BY "TRUSJOIST" MANUFACTURER OR EQUIVALENT PER MANUFACTURER'S RECOMMENDATIONS.
* PRE-ENGINEERED FLOOR JOIST SUPPLIER SHALL PROVIDE JOIST LAYOUT FROM MANUFACTURER PRIOR TO FRAMING.
* (2) X 4 IN INTERIOR PARTITIONS W/ DBL. JST. BELOW UNLESS OTHERWISE NOTED
* (2) X 4 IN INTERIOR PARTITIONS W/ DBL. JST. BELOW UNLESS OTHERWISE NOTED
* (2) X 4 IN INTERIOR PARTITIONS W/ DBL. JST. BELOW UNLESS OTHERWISE NOTED
* ALL EXTERIOR WALLS OVER 10'-0" TALL TO BE 2x6 @ 16" O.C. STUD WALLS
* ADD 2 X 4 HORIZONTAL BLOCKING, SAME WITH AS STUDS, BETWEEN STUDS IN EXTERIOR WALLS OVER 8'-0" IN HEIGHT. FASTEN EXTERIOR SHEATHING TO BLOODING AND TO STUDS.
* MINIMUM OF 36" HALF WALLS IN ALL CONDITIONS.
* FREEBOARDING SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:
- CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING STAGGERED OR PARALLEL ROWS OF STUDS, VERT. AT CEILING AND FLOOR LEVELS AND HORIZ. AT 10'-0" INTERVALS
- ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DRIP CEILINGS AND GLOBE CEILINGS
- CONCEALED SPACES BETWEEN STAR STRONGERS AT TOP AND BOTTOM OF THE RUN
- OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND PREPLACES AT CEILINGS AND FLOOR LEVEL WITH NONCOMBUSTIBLE MATERIALS

ELECTRICAL NOTES
* KITCHEN OUTLETS MAXIMUM 48" O.C., ALL OUTLETS ABOVE COUNTER TOP TO BE GFI
* ALL OUTLETS IN GARAGE TO BE GFI
* OUTLETS WITHIN 72" OF SINK IN LAUNDRY ROOM AND ALL OUTLETS IN GARAGE TO BE GFI
* MINIMUM OF 12'-0" BETWEEN TYPICAL ROOM OUTLETS UNLESS OTHERWISE NOTED
* VERIFY THAT NO POINT ALONG ANY WALL 2'-0" LONG OR LONGER IN ANY HABITABLE ROOM TO BE MORE THAN 6'-0" FROM AN OUTLET.
* ALL ELECTRICAL CONDUCTORS ARE TO BE SOLID COPPER IN ELECTRICAL METALLIC TUBING
* ALL OUTLETS SHALL BE ARC FAULT PROTECTED
* ALL 15 & 20 AMP OUTLETS SHALL BE TAMPER RESISTANT
* RECESSED INCANDESCENT OR SURFACE MOUNTED FLUORESCENT LIGHT FIXTURES IN CLOSETS SHALL BE LOCATED A MIN. OF 6" IN FRONT OF THE TOP SHELF AND SURFACE MOUNTED INCANDESCENT FIXTURES IN WALK-IN CLOSETS SHALL BE AT LEAST 12" IN FRONT OF TOP SHELF AND SHALL BE FULLY ENCLOSED WITH A GLOBE. SURFACE MOUNTED INCANDESCENT LIGHT FIXTURES ARE NOT PERMITTED IN CLOSETS OTHER THAN WALK-IN.
* ALL CEILING OUTLET ELECTRICAL BOXES SHALL BE CAPABLE OF SUPPORTING A CEILING FAN
* PROVIDE 3 SEPARATE 20 AMP CIRCUITS FOR THE REFRIGERATOR, MICROWAVE AND DISPOSAL/DISHWASHER
* PROVIDE 36" DEEP x 30" WIDE x 6'-6" HIGH CLEAR AREA IN FRONT OF ELECTRICAL PANEL.
* 200 AMP SERVICE UP TO 6,000 SF.
* 400 AMP SERVICE OVER 6,000 SF.

PLUMBING NOTES
* PROVIDE GAS SHUTOFF VALVES TO ALL GAS APPLIANCES AND PREPLACES
* ALL FRAMING DRILLED FOR PLUMBING VENTS OR SIMILAR HOLES
* TO BE IN A MINIMUM WALL OF 2x6 STUDS
* ALL WATER LINES TO A SECOND FLOOR TO HAVE 1/2" AIR CHAMBERS
* ABOVE GROUND WASTE - SCHEDULE 40 PVC, 1120 SERIES
* BELOW GROUND WASTE - SOI 40 PVC OR CAST IRON
* TYPE L COPPER, NO LEAD SOLDER
* TYPE K COPPER
* CLOURED PRIMER AND WATER PIPING TEST REQUIRED ON ALL PIPING
* 75LB. AIR OR WATER PRESSURE TEST REQUIRED ON WATER PIPING
* UNDERGROUND SANITARY SHALL BE 4" MIN.

HVAC NOTES:
* HVAC CONTRACTOR TO VERIFY LOCATION OF HVAC IN FIELD
* WHEN PROVIDING AN ATTIC FURNACE, PROVIDE A SMOKE DETECTOR AN OVERFLOW PAN WITH A DRAIN AND AUTO SHUT OFF VALVE (FOR DRAIN BACK UP) ALONG WITH ANY OTHER REQUIREMENTS WHICH MAY BE NEEDED TO SATISFY LOCAL AND NATIONAL BUILDING CODES
* DUCT JOINTS AND SEAMS SHALL BE MADE SUBSTANTIALLY AIR TIGHT
* DUCTS SHALL BE SUPPORTED AT 10'-0" INTERVALS MIN.

ARCHITECT'S CERTIFICATION

I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and, to the best of my knowledge and belief, and to the extent of my contractual obligation, they are in compliance with all applicable codes.

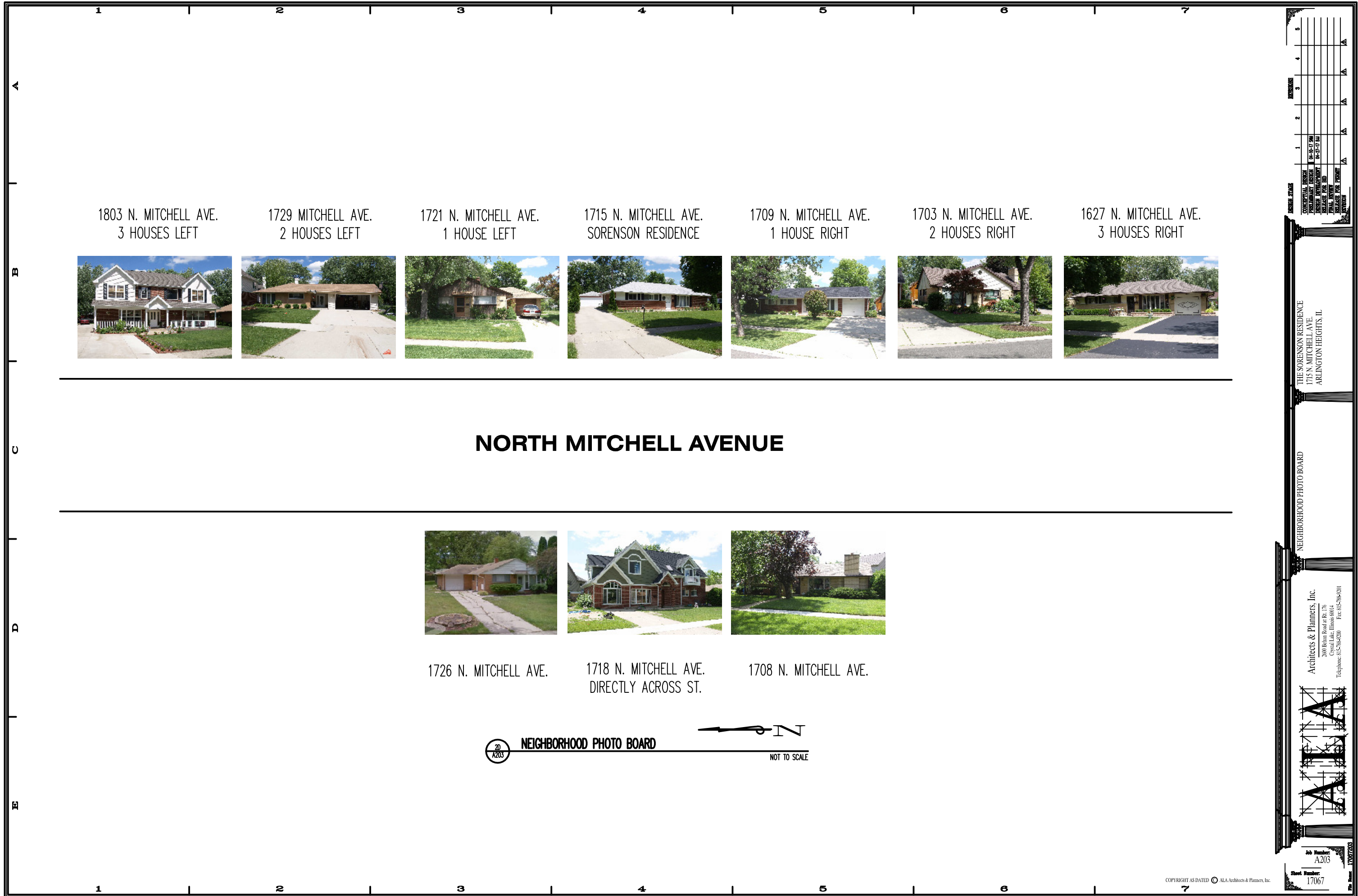
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THE SORENSON RESIDENCE
1715 N. MITCHELL AVE.
ARLINGTON HEIGHTS, IL 60004

SITE PLAN
DRAWING INDEX, GENERAL NOTES

Architects & Planners, Inc.
2000 Delmar Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-5200 Fax: 815-788-9201

Job Number: 17067
Sheet Number: A000
P.L. Name: 17067000



DATE	REVISION	BY	APP'D
04-24-17	1	SM	
04-27-17	2	SM	
04-27-17	3	SM	
04-27-17	4	SM	
04-27-17	5	SM	

THE SORENSON RESIDENCE
1715 N. MITCHELL AVE.
ARLINGTON HEIGHTS, IL

NEIGHBORHOOD PHOTO BOARD

Architects & Planners, Inc.
2000 Belton Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-2000 Fax: 815-788-0901

ALA

Job Number: A203
Sheet Number: 17067

17067203



DESIGN STAGE		REVISIONS				
CONCEPTUAL DESIGN	04-14-17 SM	1				
PRELIMINARY DESIGN	04-14-17 SM	2				
DESIGN DEVELOPMENT	04-14-17 SM	3				
PERMITTING	04-14-17 SM	4				
RELEASE FOR PERMIT	04-14-17 SM	5				

THE SORENSON RESIDENCE
1715 N. MITCHELL AVE
ARLINGTON HEIGHTS, ILLINOIS 60004

CONTEXT ELEVATIONS

Architects & Planners, Inc.
2000 Belmont Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax: 815-788-9201

ALA

Job Number: 17067
Sheet Number: A202
File Name: 17067202

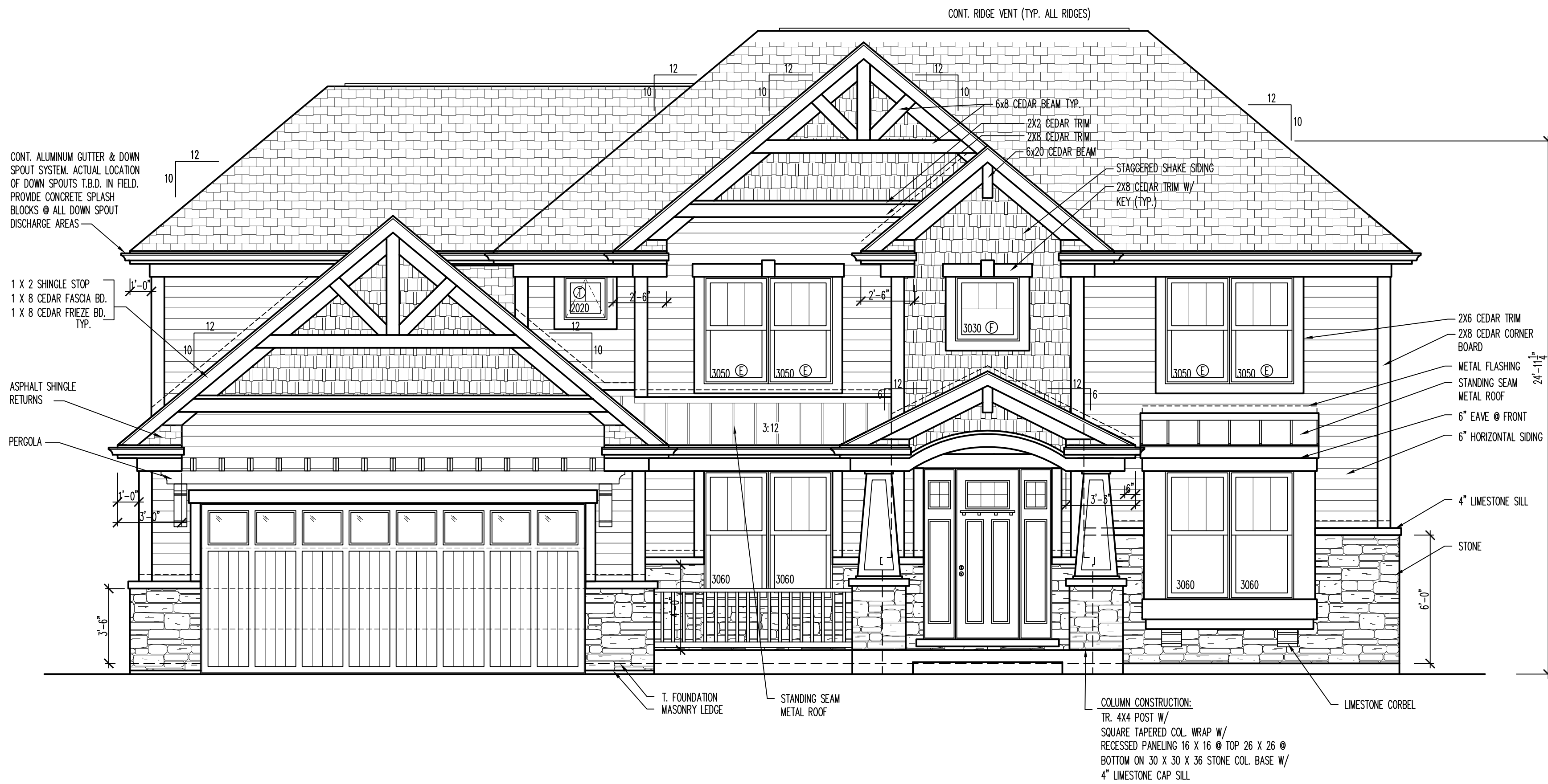
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PRELIMINARY
NOT FOR CONSTRUCTION
OR PERMIT SUBMITTAL



2C
A200
REAR ELEVATION

1/4"=1'-0"



2E
A200
FRONT ELEVATION

1/4"=1'-0"

- ELEVATION NOTES**
- DO NOT SCALE ELEVATIONS. VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
 - WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE.
 - SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
 - IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS
- WINDOW NOTES**
- TOP OF WALKOUT WINDOWS 6'-8" A.F.F.
 - TOP OF WINDOWS 106 3/4" ABOVE SUB-FLOOR
 - FOR 10'-0" PLATES, UNLESS OTHERWISE NOTED
 - TOP OF WINDOWS 94 3/4" ABOVE SUB-FLOOR
 - FOR 9'-0" PLATES, UNLESS OTHERWISE NOTED
 - TOP OF WINDOWS 82 3/4" ABOVE SUB-FLOOR
 - FOR 8'-0" PLATES, UNLESS OTHERWISE NOTED
 - ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET AND INCHES
 - EXAMPLE: 2555 = 2'-5" X 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED)
 - PROVIDE (2)2 X 12'S ABOVE ALL WINDOWS AND OPENINGS UNLESS OTHERWISE NOTED
 - PROVIDE SAFETY GLAZING IN ALL WINDOWS WITHIN 24" OF MAIN ENTRY DOOR, WITHIN 18" OF FLOOR, IN TUB/SHOWER ENCLOSURES, AND IN STAIR WELLS
 - PROVIDE WINDOW GUARDS THAT COMPLY WITH ASTM F2006 OR F2090
 - WHEN SILL IS LESS THAN 24" HIGH ABOVE THE FLOOR
 - ALL FENESTRATIONS SHALL HAVE A MAXIMUM U-VALUE AS FOLLOWS:
WINDOWS & DOORS - 0.32, SKYLIGHTS - 0.55
- ① - EGRESS WINDOW
② - TEMPERED GLASS
③ - FIXED WINDOW

- EXTERIOR COLOR PACKAGE**
- SIDING:
GRAY MIST
- ROOFING:
ESTATE GRAY
- SOFFIT/TRIM:
WHITE
- GUTTERS:
WHITE
- GARAGE DOOR:
WHITE
- STONE:
STONE RIDGE
- WINDOWS:
WHITE

DESIGN STAGE

DESIGN STAGE	DATE	BY	REVISION
CONCEPTUAL DESIGN	04-14-17 SM		
PRELIMINARY DESIGN	04-14-17 SM		
DESIGN DEVELOPMENT	04-14-17 SM		
PERMITTING	04-14-17 SM		
RELEASE FOR BID	04-14-17 SM		
RELEASE FOR PERMIT	04-14-17 SM		
REVISION			

THE SORENSON RESIDENCE
1715 N. MITCHELL AVE.
ARLINGTON HEIGHTS, IL 60004

Architects & Planners, Inc.
2000 Delmar Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-5200 Fax: 815-788-9201

FRONT ELEVATION
REAR ELEVATION

PRELIMINARY
NOT FOR CONSTRUCTION
OR PERMIT SUBMITTAL

Job Number: 17067
Sheet Number: A200
File Name: 17067200

PRELIMINARY
NOT FOR CONSTRUCTION
OR PERMIT SUBMITTAL

PRELIMINARY
NOT FOR CONSTRUCTION
OR PERMIT SUBMITTAL



2C
A201

LEFT ELEVATION

1/4"=1'-0"



2E
A201

RIGHT ELEVATION

1/4"=1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
OR PERMIT SUBMITTAL

DESIGN STAGE		1	2	3	4	5
CONCEPTUAL DESIGN						
PRELIMINARY DESIGN						
DESIGN DEVELOPMENT						
PERMITTING						
RELEASE FOR PERMIT						
REVISION						

PRELIMINARY
NOT FOR CONSTRUCTION
OR PERMIT SUBMITTAL

THE SORENSON RESIDENCE
1715 N. MITCHELL AVE.
ARLINGTON HEIGHTS, IL 60004

RIGHT ELEVATION
LEFT ELEVATION

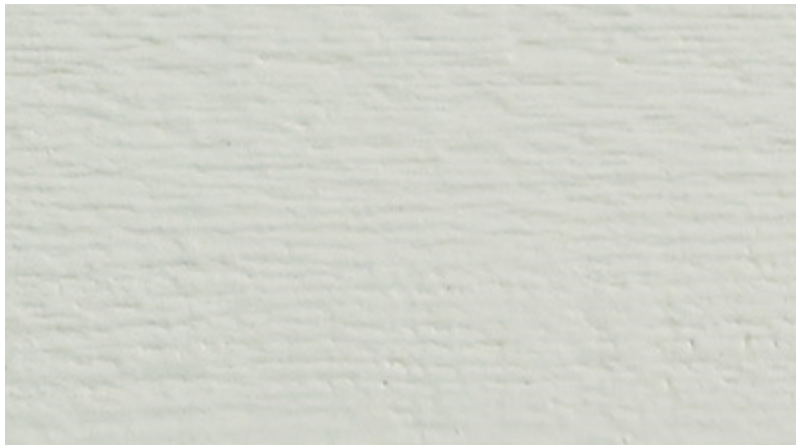
Architects & Planners, Inc.
2000 Debra Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-5200 Fax: 815-788-9201

ALA

Job Number:
17067
Sheet Number:
A201
File Name:
17067201

Single Family Home Exterior Selections			
Address: 1715 Mitchell			
17-April-17			
Material Schedule			
<u>Item</u>	<u>Material</u>	<u>Manufacturer</u>	<u>Color/Selection</u>
Roof	Architectural Shingle	Owens Corning - Artisan Series	Estate Gray
Siding / Wall Shake	Wood	LP Smart Siding / Shake	Gray Mist
Gutters/Fascia/Soffit	Aluminum	American Construction Metals	"White" Rainware Colors
Windows	Vinyl	Jeld Wen	White
Garage Door	Steel	Clopay	White
Stone	Rademan Stone	Fond Du Lac	"Stone Ridge"
Exterior Trim	Wood	LP Smart Trim	White - SW7006

LP "Gray Mist"



Owens Corning "Estate Gray"



Rademan Stone – Fond Du Lac “Stone Ridge”





Item: DC#17-058 - 1831 N. Mitchell Ave. - SF/Teardown

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 1831 N. Mitchell Avenue. This recommendation is subject to compliance with the architectural plans dated and received 5/17/17, and the following:

1. Reduce the roof pitch on the sides from 10:12 to 8:12.
2. Pull the porch forward a couple of feet.
3. Omit the dormer on the roof.
4. Extend the stone down the side of the garage.
5. Add a window in the side of the garage.
6. Extend the stone a few feet on the east elevation.
7. Add grids to all of the windows to match the front elevation.
8. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
9. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report

Drawings & Documents

Type

Board or Commission Report

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 1831 N. Mitchell Ave.
Project Address: 1831 N. Mitchell Ave.
Prepared By: Steve Hautzinger

Date Prepared: May 17, 2017

PETITION INFORMATION:

DC Number: 17-058
Petitioner Name: Tom Abbatemarco
Petitioner Address: Prestigious Homes
237 W. Hillside
Barrington, IL 60010
Meeting Date: May 23, 2017

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to demolish an existing single story residence with one car attached garage to allow construction of a new two story residence with an attached, three car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 9,900 square feet and the proposed residence will have 4,127 square feet. This project does comply with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 30 feet Side: 7.5 feet Side: 7.5 feet Rear: 30 feet	Front: 30 feet Side: 7.5 feet Side: 7.9 feet Rear: 40.7 feet
Building Height	25 feet to the midpoint	24.8 feet to the midpoint
FAR	4,398 SF	4,127 SF
Building Lot Coverage	3,465 SF	2,735 SF
Impervious Surface Coverage Total	4,950 SF	3,886 SF

The existing neighborhood consists primarily of single-story homes with one car attached garages. This project is appearing before the Design Commission due to past concerns in this neighborhood regarding teardown/new construction, and to evaluate the proposed architectural design with the context of the neighborhood. Although the neighborhood is predominantly single story homes, it should be noted that there are a few other teardowns previously completed on this block, and numerous teardowns completed throughout the neighborhood.

The proposed house is on a 75 foot wide lot, and there is abundant space between the adjacent homes. However, the house does look tall compared to the context of the smaller homes in the neighborhood. Although, the single story front porch does help to relate to the adjacent single story homes. Staff offers the following comments to enhance the design:

1. Reduce the scale of the gable above the garage and the overall roof by reducing the roof pitch on the sides from 10:12 to 8:12.
2. Pull the porch forward a couple of feet so that the garage is not the most prominent feature.
3. The dormer on the roof gives the house a three story appearance, so it is recommended to be omitted.
4. The side of the garage will be highly visible, so it is recommended that the stone be returned all the way down the side and a window added.
5. The stone should be returned a few feet down the east side elevation, to align with the second floor wall above.
6. All windows should have window grids to match the front elevation.

RECOMMENDATION:

It is recommended that the Design Commission **approve** the proposed new single-family residence to be located at 1831 N. Mitchell Avenue.

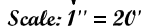
This recommendation is subject to compliance with the architectural plans dated and received 5/17/17, and the following:

1. Reduce the roof pitch on the sides from 10:12 to 8:12.
2. Pull the porch forward a couple of feet.
3. Omit the dormer on the roof.
4. Extend the stone down the side of the garage.
5. Add a window in the side of the garage.
6. Extend the stone a few feet on the east elevation.
7. Add grids to all of the windows to match the front elevation.
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9. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

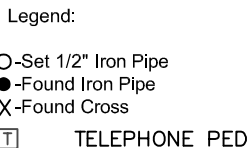
_____, May 17, 2017

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 17-058



LOT 44 IN BLOCK 2 IN HASBROOK SUBDIVISION UNIT 2, BEING A SUBDIVISION OF PART OF THE EAST ½ OF THE NORTHEAST ¼ OF SECTION 19, TOWNSHIP 42, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



Surveyor Notes:

1. Field Work Completed on 7-20-2016
2. Prepared for Prestigious Home Builders
3. Site Address: 1831 N. Mitchell Ave., Arlington Heights, IL
4. Pin No.: 03-19-206-027
5. The easements shown hereon are provided from the recorded subdivision plat. No search of the records for easements or encumbrances was made as part of this survey.
6. Compare deed description and site conditions with the data given on this plat and report any discrepancies to the surveyor at once.
7. Auto Cad Files will not be released under this contract.
8. No boundary corners were set at time of field survey of the subject property by client agreement.
9. This plat was prepared without the aid of a title commitment. Refer to a current title commitment for any building lines or easements not shown on this plat.
10. The utilities as shown on this drawing were developed from the information available. This is not implied nor intended to be the complete inventory of utilities in this area. It is the clients responsibility to verify the location of all utilities (whether shown or not) and protect said utilities from any damage.
11. All building dimensions and ties are to the current siding material and not to the foundation.

State of Illinois) SS)
County of Cook)

We, Land Surveying Services, Inc. do hereby state that we have surveyed the above described property and that this is the Plat that represents the conditions found at the time of said survey.

Given under my hand and seal this 21st day of July, A.D. 2016 in Madison, Illinois.

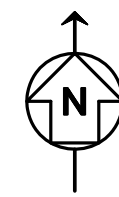
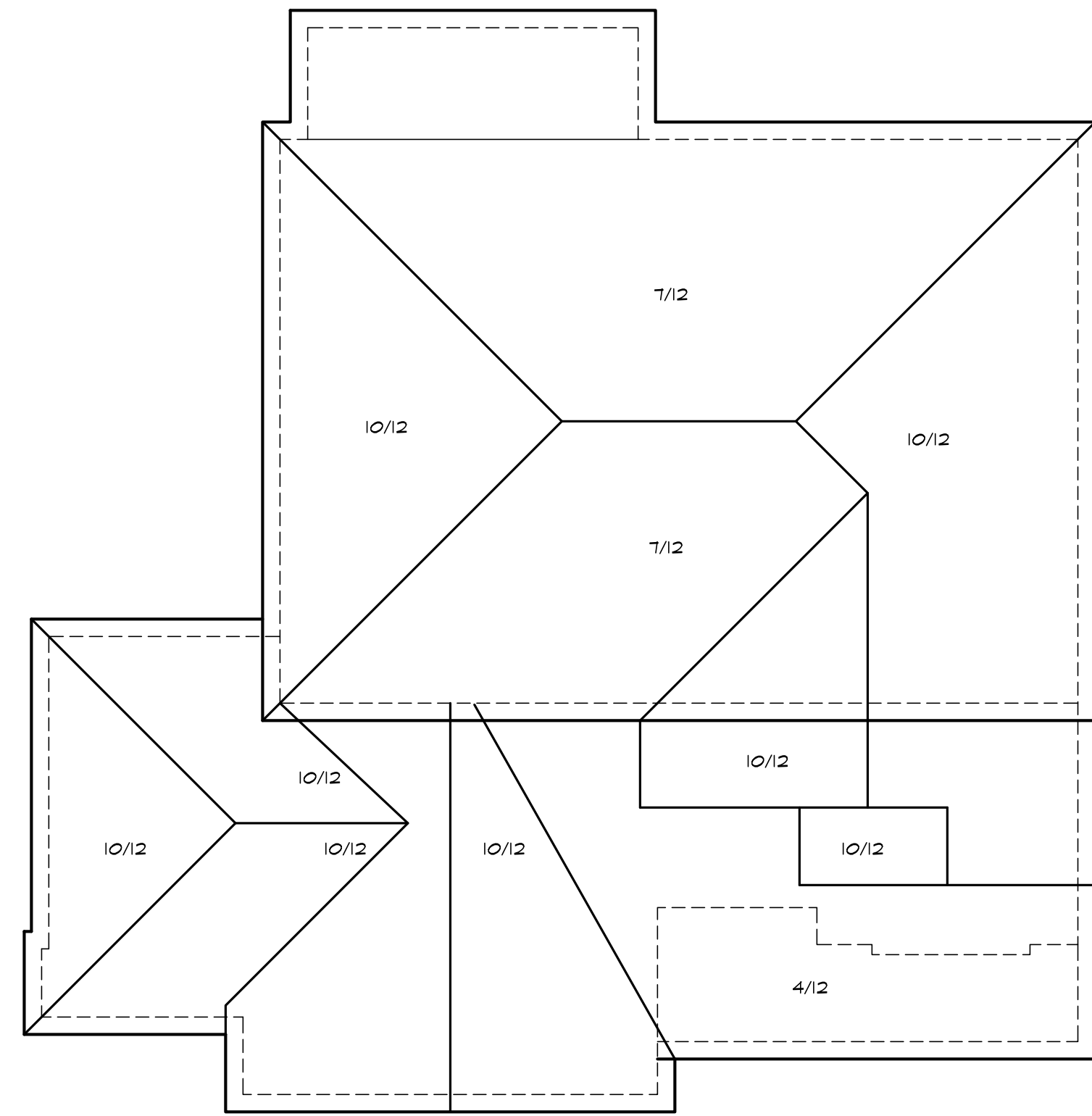
Gloria Jean Koter, an agent for Land Surveying Services, Inc.

Illinois Professional Land Surveyor Number 3823
License Expiration Date 11-30-16

This professional service conforms to the current Illinois minimum standards for a boundary survey.

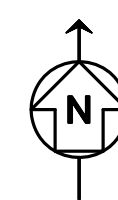
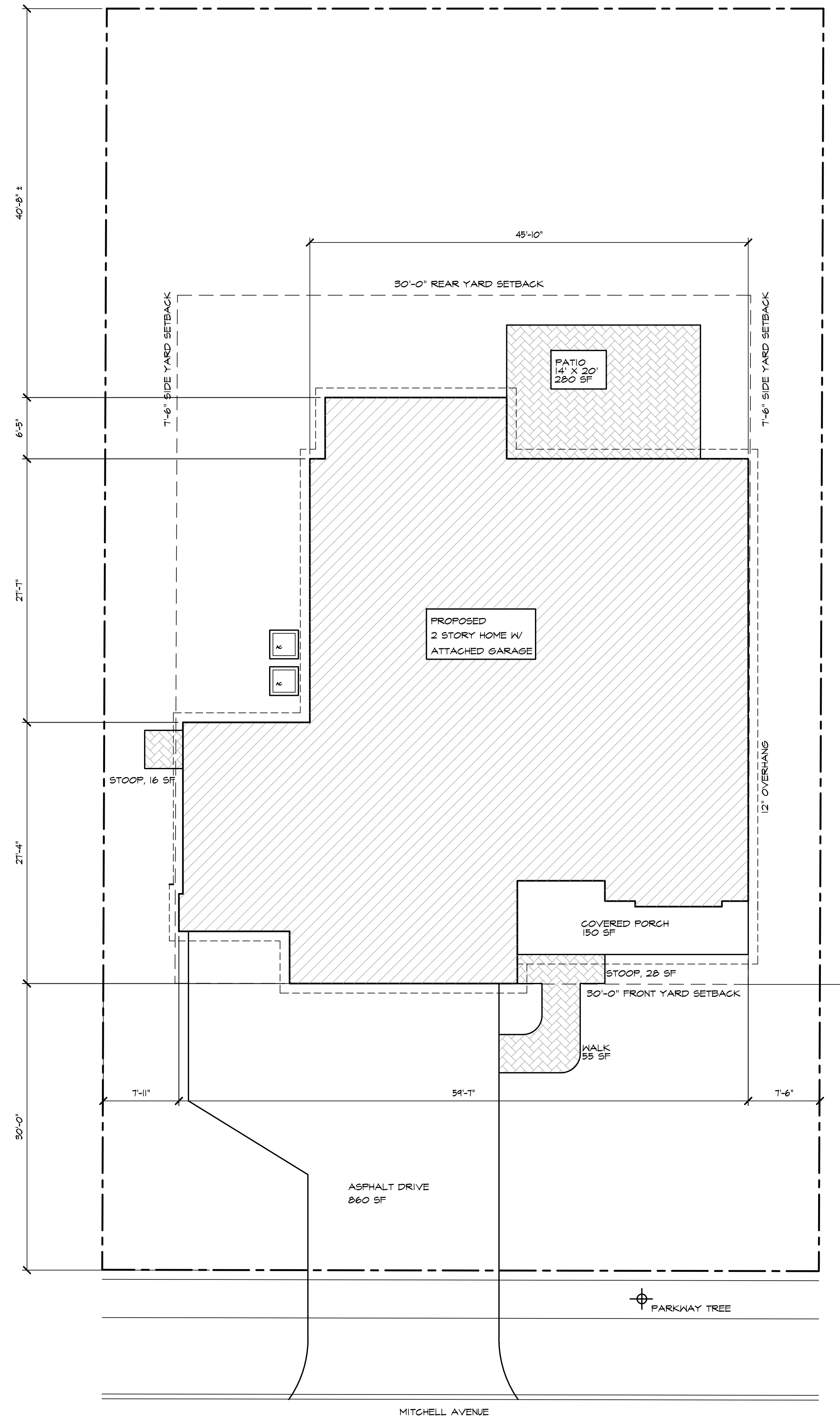


Drawn By:	KD	Checked By:	GJK
Drawing Revisions			
REVISION	Date	Drawn	Checked



PROPOSED ROOF PLAN

1/8" = 1'-0"



PROPOSED SITE PLAN

1/8" = 1'-0"

Revisions:
5/17/2017 REVISIONS

**SITE PLAN
ROOF PLAN**

RESIDENCE FOR:
GENAULDI FAMILY
1831 N. MITCHELL AVE
ARLINGTON HEIGHT, IL

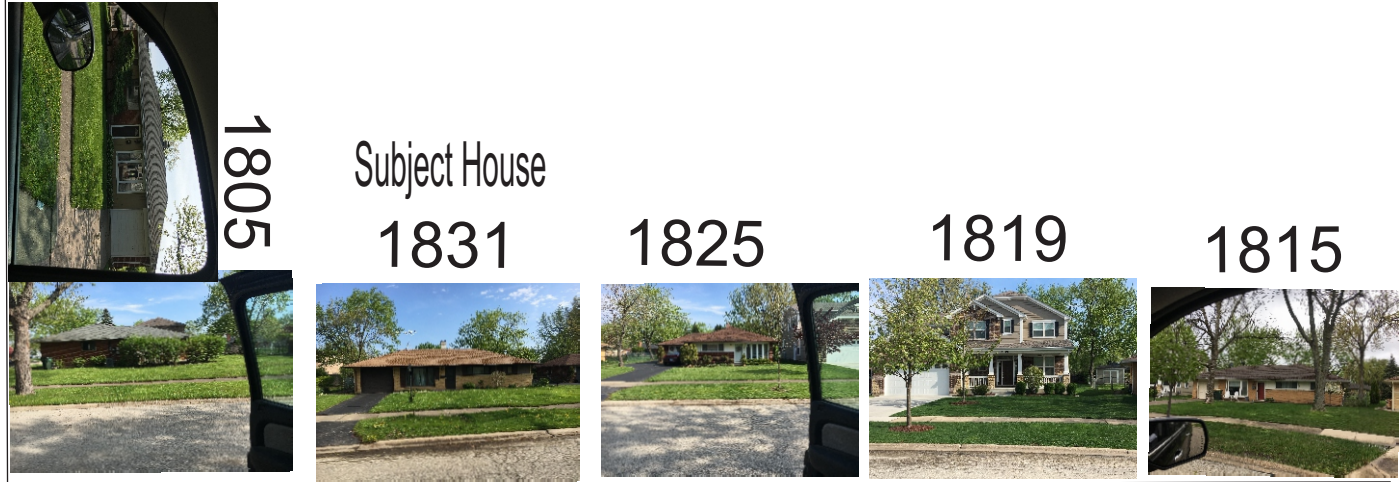
S. Petersen Architects
523 South Cook St., Barrington, IL 60010
Office: 847-382-6799 Fax: 847-382-0735

Issue Date:
25 APRIL 2017
Drawn By:
sop
Job Number:
L52016

A1

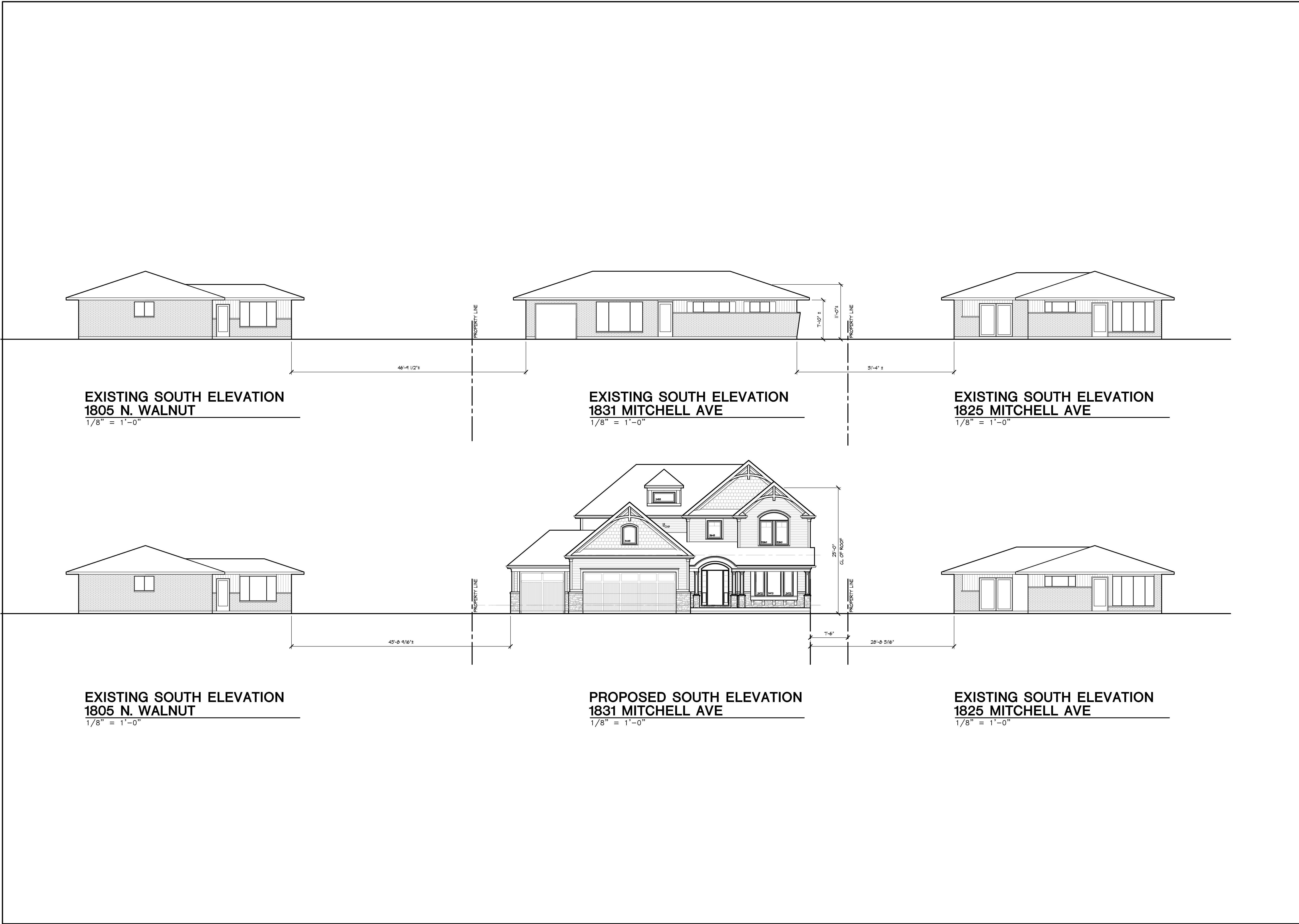


N. Walnut Ave.



N. Mitchell Ave.





Revisions:
5/17/2017 REVISIONS

**SITE STUDY
GENERAL NOTES**

**RESIDENCE FOR:
GENAULDI FAMILY
1831 N. MITCHELL AVE
ARLINGTON HEIGHT, IL**

S. Petersen Architects
523 South Cook St., Barrington, IL 60010
Office: 847-382-6799 Fax: 847-382-0735

Issue Date:
25 APRIL 2017
Drawn By:
scp
Job Number:
L52016
A4



1-A3 SOUTH ELEVATION
 $\frac{1}{4}" = 1'-0"$



2-A3 NORTH ELEVATION
 $\frac{1}{4}" = 1'-0"$

Revisions:
5/17/2017 REVISIONS

EXTERIOR ELEVATIONS

RESIDENCE FOR:
GENAULDI FAMILY
 1831 N. MITCHELL AVE
 ARLINGTON HEIGHT, IL

S. Petersen Architects
 523 South Cook St., Barrington, IL 60010
 Office: 847-382-6799 Fax: 847-382-0735

Issue Date:
25 APRIL 2017
Drawn By:
scp
Job Number:
L52016

A3



1-A3.1 WEST ELEVATION
1/4" = 1'-0"



2-A3.1 EAST ELEVATION
1/4" = 1'-0"

Revisions:
5/17/2017 REVISIONS

EXTERIOR ELEVATIONS

RESIDENCE FOR:
GENAULDI FAMILY
1831 N. MITCHELL AVE
ARLINGTON HEIGHT, IL

S. Petersen Architects
523 South Cook St., Barrington, IL 60010
Office: 847-382-6799 Fax: 847-382-6735

Issue Date:
25 APRIL 2017
Drawn By:
sop
Job Number:
L52016

A3.1

Proposed Exterior Materials and Colors



Genauldi Residence
1831 N Mitchell
Arlington Heights, IL

MATERIAL LIST

James Hardie Trim & Siding
White Trim / Night Gray Siding color to match submitted photo

James Hardie Shake Shingle Siding
Night Gray color to match submitted photo

4" Full Stone Masonry – Stratford Cross stone & color to match submitted photo

Therma Tru Stained fiberglass front door – stained to match submitted photo

Clopay garage door – style & color to match submitted photo

Aluminum Gutters & downspouts – white

30yr Architectural Shingle – Black

Marvin Integrity Window – Dark Bronze color to match submitted photo



Item: DC#17-056 - Stonebridge Village Apartments - Multi-Family

Department: Planning & Community Development

Requested Action

1. Approval of the proposed architectural design for exterior modifications to six existing apartment buildings and new ground sign designs.

Recommendation

It is recommended that the Design Commission evaluate the proposed architectural design and signage designs for the exterior modifications to Stonebridge Village Apartments located at 600 W. Rand Road. This recommendation is subject to compliance with the plans received 4/25/17, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. Evaluate the scale, profile, and color of the proposed cornices. Consider incorporating a slope into the bottom of the profile to add more interest to the design.
2. Consider alternate color schemes without painting the existing brick.
3. Evaluate the proposed "Napery" and "Night Owl" paint colors.
4. Evaluate the overall style and appearance of the proposed new signs as they relate to the proposed updated style of the development. All signs shall comply with code or with previously approved variations.
5. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on nor represent any tacit approval or support for the proposed land use or any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

6. The petitioner is required to meet all landscape and parking requirements per Chapter 28.

7. All signage must meet code, Chapter 30.

ATTACHMENTS:

Description

Staff Report

Drawings & Documents

Type

Board or Commission Report

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: Stonebridge Village Apartments
Project Address: 600 W. Rand Rd.
Prepared By: Steve Hautzinger

PETITIONER INFORMATION:

DC Number: 17-056
Petitioner Name: Jonathan W. Clark
Petitioner Address: Clark Associates Architects
 1811 Business Park Drive
 Clarksville, TN 37040
Meeting Date: May 23, 2017

Date Prepared: May 15, 2017

Requested Action(s):

1. Approval of the proposed architectural design for exterior modifications to six existing apartment buildings and new ground sign designs.

ANALYSIS

Summary:

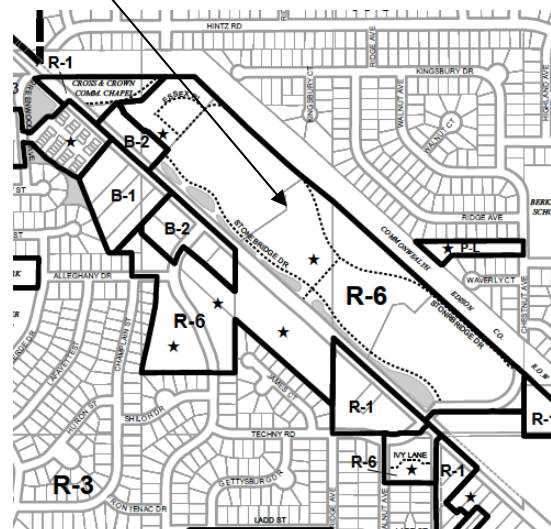
The subject design is being forwarded to the Design Commission for review pursuant to Chapter 6 of the Municipal Code, specifically Section 6-501 (e)(1), which states that the Design Commission "shall review all Plan Commission, Zoning Board of Appeals, Building Permit and Sign Permit applications for new construction and those improvements which affect the architectural design of the building, site improvements or signage to determine whether it meets with the standards, requirements and purposes of the Design Guidelines and Chapter 30, Sign Regulations."

Stonebridge Village Apartments is an existing residential apartment community with six, four-story apartment buildings with a site area of approximately 40 acres. The apartment community is under new ownership, and numerous improvements to the property are proposed including an exterior makeover for all six apartment buildings, replacement of the covered porte-cochere canopies at the entrances to each building, and replacement of three existing ground signs facing Rand Road.

Site:



Aerial View of Subject Site



Zoning Map

Preliminary Design Commission Review:

This project received a preliminary Design Commission review on September 9, 2016. At that time, the proposed design included adding pitched roofs to the existing flat roofed buildings. The pitched roofs added to the height of the building which did not comply with code, and would have required a height variation. In general, the Design Commission liked the pitched roof scheme.

Architectural Design:

At this time, the petitioner has changed the design concept from adding pitched roofs to adding decorative cornices around the existing parapet walls. The proposed design also includes painting all of the exterior brick in a cream color, painting the brick spandrel panels below the windows in a dark gray color, and replacing all of the existing black metal balcony railings with new off-white vinyl railings. Finally, the proposal includes replacing the existing mansard style porte-cochere canopies with new modern sloped canopy design.

Overall, Staff is very pleased with the proposed investment and planned improvements for the property to create a fresh updated appearance. However, there are some concerns about the details of the proposed design that need to be evaluated:

1. Cornices. Overall, Staff is in support of the concept to use a bold decorative cornice to give the buildings a fresh, modern appearance. However, portions of the proposed cornice design look a bit heavy and bulky, especially in the dark black color. Additionally, the profile of the cornices is a simple stepped design. Consider incorporating a slope into the bottom of the profile to add more interest to the design. The scale, profile, and color of the proposed cornices should be evaluated by the Design Commission.
2. Brick. The existing brick walls do have a dull appearance, but painting of the brick will result in life-long maintenance to keep the buildings looking good. The Design Commission should evaluate the long-term outlook of this proposal.
3. Paint Colors. If the Design Commission concurs with the proposal to paint the brick, the proposed color scheme should be evaluated.
 - a. Walls. Staff is concerned that the creamy "Napery" color for the body of the building will be too yellow. A light gray, or off-white color should be considered.
 - b. Spandrels. The proposed "Night Owl" has a greenish gray appearance that should be evaluated for compatibility with the wall color.

Landscaping:

The existing development has an abundance of mature landscaping. The petitioner has indicated that it is their intention to perform some trimming and maintenance of the existing landscaping, but specific plans have not been provided.

Signage:

The Design Commission should evaluate the overall style and appearance of the proposed signs as they relate to the proposed updated style of the development. All signs are required to comply with Chapter 30 sign code, and separate permits are required for each sign.

1. Ground Signs. In 1977, a sign variation was approved for this property to allow three ground signs to face Rand Road, 25 sf maximum for each. The existing signs have a rustic and somewhat dated appearance so they are proposed to be replaced with contemporary new designs. The overall scale and signage area on of the new monument style signs are substantially compliant with the original approved signs, so new sign variations are not required. This review is for the overall style and appearance of the proposed signs as they relate to the proposed updated style of the development. The signs are only allowed to display the name of the development. Therefore, the signage layout should be revised to read "Stonebridge Luxury Apartments" instead of "Luxury Apartments Stonebridge".
2. Leasing Center Sign. The proposed design has a consistent appearance with the primary ground sign designs. However, additional information is required to evaluate the replacement of any internal directional/address signage. Village records do not show permits for the existing signs. The proposed sign(s) are required to meet code.
3. Building Addresses. Wall signs are not allowed in residential zoning districts, so the large proposed address numbers on the building walls are not allowed. It is recommended that smaller address numbers be provided at each of the building

entrances.

As a note, fluttering temporary signs, etc (previoulsy installed and removed at this location) are not allowed.

RECOMMENDATION:

It is recommended that the Design Commission **evaluate** the proposed architectural design and signage designs for the exterior modifications to *Stonebridge Village Apartments* located at 600 W. Rand Road. This recommendation is subject to compliance with the plans received 4/25/17, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. Evaluate the scale, profile, and color of the proposed cornices. Consider incorporating a slope into the bottom of the profile to add more interest to the design.
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May 15, 2017

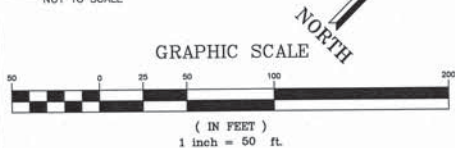
Steve Hautzinger AIA, Design Planner

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 17-056

ALTA/ACSM LAND TITLE SURVEY



VICINITY MAP:
NOT TO SCALE



TITLE COMMITMENT:

THIS SURVEY IS BASED ON CHICAGO TITLE INSURANCE COMPANY TITLE COMMITMENT NUMBER 1401-008979839-D2, EFFECTIVE DATE OCTOBER 19, 2015.

LEGAL DESCRIPTION:

PARCEL "A": LOT "A" IN STONEBRIDGE HILL APARTMENTS BEING A SUBDIVISION IN THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL "B": LOT "B" IN FIRST ADDITION TO STONEBRIDGE HILL APARTMENTS BEING A SUBDIVISION IN THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARCEL "C": LOT "C" IN FIRST ADDITION TO STONEBRIDGE HILL APARTMENTS BEING A SUBDIVISION IN THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

NOTES ON SCHEDULE B:

ITEMS NOT LISTED BELOW ARE NOT MATTERS OF SURVEY.

- 15 UTILITY EASEMENTS PER DOCUMENT 21301388 ARE PLOTTED HEREON. APPROXIMATE LOCATION OF CENTERLINE OF WESTERLY WATER MAIN EASEMENT IS GRAPHICALLY PLOTTED HEREON. DESCRIPTION IS ILLINOIS.
- 16 COMMONWEALTH EDISON EASEMENT PER DOCUMENT 19417172 IS PLOTTED HEREON.
- 17 COMMONWEALTH EDISON AND ILLINOIS BELL TELEPHONE COMPANY EASEMENT PER DOCUMENT 21040341 IS LOCATED WHERE FACILITIES ARE INSTALLED. APPROXIMATE LOCATION PER EXHIBIT A IS PLOTTED HEREON.
- 18 COMMONWEALTH EDISON AND ILLINOIS BELL TELEPHONE COMPANY EASEMENT PER DOCUMENT 22130630 IS LOCATED WHERE FACILITIES ARE INSTALLED. EXHIBIT A SHOWS LOCATIONS IN PARCEL (LOT) C WHILE LEGAL DESCRIPTION REFERS TO LOT A. APPROXIMATE LOCATION PER EXHIBIT A IS PLOTTED HEREON.
- 19 INGRESS AND EGRESS EASEMENT PER DOCUMENT 25109190 IS PLOTTED HEREON.
- 20 ELECTRIC AND TELEPHONE COMPANY EASEMENT PER DOCUMENT 21305258 IS LOCATED WHERE FACILITIES ARE INSTALLED. APPROXIMATE LOCATION PER EXHIBIT A IS PLOTTED HEREON.
- 21 INGRESS AND EGRESS EASEMENT PER DOCUMENT 22948132 IS PLOTTED HEREON.
- 22 COMCAST EASEMENT PER DOCUMENT 0511641104 IS AN EASEMENT IN GROSS AND IS NOT PLOTTABLE.

LEGEND:

- (R) RECORD
(M) MEASURED
- FLAG POLE / BOLLARD / POST
 - SIGN POST
 - TRAFFIC SIGNAL POLE
 - TRAFFIC SIGNAL PEDESTAL
 - LIGHT POLE, MAST-ARM
 - LIGHT POLE
 - UTILITY POLE
 - COMMUNICATIONS PEDESTAL
 - COMMUNICATIONS MANHOLE
 - TRANSFORMER
 - ELECTRIC PEDESTAL / METER
 - ELECTRIC MANHOLE
 - GAS METER
 - VALVE VAULT
 - FIRE HYDRANT / STANDPIPE / AUTO SPRINKLER
 - VALVE BOX
 - BUFFALO BOX
 - CLEANOUT
 - MANHOLE
 - INLET
 - CATCH BASIN
 - CATCH BASIN, BEEHIVE
 - OVERHEAD WIRE(S)
 - FENCE, CHAIN-LINK
 - FENCE, WOOD
 - HANDRAIL

ZONING CLASSIFICATION:

ZONE R-6, Multiple-Family Dwelling District

Required Minimum Yards:

Front Yard: 25 feet plus 1 foot for each foot or fraction thereof which exceeds a building height of 25 feet.

Side Yard: 10% of lot width plus 1 foot for each foot or fraction thereof which exceeds a building height of 25 feet.

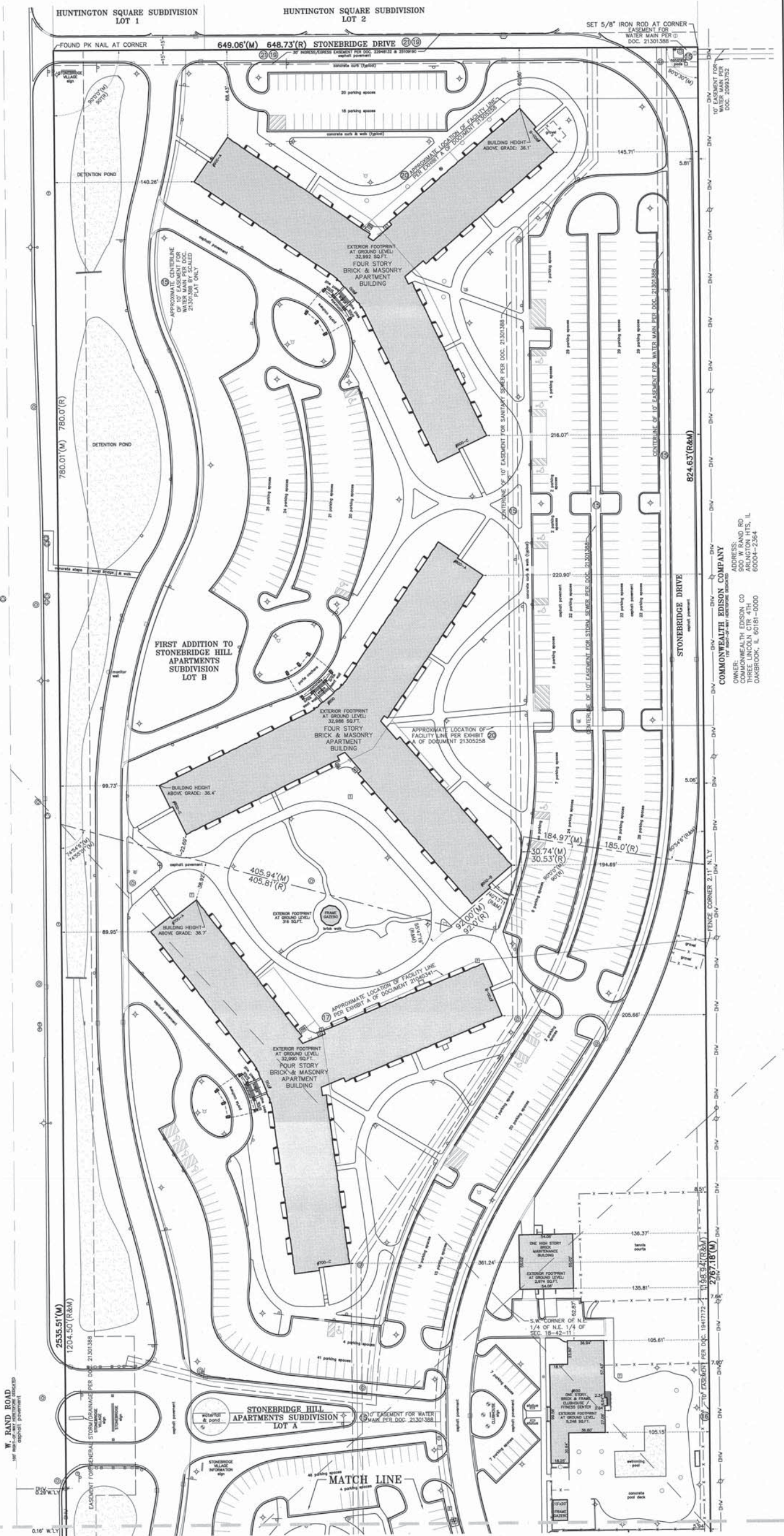
Exterior Side Yard: On corner lots, there shall be maintained a side yard of not less than 20 feet on the side adjacent to the street which intersects the street upon which the building maintains frontage, and in the case of a reversed corner lot, there shall be maintained a setback from the side street of not less than 50% of the front yard required on the lots in the rear of such corner lots, but such yard need not exceed 20 feet. No accessory building on solid reversed corner lot shall project beyond the front yard required on the adjacent lot to the rear, nor be located nearer than five feet to the side lot line of solid adjacent lots.

Rear Yard: 30 feet plus one foot for each foot or fraction thereof which exceeds a building height of 25 feet.

Maximum Building Height: 40'-ft, exclusive of elevators, penthouses, stair heads, and other mechanical equipment.

Maximum Floor Area Ratio: 150%

Information provided by V. Gina Giannelli
Illinois State Counsel & Vice President
Chicago Title Insurance Company - National Commercial Services | Chicago
10 South LaSalle St., Suite 3100, Chicago, IL 60603
p: 312-223-2754 | f: 312-223-2272



COMMONWEALTH EDISON COMPANY
ADDRESS:
900 W. RAND RD.
CHICAGO, ILLINOIS 60604-2364
OWNER:
COMMONWEALTH EDISON CO
CHICAGO, ILLINOIS 60604-2364
CHICAGO, ILLINOIS 60604-2364

FLOOD ZONE CLASSIFICATION:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 17031C0201-J, WHICH BEARS AN EFFECTIVE DATE OF AUGUST 19, 2008 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY. ZONE "X" DENOTES AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

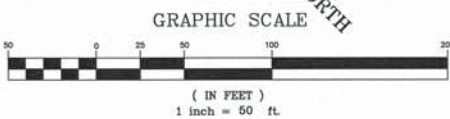
PROJECT NUMBER
14681

ALTA/ACSM LAND TITLE SURVEY
STONEBRIDGE VILLAGE
600 W. RAND ROAD
ARLINGTON HEIGHTS, ILLINOIS

IG CONSULTING, INC.
e-mail: ig@igconsulting.net
INFRACON & GEOCON
CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
300 MARQUARDT DRIVE WHEELING, ILLINOIS 60090 PH. (847) 215-1133 | FAX (847) 215-1177
PREPARED FOR: THE CONNOR GROUP SCALE: 1" = 50'
FIELD CREW: D.J. FIELD WORK: DEC/2015 DRAFTED BY: J.H. CHECKED BY:



VICINITY MAP:
NOT TO SCALE



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+ BUFFALO BOX
+ CLEANOUT
+ MANHOLE
+ INLET
+ CATCH BASIN / YARD DRAIN / MONITOR WELL
+ CATCH BASIN, BEEHIVE
+ OVERHEAD WIRE(S)
+ FENCE, CHAIN-LINK
+ FENCE, WOOD
+ HANDRAIL

SURVEYOR'S NOTES:

- ONLY THOSE BUILDING LINE RESTRICTIONS OR EASEMENTS SHOWN ON A RECORDED SUBDIVISION PLAT ARE SHOWN HEREON UNLESS THE DESCRIPTIONS ORDERED TO BE SURVEYED CONTAINS A PROPER DESCRIPTION OF THE REQUIRED BUILDING LINES OR EASEMENTS.
- ALL DISTANCES IN FEET AND DECIMAL PARTS THEREOF. NO DIMENSIONS TO BE ASSUMED FROM SCALING.
- COMPARE YOUR DESCRIPTION AND SITE MARKINGS WITH THIS PLAT AND AT ONCE REPORT ANY DISCREPANCIES WHICH YOU MAY FIND.
- ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, EASEMENTS, SERVITUDES AND ENCROACHMENTS; ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
- NO OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.
- NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT THE TIME OF THIS SURVEY.
- THE SURVEYOR WAS NOT PROVIDED WITH A WETLAND DELINEATION REPORT AND NO DELINEATION MARKERS WERE OBSERVED AT THE TIME OF SURVEY.
- THE PROPERTY SURVEYED AND SHOWN HEREON IS THE SAME PROPERTY DESCRIBED IN THE REFERENCED TITLE COMMITMENT.
- THE PROPERTY HAS ACCESS TO W. RAND ROAD AND CHESTNUT AVENUE, BOTH PUBLIC STREETS.
- UNIT PATIOS ARE SURFACED WITH CONCRETE, BRICK, TILE OR A COMBINATION THEREOF.
- GROSS LAND AREA OF PARCELS A, B AND C IS 1,770,125 SQ.FT. OR 40.6 ACRES.
- WITH RESPECT TO ADJOINING PROPERTIES, NO PARTY WALLS WERE DESIGNATED BY THE CLIENT AND NO PARTY WALLS WERE OBSERVED AT THE TIME OF SURVEY.
- THE PROPERTY CONTAINS 1,053 STANDARD PARKING SPACES AND 26 HANDICAPPED PARKING SPACES.

ALTA/ACSM LAND TITLE SURVEY
STONEBRIDGE VILLAGE
600 W. RAND ROAD
ARLINGTON HEIGHTS, ILLINOIS

IG CONSULTING, INC.
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300 MARQUARDT DRIVE WHEELING, ILLINOIS 60090 PH. (847) 215-1133 | FAX (847) 215-1177
PREPARED FOR: THE CONNOR GROUP SCALE: 1" = 50'
FIELD CREW: D.J. FIELD WORK: DEC/2015 DRAFTED BY: J.H. CHECKED BY:
FIRM NO. 184-001330

FIRST ADDITION TO STONEBRIDGE HILL APARTMENTS SUBDIVISION LOT D
OWNER:

SURVEYOR'S CERTIFICATION:

STATE OF ILLINOIS COUNTY OF COOK S.S.
CERTIFIED TO:
Stonebridge of Arlington Heights, LLC;
Stonebridge of Arlington Heights, LLC;
Stonebridge of Arlington Heights, LLC;
CBRE Capital Markets, Inc. and Federal Home Loan Mortgage Corporation,
their successors and/or assigns;
and Chicago Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(b), 7(a), 8, 9, 10(a), 11(a), 13, 16, 18, 19 and 20(a) of Table A thereof.
The field work was completed on 12/23/2015.
Date of Plat: 02/19/2016

BY: ILLINOIS PROFESSIONAL LAND SURVEYOR #3681
LICENSE EXPIRES: NOVEMBER 30, 2016



Stonebridge Apartment Buildings - Existing Site Photos



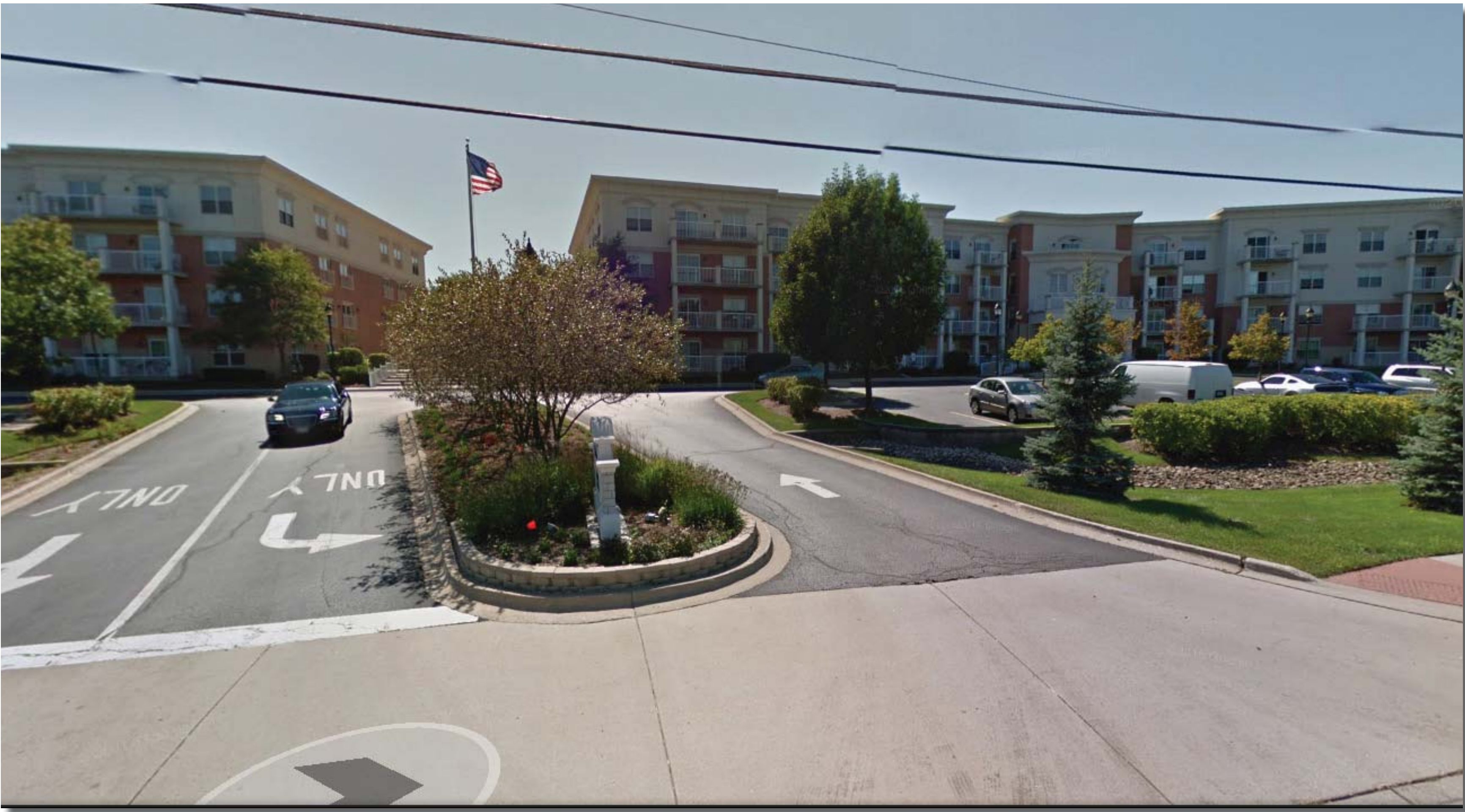
Stonebridge Apartments - Existing Site Photos - View from Rand Road / Main Property Entry



Stonebridge Apartment Buildings - Existing Site Photos / Railing Mockup



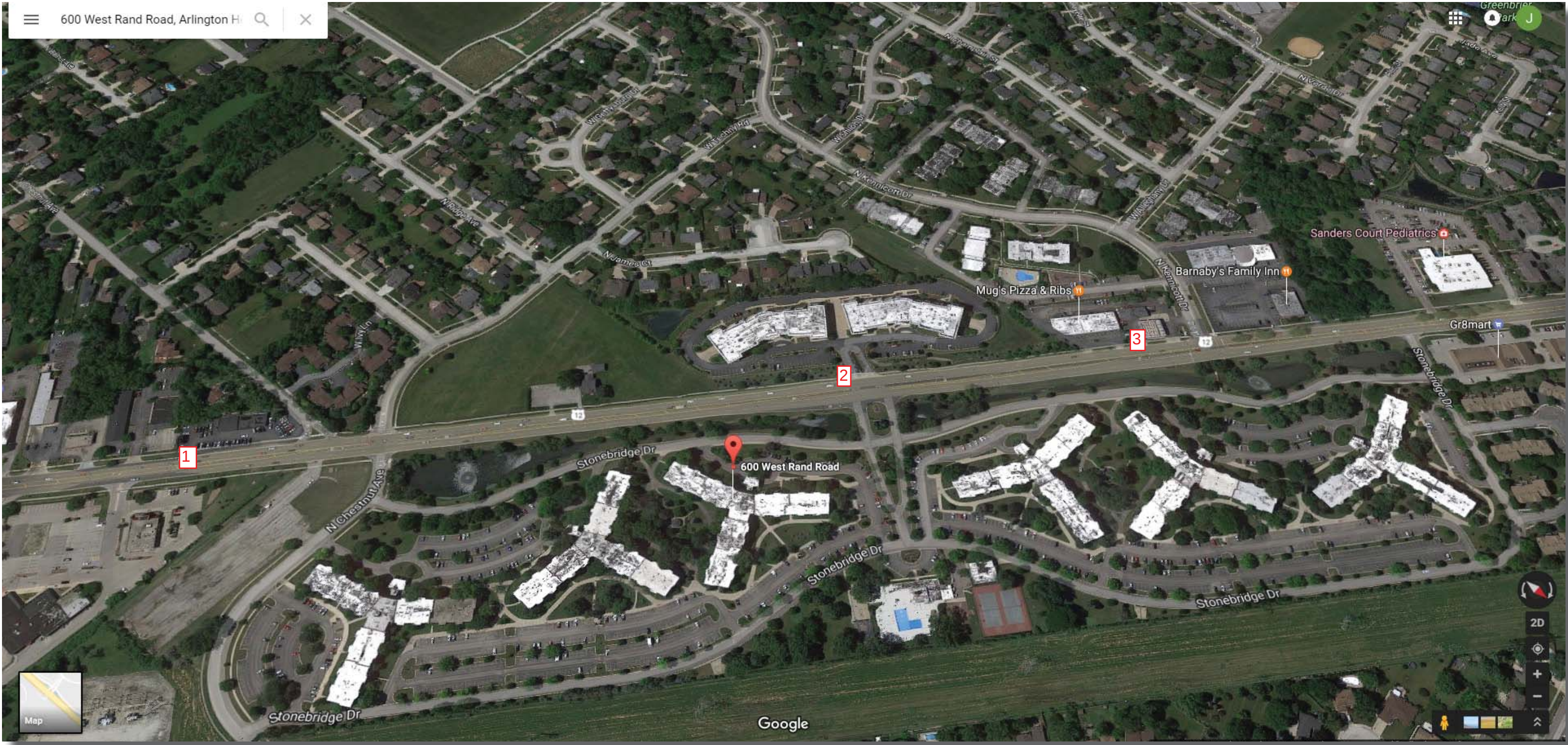
Retail Development - Property 1



Fountain of Arlington Apartment Complex - Property 2



Retail Development - Property 3

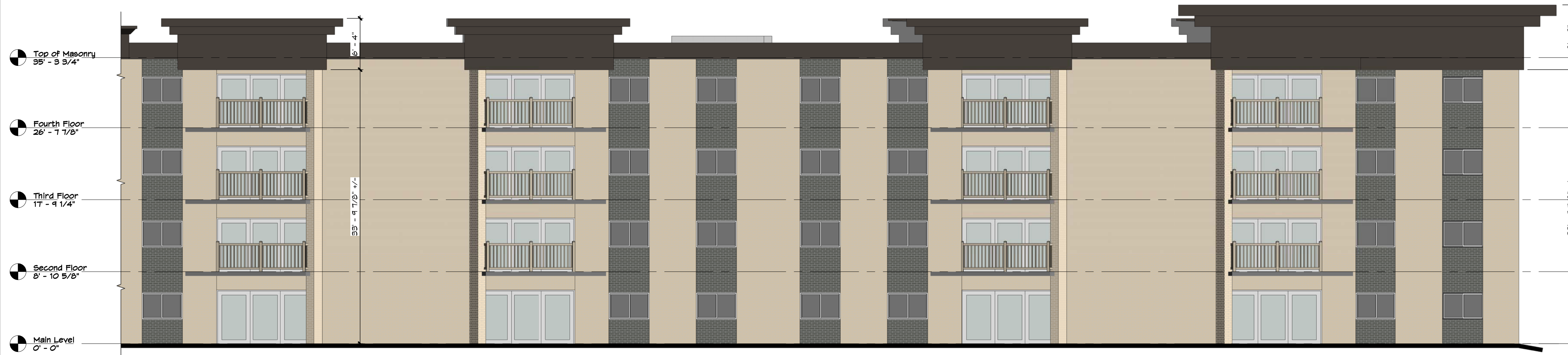


Legend

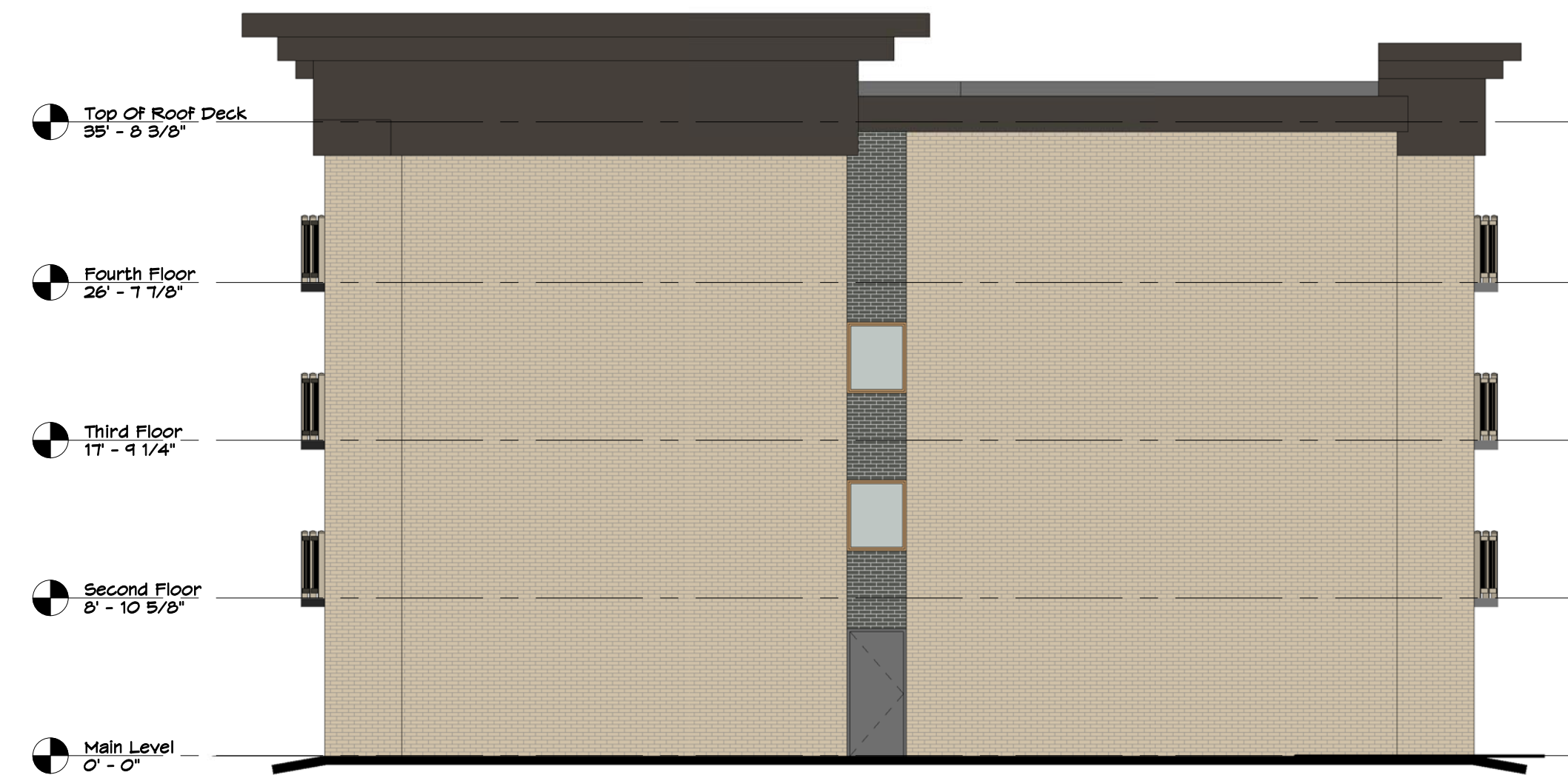
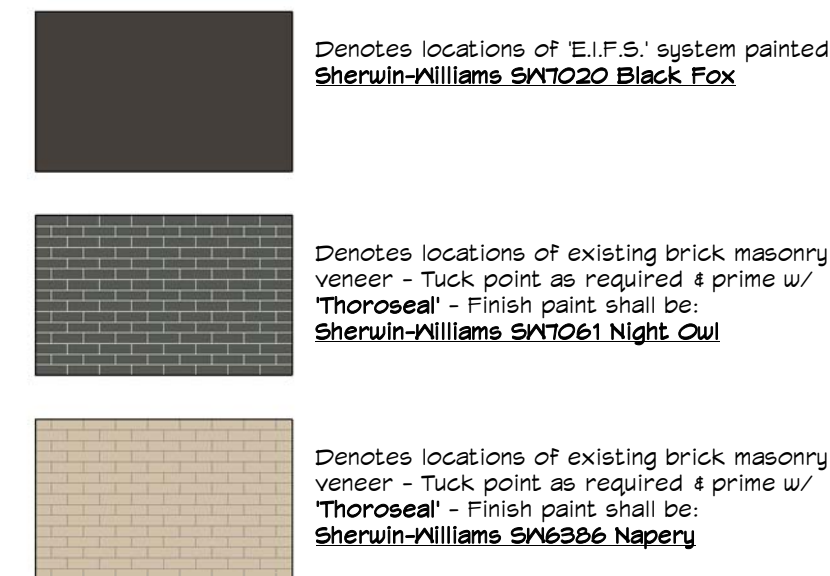
Existing Adjacent Developments - Site Photos and Location Legend



1 Renovated Front Elevation
A 3.1 1/16" = 1'-0"



2 Typical Wing Side Elevation
A 3.1 1/8" = 1'-0"



4 Typical Wind End Elevation
A 3.1 1/8" = 1'-0"



3 Typical Wing Side Elevation
A 3.1 1/8" = 1'-0"

Drawn: WCE
Date: 4.20.2017

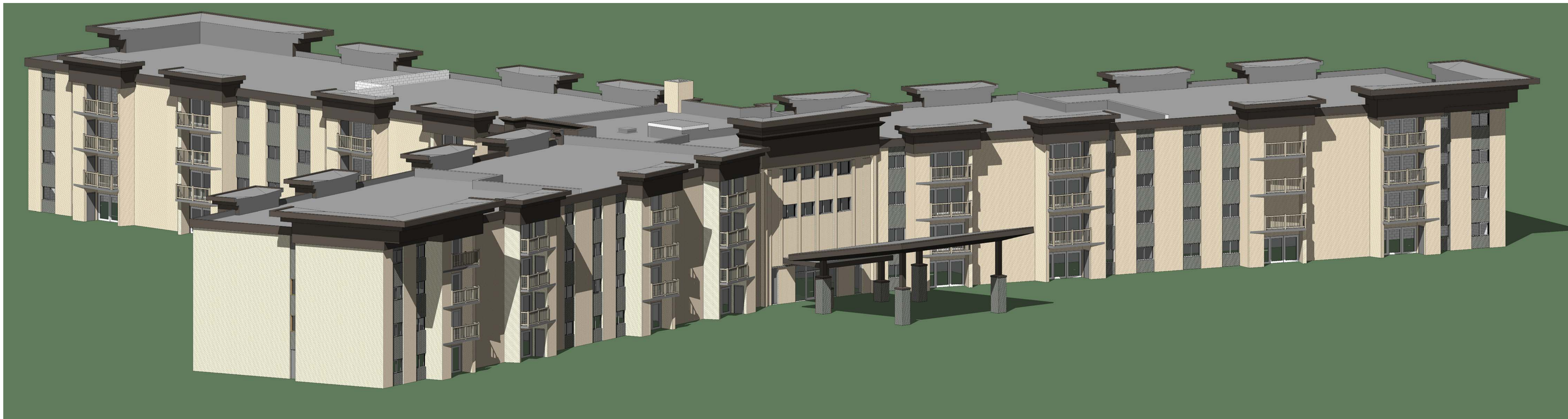
Stonebridge Apartments
Exterior Facade
Improvements
600 West Rand Road
Arlington Heights, Illinois 60004
Project No. 13663

Renovated Exterior
Elevations

Gerald W. Clark, Architect
Clarksville, Tennessee 37040-6024
1811 Business Park Drive
Clarksville
931-552-3960
Fax 931-552-0370

Print Set No.

Sheet A 3.1



1 Aerial View
A 3.2 N.T.S.



2 Perspective View @ Drive Canopy
A 3.2 N.T.S.



4 Perspective View @ End Cap
A 3.2 N.T.S.



3 Perspective View
A 3.2 N.T.S.

Drawn: WCE
Date: 4.20.2017

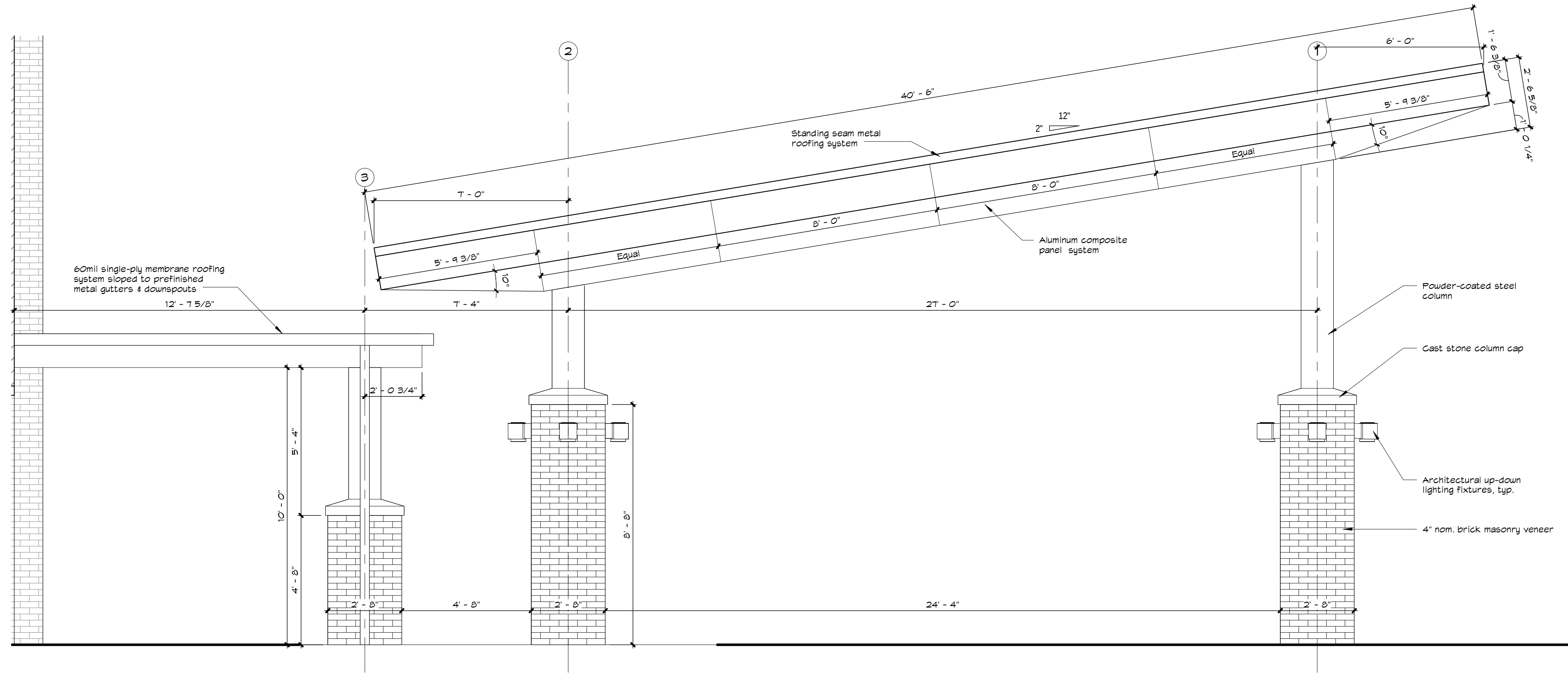
Stonebridge Apartments
Exterior Facade
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Project No. 15663

Renovated Perspective
Views

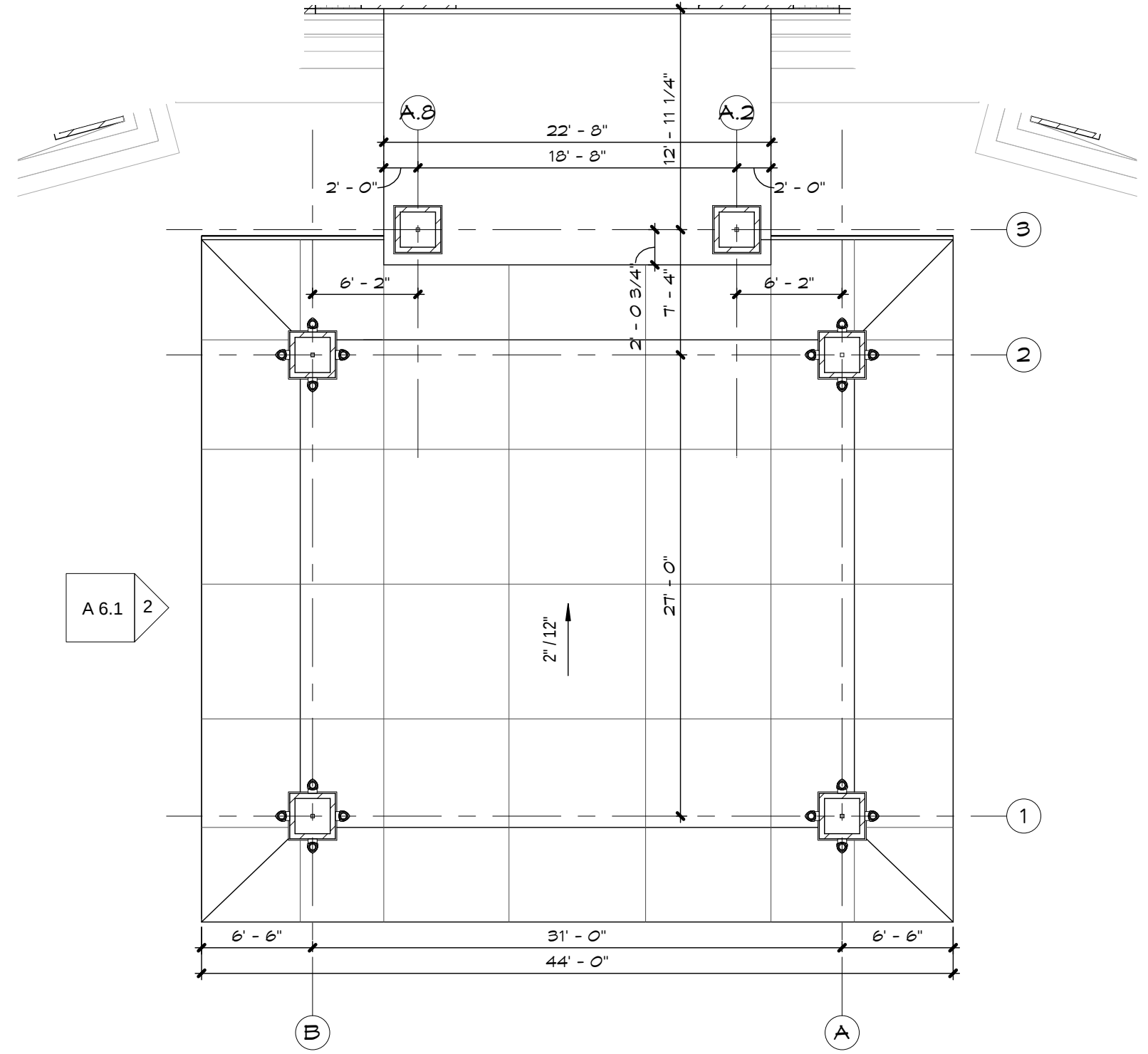
Gerald W. Clark, Architect
Clarksville, Tennessee 37040-6024
1811 Business Park Drive
Clarksville, Tennessee 37040-6024
931-552-3960
Fax 931-552-0370

Print Set No.

Sheet A 3.2



2
A 6.1
Enlarged Canopy Elevation
3/8" = 1'-0"



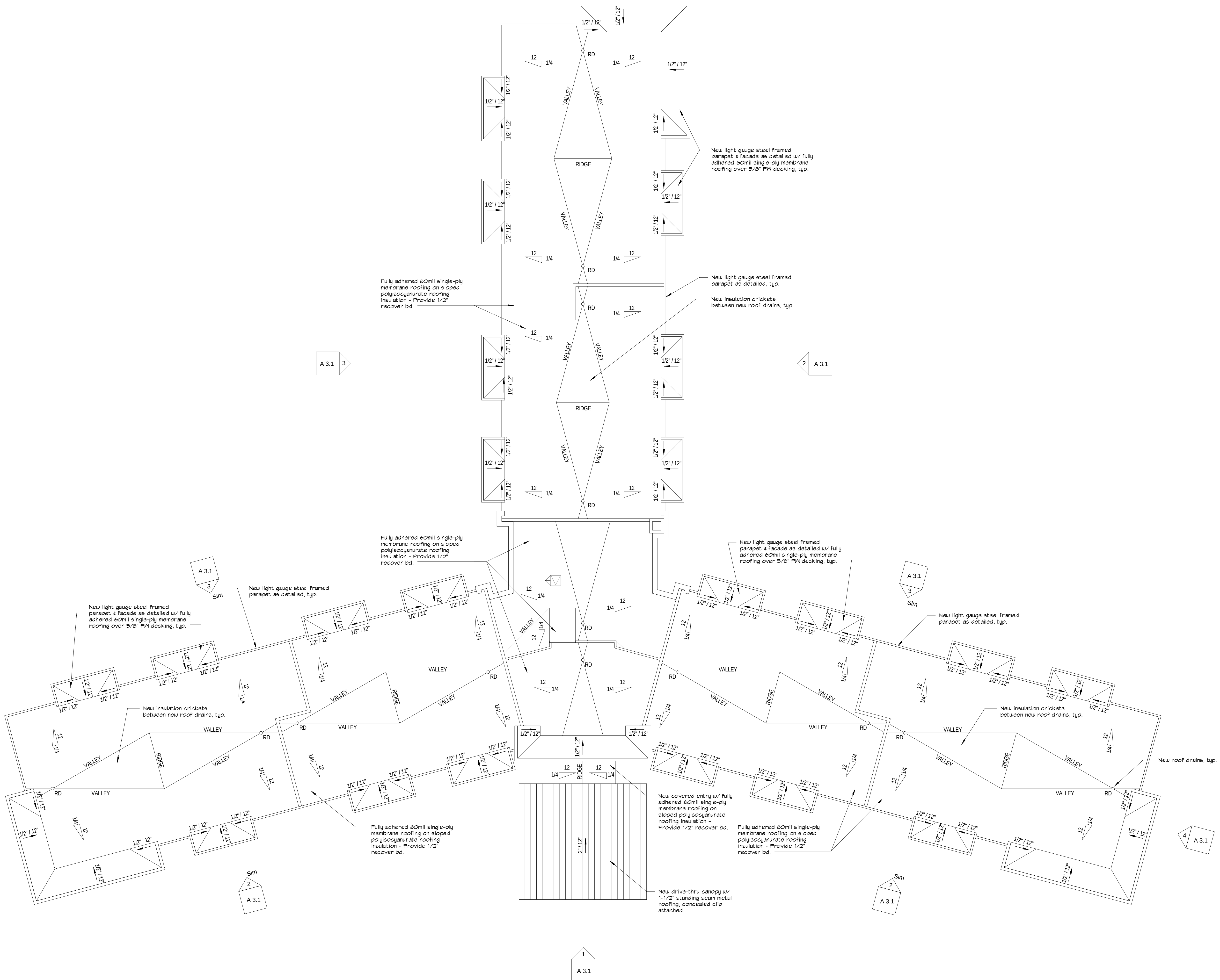
1
A 6.1
Enlarged Canopy Reflected Ceiling Plan
1/8" = 1'-0"

Drawn: MCE
Date: 4.20.2017

Stonebridge Apartments
Exterior Facade
Improvements
600 West Rand Road
Arlington Heights, Illinois 60004
Project No. 15663

Enlarged Drive Canopy
Reflected Ceiling Plan &
Elevation

Preliminary -
Not for
Construction



1 Overall Roof Plan
A 2.1 1/16" = 1'-0"

Drawn: MCE
Date: 4.20.2017

Stonebridge Apartments
Exterior Facade
Improvements
600 West Rand Road
Arlington Heights, Illinois 60004
Project No. 156663

Typical Building Overall
Roof Plan

Surrounding signage



SURROUNDING SIGNAGE

Sign A



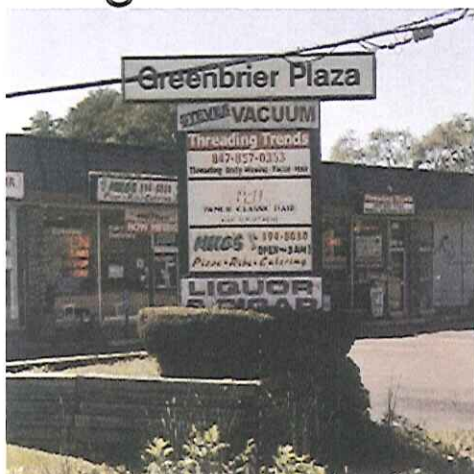
Sign B



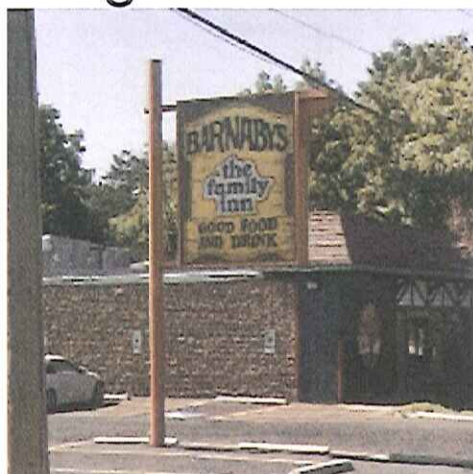
Sign C



Sign D



Sign E



Sign F



Sign G



Sign H



Sign I

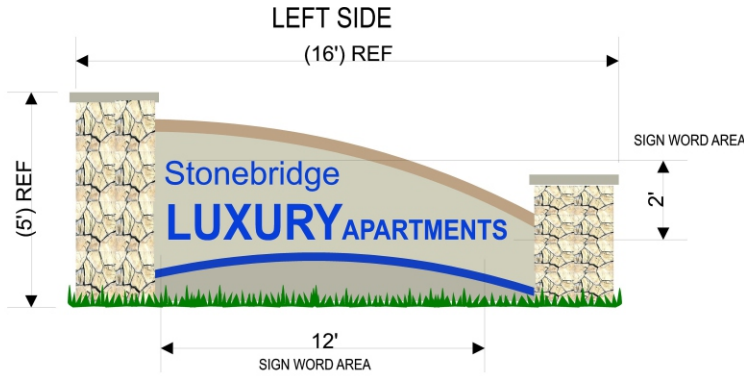


[illegible]

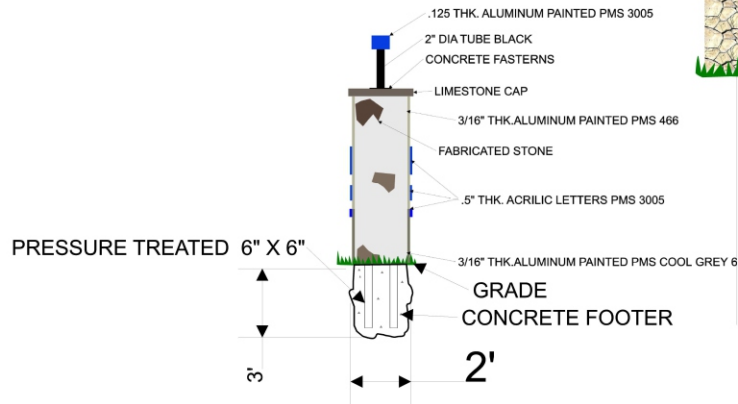
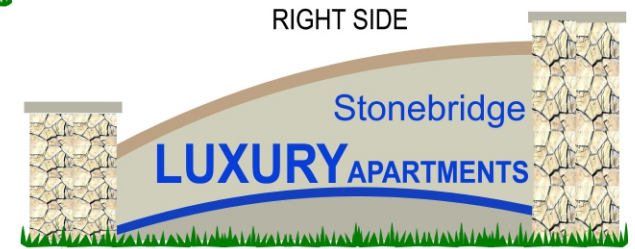
STONEBRIDGE 600 W RAND RD. ARLINGTON HEIGHTS IL 60004



EXISTING SIGN 30 sqft area



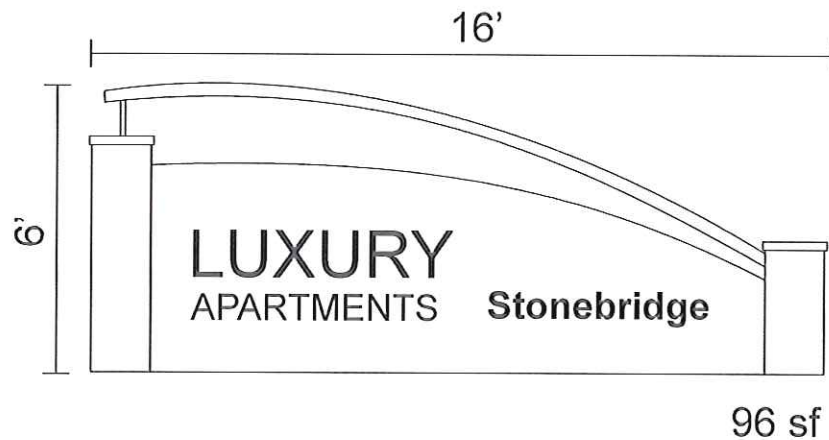
PROPOSED SIGN 24 sqft area



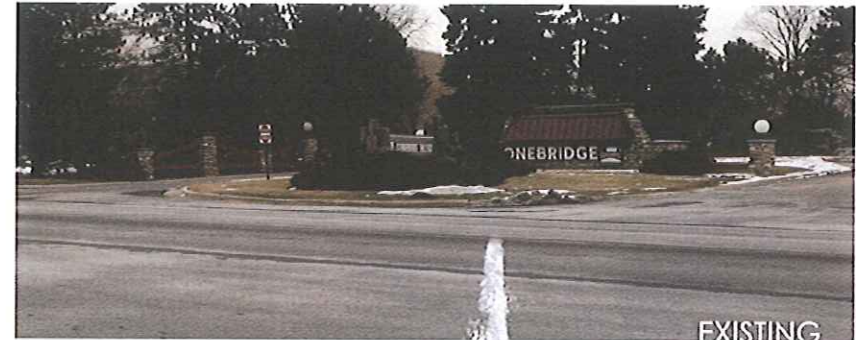
FOOTER AND CONSTRUCTION DETAIL

STONERIDGE 600 W. RAND RD. ARLINGTON HEIGHTS IL 60004

MAIN ENTRY SIGN (A)



Existing



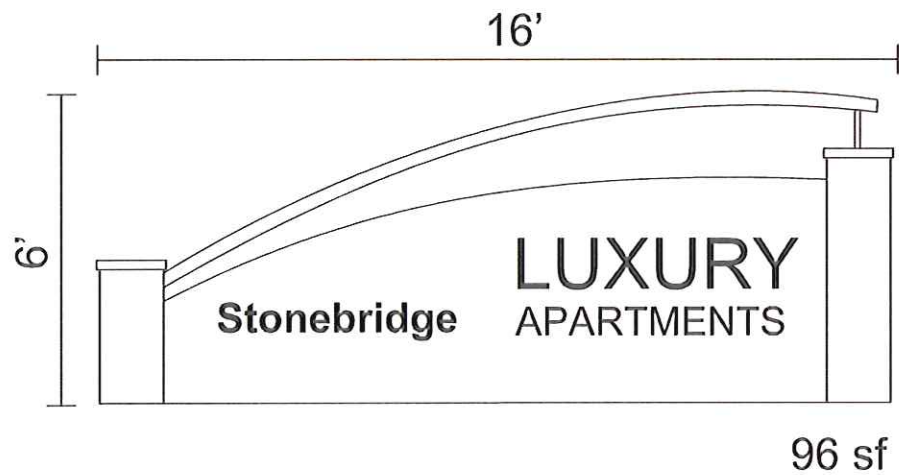
Materials include:
Faux Stone
Aluminum
Acrylic

MAIN ENTRY SIGN

STONEBRIDGE, ARLINGTON HEIGHTS, IL
THE CONNOR GROUP
A REAL ESTATE INVESTMENT FIRM

STONEBRIDGE 600 RAND RD. ARLINGTON HEIGHTS IL 60004

MAIN ENTRY SIGN (B)



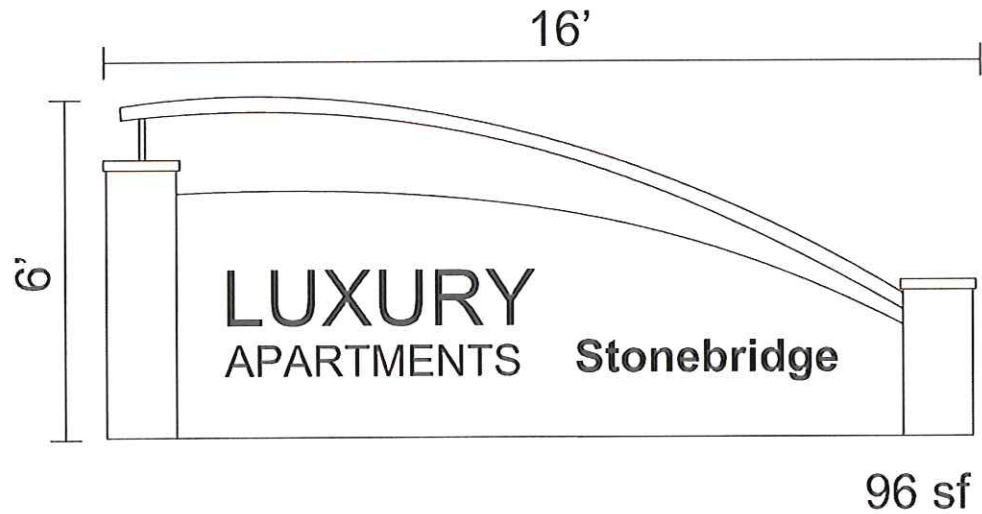
Materials include:
Faux Stone
Aluminum
Acrylic

Existing



STONEBRIDGE 600 RAND RD. ARLINGTON HEIGHTS IL 60004

MAIN ENTRY SIGN (C)



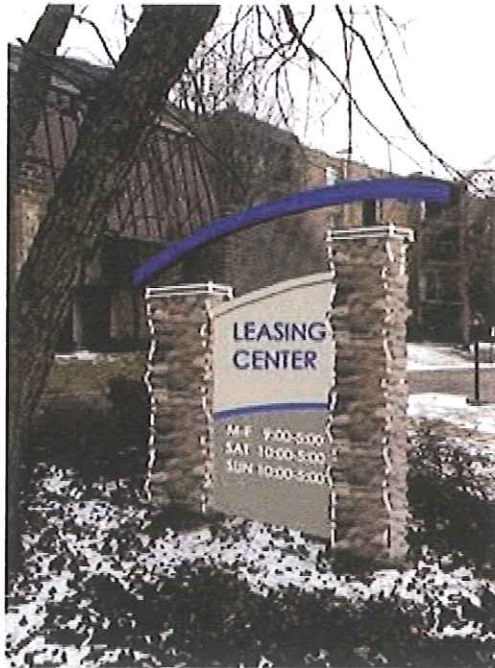
Materials include:
Faux Stone
Aluminum
Acrylic

Existing



STONEBRIDGE 600 RAND RD. ARLINGTON HEIGHTS IL 60004

PROPOSED



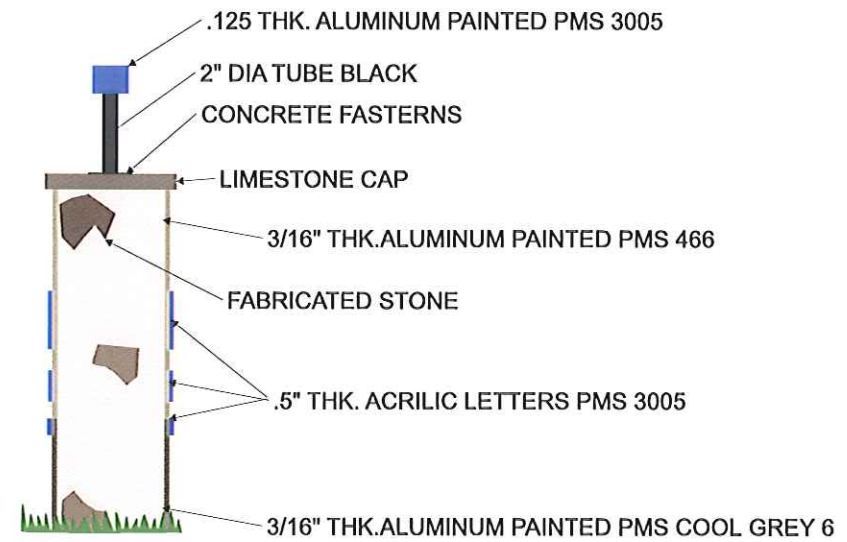
BLDG.
700

BUILDING NUMBERS (2x)
Replacing existing postings



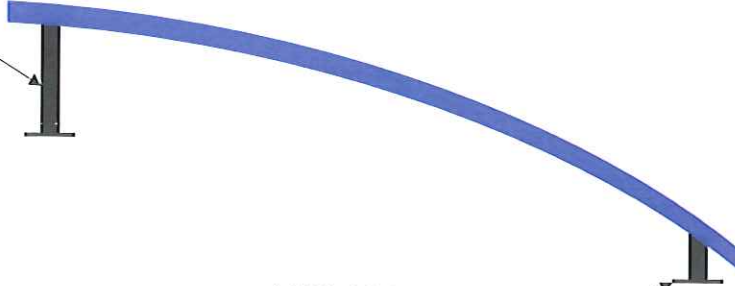


FABRICATED STONE



SIDE VIEW

MOUNTING LEGS



1/4" ALUM FLANGE

4"

.125 THICK ALUMINUM

WELD ALL AROUND



WATER PROOF WHITE LED LIGHTS UL LISTED

LIGHTING DETAIL

UL LISTED OUTDOOR RATED LEDS