



Agenda
Village of Arlington Heights
Zoning Board of Appeals
Virtual Meeting

May 21, 2020
7:00 PM

I. CALL TO ORDER

- A. Pursuant to orders issued in response to the COVID-19 pandemic, this hearing is closed to in-person, public attendance. The hearing is being held via virtual Webinar, which permits the public to fully participate in the virtual hearing via the Webinar or their phones.

To participate via the Webinar, this link will take you to instructions for joining the hearing: <https://bit.ly/2yTcyoq>

Individuals who wish to comment or ask a question on an item on the Agenda may either participate via the Webinar, their phone, or send an email to the Village at dmach@vah.com no later than 3:00 p.m. on May 21, 2020, to be shared at the hearing. Please limit emails to 200 words or less.

II. ROLL CALL

III. APPROVAL OF MINUTES

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. 618 E. Lynden Ln. - ZBA#20-008
B. 130 S. Mitchell Ave. - ZBA#20-010
C. 610 N. Wilshire Ln. - ZBA#20-012

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible

formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Zoning Board of Appeals 5/21/2020

Item: 618 E. Lynden Ln. - ZBA#20-008

Department: Planning and Community Development Department

REQUEST

—
A 1.1 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow a second story addition with a side yard setback of 3.8 feet instead of the required 5.0 feet and an additional 0.5 feet for the eave.

ATTACHMENTS:

Description

Supporting Documents

Type

Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: May 21, 2020
Date Prepared: May 13, 2020
Project Title: Griesemer Residence
Address: 618 E. Lynden Ln.

Background Information

Petition Number: ZBA #20-008
Petitioner: Jackie Mortimer
Address: 30 Railroad St.
Gilberts, IL 60136

Existing Zoning: R-3 Single-Family Residential District

Requested Action/Background Information

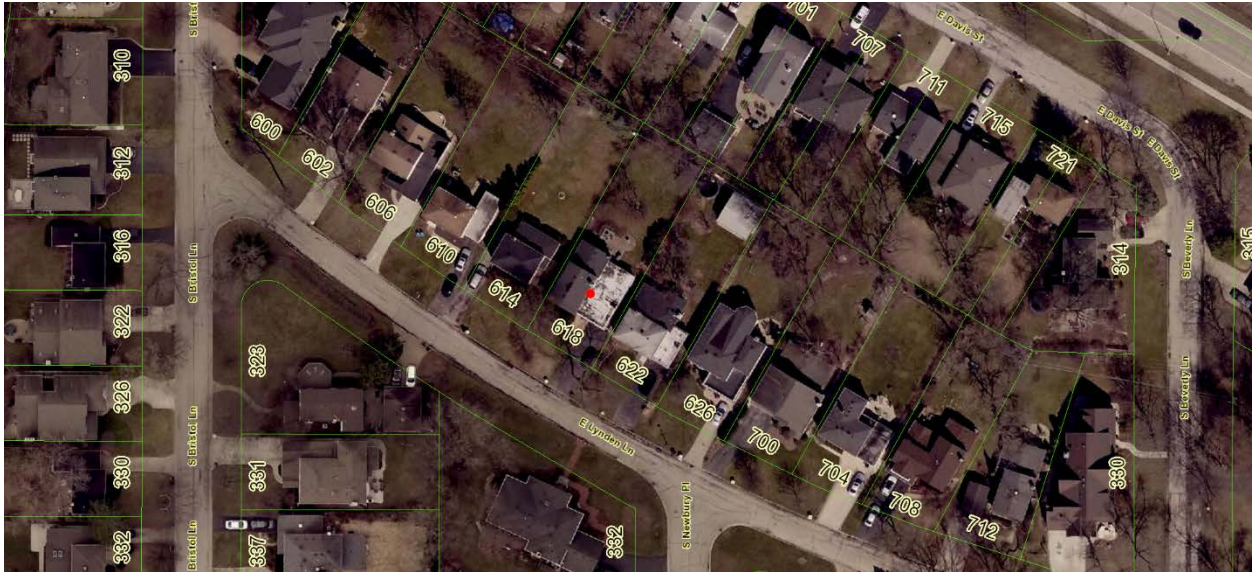
The petitioner is proposing a partial second floor addition to an existing two-story residence. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 7,500 square feet and the proposed residence with the addition will be approximately 2,561 square feet. Along the southeast property line, the proposed addition encroaches 1.1 feet into the required side yard setback; therefore, the petitioner is requesting the following variation:

- **A 1.1 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow a second story addition with a side yard setback of 3.8 feet instead of the required 5.0 feet and an additional 0.5 feet for the eave.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	5/4/20	
2. List of Property Owners Within 250 feet of Subject Property	✓	5/4/20	
3. Letter that was Mailed	✓	5/4/20	
4. Photographs of Sign on Property	✓	5/4/20	

Photograph of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Griesemer Residence

Project Address: 618 E Lynden

ZBA #: 20-008

Date: April 28, 2020

Derek:

I have reviewed the request for a 1.1 foot variance to allow a second floor addition with a side yard setback of 3.9 feet instead of the minimum 5.0 feet and have the following comment:

1. The windows shown at the master bedroom do not meet the minimum egress requirement of 5.7 square feet net clear opening. Normally this would be called out on the plan review, however, since the distance to the lot line is 3 feet, the openings on that wall are limited to 25% of the wall area.

ZBA# 20-008
618 E. Lynden Lane- ZBA
Rev. Eng: Briget Schwab, P.E.
cc: Mike Pagones, P.E. Village Engineer

Application Date: April 2, 2020
Received by Planning: N/A
Transmitted to Engineering: April 28, 2020
Completed: May 1, 2020

The proposed ZBA application indicates that the petitioner is seeking:

A 1.1 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow a second story addition with a side yard setback of 3.9 feet instead of the required 5.0 feet.

The Engineering Division has NO OBJECTION on the proposed variances for setback.

NOTE: The existing home is encroaching the side yard. The petition is for a second story addition without changing the existing footprint of the house.

--

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Griesemer Residence

Project Address: 618 E. Lynden Lane

ZBA #: 20-008

ZBA Hearing Date: May 21, 2020

To: Mike Pagones, Village Engineer
Steven Touloumis, Director of Building and Life Safety

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: April 28, 2020

- A 1.1 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow a second story addition with a side yard setback of 3.9 feet instead of the required 5.0 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments:

The proposed addition is very nicely designed to fit with the style, character, and massing of the existing house. Staff intends to administratively approve the design, pending the outcome of the ZBA review.

- Steve Hautzinger, Design Planner

Please review, comment, and return to me no later than May 7, 2020.

PETITION

NOW COMES the Petitioner Jackie Mortimer of Advance Design Studio, Ltd. on behalf of Andrew & Rebecca Griesemer being the owner of the property commonly known as 618 E. Lynden Lane, Arlington Heights, IL 60005 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.2, Chapter 28, of the Arlington Heights Municipal Code, in order to build an addition on an existing side yard encroachment.

I hereby state that the following hardship would exist if the variation were not granted: Andrew & Rebecca have dreamed of adding a Master Suite to their home for a number of years now. Since the birth of their twin boys, they have grown out of our current space and need the new space now, more than ever before. After a rigorous series of redrawn plans, with much heartache due to limitations that they discovered much later on in the process, they have finally settled on a plan that they are happy with. It's much smaller than the original ideas they had, but it works, and it will keep them in this home for many years. However, if they have to scale back on the size of the addition, they are afraid that they may have to look at alternative options that does not allow us to build an addition, forcing them to lose a great deal of money that they've already invested, and search for other homes outside of the neighborhood that they've grown to love.

I hereby state that the following unique circumstances exist: Mr. & Mrs. Griesemer were shocked when they found out that the new addition encroaches on the property line. Previous owners of this home made additions that are the exact same distance from the property line. The family room behind the garage is the exact same distance to the property line and the kitchen addition is also the exact same distance to the property line on the other side of the house. They have also noticed new additions on homes in their subdivision that are even closer to their property lines than what they are trying to do with their home. And these aren't just one or two outliers, there are many homes with additions that are less than 5 feet from the property line. They are very close with our neighbor Kristen

Bartch, who lives in and owns the home along this property line. In fact, she was the one that inspired them to build this addition rather than move into another home.

I hereby state that the variation, if granted, will not alter the essential character of the locality because: The designer & architects design fits well with the scale of the existing house and the neighborhood. For a more cohesive appearance that will look like it was always part of the house, the front wall of the proposed addition (on each side of the gambrel dormer) will be sloped back and finished with roofing shingles, to match the existing detailing.

Signed: _____

Date: 04/02/2020

Jackie Mortimer of Advance Design Studio, Ltd.

Petitioner

PROFESSIONALS ASSOCIATED SURVEY, INC.

PROFESSIONAL DESIGN FIRM NO 184-003023

7100 N TRIPP AVENUE
LINCOLNWOOD, ILLINOIS 60712
www.professionalsassociated.com

TEL: (847) 675-3000
FAX: (847) 675-2167

e-mail: pa@professionalsassociated.com

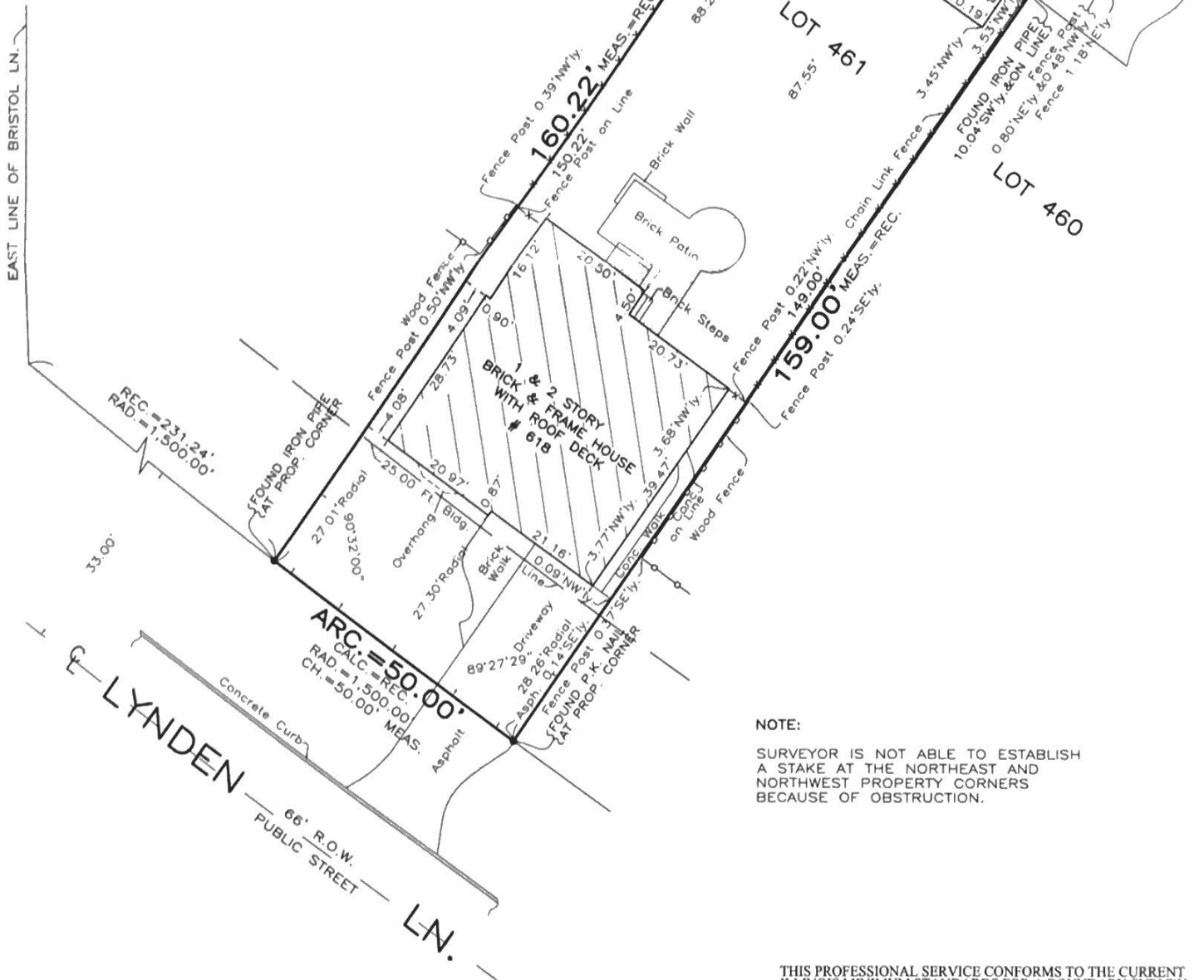
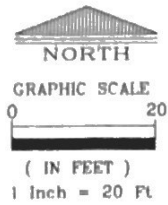
PLAT OF SURVEY

OF

LOT 461 AND THE SOUTHERLY 1/2 OF THE VACATED ALLEY LYING NORTHERLY OF AND ADJOINING SAID LOT, IN "SCARSDALE" BEING A SUBDIVISION OF PART OF THE WEST 1/2 OF THE EAST 1/2 AND PART OF THE EAST 1/2 OF THE WEST 1/2 OF SECTION 32, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

LAND TOTAL AREA: 7,984.85 SQ. FT. = 0.183 ACRE.

COMMONLY KNOWN AS: 618 EAST LYNDEN LANE, ARLINGTON HEIGHTS, ILLINOIS.



NOTE:

SURVEYOR IS NOT ABLE TO ESTABLISH A STAKE AT THE NORTHEAST AND NORTHWEST PROPERTY CORNERS BECAUSE OF OBSTRUCTION.

THE LEGAL DESCRIPTION SHOWN ON THE PLAT HEREON DRAWN IS A COPY OF THE ORDER, AND FOR ACCURACY SHOULD BE COMPARED WITH THE TITLE OR DEED. DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING. BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE MAPS, OTHERWISE REFER TO YOUR DEED OR ABSTRACT.

Order No. 15-88888
Scale: 1 inch = 20 feet.
Date of Field Work: May 26, 2015.
Ordered by: JENSEN LAW PC



THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

THIS SURVEY HAS BEEN ORDERED FOR SURFACE DIMENSIONS ONLY, NOT FOR ELEVATIONS. THIS IS NOT AN ALTA SURVEY.

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCE.

State of Illinois
County of Cook

We, PROFESSIONALS ASSOCIATED SURVEY INC., do hereby certify that we have surveyed the above described property and that, to the best of our knowledge, the plat hereon drawn is an accurate representation of said survey.

Date: May 27, 2015
Hylton E. Donaldson

IL. PROF. LAND SURVEYOR - LICENSE EXP. DATE NOV. 30, 2016.
Drawn By: ZZ



JOHN M. BEHRENS, ARCHITECT
CRYSTAL LAKE, IL 815-477-9053

FLOOR CONSTRUCTION:
3/4" T & G PLYWOOD GLUED AND SCREWED ON 2X10 FLOOR JOISTS @ 16" O.C.



Date	DEC. 12, '19
Scale	1/4" = 1' - 0
Drawn	JMB
Job	GREISMER
Sheet	A2
Of 3	Sheets



Zoning Board of Appeals 5/21/2020

Item: 130 S. Mitchell Ave. - ZBA#20-010

Department: Planning and Community Development Department

REQUEST

A 1.0 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow a second story addition with a side yard setback of 4.0 feet instead of the required 5.0 feet and an additional 1.0 foot for the eave.

ATTACHMENTS:

Description	Type
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: May 21, 2020
Date Prepared: May 13, 2020
Project Title: Marks Residence
Address: 130 S. Mitchell Ave.

Background Information

Petition Number: ZBA #20-010
Petitioner: Adam Marks
Address: 130 S. Mitchell Ave.
Arlington Heights IL 60005

Existing Zoning: R-3 Single-Family Residential District

Requested Action/Background Information

The petitioner is proposing a partial second floor addition to an existing two-story residence. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 6,000 square feet and the proposed residence with the addition will be approximately 1,776 square feet. Along the south property line, the proposed addition encroaches 1.0 foot into the required side yard setback; therefore, the petitioner is requesting the following variation:

- **A 1.0 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow a second story addition with a side yard setback of 4.0 feet instead of the required 5.0 feet and an additional 1.0 foot for the eave.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	5/6/20	
2. List of Property Owners Within 250 feet of Subject Property	✓	5/6/20	
3. Letter that was Mailed	✓	5/6/20	
4. Photographs of Sign on Property	✓	5/6/20	

Photographs of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Marks Residence

Project Address: 130 S Mitchell

ZBA #: 20-010

Date: April 28, 2020

Derek:

I have reviewed the request for a 1.0 foot variance to allow a second floor addition with a side yard setback of 4.0 feet instead of the minimum 5.0 feet and have the following comment:

1. The south wall of the second story addition shall have a minimum fire-resistance rating of 1-hour, with exposure from both the inside and outside, based on the distance to the lot line of less than 5 feet.
2. The soffit of the south wall of the second story addition shall have 5/8-inch exterior grade drywall installed under the weather protection material based on the distance to the lot line of less than 5 feet.

ZBA# 20-010
130 S Mitchell - ZBA
Rev. Eng: Briget Schwab, P.E.
cc: Mike Pagones, P.E. Village Engineer

Application Date: April 10, 2020
Received by Planning: N/A
Transmitted to Engineering: April 28, 2020
Completed: May 1, 2020

The proposed ZBA application indicates that the petitioner is seeking:

A 1.0 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow a second story addition with a side yard setback of 4.0 feet instead of the required 5.0 feet.

The Engineering Division has NO OBJECTION on the proposed variances for setback.

NOTE: The existing home is encroaching the side yard. The petition is for a second story addition without changing the existing footprint of the house.

--

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Marks Residence

Project Address: 130 S. Mitchell Avenue

ZBA #: 20-010

ZBA Hearing Date: May 21, 2020

To: Mike Pagones, Village Engineer
Steven Touloumis, Director of Building and Life Safety

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: April 28, 2020

- A 1.0 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow a second story addition with a side yard setback of 4.0 feet instead of the required 5.0 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments:

The proposed addition is nicely designed to fit with the style, character, and massing of the existing house. Staff intends to administratively approve the design, pending the outcome of the ZBA review.
- Steve Hautzinger, Design Planner

Please review, comment, and return to me no later than May 7, 2020.

PETITION

NOW COMES the Petitioner **Adam Marks**

Being the owner of property commonly known as: **130 S Mitchell Ave**

And appeals to the Zoning Board of appeals of the Village of Arlington Heights for a Variation from Section **5.1-3.2** Chapter 28 of the Arlington Heights Municipal Code, in order to: **Add on second level on top of existing ground floor. New construction would extend to perimeter of 1st floor exterior walls, which currently do not allow for a minimum side yard width of 7'-0". The new overhang of the second floor addition will project 3" less into the side yard than the existing overhang of the one story sunroom**

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted:

Explanation: The addition will build on top of existing structure so the current zoning will not be decreased. The amount of existing side yard will not be changed.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned

Explanation: If the new construction is required to maintain the required 7' of side yard, the addition would be set back from the existing ground floor walls. This construction would be both architecturally inefficient and more costly to structurally support. In addition, maintaining the section of roof between the existing structure and addition would be an unnecessary hardship to the owner.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter.

Explanation: New construction would not affect existing zoning. The amount of existing side yard will not be affected.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property.

Explanation: The purpose of the new construction would be to add a master bath and closet. The best location for this would be over the existing first floor structure.

Signed



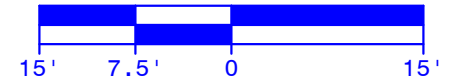
Date 2020-04-09

PLAT OF SURVEY

LOTS 14 AND 15 IN BLOCK 1 IN WESTVIEW ADDITION TO ARLINGTON HEIGHTS BEING A SUBDIVISION OF THE EAST 805.9 FEET OF THE NORTH 405 FEET OF THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

AREA OF SURVEY:

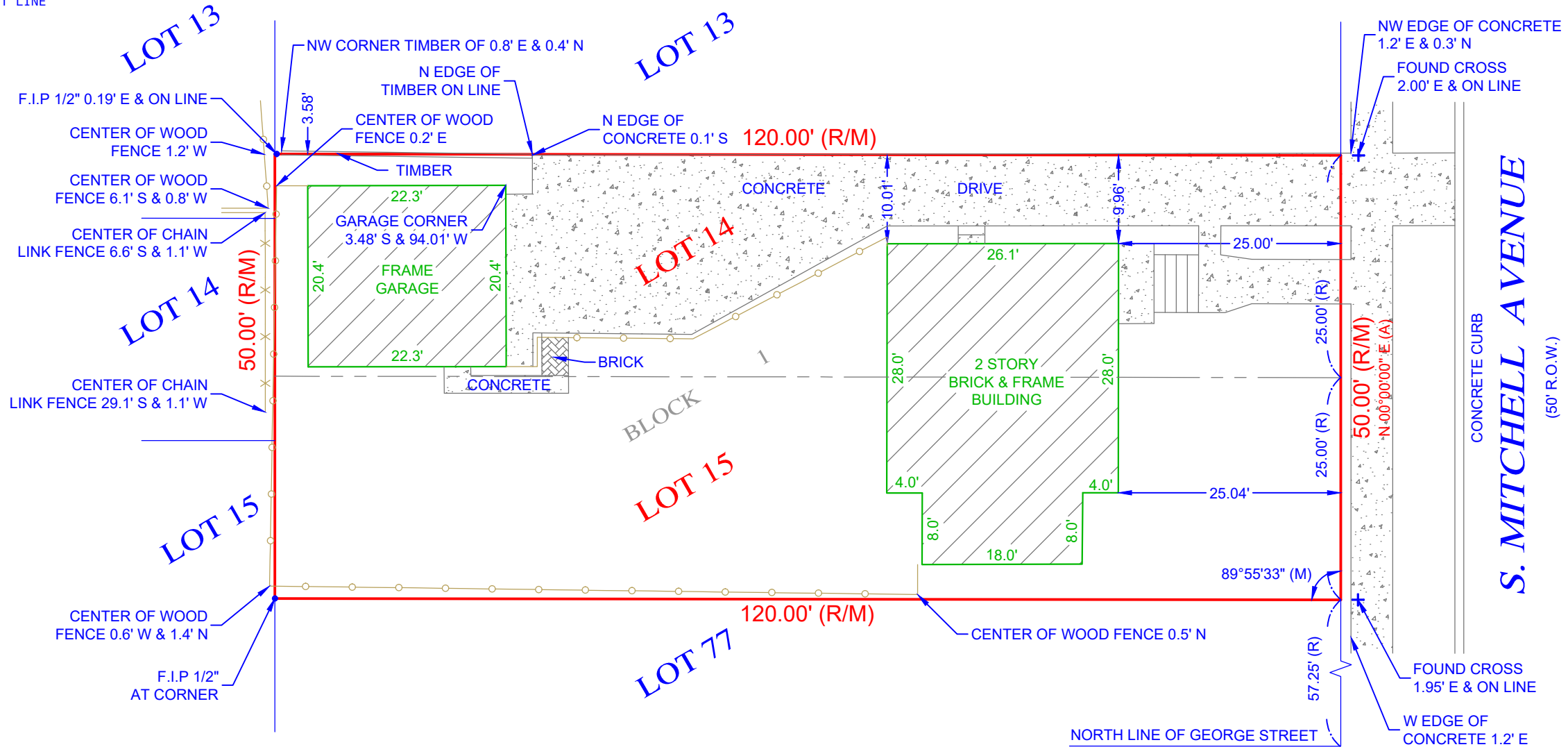
"CONTAINING 6000 SQ. FT. OR 0.14 ACRES MORE OR LESS"



BASIS OF BEARING:
WEST LINE OF S. MITCHELL AVENUE AS FOUND
MONUMENTED AND OCCUPIED PER RECORD
SUBDIVISION.
N 00°00'00" E (A)

LEGEND	
A = ASSUMED	NW = NORTHWEST
BL = BUILDING SETBACK LINE	P.O.B. = POINT OF BEGINNING
C = CALCULATED	P.O.C. = POINT OF COMMENCEMENT
CE = CITY EASEMENT	P.U.E. = PUBLIC UTILITY EASEMENT
CH = CHORD	P.U. & D.E. = PUBLIC UTILITY &
CL = CENTERLINE	DRAINAGE EASEMENT
D = DEED	R = RECORD
D.E. = DRAINAGE EASEMENT	RAD = RADIUS
E = EAST	R.O.W. = RIGHT OF WAY
F.I.P. = FOUND IRON PIPE	S = SOUTH
F.I.R. = FOUND IRON ROD	S.I.P. = SET IRON PIPE
FT. = FEET/FOOT	S.I.R. = SET IRON ROD
L = ARC LENGTH	SE = SOUTHEAST
M = MEASURED	SW = SOUTHWEST
N = NORTH	V.E. = VILLAGE EASEMENT
NE = NORTHEAST	W = WEST

X = CHAIN LINK FENCE
 ○ = WOOD FENCE
 □ = METAL FENCE
 △ = VINYL FENCE
 --- = EASEMENT LINE
 — = SETBACK LINE
 - - - = INTERIOR LOT LINE



Morris Engineering, Inc.
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-0770
FAX: (630) 271-0774
WEBSITE: WWW.ECIVIL.COM

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT "THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY," AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

DATED, THIS 16TH DAY OF SEPTEMBER, A.D., 2019,
AT Lisle, ILLINOIS.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2317
 LICENSE EXPIRATION DATE NOVEMBER 30, 2020
 ILLINOIS BUSINESS REGISTRATION NO. 184-001245



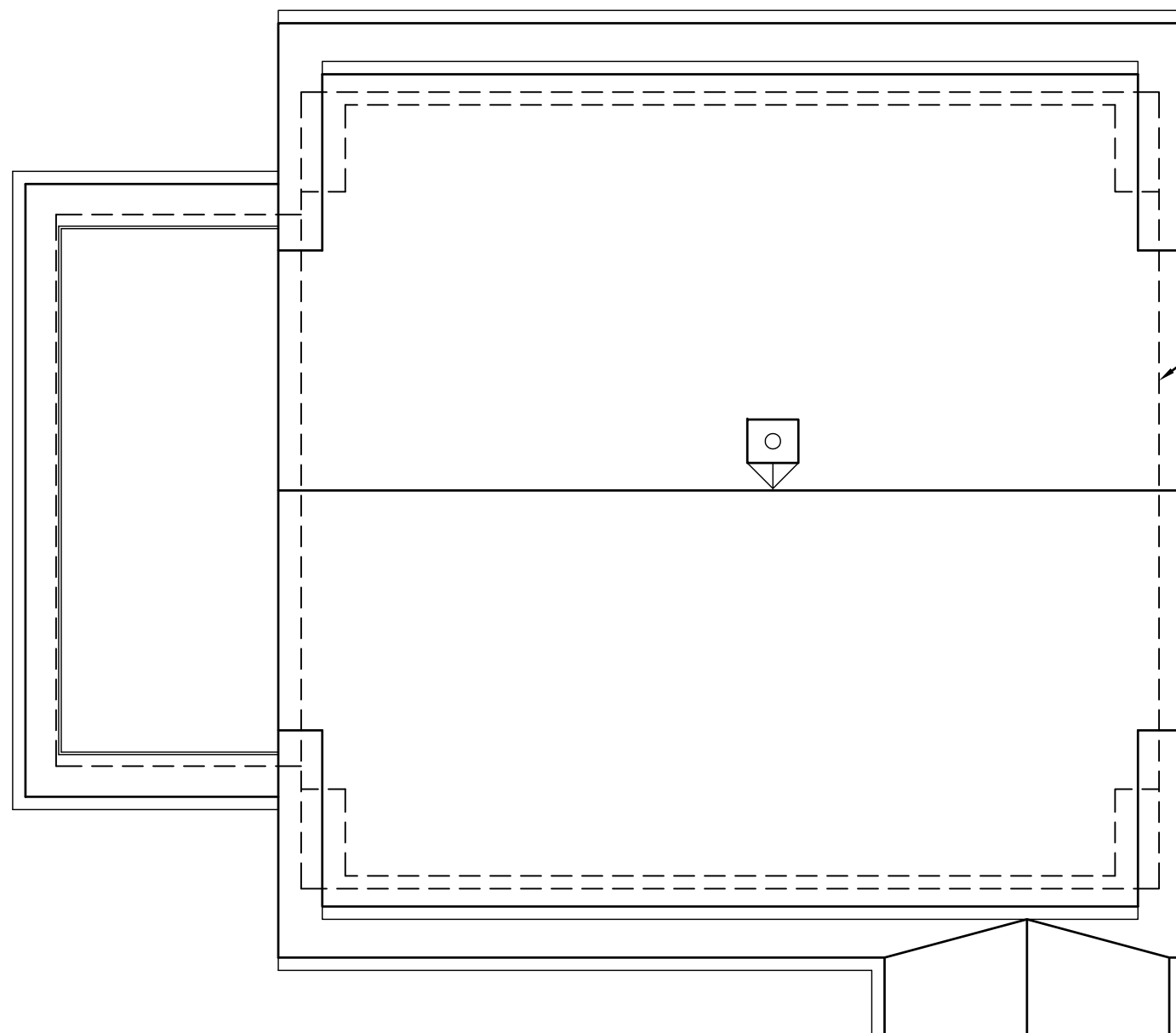
NOTE:

1. ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.
2. ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
3. COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
4. NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

ADDRESS COMMONLY KNOWN AS 130 S. MITCHELL AVENUE
ARLINGTON HEIGHTS, ILLINOIS

CLIENT DROST KIVLAHAN McMAHON & O'CONNOR LLC

FIELDWORK DATE (CREW) 09/13/2019 (DS/WM)
DRAWN BY: LV REVISED: _____ JOB NO. 19-08-0561



- LINE OF WALL BELOW

1 EXISTING ROOF PLAN

$$\frac{3}{16}'' = 1'-0''$$

G



ADAM MARKS AND JENNA MONTAGUE

130 S. MITCHELL AVENUE, ARLINGTON HEIGHTS, IL 60005

KINGSLEY + GINNODO ARCHITECTS

333 N HICKORY AV. ARLINGTON HTS. IL 60004

EX4

3.10.20

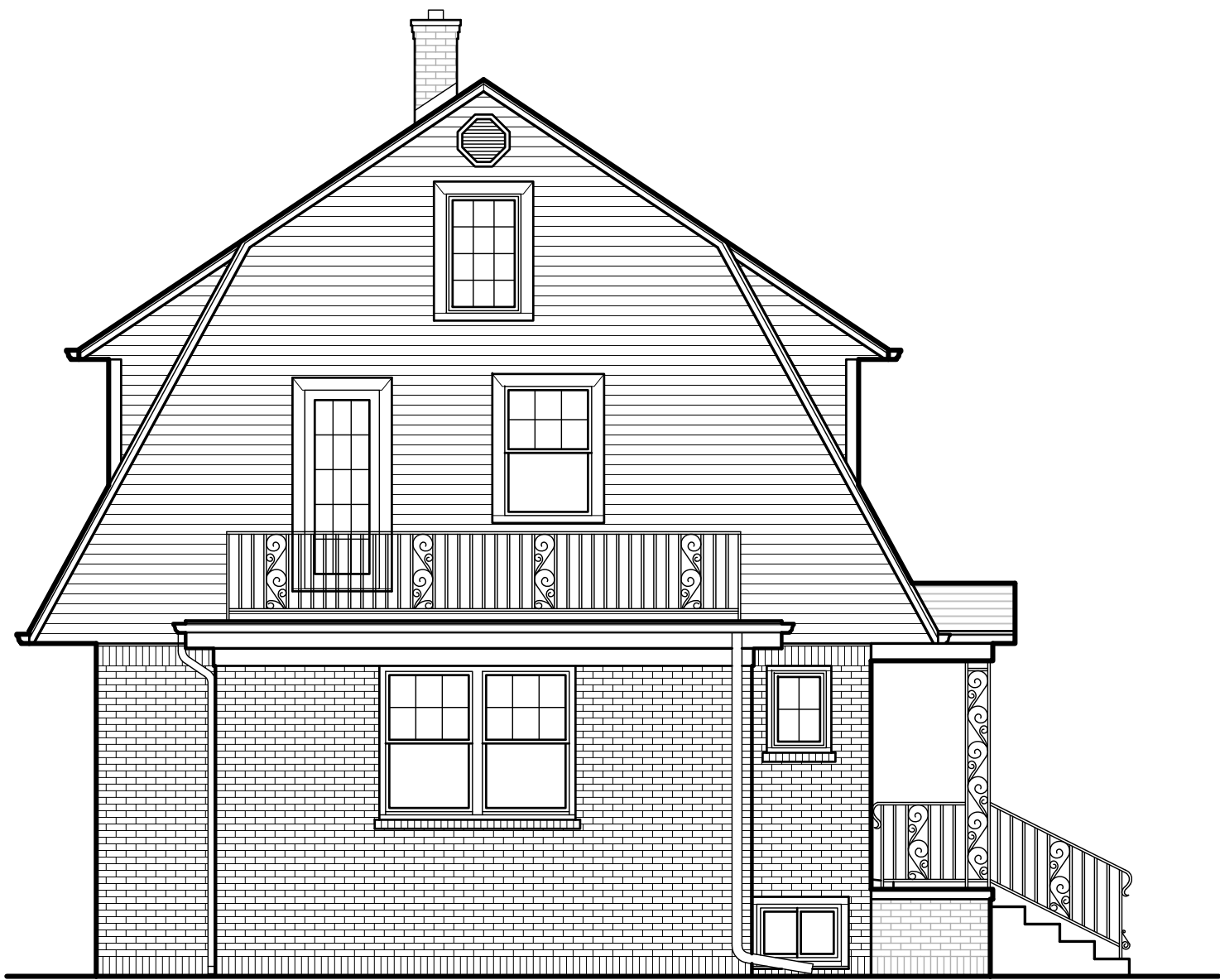
© KINGSLEY + GINNODO ARCHITECTS



1 EXISTING EAST ELEVATION
3/16" = 1'-0"

ADAM MARKS AND JENNA MONTAGUE
130 S. MITCHELL AVENUE, ARLINGTON HEIGHTS, IL 60005





1 EXISTING SOUTH ELEVATION
3/16" = 1'-0"

ADAM MARKS AND JENNA MONTAGUE
130 S. MITCHELL AVENUE, ARLINGTON HEIGHTS, IL 60005





1 EXISTING WEST ELEVATION
3/16" = 1'-0"

ADAM MARKS AND JENNA MONTAGUE
130 S. MITCHELL AVENUE, ARLINGTON HEIGHTS, IL 60005

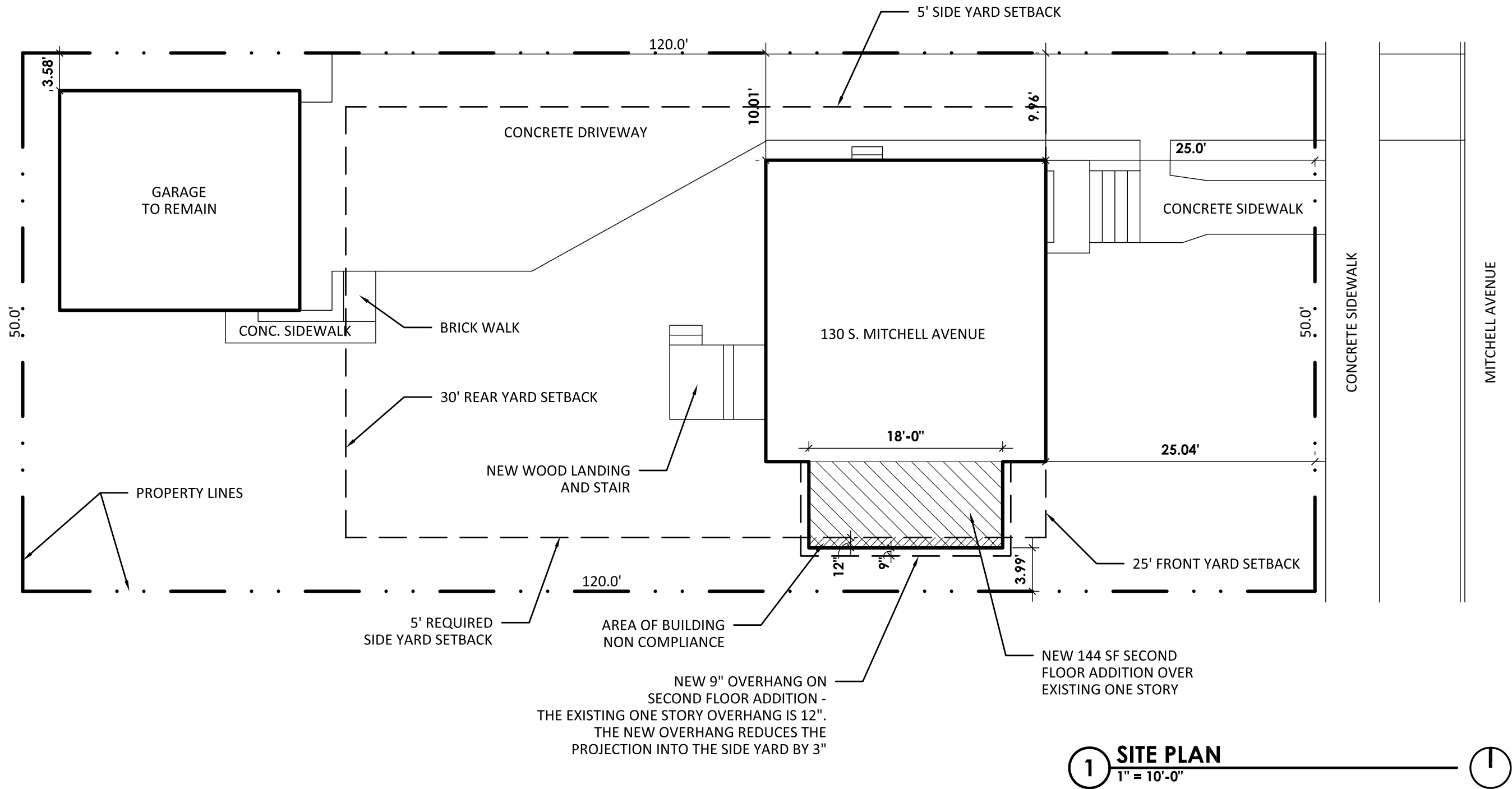


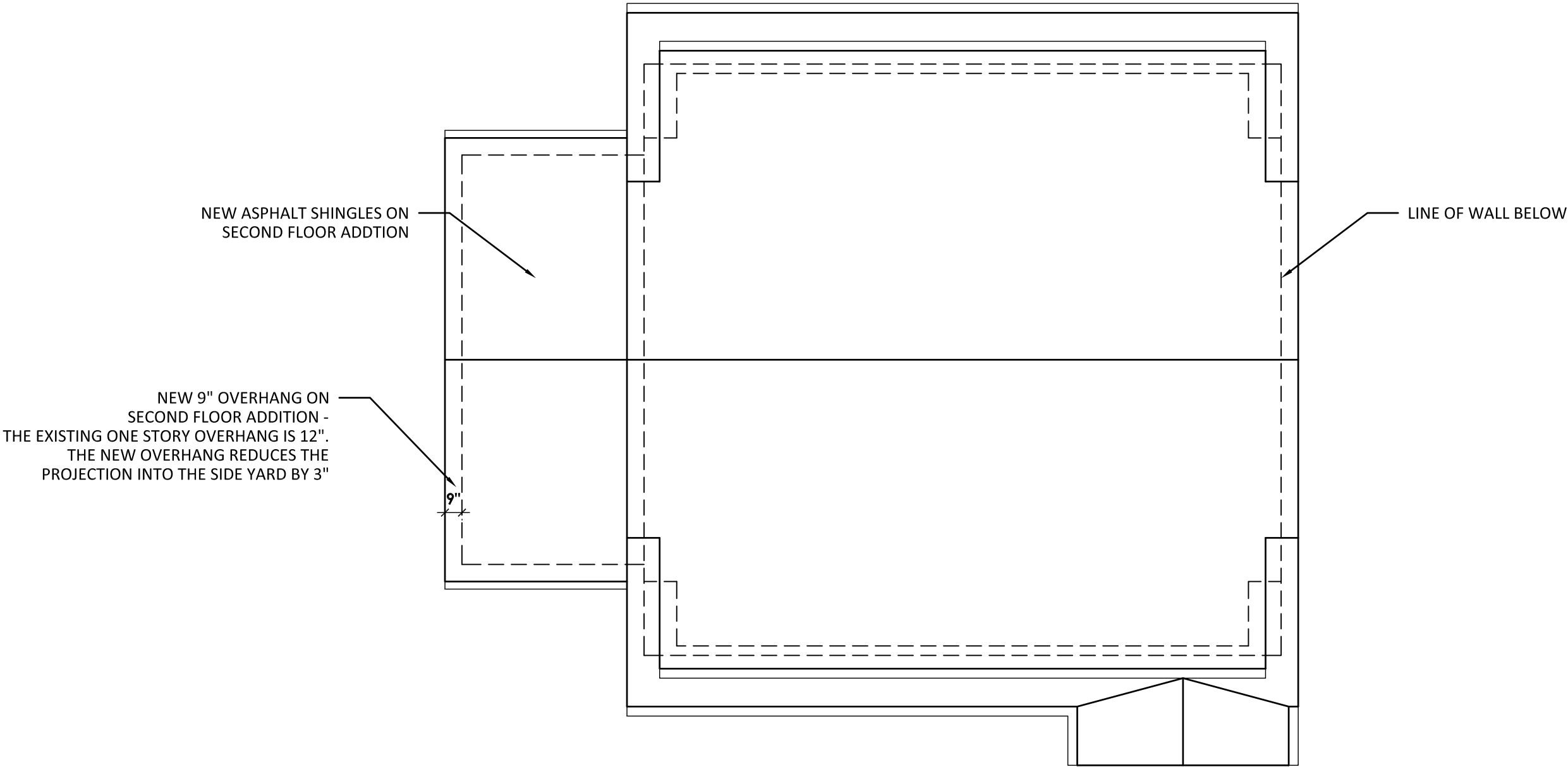


1 EXISTING NORTH ELEVATION
3/16" = 1'-0"

ADAM MARKS AND JENNA MONTAGUE
130 S. MITCHELL AVENUE, ARLINGTON HEIGHTS, IL 60005







NEW 9" OVERHANG ON
SECOND FLOOR ADDITION -
THE EXISTING ONE STORY OVERHANG IS 12".
THE NEW OVERHANG REDUCES THE
PROJECTION INTO THE SIDE YARD BY 3"

1 ROOF PLAN
3/16" = 1'-0"



ADAM MARKS AND JENNA MONTAGUE
130 S. MITCHELL AVENUE, ARLINGTON HEIGHTS, IL 60005

NEW ASPHALT SHINGLES TO
MATCH EXISTING

NEW FIBER CEMENT SIDING,
TRIM, AND CORNER BOARDS
TO MATCH EXISTING

EXISTING BRICK TO REMAIN

EXISTING ROOFING
TO REMAIN

EXISTING SIDING AND
WINDOWS TO REMAIN

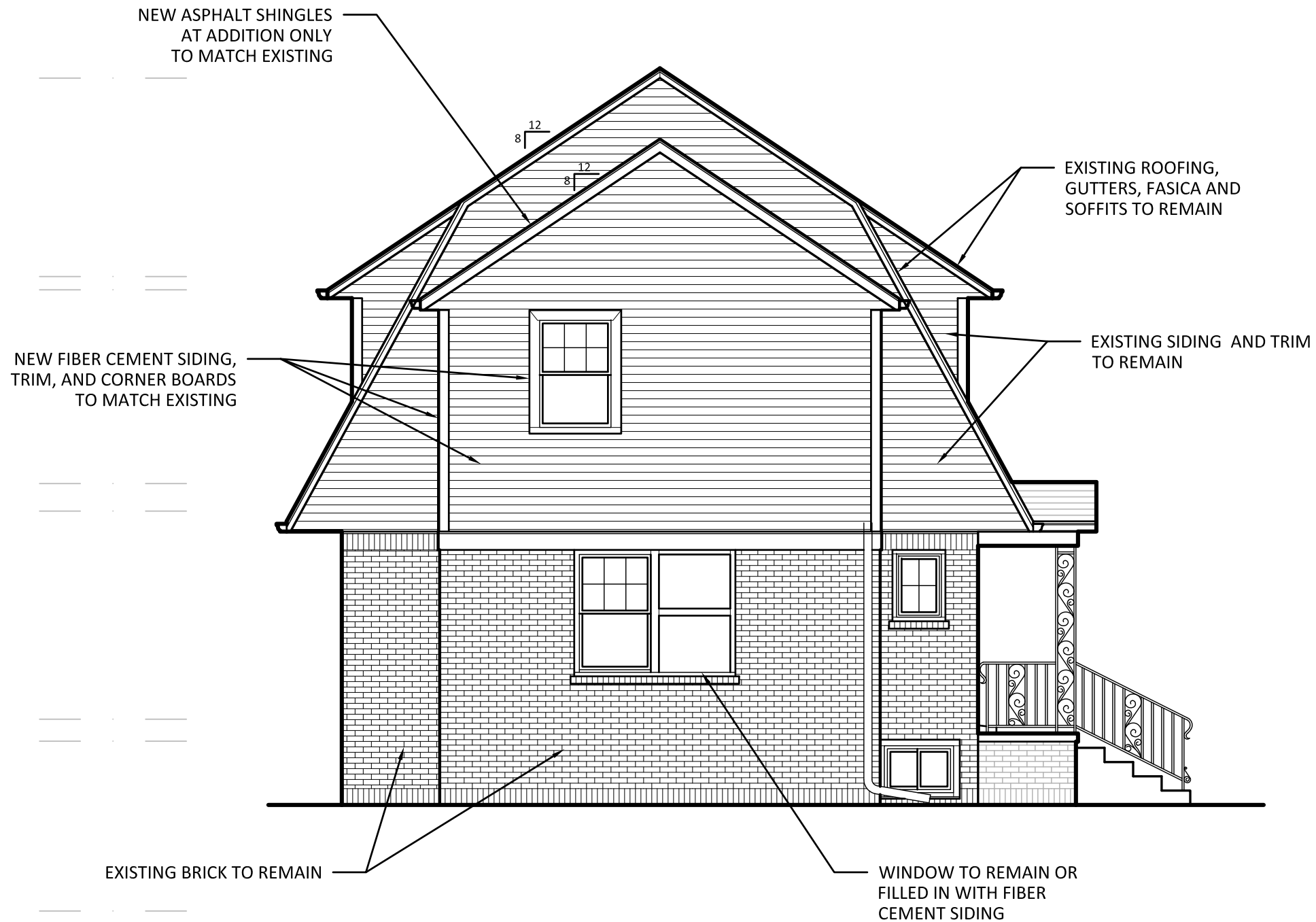


1 EAST ELEVATION
3/16" = 1'-0"



ADAM MARKS AND JENNA MONTAGUE
130 S. MITCHELL AVENUE, ARLINGTON HEIGHTS, IL 60005

A5



1 SOUTH ELEVATION
3/16" = 1'-0"

KINGSLEY + GINNODO ARCHITECTS
333 N HICKORY AV. ARLINGTON HTS. IL 60004

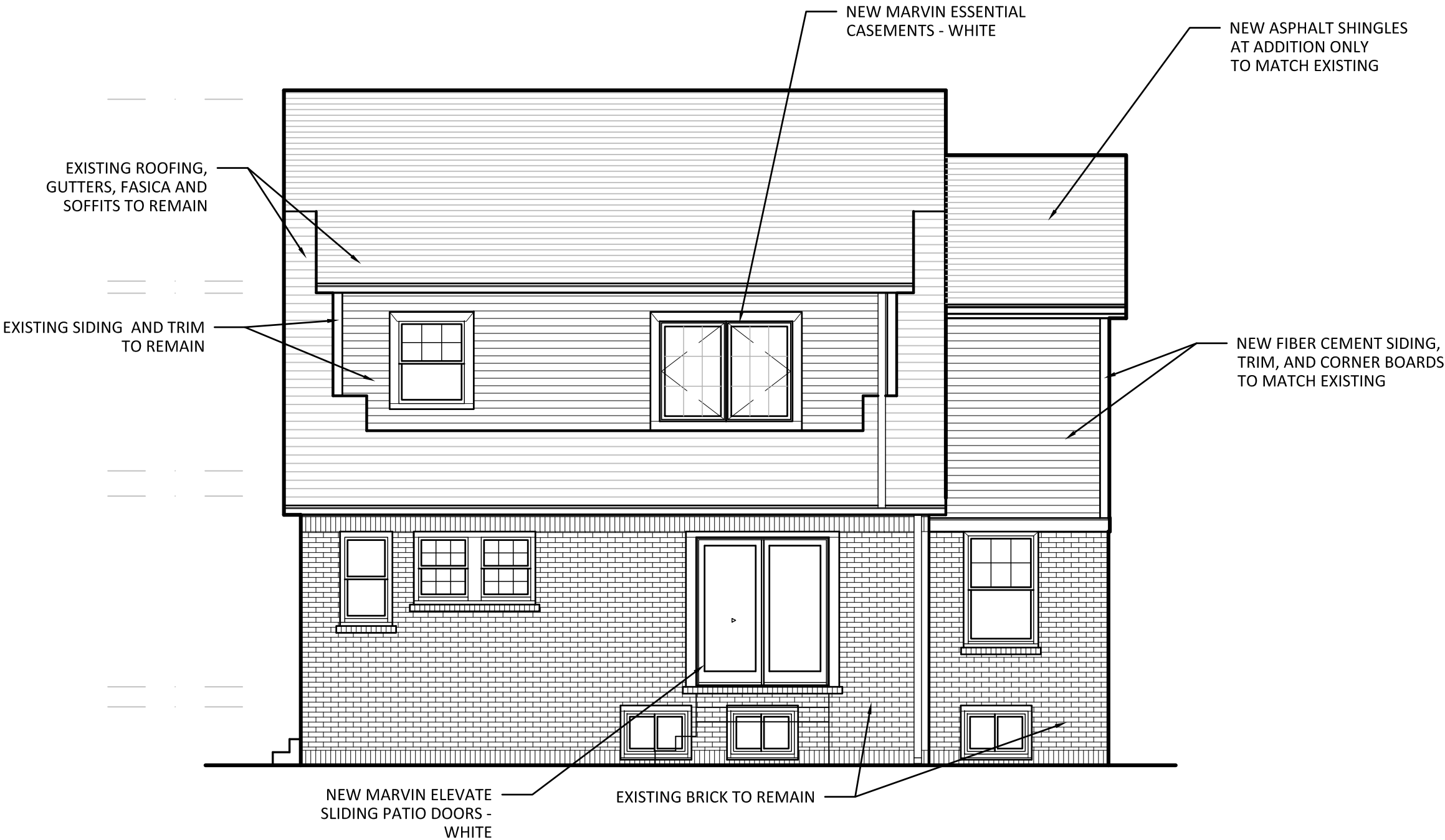
A6

04.06.20
© KINGSLEY + GINNODO ARCHITECTS



ADAM MARKS AND JENNA MONTAGUE

130 S. MITCHELL AVENUE, ARLINGTON HEIGHTS, IL 60005



1 WEST ELEVATION
3/16" = 1'-0"



1 NORTH ELEVATION - NO WORK
3/16" = 1'-0"

ADAM MARKS AND JENNA MONTAGUE
130 S. MITCHELL AVENUE, ARLINGTON HEIGHTS, IL 60005



KINGSLEY + GINNODO ARCHITECTS
333 N HICKORY AV. ARLINGTON HTS. IL 60004

A8

04.08.20

© KINGSLEY + GINNODO ARCHITECTS



**Zoning Board of Appeals
5/21/2020**

Item: 610 N. Wilshire Ln. - ZBA#20-012

Department: Planning & Community Development Department

REQUEST

A 1.8 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow an addition to the existing garage with a side yard setback of 5.2 feet instead of the required 7.0 feet and an additional 2.0 feet for the eave.

ATTACHMENTS:

Description

Supporting Documents

Type

Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: May 21, 2020
Date Prepared: May 13, 2020
Project Title: Junius Residence
Address: 610 N. Wilshire Ln.

Background Information

Petition Number: ZBA #20-012
Petitioner: Amanda Junius
Address: 610 N. Wilshire Ln.
Arlington Heights IL 60004

Existing Zoning: R-3 Single-Family Residential District

Requested Action/Background Information

The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 9,228 square feet. The petitioner is proposing to expand the existing one car attached garage and create a two car attached garage. The proposed addition requires a zoning variation to allow a side yard setback of 5.2 feet, where 7.0 feet is required. Therefore, the petitioner requires the following variation:

A 1.8 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow an addition to the existing garage with a side yard setback of 5.2 feet instead of the required 7.0 feet and an additional 2.0 feet for the eave.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	5/6/20	
2. List of Property Owners Within 250 feet of Subject Property	✓	5/6/20	
3. Letter that was Mailed	✓	5/6/20	
4. Photographs of Sign on Property	✓	5/6/20	

Photographs of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Junius Residence

Project Address: 610 N Wilshire Lane

ZBA #: 20-012

Date: April 28, 2020

Derek:

I have reviewed the request for a 1.8 foot variance to allow an addition to the existing garage with a side yard setback of 5.2 feet instead of the required 7.0 feet, and have the following comment:

1. The soffit of the north wall of the second story addition shall have 5/8-inch exterior grade drywall installed under the weather protection material based on the distance to the lot line of less than 5 feet.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Junius Residence

Project Address: 610 N. Wilshire Lane

ZBA #: 20-012

ZBA Hearing Date: May 21, 2020

To: Mike Pagones, Village Engineer
Steven Touloumis, Director of Building and Life Safety

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: April 28, 2020

A 1.8 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow an addition to the existing garage with a side yard setback of 5.2 feet instead of the required 7.0 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments:

The proposed addition is nicely designed to fit with the style, character, and massing of the existing house. Staff intends to administratively approve the design, pending the outcome of the ZBA review.
- Steve Hautzinger, Design Planner

Please review, comment, and return to me no later than May 7, 2020.

ZBA# 20-012
610 N Wilshire Ln- ZBA
Rev. Eng: Briget Schwab, P.E.
cc: Mike Pagones, P.E. Village Engineer

Application Date: April 6, 2020
Received by Planning: N/A
Transmitted to Engineering: April 28, 2020
Completed: May 1, 2020

The proposed ZBA application indicates that the petitioner is seeking:

A 1.8 foot variation from Chapter 28, Section 5.1-3.2 (Required Minimum Yards) to allow an addition to the existing garage with a side yard setback of 5.2 feet instead of the required 7.0 feet.

The Engineering Division has NO OBJECTION on the proposed variances for setback.

NOTE: An existing brick sidewalk is located in the area of the proposed garage and an existing sideyard swale exists beyond the sideyard. The sideyard swale must be maintained.

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Petition

Now Comes the Petitioner: Amanda Junius being the owner of the property commonly known as: 610 N Wilshire Lane and appeals to the zoning board of Appeals of the Village of Arlington Heights for a variation from Section: 5.1-3.2b, Chapter 28, of the Arlington Heights Municipal Code, in order to increase the one car garage, approx. 8' so that a 16' door can be placed on the garage, making it a 2 car garage.

I hereby state that the following hardship would exist if the variation were not granted: Although no hardship exists as we have been blessed with good health, We believe that this will allow us to help keep the front of our property looking appealing to the neighborhood as we will be able to store additional items in the garage as well as our 2 vehicles that otherwise would be left outside. We believe this design allows us to connect with the community on a greater level with the addition of the porch.

I hereby state that the following unique circumstances exist: When we purchased the home believing that with the large side yard that creating a larger garage was able to be done.

I hereby state that the variation, if granted, will not alter the essential character of the locality because: With the addition of the garage and porch we are going to be consistent with the current appearance of the house and the neighborhood. We will be using materials that will resemble those currently on the home. It is not our intention, through color or design, to alter the appearance of the house that we have already.

Signed: *Amanda Junius*

Date: 4/10/2020

LEGEND

A = ASSUMED
C = CALCULATED
CH = CHORD
CL = CENTERLINE
D = DEED
E = EAST
F.I.P. = FOUND IRON PIPE
F.I.R. = FOUND IRON ROD
FT. = FEET/FOOT
L = ARC LENGTH
M = MEASURED
N = NORTH
NE = NORTHEAST

NW = NORTHWEST
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
R = RECORD
RAD = RADIUS
R.O.W. = RIGHT OF WAY
S = SOUTH
S.I.P. = SET IRON PIPE
S.I.R. = SET IRON ROD
SE = SOUTHEAST
SW = SOUTHWEST
W = WEST

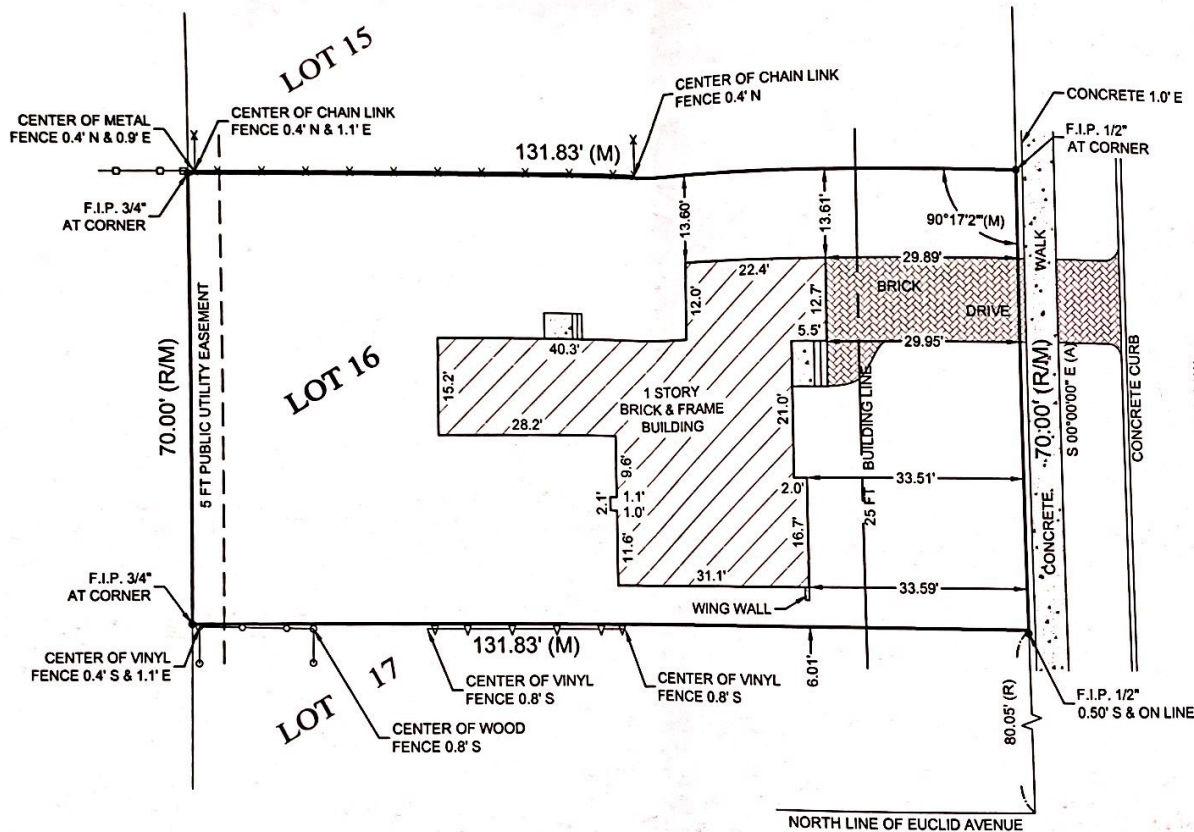
— x — = CHAIN LINK FENCE
— o — = WOOD FENCE
— — = METAL FENCE
— — = VINYL FENCE
— — = EASEMENT LINE
— — = SETBACK LINE
— — = INTERIOR LOT LINE

PLAT OF SURVEY

LOT 16 IN STOLTZNER'S ARLINGTON SUBDIVISION UNIT NUMBER 1, A SUBDIVISION OF THE SOUTH 1/2 OF THE EAST 1/4 OF THE WEST 1/4 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 24, 1957, AS DOCUMENT NUMBER 16938788, IN COOK COUNTY, ILLINOIS.

AREA OF SURVEY:

CONTAINING 9,228 SQ. FT. OR 0.21 ACRES MORE OR LESS



BASIS OF BEARING:
WEST LINE OF N. WILSHIRE LANE AS FOUND
MONUMENTED AND OCCUPIED PER RECORD
SUBDIVISION.
S 00°00'00\"



Morris Engineering, Inc.
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-0770
FAX: (630) 271-0774
WEBSITE: WWW.ECIVIL.COM

STATE OF ILLINOIS
COUNTY OF DUPAGE

I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT "THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY," AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.
DATED, THIS 13TH DAY OF FEBRUARY, A.D., 2020,
AT LISLE, ILLINOIS.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-3253
LICENSE EXPIRATION DATE NOVEMBER 30, 2020
ILLINOIS BUSINESS REGISTRATION NO. 184-00245



NOTE: SOME IMPROVEMENTS MAY NOT BE SHOWN HEREON
DUE TO SNOW COVER AT TIME OF SURVEY.

NOTE:

- ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.
- ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
- COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
- NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

ADDRESS COMMONLY KNOWN AS 810 N. WILSHIRE LANE
ARLINGTON HEIGHTS, ILLINOIS

CLIENT GARNELLO & ASSOCIATES PC

FIELDWORK DATE (CREW) 02/07/2020 (RJ/SB)

DRAWN BY: NG REVISED: JOB NO. 20-01-0307

JUNIUS RESIDENCE
GARAGE & PORCH ADDITION
610 N. WILSHIRE LANE
ARLINGTON HEIGHTS, ILLINOIS

DATE	PAGES REVISED
	ISSUED FOR PERMIT

CODES

APPLICABLE BUILDING CODES
2018 INTERNATIONAL RESIDENTIAL CODE, AS AMENDED
2018 INTERNATIONAL BUILDING CODE, AS AMENDED
2018 INTERNATIONAL MECHANICAL CODE, AS AMENDED
2018 INTERNATIONAL FIRE CODE, AS AMENDED
2011 NFPA NATIONAL ELECTRIC CODE, AS AMENDED
ILLINOIS STATE PLUMBING CODE
ILLINOIS ENERGY CONSERVATION CODE

SHEET INDEX

- C1 COVER SHEET - SITE PLAN
- 1 EXISTING/DEMO PLANS & ELEVATIONS
- 2 PROPOSED ELEVATIONS & ROOF PLAN
- 3 FOUNDATION, FIRST FLOOR PLANS, SECTION & DETAIL
- 4 SPECIFICATIONS

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	INS	INSULATED/ING
ADH	ADHESIVE	INT	INTERIOR
ADJ.SH.	ADJUSTABLE SHELF	JNT	JOINT
A/C	AIR CONDITIONING	JST	JOIST
ALT.	ALTERNATE	LAM	LAMINATED PLASTIC
L	STEEL ANGLE	LL	LIVE LOAD
AWN.	AWNING	M.O.	MASONRY OPENING
BRK	BRICK	MAT.	MATERIAL
BM	BEAM	MC	MEDICINE CABINET
BRG.	BEARING	MTL	METAL
CSMT	CASEMENT	N.T.S.	NOT TO SCALE
CLG	CEILING	O.C.	ON CENTER
CL	CENTER LINE	OPG	OPENING
C	STEEL CHANNEL	O.H.	OVERHEAD
CLO	CLOSET	PIT	PLUGGED AND TOP SANDED
F&S	POLE AND SHELF	PC	PIECES
COL	COLUMN	PL	PLATE
CONC	CONCRETE	PLY.	PLYWOOD
CONST	CONSTRUCTION	P.S.F.	POUNDS PER SQUARE FOOT
C.J.	CONTROL JOINT	P.S.I.	POUNDS PER SQUARE INCH
CONT	CONTINUOUS	REIN.	REINFORCING/ED
CO	CASED OPENING	R	RISERS
CI	CAST IRON	RO	ROUGH OPENING
CRS	COURSES	RS	ROUGH SAWN
DL	DEAD LOAD	SH	SHELF
DTL	DETAIL	S.C	SOLID CORE
DIA	DIAMETER	SHT.	SHEET METAL
DIM	DIMENSION	SM	SIMILAR
DW	DISHWASHER	S&D	SLIDING GLASS DOOR
DH	DOUBLE HUNG	STD	STANDARD
DS	DOWNPOUT	ST	STEEL
EA	EACH	TEMP.	TEMPERED
EQ	EQUAL	THLD	THRESHOLD
EXP	EXPANSION	T&G	TONGUE AND GROOVE
EXT	EXTERIOR	T	TREADS
FIN	FINISHED	T/	TOP OF.....
FP	FIREPLACE	UC	UNDER CABINET
FL	FLOOR	WC	WATER CABINET
FD	FLOOR DRAIN	WH	WATER HEATER
FTG	FOOTING	WP.	WEATHER PROOF
FDN	FOUNDATION	WS.	WEATHER STRIPPING
GALV	GALVANIZED	WF.	WIDE FLANGE
GL	GLASS	W	WITH
GYP. BD.	GYPSUM BOARD	WO	WOOD
HGT	HEIGHT	W.I.	WROUGHT IRON
HM	HOLLOW METAL	WO.	WRAPPED OPENING
HC	HOLLOW CORE		

DESIGN LOADS

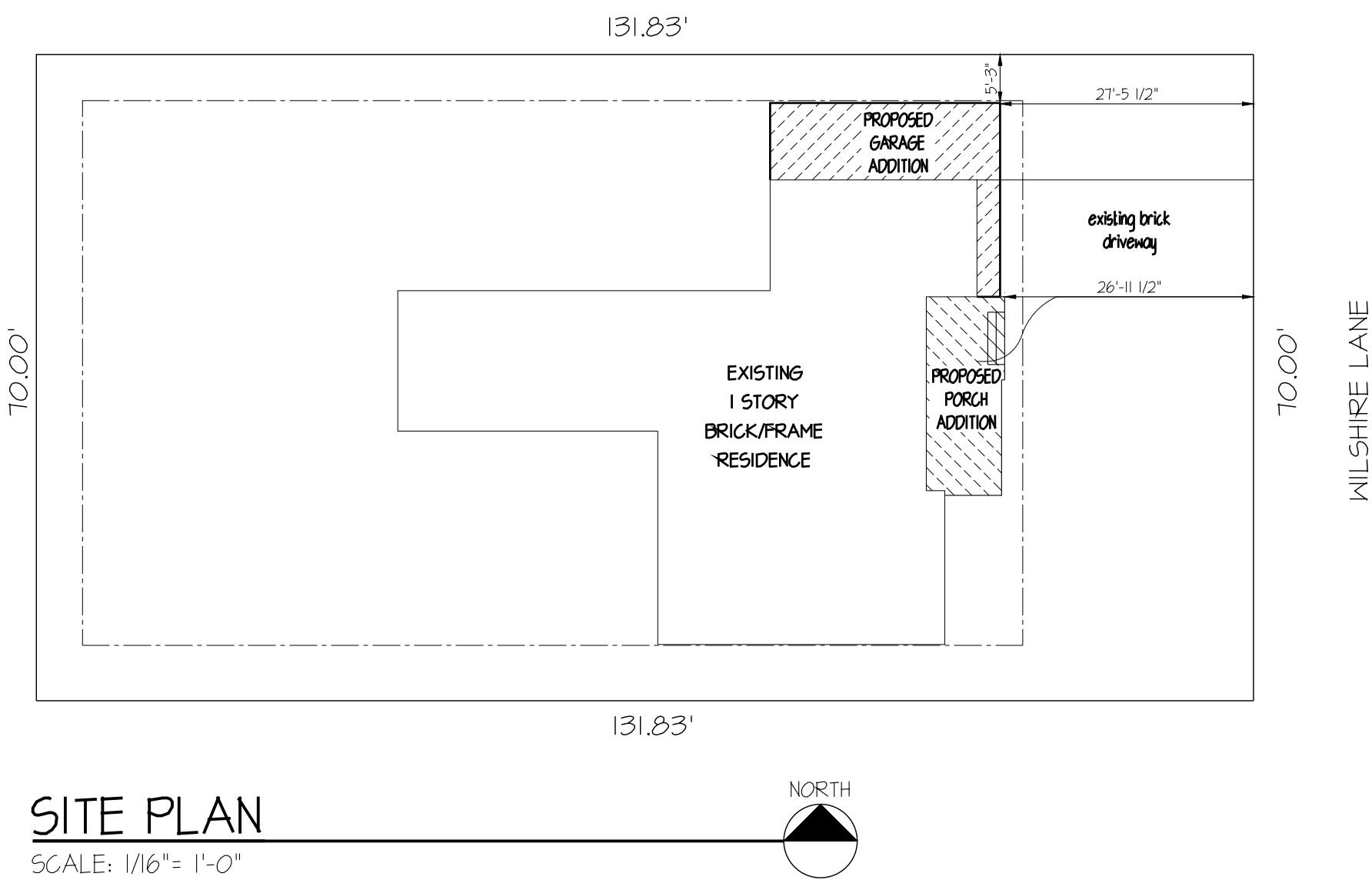
Floor: Live Load: 40 psf minimum
Dead Load: 10 psf minimum
Sleeping Room Live Load: 40 psf minimum

Roof: Live Load: 30 psf minimum

Soil: Bearing Capacity: 3,000 psf minimum

CLIMATIC AND GEOGRAPHICAL
DESIGN CRITERIA

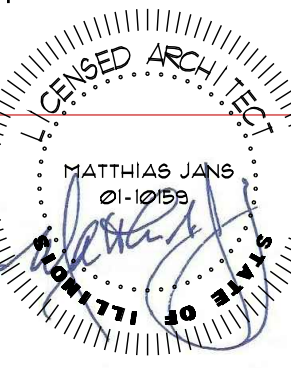
Ground Snow Load: 30 psf
Wind Speed: 90 mph - 3 second gust
Wind Design Topo effects: 0
Seismic Design Category: 0
Weathering: Severe
Frost Line Depth: 42" below grade
Winter Design temp: 97 ½%, 2 degrees F
Ice Barrier Underlayment Required: Yes
Air Freezing Index: 2000
Mean Annual temp: 50 degrees F



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JUNIUS RESIDENCE - Addition
610 N. WILSHIRE LANE
ARLINGTON HEIGHTS, IL



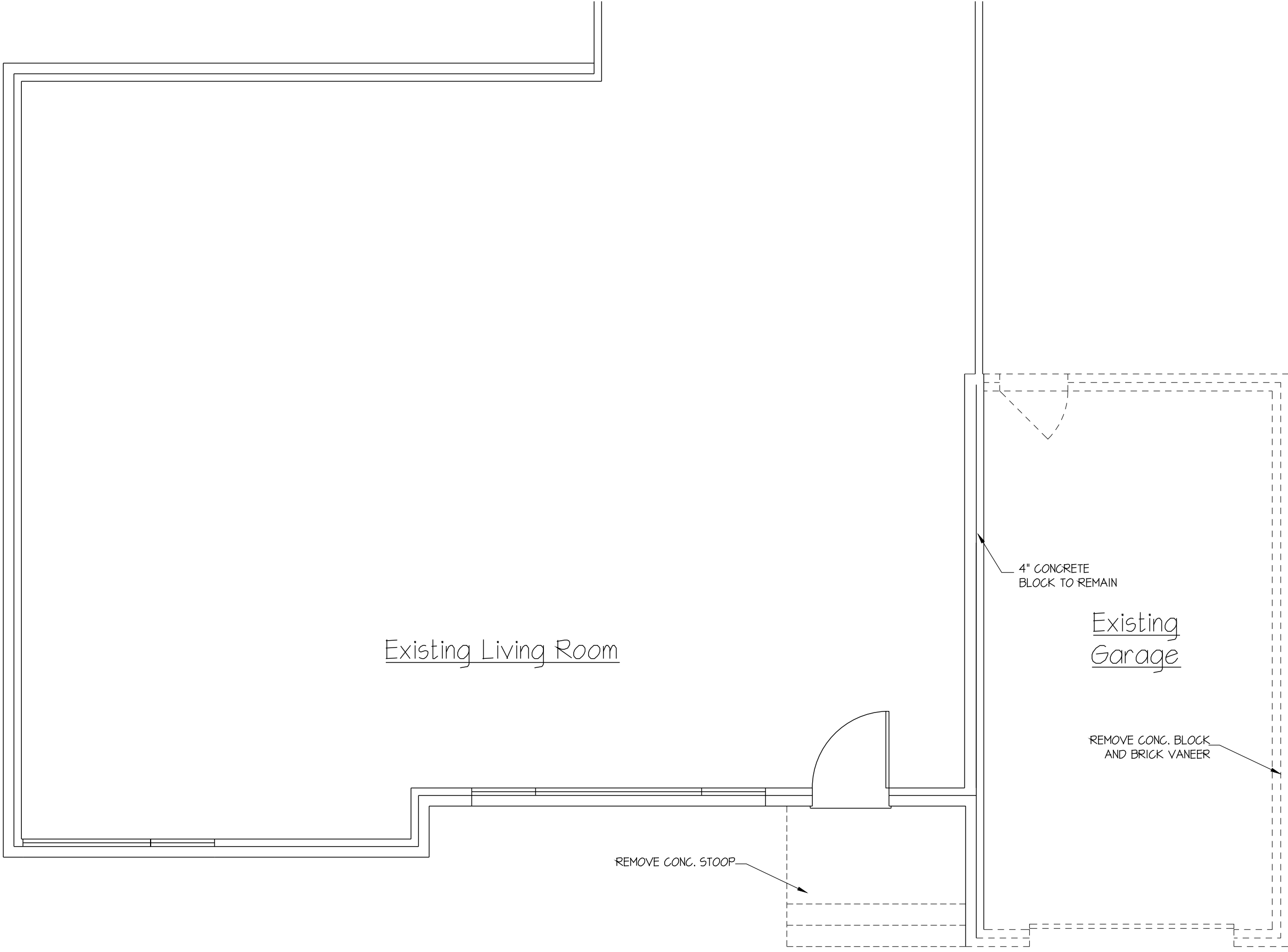
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PROJ. START
3/11/20

LME

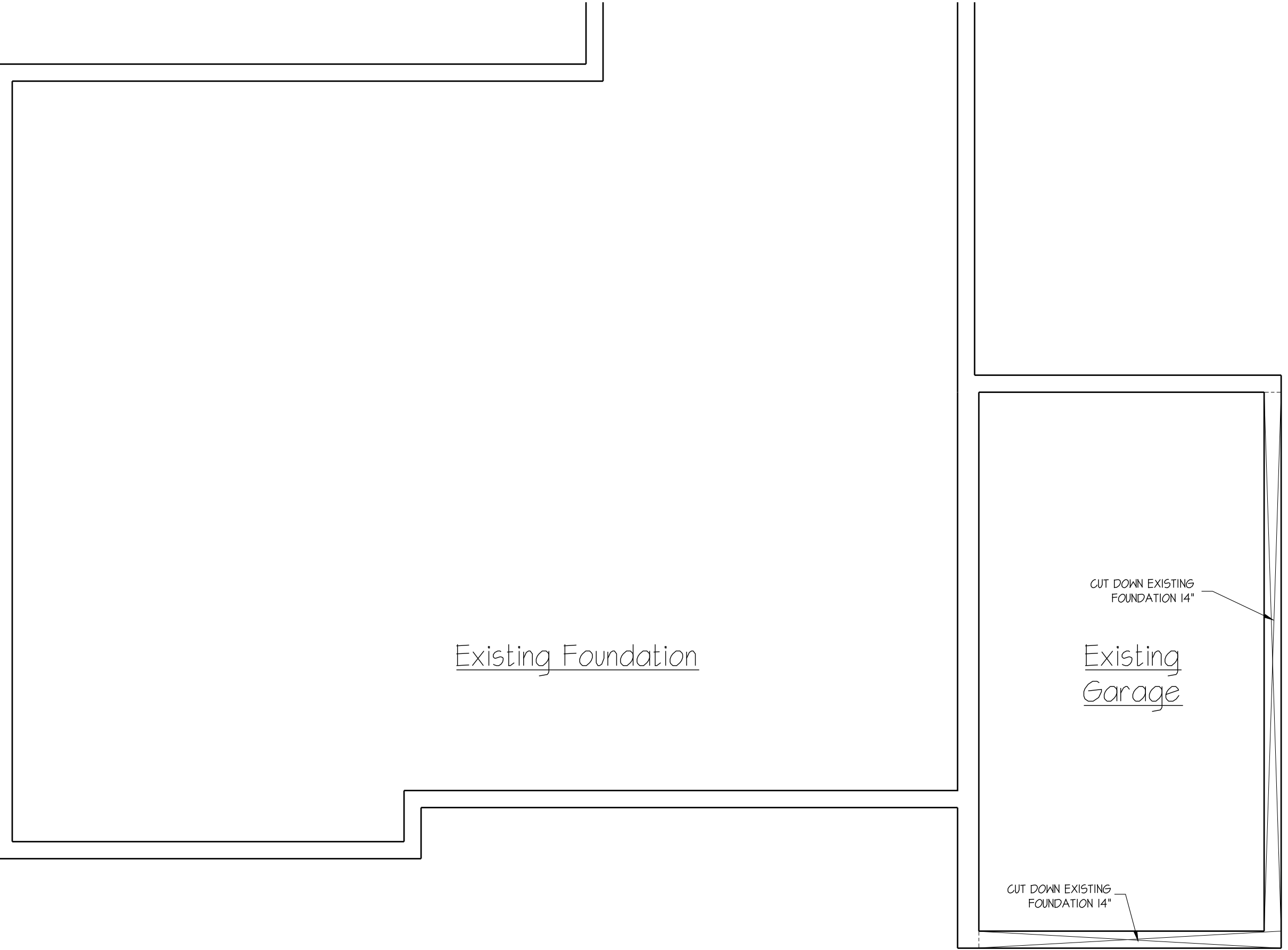
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C1



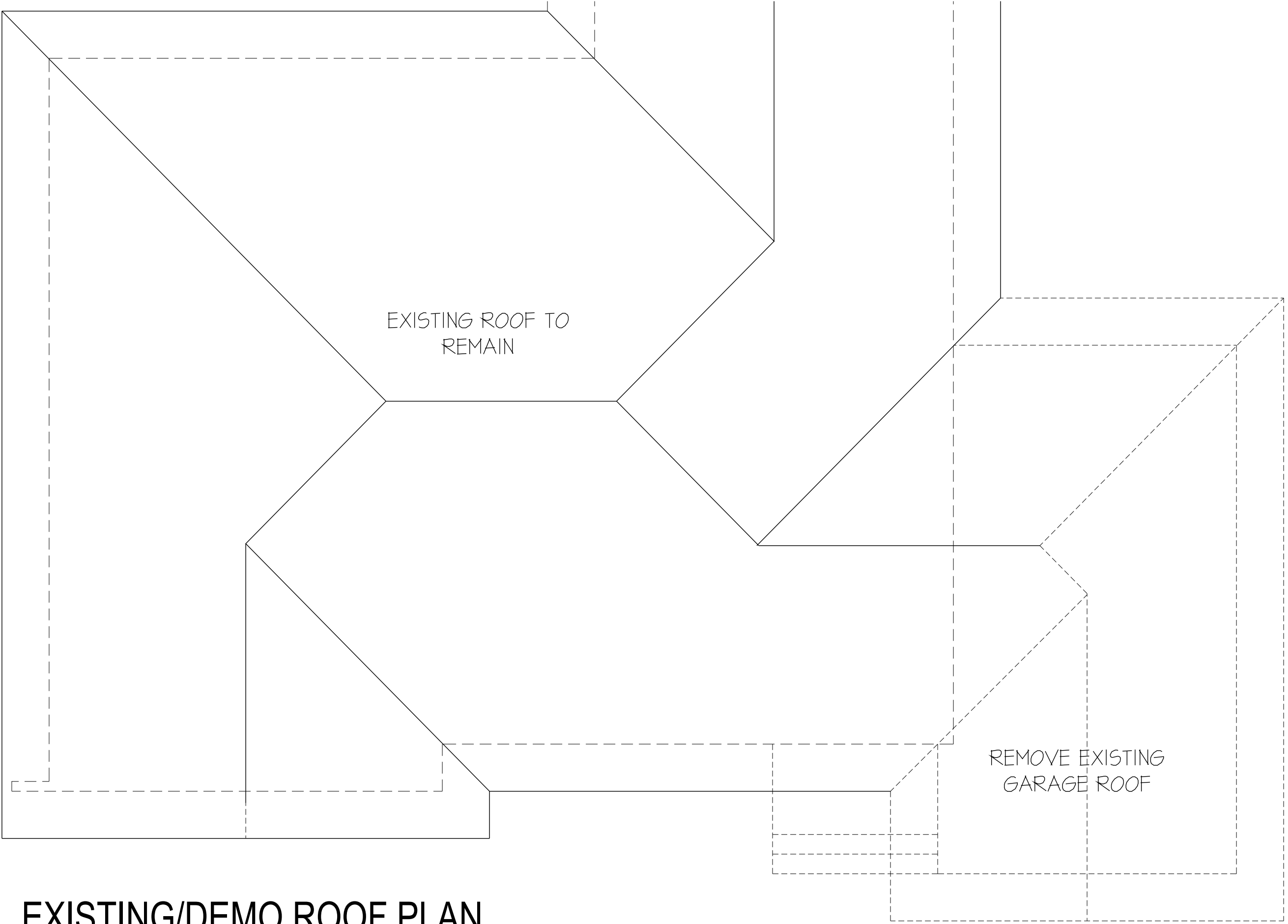
EXISTING/DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"



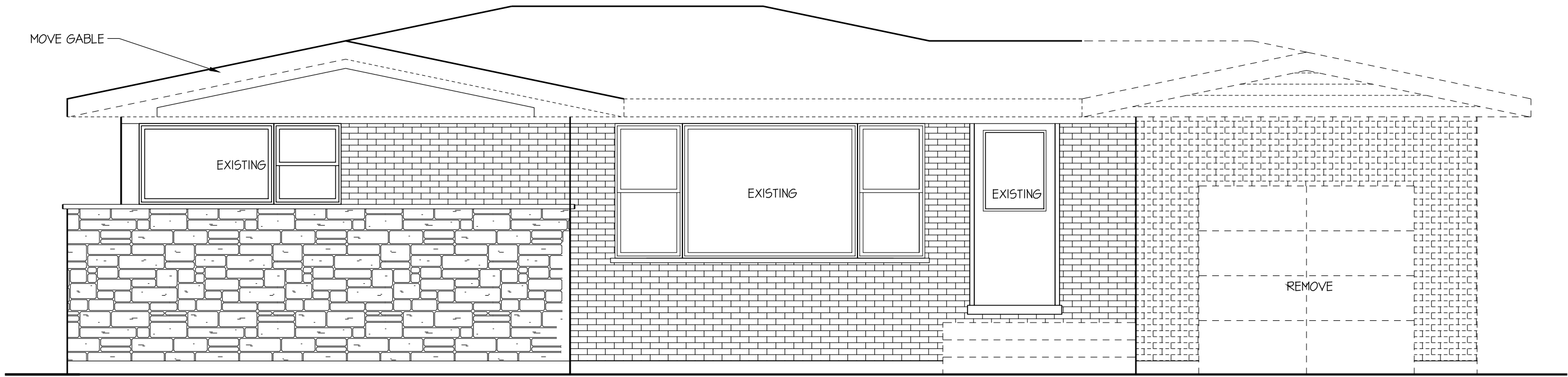
EXISTING/DEMO FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



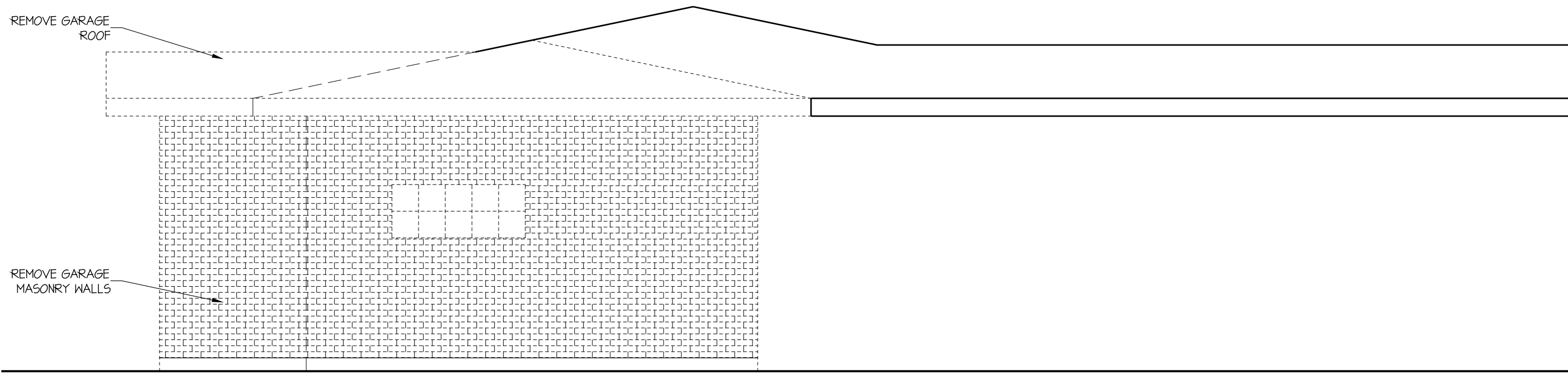
EXISTING/DEMO ROOF PLAN

SCALE: 1/4" = 1'-0"



EXISTING/DEMO FRONT ELEVATION

SCALE: 1/4" = 1'-0"



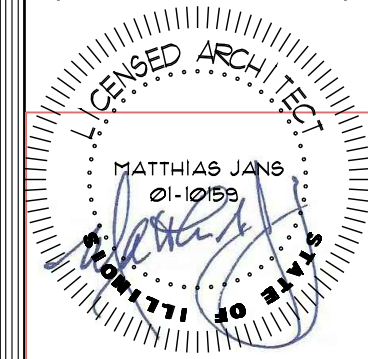
EXISTING/DEMO RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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mj@matthiasjans.com

JUNIUS RESIDENCE - Addition
610 N. WILSHIRE LANE
ARLINGTON HEIGHTS, IL



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3/11/20

LME

JOB #
20014

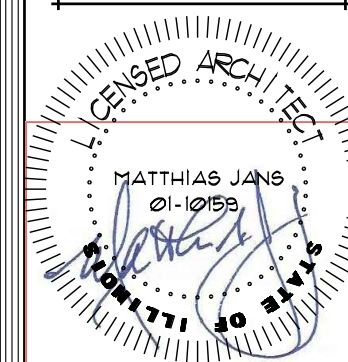
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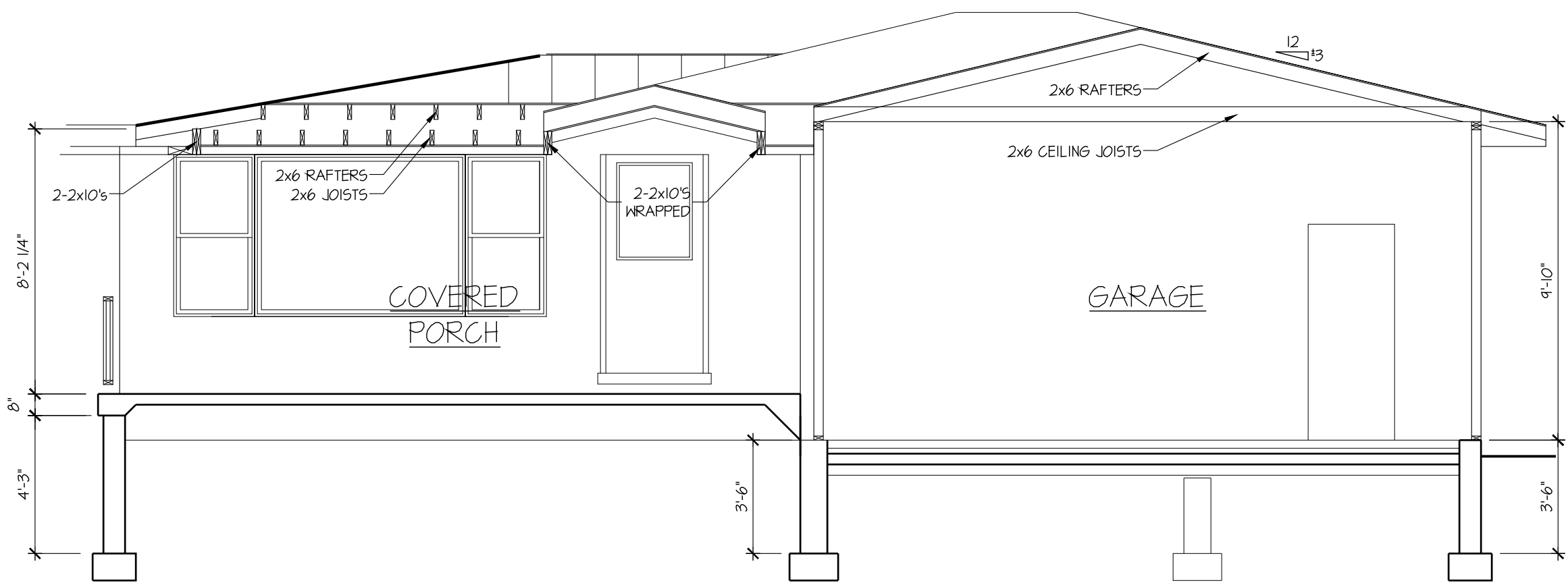
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BUILDING SECTION A - A

SCALE: 1/4" = 1'-0"

FRAME WALL

HARDIE BOARD SIDING, TYVEK
HOUSEWRAP ON
CONTINUOUS 1/2" STRUCTURE OSB
SHEATHING 2x4 STUDS @ 16" O.C.
PROVIDE CORNER BRACING PER CODE

2x4 P.T. SILL PLATE ON SILL
SEALER INSULATION w/ 1/2"
DIA x 10" LONG A.B. AT
6'-0" O.C. MIN 8" INTO CONC.

BASE FLASHING W/ KEEP
HOLES @ 24" O.C.

ONE COAT OF ASPHALT
DAMP-PROOFING

4"x2" KEYWAY IN ALL
CONCRETE FOOTINGS

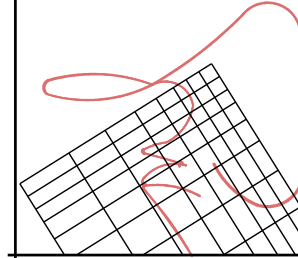
HAND EXCAVATED FOOTING IN
UNDISTURBED EARTH (MIN 4'-
MAX 6") BEARING CAPACITY
OF SOIL MIN 3000 PSF

4" CONC. SLAB w/ 6x6-14x14 W.W.F.
6 MIL. POLY VAPOR BARRIER w/ 4"
MIN. GRANULAR FILL OVER
COMPACTED EARTH BACKFILL
W/GRANULAR MATERIAL ONLY

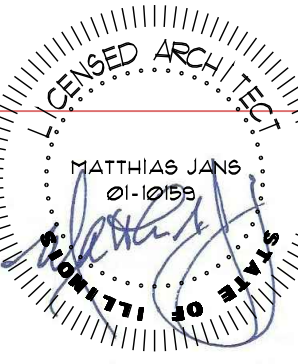
@ GARAGE
TYP. EXT. FRAME WALL

SCALE: 1/2" = 1'-0"

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610 N. WILSHIRE LANE
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3

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m.jans@matthiasjans.com

r property garage 3'6"
ack from N. property line - 604

SUBJECT
PROPERTY - 610

6' 6" setback from S. property line - 618

7" setback from N. property line - 618

6' 6" setback from S. property line - 624

14' 6" setback from N. property line - 624

6' setback from S. property line
4" setback from wingwall

5' 6" setback from S. property line - 634

5" setback from S. property line - 630
3' setback from wingwall

Ded. for Park or
Playground

WILSHIRE

HAWTHORNE

EUCLID