



Agenda
Village of Arlington Heights
Zoning Board of Appeals
Buechner Room, 1st Floor
Arlington Heights Village Hall, 33 S. Arlington Heights Rd.
May 13, 2024
7:00 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. 124 S. Vail Ave. - 4/8/24
- B. 917 E. Olive St. - 4/8/24
- C. 1114 N. Race Ave. - 4/8/24
- D. 1227 N. Wilke Rd. - 4/8/24
- E. 446 S. Arlington Heights Rd. - 4/8/24
- F. 421 E. Orchard St. - 4/8/24

IV. REPORTS

V. OLD BUSINESS

- A. 1114 N. Race Ave. - ZBA#24-009 (Continued from 4/8/24)

VI. NEW BUSINESS

VII. OTHER BUSINESS

- A. Public Comment

VIII. PUBLIC COMMENT

IX. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Erin Mercado, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, emercado@vah.com or (847)368-5793.



**Zoning Board of Appeals
5/13/2024**

Item: 124 S. Vail Ave. - 4/8/24

Department: Planning & Community Development Department

ATTACHMENTS:

Description	Type
124 S Vail Ave - Findings 4/8/24	Minutes
124 S Vail Ave - Minutes 4/8/24	Minutes

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

APRIL 8, 2024

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 124 S. Vail Ave. Residence

Applicant: Crystal Camos-Juarez – Thomas Architects

Zoning Relief Requested:

- A variation from Chapter 28, Section 5.1-4.1 (Minimum Lot Size), to allow a lot with an area of 6,600 square feet to be buildable where 8,750 square feet is required.
- A variation from Chapter 28, Section 5.1-4.2 (Minimum Lot Width) to allow a lot with a width of 50 feet to be buildable where 70 feet is required.

Date of Publication: 3/23/24

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Lanaghan, O’Connor, Selbka, Portera

Having heard and considered the testimony and evidence at the public hearing of April 8, 2024, the ZBA makes the following **findings of fact**:

The Petitioner is proposing to demolish the existing residence and detached two-car garage to allow construction for a new two-story residence. The proposed house and garage comply with all R-4 zoning requirements; however, the subject property is located in the R-4 Zoning District where the minimum required lot size is 8,750 square feet, and the minimum required lot width is 70 feet. The subject property is 6,600 square feet and 50 feet in width which does not meet the minimum requirements.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

- X** The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and

- X The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
- X The proposed variation is in harmony with the spirit and intent of this Chapter; and
- X The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- A variation from Chapter 28, Section 5.1-4.1 (Minimum Lot Size), to allow a lot with an area of 6,600 square feet to be buildable where 8,750 square feet is required.
- A variation from Chapter 28, Section 5.1-4.2 (Minimum Lot Width) to allow a lot with a width of 50 feet to be buildable where 70 feet is required.

Reason for Determination:

The Zoning Board agreed that the lot is non-conforming and that the only way to build on the subject property is to obtain a variance for the substandard lot area and width. The overall lot size is consistent with other lots in the neighborhood. The Zoning Board felt that the overall design of the proposed home is favorable.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

4 ayes 0 nays 3 absent 0 abstain

Date: April 8, 2024

Joseph Selbka, Acting Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 124 SOUTH VAIL AVENUE - ZBA #24-007

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 8th day of April, 2024 at the hour of
7:57 p.m.

MEMBERS PRESENT:

JOSEPH SELBKA, Acting Chairperson
JEFFREY LANAGHAN
FRANK PORTERA
MICHAEL O'CONNOR

ALSO PRESENT:

DEREK MACH, Development Planner
DAN OSOBA, Planner I

ACTING CHAIR SELBKA: All right, let's call the last variance of the evening, 124 South Vail Avenue.

Your name please?

MR. BUDZIK: Thom Budzik, architect.

MR. ERICKSEN: Mark Ericksen, owner.

ACTING CHAIR SELBKA: And you're both going to testify?

MR. ERICKSEN: Yes.

ACTING CHAIR SELBKA: Okay, both raise your right hand.

(Witnesses sworn.)

ACTING CHAIR SELBKA: Okay, Derek?

MR. MACH: Thank you.

The Petitioner is proposing to demolish the existing residence and detached two-car garage to allow construction for a new two-story residence, excuse me, with a new detached two-car garage. The site is zoned R-4, Two-Family Dwelling District. The property has a total land area of 6,600 square feet. The proposed house and garage comply with all R-4 zoning requirements; however, the subject property is located in the R-4 Zoning District where the minimum required lot size is 8,750 square feet, and the minimum required lot width is 70 feet. The subject property is 6,600 square feet and 50 feet in width which does not meet the minimum requirements for a building permit to be issued.

Therefore, the Petitioner is requesting --

MR. OSOBA: The Petitioner is requesting a variation from Chapter 28, Section 5.1-4.1 to allow a lot with an area of 6,600 square feet to be buildable where 8,750 square feet is required, and a variation from Chapter 28, Section 5.1-4.2 to allow a lot with a width of 50 feet to be buildable where 70 feet is required.

ACTING CHAIR SELBKA: Thank you.

Please present your petition.

MR. BUDZIK: Okay, so this is basically, as the Board probably knows, kind of an artifact to the R-4 district in this area on Vail and Highland. The majority of the lots here are non-conforming. We're planning to tear down a home and build a new home on what is right now a legal lot of record.

We did last month go through the Design Commission to get approval for the demolition of the existing structure and the design of the new structure. We've gone through the same variance process on 129 South Vail and 129 South Highland as well.

ACTING CHAIR SELBKA: Okay, Derek, did you say that there were some objections?

MR. MACH: At Design Commission, there were people that spoke I think in opposition or out of concern for the existing home.

ACTING CHAIR SELBKA: But nobody has sent anything to the Zoning Board?

MR. MACH: No. There was a neighbor who indicated they were, but they never did send a --

MR. ERICKSEN: Yes, I talked to the neighbors and they were all fine after we explained what we were doing.

ACTING CHAIR SELBKA: Okay, good.

Does anybody else have questions?

(No response.)

ACTING CHAIR SELBKA: Okay, hearing none, I'll close it down for public comment. Looking out at the empty chairs, doesn't look like there's going to be any public comment. Hearing none, I'll close it down for Board deliberation.

This is a non-conforming lot. The only way to build on it is to get a variance. The design looks nice to me. I'm in favor of the variance.

Anybody else?

COMMISSIONER LANAGHAN: Yes, I agree with you.

ACTING CHAIR SELBKA: Okay, closing Board deliberation, can I have a motion?

COMMISSIONER O'CONNOR: Motion to approve.

COMMISSIONER LANAGHAN: Second.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. MACH: Acting Chair Selbka.

ACTING CHAIR SELBKA: Yes.

Okay, with that, thank you. Oh, yes, you can leave unless you want to make up for --

MR. ERICKSEN: You guys scared us. We went from first to last, you know, I appreciate it, thank you.

ACTING CHAIR SELBKA: All right, anybody who wants to make a public comment can. There's nobody from the public here.

Any Commissioner want to say anything?

(No response.)

ACTING CHAIR SELBKA: You do not. All right, with that, can I have a motion to adjourn?

COMMISSIONER LANAGHAN: So moved.

COMMISSIONER O'CONNOR: Second.

ACTING CHAIR SELBKA: All in favor?

(Chorus of ayes.)

ACTING CHAIR SELBKA: All right, have a nice trip, Mike.

COMMISSIONER O'CONNOR: Thanks.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 8:01 p.m.)



**Zoning Board of Appeals
5/13/2024**

Item: 917 E. Olive St. - 4/8/24

Department: Planning & Community Development Department

ATTACHMENTS:

Description	Type
917 E Olive St - Findings 4/8/24	Minutes
917 E Olive St - Minutes 4/8/24	Minutes

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

APRIL 8, 2024

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 917 E. Olive St. Residence

Applicant: Nicolette Orlandino

Zoning Relief Requested:

- A 2.3-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow a second story addition with a side yard setback of 2.7 feet instead of the required 5.0 feet and an additional 1.0 feet for the eave.
- A 0.8-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow a two-story addition in the rear of the home with a side yard setback of 4.2 feet instead of the required 5.0 feet and an additional 1.0 feet for the eave.

Date of Publication: 3/23/24

Manner of Publication: Daily Herald

Zoning Board of Appeals ("ZBA") Members Present:

Lanaghan, O'Connor, Selbka, Portera

Having heard and considered the testimony and evidence at the public hearing of April 8, 2024, the ZBA makes the following **findings of fact**:

The Petitioner is proposing to construct a second story addition above the existing single-story footprint. Therefore, the proposed addition is encroaching into the required side yard setback. In addition, the petitioner is proposing to build a one story addition in the rear that is encroaching into the required side yard setback.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an "X"):

- X The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and

X The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and

X The proposed variation is in harmony with the spirit and intent of this Chapter; and

X The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- A 2.3-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow a second story addition with a side yard setback of 2.7 feet instead of the required 5.0 feet and an additional 1.0 feet for the eave.
- A 0.8-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow a two-story addition in the rear of the home with a side yard setback of 4.2 feet instead of the required 5.0 feet and an additional 1.0 feet for the eave.

Reason for Determination:

The Zoning Board discussed that the existing footprint of the home is non-conforming which is creating the hardship.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

4 ayes 0 nays 3 absent 0 abstain

Date: April 8, 2024

Joseph Selbka, Acting Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 917 EAST OLIVE STREET - ZBA #24-008

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 8th day of April, 2024 at the hour of
7:00 p.m.

MEMBERS PRESENT:

JOSEPH SELBKA, Acting Chairperson
JEFFREY LANAGHAN
FRANK PORTERA
MICHAEL O'CONNOR

ALSO PRESENT:

DEREK MACH, Development Planner
DAN OSOBA, Planner I

ACTING CHAIR SELBKA: I'd like to call the meeting to order. This is the April meeting of the Village of Arlington Heights Zoning Board of Appeals, and we will begin with roll call.

MR. MACH: Mr. Siavelis.

(No response.)

MR. MACH: Mr. Drake.

(No response.)

MR. MACH: Mr. Jaffe.

(No response.)

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Here.

MR. MACH: Mr. O'Connor.

COMMISSIONER O'CONNOR: Here.

MR. MACH: Mr. Selbka.

ACTING CHAIR SELBKA: Here.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Here.

ACTING CHAIR SELBKA: Okay, with that, I think we will do a Pledge of Allegiance. So, if we all could stand?

(Pledge of Allegiance recited.)

ACTING CHAIR SELBKA: Next, we will move to approve the minutes from the previous month's meeting. Did everybody have a chance to review the minutes? If so, can I have a motion?

COMMISSIONER LANAGHAN: Move to approve the minutes as presented.

ACTING CHAIR SELBKA: Okay, second?

COMMISSIONER O'CONNOR: Second.

ACTING CHAIR SELBKA: All right, all in favor?

(Chorus of ayes.)

ACTING CHAIR SELBKA: All opposed?

(No response.)

ACTING CHAIR SELBKA: Hearing no nays, the motion carries.

Derek, there's something called Reports, we have no reports, correct?

MR. MACH: No reports this evening.

ACTING CHAIR SELBKA: Okay, and no Old Business?

MR. MACH: Correct.

ACTING CHAIR SELBKA: So, let's move on to New Business.

Okay, for those of you who don't know, we're all volunteers and there are seven of us ordinarily on this Zoning Board. But to have a quorum, there has to be four of us present. We also have double the number of petitions today than we usually do for a given month, and one of our members has to leave at 8:15 in order to catch a flight overseas. So, we are not going to, we may not be able to hit all of the petitions today. We're probably going to not get to them and we'll have to continue them over to next month because we won't have a quorum when one of our members has to leave.

What I'd like to do, therefore, is move one of the more difficult

petitions, Petition A, #24-007, to the end of the call. Actually, you know what --

COMMISSIONER LANAGHAN: I want to ask them, you know, since they need a unanimous thing.

ACTING CHAIR SELBKA: Yes, right.

COMMISSIONER LANAGHAN: Does anybody want to maybe volunteer to this?

ACTING CHAIR SELBKA: Right, so that's another thing. When less than six members, you need to get a majority no matter what, so you need to get four votes no matter what. If you continue, you'll have a four-in-seven chance. This time, if you move forward with the variation hearing tonight, you'll need to bat a thousand. All of us will have to agree to the variance.

So, with that being said, do any of the petitioners want to move their petition to next month when more of the other members are likely to be present?

(No response.)

ACTING CHAIR SELBKA: No? Okay. All right, well, one of the petitions looks to be kind of difficult, 124 South Vail, so we're going to move that one to the end if the rest of the Commissioners agree.

Could I have a motion to do that?

COMMISSIONER LANAGHAN: Move to move Petition A to the last slot tonight.

COMMISSIONER PORTERA: Second.

ACTING CHAIR SELBKA: All right, all in favor?

(Chorus of ayes.)

ACTING CHAIR SELBKA: All opposed?

(No response.)

ACTING CHAIR SELBKA: Okay, hearing no nays, we will move forward. I'm going to give you an outline as to the procedures for each of your zoning petitions. We talked about the quorum. You need to get four approvals here today, so if any Commissioner votes no, your variance will fail and you will not be able to apply again for a year.

It is your responsibility to explain and establish the four elements of the variance:

1. That the proposed use will not alter the essential character of the locality and will be compatible with the existing uses and zoning of nearby property;
2. That the plight of the owner is due to unique circumstances;
3. That the proposed variation is in harmony with the spirit and intent of the Zoning Code; and
4. That the variation requested is the minimum variation necessary to allow reasonable use of the property.

I will open the agenda item for each of the variations, and someone from the Village will provide a summary of the presentation. Then you will present your variance to us, at which point we can ask you some questions or we will ask for comments from the, if there's anybody in opposition to a variance, or if there's anybody who wants to speak in favor of the variance from the public at large.

After public comment, we will close the variance for Board deliberation, and the Board will give their impression and any type of information that they

want regarding whether they are in favor or opposed to the variance. Then there will be a vote on whether to grant or deny the variance after Board deliberation. After that, whether your variance is denied or granted, you can leave. You do not have to stay for the whole meeting.

So, with that, I'd like to 917 East Olive Street, ZBA #24-008.
Derek?

MR. LINDSAY: Good evening. My name is Tom Lindsay, architect. Thank you.

MRS. ORLANDINO: Nicolette Orlandino.

MR. ORLANDINO: Kevin Orlandino.

MR. LINDSAY: Owners.

ACTING CHAIR SELBKA: Are you all going to testify?

MR. LINDSAY: Yes.

ACTING CHAIR SELBKA: Okay, would you please raise your right hand?
(Witnesses sworn.)

ACTING CHAIR SELBKA: Okay, with that, Derek, could you give us the Staff report.

MR. MACH: Thank you, Chairman.

The Petitioner is proposing to construct a second story addition to the existing single-story home. The proposed addition is encroaching into the required side yard setback.

Therefore, they're requesting a 2.3-foot variation from Chapter 28, Section 5.1-3.3b to allow a second story addition with a side yard setback of 2.7 feet instead of the required five feet and an additional one foot for the eave, as well as a 0.8-foot variation from Chapter 28, Section 5.1-3.3b to allow a two-story addition in the rear of the home with a side yard setback of 4.2 feet instead of the required five feet and an additional one foot for the eave.

Thank you, Chairman.

ACTING CHAIR SELBKA: Okay, please go ahead with the petition.

MR. LINDSAY: I could actually just open it up for questions if that's okay. It might speed things up for you guys.

ACTING CHAIR SELBKA: Well, why don't you just go through your petition quickly?

MR. LINDSAY: Okay. All right, if you look at the existing first floor plan, there is a staircase that created some issues here. What we're trying to do here with this revamp of the first floor is to get the active spaces: kitchen, breakfast area, family room or new family room to the backyard. We're building straight up on the second floor over the existing which is the 2.3, and we've moved the addition in the back over more than a foot so that it's only encroaching about nine inches or so into the side yard.

The reason why we didn't take that last nine inches, if you look on the first-floor plan, we're trying to keep some connection between the kitchen and breakfast area with the outside in the backyard. The stairs have presented problems with, there are some structural things, and this is what we came up with in order to be able to do as much as we can.

COMMISSIONER LANAGHAN: Unfortunately, we don't have the floor plan, so we'd have to take your word for it.

MR. MACH: We don't have it on the website.
 MR. LINDSAY: What?
 MR. MACH: Do you have a copy you can share?
 MR. LINDSAY: Yes, yes.
 MR. MACH: Thank you.
 MR. LINDSAY: I only have one copy though.
 COMMISSIONER LANAGHAN: Could we keep that and put it into the record if need be?
 MR. MACH: I actually have it.
 COMMISSIONER LANAGHAN: You have one, okay.
 MR. MACH: Yes.
 MR. LINDSAY: That's the proposed and that's the existing first floor.
 COMMISSIONER LANAGHAN: Got you.
 MR. LINDSAY: Well, you've got the elevations.
 COMMISSIONER LANAGHAN: Yes, we have the elevations.
 MR. LINDSAY: The second floor if you wanted them.
 ACTING CHAIR SELBKA: And have you spoken to your neighbors about this request for a variance? The homeowners, yes.
 MRS. ORLANDINO: Yes. The homeowner on the side where the variance would be, yes, I've spoken with them. They know it's coming.
 ACTING CHAIR SELBKA: Is there any other neighbor who has expressed an opinion on this matter?
 MRS. ORLANDINO: No.
 COMMISSIONER LANAGHAN: And how many people are in the house currently?
 MRS. ORLANDINO: Currently, it's just the two of us.
 COMMISSIONER LANAGHAN: And how long have you been there ballpark?
 MRS. ORLANDINO: It's about 10 years.
 COMMISSIONER LANAGHAN: Nice.
 ACTING CHAIR SELBKA: And the lot already is, the home is already non-conforming?
 MR. LINDSAY: Correct, correct. Severely. I'm not sure how that happened, but maybe it was at the adjacent corner sold off, I don't know.
 ACTING CHAIR SELBKA: And so, there would be no way to build this lot without a variance, or --
 MR. LINDSAY: Correct.
 ACTING CHAIR SELBKA: -- to remodel.
 MR. LINDSAY: To build a second floor unless you do something goofy like pull it in three feet or something.
 ACTING CHAIR SELBKA: Right, right, okay.
 COMMISSIONER LANAGHAN: You need --
 ACTING CHAIR SELBKA: Most likely, yes.
 COMMISSIONER O'CONNOR: My only question was, well, I know you've explained it a little bit, but why you still have to hang over 0.9 inches on the new addition in the back.

MR. LINDSAY: So, if you take a look at the proposed plan --

COMMISSIONER O'CONNOR: Yes.

MR. LINDSAY: -- you see that we're trying to keep an open shout-out to this deck to the backyard which, if you look at the existing plan, currently it's a dining room and a bedroom to the back and there's almost no relation. The kitchen is behind a stair, and the whole point of this is to try and keep this open to the backyard. That's just a six-foot door with some room for stuff on each side, and that's what we're trying to do.

COMMISSIONER O'CONNOR: Okay, so it's the sliding door there that's kind of pushing everything over just a little bit?

MR. LINDSAY: Yes, yes. Yes.

COMMISSIONER O'CONNOR: I got you, okay. So, you tried, but that's the best you can come up with, I got it, okay.

MR. LINDSAY: And, actually, we're rebuilding that stair down to the basement which is, the one right now is a question of duck or not duck and its winders. To put in a code-compliant stair, it actually comes a little bit further into that kitchen area.

COMMISSIONER O'CONNOR: Okay, thank you. Understood.

ACTING CHAIR SELBKA: Anyone else have any questions?

(No response.)

ACTING CHAIR SELBKA: Okay, at this time, I will close it down. You can sit down if you like.

Does anyone have any comment about this variance or proposed variance from the public?

MR. LINDSAY: So, you're -- I'm sorry, you're going to keep those in just for now?

COMMISSIONER LANAGHAN: Yes, we need to keep them.

ACTING CHAIR SELBKA: Well, Derek's got them so you can keep them.

COMMISSIONER LANAGHAN: Oh, okay.

ACTING CHAIR SELBKA: Thank you.

MR. LINDSAY: Oh, all right.

ACTING CHAIR SELBKA: Okay, does anyone from the public have any comments about the variance?

(No response.)

ACTING CHAIR SELBKA: All right, hearing none, we will close it down for Board deliberation.

What does everybody think?

COMMISSIONER O'CONNOR: I'm good, because I think the only question is really around that back addition. I understand why they have to --

ACTING CHAIR SELBKA: Yes, and it's a non-conforming lot so that's a hardship in and of itself --

COMMISSIONER LANAGHAN: Absolutely.

ACTING CHAIR SELBKA: -- and I'm in favor. All right, all being in favor, I'm going to close down Board deliberation.

Could I have a motion?

COMMISSIONER O'CONNOR: Motion to approve.

COMMISSIONER LANAGHAN: Second.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. MACH: Acting Chairman Selbka.

ACTING CHAIR SELBKA: Yes.

Thank you, your variance is granted. You don't have to stay if you don't want to.

MR. LINDSAY: Thank you.

MR. ORLANDINO: Thank you.

ACTING CHAIR SELBKA: Thank you for keeping the matter brief.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:12 p.m.)



**Zoning Board of Appeals
5/13/2024**

Item: 1114 N. Race Ave. - 4/8/24

Department: Planning & Community Development Department

ATTACHMENTS:

Description	Type
1114 N Race Ave - Minutes 4/8/24	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 1114 NORTH RACE AVENUE - ZBA #24-009

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 8th day of April, 2024 at the hour of
7:12 p.m.

MEMBERS PRESENT:

JOSEPH SELBKA, Acting Chairperson
JEFFREY LANAGHAN
FRANK PORTERA
MICHAEL O'CONNOR

ALSO PRESENT:

DEREK MACH, Development Planner
DAN OSOBA, Planner I

ACTING CHAIR SELBKA: Now, we will call Petition C, 1114 North Race Avenue, ZBA #24-009.

Would the Petitioners please step forward?

MR. VALENZANO: Oh, are we on? My name is Francesco Valenzano, and my mom is here, Francesca Valenzano. We're the owners --

ACTING CHAIR SELBKA: Now, will you all be testifying?

MR. VALENZANO: Just me. So, I don't know if you want them up here?

ACTING CHAIR SELBKA: No, they could stay just for moral support.

MR. VALENZANO: Thank you.

ACTING CHAIR SELBKA: All right, please raise your right hand.

MR. VALENZANO: Yes.

(Witness sworn.)

ACTING CHAIR SELBKA: Okay, one moment, please. Mr. Mach, please make the presentation.

MR. MACH: Thank you, Chairman.

The Petitioner is proposing a complete renovation and addition to the existing single-story residence with no garage to create a new expanded single-story house with an attached two-car garage. The project requires review by the Zoning Board of Appeals for the following variations:

- A 3.3-foot variation from Chapter 28, Section 5.1-3.3b to allow an addition with a side yard setback along the south property line of 4.8 feet instead of the required 8.1 feet and an additional one foot for the eave;
- A 2.6-foot variation from Chapter 28, Section 5.1-3.3b to allow an addition with a side yard setback along the north property line of 5.5 feet instead of the required 8.1 feet and an additional one foot for the eave;
- A 250 square-foot variation from Chapter 28, Section 5.1-3.5 to allow building lot coverage of 3,415 square feet where 3,166 square feet is the maximum allowed per code; and
- A 4.4-foot variation from Chapter 28, Section 10.2-11.1 to allow a driveway that is 26.4 feet wide where the maximum width allowed is 22 feet.

Thank you.

ACTING CHAIR SELBKA: Okay, please make your presentation.

MR. VALENZANO: Thank you, sir. First of all, I want to thank everybody here for your time. I'll go ahead and start in order with the first variance which is the driveway with the width of 26.4 feet.

Really, the reason why we stuck with that is because that's the existing width of the driveway. So, while we are going to create a grass pathway to divide the two properties so that our driveway isn't right up to the neighbor's fence, we did want to retain this width of the driveway just in case, you know. We can park two cars there and open the doors comfortably and not really having, kind of not really being a tight space. Also, it seems to fit the scale of the home since it is a little bit wide and since we're not going as tall as some other two stories might be since we're going to have a one-story.

In terms of the two variances for 5.1-3.3b and 5.1-3.3b for the existing two corners, that's the existing property, so we're going to keep the structure of the property within the same dimensions. Then when we're building that, that will be within the setbacks. The reason why we're requesting that is because, you know, it would be a lot

easier to keep the existing foundation and not have to make any major foundational changes and any structural changes while changing that.

Then that also leads to the eave height as well. Since we are planning on, or hoping to do higher ceilings in the home, nine-foot ceilings, and with the approval of Design Commission which we already have, it requires us to raise the eave of the roof. Then with that being said, it requires us to keep that same roofline going into the backyard, which is where you see the setback might not be as far as it should be.

Then that leads to the last one, Section 5.1-3.5 with the maximum lot coverage, essentially in the backyard, for two purposes. One, we have a covered patio just to kind of make it a little bit more open space within the home. Then, two, it keeps the roofline in the back uniform, so just for ease of construction and for our roof plan so that we can make them a much more cohesive space and a little bit easier on the construction side.

So, I'm absolutely open to any questions. This is my first time doing this.

ACTING CHAIR SELBKA: Did you speak to any of your neighbors?

MR. VALENZANO: I did. We've introduced ourselves to the neighbors. We kind of let them know what the plan is. We haven't met the neighbors to the right of us because that home is brand new and I don't know when they're moving in, but it's a beautiful house, but we did speak to the neighbors to the left of us. We sent out the letters and everything, so we're open to hear what your --

ACTING CHAIR SELBKA: Have you heard any objection from any of the neighbors?

MR. VALENZANO: No.

ACTING CHAIR SELBKA: Does anyone else have any questions?

COMMISSIONER LANAGHAN: So, you have new houses on both sides of you it looks like from the photos; is that correct?

MR. VALENZANO: Yes.

COMMISSIONER LANAGHAN: Yes, okay. And you're staying in a single-story where they're looking at two-stories?

MR. VALENZANO: Correct, and the main goal with the single-story is, since this is primarily going to be my mom's home, while she looks amazing for her age, she's super young, the goal is for us to be able to stay here until, you know, she retires, and then hopefully one day it becomes my house. So, we don't want to be switching between a two-story home and a one-story with the stair. We just want to keep it one-story and keep it kind of a forever home.

COMMISSIONER LANAGHAN: Got you, and how many people live there or will live there?

MR. VALENZANO: It will be me, my mom, and my younger brother.

COMMISSIONER LANAGHAN: Got you. Thank you.

MR. VALENZANO: Of course.

ACTING CHAIR SELBKA: Anything else?

COMMISSIONER LANAGHAN: No.

ACTING CHAIR SELBKA: All right, if you could just step to the side?

COMMISSIONER LANAGHAN: Let me ask one more question before you sit down.

MR. VALENZANO: Yes, of course.

COMMISSIONER LANAGHAN: So, personally, I'm pretty good, and I haven't talked to the other Commissioners up here, I'm pretty good with the three variances. The 26-foot drive gives me some heartburn because that's a pretty, that's an expansion. I understand it's what you have currently. I would kind of argue it doesn't necessarily match the house especially considering you're expanding it beyond the driveway doors.

So, you know, would you have to keep that or is that something you're --

MR. VALENZANO: It's not something we're set on, you know, and to be completely honest, if that's the thing that makes the variances kind of go through, then we're more than happy to discuss what would be appropriate, but it's not something that we're heart-set on.

COMMISSIONER LANAGHAN: All right, thank you.

MR. VALENZANO: Of course.

ACTING CHAIR SELBKA: And if you could sit down for one moment?

MR. VALENZANO: Of course. We'll head right back here.

ACTING CHAIR SELBKA: Okay, is there anyone from the public who wants to comment on this proposed variation?

Go ahead.

MR. RIES: Hi, good evening. Jason Ries, I live at 1108 North Chicago Avenue, which is the home just to the south.

I have two primary concerns with this as I've seen, I haven't had any discussions with, you know, other than what I've just seen in the plans, but one is a practical engineering design problem. I know the Engineering review comments said that the drainage is something that would have to be taken into consideration and designed. I understand that; I'm an engineer myself, but my home is downhill from this property. There's another new construction right uphill from this as well, as you mentioned.

Our home's sump system is relatively strained. That's not an uncommon problem in Arlington Heights, but for a renovation that maintains the footprint and the width that's there, a wider driveway than is being suggested, then is there a larger roof area than the lot can hold? The practicality of doing proper design on a lot, on a relatively small lot with a big home gives me some concerns with, not necessarily the ability to engineer it and design it on paper, but the practicality of that and what that risk is to my home that's just downhill from it. That's the first one.

The second is just, I guess just a problem I guess presenting the look and feel. This neighborhood obviously has been in this stage of transition for a couple of decades. Since I've lived in the neighborhood the last five years, there's probably been about 10 lots of older, smaller one-story ranch homes similar to this one within about 500 feet that have sold, including this one here. Each one of those have been tear-downs and have created the look and feel of the neighborhood with new construction.

I guess I look at the plans, and having a very wide, as this existing footprint was, a very wide home with over 20-foot peak roof height, very little clearance on either side, and a driveway wider than is otherwise allowed just feels like it's going to create a look and feel that's very inconsistent with the rest of the neighborhood.

ACTING CHAIR SELBKA: Now, just to be clear, from my reading of this

petition, the footprint is going to stay the same, correct, of the house?

MR. RIES: With adding I think 1,600 square-foot to the back or something like that. I think it's more than doubling the footprint of the home.

COMMISSIONER LANAGHAN: So, the house in front stays, they're adding an addition to the back which meets, you know, the setback requirements. So, the existing one is the existing non-conforming.

ACTING CHAIR SELBKA: Oh, okay.

COMMISSIONER LANAGHAN: That they're keeping, and then they're adding some extra space.

MR. RIES: Yes, so the setback distances in and of themselves didn't necessarily cause us a great deal of concern, because the home has the setback distance problems as it is. It's that when those setback distances remain the same and the house goes up significantly higher and goes back, I think the look and feel from the curb is going to look a lot different than what it does today obviously.

COMMISSIONER LANAGHAN: As opposed to the two stories which would be taller and what have you adjacent to it.

MR. RIES: Yes. Yes, exactly.

COMMISSIONER LANAGHAN: Thank you.

MR. RIES: No, thank you.

ACTING CHAIR SELBKA: Any other comments?

MR. JOHNSTONE: Yes. My name is Bill Johnstone, and I'm glad that Jason went first because I think he's got some excellent points.

I've lived in the neighborhood with my wife and my kids for 16 years, settled in Arlington Heights in 1968. The concerns that Jason raised I believe are spot on.

Flooding has become a bear of concern in the 16 years we've lived there. Admittedly, I live in one of those new constructions, well, it was new back in '06, but with each successive home that went from a slab/no basement/one-story to a two-story/basement, seemingly the flooding has increased, okay.

So, when I saw this proposal that basically made the footprint larger, you know, my first thought is it's a house that's too big for that lot. If they had plans to do such things, then they could have bought a lot that would allow for that. So, I think, I don't know if it's poor planning, I don't know, I don't want to speak to what went into that, but it seems to me that we shouldn't make another error based on another error.

So, I think the look and feel that Jason mentioned is a legitimate point. That's, you know, this is what you guys do so you can certainly be the judges of that, but this does seem to potentially be out of step with the other elements that are happening. So, those are my thoughts.

ACTING CHAIR SELBKA: All right.

MR. JOHNSTONE: Thank you.

ACTING CHAIR SELBKA: Does anyone else have a comment?

Sure.

MR. DORTY: My name is Tim Dorthy; I live at 1207 Race. I don't have any direct issues with this development, but probably just reiterating the issues with rainwater runoff. It seems to be just a disregard for handling that in Arlington Heights as we tear down smaller homes and build bigger homes.

They did it right next door at 1201. I reviewed the plans, talked to the

people, they were making the person next to me put in a drain in their backyard that would be pumped, connected to the street drain, which was a nice thought. I talked to whoever the engineer was at the time reviewing that, and I said, you know, that's great, but the water doesn't go to the back of the yard, it goes between the two yards, that's where all the water flows. That was disregarded. They put the drain in the back. All the water flows in between the houses, puddles, sits there.

So, there just seems to be a lack of willingness to address it on the permitting side of an issue that is probably happening in multiple neighborhoods. I'd probably just voice an opinion and say, hey, it's better to be proactive than reactive. It's better to take care of these things ahead of time rather than having people complain about their streets flooding. So, it should be addressed probably across the board.

ACTING CHAIR SELBKA: All right, thank you.

Any other comments?

MRS. JOHNSTONE: I have a question.

ACTING CHAIR SELBKA: Sure.

MRS. JOHNSTONE: I'm Karen Johnstone, my husband Bill just spoke. I agree with everything that was said.

I have a question about the notice for the neighbors. What's commonly required or requested of the person asking for the variance?

ACTING CHAIR SELBKA: Notice should be mailed to all of the neighbors within a given area. There's also a sign that's put in front of the property, alerting the people in the area about the proposed variation.

MRS. JOHNSTONE: Okay, that's what I kind of thought. There is no sign in front. There is another property on Wilke, just right around the corner from this house, that house does have a sign for today's meeting date. This house hasn't had that sign. We got the letter, and I checked with six other neighbors, they did not get the letter. So, they didn't have an opportunity, until I contacted them today, to say what's going on.

ACTING CHAIR SELBKA: Derek, they have to post the sign?

MR. MACH: They do have to post the sign. We did receive an affidavit stating that they posted the sign and completed the notification requirements.

MRS. JOHNSTONE: I have a picture, but not that it matters. I'm just saying it's not there.

MR. MACH: Okay, sure, sure. I think this petition could be continued to ensure that notification is --

ACTING CHAIR SELBKA: Yes. Although one of the issues I've got is that, and this is a question for you, Engineering noted that the addition which could clearly cause all this possible flooding is in compliance. They can do the addition without a variance. The variance applies to the existing non-conforming lot; is that correct?

MR. MACH: Right. It applies to the, yes, the existing non-conforming footprint, because they're expanding the height, they're increasing the non-conforming situation. Therefore, they need the variances to the north and the south for that side yard setback for where the existing home is.

It is exceeding building lot coverage by 250 square feet. It is meeting overall impervious surface coverage which is 50 percent but, however, building lot coverage max allowed is 35 percent being a one-story home which is contributing to that increase, as well as the proposed driveway.

ACTING CHAIR SELBKA: Right.

Could the Petitioner come up for a sec?

MR. VALENZANO: Absolutely.

ACTING CHAIR SELBKA: Did you post the sign?

MR. VALENZANO: Yes.

ACTING CHAIR SELBKA: So, there should be a sign that's supposed to be in front of the house.

MR. VALENZANO: Yes, we had both of them, for Design Commission and for this meeting today --

ACTING CHAIR SELBKA: Okay.

MR. VALENZANO: -- and I believe we also sent the picture of the sign as well when it was posted.

ACTING CHAIR SELBKA: Was it just taken down or do you know?

MR. VALENZANO: I haven't been to the property so I wouldn't know.

ACTING CHAIR SELBKA: Okay, you haven't been to the property today or when were you last there?

MR. VALENZANO: The last I was at the property was when I posted the signs I believe, but I have not taken down any of the zoning signs or anything like that --

ACTING CHAIR SELBKA: Okay.

MR. VALENZANO: -- and the letters also have been mailed out. I have, I can pull the receipt from when we went to the UPS. They have those stamped and mailed.

COMMISSIONER LANAGHAN: And, Derek, 250-foot is the dimension around the lot?

MR. MACH: Correct.

COMMISSIONER LANAGHAN: So, the neighbors within 250 feet of the lot are supposed to be notified. If your neighbors are outside of that, they wouldn't be. It's just the way the zoning is set up for variance --

MR. VALENZANO: I also believe we sent the list of addresses to whom we mailed the letters as well.

ACTING CHAIR SELBKA: All right, that was the only question I had for the Petitioner.

Follow-up questions, does anyone have any follow-up question?

COMMISSIONER LANAGHAN: No. I mean, again, the two things that are kind of speaking to me here, I recognize the existing house has existing non-conforming attributes. Tearing down that portion of the house makes no sense to me. The expansion is creating an addition 250 square-foot above and beyond the maximum impervious area, or maximum lot coverage, excuse me. So, that has a concern for me, as does the drive as I already mentioned.

MR. VALENZANO: Absolutely.

COMMISSIONER LANAGHAN: So, those are kind of the two that I have some issue with personally.

MR. VALENZANO: And I did also want to add, so, thank you for everyone's comments for the property and we'd be more than willing to discuss any additional engineering assurances essentially that would show that we're wanting to make sure we're not causing problems to anybody else because, I mean, if they're flooding, that means

we're flooding. So, we don't want to create floods for ourselves either.

ACTING CHAIR SELBKA: Would you agree to a continuance of this to talk this out with your neighbors? Ordinarily, I wouldn't do that, but given the situation we're in here since we have a really short time, would you be open to that?

MR. VALENZANO: Yes, of course. I mean, really we're just, the main goal is to get it resolved and make sure everybody is kind of on the same page. So, if that's what we have to do, then absolutely.

ACTING CHAIR SELBKA: Is anybody open for a continuance to next month?

(Commissioners express agreement.)

ACTING CHAIR SELBKA: Is there a motion to continue?

MR. MACH: If you could please make it date specific. The next meeting would be May 13th; therefore, the Petitioner would not be required to resend the letters. We'd ask that they update the sign on the property to the May 13th date.

MR. VALENZANO: We'll just get a new one, yes, if it's not there now.

ACTING CHAIR SELBKA: Okay, then why don't we do that?

COMMISSIONER LANAGHAN: So, I move that we continue this to the May 13th ZBA meeting.

ACTING CHAIR SELBKA: Second?

COMMISSIONER O'CONNOR: Second.

ACTING CHAIR SELBKA: All in favor?

(Chorus of ayes.)

ACTING CHAIR SELBKA: Opposed?

(No response.)

ACTING CHAIR SELBKA: Hearing no nays, this matter is continued to May 13th.

MR. VALENZANO: Thank you.

ACTING CHAIR SELBKA: For those of you who are objecting, I would ask that you talk with the Petitioner, see if there is some way that you can come to an agreement where they can deal with your concerns. If there is, that would be great. We want our neighbors to get along with each other. So, please do so. If you can't, you're free to come next month and object and have the whole Board make a determination as to whether to grant this variance or not, okay?

MR. VALENZANO: Thank you.

(Whereupon, the public hearing on the above-mentioned petition was continued to the May 13th ZBA meeting at 7:33 p.m.)



Zoning Board of Appeals 5/13/2024

Item: 1227 N. Wilke Rd. - 4/8/24

Department: Planning & Community Development Department

ATTACHMENTS:

Description	Type
1227 N Wilke Rd - Findings 4/8/24	Minutes
1227 N Wilke Rd - Minutes 4/8/24	Minutes

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

APRIL 8, 2024

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 1227 N. Willke Rd. Residence

Applicant: Robert Ramotowski

Zoning Relief Requested:

- A 3.8-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback of 2.8 feet instead of the required 6.6 feet and an additional 1.0 feet for the eave.

Date of Publication: 3/23/24

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Lanaghan, O’Connor, Selbka, Portera

Having heard and considered the testimony and evidence at the public hearing of April 8, 2024, the ZBA makes the following **findings of fact**:

The Petitioner is proposing to reconstruct the attached garage with a six-foot expansion towards the front property line. The attached garage is encroaching into the required side yard setback.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

- X** The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and
- X** The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
- X** The proposed variation is in harmony with the spirit and intent of this Chapter; and

X The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- A 3.8-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback of 2.8 feet instead of the required 6.6 feet and an additional 1.0 feet for the eave.

Reason for Determination:

The petitioner is proposing to reconstruct the existing garage with a six foot expansion towards the front.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

4 ayes 0 nays 3 absent 0 abstain

Date: April 8, 2024

Joseph Selbka, Acting Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALSOF APPEALS

RE: 1227 NORTH WILKE ROAD - ZBA #24-010

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 8th day of April, 2024 at the hour of
7:33 p.m.

MEMBERS PRESENT:

JOSEPH SELBKA, Acting Chairperson
JEFFREY LANAGHAN
FRANK PORTERA
MICHAEL O'CONNOR

ALSO PRESENT:

DEREK MACH, Development Planner
DAN OSOBA, Planner I

ACTING CHAIR SELBKA: Okay, let's call Petition D, 1227 North Wilke, #24-010.

Does somebody, is there a Petitioner available?

MR. RAMOTOWSKI: Yes, I am here.

ACTING CHAIR SELBKA: Okay.

MR. RAMOTOWSKI: Hello, my name is Robert Ramotowski. I am the owner of this property.

ACTING CHAIR SELBKA: You're going to be testifying alone, sir?

MR. RAMOTOWSKI: Yes.

ACTING CHAIR SELBKA: Would you raise your right hand?

(Witness sworn.)

ACTING CHAIR SELBKA: Okay, please, Derek, would you?

MR. MACH: Thank you, Chairman.

The Petitioner is proposing to reconstruct the attached garage with a six-foot expansion towards the front property line. The attached garage is encroaching into the required side yard setback.

Therefore, they're requesting a 3.8-foot variation from Chapter 28, Section 5.1-3.3b to allow an addition with a side yard setback of 2.8 feet instead of the required 6.6 feet and an additional one foot for the eave.

Thank you, Chairman.

ACTING CHAIR SELBKA: Okay, please present your petition.

MR. RAMOTOWSKI: So, this garage is already non-conforming and I want to add like a second floor to my existing house. To do this, I will now rebuild the garage because it doesn't have any foundation now. It's only a ceiling, just on a slab. It's how them built them in the 50's. I'm going to use these walls to base the second floor on it. Also, I want to add like six feet extension on the front of this garage so this will allow me to park two cars in this garage and use the rest of the garage like storage for my tools and other stuff.

This house doesn't have any basement. I'm doing this remodeling; I want to keep most of the portion like bathroom and other stuff. So, I literally cannot move this, there is like no room to move this garage, move over and create even for one single garage. There is no room for stairs or there's other small or big issue like construction issue. That's the way how the house was built is just this garage has to be rebuilt in exactly the same spot to keep full functionality of this house.

ACTING CHAIR SELBKA: Have you spoken to your neighbors about this?

MR. RAMOTOWSKI: Yes, I spoke with my neighbors, with Fred who is the neighbor on this side. He kind of wanted to do the same in the close future. He's also already close to the line. This is how it was built in those years, yes. He didn't have any objections. He also said if I need him to like come and testify, he would welcome to come and say it.

ACTING CHAIR SELBKA: Does anybody else have questions?

COMMISSIONER LANAGHAN: Just a couple of quick ones. How long have you been in the house approximately?

MR. RAMOTOWSKI: I've lived eight years in this house; in Arlington Heights, I'm 17 years.

COMMISSIONER LANAGHAN: Excellent, thank you. The other question I had, the Engineering, I think it's the Engineering Department, had a couple of comments about the project.

MR. RAMOTOWSKI: Yes, I saw those.

COMMISSIONER LANAGHAN: Yes, you've seen those and you're aware of what they said?

MR. RAMOTOWSKI: Yes, the fire rate, and also my architect saw this. I don't know if it's on the screen, but he also, he said you want fire rated one-hour resistant fire wall with all the materials that's supposed to be used to make, hold fire.

COMMISSIONER LANAGHAN: Excellent. So, you're aware of it.

MR. RAMOTOWSKI: Yes, I am aware of it.

COMMISSIONER LANAGHAN: And you're willing to do that.

MR. RAMOTOWSKI: Yes.

COMMISSIONER LANAGHAN: Very good. Last question I had, how many people in the house?

MR. RAMOTOWSKI: So far, it's four people, family. My son is in college, but we're going to take care about my mom probably next year and she's going to live with us. So, it's going to be five people in the house. This is kind of why we need to do this, want to do this, to expand this house.

COMMISSIONER LANAGHAN: Got you.

MR. RAMOTOWSKI: It's just a little house with small bedrooms, and this will kind of fix it.

COMMISSIONER LANAGHAN: No further questions here.

ACTING CHAIR SELBKA: Same there? Okay, if you could have a seat for a moment, sir?

MR. RAMOTOWSKI: Okay, thank you.

ACTING CHAIR SELBKA: Does anybody from the public wish to comment on this proposed variance?

(No response.)

ACTING CHAIR SELBKA: Hearing none, I close the matter down for Board deliberation.

What do you say, gentlemen? It seems fairly straight-forward. I don't see any objection to it.

COMMISSIONER PORTERA: Yes, no neighbor opposition, especially to the one most affected. Non-conformance already.

ACTING CHAIR SELBKA: Okay, with that, I will close down Board deliberation.

Do I have a motion?

COMMISSIONER PORTERA: I move to approve this variance as presented.

ACTING CHAIR SELBKA: Okay, second?

COMMISSIONER O'CONNOR: Second.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. MACH: Acting Chair Selbka.

ACTING CHAIR SELBKA: Yes.

All right, your variance is granted. Thank you.

MR. RAMOTOWSKI: Thank you very much.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:38 p.m.)



Zoning Board of Appeals 5/13/2024

Item: 446 S. Arlington Heights Rd. - 4/8/24

Department: Planning & Community Development Department

ATTACHMENTS:

Description	Type
446 S Arlington Heights Rd - Findings 4/8/24	Minutes
446 S Arlington Heights Rd - Minutes 4/8/24	Minutes

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

APRIL 8, 2024

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 446 S. Arlington Heights Rd. Residence

Applicant: Jason Wilhelm

Zoning Relief Requested:

- A fence variance from Chapter 28, Section 6.13-3(b)(2) (Location of Fences, Corner Lot) & Section 6.13-3(c)(1) to allow a 6-foot privacy fence to be constructed 1-foot from the property line instead of the required 5-feet; and
- A fence variance from Chapter 28, Section 6.13-3(b)(3) (Location of Fences, Visibility) to allow a 6-foot privacy fence to be constructed 6-feet from the intersection of E Park St and the driveway on 446 S Arlington Heights Rd instead of the required 12-feet.

Date of Publication: 3/23/24

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Lanaghan, O’Connor, Selbka, Portera

Having heard and considered the testimony and evidence at the public hearing of April 8, 2024, the ZBA makes the following **findings of fact**:

The Petitioner is proposing to construct a 6-foot privacy fence 1-foot from the corner side yard and is proposing to construct a 6-foot privacy fence 6-feet from the intersection of E Park Street and the driveway on the subject property. Therefore, the proposed 6-foot privacy fence is encroaching into the required 5-foot corner side yard setback and encroaching into the required 12-foot visibility setback from the intersection of E Park Street and the driveway on the subject property.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

- X The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and
- X The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
- X The proposed variation is in harmony with the spirit and intent of this Chapter; and
- X The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- A fence variance from Chapter 28, Section 6.13-3(b)(2) (Location of Fences, Corner Lot) & Section 6.13-3(c)(1) to allow a 6-foot privacy fence to be constructed 1-foot from the property line instead of the required 5-feet; and
- A fence variance from Chapter 28, Section 6.13-3(b)(3) (Location of Fences, Visibility) to allow a 6-foot privacy fence to be constructed 9-feet from the intersection of E Park St and the driveway on 446 S Arlington Heights Rd instead of the required 12-feet.

Reason for Determination:

The Zoning Board discussed the reasonable use of the rear yard of the property and the distance the fence would be from the roadway, which is approximately 15-feet. Additionally, the Zoning Board commented on the existing visibility of the trees adjacent to the driveway, which is worse than the proposed fence visibility. The Zoning Board deliberated on these reasons and decided that 9-feet would provide the property owner with reasonable use of their property while still allowing room for visibility along the driveway and improve the current condition.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

4 ayes 0 nays 3 absent 0 abstain

Date: April 8, 2024

Joseph Selbka, Acting Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 446 SOUTH ARLINGTON HEIGHTS ROAD - ZBA #24-011

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 8th day of April, 2024 at the hour of
7:38 p.m.

MEMBERS PRESENT:

JOSEPH SELBKA, Acting Chairperson
JEFFREY LANAGHAN
FRANK PORTERA
MICHAEL O'CONNOR

ALSO PRESENT:

DEREK MACH, Development Planner
DAN OSOBA, Planner I

ACTING CHAIR SELBKA: All right, with that, we're going to go to 446 South Arlington Heights Road.

Petitioner, can you step up please?

MR. WILHELM: Hello.

ACTING CHAIR SELBKA: Your name?

MR. WILHELM: My name is Jason Wilhelm. This is my wife Samantha Wilhelm.

ACTING CHAIR SELBKA: Are you going to both be testifying?

MRS. WILHELM: No, I'm here for moral support.

MR. WILHELM: Yes, so just me.

(Witness sworn.)

ACTING CHAIR SELBKA: Okay, Derek, would you please do the -- oh, yes, sorry.

MR. MACH: It would be Dan.

MR. OSOBA: Not a problem.

ACTING CHAIR SELBKA: Okay, you've got a pinch hitter.

MR. MACH: Yes.

MR. OSOBA: The Petitioner is proposing a new six-foot tall privacy fence along the southern property line which is adjacent to the East Park Street right-of-way. The proposed privacy fence is located one foot from the property's perimeter. Additionally, the Petitioner is proposing to continue this fence north along the driveway to the garage to enclose the lot. This proposed privacy fence is at the intersection of East Park Street right-of-way and the driveway setback is set at six feet as proposed.

Therefore, the following requests are: a fence variation from Chapter 28, Section 6.13-3(b)(2) and Section 6.13-3(c)(1) to allow a six-foot privacy fence to be constructed one foot from the property line instead of the required five feet; and a fence variation from Chapter 28, Section 6.13-3(b)(3) to allow a six-foot privacy fence to be constructed six feet from the intersection of East Park Street and the driveway on 446 South Arlington Heights Road instead of the required 12 feet.

Staff has concerns regarding the variance request to reduce the visibility setback from 12 feet to six feet to perpetuate a non-compliant condition due to the reduced visibility and safety concerns.

Thank you.

MR. WILHELM: So, the first part, we don't currently have any security around our house. Everything is open, and those trees were there when we bought the house. They weren't maintained very well by the previous owner, so they're very large and overtaking the sidewalk and part of our driveway, and we don't have much of a backyard.

The main purpose is to add security and safety and privacy for my family since we live on a busy street and a busy intersection. So, it's about 15 feet from the side of my house to the sidewalk, so if I lose five feet of that, the cost of installing a privacy fence is not cheap these days, so the one foot, if I have to lose five feet of that space, it's not going to be worth it for me to install the fence. That's the most important.

Secondly is the angle. My driveway is only about 18 feet, so the 12 feet is taking up two-thirds up my driveway. So, I'm just hoping that you guys might be

able to compromise a little bit, instead of having it be 12 feet, to have it be six feet where the angle is, because again, I'll be losing quite a bit of the inside area of my yard at 12 feet.

So, again, the whole purpose is to add safety and security for my family.

MRS. WILHELM: And the community.

MR. WILHELM: And the community. Right now, there is zero visibility, so what I'm proposing is adding visibility and it's going to, you know, add property value and it's going to look better and add privacy and security.

ACTING CHAIR SELBKA: You're saying because of the trees, there's zero visibility?

MR. WILHELM: There's zero visibility.

MRS. WILHELM: Yes, they're very fat near the bottom.

MR. WILHELM: Yes.

COMMISSIONER O'CONNOR: And so, you're saying you're going to remove the trees?

MR. WILHELM: Trees are going to be removed, yes. So, if you look into, there's a proposed diagram where you can see, essentially this one. So, this is the front of the house. This is where the fence would start, and I want to go within one foot of the property line because it's only about 15 feet, so essentially if five feet it's just not worth it. This is where my driveway, instead of the 12 feet, I'm just asking if we could reduce that to six feet so it would still have this angle for the visibility.

Make sense?

ACTING CHAIR SELBKA: Yes. Yes, it does.

MR. WILHELM: And then it would go all the way around, so then we would have a secure yard, because right now we have our house, we have a deck, and these trees right here. There's really not much of a yard. So, we want --

ACTING CHAIR SELBKA: Is it 12 feet going this way?

MR. WILHELM: Yes, so the ordinance is 12 feet. So, it would start somewhere like here.

ACTING CHAIR SELBKA: Okay.

MR. WILHELM: So, I'm just asking if we can reduce that to six feet. Oh, and those pictures, I was just trying to show you what 12 feet is. It's a lot.

ACTING CHAIR SELBKA: Right.

MR. WILHELM: I think it's a little excessive given the layout.

MRS. WILHELM: Even like somewhere between six and 12, sorry.

MR. OSOBA: If you're going testify, sorry, you'll have to raise your hand.

MR. WILHELM: So, yes, if you have any questions? I've talked to all my neighbors. Everyone is in agreeance with me. They wished me luck here today. So, yes, I'm hoping, you know, we really want to have a secure yard, especially for our pets and our potential future kids. Arlington Heights Road is very busy and we'd like to have a secure area for our pets and family to play safely.

MRS. WILHELM: And there's a school down the street, so there are kids --

MR. WILHELM: Yes, there's kids walking down that street daily.

ACTING CHAIR SELBKA: So, the 12 feet would cut into the existing yard, not into your --

MR. WILHELM: Yes, the 12 feet, it would just, it would take away just some of the yard. So, I'm trying to maximize the space.

COMMISSIONER LANAGHAN: So, it would be something like that.

ACTING CHAIR SELBKA: Yes.

MR. WILHELM: Yes. It's like 72 square feet. Yes, so I'm just trying to maximize our space here.

ACTING CHAIR SELBKA: Right.

MR. WILHELM: I know that might not seem like a lot, but every little bit helps when it's \$15,000 plus to install the fence.

ACTING CHAIR SELBKA: All right, does anybody have, oh, you've spoken to your neighbors?

MR. WILHELM: Yes.

ACTING CHAIR SELBKA: Does anybody have any other questions on this petition?

(No response.)

ACTING CHAIR SELBKA: Okay, if you could sit down for a moment.

Any comments?

(No response.)

ACTING CHAIR SELBKA: Okay, we'll close it down for Board deliberation.

What do you all think? I don't have a problem with the first variance. I understand that Arlington Heights is pretty busy and there is a need for a fence there.

My concern, we take it very seriously when Engineering says there is a safety concern. So, from Planning, so you noted there were some concerns, Dan.

What do you think of this issue?

MR. OSOBA: So, generally speaking for this requirement in particular, we lean on Engineering to set the standard for those setbacks. A lot of them stem from traffic manuals that they implement throughout the city. So, a lot of what generally staff's concern is just stemming from that Engineering comment.

ACTING CHAIR SELBKA: What do you think, guys?

COMMISSIONER LANAGHAN: I mean, I'm reading what Engineering's comment is which is, you know, they have a problem with it being six-foot from the intersection of East Park and the driveway. I don't kind of argue with that personally, but as a homeowner being that there's about a 15-foot right-of-way there, you've got a pretty good vision angle. Now, of course Park can be expanded and then you right in where Engineering's concern is --

ACTING CHAIR SELBKA: Right.

COMMISSIONER LANAGHAN: -- so, you know, I understand their concern.

ACTING CHAIR SELBKA: Right.

COMMISSIONER LANAGHAN: The reality is you are 15 feet off of the road, when you come around the corner, you have six-foot plus the 15 feet to see.

ACTING CHAIR SELBKA: What do you think, Mike?

COMMISSIONER O'CONNOR: I think with the trees the way they are now, that's, you know, if you're a pedestrian walking on the sidewalk --

ACTING CHAIR SELBKA: It's worse.

COMMISSIONER O'CONNOR: -- it's worse than what's they're proposing.

ACTING CHAIR SELBKA: Right.

COMMISSIONER O'CONNOR: So, I agree with you. I think there probably is enough for vehicles, but also this would help with the pedestrian safety as well.

ACTING CHAIR SELBKA: Frank?

COMMISSIONER PORTERA: I think the residents have made a good case for security and safety purposes for their own home. I understand Engineering's comments as far as visibility goes, but I agree with the other Commissioners in that there's enough room to see from the corner to the intersection.

ACTING CHAIR SELBKA: What would you say of nine?

COMMISSIONER LANAGHAN: I think that would be, you know, again, I understand Engineering has got to look at it is as, hey, this right-of-way is actually used some day.

ACTING CHAIR SELBKA: Right.

COMMISSIONER LANAGHAN: In which case, then you won't have that visibility. The reality is today, and I don't know if there's any plans for Park to be expanded but, you know, it could happen at some point in time.

MR. WILHELM: Please don't.

MRS. WILHELM: No, never. Please don't like put that into --

MR. WILHELM: Yes, don't put that into existence.

COMMISSIONER LANAGHAN: I know, but that's what we have to think about.

COMMISSIONER O'CONNOR: That's kind of like the one last in Central, right? Last meeting, in Central where they took that space, right.

ACTING CHAIR SELBKA: Would you be good with nine as opposed to six?

MR. WILHELM: It's better than 12. What about eight?

ACTING CHAIR SELBKA: I'd be up for, I'd go for nine.

MR. WILHELM: All right, it's better than 12, so it's a compromise.

ACTING CHAIR SELBKA: All right, with that, I'll close down Board deliberation.

Motion?

COMMISSIONER LANAGHAN: Let me get that thing up here so I can actually do it. I move that we approve the fence variation to allow a six-foot privacy fence constructed one foot from the property line instead of the required five-foot, and a fence variance to allow a six-foot privacy fence to be constructed nine feet from the intersection of East Park and the driveway on 446 South Arlington Heights Road instead of the required 12 feet.

ACTING CHAIR SELBKA: Okay.

COMMISSIONER O'CONNOR: Second.

MR. OSOBA: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. OSOBA: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. OSOBA: Chair Selbka.

ACTING CHAIR SELBKA: Yes.

All right.

MR. WILHELM: Thank you very much. Much appreciated.
(Whereupon, the public hearing on the above-mentioned
petition was adjourned at 7:49 p.m.)



**Zoning Board of Appeals
5/13/2024**

Item: 421 E. Orchard St. - 4/8/24

Department: Planning & Community Development Department

ATTACHMENTS:

Description	Type
421 E Orchard St - Findings 4/8/24	Minutes
421 E Orchard St - Minutes 4/8/24	Minutes

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

APRIL 8, 2024

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 421 E. Orchard St. Residence

Applicant: Keith Ginnodo – Kingsley/Ginnodo Architects

Zoning Relief Requested:

- A 10.5-foot variation from Chapter 28, Section 5.1-0.3a (Required Minimum Yards) to allow a front porch with a front yard setback of 39.5 feet instead of the required 50.0 feet and an additional 0.4 feet for the eave.

Date of Publication: 3/23/24

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Lanaghan, O’Connor, Selbka, Portera

Having heard and considered the testimony and evidence at the public hearing of April 8, 2024, the ZBA makes the following **findings of fact**:

The Petitioner is proposing to add a front porch addition to the existing home. The proposed front porch is 8.5 feet deep by 51.9 feet in width, and the proposed front yard setback is 39.5 feet; however, per code, the required setback is 50 feet.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

X The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and

X The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and

X The proposed variation is in harmony with the spirit and intent of this Chapter; and

X The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- A 10.5-foot variation from Chapter 28, Section 5.1-0.3a (Required Minimum Yards) to allow a front porch with a front yard setback of 39.5 feet instead of the required 50.0 feet and an additional 0.4 feet for the eave.

Reason for Determination:

The Zoning Board commented that there are several porches in the neighborhood and that the lot is generous in size. A neighbor spoke in support of the variance request.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

4 ayes 0 nays 3 absent 0 abstain

Date: April 8, 2024

Joseph Selbka, Acting Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALSOF APPEALS

RE: 421 EAST ORCHARD STREET - ZBA #24-012

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 8th day of April, 2024 at the hour of
7:49 p.m.

MEMBERS PRESENT:

JOSEPH SELBKA, Acting Chairperson
JEFFREY LANAGHAN
FRANK PORTERA
MICHAEL O'CONNOR

ALSO PRESENT:

DEREK MACH, Development Planner
DAN OSOBA, Planner I

ACTING CHAIR SELBKA: All right, with that, we'll go to 421 East Orchard.

All right, Mr. Ginnodo, will you be the only person who'll be testifying?

MR. GINNODO: I am.

ACTING CHAIR SELBKA: Okay, raise your right hand.

(Witness sworn.)

ACTING CHAIR SELBKA: Okay, Derek?

MR. MACH: Thank you.

The Petitioner is proposing to add a front porch addition to the existing home. The proposed front porch is 8.5 feet deep by 51.9 feet in width, and the proposed front yard setback is 39.5 feet; however, per code, the required setback is 50 feet.

Therefore, they're requesting a 10.5-foot variation from Chapter 28, Section 5.1-0.3a to allow a front porch with a front yard setback of 39.5 feet instead of the required 50 feet and an additional 0.4 foot for the eave.

Thank you, Chairman.

ACTING CHAIR SELBKA: Okay, Mr. Ginnodo, the floor is yours.

MR. GINNODO: All right, Derek, would you mind putting up the site plan, please?

MR. MACH: Sure.

MR. GINNODO: So, the first thing to consider here is that the building line established on the plat is 44 feet, and we're, you know, in front of that by a hair. So, that kind of puts us, you know, six or eight inches out of whack to begin with. The other thing to consider is the distance between the property line on the bottom side of that drawing and the edge of the street, not to mention there it's about 26 feet. So, the house is set well back on the lot and is in pretty close conformance to the other houses and their setbacks as well.

So, the porch on the front of it does expand it across the whole facade, but that's actually for the purpose of being able to use the porch. Almost all of the traffic from the home goes either into the garage or through the front door, and they strongly desire to have an opportunity to walk from the driveway through the porch to the front door for guests and for their own uses as well.

We've worked very hard to kind of meet the other requirements of the Zoning Board in terms of impervious surface coverage and just being smart about the size and place to work the driveways. So, we just feel like in order to get a porch that matches the character and scale of the house and for, you know, usability, that the projection of the building is the right spot.

Could it be more? It would be more generous if we could take the wings to the side and get another foot or so out of them, but this is about as skinny as you can go and actually get a porch that works for usability as well as, you know, the appearance of the house.

So, the criteria that I'm trying to accomplish here, it doesn't alter the character of the neighborhood. There's other houses of large scale that have this kind of expanse on the front of their house. It's set back like most of the other houses. In fact, this is a big improvement over the existing porch which is kind of Fred Flintstone stones and, you know, just kind of thrown up and they're falling down, the structure. That's one of the impetuses of doing this is to kind of build it right this time. So, we're there.

The unique circumstances I already hit on was the setback of the house, the proximity to the, or the distance between the property line and the street edge. It's just, you know, it's a situation that this doesn't do any damage to the community.

Is it in harmony with the code? Yes, in terms of it's an open porch on the front of the house. It's just that to be able to use it, we have to pull it forward a handful of feet just to kind of get it to work.

I've already discussed the minimum size necessary just to get it to work in that situation.

ACTING CHAIR SELBKA: Have you heard the homeowners talk to any of the neighbors?

MR. GINNODO: I have not, and I haven't heard of any. They've done all the proper notification.

ACTING CHAIR SELBKA: There's been no objection to your knowledge?

MR. GINNODO: Not that I've heard, no.

ACTING CHAIR SELBKA: Okay, does anybody else have questions?

COMMISSIONER LANAGHAN: I had a couple. You have an existing porch out there currently. You're basically matching it on the front but expanding it to the sides, am I reading that correctly?

MR. GINNODO: It's coming out in the front as well, yes.

COMMISSIONER LANAGHAN: It is coming out on the front as well?

MR. GINNODO: Yes, so there's, actually, if you look at the A-0 sheet -- is it okay if I approach?

COMMISSIONER LANAGHAN: Certainly.

MR. GINNODO: Okay, so I'll put this, it's hard to see it, guys. Have you done that? Oh, you have to go down the next sheet or so. There you go. Yes, that's the existing.

COMMISSIONER LANAGHAN: That's the old one.

MR. GINNODO: Yes.

COMMISSIONER LANAGHAN: So, this is kind of where I was like, okay, this looks to me approximately the same as what you are proposing.

MR. GINNODO: Keep going.

COMMISSIONER LANAGHAN: I think it's actually the other direction. In our packet anyway. Probably not in your drawing but in our packet.

MR. GINNODO: There you go. So, this lightly toned area, if you guys can see it, right by the entry area, that is what's permitted by code, by the Zoning Ordinance. We are scooching out a handful of, I'm illustrating in a drawing that doesn't show what you're asking, coming forward in the front.

COMMISSIONER LANAGHAN: Yes, what I was looking at is this one being your existing.

MR. GINNODO: Yes, we're coming out in the front.

COMMISSIONER LANAGHAN: Eyeball, it looks to be about the same, but you're saying you're coming out in the front.

MR. GINNODO: A little bit more, yes, yes.

COMMISSIONER LANAGHAN: Okay.

MR. GINNODO: Yes, so I think, and it's clear five feet in the current porch, it's going to be clear seven feet, something like that.

COMMISSIONER LANAGHAN: Got you, okay. Thank you.

I don't have any further questions.

ACTING CHAIR SELBKA: Anyone else have any further questions?

(No response.)

ACTING CHAIR SELBKA: Okay, any comments?

MR. TONY: I do.

ACTING CHAIR SELBKA: Sure, come on up.

MR. TONY: Tony.

ACTING CHAIR SELBKA: Tony?

MR. TONY: I'm over on Bristol, neighbor of the Murrays. I have a porch that's very similar to their design, and I think what they're doing is terrific. I think it's a beautiful idea, not only for the house, I think the house will actually look better with this gentleman's design and the Murrays, not to mention the value of the property, what it brings to the community and their family.

We have it, guys, and I think I spend more time on my front porch with my family and kids because it's a very walkable neighborhood, a very inviting neighborhood. Just the waves along and just the capacity it brings to the house I think is wonderful. So, I wanted to say I think it's a great idea and what they're doing is I think beautiful, for the family, the house, and the neighborhood.

ACTING CHAIR SELBKA: Okay, great. Thank you.

MR. TONY: Thank you.

ACTING CHAIR SELBKA: Anyone else?

(No response.)

ACTING CHAIR SELBKA: Hearing none, I'll close it down for Board deliberation.

It seems relatively minimal to me, it's a nice design. I'd be in favor of this.

COMMISSIONER LANAGHAN: No, I agree. I agree with Tony, I live in the neighborhood also. There's plenty of porches out there and they're used a lot. So, I understand the need to be a little deeper to actually be able to sit out there.

ACTING CHAIR SELBKA: All right, with that I'll close Board deliberation, and could I have a motion?

COMMISSIONER LANAGHAN: I move to approve the variance as presented.

COMMISSIONER O'CONNOR: I second.

ACTING CHAIR SELBKA: All right.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. MACH: Acting Chair Selbka.

ACTING CHAIR SELBKA: Yes.

Okay, thank you.

MR. GINNODO: Thank you very much.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:57 p.m.)



Zoning Board of Appeals 5/13/2024

Item: 1114 N. Race Ave. - ZBA#24-009 (Continued from 4/8/24)

Department: Planning & Community Development Department

REQUEST

- A 3.3-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback along the south property line of 4.8 feet instead of the required 8.1 feet and an additional 1.0 feet for the eave.
- A 2.6-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback along the north property line of 5.5 feet instead of the required 8.1 feet and an additional 1.0 feet for the eave.
- A 250 square-foot variation from Chapter 28, Section 5.1-3.5 (Maximum Building Lot Coverage) to allow building lot coverage of 3,415 square-feet where 3,166 is the maximum allowed by code.

ATTACHMENTS:

Description

Memo & Revised Exhibits
DC Minutes 4/2/24 - DRAFT
Exhibits - 4/8/24

Type

Exhibits
Minutes
Exhibits

MEMORANDUM

To: Chairman Siavelis and Members of the Zoning Board of Appeals

From: Derek Mach, Staff Liaison

Date: May 7, 2024

Re: ZBA Petition; 1114 N Race Avenue - Continuance

On April 8, 2024, the petition for 1114 N Race Avenue was heard. At the hearing, the Zoning Board of Appeals moved to continue the petition to May 13th, 2024. The petitioner is proposing a complete renovation and addition to the existing single-story residence with no garage in order to create a new expanded single-story house with an attached two-car garage. At the April 8 hearing there was discussion regarding the variance for the driveway width. Since the last meeting, the petitioner reduced the width of the driveway in order to comply with code, thereby eliminating the variance. The project requires review by the Zoning Board of Appeals, for the following zoning variations:

- **A 3.3-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback along the south property line of 4.8 feet instead of the required 8.1 feet and an additional 1.0 feet for the eave.**
- **A 2.6-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback along the north property line of 5.5 feet instead of the required 8.1 feet and an additional 1.0 feet for the eave.**
- **A 250 square-foot variation from Chapter 28, Section 5.1-3.5 (Maximum Building Lot Coverage) to allow building lot coverage of 3,415 square-feet where 3,166 is the maximum allowed by code.**

Please feel free to contact me with any questions at (847) 368-5232.

The following changes are to be made to the Zoning Petition for 1114 N Race Ave:

Driveway width will **no longer be 26.4 ft wide** but rather the standard 22 ft listed in **Chapter 28, Section 10.2-11.1** As such, there will no longer be a variance requested.

Regarding the variance for: **250 square-foot variation from Chapter 28, Section 5.1-3.5 (Maximum Building Lot Coverage) to allow building lot coverage of 3,415 square-feet where 3,165 is the maximum allowed by code.**

Narrative: The proposed addition exceeds the maximum building lot coverage. Since the home is a one-story home, we have to maximize the horizontal plane rather than building vertically, which presents a challenge. The part of the home that is in excess of the maximum building lot coverage is the covered patio which we decided to include for both practicality and utility. The covered patio allows for easier construction and engineering of the roof as well as the overall structure of the home. For the sake of utility, this would also allow us to use the covered patio as an additional area to spend time since the home's square footage is not incredibly high. Additionally, the proposed addition **does not exceed the allowed impervious area**, allowing for more than the required water absorption and drainage. Requiring a change to the covered patio area to solve a potential problem relating to the impervious area would only result in an undue hardship since the covered patio does not contribute to that and the area would still be a patio.

Date: April 29, 2024

Signature: 

10 9 8 7 6 5 4 3 2 1

ZONING

REQUIREMENTS FOR
R-3 SINGLE FAMILY RESIDENCE DISTRICT

TOTAL LOT AREA: 9,043 sq ft

LOT WIDTH:
REQUIRED MIN. AT BUILDING LINE: 70 FT
EXISTING: 80.00 FT AT BUILDING LINE
90.00 FT at front lot line; 44.74 FT at rear lot line

LOT DEPTH: 132.72 FT / 133.69 FT

FRONT SETBACK:
REQUIRED MIN.: 25 FT
PROPOSED: 25.4 FT

SIDE SETBACK:
REQUIRED MIN.: 8 FT (10% OF LOT WIDTH AT BUILDING LINE)
PROPOSED: 8.3 FT
EXISTING SETBACK:
4.75 FT (South side)
5.5 FT (North side)

REAR SETBACK:
REQUIRED MIN.: 30 FT
PROPOSED: 40 FT

HEIGHT LIMIT:
REQUIRED MAX. ROOF HEIGHT: 25 FT
PROPOSED: 22.25 FT

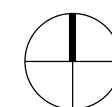
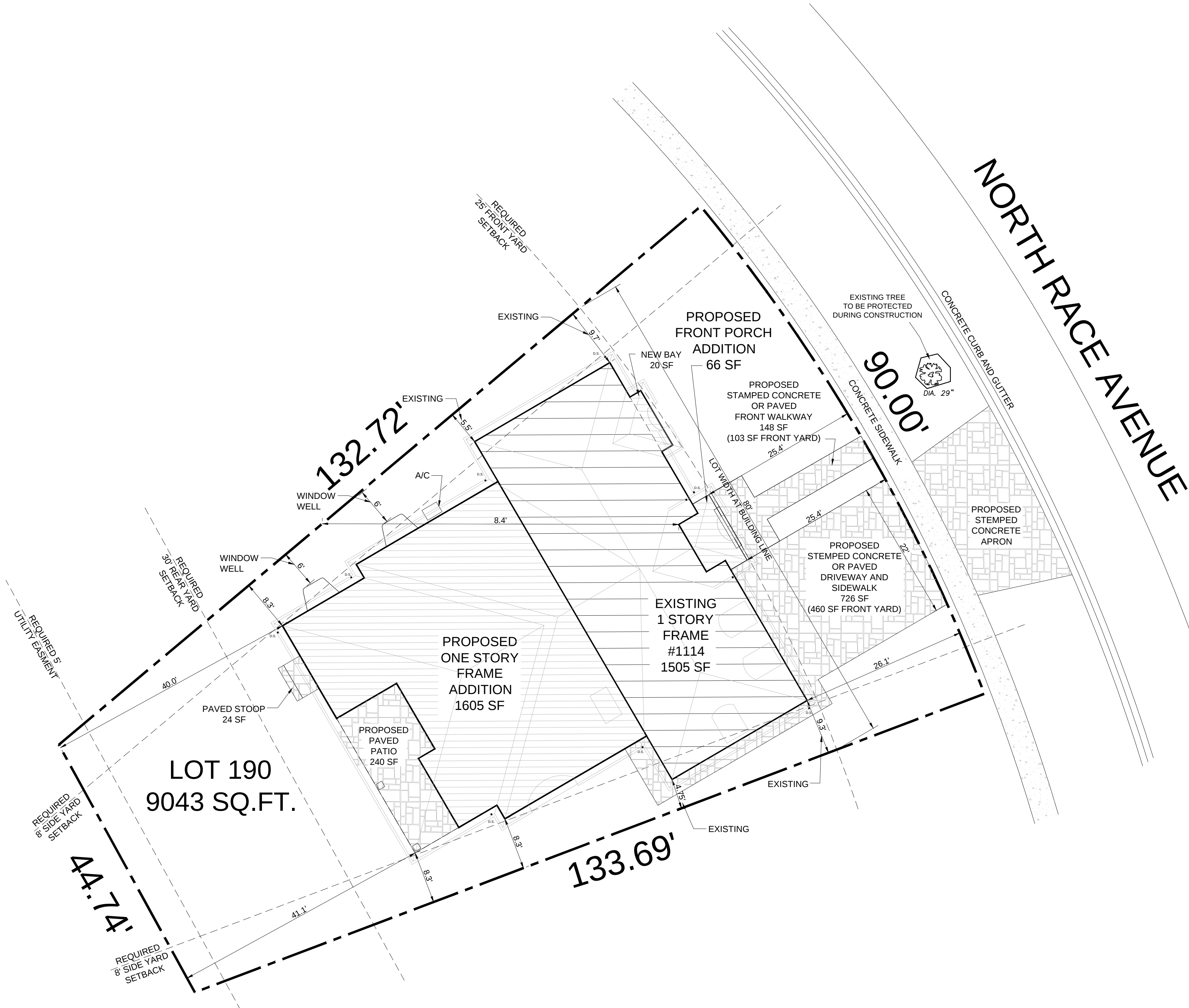
FLOOR AREA RATIO :
REQUIRED MAX.: $3938 \div (9043 \div 100) = 4.0552$ SQ FT
PROPOSED: 2.73 SQ FT
1ST FLOOR: 2,500 SQ FT
GARAGE (OVER 400 SQ FT): 230 SQ FT
TOTAL: 2,730 SQ FT

BUILDING LOT COVERAGE:
REQUIRED MAX.: 35% X 9,043 SQ FT = 3,165.05 SQ FT
PROPOSED: 3,130 SQ FT
1ST FLOOR: 2,500 SQ FT
GARAGE ATTACHED: 630 SQ FT
TOTAL: 3,130 SQ FT

IMPERVIOUS LOT COVERAGE:
REQUIRED MAX.: 50% X 9,043 SQ FT = 4,521.5 SQ FT
PROPOSED: 4,334 SQ FT
1ST FLOOR: 2,500 SQ FT
GARAGE ATTACHED: 630 SQ FT
OPEN PORCH/COVERED PATIO: 306 SQ FT
DRIVEWAY, SIDEWALKS, STEPS: 898 SQ FT
TOTAL: 4,334 SQ FT

IMPERVIOUS COVERAGE AT FRONT YARD:
REQUIRED MAX.: 50% X 2,130 SQ FT = 1,065 SQ FT
PROPOSED: 563 SQ FT

FOR SITE AND TREE PROTECTION INFO.
AND DETAILS SEE CIVIL DRAWING



1 SITE PLAN- PROPOSED
1" = 10'-0"

SINGLE FAMILY
RESIDENCE
REMODELING
AND ADDITION

1114 N RACE AVE
ARLINGTON HEIGHTS, IL

OWNER:
FRANCESCO VALENZANO

DRAWING PREPARED BY:

TCH Construction Services, Inc.

1210 E PADDOCK DR
PALATINE, IL 60074
PH: 847-877-1703
tchconstructionservices@gmail.com

ZONING REVIEW 04.29.2024
DESIGN REVIEW 02.26.2024

Sheet Title:
PROPOSED SITE PLAN

Drawing Number:

A0.03

DRAFT

MINUTES OF THE VILLAGE OF ARLINGTON HEIGHTS DESIGN COMMISSION

HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
APRIL 2, 2024

Chair Kubow called the meeting to order at 6:30 p.m.

Members Present: John Kubow, Chair
John Fitzgerald
Ted Eckhardt

Members Absent: Scott Seyer
Kirsten Kingsley

Also Present: Francesco Valenzano, Owner of 1114 N. Race Ave.
Thomas Roszak, Thomas Roszak Architecture for *Arlington Gateway Development*
Steve Hautzinger, Planning Staff

REVIEW OF MEETING MINUTES FOR MARCH 12, 2024

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER ECKHARDT, TO APPROVE THE MEETING MINUTES OF MARCH 12, 2024. ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 1. SINGLE-FAMILY ADDITION REVIEW**DC#24-019 – 1114 N. Race Ave.**

Francesco Valenzano, the owner, was present on behalf of the project.

Mr. Hautzinger summarized Staff comments. The petitioner is proposing a complete renovation and addition to an existing single-story house with no garage, to create a new expanded single-story house with an attached two-car garage. The project requires review by the Zoning Board of Appeals, which is scheduled for April 8, for the following zoning variations:

- Side Yard Setbacks. 4.8' and 5.5' proposed, where 8.1' is required
- Driveway Width. 26.4' wide driveway proposed, where 22' is the maximum allowed
- Building Lot Coverage. 3,415 sf proposed, where 3,165 sf is the maximum allowed

The subject property is located in a neighborhood where there have been numerous completed teardowns that are primarily new two-story homes with attached garages. Despite being a single-story residence, the scale of the proposed house looks massive and out of place with the surrounding newer homes. To improve the scale relationship to the adjacent homes, it is recommended that the eave height be lowered about one foot. Another concern with the proposed design is the awkward twin tower features on the front elevation which looks out of balance. It is recommended to change the bedroom window tower feature to a more typical bay window, and add two dormers to the roof for a more balanced appearance. A drawing illustrating this recommended change to the front elevation is shown in the Staff report.

Staff recommends the Design Commission evaluate the design of the proposed addition with a recommendation to lower the eave line about one foot to improve the scale relationship to the adjacent homes, and a recommendation to change the bedroom tower to a more typical bay window, and add dormers above for a more balanced appearance.

Mr. Valenzano thanked everyone for their time and Staff for their suggestions. He said that lowering the eave as suggested by Staff would essentially be in line with the adjacent properties; however, the home would then be majority roof. Since the home is one-story, there is not a lot of dimension for the second-story, so they want to raise the eave to show the character of the home rather than just some roofing, as well as allow for higher ceilings in the home. They also want to add some characteristics of the stone, similar to other homes.

Chair Kubow asked if there was any public comment on the project and there was no response from the audience.

The commissioners summarized their comments. **Commissioner Fitzgerald** was okay with the height of the home as proposed, which proportionately looks fine, and he was okay with lowering the height one foot; it is a good looking home. He was split on whether the second tower bay should be there or not; he liked the sketch from Staff, but he did not dislike what is being proposed, and he liked the petitioner's explanation of how they want to soften the roof. **Commissioner Fitzgerald** appreciated that all four sides of the home look nice, which the commissioners do not always see, and he really liked the colors being proposed for the home, particularly the choice of bronze instead of the typical black. The bronze color with the stone and the stucco are a nice combination, compared to the sharpness of going with black, and the stucco with the stone looks very nice. He had no further comments.

Commissioner Eckhardt asked the petitioner to explain the design intent for the two tower features on the front elevation and the two doors being proposed; he was curious to know the story behind that. **Mr. Valenzano** said they want to be able to incorporate the stone from the 4-foot border all the way through the roof, and it has been difficult to work with the existing front entrance with respect to the garage, because the front entrance cannot be right on center without having awkward space on both sides. Therefore, they decided to carry the theme with the smaller, shorter tower, which allows the home to flow from left to right, and the main center portion of the home will be emphasized with landscaping and the sidewalk. The second tower feature will be behind landscaping so it is not as much of a centerpiece as shown in the drawing. They don't want it to be just the front entry and then the eave, and having a bay

window instead of the small tower gave the impression that the house is more smooshed than they want, whereas having both of the towers gives the impression of height, while keeping the eave a reasonable height. **Commissioner Eckhardt** understood that explanation, and he asked about the space on the second-floor, and **Mr. Valenzano** said that the second-floor is all attic space. **Commissioner Eckhardt** had no further questions.

Chair Kubow was in agreement with the other commissioners and appreciated Staff's report and recommendations. He said the petitioner is taking an existing home and creating a pretty bold addition, which he really appreciates, and trying to visualize the elevation in three dimension helps to break it down, especially if the color palette was rendered. He was in support of what is being proposed, it looks fantastic.

A MOTION WAS MADE BY COMMISSIONER ECKHARDT, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE ARCHITECTURAL DESIGN FOR THE PROPOSED ADDITION TO THE EXISTING SINGLE-FAMILY HOME LOCATED AT 1114 N. RACE AVENUE. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE ARCHITECTURAL PLANS RECEIVED 2/26/24, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATION AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

- 1. A RECOMMENDATION TO REVIEW AND STUDY LOWERING THE EAVE LINE APPROXIMATELY 12-INCHES.**
- 2. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.**

**FITZGERALD, AYE; ECKHARDT, AYE; KUBOW, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.**

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: April 8, 2024
Date Prepared: April 3, 2024
Project Title: Valenzano Residence
Address: 1114 N. Race Ave.

Background Information

Petition Number: ZBA #24-009
Petitioner: Francesco Valenzano
Address: 1114 N. Race Ave.
Arlington Heights IL 60004

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

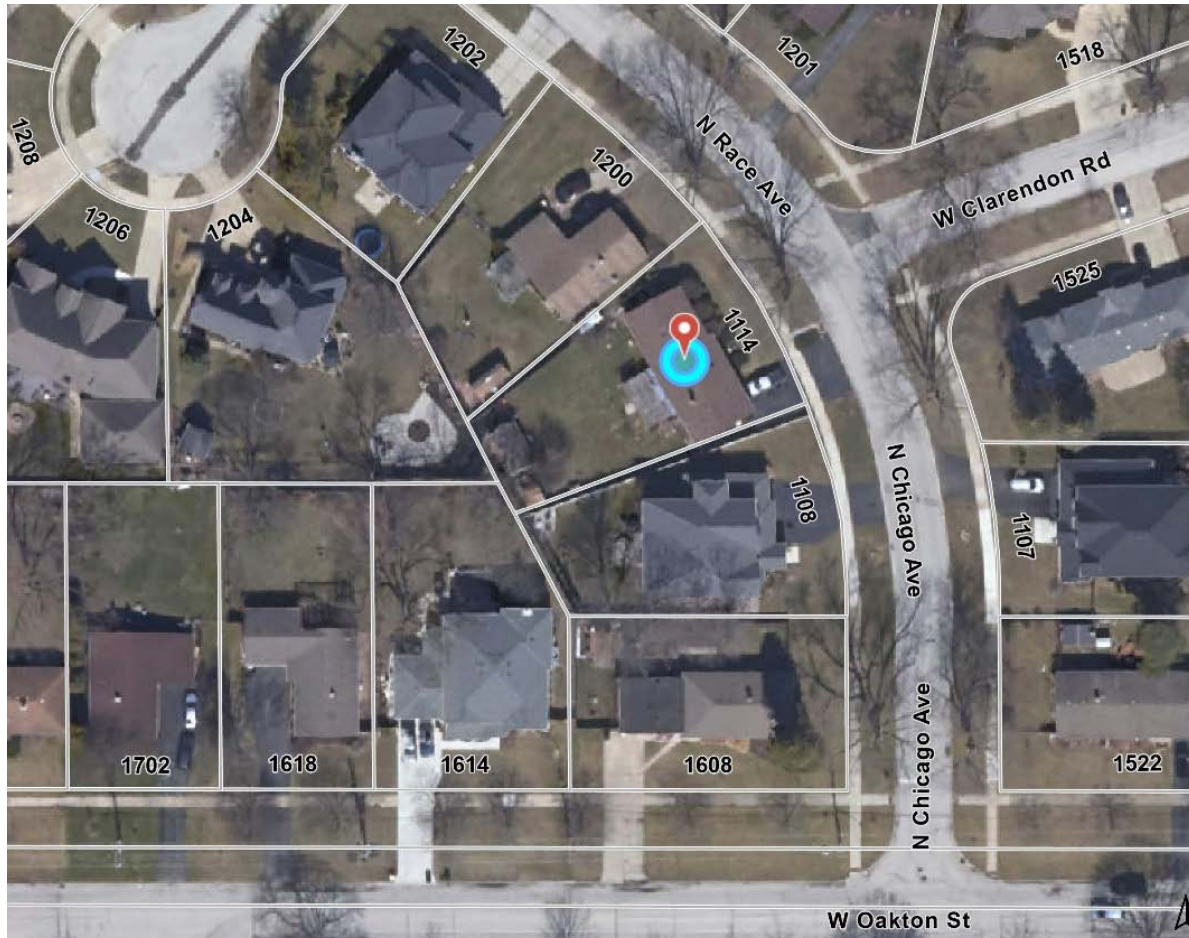
The petitioner is proposing a complete renovation and addition to an existing single-story residence with no garage to create a new expanded single-story house with an attached two-car garage. The property has a total land area of 9,043 square feet and the proposed residence with the addition will be approximately 3,198 square feet. The project requires review by the Zoning Board of Appeals, for the following zoning variations:

- A 3.3-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback along the south property line of 4.8 feet instead of the required 8.1 feet and an additional 1.0 feet for the eave.
- A 2.6-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback along the north property line of 5.5 feet instead of the required 8.1 feet and an additional 1.0 feet for the eave.
- A 250 square-foot variation from Chapter 28, Section 5.1-3.5 (Maximum Building Lot Coverage) to allow building lot coverage of 3,415 square-feet where 3,166 is the maximum allowed by code.
- A 4.4-foot variation from Chapter 28, Section 10.2-11.1 to allow a driveway that is 26.4 feet wide where the maximum width allowed is 22 feet.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	3/21/24	
2. List of Property Owners Within 250 feet of Subject Property	✓	3/21/24	
3. Letter that was Mailed	✓	3/21/24	
4. Photographs of Sign on Property	✓	3/21/24	

Photographs of Existing Structure



Village of Arlington Heights



To: Francesco Valenzano
From: Derek Mach
Department: Department of Planning and Community Development
File Number: ZBA 24-009
Project: 1114 N Race Ave
Date: April 2, 2024

ZONING COMMENTS:

The zoning comments below for your use and consideration. If you have any questions, please contact dmach@vah.com:

Planning and Community Development

1. This project is scheduled for Design Commission review on Tuesday, April 2. Staff has concerns about the scale and massing of the house as compared to the adjacent homes. Staff is recommending that the roof eave be lowered approximately one foot to improve the scale and relationship to the adjacent homes.

Building and Life Safety

1. The walls of the proposed addition, being less than 5 feet to the lot line is required to have a minimum fire-resistance rating of 1-hour with exposure from both the inside and outside.
2. The east wall soffit projection dimension is not shown on the drawings, No projections are allowed within 2 feet from the property lines. The eave being less than 5 feet to the lot line is required to have a minimum fire-resistance rating of 1-hour, or fire-retardant treated wood, or fireblocking from the wall top plate to the underside of the roof sheathing.
3. The walls are 5 feet to the lot line, the openings on that wall are limited to 25% of the wall area.

Engineering

1. Engineering has NO OBJECTION to a 3.3-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback along the south property line of 4.8 feet instead of the required 8.1 feet and an additional 1.0 feet for the eave. Note 1: The variance is for the existing structure and an existing condition. The addition will be in compliance. Note 2: The permit will require an existing and proposed grading plan with cross sections along the south and north property line to ensure positive drainage.
2. Engineering has NO OBJECTION to a 2.6-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback along the north property line of 5.5 feet instead of the required 8.1 feet and an additional 1.0 feet for the

ZBA REVIEW

eave. Note: The variance is for the existing structure and an existing condition. The addition will be in compliance.

3. Engineering has NO COMMENT to a 250 square-foot variation from Chapter 28, Section 5.1-3.5 (Maximum Building Lot Coverage) to allow building lot coverage of 3,415 square-feet where 3,166 is the maximum allowed by code.
4. Engineering has NO OBJECTION to a 4.4 -foot variation from Chapter 28, Section 10.2-11.1 to allow a driveway that is 26.4 feet wide where the maximum width allowed is 22 feet.

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner Francesco & Francesca Valenzano

being the owner of the property commonly know as: 1114 N Race Ave, Arlington Heights IL 60004

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.3b

Chapter 28, of the Arlington Heights Municipal Code, in order to: Alteration of an existing one-story single
-family residence that includes exterior and interior remodeling and one-story addition.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): The proposed
remodeling and expansion of the existing single-family residence meet
requirements for the R-3 zone.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): The purpose of the proposed one-story
addition to the existing one-story house is to expand the floor area while maintaining
the building as a one-story single-family residence.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain):
The existing structure encroaches on the required minimum side setback, and a
zoning variance is required to remodel and expand the existing nonconforming house.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): The variance request is due to the remodeling and proposed addition to the
existing building that is in noncompliance with the required minimum side setbacks.
Proposed addition is within the required setbacks and meets all zoning requirements.

Signed: 
Petitioner

Date: 02/26/2024

Project location: 1114 N. Race Ave. Arlington Heights, IL 60004

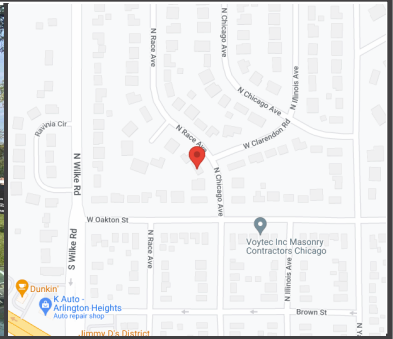
Owner: Francesco Valenzano

Project description

Proposed are a one-story (1st floor) addition and exterior and interior remodeling of the existing one-story house. The existing structure encroaches on the required minimum side setbacks. The proposed addition is within the required setbacks and meets all zoning requirements.



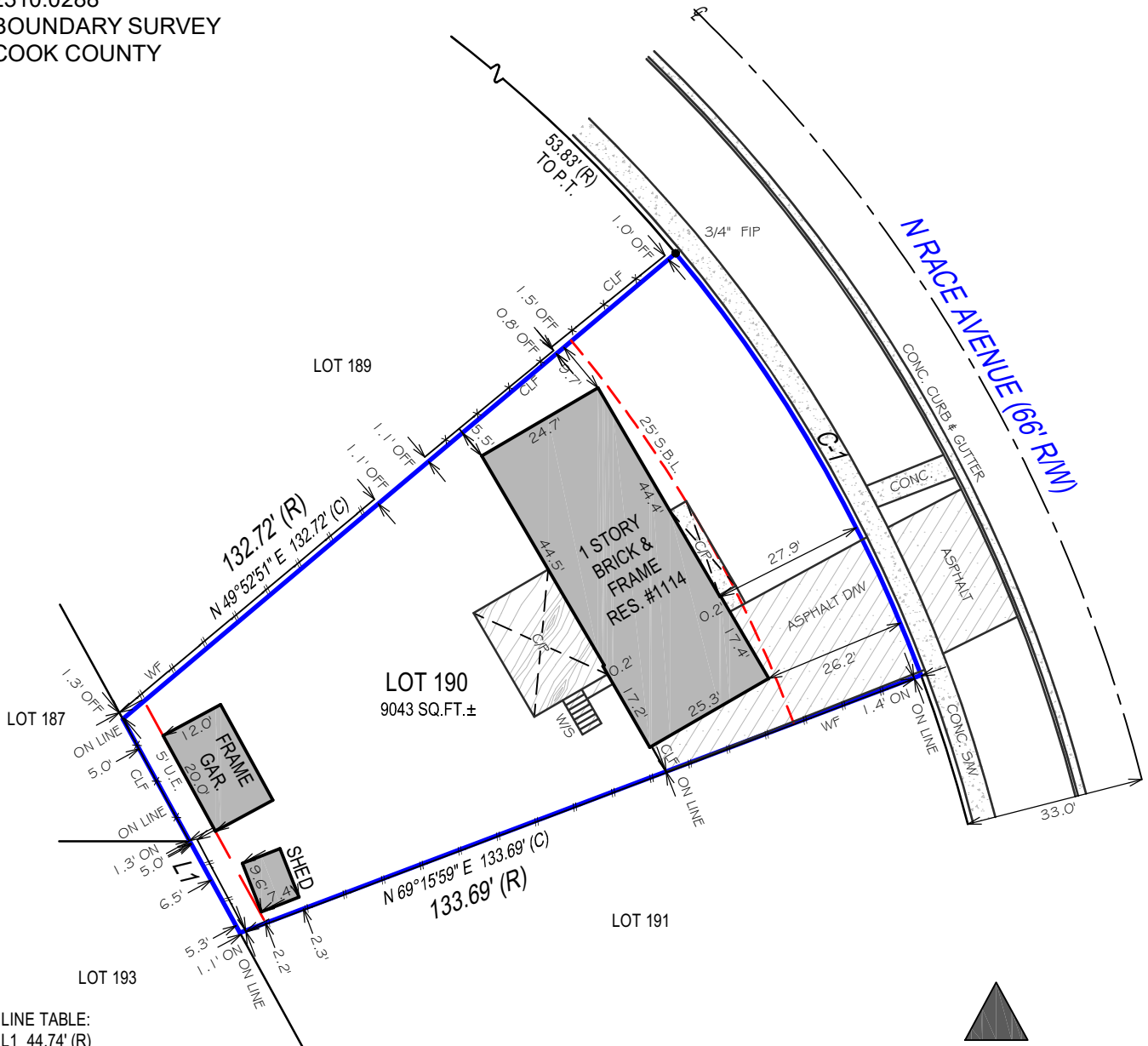
www.exactaland.com | office: 773.305.4011



PROPERTY ADDRESS: 1114 N RACE AVENUE, ARLINGTON HEIGHTS, ILLINOIS 60004

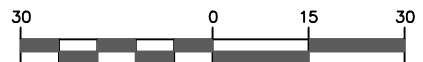
SURVEY NUMBER: 2310.0288

2310.0288
BOUNDARY SURVEY
COOK COUNTY



LINE TABLE:
L1 44.74' (R)
S 28°43'40" E 44.74' (C)

C-1
R= 267.21' (R&C)
L= 90.00' (R&C)
Δ= 19°17'53" (C)
CH= N 30°11'23" W 89.58' (C)



GRAPHIC SCALE (In Feet)
1 inch = 30' ft.

STATE OF ILLINOIS } SS
COUNTY OF LASALLE

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO
THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY
SURVEY. GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.



ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971
LICENSE EXPIRES 11/30/2024
EXACTA LAND SURVEYORS, LLC
PROFESSIONAL DESIGN FIRM 184008059-0008

POINTS OF INTEREST:
NONE VISIBLE



Exacta Land Surveyors, LLC
PLS# 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60450



DATE OF SURVEY: 10/05/23
FIELD WORK DATE: 10/4/2023
REVISION DATE(S): (REV.1 10/5/2023)

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

PROPERTY ADDRESS: 1114 N RACE AVENUE, ARLINGTON HEIGHTS, ILLINOIS 60004

SURVEY NUMBER: 2310.0288

JOB SPECIFIC SURVEYOR NOTES:

LEGAL DESCRIPTION:

LOT 190 IN RAYMOND L. LUTGER'S SUBDIVISION OF THE WEST 78 ACRES OF THE SOUTHWEST 1/4 OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THE SOUTH 25 FEET) IN COOK COUNTY, ILLINOIS.

GENERAL SURVEYOR NOTES:

1. The Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership of the lands or any fences shown hereon. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.

2. The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the visible improvements thereon for a pending financial transaction. Underground footings, utilities, or other service lines, including roof eave overhangs were not located as part of this survey. Unless specifically stated otherwise the purpose and intent of this survey is not for any construction activities or future planning.

3. If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection. No excavation was performed to determine its location.

4. This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.

5. Alterations to this survey map and report by other than the signing surveyor are prohibited.

6. Dimensions are in feet and decimals thereof.
7. Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at www.fema.gov and may not reflect the most recent information.

8. Unless otherwise noted "SIR" indicates a set iron rebar, 5/8 inch in diameter and twenty-four inches long.

9. The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature.

10. Points of Interest (POI's) are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POI's may not represent all items of interest to the viewer. There may be additional POI's which are not shown or called-out as POI's, or which are otherwise unknown to the surveyor.

11. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.

12. The information contained on this survey has been performed exclusively by and is the sole responsibility of Exacta Land Surveyors, LLC. Additional logos or references to third party firms are for informational purposes only.
13. Due to varying construction standards, building dimensions are approximate and are not intended to be used for new construction or planning.

14. Surveyor bearings are used for angular reference and are used to show angular relationships of lines only and are not related or orientated to true or magnetic north. Bearings are shown as surveyor bearings, and when shown as matching those on the subdivision plats on which this survey is based, they are to be deemed no more accurate as the determination of a north orientation made on and for those original subdivision plats. North 00 degrees East is assumed and upon preparation of this plat, the resulting bearing between found points as shown on this survey is the basis of said surveyor bearings as defined and required to be noted by Illinois Administrative Code Title 68, Chapter VII, Sub-Chapter B, Part 1270, Section 1270.56, Paragraph B, Sub-Paragraph 6, Item k.

15. THIS SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE PHONE NUMBER SHOWN HEREON.

SURVEYOR'S LEGEND

<table><tr><th colspan="2">LINETYPES</th></tr><tr><td></td><td>Boundary Line</td></tr><tr><td></td><td>Center Line</td></tr><tr><td></td><td>Chain Link or Wire Fence</td></tr><tr><td></td><td>Easement</td></tr><tr><td></td><td>Edge of Water</td></tr><tr><td></td><td>Iron Fence</td></tr><tr><td></td><td>Overhead Lines</td></tr><tr><td></td><td>Structure</td></tr><tr><td></td><td>Survey Tie Line</td></tr><tr><td></td><td>Vinyl Fence</td></tr><tr><td></td><td>Wall or Party Wall</td></tr><tr><td></td><td>Wood Fence</td></tr><tr><th colspan="2">SURFACE TYPES</th></tr><tr><td></td><td>Asphalt</td></tr><tr><td></td><td>Brick or Tile</td></tr><tr><td></td><td>Concrete</td></tr><tr><td></td><td>Covered Area</td></tr><tr><td></td><td>Water</td></tr><tr><td></td><td>Wood</td></tr><tr><th colspan="2">SYMBOLS</th></tr><tr><td></td><td>Benchmark</td></tr><tr><td></td><td>Center Line</td></tr><tr><td></td><td>Central Angle or Delta</td></tr><tr><td></td><td>Common Ownership</td></tr><tr><td></td><td>Control Point</td></tr><tr><td></td><td>Catch Basin</td></tr></table>	LINETYPES			Boundary Line		Center Line		Chain Link or Wire Fence		Easement		Edge of Water		Iron Fence		Overhead Lines		Structure		Survey Tie Line		Vinyl Fence		Wall or Party Wall		Wood Fence	SURFACE TYPES			Asphalt		Brick or Tile		Concrete		Covered Area		Water		Wood	SYMBOLS			Benchmark		Center Line		Central Angle or Delta		Common Ownership		Control Point		Catch Basin	<table><tr><td></td><td>Elevation</td></tr><tr><td></td><td>Fire Hydrant</td></tr><tr><td></td><td>Find or Set Monument</td></tr><tr><td></td><td>Guywire or Anchor</td></tr><tr><td></td><td>Manhole</td></tr><tr><td></td><td>Tree</td></tr><tr><td></td><td>Utility or Light Pole</td></tr><tr><td></td><td>Well</td></tr><tr><th colspan="2">ABBREVIATIONS</th></tr><tr><td>(C)</td><td>- Calculated</td></tr><tr><td>(D)</td><td>- Deed</td></tr><tr><td>(F)</td><td>- Field</td></tr><tr><td>(M)</td><td>- 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Overall</td></tr><tr><td>O/S</td><td>- Offset</td></tr><tr><td>OFF</td><td>- Outside Subject Property</td></tr><tr><td>OH</td><td>- Overhang</td></tr><tr><td>OHL</td><td>- Overhead Utility Lines</td></tr><tr><td>OHWL</td><td>- Ordinary High Water Line</td></tr><tr><td>ON</td><td>- Inside Subject Property</td></tr><tr><td>P/E</td><td>- Pool Equipment</td></tr><tr><td>PB</td><td>- Plat Book</td></tr><tr><td>PC</td><td>- Point of Curvature</td></tr><tr><td>PCC</td><td>- Point of Compound Curvature</td></tr><tr><td>PCP</td><td>- Permanent Control Point</td></tr><tr><td>PI</td><td>- Point of Intersection</td></tr><tr><td>PLS</td><td>- Professional Land Surveyor</td></tr><tr><td>PLT</td><td>- Planter</td></tr><tr><td>POB</td><td>- Point of Beginning</td></tr><tr><td>POC</td><td>- Point of Commencement</td></tr><tr><td>PRC</td><td>- Point of Reverse Curvature</td></tr><tr><td>PRM</td><td>- Permanent Reference Monument</td></tr><tr><td>PSM</td><td>- Professional Surveyor & Mapper</td></tr><tr><td>PT</td><td>- Point of Tangency</td></tr><tr><td>PUE</td><td>- Public Utility Easement</td></tr><tr><td>R</td><td>- Radius or Radial</td></tr><tr><td>R/W</td><td>- Right of Way</td></tr><tr><td>RES</td><td>- Residential</td></tr><tr><td>RGE</td><td>- Range</td></tr><tr><td>ROE</td><td>- Roof Overhang Easement</td></tr><tr><td>RP</td><td>- Radius Point</td></tr><tr><td>S/W</td><td>- Sidewalk</td></tr><tr><td>SBL</td><td>- Setback Line</td></tr><tr><td>SCL</td><td>- Survey Closure Line</td></tr><tr><td>SCR</td><td>- Screen</td></tr><tr><td>SEC</td><td>- Section</td></tr><tr><td>SEP</td><td>- Septic Tank</td></tr><tr><td>SEW</td><td>- Sewer</td></tr><tr><td>SIRC</td><td>- Set Iron Rod & Cap</td></tr><tr><td>SMWE</td><td>- Storm Water Management Easement</td></tr><tr><td>SN&D</td><td>- Set Nail and Disc</td></tr><tr><td>SQFT</td><td>- Square Feet</td></tr><tr><td>STL</td><td>- Survey Tie Line</td></tr><tr><td>STY</td><td>- Story</td></tr><tr><td>SV</td><td>- Sewer Valve</td></tr><tr><td>SWE</td><td>- Sidewalk Easement</td></tr><tr><td>TBM</td><td>- Temporary Bench Mark</td></tr><tr><td>TEL</td><td>- Telephone Facilities</td></tr><tr><td>TOB</td><td>- Top of Bank</td></tr><tr><td>TUE</td><td>- Technological Utility Easement</td></tr><tr><td>TWP</td><td>- Township</td></tr><tr><td>TX</td><td>- Transformer</td></tr><tr><td>TYP</td><td>- Typical</td></tr><tr><td>UE</td><td>- Utility Easement</td></tr><tr><td>UG</td><td>- Underground</td></tr><tr><td>UP</td><td>- Utility Pole</td></tr><tr><td>UR</td><td>- Utility Riser</td></tr><tr><td>VF</td><td>- Vinyl Fence</td></tr><tr><td>W/C</td><td>- Witness Corner</td></tr><tr><td>W/F</td><td>- Water Filter</td></tr><tr><td>WF</td><td>- Wood Fence</td></tr><tr><td>WM</td><td>- Water Meter/Valve Box</td></tr><tr><td>WV</td><td>- Water valve</td></tr></table>		Elevation		Fire Hydrant		Find or Set Monument		Guywire or Anchor		Manhole		Tree		Utility or Light Pole		Well	ABBREVIATIONS		(C)	- Calculated	(D)	- Deed	(F)	- Field	(M)	- Measured	(P)	- Plat	(R)	- Record	(S)	- Survey	A/C	- Air Conditioning	AE	- Access Easement	ANE	- Anchor Easement	ASBL	- Accessory Setback Line	B/W	- Bay/Box Window	BC	- Block Corner	BFP	- Backflow Preventer	BLDG	- Building	BLK	- Block	BM	- Benchmark	BR	- Bearing Reference	BRL	- Building Restriction Line	BSMT	- Basement	C	- Curve	C/L	- Center Line	C/P	- Covered Porch	C/S	- Concrete Slab	CATV	- Cable TV Riser	CB	- Concrete Block	CH	- Chord Bearing	CHIM	- Chimney	CLF	- Chain Link Fence	CME	- Canal Maintenance Easement	CO	- Clean Out	CONC	- Concrete	COR	- Corner	CS/W	- Concrete Sidewalk	CUE	- Control Utility Easement	CVG	- Concrete Valley Gutter	D/W	- Driveway	DE	- Drainage Easement	DF	- Drain Field	DH	- Drill Hole	DUE	- Drainage & Utility Easement	ELEV	- Elevation	EM	- Electric Meter	ENCL	- Enclosure	ENT	- Entrance	EOP	- Edge of Pavement	EOW	- Edge of Water	ESMT	- Easement	EUB	- Electric Utility Box	F/DH	- Found Drill Hole	FCM	- Found Concrete Monument	FF	- Finished Floor	FIP	- Found Iron Pipe	FIPC	- Found Iron Pipe & Cap	FIR	- Found Iron Rod	FIRC	- Found Iron Rod & Cap	FN	- Found Nail	FN&D	- Found Nail & Disc	FRRSPK	- Found Rail Road Spike	GAR	- Garage	GM	- Gas Meter	ID	- Identification	IE/EE	- Ingress/Egress Easement	ILL	- Illegible	INST	- Instrument	INT	- Intersection	IRRE	- Irrigation Easement	L	- Length	LAE	- Limited Access Easement	LB#	- License No. (Business)	LBE	- Limited Buffer Easement	LE	- Landscape Easement	LME	- Lake/Landscape Maintenance Easement	LS#	- License No. (Surveyor)	MB	- Map Book	ME	- Maintenance Easement	MES	- Mitered End Section	MF	- Metal Fence	MH	- Manhole	MHWL	- Mean High Water Line	NR	- Non-Radial	NTS	- Not to Scale	NAVD88	- North American Vertical Datum 1988	NGVD29	- National Geodetic Vertical Datum 1929	OG	- On Ground	ORB	- Official Records Book	ORV	- Official Record Volume	O/A	- Overall	O/S	- Offset	OFF	- Outside Subject Property	OH	- Overhang	OHL	- Overhead Utility Lines	OHWL	- Ordinary High Water Line	ON	- Inside Subject Property	P/E	- Pool Equipment	PB	- Plat Book	PC	- Point of Curvature	PCC	- Point of Compound Curvature	PCP	- Permanent Control Point	PI	- Point of Intersection	PLS	- Professional Land Surveyor	PLT	- Planter	POB	- Point of Beginning	POC	- Point of Commencement	PRC	- Point of Reverse Curvature	PRM	- Permanent Reference Monument	PSM	- Professional Surveyor & Mapper	PT	- Point of Tangency	PUE	- Public Utility Easement	R	- Radius or Radial	R/W	- Right of Way	RES	- Residential	RGE	- Range	ROE	- Roof Overhang Easement	RP	- Radius Point	S/W	- Sidewalk	SBL	- Setback Line	SCL	- Survey Closure Line	SCR	- Screen	SEC	- Section	SEP	- Septic Tank	SEW	- Sewer	SIRC	- Set Iron Rod & Cap	SMWE	- Storm Water Management Easement	SN&D	- Set Nail and Disc	SQFT	- Square Feet	STL	- Survey Tie Line	STY	- Story	SV	- Sewer Valve	SWE	- Sidewalk Easement	TBM	- Temporary Bench Mark	TEL	- Telephone Facilities	TOB	- Top of Bank	TUE	- Technological Utility Easement	TWP	- Township	TX	- Transformer	TYP	- Typical	UE	- Utility Easement	UG	- Underground	UP	- Utility Pole	UR	- Utility Riser	VF	- Vinyl Fence	W/C	- Witness Corner	W/F	- Water Filter	WF	- Wood Fence	WM	- Water Meter/Valve Box	WV	- Water valve
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CH	- Chord Bearing																																																																																																																																																																																																																																																																																																																																																																														
CHIM	- Chimney																																																																																																																																																																																																																																																																																																																																																																														
CLF	- Chain Link Fence																																																																																																																																																																																																																																																																																																																																																																														
CME	- Canal Maintenance Easement																																																																																																																																																																																																																																																																																																																																																																														
CO	- Clean Out																																																																																																																																																																																																																																																																																																																																																																														
CONC	- Concrete																																																																																																																																																																																																																																																																																																																																																																														
COR	- Corner																																																																																																																																																																																																																																																																																																																																																																														
CS/W	- Concrete Sidewalk																																																																																																																																																																																																																																																																																																																																																																														
CUE	- Control Utility Easement																																																																																																																																																																																																																																																																																																																																																																														
CVG	- Concrete Valley Gutter																																																																																																																																																																																																																																																																																																																																																																														
D/W	- Driveway																																																																																																																																																																																																																																																																																																																																																																														
DE	- Drainage Easement																																																																																																																																																																																																																																																																																																																																																																														
DF	- Drain Field																																																																																																																																																																																																																																																																																																																																																																														
DH	- Drill Hole																																																																																																																																																																																																																																																																																																																																																																														
DUE	- Drainage & Utility Easement																																																																																																																																																																																																																																																																																																																																																																														
ELEV	- Elevation																																																																																																																																																																																																																																																																																																																																																																														
EM	- Electric Meter																																																																																																																																																																																																																																																																																																																																																																														
ENCL	- Enclosure																																																																																																																																																																																																																																																																																																																																																																														
ENT	- Entrance																																																																																																																																																																																																																																																																																																																																																																														
EOP	- Edge of Pavement																																																																																																																																																																																																																																																																																																																																																																														
EOW	- Edge of Water																																																																																																																																																																																																																																																																																																																																																																														
ESMT	- Easement																																																																																																																																																																																																																																																																																																																																																																														
EUB	- Electric Utility Box																																																																																																																																																																																																																																																																																																																																																																														
F/DH	- Found Drill Hole																																																																																																																																																																																																																																																																																																																																																																														
FCM	- Found Concrete Monument																																																																																																																																																																																																																																																																																																																																																																														
FF	- Finished Floor																																																																																																																																																																																																																																																																																																																																																																														
FIP	- Found Iron Pipe																																																																																																																																																																																																																																																																																																																																																																														
FIPC	- Found Iron Pipe & Cap																																																																																																																																																																																																																																																																																																																																																																														
FIR	- Found Iron Rod																																																																																																																																																																																																																																																																																																																																																																														
FIRC	- Found Iron Rod & Cap																																																																																																																																																																																																																																																																																																																																																																														
FN	- Found Nail																																																																																																																																																																																																																																																																																																																																																																														
FN&D	- Found Nail & Disc																																																																																																																																																																																																																																																																																																																																																																														
FRRSPK	- Found Rail Road Spike																																																																																																																																																																																																																																																																																																																																																																														
GAR	- Garage																																																																																																																																																																																																																																																																																																																																																																														
GM	- Gas Meter																																																																																																																																																																																																																																																																																																																																																																														
ID	- Identification																																																																																																																																																																																																																																																																																																																																																																														
IE/EE	- Ingress/Egress Easement																																																																																																																																																																																																																																																																																																																																																																														
ILL	- Illegible																																																																																																																																																																																																																																																																																																																																																																														
INST	- Instrument																																																																																																																																																																																																																																																																																																																																																																														
INT	- Intersection																																																																																																																																																																																																																																																																																																																																																																														
IRRE	- Irrigation Easement																																																																																																																																																																																																																																																																																																																																																																														
L	- Length																																																																																																																																																																																																																																																																																																																																																																														
LAE	- Limited Access Easement																																																																																																																																																																																																																																																																																																																																																																														
LB#	- License No. (Business)																																																																																																																																																																																																																																																																																																																																																																														
LBE	- Limited Buffer Easement																																																																																																																																																																																																																																																																																																																																																																														
LE	- Landscape Easement																																																																																																																																																																																																																																																																																																																																																																														
LME	- Lake/Landscape Maintenance Easement																																																																																																																																																																																																																																																																																																																																																																														
LS#	- License No. (Surveyor)																																																																																																																																																																																																																																																																																																																																																																														
MB	- Map Book																																																																																																																																																																																																																																																																																																																																																																														
ME	- Maintenance Easement																																																																																																																																																																																																																																																																																																																																																																														
MES	- Mitered End Section																																																																																																																																																																																																																																																																																																																																																																														
MF	- Metal Fence																																																																																																																																																																																																																																																																																																																																																																														
MH	- Manhole																																																																																																																																																																																																																																																																																																																																																																														
MHWL	- Mean High Water Line																																																																																																																																																																																																																																																																																																																																																																														
NR	- Non-Radial																																																																																																																																																																																																																																																																																																																																																																														
NTS	- Not to Scale																																																																																																																																																																																																																																																																																																																																																																														
NAVD88	- North American Vertical Datum 1988																																																																																																																																																																																																																																																																																																																																																																														
NGVD29	- National Geodetic Vertical Datum 1929																																																																																																																																																																																																																																																																																																																																																																														
OG	- On Ground																																																																																																																																																																																																																																																																																																																																																																														
ORB	- Official Records Book																																																																																																																																																																																																																																																																																																																																																																														
ORV	- Official Record Volume																																																																																																																																																																																																																																																																																																																																																																														
O/A	- Overall																																																																																																																																																																																																																																																																																																																																																																														
O/S	- Offset																																																																																																																																																																																																																																																																																																																																																																														
OFF	- Outside Subject Property																																																																																																																																																																																																																																																																																																																																																																														
OH	- Overhang																																																																																																																																																																																																																																																																																																																																																																														
OHL	- Overhead Utility Lines																																																																																																																																																																																																																																																																																																																																																																														
OHWL	- Ordinary High Water Line																																																																																																																																																																																																																																																																																																																																																																														
ON	- Inside Subject Property																																																																																																																																																																																																																																																																																																																																																																														
P/E	- Pool Equipment																																																																																																																																																																																																																																																																																																																																																																														
PB	- Plat Book																																																																																																																																																																																																																																																																																																																																																																														
PC	- Point of Curvature																																																																																																																																																																																																																																																																																																																																																																														
PCC	- Point of Compound Curvature																																																																																																																																																																																																																																																																																																																																																																														
PCP	- Permanent Control Point																																																																																																																																																																																																																																																																																																																																																																														
PI	- Point of Intersection																																																																																																																																																																																																																																																																																																																																																																														
PLS	- Professional Land Surveyor																																																																																																																																																																																																																																																																																																																																																																														
PLT	- Planter																																																																																																																																																																																																																																																																																																																																																																														
POB	- Point of Beginning																																																																																																																																																																																																																																																																																																																																																																														
POC	- Point of Commencement																																																																																																																																																																																																																																																																																																																																																																														
PRC	- Point of Reverse Curvature																																																																																																																																																																																																																																																																																																																																																																														
PRM	- Permanent Reference Monument																																																																																																																																																																																																																																																																																																																																																																														
PSM	- Professional Surveyor & Mapper																																																																																																																																																																																																																																																																																																																																																																														
PT	- Point of Tangency																																																																																																																																																																																																																																																																																																																																																																														
PUE	- Public Utility Easement																																																																																																																																																																																																																																																																																																																																																																														
R	- Radius or Radial																																																																																																																																																																																																																																																																																																																																																																														
R/W	- Right of Way																																																																																																																																																																																																																																																																																																																																																																														
RES	- Residential																																																																																																																																																																																																																																																																																																																																																																														
RGE	- Range																																																																																																																																																																																																																																																																																																																																																																														
ROE	- Roof Overhang Easement																																																																																																																																																																																																																																																																																																																																																																														
RP	- Radius Point																																																																																																																																																																																																																																																																																																																																																																														
S/W	- Sidewalk																																																																																																																																																																																																																																																																																																																																																																														
SBL	- Setback Line																																																																																																																																																																																																																																																																																																																																																																														
SCL	- Survey Closure Line																																																																																																																																																																																																																																																																																																																																																																														
SCR	- Screen																																																																																																																																																																																																																																																																																																																																																																														
SEC	- Section																																																																																																																																																																																																																																																																																																																																																																														
SEP	- Septic Tank																																																																																																																																																																																																																																																																																																																																																																														
SEW	- Sewer																																																																																																																																																																																																																																																																																																																																																																														
SIRC	- Set Iron Rod & Cap																																																																																																																																																																																																																																																																																																																																																																														
SMWE	- Storm Water Management Easement																																																																																																																																																																																																																																																																																																																																																																														
SN&D	- Set Nail and Disc																																																																																																																																																																																																																																																																																																																																																																														
SQFT	- Square Feet																																																																																																																																																																																																																																																																																																																																																																														
STL	- Survey Tie Line																																																																																																																																																																																																																																																																																																																																																																														
STY	- Story																																																																																																																																																																																																																																																																																																																																																																														
SV	- Sewer Valve																																																																																																																																																																																																																																																																																																																																																																														
SWE	- Sidewalk Easement																																																																																																																																																																																																																																																																																																																																																																														
TBM	- Temporary Bench Mark																																																																																																																																																																																																																																																																																																																																																																														
TEL	- Telephone Facilities																																																																																																																																																																																																																																																																																																																																																																														
TOB	- Top of Bank																																																																																																																																																																																																																																																																																																																																																																														
TUE	- Technological Utility Easement																																																																																																																																																																																																																																																																																																																																																																														
TWP	- Township																																																																																																																																																																																																																																																																																																																																																																														
TX	- Transformer																																																																																																																																																																																																																																																																																																																																																																														
TYP	- Typical																																																																																																																																																																																																																																																																																																																																																																														
UE	- Utility Easement																																																																																																																																																																																																																																																																																																																																																																														
UG	- Underground																																																																																																																																																																																																																																																																																																																																																																														
UP	- Utility Pole																																																																																																																																																																																																																																																																																																																																																																														
UR	- Utility Riser																																																																																																																																																																																																																																																																																																																																																																														
VF	- Vinyl Fence																																																																																																																																																																																																																																																																																																																																																																														
W/C	- Witness Corner																																																																																																																																																																																																																																																																																																																																																																														
W/F	- Water Filter																																																																																																																																																																																																																																																																																																																																																																														
WF	- Wood Fence																																																																																																																																																																																																																																																																																																																																																																														
WM	- Water Meter/Valve Box																																																																																																																																																																																																																																																																																																																																																																														
WV	- Water valve																																																																																																																																																																																																																																																																																																																																																																														

CERTIFIED TO:
FRANCESCO VALENZANO

DATE SIGNED: 10/05/23

BUYER: FRANCESCO VALENZANO

LENDER:

TITLE COMPANY:

COMMITMENT DATE:

CLIENT FILE NO:

SEE PAGE 1 OF 2 FOR MAP OF PROPERTY
PAGE 2 OF 2 - NOT VALID WITHOUT ALL PAGES

FLOOD ZONE INFORMATION:



Exacta Land Surveyors, LLC
PLS# 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60450

1114 N. Race Ave. Arlington Heights



North - front



South - side



North – side

1114 N. Race Ave. Arlington Heights



West - rear



West/North - corner



West/South - corner

10 9 8 7 6 5 4 3 2 1

ZONING

REQUIREMENTS FOR
R-3 SINGLE FAMILY RESIDENCE DISTRICT

TOTAL LOT AREA: 9,043 sq ft

LOT WIDTH:
REQUIRED MIN. AT BUILDING LINE: 70 FT
EXISTING: 80.00 FT AT BUILDING LINE
90.00 FT at front lot line; 44.74 FT at rear lot line

LOT DEPTH: 132.72 FT / 133.69 FT

FRONT SETBACK:
REQUIRED MIN.: 25 FT
PROPOSED: 25.4 FT

SIDE SETBACK:
REQUIRED MIN.: 8 FT (10% OF LOT WIDTH AT BUILDING LINE)
PROPOSED: 8.3 FT
EXISTING SETBACK:
4.75 FT (South side)
5.5 FT (North side)

REAR SETBACK:
REQUIRED MIN.: 30 FT
PROPOSED: 40 FT

HEIGHT LIMIT:
REQUIRED MAX. ROOF HEIGHT: 25 FT
PROPOSED: 22.25 FT

FLOOR AREA RATIO :
REQUIRED MAX.: 3938+(9043-8750)x0.4)= 4,055.2 SQ FT
PROPOSED: 2,73 SQ FT
1ST FLOOR: 2,500 SQ FT
GARAGE (OVER 400 SQ FT): 230 SQ FT
TOTAL: 2,730 SQ FT

BUILDING LOT COVERAGE:
REQUIRED MAX.: 35% X 9,043 SQ FT = 3,165.05 SQ FT
PROPOSED: 3,130 SQ FT
1ST FLOOR: 2,500 SQ FT
GARAGE ATTACHED: 630 SQ FT
TOTAL: 3,130 SQ FT

IMPERVIOUS LOT COVERAGE:
REQUIRED MAX.: 50% X 9,043 SQ FT = 4,521.5 SQ FT
PROPOSED: 4,378 SQ FT
1ST FLOOR: 2,500 SQ FT
GARAGE ATTACHED: 630 SQ FT
OPEN PORCH/COVERED PATIO: 306 SQ FT
DRIVEWAY, SIDEWALKS, STEPS: 1,002 SQ FT
TOTAL: 4,438 SQ FT

IMPERVIOUS COVERAGE AT FRONT YARD:
REQUIRED MAX.: 50% X 2,130 SQ FT = 1,065 SQ FT
PROPOSED: 608 SQ FT

FOR SITE AND TREE PROTECTION INFO.
AND DETAILS SEE CIVIL DRAWING



SINGLE FAMILY
RESIDENCE
REMODELING
AND ADDITION

1114 N RACE AVE
ARLINGTON HEIGHTS, IL

OWNER:
FRANCESCO VALENZANO

DRAWING PREPARED BY:

TCH Construction Services, Inc.

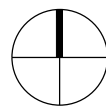
1210 E PADDOCK DR
PALATINE, IL 60074
PH: 847-877-1703
tchconstructionservices@gmail.com

DESIGN REVIEW 02.26.2024

Sheet Title:
PROPOSED SITE PLAN

Drawing Number:

A0.03



1 SITE PLAN- PROPOSED
1" = 10'-0"

SINGLE FAMILY
RESIDENCE
REMODELING
AND ADDITION

1114 N RACE AVE
ARLINGTON HEIGHTS, IL

OWNER:
FRANCESCO VALENZANO

DRAWING PREPARED BY:

TCH Construction Services, Inc.

1210 E PADDOCK DR
PALATINE, IL 60074
PH: 847-877-1703
tchconstructionservices@gmail.com

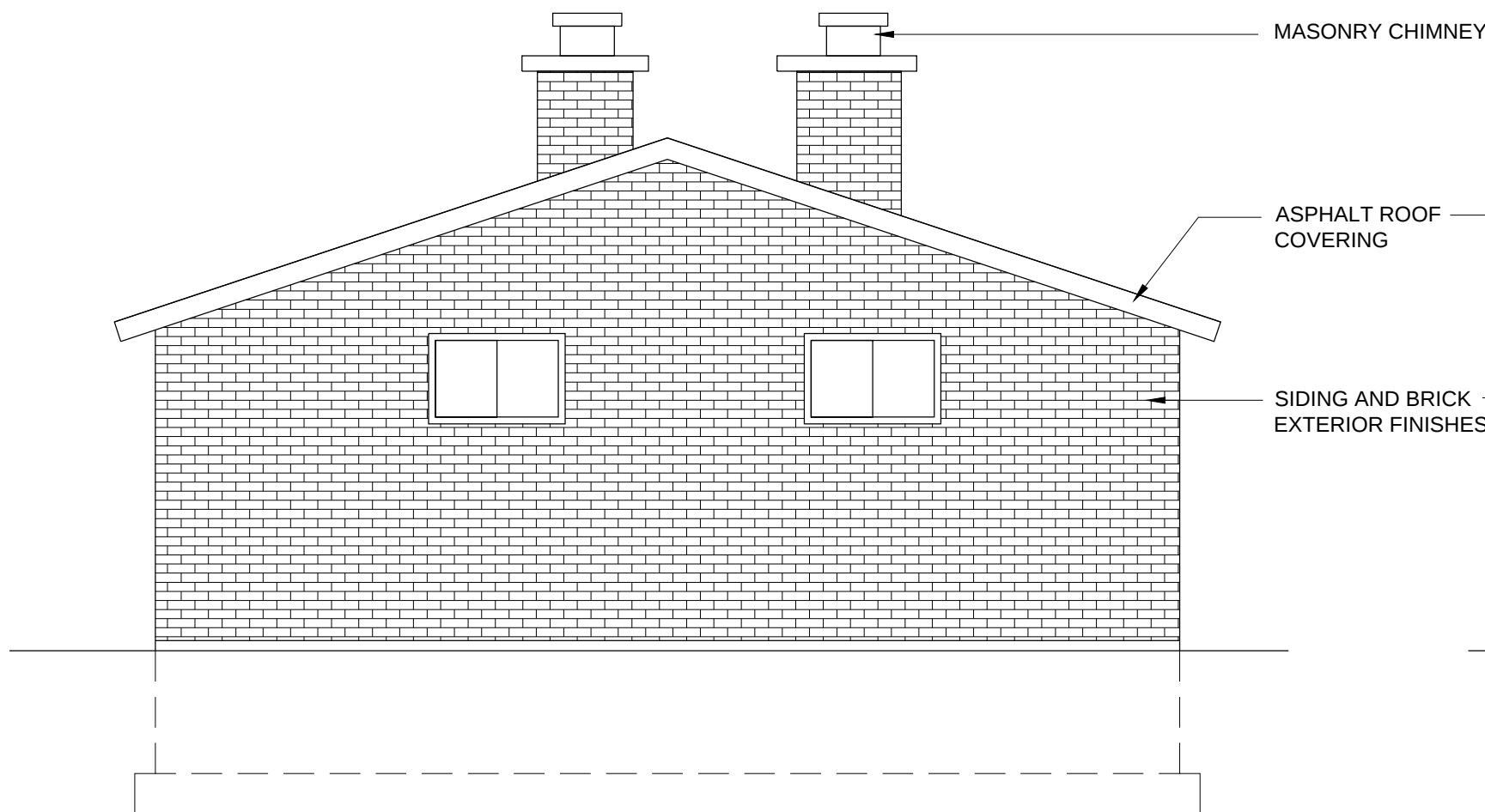
DESIGN REVIEW 02.26.2024

Sheet Title:
EXISTING FLOOR PLAN
AND ELEVATIONS

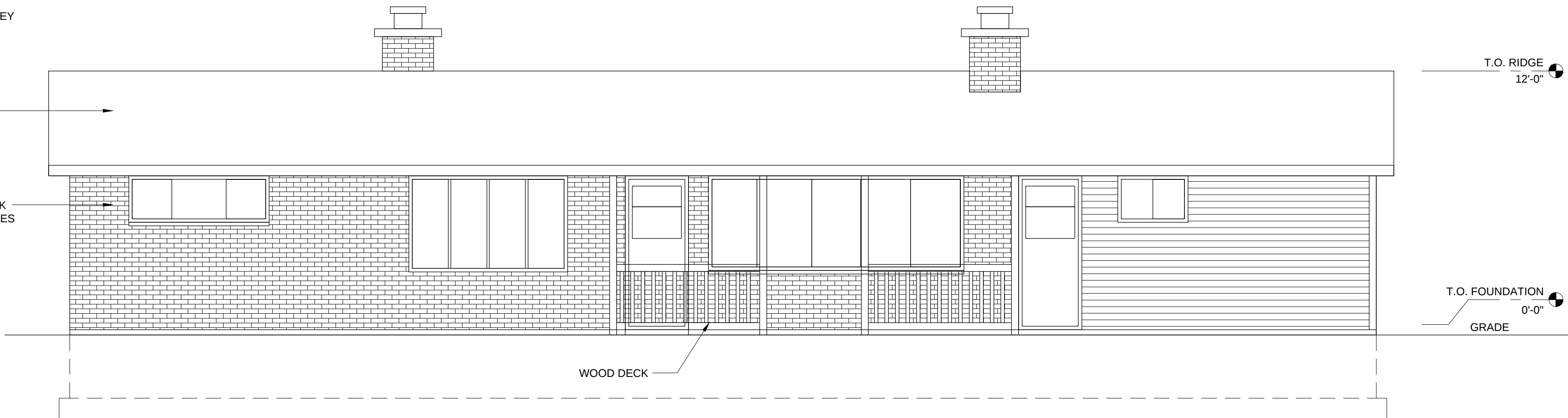
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A1.00

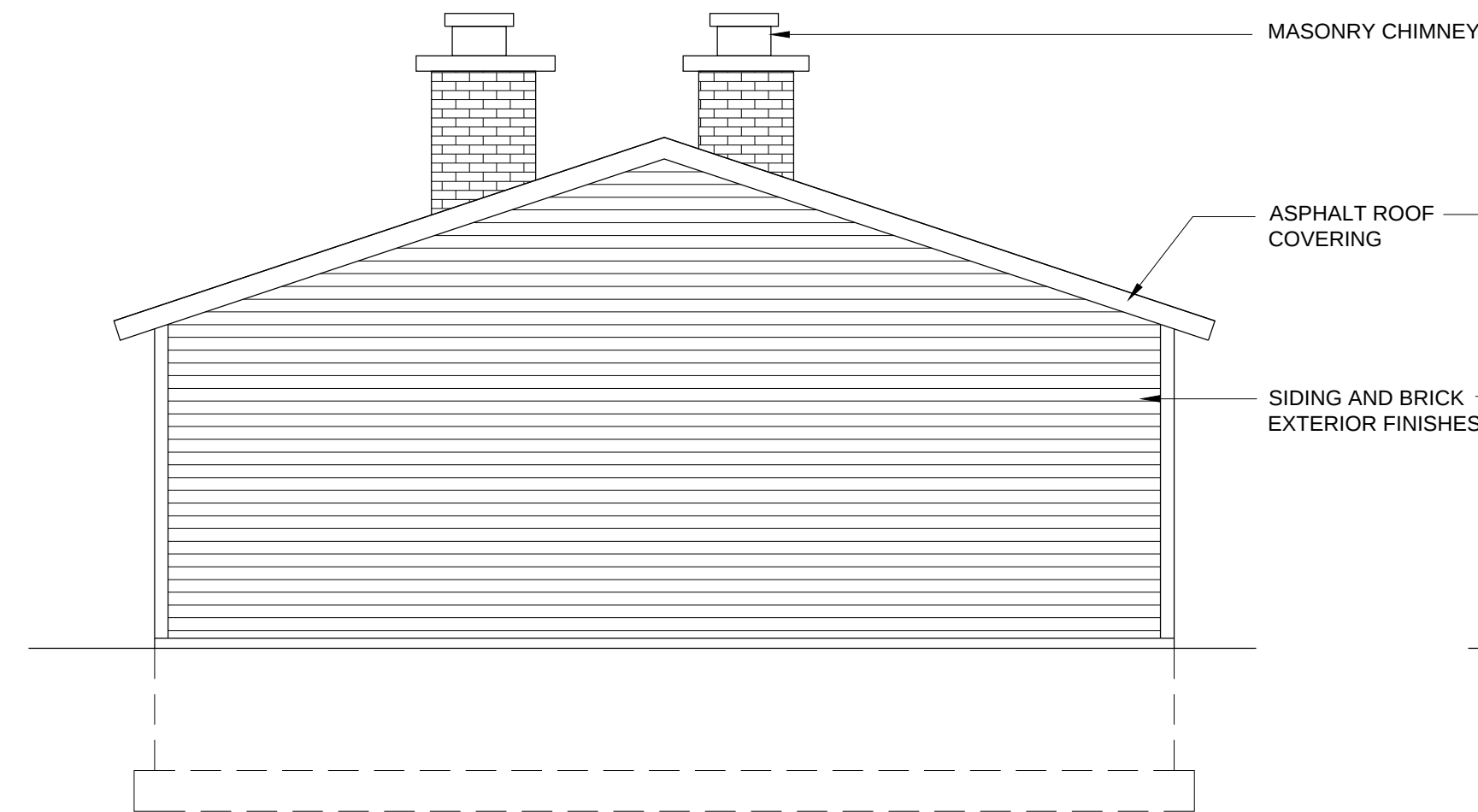
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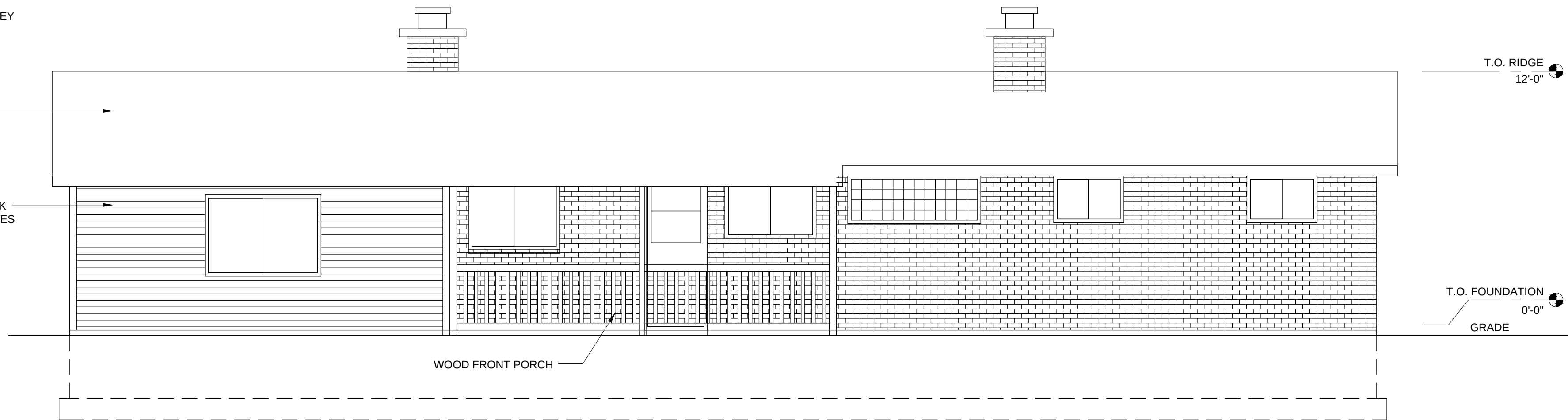
4 NORTH/RIGHT ELEVATION- EXISTING
1/4" = 1'-0"



3 WEST/REAR ELEVATION- EXISTING
1/4" = 1'-0"



5 SOUTH/LEFT ELEVATION- EXISTING
1/4" = 1'-0"



2 EAST/FRONT ELEVATION- EXISTING
1/4" = 1'-0"

SINGLE FAMILY
RESIDENCE
REMODELING
AND ADDITION

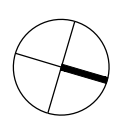
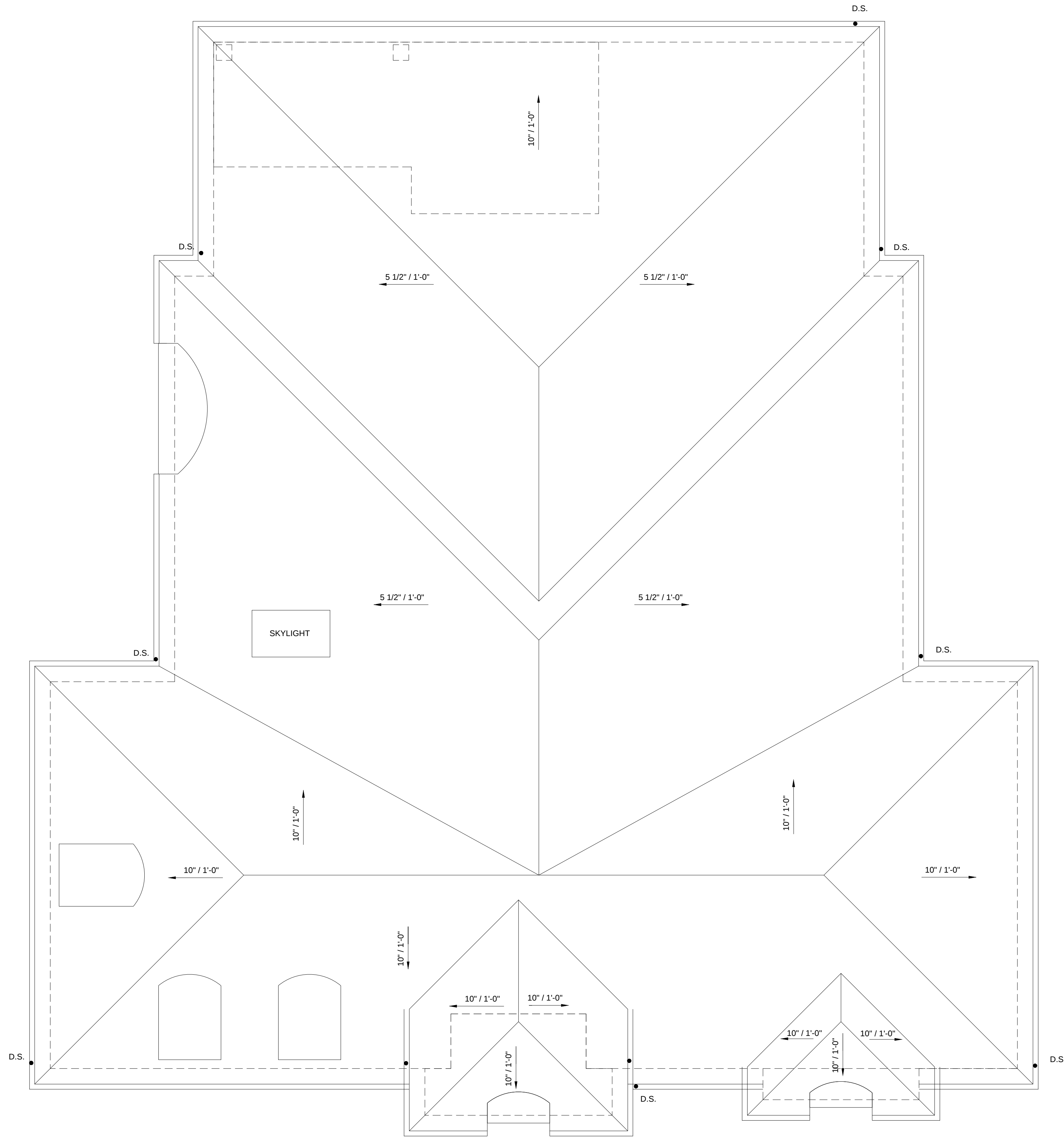
1114 N RACE AVE
ARLINGTON HEIGHTS, IL

OWNER:
FRANCESCO VALENZANO

DRAWING PREPARED BY:

TCH Construction Services, Inc.

1210 E PADDOCK DR
PALATINE, IL 60074
PH: 847-877-1703
tchconstructionservices@gmail.com



1

ROOF PLAN - PROPOSED

1/4" = 1'-0"

DESIGN REVIEW 02.26.2024

Sheet Title:

PROPOSED
ROOF PLAN

Drawing Number:

A2.03

A3.01



SINGLE FAMILY
RESIDENCE
REMODELING
AND ADDITION

1114 N RACE AVE
ARLINGTON HEIGHTS, IL

OWNER:
FRANCESCO VALENZANO

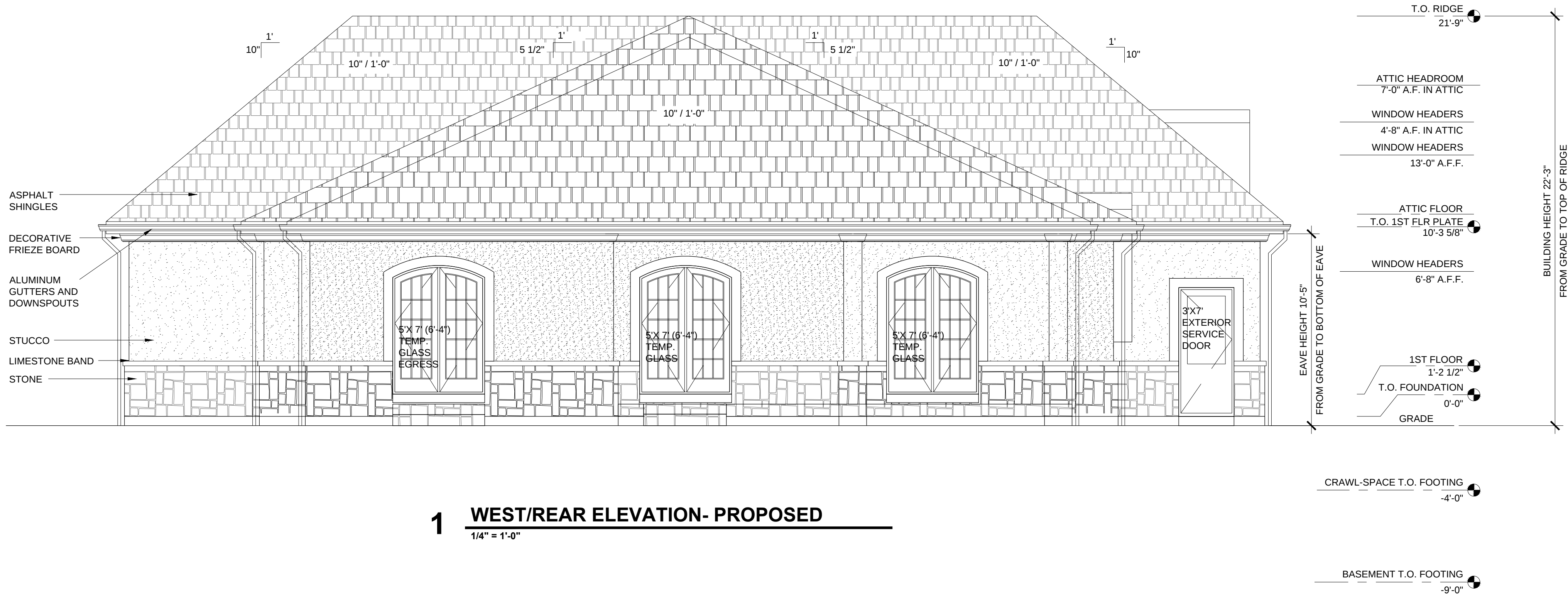
DRAWING PREPARED BY:

TCH Construction Services, Inc.

1210 E PADDOCK DR
PALATINE, IL 60074
PH: 847-877-1703
tchconstructionservices@gmail.com



2 NORTH/RIGHT ELEVATION- PROPOSED
1/4" = 1'-0"



1 WEST/REAR ELEVATION- PROPOSED
1/4" = 1'-0"

DESIGN REVIEW 02.26.2024

Sheet Title:

PROPOSED
ELEVATIONS

Drawing Number:

A3.02

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Monday, April 8, 2024, 7:00 P.M. in the **Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois**, at which time the Zoning Board of Appeals will consider a request for:

- A 3.3-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback along the south property line of 4.8 feet instead of the required 8.1 feet and an additional 1.0 foot for the eave.
- A 2.6-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback along the north property line of 5.5 feet instead of the required 8.1 feet and an additional 1.0 foot for the eave.
- A 250 square-foot variation from Chapter 28, Section 5.1-3.5 (Maximum Building Lot Coverage) to allow building lot coverage of 3,415 square-feet where 3,166 is the maximum allowed by code.
- A 4.4-foot variation from Chapter 28, Section 10.271.1 to allow a driveway that is 26.4 feet wide where the maximum width allowed is 22 feet.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:
LOT 190 IN RAYMOND L. LUTGER'S SUBDIVISION OF THE WEST 78 ACRES OF THE SOUTHWEST 1/4 OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THE SOUTH 25 FEET) IN COOK COUNTY, ILLINOIS.
Commonly known as: 1114 N Race Avenue,
Arlington Heights, IL 60004

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Erin Mercado at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5793 (Voice), (847) 368-5980 (Fax) or emercado@yah.com.
Peter Siovelis, Chairman
Zoning Board of Appeals
Published in Daily Herald March 23, 2024 (4613572)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Northwest Suburbs **Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 03/23/2024 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY

Designee of the Publisher of the Daily Herald

Control # 4613572

