



Village of Arlington Heights
Conceptual Plan Review Committee
Community Room, 3rd Floor
Arlington Heights Village Hall, 33 S. Arlington Heights Rd.
May 11, 2022
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. New Hope Academy - 3250 N Arlington Heights Rd - 6/23/21
- B. Braxton Yards - 1 S Douglas Ave - 5/26/21
- C. Family Entertainment Center - 220 W Rand Rd - 1/8/20

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. 4 N. Douglas Apartments - 1 S. Douglas Ave. - T1666
Planned Unit Development, Land Use Variation to allow a multi-family building in B-2 District, Subdivision, Variation
- B. Clearbrook Adult Daycare - 1815-1835 W. Central Rd. - T1767
Land Use Variation to allow Adult Daycare in the B-2 District, Variation
- C. Orchard Evangelical Free Church - 1330 N Douglas Ave - T1766
Plat of Subdivision to Consolidate

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Rosangela Maldonado, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, rmaldonado@vah.com or (847)368-5791.



Conceptual Plan Review Committee
5/11/2022

Item: New Hope Academy - 3250 N Arlington Heights Rd - 6/23/21

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
New Hope Academy - 3250 N Arlington Heights Rd - 6/23/21	Minutes

REPORT OF THE PROCEEDINGS OF
THE CONCEPTUAL PLAN REVIEW COMMITTEE

OF THE VILLAGE OF ARLINGTON HEIGHTS PLAN COMMISSION

A PUBLIC MEETING WAS HELD ON:

June 23, 2021

Project Title: New Hope Academy LUV Amendment
Address: 3250 N. Arlington Heights Road, 200 Wing

Petitioner: Brandy Larrance
New Hope Academy
Address: 3250 N. Arlington Heights Rd. 200 Wing
Mokena, IL 60448

Requested Action:

1. Amendment to Land Use Variation Ordinance #17-016 to allow an expansion of the existing Private School.

Variations Required:

- None identified at this time

Attendees: Brandy Larrance, New Hope Academy
David Larrance, New Hope Academy
Bruce Green, Plan Commissioner
Lynn Jensen, Plan Commissioner
John Sigalos, Plan Commissioner
Sam Hubbard, Development Planner

Project Summary:

New Hope Academy is a private therapeutic day school that provides education for students with special needs in grades six through twelve. The Arlington Heights Zoning Ordinance classifies this facility as a “Private School”, which is not permitted within the current M-1, Research, Development, and Light Manufacturing District zoning classification of the subject. However, in 2018 the school received a Land Use Variation to allow them to open their school within the multi-tenant office building at 3250 North Arlington Heights Road. New Hope is proposing an expansion into a neighboring unit within that building, which requires an amendment to their existing Land Use Variation.

The existing facility is approximately 18,000 square feet and has capacity for up to 95 students with 35 employees. The proposed expansion would increase the size of the school to approximately 26,500 square feet and enrollment capacity to approximately 135 students. The total number of employees is estimated to increase from a maximum of 35 to a maximum of 50 employees. Hours of operation are between 8:00am and 2:30pm on Monday through Thursday, and between 9:00am and 2:30pm on Friday. New Hope Academy would like to have the building ready for occupancy for the 2021 fall semester

The subject property is 5.42 acres in size and the single-story building on the site contains approximately 73,000 square feet. Primary access to the site comes from two driveways onto North Arlington Heights Road; the northern access point provides right-in/right-out access only, and the southern access point provides full access to North Arlington Heights Road. A third entrance/exit access drive leads from the southwestern corner of the site down to University Drive with eventual access to the signalized intersection of University Drive and Arlington Heights Road. The site contains a total of 272 parking spaces for the approximately 73,000 square foot building.

Meeting Discussion:

Ms. Larrance explained that New Hope Academy is already located at 3250 N Arlington Heights Road and they have been there since 2017 in the “200 Wing” of the building. Since then, they have opened up an additional campus in Glenview and

would like to bring that campus to Arlington Heights. Ms. Larrance stated that they like the Arlington Heights community. She said that the Arlington Heights Police & Fire Department are amazing. They feel that this community is a better use for their resources and better interest for the kids, for their staff, they are looking to utilize suite 100, not the entire wing, but part of the suite and move their east campus from Glenview and consolidate it within an expansion at their Arlington Heights location. This will allow for two small schools, but create a larger campus feel so the kids can have more opportunities to socialize and do after school activities.

Commissioner Green. Said that he cuts through that area a lot and when New Hope was there, the parking lot was showing a lot of activity. He said that before it looked pretty empty for a long time and he was happy to see them back. He said it seems like the perfect building because it puts the academy away from other tenants.

Commissioner Sigalos asked if this is a vacant space that will be taken over?

Mr. Larrance responded yes.

Commissioner Sigalos said this makes all the sense in the world to go here.

Mr. Hubbard stated that New Hope got a land use variation back in 2017 to allow the existing school in the existing unit, but because of the expansion, they are required to go through the process to amend the land use variation. He explained that at the time of the original land use variation, the existing building was about 60% vacant and now it is much more active, there is a fairly large Cook County medical office tenant in the building, and New Hope is in there as well and they wanted to expand. Like many of the projects that come before the Plan Commission, parking and traffic is going to be a key portion of the analysis. The building is now more occupied, so analyzing the parking situation is something that is going to be critical to ensure sufficient onsite parking. Petitioner will need to submit parking surveys and a traffic and parking analysis from a certified traffic engineer to take a look at all the parking and traffic aspects. As far as Staff knows, New Hope has been able to integrate very well into the building with the other tenants and also into the neighborhood. Therefore, from a land use standpoint we believe this use to be compatible to the other tenants and neighboring property owners. Landscaping would also get reviewed. He stated that Staff is generally supportive at this point, just needed additional information on traffic and parking. Once additional details are provided, a parking variation may be required.

Commissioner Sigalos does not have any questions, states that he's happy to see that things are good and New Hope wanted to expand and stay in Arlington Heights. Supports the concept.

Commissioner Jensen doesn't have any questions. Thinks it's a great project and is supportive of the project.

Commissioner Green states he thinks it's a great project and hopes that the parking works out because he feels that given the orientation and configuration of the building, the user doesn't create any problems for the other tenants.

No public raised their hands to comment.

RECOMMENDATION

The Conceptual Plan Review Committee encouraged the petitioner to proceed forward with their application.

Bruce Green, Chair
CONCEPTUAL PLAN REVIEW COMMITTEE
Sam Hubbard, Recorder



**Conceptual Plan Review Committee
5/11/2022**

Item: Braxton Yards - 1 S Douglas Ave - 5/26/21

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Braxton Yards - 1 S Douglas Ave - 5/26/21	Minutes

REPORT OF THE PROCEEDINGS OF
THE CONCEPTUAL PLAN REVIEW COMMITTEE

OF THE VILLAGE OF ARLINGTON HEIGHTS PLAN COMMISSION

HELD AT VILLAGE HALL VIRTUALLY ON:

May 26, 2021

Project Title: Braxton Yards

Address: 1 S. Douglas Ave.
Arlington Heights, IL 60004

Petitioner: Marc McLaughlin - M/I Homes of Chicago, LLC

Address: 400 E. Diehl Road - #230
Naperville, IL 60563

Requested Action:

1. A Comprehensive Plan Amendment to reclassify the site from Mixed Use to High Density Multi-Family
2. Rezoning from the B-2, General Business District to the R-7, Multiple-Family Dwelling District.
3. Planned Unit Development (PUD) to allow for a 14-unit rowhome development.
4. Plat of Subdivision
5. If each rowhome unit is subdivided into its own lot, certain variations will be required.

Variations Required:

- Chapter 28, Section 5.1-20.1d, Building Setbacks, to allow a 10.4' side yard setback where code requires an approximately 12' setback, and to allow an approximately 5.5' setback from the Douglas Avenue frontage where code requires an 8'-10' setback.
- Chapter 28, Section 5.1-7.1, to allow buildings to be separated 14' where code requires a 25' separation.
- Chapter 28, Section 10.2-13, Maximum Number of Spaces, to exceed code by 50%.
- Chapter 28, Section 10.2-9, to allow tandem parking spaces.

Attendees: Marc McLaughlin, M/I Homes
Scott Barenbrugge, M/I Homes
John Sigalos, Plan Commissioner
Bruce Green, Plan Commissioner
Jay Cherwin, Plan Commissioner
Lynn Jensen, Plan Commissioner
Sam Hubbard, Development Planner

Project Summary:

The subject property is approximately 1.16 acres (50,548 square feet) and is bounded by Kensington Road to the south and Douglas Avenue to the west. The eastern edge of the site contains a Union Pacific railroad spur line, which provides freight access to the Heller Lumber Company located north of the subject property. Approximately 13,500 square feet of the northern portion of the property is within the R-7 Zoning District and the southern 37,237 square feet of the property is within the B-2 Zoning District. Additionally, the entire property is within the Hickory / Kensington Overlay District and is part of the Hickory / Kensington Area Plan, both of which were established in 2013. The property is also located within the Hickory/Kensington TIF District, which was adopted by the Village Board in 2014. The subject property is improved with an at grade overflow parking lot that most recently served the nearby Mariano's grocery store, which overflow parking lot is not heavily used. To the west of the property on the other side of the spur line, a 76 unit five-story apartment building with ground floor commercial space was approved in 2018. Construction of that building has yet to commence, although the developer has informed the Village that construction will start this summer.

M/I Homes, the petitioner, is proposing to develop the southern portion of the subject property with 14 rowhomes in a

layout similar to what they constructed at the “Sigwalt 16” development in Downtown Arlington Heights. Additionally, the developer will dedicate land to the Village to allow for Campbell Street to be extended between Hickory Avenue and Douglas Avenue, which dedication would occur roughly around the existing division between the R-7 and B-2 zoning districts. The remaining R-7 portion of the property will be left vacant. The Village is contemplating the purchase of this portion of the site with the intention to land bank it for future redevelopment.

The proposed development consists of a three separate rowhome buildings, each four stories tall with rear loaded garages and a recessed fourth floor. Similar to Sigwalt 16, each unit will come with two ground floor parking spaces with the optional upgrade to add a third parking space (tandem style). Eight guest parking spaces have been incorporated within the rear motorcourt area. The unit interiors would be customizable to offer two-bedroom units, three-bedroom units, or four-bedroom units depending on the individual options chosen by the purchaser. Access to the site would come from a single, full access non-signalized driveway entrance along Douglas Avenue.

Meeting Discussion:

Mr. McLaughlin said they came to the April 2019 Plan Commission meeting two years ago where they presented the Sigwalt-16 project, which was proposed by a different ownership group. They are presenting a new project in a different location, but a similar product. Presenting the project on Route 14/Douglas Avenue/Kensington Road; it would include 14 units in three buildings with one site entrance leading to rear loaded townhomes. Floorplans would be very similar to Sigwalt 16, although they have been slightly updated. The buildings would be setback a minimum of 8 feet from all lot lines, although there may be a slight encroachment on one elevation for a Fire Alarm Control Panel room. Site would have 25-foot-wide drive aisles. He stated this is very comparable to Sigwalt 16

Mr. Barenbrugge added that the project would have a very similar scale and massing to the Sigwalt 16 project, although this project would have larger building separations given the geometry of this site.

Mr. Hubbard stated the Village is excited to see this project and is generally supportive at this point. The property is zoned B-2 and R-7 and is also in the Hickory/Kensington Overlay District. The B-2 zone will need to be rezoned as R-7. This property is part of the Hickory Kensington planning area. The proposed development fits the form envisioned by the plan. It is meeting many of the goals of the plan; Staff is supportive of the rezoning and the single use of the site. Certain variations would be required and staff is preliminarily supportive of these variations. The site is required to be subdivided and land must be dedicated for an extension of Campbell. The Village is discussing purchasing the remaining balance on the north side of Campbell to landbank for future development there. Mr. Hubbard said the petitioner will have to coordinate with both the Village and the UP to determine what type of railroad crossing and infrastructure is actually needed. Staff is still working with petitioner as far as what type of streetscape improvements are needed.

Commissioner Jensen didn't have comments, questions, or concerns.

Commissioner Cherwin said it looks like a good product and location, although slightly less dense than previously envisioned for this site. Supportive of the project.

Commissioner Green said he liked the project and encouraged the petitioner to move forward.

Commissioner Sigalos stated he was supportive of this project. Asked Mr. McLaughlin about affordable housing.

Mr. McLaughlin explained that they would conform to the new affordable housing ordinance/guidelines and would provide a fee-in-lieu of affordable units as allowed by the ordinance.

RECOMMENDATION

The Conceptual Plan Review Committee encouraged the petitioner to move forward with a Plan Commission application.

Bruce Green, Chair
CONCEPTUAL PLAN REVIEW COMMITTEE

Sam Hubbard, Recorder



Conceptual Plan Review Committee
5/11/2022

Item: Family Entertainment Center - 220 W Rand Rd -1/8/20

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Family Entertainment Center - 220 W Rand Rd - 1/8/20	Minutes

REPORT OF THE PROCEEDINGS OF
THE CONCEPTUAL PLAN REVIEW COMMITTEE

OF THE VILLAGE OF ARLINGTON HEIGHTS PLAN COMMISSION

HELD AT VILLAGE HALL ON:

January 8, 2020

Project Title: Family Entertainment Center LUV

Address: 220 W. Rand Rd.

Petitioner: Djordje Markovic

Address: SMG Real Estate
415 W Liberty St
Wauconda, IL 60084

Requested Action:

1. Special Use Permit to allow a Large Amusement Facility

Variations Required:

- Chapter 28, Section 6.12-1.2.a, to waive the requirement for a traffic and parking analysis from a qualified professional engineer

Attendees: Djordje Markovic, Petitioner
John Sigalos, Plan Commissioner
Bruce Green, Plan Commissioner
Lynn Jensen, Plan Commissioner
Sam Hubbard, Development Planner

Project Summary:

The petitioner, Djordje Markovic, would like to lease a vacant unit within the Arlington Plaza shopping center to open and operate a family entertainment business (Kudo Games). The following services would be offered at the facility:

- | | |
|-------------------------|--|
| • Laser tag | • Arcade games |
| • 3 Escape rooms | • 3 Birthday/special event rooms |
| • 2 Axe throwing stalls | • Small lounge area for adults |
| • eSports game room | • Small concessions/prepared food area |

Hours of operation would be Monday through Thursday by reservation only, Friday from 4:00pm to 10:00pm, Saturday 10:00am to 10:00pm, and Sunday 10:00am to 8:00pm. Per the petitioner's business plan, there would be approximately 8-10 employees working at peak times.

The unit in question has been vacant since 2018 and contains approximately 17,875 square feet of floor area. The unit was previously occupied by Windy City RC, a remote-control car business. The Arlington Plaza shopping center, approved via PUD in 1970, includes a total of approximately 291,919 square feet of shopping center floor area plus an additional 11,750 square feet divided into three outlot buildings (JD's Q & Brew, Olson Rug, Arby's). A fourth outlot exists at the corner of Rand Road and Arlington Heights Road (First Northwest Bank), but it is not part of the PUD and is under separate ownership. The shopping center is under singular ownership and is located on 27.21 acres of land and includes a total of 1,139 parking spaces. According to the petitioner, the shopping center is 93% leased.

Meeting Discussion:

Mr. Markovic stated wants to open up something like a Chucky Cheese but for teens and adults. Facility would include

laser tag, three escape rooms, e-sport arena with an x-box for kids and also axe throwing, and arcade games. The primary focus will be birthday parties, team building events, and they would be open to the general public. They would be open Friday-Sunday, and also on Monday - Thursday by appointment only. Food will be prepackaged. There will not be a kitchen and no alcohol. The axe room has an age limit of 13 and would be supervised.

Mr. Hubbard stated the unit is part of the Arlington Plaza shopping center which was approved by PUD in 1970 and is in the B-2 General Business District. The proposed business is classified as a large amusement facility and it would require a special use permit. A response to the special use standards would be required. Stated the petitioner is requesting a variation to waive the parking and traffic study. The proposed use is compatible with the comprehensive plan. There are no changes being requested for the exterior of the building or site, but staff would check the existing landscaping to ensure it is up to code as part of the Plan Commission review process. Staff is requesting a parking lot survey to verify that the shopping center has sufficient parking to accommodate for the proposed use. Relative to code requirements, the parking at the shopping center is code compliant; there's a 93-space surplus. Amusement facilities generate a high parking demand at peak times, about double what could be expected for a standard retail use of the same size, and staff is not supportive of a variation to waive the parking study requirement. Staff is generally supportive with the use but is requesting a parking study from petitioner as part of the application.

Commissioner Jensen asked about the parking survey.

Mr. Markovic stated that he feels the parking study wouldn't be accurate given the time of year.

Commissioner Green and recommended that the parking survey be done.

Mr. Markovic stated he looked at the parking study for Chuck E. Cheese and did not believe that the code required parking for some of the uses accurately captured their true demand.

Commissioner Green replied that he has been to the shopping center that includes the Chuck E. Cheese and often found the parking lot to be full.

Mr. Hubbard said he hoped that the parking survey would show there is plenty of available parking stalls to accommodate for the demand from the proposed business, but that the Plan Commission would need to see the survey as part of their review and analysis.

Commissioner Jensen said he likes the use and is supportive.

Commissioner Sigalos asked if the petitioner owned or operated any similar facilities.

Mr. Markovic replied "no".

Commissioner Sigalos said he is supportive of the project.

Commissioner Green said he likes the project and recommended that the petitioner work on the parking survey.

RECOMMENDATION

The Conceptual Plan Review Committee advised the petitioner to proceed forward with their application.

Bruce Green, Chair
CONCEPTUAL PLAN REVIEW COMMITTEE
Sam Hubbard, Recorder



**Conceptual Plan Review Committee
5/11/2022**

Item: 4 N. Douglas Apartments - 1 S. Douglas Ave - T1666

Department: Planning & Community Development

Requested Action

1. Planned Unit Development to allow a 64 unit residential building.
2. Land Use Variation to allow a Multi-Family residential-only building within the B-2 District
3. Preliminary Plat of Subdivision

Variations Required

4. Chapter 28, Section 5.1-20.1(e), to allow 64 dwelling units on 33,109 square feet of land where 38,400 square feet is required.

RECOMMENDATION

The Staff Development Committee has reviewed the proposed PUD, Plat of Subdivision and Variation and is supportive of the project, subject to the following conditions:

1. Provide a written justification to support any requested variations as per the hardship criteria outlined in the Zoning Ordinance:
 - The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.
 - The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.
 - The proposed variation is in harmony with the spirit and intent of this Chapter.
 - The variance requested is the minimum variance necessary to allow reasonable use of the property.
2. Engineering plans, details and storm water detention calculations shall be required as part of the formal review process.
3. A market assessment shall be required to demonstrate a need for this type and

size development at this location.

4. The developer shall provide affordable units pursuant to the Inclusionary Housing Ordinance.

5. Appearance before the Housing Commission shall be required.

6. Design Commission review shall be required prior to the Plan Commission hearing.

7. The petitioner shall construct and dedicate the extension of Campbell Street from Douglas Avenue up to the railroad spur line, and across the railroad spur, as feasible.

8. A detailed traffic and parking study from a Certified Traffic engineer that assesses access (location, design, and Level of Service), on-site circulation, trip generation and distribution, parking, and impacts to public streets shall be required.

9. School, Park, and Library contributions shall be required per Code prior to the issuance of a building permit.

10. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:

Description

Staff Report

Aerial

Conceptual Plans

Type

Board or Commission Report

Exhibits

Exhibits



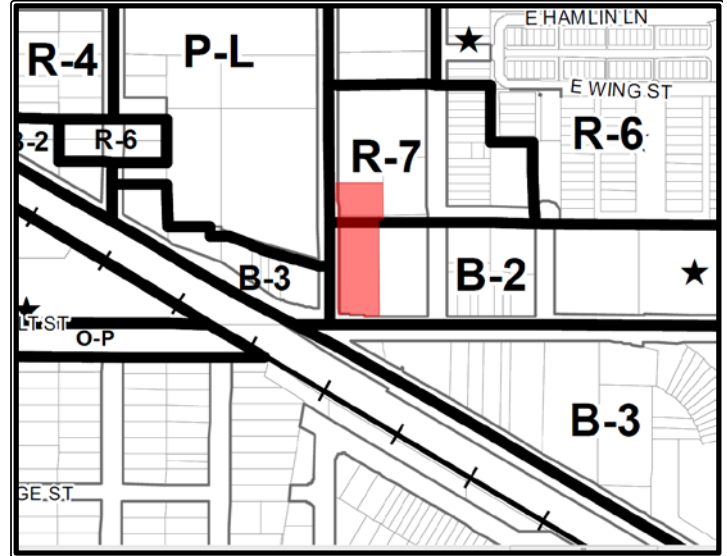
VILLAGE OF ARLINGTON HEIGHTS STAFF DEVELOPMENT COMMITTEE REPORT

Temp File Number: T1666
Project Title: 4 N. Douglas Apartments
Address: 1 N. Douglas Ave.
PIN: 03-29-408-002 and 03-29-405-005

To: Conceptual Plan Review Committee
Prepared By: Sam Hubbard, Development Planner
Meeting Date: May 11, 2022
Date Prepared: May 6, 2022

Petitioner: Guido Neri
Neri Architects
Address: 6400 N. Northwest Hwy. – Suite 4
Chicago, IL 60631

Existing Zoning: B-2: General Business District,
R-7: Multi-Family Dwelling District, Hickory-
Kensington Overlay District
Comprehensive Plan: Mixed Use, High-Density
Multi-Family



SURROUNDING LAND USES

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	R-7: Multi-Family Dwelling District	Lumber Yard (Heller Lumber)	High-Density Multi-Family
South	B-3: General Service, Warehouse, and Motor Vehicle District	Parkway greenspace and Union Pacific railroad tracks	Commercial
East	R-7: Multi-Family Dwelling District B-2: General Business District	Vacant land and surface parking lot	High-Density Multi-Family, Mixed Use
West	B-3: General Service, Warehouse, and Motor Vehicle District P-L: Public Lands District	Recreation Park	Parks

Requested Action:

1. Planned Unit Development to allow a 64 unit residential building.
2. Land Use Variation to allow a Multi-Family residential-only building within the B-2 District
3. Preliminary Plat of Subdivision

Variations Required:

4. Chapter 28, Section 5.1-20.1(e), to allow 64 dwelling units on 33,109 square feet of land where 38,400 square feet is required.

Project Background:

The subject property is approximately 1.16 acres (50,737 square feet) and is bounded by Kensington Road to the south and Douglas Avenue to the west. The eastern edge of the site contains a Union Pacific railroad spur line, which provides freight access to the Heller Lumber Company located north of the subject property. Approximately 13,500 square feet of the northern portion of the property is within the R-7 Zoning District and the southern 37,237 square feet of the property is within the B-2 Zoning District. Additionally, the entire property is within the Hickory / Kensington Overlay District and is part of the Hickory / Kensington Area Plan, both of which were established in 2013. The property is also located within the Hickory/Kensington TIF District, which was adopted by the Village Board in 2014. The subject property is improved with an at grade overflow parking lot that serves the nearby Mariano's grocery store, which overflow parking lot is not heavily used. To the west of the property on the other side of the spur line, the petitioner was recently approved for a 76 unit five-story apartment building with ground floor commercial space. Construction of that building has yet to commence.

The applicant is proposing to develop the southern B-2 zoned portion of the subject property. Additionally, the developer will dedicate land to the Village to allow for Campbell Street to be extended between Hickory Avenue and Douglas Avenue, which dedication would occur roughly around the division between the R-7 and B-2 zoning districts. The remaining R-7 portion of the property will be left vacant. The Village is contemplating the purchase of this portion of the site with the intention to land bank it for future redevelopment.

The proposed development consists of a 54-foot tall five-story apartment building with 64 units. A total of 97 parking spaces would be located throughout the basement, ground floor, and on a surface lot at the exterior of the building. The dwelling units would be located on floors two through five and would consist of 32 one-bedroom units (50%), and 32 two-bedroom units (50%). All dwelling units would be rental. The second floor would feature a 1,187 square foot exterior amenity deck for the building.

Zoning and Comprehensive Plan

The portion of the subject property proposed for development is located within the B-2, General Business District, and the entire property is within the Hickory / Kensington Overlay Zoning District. The proposed development must comply with the regulations within each of these zoning classifications, however, the overlay regulations supersede the B-2 zoning regulations where the requirements of the overlay differ from those in the B-2 District. All developments within the Hickory / Kensington Overlay zone are required to develop as a PUD, and therefore PUD approval is required.

Staff has identified the need for a land use variation to allow an apartment building within the B-2 District, as well as a density variation to increase the number of units by six. Additional variations may be identified once detailed plans have been provided. As part of any Plan Commission application, the petitioner will be required to provide written responses to the approval criteria for each requested Variation, which criteria is summarized below:

- **The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.**
- **The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.**
- **The proposed variation is in harmony with the spirit and intent of this Chapter.**
- **The variance requested is the minimum variance necessary to allow reasonable use of the property.**

Given the current lot size, proposed unit mix, and the Villages' density requirements, the subject property could accommodate 58 dwelling units. The developer has proposed 64 units, which translates to a density increase of six units above code requirements. Staff notes that if the developer was not required to dedicate 8,521 square feet of land for the Campbell Street extension, the subject property could yield 74 units per the density requirements and proposed unit mix. Staff is supportive of the density variation as the developer will be dedicating land to the Village and due to the fact that the proposed development meets all bulk standards such as height and setbacks, and meets

the goals of the Hickory / Kensington Area Plan as will be outlined later within this report. Additionally, density increases are allowed per the Inclusionary Housing Ordinance, although they technically still require a variation.

The Comprehensive Plan classifies the subject property as “Mixed Use”. Although the proposed building will be a residential-only development, staff believes this to be appropriate given the low volume of traffic along Douglas and limited site access. In addition, the building conforms with the Hickory / Kensington Area Plan, which specifically indicates that this site should be occupied by a structure four to five floors in height.

All multi-family developments that include ten or more units are required to conform to the Village’s Inclusionary Housing Ordinance. The developer shall be required to provide 10% (6 units) as affordable per the Inclusionary Housing Ordinance, which requires 10% of units as affordable if public assistance is provided. The developer is seeking TIF assistance. An appearance before the Housing Commission will be required.

Hickory / Kensington Area Plan

As identified above, the subject property is part of the Hickory / Kensington Area Plan, which provides development guidelines for future redevelopment within the neighborhood in order to create a new, vibrant mixed-use area. The proposed development is consistent with the goals of the Hickory / Kensington Plan in several ways:

- **Height**: The subject property is classified as appropriate for a 4-5 story building per the Plan. The proposed 5-story building is consistent with this designation.
- **Setback**: The Plan calls for mixed use buildings to be setback no more than 5’ from the sidewalk along Douglas. The proposed building is abutting the sidewalk with no setback along Douglas, however, to break up the façade along Douglas, certain portions of the building are setback 5’ from the property line.
- **Street Grid**: The proposed development will facilitate the continuation of the street grid by enabling the extension of Campbell Street from Hickory Avenue to Douglas Avenue. This is consistent with one of the goals of the Hickory / Kensington Plan.

Staff supports the concept given that the plan complies with the Hickory / Kensington Area Plan and will help to realize the Plans’ vision for redevelopment of this area.

Site Design

The developer will be required to subdivide the property to create two lots. The two lots will be separated by 66’ of land, which will be dedicated for the extension of Campbell Street from Douglas Avenue to the eastern edge of the subject property. This will mirror what is under construction on the opposite side of the spur line. The petitioner will need to coordinate with Union Pacific and the Illinois Commerce Commission to determine what type of railroad crossing infrastructure (warning lights, crossing gates, etc.) will be needed to connect Campbell Street from Hickory to Douglas. Additionally, the petitioner should verify the northern building setback as the location of the property line is somewhat unclear on the plans submitted. The northern lot may possibly be acquired by the Village, subject to a development agreement if approved by the Village Board.

The petitioner shall explore the possibility of a 3-foot tall decorative black aluminum fence at the eastern edge of the proposed parking lot, separating the parking area from the spur line. The development must conform to all MWRD requirements and on-site detention will be required. The petitioner has indicated that detention will be provided within an underground detention vault beneath the parking lot. As part of the Plan Commission process, the petitioner shall provide details on any proposed ground-mounted mechanical infrastructure, which must be appropriately located and screened with landscaping.

Building Design

The proposed development appeared before the Design Commission for a preliminary review on May 14, 2019. Given the amount of time since the last review, a second preliminary review before the Design Commission is advised. Staff is supportive of the general design as it mirrors the architecture of the approved mixed use building on the other side

of the spur line. The developer is encouraged to incorporate sustainable features as per Goal #9 of the Hickory / Kensington Area Plan, which recommends the inclusion of “bio swales for storm water management, green buildings and energy efficient street lighting.”

Landscaping/Streetscape Improvements/Infrastructure

A code compliant Landscape and Tree Preservation Plan will be required within any formal Plan Commission application, including building foundation plantings, landscape islands within the parking lot at the ends of each parking row, and shade trees in all parking lot islands.

Staff will work with the petitioner to provide streetscape improvements as outlined in the Hickory / Kensington Area Plan. Preliminary design includes an “enhanced” 10-foot wide sidewalk along Kensington, which includes a small parkway between the sidewalk and street. Staff is evaluating the location of this sidewalk and will work with the developer on the best alignment. The petitioner will need to work with staff relative to the Douglas Avenue streetscape, where there is currently mature landscaping and several street trees. As part of the Plan Commission process, the Village will need to evaluate where the sidewalk should be placed along Douglas, and whether on-street parking spaces should be extended further south than existing. Along the Campbell Street side, a standard sidewalk and parkway (including street trees) will be required. These design elements are still being determined and shall be finalized prior to Plan Commission application.

With regards to infrastructure, a sanitary sewer extension is needed along Douglas Avenue extending from the existing combined sewer within Kensington to the northern side of the property. Additionally, a water main must be constructed along Campbell Street from Douglas to Hickory. Additional infrastructure needs may be identified once detailed plans are submitted for review.

Building/Life Safety

The proposed site plan appears to use Douglas and Campbell as the code required fire lanes. Additional details are needed on the location of hydrants, length of hose stretches, and the location and width of all proposed fire lanes. If it is determined that the east side of the building is needed as an additional fire lane, a secondary egress connection may be required at the south of the drive aisle along the east side of the building. The petitioner should provide a Fire Access plan for review by the Village prior to finalizing their plans for Plan Commission submittal.

Traffic and Parking

Per zoning requirements, the subject property must provide 96 parking spaces based on the number of residential units (see Table I below). The subject property proposes 97 parking spaces, which complies with Code.

Chapter 28, Section 6.12, Traffic Engineering Approval, requires that planned unit developments provide a traffic and parking study from a certified traffic engineer. The study needs to assess access (location, design, and Level of Service), on-site circulation, trip generation and distribution, parking, and impacts to public streets. This study should take into account the petitioners proposed development at Hickory / Kensington, as well as the Arlington Beer Company development proposed along Hickory Avenue.

Table I – Parking Calculations

PROPOSED USE	CODE USE	NUMBER OF DWELLING UNITS	PARKING REQUIREMENT	PARKING REQUIRED
Residential Use	Multi-family	64	1.5 spaces per unit	96
			Total Required	96
			Total Provided	97
			Surplus / (Deficit)	1

One 10' x 35' loading space for the development is required, and the plan notes that there will be loading berth located at the southeast corner of the site. Additional details shall be provided, such as the size of this space and the screening for this space, and how the space will be accessed. Heavy landscaping should be incorporated along the south of this area to screen the loading berth from view. Finally, the petitioner will need to provide details on the size and width of all parking spaces (both interior and exterior) and drive aisles to determine if any variations are required.

RECOMMENDATION

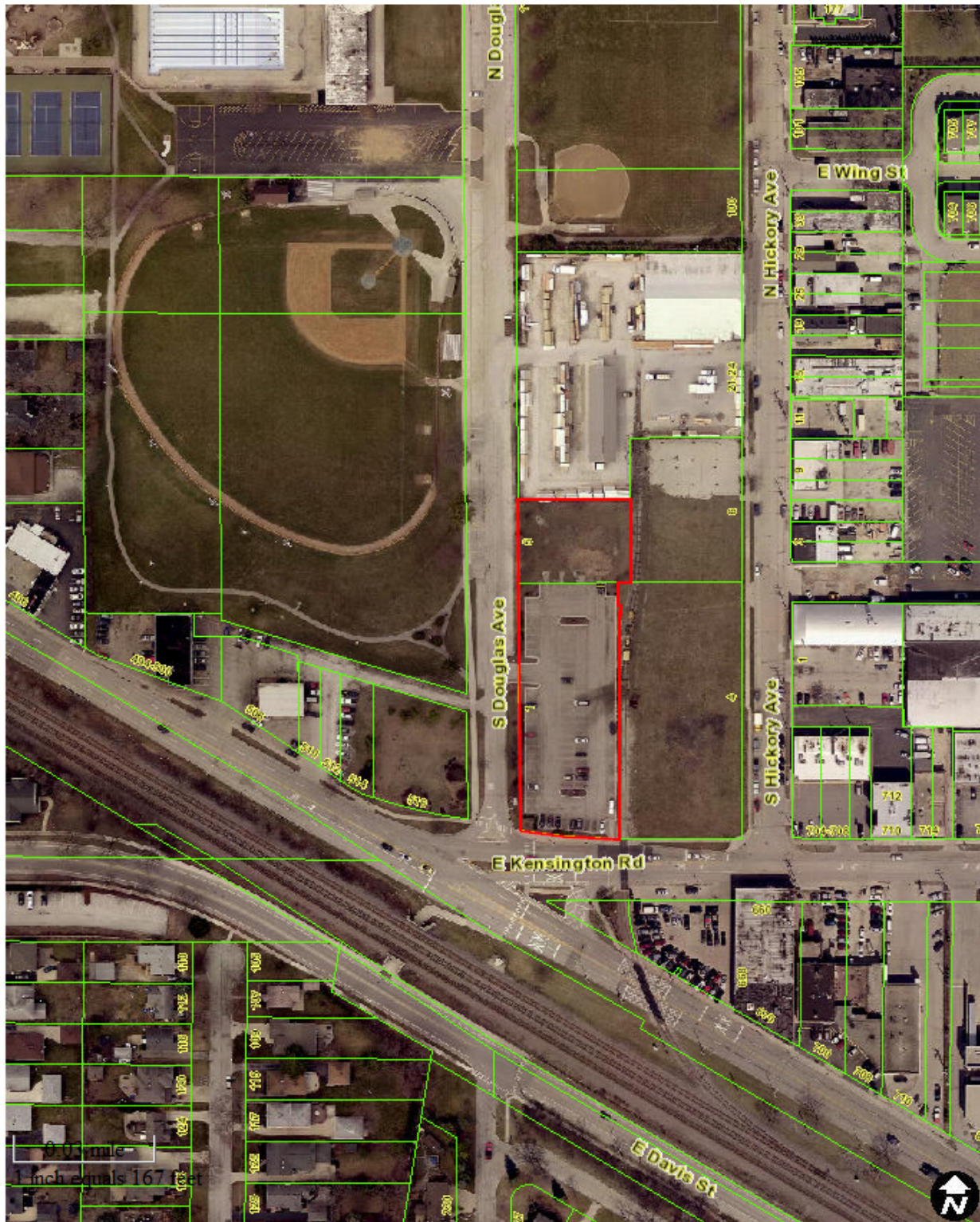
The Staff Development Committee has reviewed the proposed PUD, Plat of Subdivision and Variation and is supportive of the project, subject to the following conditions:

1. Provide a written justification to support any requested variations as per the hardship criteria outlined in the Zoning Ordinance:
 - **The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.**
 - **The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.**
 - **The proposed variation is in harmony with the spirit and intent of this Chapter.**
 - **The variance requested is the minimum variance necessary to allow reasonable use of the property.**
2. Engineering plans, details and storm water detention calculations shall be required as part of the formal review process.
3. A market assessment shall be required to demonstrate a need for this type and size development at this location.
4. The developer shall provide affordable units pursuant to the Inclusionary Housing Ordinance.
5. Appearance before the Housing Commission shall be required.
6. Design Commission review shall be required prior to the Plan Commission hearing.
7. The petitioner shall construct and dedicate the extension of Campbell Street from Douglas Avenue up to the railroad spur line, and across the railroad spur, as feasible.
8. A detailed traffic and parking study from a Certified Traffic engineer that assesses access (location, design, and Level of Service), on-site circulation, trip generation and distribution, parking, and impacts to public streets shall be required.
9. School, Park, and Library contributions shall be required per Code prior to the issuance of a building permit.
10. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

May 6, 2022

Bill Enright, Assistant Director of Planning and Community Development

Cc: Randy Recklaus, Village Manager
All Department Heads
Temp File 1666



Map created on May 3, 2019.

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Disclaimer: This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

PROPOSAL FOR

RESIDENTIAL APARTMENT BUILDING

LOCATED AT:
4 N DOUGLAS

APRIL 22, 2022

SUBMITTED TO:

THE VILLAGE
OF
ARLINGTON HEIGHTS

BY:





PROJECT DATA	
ADDRESS	4 N Douglas
ZONING	B-2 (Hickory/Kensington Overlay District)
LOT AREA	33,109.30 (total lot area = 50,737.5)
USE	residential

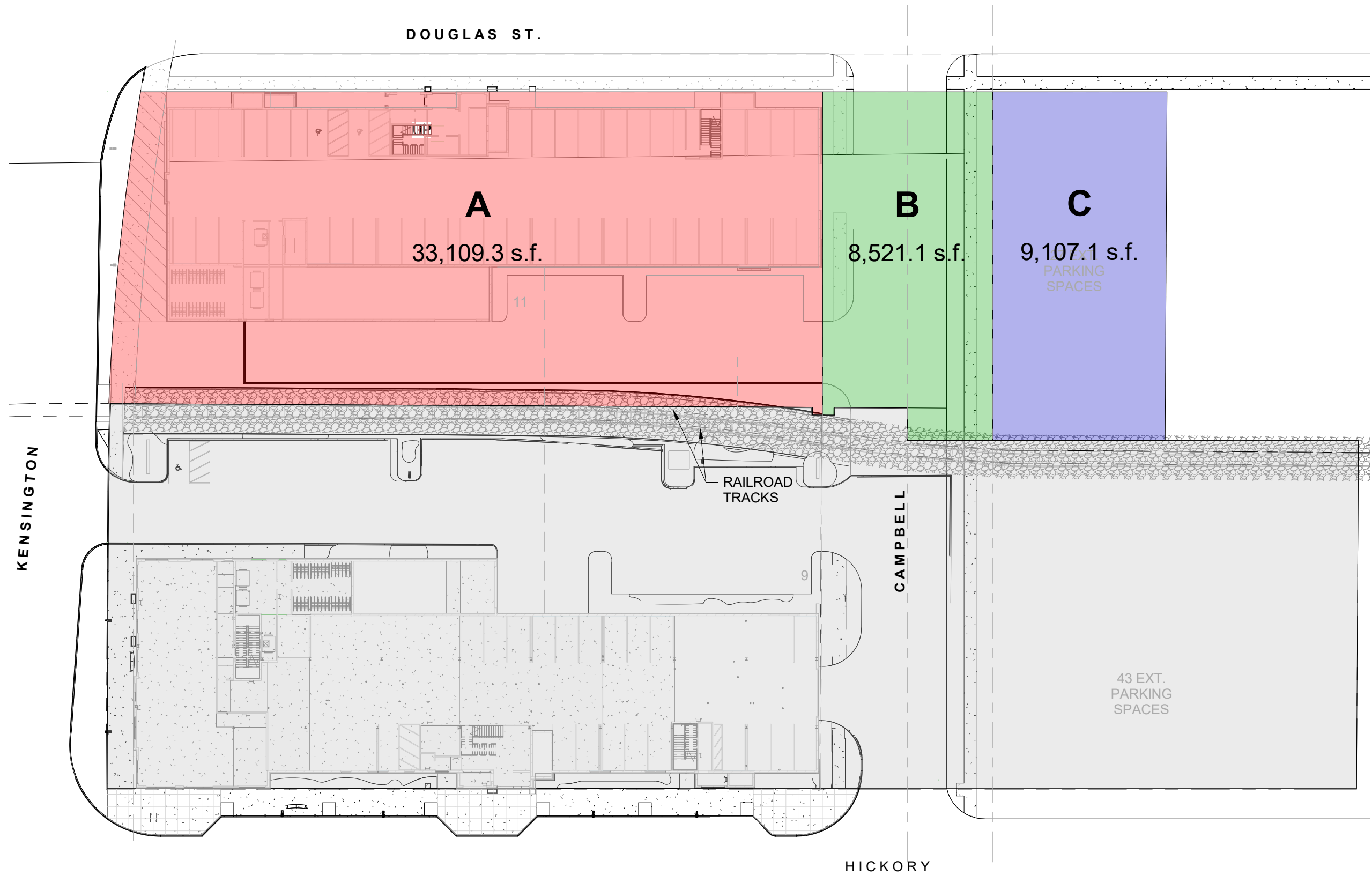
	ACTUAL/PROPOSED		REQUIRED	
	ratio		ratio	
MIN LOT AREA *based on new proposed code amendment for overlay district				
Multi-family building				
Unit types				
1 bedroom	32		450 s.f./unit	14,400.00
2 bedroom	32		750 s.f./unit	24,000.00
TOTAL	64			38,400.00

LOT COVERAGE				
footprint area	0.57	18,886.60		
LOT COVERAGE RATIO	0.57	18,886.60	N/A	

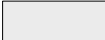
FLOOR AREA				
ground floor				
commercial		0.00		
garage (residential)		17,229.00		
accessory (residential)		1,657.60		
TOTAL		18,886.60		
2nd floor				
common area (residential)		3,788.00		
residential		13,741.80		
TOTAL		17,529.80		
Typical floor (3-5)				
common area (residential)		2,313.00		
residential		15,068.50		
SUB-TOTAL		17,381.50		
TOTAL (3 floors)		52,144.50		
TOTAL BUILDING	2.67	88,560.90	N/A	

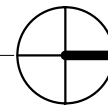
PARKING				
multi-family			1.5	96
indoor		86		
outdoor		11		
TOTAL		97		96
TOTAL DEVELOPMENT		97		96
surface	30%	9,935.10	33%	10,926.07



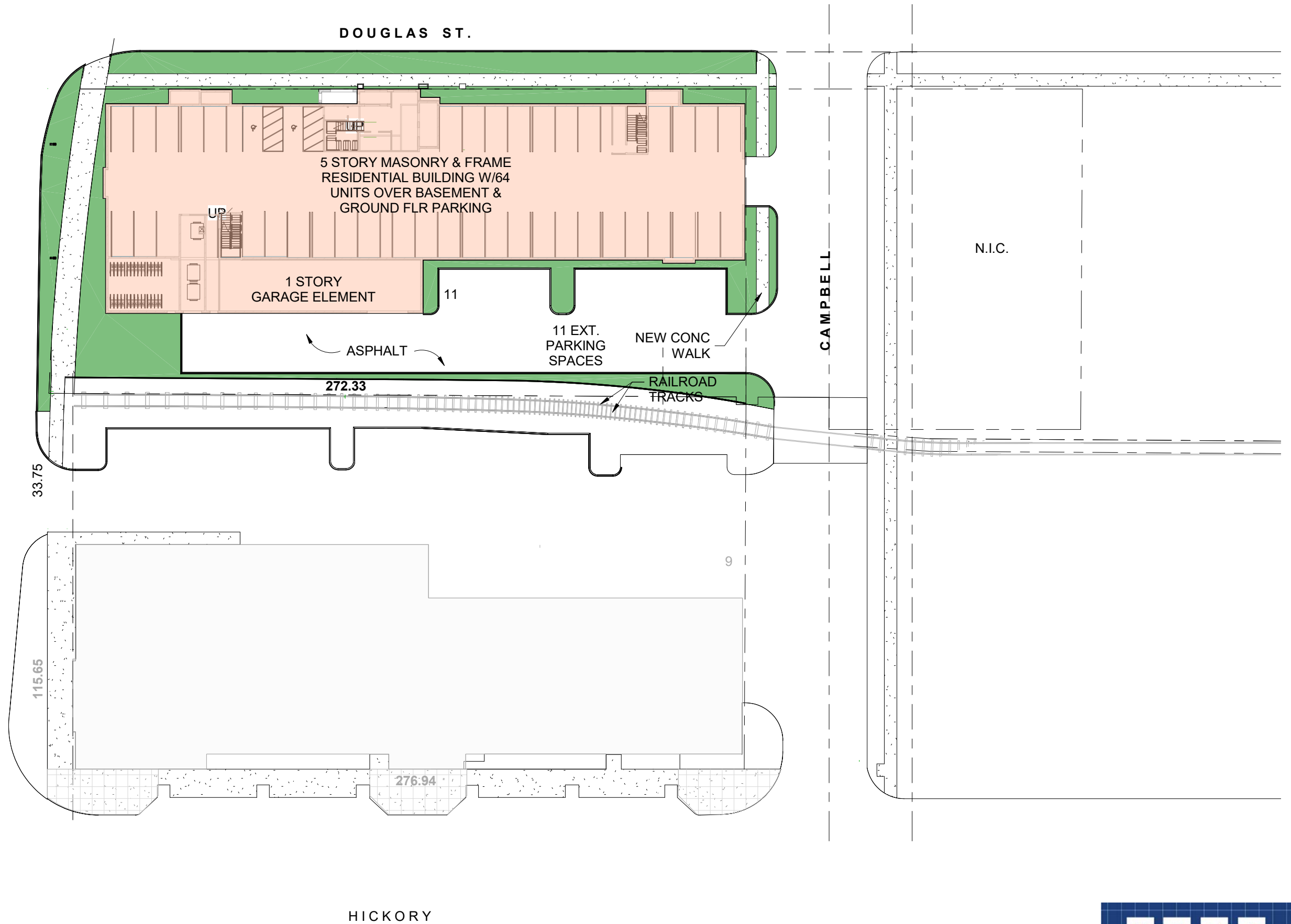


1 LOT AREAS
AC-1.1 SCALE: 1" = 40'-0"

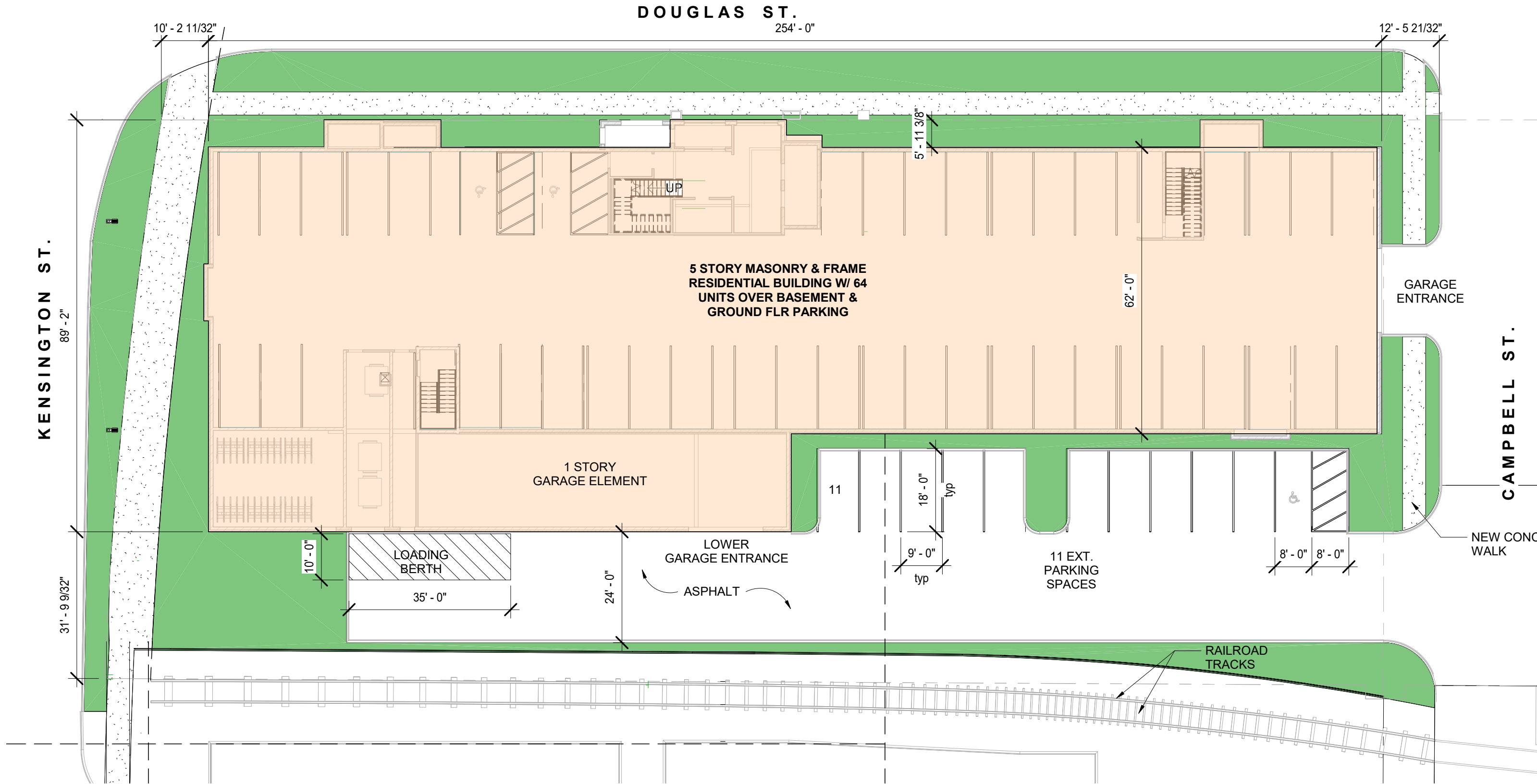
- | | | | |
|---|------------------|---|--------------------------|
|  | NOT IN SCOPE |  | DEDICATED TO CAMPBELL ST |
|  | SUBJECT PROPERTY |  | NEW PARKING LOT AREA |



KENSINGTON

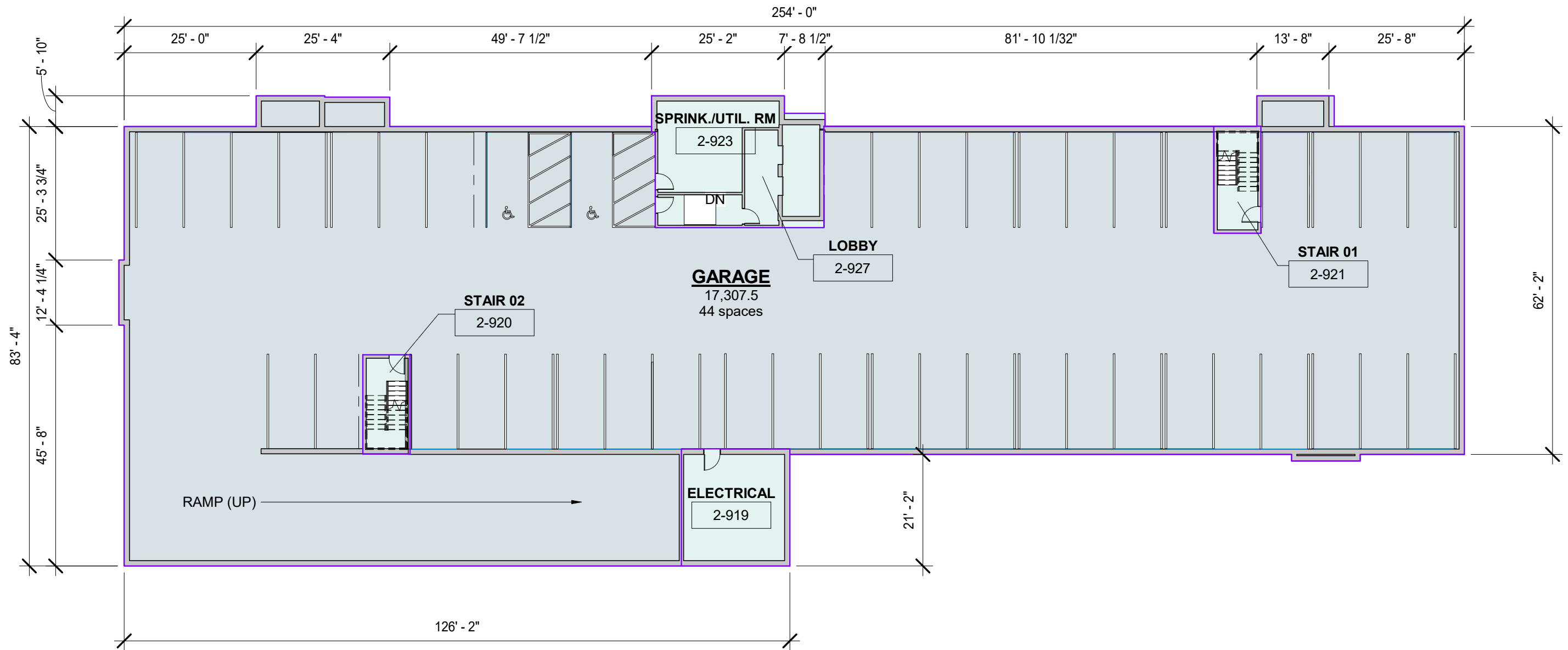


1 CONCEPTUAL SITE PLAN
AC-2 SCALE: 1" = 40'-0"

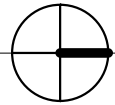


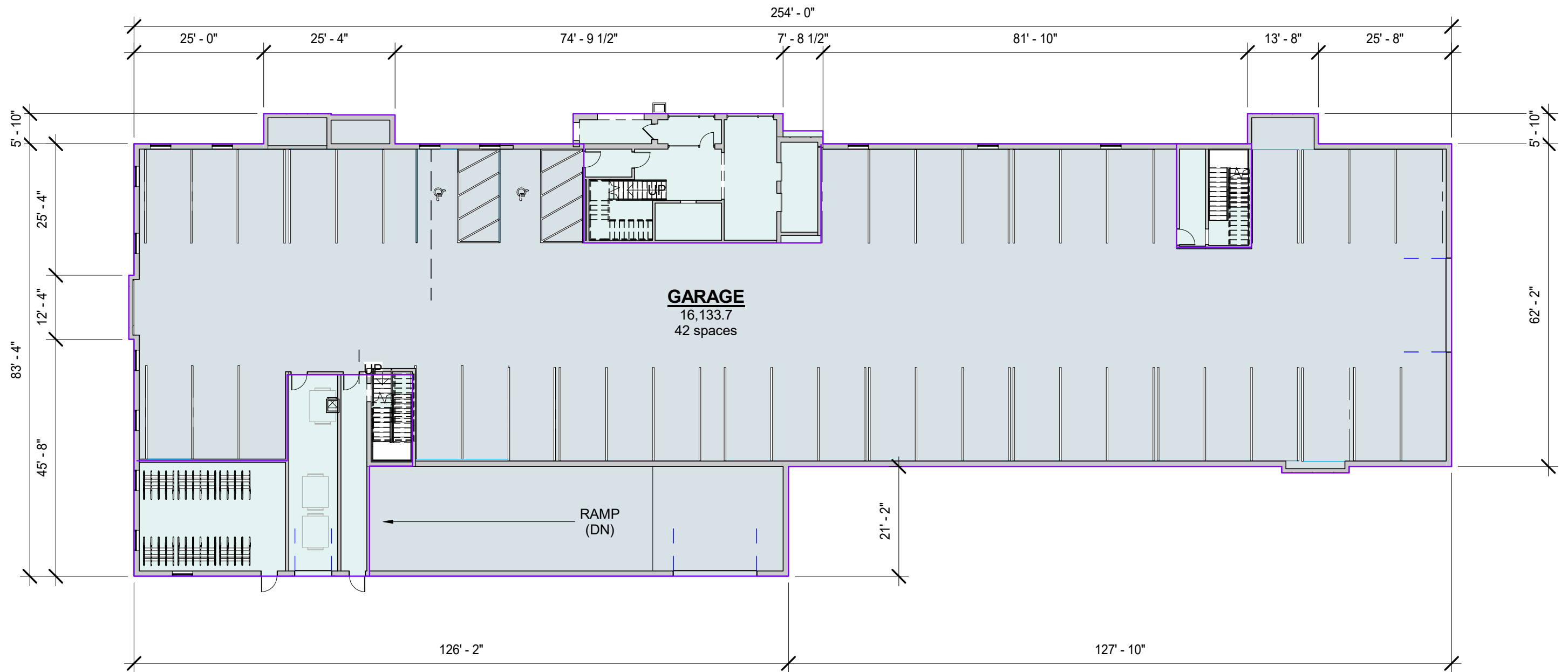
AC-2.1.1

1 CONCEPTUAL SITE PLAN
AC-2.1.1 SCALE: 1" = 20'-0"



1 BASEMENT
AC-3 SCALE: 1" = 20'-0"

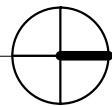


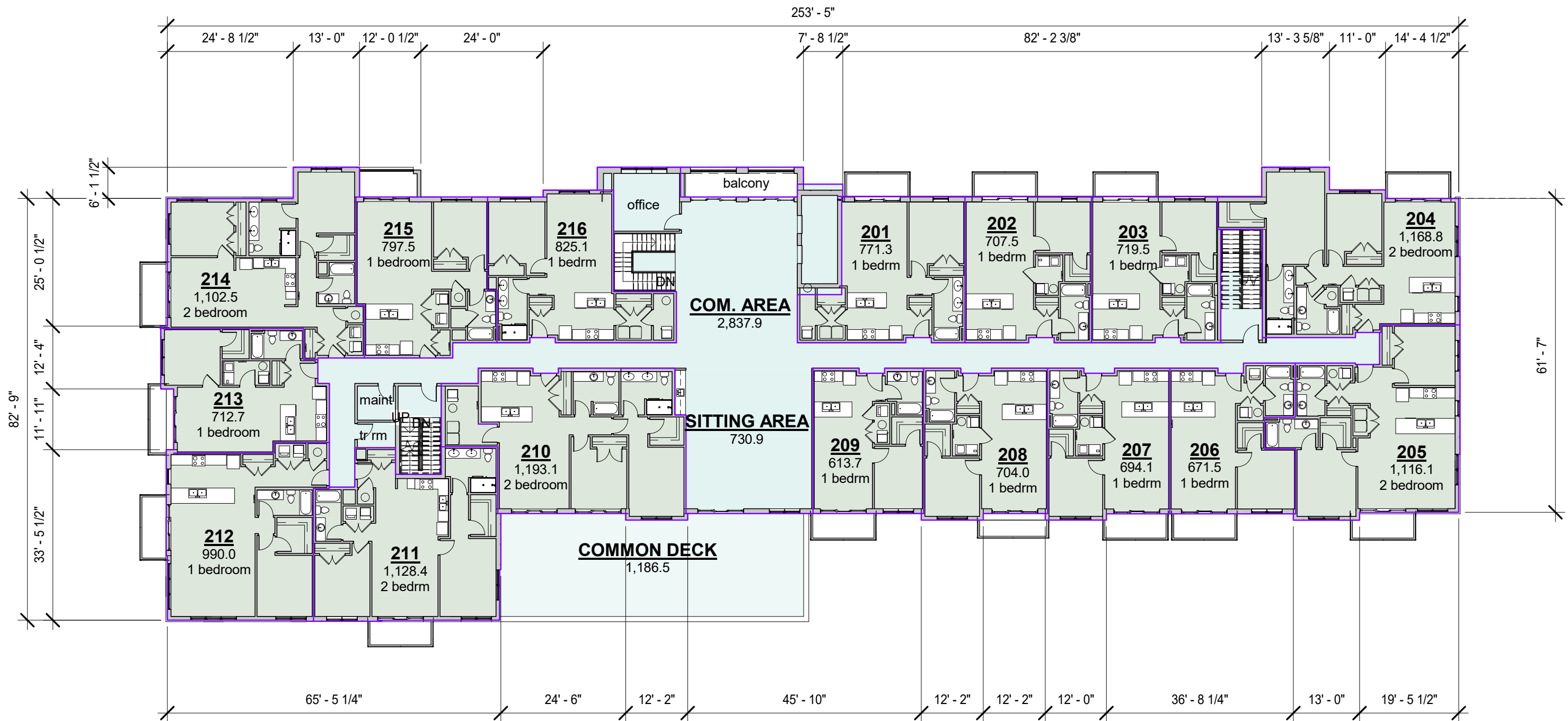


1
AC-4

FIRST FLOOR

SCALE: 1" = 20'-0"

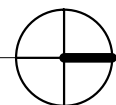


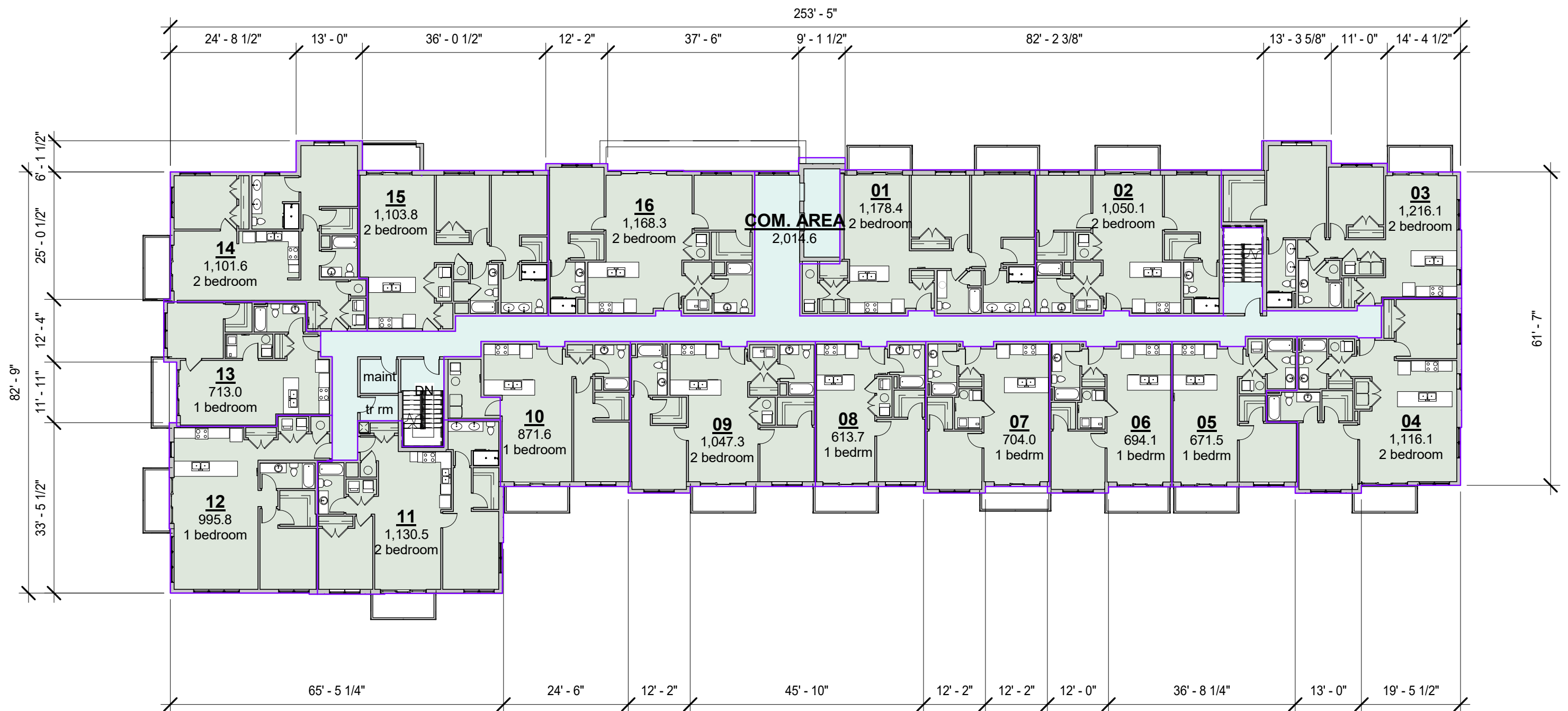


1
AC-5

SECOND FLOOR

SCALE: 1" = 20'-0"

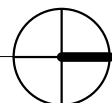


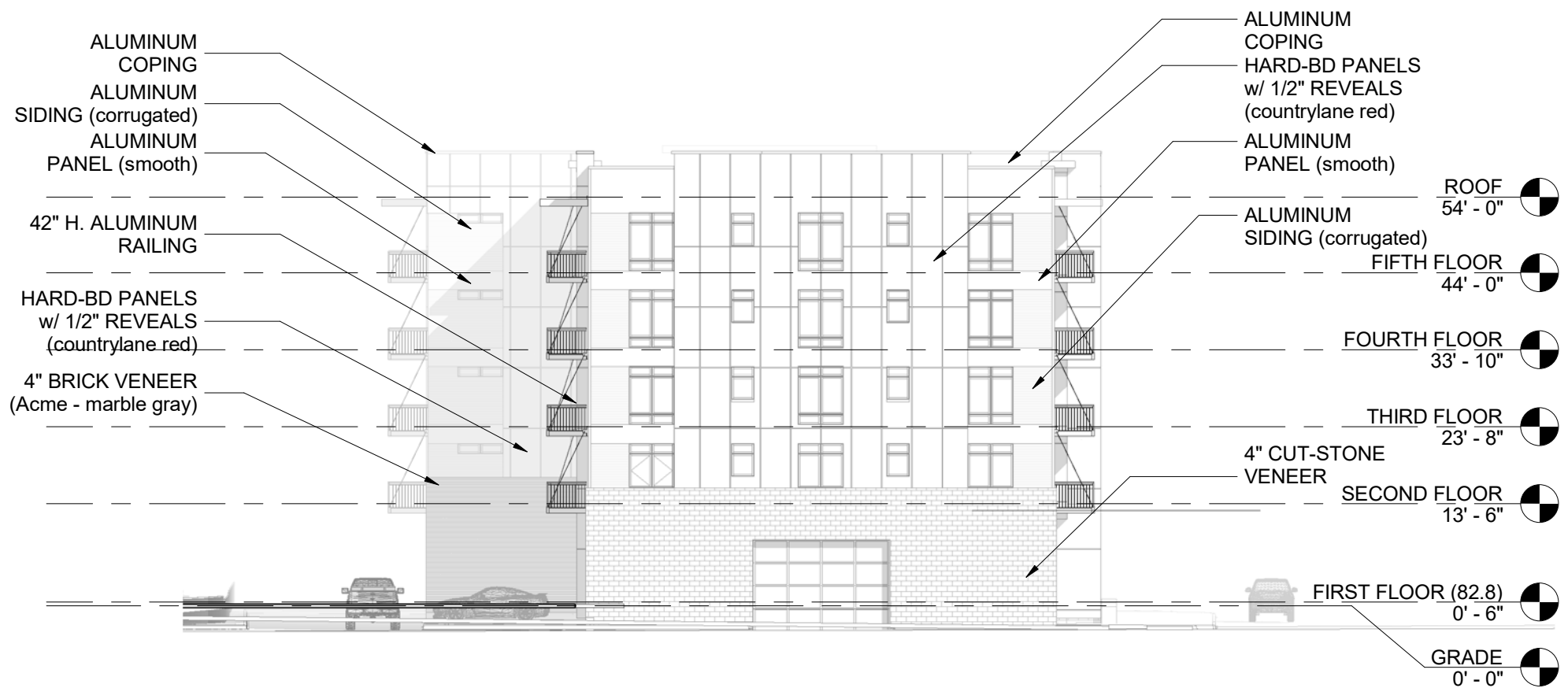
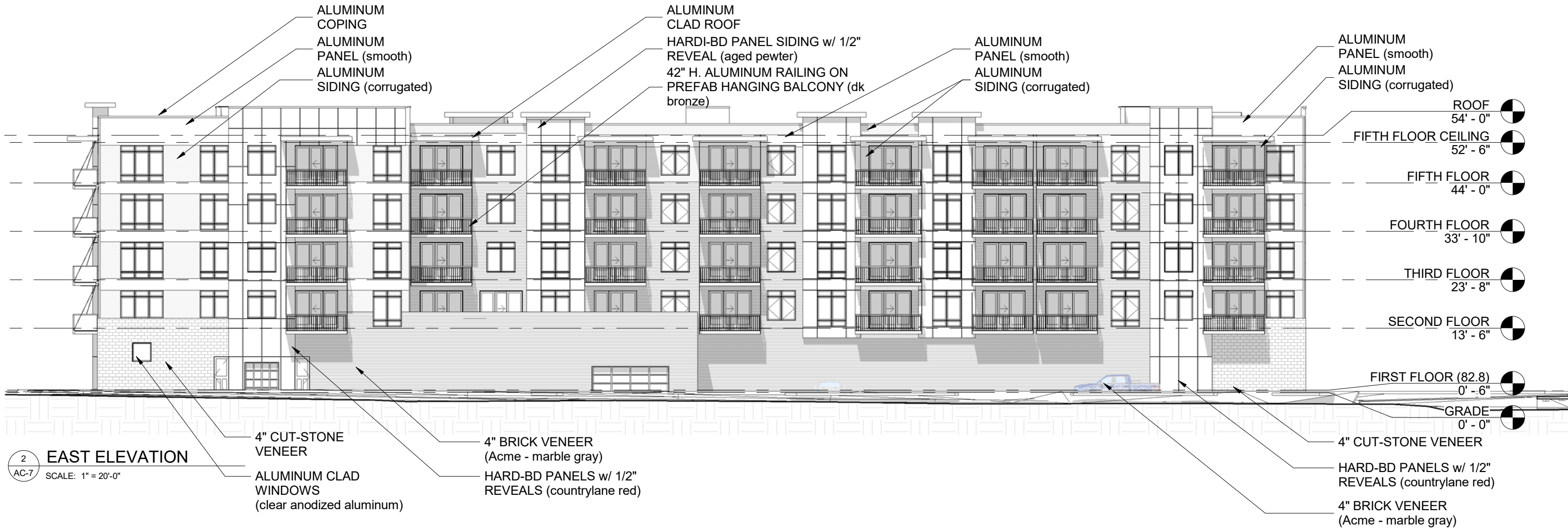


1
AC-6

TYPICAL FLOOR PLAN (3-5)

SCALE: 1" = 20'-0"

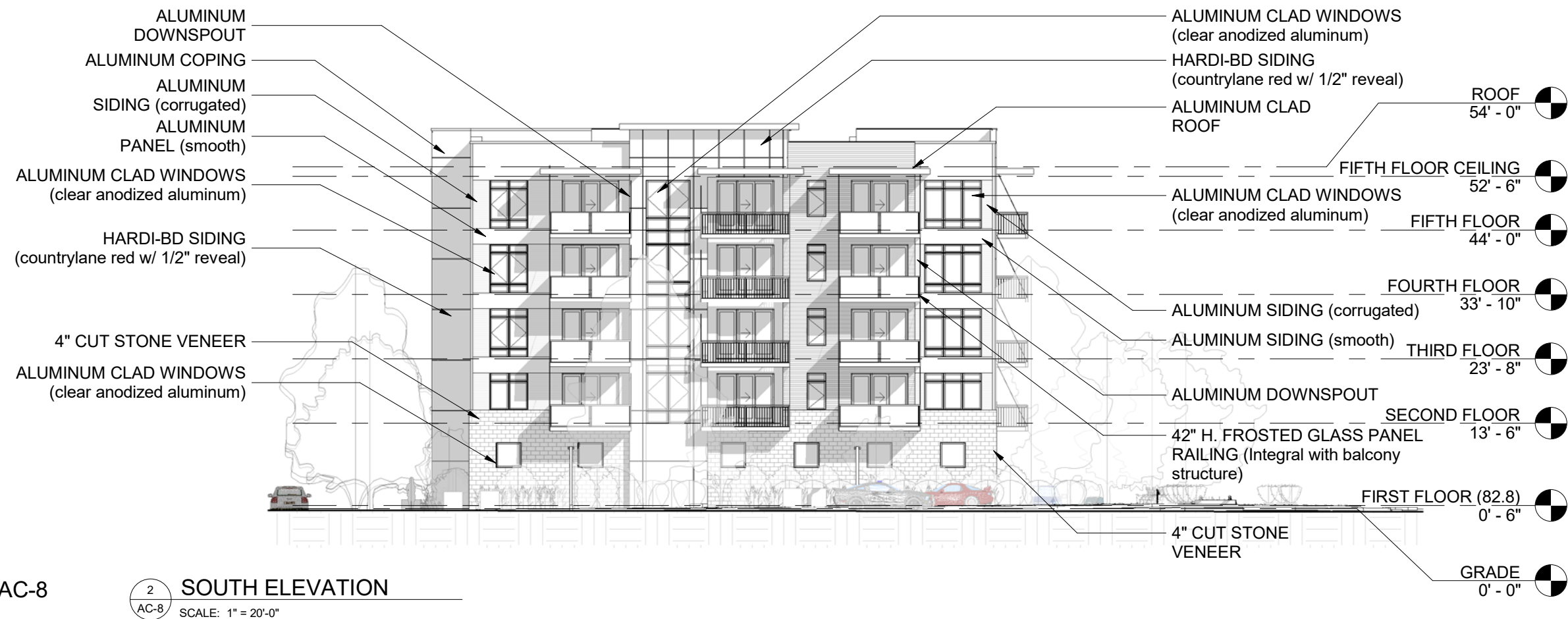
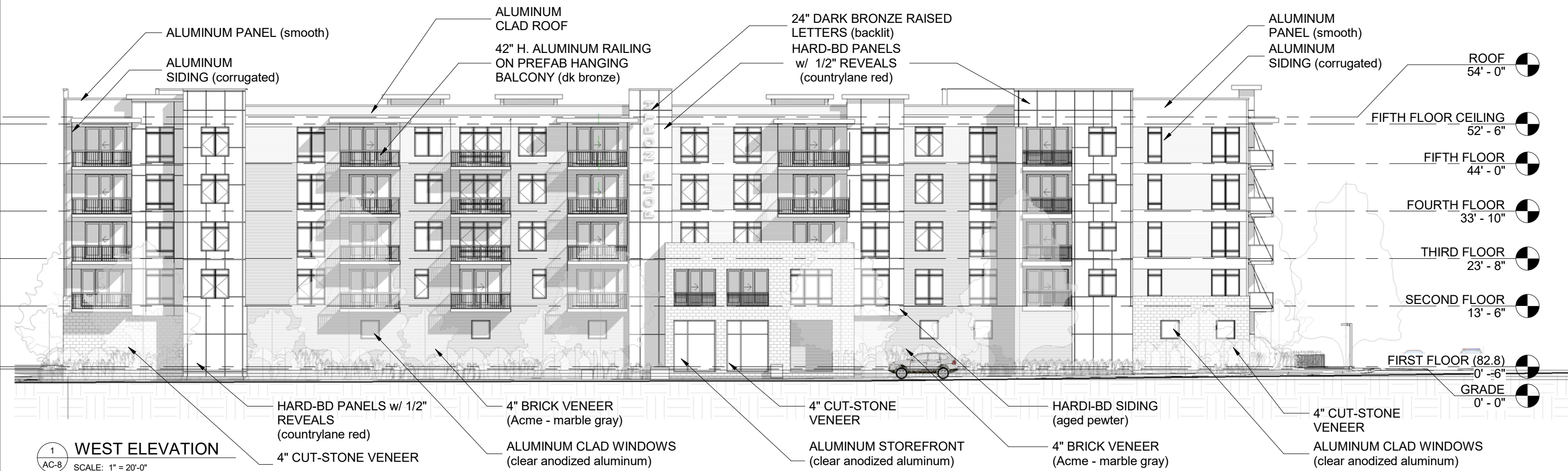




AC-7

1 NORTH ELEVATION
 AC-7 SCALE: 1" = 20'-0"







PERSPECTIVE VIEW LOOKING
NORTHEAST

1
AC-9

SCALE:



 VIEW LOOKING NORTHEAST
SCALE: NTS



A
1
 VIEW LOOKING SOUTHWEST
 SCALE: NTS



A
1
 VIEW LOOKING NORTHWEST
 SCALE: NTS



A
1
 VIEW LOOKING EAST
 SCALE: NTS



VIEW LOOKING SOUTHEAST

SCALE: NTS



A
1

 AERIAL VIEW (looking NorthEast)



Conceptual Plan Review Committee

5/11/2022

Item: Clearbrook Adult Daycare - 1815-1835 W Central Rd - T1767

Department: Planning & Community Development

Requested Action

Land Use Variation to allow a Day Care Facility in the B-2 District.

Variations Required

Chapter 28 of the Municipal Code, Section 6.12-1.3, to waive the requirement for a traffic and parking study by a qualified professional engineer.

Recommendation

The Staff Development Committee (SDC) reviewed the proposed Land Use Variation to allow a Daycare Facility within the B-2 District, as well as a Variation from Section 6.12-1.3 of the Municipal Code to waive the requirement for a traffic and parking study, and is generally supportive of the application subject to resolution of the following:

1. The petitioner shall provide written justification in support of the proposed Variation to waive the traffic and parking study requirement, which justification addresses each of the hardship criteria necessary for Variation approval as outlined in the Zoning Ordinance:

- The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.
- The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.
- The proposed variation is in harmony with the spirit and intent of this Chapter.
- The variance requested is the minimum variance necessary to allow reasonable use of the property.

2. The petitioner should provide additional details on the overall width of the drive aisle at the drop-off/pick-up location and estimates for peak drop-off/pick-up times. Pending further study, modifications to the proposed loading area (location, size, additional signage/crosswalk/striping) may be required, and/or a

requirement that the drop-off/pick-up vehicles park within the parking stalls at the shopping center.

3. Landscaping shall be evaluated as part of the Plan Commission review process and any missing/dead landscaping must be brought up to code requirements.

4. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:

Description

Staff Report

Aerial

Project Narrative

Conceptual Plans - 4/27/22

Type

Board or Commission Report

Exhibits

Correspondence

Exhibits



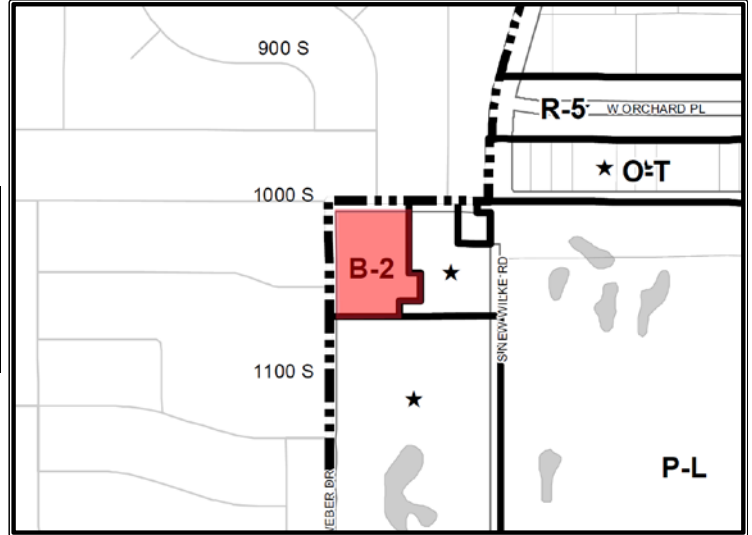
VILLAGE OF ARLINGTON HEIGHTS **STAFF DEVELOPMENT** **COMMITTEE REPORT**

Temp File Number: T1767
Project Title: Clearbrook Adult Daycare
Address: 1815 W. Central Road
PIN: 08-08-201-005

To: Conceptual Plan Review Committee
Prepared By: Sam Hubbard, Development Planner
Meeting Date: May 11, 2022
Date Prepared: May 6, 2022

Petitioner: Don Frick
 Clearbrook
Address: 1835 W. Central Road
 Arlington Heights, IL 60005

Existing Zoning: B-2: General Business District,
Comprehensive Plan: Commercial



SURROUNDING LAND USES

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	- Village of Rolling Meadows -		
South	R-6: Multiple-Family Dwelling District	Multi-Family Development (Mallard Cove Condominiums)	Moderate Density Multi-Family
East	P-L: Public Lands District	Arlington Heights Senior Center	Government
West	- Village of Rolling Meadows -		

Requested Action:

1. Land Use Variation to allow a Day Care Facility in the B-2 District.

Variations Required:

- Chapter 28 of the Municipal Code, Section 6.12-1.3, to waive the requirement for a traffic and parking study by a qualified professional engineer.

Project Background:

The Clearbrook Plaza shopping center, located at the southwest corner of Wilke Road and Central Road, is 44,343 square feet in size and situated on a lot that is approximately 4.08 acres in area. The site is owned by Clearbrook, which occupies approximately 77% of the building and is the primary tenant within the center. Other tenants include Toscana Restaurant, the Hiding Place Banquet Hall, and the Paris 2000 Hair Salon. One unit within the building is currently vacant. Abutting to the east is the Arlington Heights Senior Center, which is located on a separate property and under separate ownership. The overall Clearbrook/Senior Center complex has access from Weber Drive to the west, South New Wilke Road to the east, and Central Road to the north. There are 245 parking spaces on the Clearbrook Plaza property (188 in front of the property and approximately 57 at the rear of the building).

Clearbrook currently uses the facility for a variety of their office needs but is shifting some of their employees to other locations as a result of new state/federal guidelines, which creates additional space within their Arlington Heights facility and requires new adult daycare locations. They have proposed an interior remodel to much of the existing office space, along with the creation of a small area for an adult daycare (approximately 3,220 square feet). The daycare would serve between 10-15 adults on a typical day and would be in operation from 8:30am to 3:30pm. There would be a total of three staff members; participants would be dropped-off and picked-up in two proposed loading spaces located at the front door along the main shopping center drive aisle.

Zoning and Comprehensive Plan

The subject property is currently zoned B-2, General Business District, which allows the existing Clearbrook office uses. However, adult daycare uses are not permitted within the B-2 District and therefore a Land Use Variation is required. The petitioner has provided an initial response to the four standards for Land Use Variation approval. Certain minor corrections to this response shall be required, however, in general the Staff Development Committee does not take issue with the proposed land use at this location. With regards to the requested variation to waive the requirement for a traffic and parking study, the petitioner will need to prepare a separate response addressing the approval standards for that variation, which standards are outlined below:

- o The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.
- o The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.
- o The proposed variation is in harmony with the spirit and intent of this Chapter.
- o The variance requested is the minimum variance necessary to allow reasonable use of the property.

The Comprehensive Plan designates the subject property as appropriate for “Commercial” uses, and given that the majority of the site is used for commercial purposes (offices, restaurant, hair salon), the Staff Development Committee believes the proposal and site to be compatible with the “Commercial” designation within the Comprehensive Plan.

Building, Site and Landscaping

Other than to stripe in two loading zones along the east/west drive aisle and a new door for the daycare entrance, Clearbrook is not proposing any alterations to the exterior of the site or building. Additional analysis on this striping will be provided in the Parking and Loading section below.

Relative to the interior of the building, much of the office space will be remodeled to accommodate the current needs of Clearbrook and to create a more modern workspace. The adult daycare space will be approximately 3,220 square feet and would consist of a small reception area, new entry door adjacent to the reception area, two offices and a large open space to be used for leisure and activities for the adults. No Design Commission review is required.

As part of the Plan Commission review process, staff will inspect the site to ensure that all landscaping conforms to code requirements. Any missing or dead landscaping must be replaced/upgraded as part of the Land Use Variation approval process.

Parking and Loading:

The petitioner is required to provide a traffic and parking study by a certified traffic engineer that assesses access (location, design, and Level of Service), on-site circulation, trip generation and distribution, parking, and drop-off/pick-up operations. Given the small size of the proposed adult daycare, the Staff Development Committee is generally supportive of a variation to waive this requirement. However, the Staff Development Committee has concerns about the proposed drop-off/pick-up location in that it will partially block the drive aisle at its intersection with the primary entrance drive into the shopping center from Central Road. Additional study is needed with regards to this loading zone and its impact to site circulation and fire access. The petitioner should be aware that the Staff Development Committee may recommend modifications to the proposed loading area (location, size, additional signage/crosswalk/stripping) or may require that the drop-off/pick-up vehicles park within the parking stalls at the shopping center. The petitioner should provide additional details on the overall width of the drive aisle in this location and estimates on peak drop-off/pick-up times.

Based on a preliminary analysis, the site conforms to parking code requirements. **Table I** below illustrates these requirements. Given that the interior remodel will reduce the overall number of employees working at the Clearbrook facility and that the neighboring uses within the shopping center experience parking peaks at different times/days than Clearbrook, staff does not anticipate a parking problem on the site.

Table I: Parking Calculations

	Square Feet	Parking Ratio	Parking Required
Clearbrook Offices	30,859	1 space / 300 SF	103
Clearbrook Adult Daycare	3,220	3 Spaces per 2 Employees	5
Vacant	2,279	1 space / 300 SF	8
Toscana Restaurant	2,937, (1,279 inside*) (316 outside*)	1 space / 45 SF of Seating	28 7
Banquet Hall Indoor	2,170 (Max. Capacity: 145)	30% of Capacity	44
Banquet Hall Outdoor	240 (Max. Capacity: 16)	30% of Capacity	5
Banquet Support Space	1,268	1 space / 300 SF	4
Beauty Salon	1,222	1 space / 250 SF	5
Total	43,816		209
Total Provided			245
Surplus / (Deficit)			36

Because the proposed changes do not increase the overall parking required on the property, the addition of bike parking spaces is not required at this time.

RECOMMENDATION

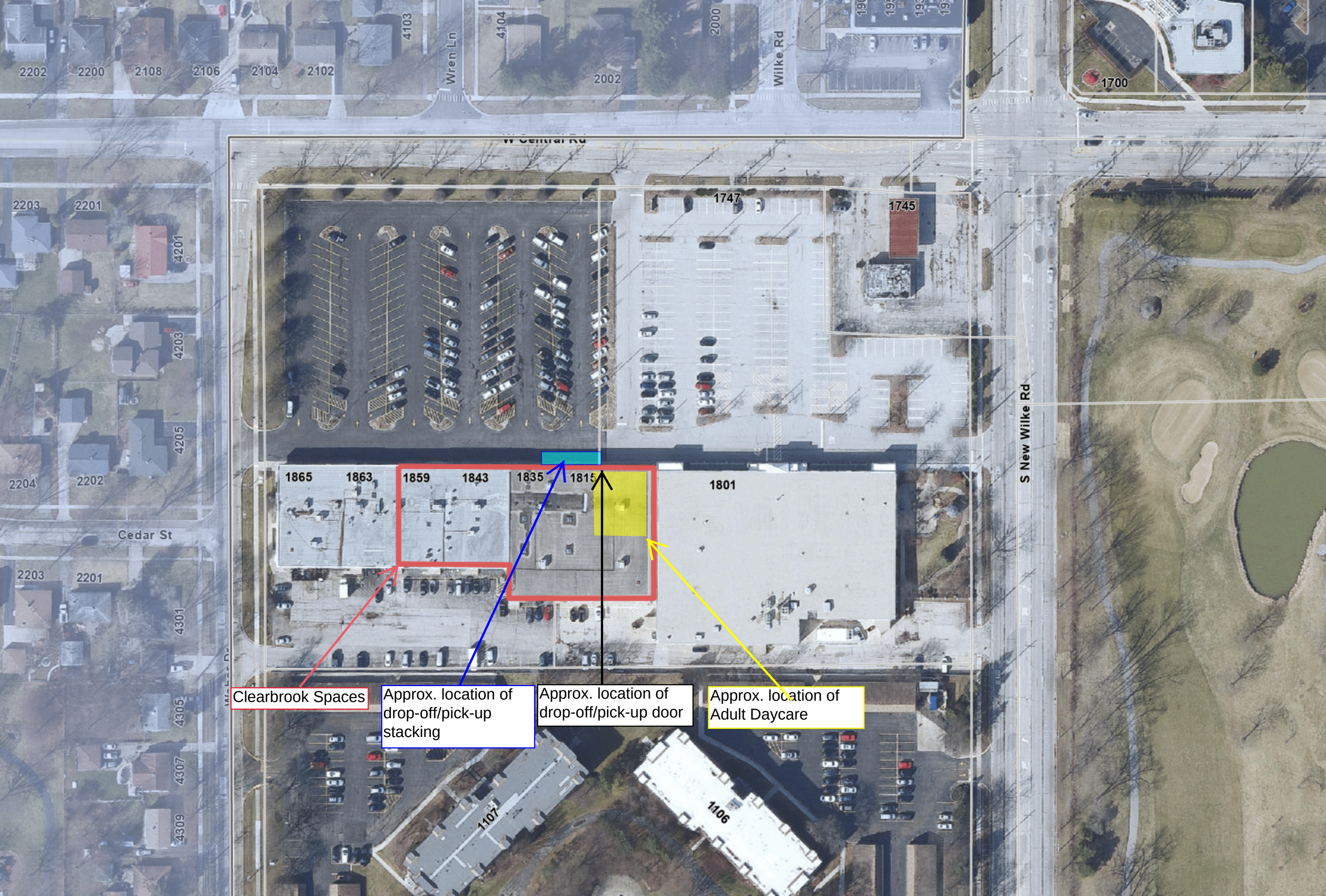
The Staff Development Committee (SDC) reviewed the proposed Land Use Variation to allow a Daycare Facility within the B-2 District, as well as a Variation from Section 6.12-1.3 of the Municipal Code to waive the requirement for a traffic and parking study, and is generally supportive of the application subject to resolution of the following:

1. The petitioner shall provide written justification in support of the proposed Variation to waive the traffic and parking study requirement, which justification addresses each of the hardship criteria necessary for Variation approval as outlined in the Zoning Ordinance:
 - **The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.**
 - **The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.**
 - **The proposed variation is in harmony with the spirit and intent of this Chapter.**
 - **The variance requested is the minimum variance necessary to allow reasonable use of the property.**
2. The petitioner should provide additional details on the overall width of the drive aisle at the drop-off/pick-up location and estimates for peak drop-off/pick-up times. Pending further study, modifications to the proposed loading area (location, size, additional signage/crosswalk/stripping) may be required, and/or a requirement that the drop-off/pick-up vehicles park within the parking stalls at the shopping center.
3. Landscaping shall be evaluated as part of the Plan Commission review process and any missing/dead landscaping must be brought up to code requirements.
4. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

May 6, 2022

Bill Enright, Assistant Director of Planning and Community Development

Cc: Randy Recklaus, Village Manager
All Department Heads
Temp File 1767



Clearbrook Spaces

Approx. location of drop-off/pick-up stacking

Approx. location of drop-off/pick-up door

Approx. location of Adult Daycare

April 29, 2022

Mr. Sam Hubbard
Development Planner
Village of Arlington Heights
33 S. Arlington Heights Road
Arlington Heights, IL 60005

Dear Mr. Hubbard,

Clearbrook would like to formally request a meeting with the Conceptual Plan Review Committee to present proposed changes in usage and renovations to our building, located at 1815-1835 W. Central Road in Arlington Heights. Following are the details for the program we are proposing to operate as well as associated activities.

Clearbrook

Founded in 1955, Clearbrook is home, a family, to over 8,000 children and adults impacted by intellectual/developmental disabilities. We support them—and their families—by providing support across the lifespan, helping them to live their fullest lives possible. Clearbrook provides personalized children, community day, employment, residential, and clinical services at more than 60 locations in 160 communities throughout the Chicagoland area. We are the largest provider of home-based services in the state.

Federal/State Mandates

Due to changes at federal and state levels of government Clearbrook is no longer able to provide "Production/Piece Rate" employment opportunities for our adults with intellectual/developmental disabilities. Going forward, greater emphasis will be placed on finding competitive employment opportunities in the community for these individuals. Mandated by the State of Illinois, there are new attendance guidelines we are required to follow as to the number of individuals who can be served at our current adult day programs. This mandate will require Clearbrook to open additional locations. Clearbrook is proposing to operate a Supported Employment program at our 1815 W. Central Road (Arlington Heights), office location.

Clearbrook Community Employment Services (CES) Program

Clearbrook offers a full spectrum of work services that help people with intellectual and developmental disabilities learn skills, gain experience, and find meaningful employment that matches their interests and skills. The Community Employment Services (CES) Program provides each individual with the skills, training, and support needed for success. Opportunities range from gaining job skills and experience to working independently at supervised work settings in the community. Individuals are given the chance to work in a variety of different industries—from food service and retail to janitorial and hospitality. These jobs help our individuals experience greater levels of independence, community integration, and job satisfaction.

Supported Employment

Clearbrook's Supported Employment Program offers opportunities for individuals to work in a variety of supervised work settings within the community. Initially trained and supervised by a Community Support Coach, individuals receive the on-site training and support needed for success at their job. With the goal of creating a positive experience for both the employee and the employer, coaches assist individuals in a variety of ways, including their orientation to the work environment, duties, integration into the employment site, job performance and expectations, appropriate work and social behaviors, safety practices, and transportation.

Independent Community Employment

Clearbrook's primary goal and anticipated outcome is meaningful employment for our individuals. Clearbrook provides job placement services, job coaching, internship opportunities, and community-based assessment opportunities. Individuals learn valuable skills and professionalism that translate into real-world behaviors and work ethics. At Clearbrook, we empower our individuals with the skills they need to achieve the greatest level of independence in their daily lives. We assist individuals in identifying their vocational goals and then equip them with the tools needed to reach them. Both short-term job coaching and support are available for those who wish to work independently. Clearbrook works closely with employers to ensure a successful on-the-job experience.

Support Employment Program Site - 1815 W. Central Road in Arlington Heights

1. Number of Participants - Expected average daily attendance will range from 10-15 individuals.
2. Number of Supported Employment Services staff - 3
 - a. Director
 - b. Direct Service Professional
 - c. Administrative Assistant
3. Hours of Operation - Monday - Friday, 8:30 am to 3:30 pm.
4. Transportation
 - a. Depending on each individual's work hours, they will be dropped off and picked up by Clearbrook staff and/or family members in front of the building during the program's hours of operation. Clearbrook is proposing to add a separate entrance at the northwest corner of 1815 Central Road. (Please note: This is notated on A1 of the plan set.)
 - b. Signage will be installed that will indicate the entrance to the program
 - c. A loading/unloading zone for up to two vehicles will be marked on the asphalt driveway between with 1815 and 1835 W. Central Road entrances. This is also notated on the site plan.
 - d. As the individuals attending this program are able to function at a higher level of independence and with fewer physical limitations, the loading/unloading times will take no more than 1-2 minutes.

5. Space utilization for Supported Employment Program Site
 - a. Job/Career counseling
 - b. Leisure activities
6. Parking
 - a. The demand for on-site parking will be reduced with the development of the Supported Employment Program Site. Approximately 20 program and case management staff who currently work out of the 1815 W. Central office are being reassigned to other Clearbrook offices and/or will be working remotely.
 - b. Individuals participating in the Support Employment Program will be dropped off and picked up resulting in no additional parking spaces being required.

Construction/Renovation Changes for 1815-1835 W. Central Road

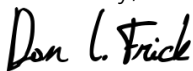
1. Clearbrook's case management and program services staff will be working at new locations or remotely. This provides Clearbrook with the opportunity to use this space/location for the Supported Employment Program.
2. Space currently assigned to case management staff will be reduced.
3. Additional private offices will be constructed to accommodate additional Administrative and Development staff.
4. Construction Dates
 - a. Start Date: 6/1/2022
 - b. Completion Date: 8/31/2022
 - c. Construction will need to be completed in stages to minimize disruption to administrative/program services.
5. Space allocated to the front/north section of 1815 will be renovated based upon two changes:
 - a. Special Use Approved – Supported Employment Program Site
 - b. Special Use Denied – Case Management Services (workstations/cubicles)
6. Detailed architectural drawings are being developed for the Commission members' review and for permits.

Conformance

1. The proposed use will not alter the essential character of the locality and will be compatible with the use and zone of nearby property.
 - o Clearbrook's use of 1815 Central Road as an adult day program will not impact the use and zone of nearby property. Individuals with intellectual and developmental disabilities will be attending the program for leisure and career counseling. This is in line with the other services Clearbrook currently provides at this location. The Arlington Heights Senior Center (adjacent building to the east of 1815 W. Central Road) provides many of the same types of services for community members.
2. Clearbrook's need to make these changes is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.
 - o Federal and State mandates, as well as changes in the work force have created a situation that Clearbrook must address. Existing programs need to reduce their capacity and number of staff who are working on-site. The associated office renovations and the development of the Supported Employment Program will allow Clearbrook to make these adaptations.
3. The proposed variation is in harmony with the spirit and intent of Clearbrook.
 - o The additional space for the Supported Employment Program and office renovations will improve the utilization of the site. Vehicle parking demands will decrease. The only noticeable changes will be the addition of a loading/unloading zone, signage and a new entry door.
4. The variance requested is the minimum variance necessary to allow reasonable use of the property.
 - o Clearbrook is requesting a Special Use Permit to serve individuals with intellectual and developmental disabilities at a Support Employment Program to be located at 1815 W. Central Road (Arlington Heights). The requested changes are minimal and necessary for Clearbrook to operate this program.

Clearbrook would like to attend the Conceptual Plan Review Committee meeting on May 11, 2022, to present and answer questions related to this request. Please let me know if you have any questions or concerns. My e-mail address is DFrick@clearbrook.org and my cell phone number is 847-373-1754.

Sincerely,



Don Frick
Vice President of Operations
Clearbrook

1815-1835 W. CENTRAL ROAD
ARLINGTON HEIGHTS, IL 60005

TENANT: CLEARBROOK
1035 N. CENTRAL RD.
REP: DON FRICK
(847) 385-5007

ARCHITECT: WARREN JOHNSON ARCHITECTS, INC.
19 N. GREELEY STREET
PALATINE, IL 60067
(847) 359-9616 FAX (847) 359-964

AUTHORITY: VILLAGE OF ARLINGTON HEIGHTS, ILL
COMMUNITY DEVELOPMENT
33 S. ARLINGTON HEIGHTS ROAD
ARLINGTON HEIGHTS, IL 60005

CODES: 2018 INTERNATIONAL BUILDING CODE w/ AMEND.
2018 INTERNATIONAL EXIST. BUILDINGS CODE w/
AMEND.
2018 INTERNATIONAL FIRE CODE w/ AMEND.
2018 INTERNATIONAL FUEL GAS CODE w/ AMEND.
2018 INTERNATIONAL MECHANICAL CODE w/ AMEND.
2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
w/ AMEND.
2018 ILLINOIS ACCESSIBILITY CODE
NFPA 2017 NATIONAL ELECTRICAL CODE
2018 ILLINOIS ENERGY CONSERVATION CODE
2014 ILLINOIS STATE PLUMBING CODE
NFPA 2015 LIFE SAFETY CODE (OSFM)

ARCHITECTURAL	
C1	COVER SHEET
A1	DEMO/ PROPOSED FLOOR PLAN (1815 SPACE)
A2	DEMO/ PROPOSED FLOOR PLAN (1835 EAST SPACE)
A3	DEMO/ PROPOSED FLOOR PLAN (1835 WEST SPACE)
A4	DEMO/ PROPOSED RCP PLAN (1815 SPACE)
A5	DEMO/ PROPOSED RCP PLAN (1835 EASTSPACE)
A6	DEMO/ PROPOSED RCP PLAN (1835 WEST SPACE)

BUILDING REQUIREMENTS		ACTUAL	
ALLOW./REQUIRED	--	B	USE GROUP (BUSINESS-- OFFICE)
3 STORY / 25'-0"	1 STORY / 25'-0"		HEIGHT AND AREA LIMITATIONS:
--	28,005 SQ.FT. (+/-)		EXIST. BLDG. HEIGHT (Ø MAX. HT.)
--		III B	TENANT AREA- NET AREA
N/A		N/A	TYPE OF CONSTRUCTION (ASSUMED EXIST.)
2 hr. (EXIST.)	2 hr. (EXIST.)		MIXED OCCUPANCY SEPARATION
0 hr.	0 hr.		REQUIRED HOURS OF FIRE RESISTANCE;
0 hr.	0 hr.		EXTERIOR BEARING WALLS
0 hr.	0 hr.		EXTERIOR NONBEARING WALLS
0 hr.	0 hr.		INTERIOR BEARING WALLS
0 hr.	0 hr.		INTERIOR NONBEARING WALLS
0 hr.	0 hr.		FLOOR CONSTRUCTION
0 hr.	0 hr.		ROOF CONSTRUCTION
		ASHRAE	ACCEPTED ENGINEERING PRACTICE /
			RECOGNIZED AGENCIES
		SPRINKLERED	FIRE PROTECTION EQUIPMENT
	w/ FIRE ALARM		A) SPRINKLER SYSTEMS
			B) SPECIAL REQUIREMENTS
			INTERIOR FINISHES;
			INTERIOR WALL & CEILING FINISHES
CLASS A (MIN.)	CLASS A (MIN.)		A) INT. EXIT STAIRS & EXIT PASSAGeways
CLASS B (MIN.)	CLASS B (MIN.)		B) CORRIDORS
CLASS C (MIN.)	CLASS C (MIN.)		C) ROOMS & ENCLOSED SPACES
CLASS II (MIN.)	CLASS II (MIN.)		INTERIOR FLOOR FINISHES
EXIT REQUIREMENTS		ACTUAL	
ALLOW./REQUIRED	2	MINIMUM NUMBER OF EXITS	
200' MAX	76' MAX.	TRAVEL DISTANCE TO EXIT	
MIN. 36"	27'-0"	TOTAL CAPACITY OF EXITS	
	36"	MINIMUM WIDTH OF EXITS	
	OUT	SWING OF EXIT DOORS	
OUT	LEVER/PUSH	HARDWARE	
--	N/A	REVOLVING DOORS	
--	N/A	LANDINGS	
--	N/A	HANDRAILS	
--	N/A	CONSTRUCTION	
--	N/A	ENCLOSURES	
--	6'-8" (MIN.)	HEAD ROOM	

The below items are based on the 2018 Illinois Accessibility Code:

DOORS-All doors will comply with Section 404 of the 2018 Illinois Accessibility Code and ANSI section 404

DRINKING FOUNTAINS (where required)-All public drinking fountains and water coolers shall comply with ANSI 602

CONTROLS AND OPERATING MECHANISMS-All controls and operating mechanisms along accessible routes and in accessible spaces shall comply with ANSI section 309

FIRE ALARMS (where required)- All emergency fire warning systems shall comply with IAC section 215, and shall be both audio and visual.

SIGNAGE- Signage shall be provided per IAC section 703. Signage shall include parking lot signage, room identification signage, emergency signage, and all signage included in IAC 703.

TELEPHONES-Where provided, at least one public phone shall comply with ANSI section 704.2. An auxiliary countertop will be provided per IAC section 704.6

ACCESSIBLE PARKING SPACES AND SIGNAGE-Accessible parking spaces shall comply with IAC section 202. Individual stalls shall comply with IAC 502.2. Parking signage shall comply with IAC Section 502.6 and applicable ANSI requirements.

1. 1/2" MAXIMUM TOTAL HEIGHT WITH 1/4" MAXIMUM VERTICAL CHANGE AT EDGE.

2. 1 : 2 SLOPED BEVEL REQUIRED IF LEVEL CHANGE IS OVER 1/4" VERTICAL LEVEL CHANGE.

3. 1/4" MAXIMUM VERTICAL LEVEL CHANGE.

THRESHOLD

1/4" MAX.

W. CENTRAL ROAD

Clearbrook 1815-1865 W. Central Road

EXISTING PARKING LOT (NO CHANGE)

PROPOSED VAN LOADING SPACE (2 SPACES)

EXIST. SIDEWALK

20' 20'

N

3) ADD ISSUES WILL COMPLY TO THE LATEST EDITION OF THE ILLINOIS ACCESSIBILITY CODE AND ALL STATE AND ILLINOIS LOCAL AMENDMENTS.

2) ALL CONTRACTORS AND SUBCONTRACTORS WILL THOROUGHLY FAMILIARIZE THEMSELVES WITH THESE CONSTRUCTION DOCUMENTS AND WILL VERIFY EXISTING SITE AND BUILDING CONDITIONS PRIOR TO SUBMITTING A BID. ALL SUBCONTRACTORS WILL PROVIDE ALL LABOR, SUPERVISION, AND MATERIALS AND EVERYTHING NECESSARY TO COMPLETE THIS PROJECT. A SUFFICIENTLY LARGE CONTRACTOR SHALL BE REQUIRED TO OBTAIN A FINAL OCCUPANCY PERMIT. ALL WORK TO BE PERFORMED IN A GOOD AND WORKMANLIKE MANNER AS DESCRIBED HEREIN BY THESE CONSTRUCTION DOCUMENTS ACCORDING TO THE TRUE INTENT AND MEANING OF THE DRAWINGS AND SPECIFICATIONS. WHETHER THE SAME MAY OR MAY NOT BE PARTICULARLY INFERRED THEREFROM ALL WORK INDICATED OR DESCRIBED IN THE DRAWINGS OR SPECIFICATIONS WILL BE CONFERRED BY THE CONTRACTOR TO THE EXTENT AS IF DESCRIBED IN BOTH.

3) SUBCONTRACTORS, BEFORE STARTING THEIR WORK, WILL CHECK AND VERIFY THEIR PARTICULAR CODE RELATED REQUIREMENTS FOR COMPLIANCE ALONG WITH MEASUREMENTS, SURFACE LEVELS, SURFACE CONDITIONS AND RELATED PRODUCT, INSTALLATIONS NEAR AND ABOUT THEIR WORK. EACH TRADE WILL CONTRACT WITH CONDITIONS WITH THE OWNER OR THE ON-SITE CONSTRUCTION MANAGER AS TO IF THEY ARE OR NOT OF THE SAME, AS PER THESE CONSTRUCTION DOCUMENTS. IT WILL BE CONCLUDED THAT EACH BIDDER UNDERSTANDS AND KNOWS EXACTLY WHAT WILL BE REQUIRED OF HIM AND WILL PERFORM THESE REQUIREMENTS WITHOUT QUESTION. THE FULL AND UNCONDITIONAL SATISFACTION OF THE OWNER, THERE ARE NO ALTERNATE BIDS ON THIS PROJECT. NO ADDITIONAL COMPENSATION WILL BE CONSIDERED AFTER LETTING OF THIS BID UNLESS CHANGES ARE DIRECTED BY THE OWNER IN WRITING WITH COST ALREADY NEGOTIATED FOR THAT ADDED WORK AFTER THE LETTING OF THE BID.

4) THIS ARCHITECT AND HIS PROFESSIONAL CONSULTANTS WILL HAVE NO CONTROL OR CHANGE OF AND WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR THE CONSTRUCTION OF THE PROJECT OR FOR THE CONSTRUCTION OF THE PROJECT OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK ON THIS SITE. NOR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT AND OR CONSTRUCTION DOCUMENTS.

5) ALL CONTRACTORS WILL PROVIDE ADEQUATE BRACING AND/OR SHORING TO INSURE STRUCTURAL STABILITY OF THE BUILDING AND ALL RELATED BUILDING COMPONENTS I.E. STRUCTURAL WALLS, INTERIOR WALL ASSEMBLIES, ETC. DURING THE CONSTRUCTION PHASE OF THIS PROJECT.

6) ALL WORK WILL BE COORDINATED WITH OTHER TRADES IN ORDER TO AVOID INTERFERENCE AND PREVENT MAXIMUM HEADROOM OBSTRUCTIONS. EACH CONTRACTOR WILL INCLUDE ALL NECESSARY MISCELLANEOUS ITEMS REQUIRED BY CODE AND NEEDED TO COMPLETE THE WORK INCLUDING MOVING AND RIGGING OF MATERIALS AND EQUIPMENT, ALL THE HANGERS, SUPPORTS, ANCHORS, SUSPENSION MEANS, CONDUIT, WIRE, FITTINGS, SLEEVES, ETC.

7) ALL MATERIALS USED WILL BE NEW AND BEAR U.L. LABELS WHERE REQUIRED AND MEET APPROPRIATE N.E.M.A. STANDARDS.

8) LAYOUT ALL PARTITIONS BEFORE BEGINNING CONSTRUCTION TO PREVENT ERRORS BY DISCREPANCY. ALL DRYWALL PARTITIONS WILL BE INSTALLED AS NOTED ON THE DRAWINGS.

9) ALL CONTRACTORS WILL GUARANTEE ALL LABOR AND MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ISSUE OF FINAL OCCUPANCY PERMIT AND/OR AT THE FINAL PAYMENT FROM OWNER.

10) VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ORDERING, CUTTING AND/OR INSTALLING MATERIAL, PRODUCT OR EQUIPMENT. IN THE EVENT OF ANY DISCREPANCIES, CONTACT THE ARCHITECT BEFORE PROCEEDING WITH THAT WORK.

11) ALL SUBCONTRACTORS WILL PROVIDE A CERTIFICATE OF INSURANCE TO THE OWNER PRIOR TO STARTING ANY WORK ON THIS PROJECT. NOTE: CERTIFICATE OF INSURANCE CANNOT BE TERMINATED OR CANCELED WITHOUT 10 DAYS PRIOR WRITTEN NOTICE TO THE OWNER.

12) NO SUBSTITUTIONS OF ANY KIND FOR MATERIALS SPECIFIED ON THESE CONSTRUCTION DOCUMENTS IS ALLOWED. NO "EQUIVALENT" SUBSTITUTIONS WILL BE MADE UNLESS APPROVED IN WRITING BY THE ARCHITECT AND APPROVED BY THE OWNER, DUE TO THE LACK OF AVAILABILITY OF ORIGINAL.

13) RESPONSIBILITY OF CONTRACTOR: EACH CONTRACTOR IS RESPONSIBLE FOR AND MUST GUARANTEE IN WRITING FIRST CLASS WORKMANSHIP AND MATERIALS. EACH CONTRACTOR WILL ASSUME ALL RESPONSIBILITY FOR THE CARE AND PROTECTION OF HIS OWN WORK AND MATERIALS FROM DAMAGE AND WILL PROTECT HIS SAME PROPERTY. HE WILL MAKE GOOD ANY DAMAGE TO HIS OWN OR OTHER WORK CAUSED BY HIMSELF OR WORKMEN EMPLOYED BY HIM.

14) SITE SAFETY: EACH CONTRACTOR WILL ABIDE BY LOCAL AREA STANDARDS AND RELATED OSHA STANDARDS FOR THE PROTECTION AND SAFETY FOR THEIR EMPLOYEES ON SITE. THIS ARCHITECT AND HIS PROFESSIONAL CONSULTANTS WILL BE HELD HARMLESS BY THE OWNER, GENERAL CONTRACTOR AND RELATED TRADES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROPERTY OF THE OWNER AWARDED THEREON, ON THIS PROJECT FOR ACCIDENTS OR INJURIES CAUSED OR ACCRUED ON THIS PROPERTY DURING THE PRE/ACTUAL/POST CONSTRUCTION PHASES OF THIS PROJECT.

15) LIENS: ALL SUBCONTRACTORS AND THE GENERAL CONTRACTOR WILL DELIVER TO THE OWNER A COMPLETE RELEASE OF ALL ITEMS ARISING OUT OF THIS CONTRACT AND/OR RECEIPTS IN FULL IN LIEU THEREOF TOWARDS THEIR PARTIAL OR FINAL PAYMENT FOR WORK IN PLACE FOR THE OWNER.

16) GENERAL CONTRACTOR TO PAY FOR ALL SCAVENGER SERVICES, AND WILL BE RESPONSIBLE FOR REMOVAL OF DEBRIS ACCUMULATED BY EACH TRADE. HOWEVER, EACH TRADE WILL KEEP THE JOB SITE CLEAN AND SAFE AT ALL TIMES, ALONG WITH A BROOM FINISH AT THE END OF EACH WORKING DAY.

17) IF CHANGES ARE MADE IN THE FIELD ON THIS PROJECT VIA DIMENSIONS, MATERIALS, INSTALLATION DIFFERENT THAN INDUSTRY TECHNIQUES AND STANDARDS ETC. "CONSTRUCTION MANAGER" IS TO BE NOTIFIED 24 HOURS IN ADVANCE TO THESE CHANGES BY SAID TRADE. IF NOTICE IS NOT GIVEN TO THE C.M. THEN THAT SUBCONTRACTOR IS TOTALLY RESPONSIBLE FOR THE CONSEQUENCES AND EFFECTS EVOLVED FROM THESE CHANGES.

18) CONSTRUCTION CLEAN-UP, AFTER ALL OTHER WORK IS COMPLETED AND JUST PRIOR TO TURNING THE SPACE OVER TO THE OWNER, THE CONSTRUCTION MANAGER WILL EMPLOY THE SERVICES OF A PROFESSIONAL CLEANING SERVICES TO CLEAN AND WASH DOWN ALL INSTALLED EQUIPMENT, SERVICE AREAS, ALONG WITH THE CLEANING OF ALL GLASS UNWINDOOR SURFACES PRIOR TO OCCUPANCY. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES FOR THIS MUNICIPALITY. SEE 'CODE REVIEW' ON THIS SHEET.

19) DO NOT SCALE DRAWINGS.

20) CONTRACTOR WILL APPOINT ONE SPECIFIC INDIVIDUAL FOR LIAISON WITH THE OWNER REPRESENTATIVE AND ARCHITECT.

21) CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT APPROVED CONTRACT DOCUMENTS.

22) CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ARCHITECTURAL, MECHANICAL, TELEPHONE, ELECTRICAL (INCLUDING LIGHTING), AND PLUMBING SO TO ENSURE THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ALL EQUIPMENT ARE PROVIDED.

23) DIMENSIONS SHALL NOT BE CHANGED WITHOUT THE ARCHITECT'S WRITTEN APPROVAL.

24) CONTRACTOR TO PROTECT EXISTING CONSTRUCTION AND RESTORE ALL FINISH SURFACES THEIR ORIGINAL CONDITION WHERE DAMAGED.

1835 W Central Rd,
Arlington Heights, IL 60005

- ☐ NEW PASSAGE THROUGH EXIST. WALL OPENING TO EXIST. ADJACENT SPACE FOR BETTER CIRCULATION FLOW THROUGH BUILDING.
- ☐ EXIST. OFFICE LAYOUT TO BE ADJUSTED PER NEW CLIENT NEEDS.
- ☐ MINOR WALL / DOOR CHANGES.
- ☐ EXIST. HVAC TO BE RE-USED (NO CHANGES EXCEPT FOR DIFFUSER LOCATIONS).
- ☐ EXIST. INTERIOR LIGHTING TO BE RE-USED.
- ☐ FIRE ALARM CONTRACTOR TO PROVIDE FIRE ALARM DRAWINGS TO THE VILLAGE OF ARLINGTON HEIGHTS, IL FOR ANY CHANGES/ ADJUSTMENTS TO THE EXIST. FIRE ALARM SYSTEM.
- ☐ SPRINKLER CONTRACTOR TO PROVIDE SPRINKLER DRAWINGS TO THE VILLAGE OF ARLINGTON HEIGHTS, IL FOR ANY CHANGES/ ADJUSTMENTS TO THE EXIST. SPRINKLER SYSTEM.

PROPOSED USE:
(B) BUSINESS (OFFICE)

The diagram illustrates various symbols used in architectural drawings:

- DETAIL REFERENCE:** A circle with a horizontal line extending to the right, ending in a small square. An alternative symbol shows a circle with a horizontal line and a small circle at the end.
- SECTION REFERENCE:** A circle with a horizontal line extending to the right.
- COLUMN LINE NUMBER:** A circle with a horizontal line extending to the right.
- ELEVATION REFERENCE:** A circle with a horizontal line extending to the right, ending in a small circle.
- ROOM NUMBER:** A rectangle with a cross-hatch pattern inside.
- ELEVATION:** A circle with a horizontal line extending to the right, ending in a small circle.
- HALL TYPE:** A triangle with a horizontal line extending to the right.
- INDICATES DETAIL NUMBER:** A circle with a horizontal line extending to the right, ending in a small circle.
- INDICATES SHEET UPON WHICH DETAIL APPEARS:** A circle with a horizontal line extending to the right, ending in a small circle.
- DOOR NUMBER:** A circle with a horizontal line extending to the right, ending in a small circle.

I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO THE EXTENT OF MY CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH THE ENVIRONMENTAL BARRIER ACT (IL REV. STAT., 1985, CH. III 1/2, PAR. 3711 IN SEQ. AS AMENDED) AND THE ILLINOIS ACCESSIBILITY CODE 71 IL ADM. CODE 400.

SIGNED: ARCHITECT
ILLINOIS REGISTRATION NO.
001009802
DATE:

PROFESSIONAL DESIGN FIRM
-
ARCHITECTURAL
CORPORATION LICENSE
NUMBER: 184 - 000318

19 N. Greeley St. Palatine, IL 60067
T (847) 359-9616

[illegible]

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DRAWN BY	: BT
CHECKED BY	: W. JOHNSON
DATE	: -- -- --
PROJECT No	: 22003

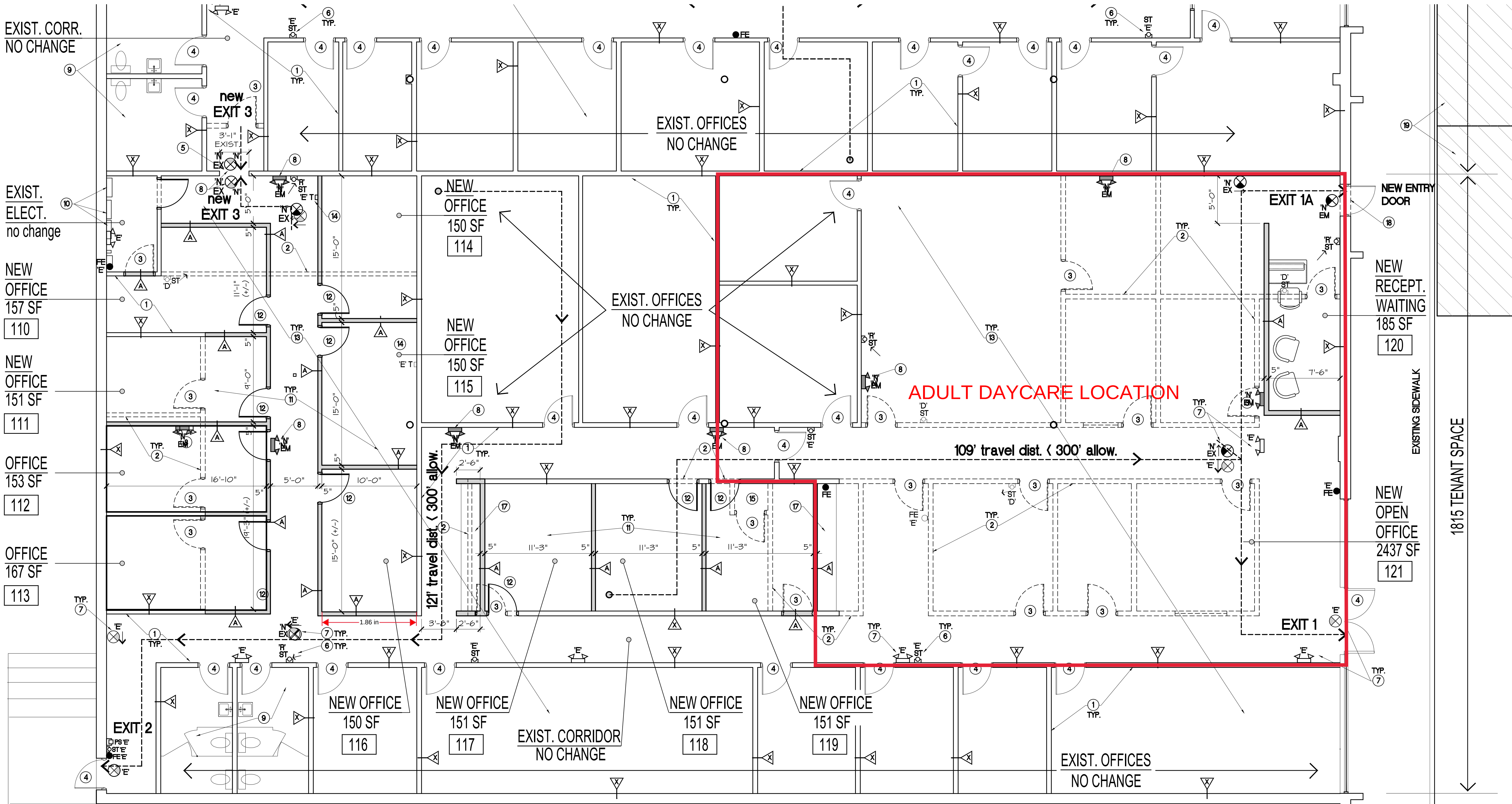
TENANT BUILD-OUT
FOR:
CLEARBROOK
(BUSINESS SPACE)

1815-1835 W. Central Rd.
Arlington Heights, IL

COVER SHEET

SHEET

C1



PROP. FLOOR PLAN W/ DEMOLITION
SCALE: 3/16" = 1'-0"
1815 SPACE

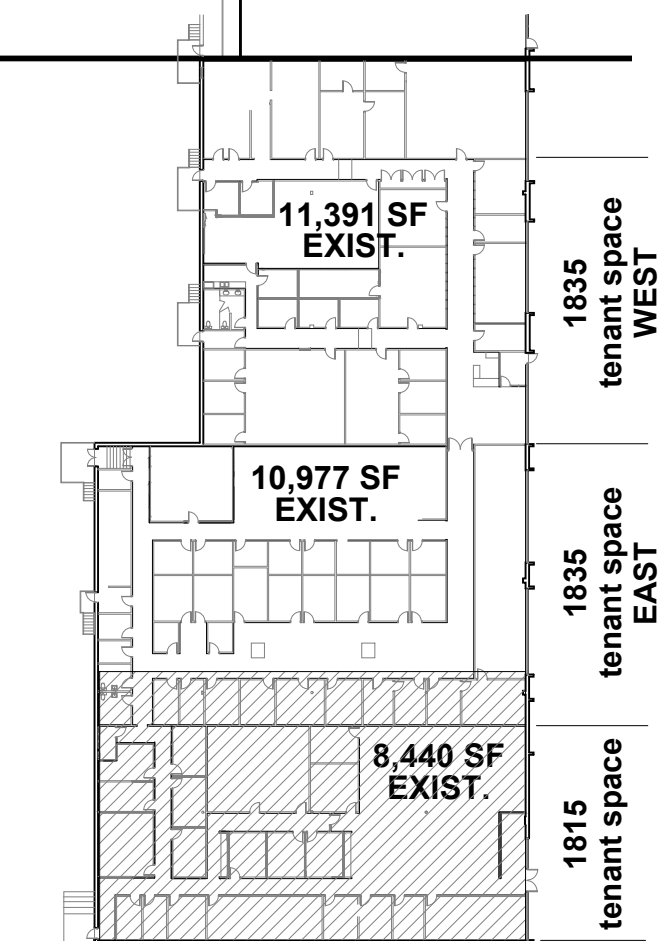
'D' denotes 'REMOVE or RELOCATE'
'E' denotes 'EXISTING TO REMAIN'
'R' denotes 'RELOCATED POSITION'

EGRESS LEGEND	
	NEW / EXISTING EXIT SIGN REFER TO SHEETS A4-A6 FOR NEW & EXISTING DESIGNATIONS
	NEW / EXISTING EMERGENCY LIGHT REFER TO SHEETS A4-A6 FOR NEW & EXISTING DESIGNATIONS
	DIRECTION OF EGRESS
	FE FIRE EXTINGUISHER MOUNTED ON WALL GO TO COORDINATE W/ LOCAL FIRE DEPT. FOR FINAL LOCATIONS & AMOUNTS.

WALL TYPES	
	NEW INTERIOR PARTITION WALLS 3 1/2" x 2" x 20' gal. MTL STUDS (562-5162-33mi) @ 16" o.c. TO UNDERSIDE OF EXISTING SUSPENDED CEILING. ALSO PROVIDE 1/4" x 2" x 20' gal. MTL STUDS (562-5162-33mi) @ 16" o.c. TO UNDERSIDE OF EXISTING SUSPENDED CEILING. PROVIDE 5/8" x 1/2" DRYWALL ON EACH SIDE. PROVIDE FULL DEPTH SOUND BATT INSUL. IN ALL WALLS. BRACE WALLS TO STRUCTURE ABOVE / ADJACENT WALLS AS REQUIRED. ALIGN / IN/FILL EXISTING WALL OPENINGS WHERE SHOWN SHADED.
	EXIST. INTERIOR PARTITION WALLS PATCH / REPAIR AS NEEDED

WALL LEGEND	
	EXISTING WALLS TO BE REMOVED
	EXISTING WALLS PATCH AS NEEDED WHERE DISTURBED BY NEW CONSTRUCTION
	NEW INTERIOR WALL (MATCH EXIST. WALLS)

PROPOSED DEMO./ FLOOR PLAN KEYNOTES FOR SHEETS A1-A3	
1	EXIST. WALLS TO BE REMAIN - SHOWN SOLID. REPAIR WALLS AS NEEDED PER THESE CONSTRUCTION CHANGES. FIELD REVIEW FOR ANY PATCH / REPAIR WORK REQUIRED.
2	EXIST. INTERIOR WALLS / RELATED SHELVS/ MILLWORK, ETC. TO BE REMOVED (SHOWN DASHED).
3	EXIST. DOOR & FRAME TO BE REMOVED (SHOWN DASHED). SELECT DOORS IN GOOD CONDITION TO BE RE-USED FOR NEW LOCATIONS. SEE FLOOR PLAN. VERIFY W/ OWNER.
4	EXIST. DOOR & FRAME TO REMAIN (SHOWN SOLID).
5	EXISTING 3'-11" WIDE DEMISING WALL OPENING. PROVIDE NEW TRIM SURROUND - DO NOT REDUCE OPENING WIDTH. (THIS OPENING IS NOT PART OF REQUIRED EXITS)
6	EXIST. FIRE ALARM DEVICES (TYP. SHOWN EXISTING & TO BE REMOVED) REFER TO FIRE ALARM CONTRACTOR FOR ANY CHANGES / ADJUSTMENTS NEEDED. RELOCATE EXISTING DEVICES AS NEEDED CODE PER NEW WALL LAYOUT. (TYP.) 'E' DENOTES EXISTING 'D' DENOTES DEMO.
7	EXISTING EXIT SIGNS & EMERGENCY LIGHTING TO REMAIN FOR RE-USE. (TYP.) FIELD VERIFY EXIST. OPERATION FOR ANY REPAIRS.
8	NEW EXIT SIGNS & EMERGENCY LIGHTING TO BE LOCATED AS SHOWN.
9	NO CHANGE TO EXISTING RESTROOMS.
10	EXIST. ELECTRICAL PANEL(S). REFER TO ELECTRICAL PLANS FOR NEW WORK.
11	MUD/ SAND/ PRIME/ PAINT ALL NEW WALLS & EXISTING WALLS @ NEW OFFICES / SPACES PER OWNER'S DIRECTION.
12	NEW / RELOCATED DOOR: WHERE NEEDED NEW DOORS, MATCH EXISTING DOOR & FRAME MATERIAL/ STYLE, HEIGHT & FINISH. PROVIDE MIN. 3'-0" WIDE DOORS. ALL DOORS TO HAVE LEVER HARDWARE & EGRESS FREE PASSAGE FROM THE INTERIOR OF THE SPACE / ROOM.
13	ALL EXISTING FLOORING THROUGHOUT 1815' TENANT SPACE IS TO BE REMOVED & REPLACED W/ NEW LVP FLOORING.
14	1815' TENANT SPACE IS TO BE REVIEWED FOR AREAS OF REPLACEMENT NEEDED; REPLACE & PATCH TO MATCH TO EXISTING WITHIN ALL AREAS OF 1815' TENANT SPACE.
15	EXISTING THERMOSTAT TO BE RELOCATED PER OWNER'S DIRECTION.
16	EXISTING 11" WIRING & EQUIPMENT IN EXISTING CLOSET TO BE RELOCATED PER OWNER'S DIRECTION.
17	NEW 34" MAX. TALL WORK COUNTER IN NEW ALCOVE. COORDINATE W/ OWNER FOR FINAL MILLWORK ITEMS THIS AREA.
18	NEW 3' WIDE TEMPERED GLASS & ALUM. DOOR TO MATCH REST OF STOREFRONT TO BE INSTALLED IN EXISTING WALL. NEW FRAMED OPENING W/ HEADER TO BE INSTALLED. MATCH EXISTING STOREFRONT DOORS & HARDWARE. PROVIDE ACCESSIBLE THRESHOLD CONDITIONS.
19	NEW 8' WIDE X 20' LONG HATCHED PAVEMENT AREAS FOR MARKING LOADING & UN-LOADING ZONE. PROVIDE APPROVED ACCESSIBLE SIGNAGE FOR LOADING ZONE USE.



KEY PLAN

WALL LEGEND	
	EXISTING PARTITION WALLS TO REMAIN (SHOWN SOLID)
	EXISTING PARTITION WALLS TO BE REMOVED (SHOWN DASHED)

ISSUE DATES / REVISIONS		
	FOR REVIEW	4/27/22
	FOR REVIEW	3/30/22
NO.	DESCRIPTION	DATE

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DRAWN BY : BT
CHECKED BY : W. JOHNSON
DATE : ---
PROJECT NO. : 22003

TENANT BUILD-OUT FOR:
CLEARBROOK
(BUSINESS SPACE)

1815-1835 W. Central Rd.
Arlington Heights, IL

DEMO./PROPOSED
FLOOR PLAN
1815 SPACE

NO.	DESCRIPTION	DATE
1	FOR REVIEW	4/27/22
2	FOR REVIEW	3/30/22

NO.	DESCRIPTION	DATE
-----	-------------	------

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CHECKED BY : W. JOHNSON
DATE : ---
PROJECT No : 22003

TENANT BUILD-OUT FOR:

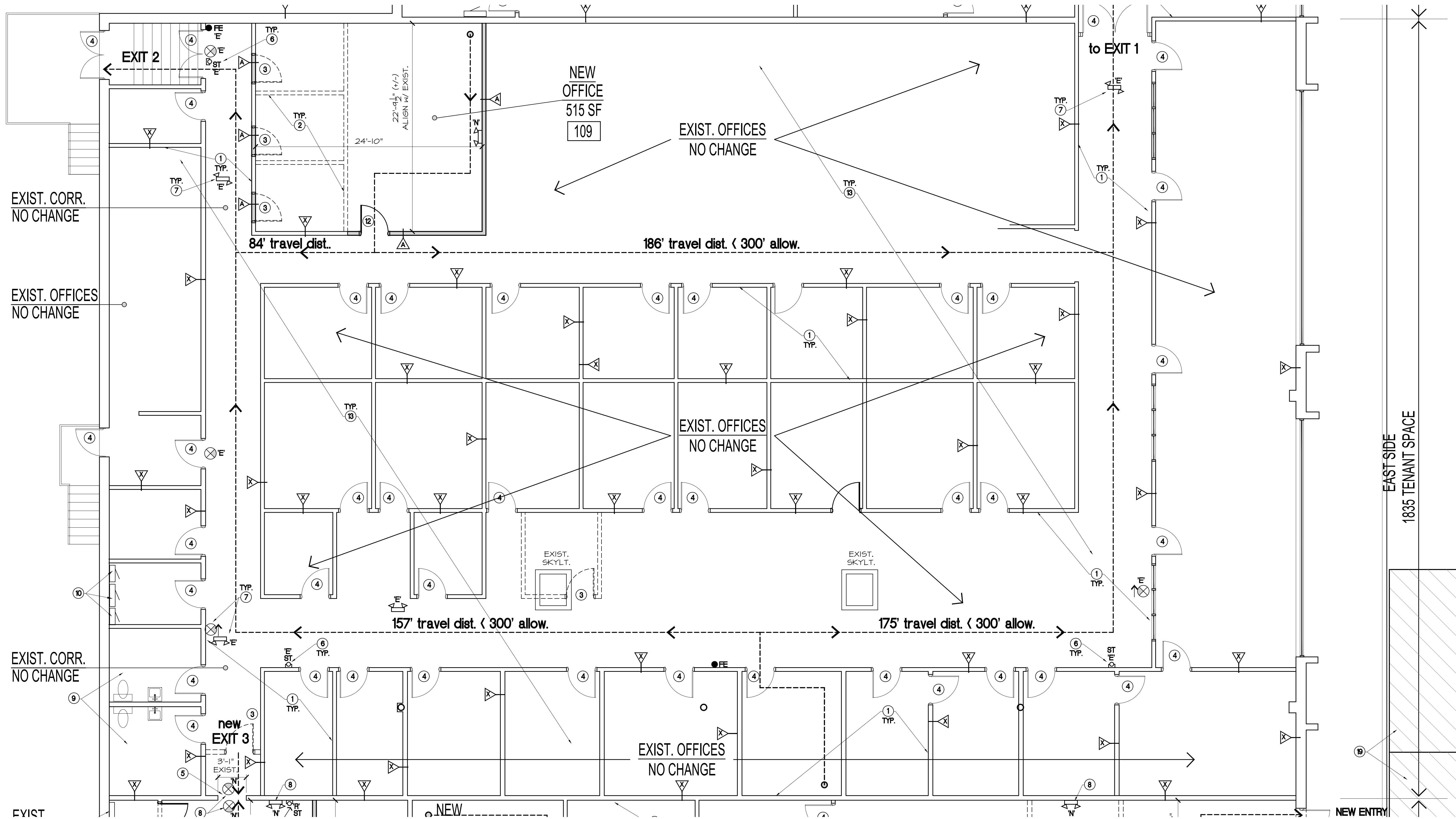
CLEARBROOK
(BUSINESS SPACE)

1815-1835 W. Central Rd.
Arlington Heights, IL

DEMO./PROPOSED
FLOOR PLAN
1835 SPACE - EAST

SHEET

A2



PROP. FLOOR PLAN w/ DEMOLITION
SCALE: 3/16" = 1'-0"
1835 SPACE - EAST SIDE

EGRESS LEGEND

- NEW / EXISTING EXIT SIGN
REFER TO SHEETS A4- A6 FOR NEW & EXISTING DESIGNATIONS
- NEW / EXISTING EMERGENCY LIGHT
REFER TO SHEETS A4- A6 FOR NEW & EXISTING DESIGNATIONS
- DIRECTION OF EGRESS
- FIRE EXTINGUISHER MOUNTED ON WALL
GO TO COORDINATE W/ LOCAL FIRE DEPT. FOR FINAL LOCATIONS & AMOUNTS.

WALL TYPES

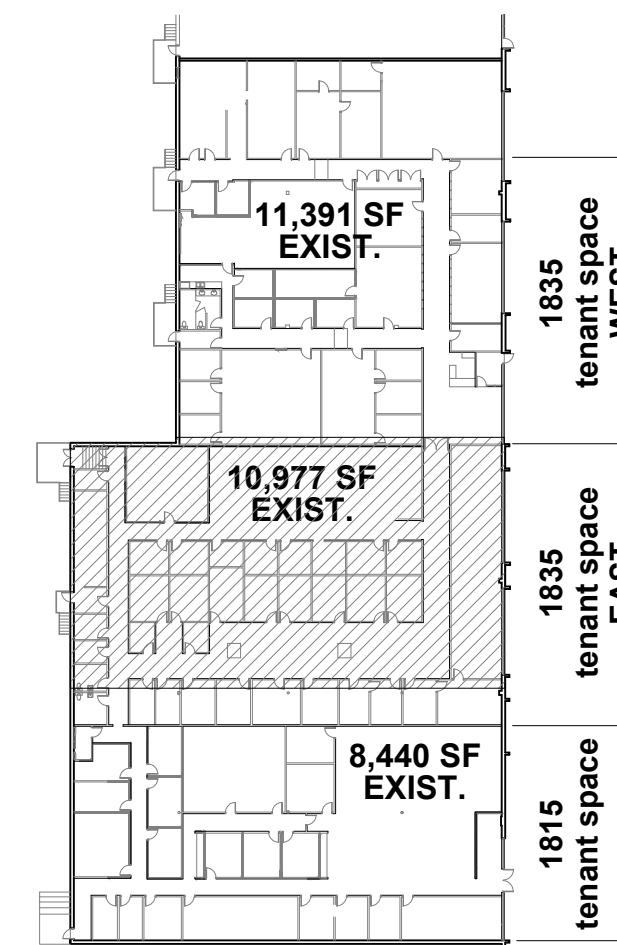
- NEW INTERIOR PARTITION WALLS
3 5/8" wide, 20 ga. MTL. STUDS (362-5-162-33ml) @ 162ga. TO UNDERSIDE OF EXISTING SUSPENDED CEILING.
ALSO PROVIDE 16ga. TOP TRACK (362-T-200-66ml).
PROVIDE 5/8" THK. DRYWALL ON EACH SIDE.
PROVIDE FULL DEPTH SOUND BATT INSUL. IN ALL WALLS.
BRACE WALLS TO STRUCTURE ABOVE / ADJACENT WALLS AS REQUIRED.
ALIGN / FILL EXISTING WALL OPENINGS WHERE SHOWN SHADED.
- EXIST. INTERIOR PARTITION WALLS
PATCH / REPAIR AS NEEDED

WALL LEGEND

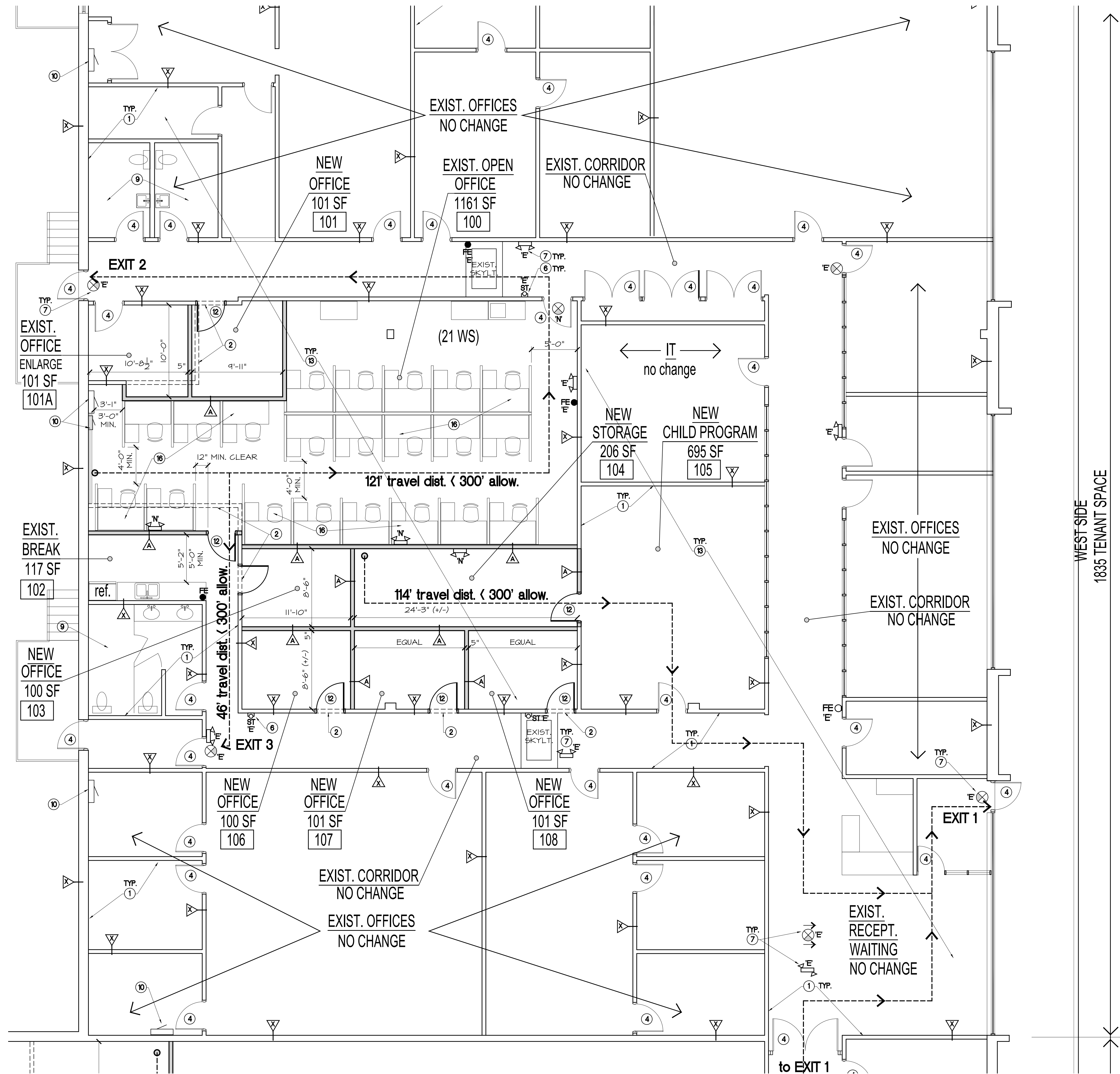
- EXISTING WALLS TO BE REMOVED
- EXISTING WALLS
PATCH AS NEEDED WHERE DISTURBED BY NEW CONSTRUCTION
- NEW INTERIOR WALL
(MATCH EXIST. WALLS)

PROPOSED DEMO./ FLOOR PLAN KEYNOTES FOR SHEETS A1-A3

- EXIST. WALLS TO BE REMAIN - SHOWN SOLID. REPAIR WALLS AS NEEDED PER THESE CONSTRUCTION CHANGES. FIELD REVIEW FOR ANY PATCH / REPAIR WORK REQUIRED.
- EXIST. INTERIOR WALLS / RELATED SHELVING/ MILLWORK, ETC. TO BE REMOVED (SHOWN DASHED).
- EXIST. DOOR & FRAME TO BE REMOVED (SHOWN DASHED). SELECT DOORS IN GOOD CONDITION TO BE RE-USED FOR NEW LOCATIONS. SEE FLOOR PLAN. VERIFY W/ OWNER.
- EXIST. DOOR & FRAME TO REMAIN (SHOWN SOLID).
- EXISTING 3'-1" WIDE DEMISING WALL OPENING. PROVIDE NEW TRIM SURROUND - DO NOT REDUCE OPENING WIDTH. (THIS OPENING IS NOT PART OF REQUIRED EXITS)
- EXIST. FIRE ALARM DEVICES (TYP. SHOWN EXISTING & TO BE REMOVED) REFER TO FIRE ALARM CONTRACTOR FOR ANY CHANGES / ADJUSTMENTS NEEDED. RELOCATE EXISTING DEVICES AS NEEDED CODE PER NEW WALL LAYOUT. (TYP.)
"E" DENOTES EXISTING
"D" DENOTES DEMO.
- EXISTING EXIT SIGNS & EMERGENCY LIGHTING TO REMAIN FOR RE-USE. (TYP.) FIELD VERIFY EXIST. OPERATION FOR ANY REPAIRS.
- NEW EXIT SIGNS & EMERGENCY LIGHTING TO BE LOCATED AS SHOWN.
- NO CHANGE TO EXISTING RESTROOMS.
- EXIST. ELECTRICAL PANEL(S). REFER TO ELECTRICAL PLANS FOR NEW WORK.
- MUD/ SAND/ PRIME/ PAINT ALL NEW WALLS & EXISTING WALLS @ NEW OFFICES / SPACES PER OWNER'S DIRECTION.
- NEW / RELOCATED DOOR.
WHERE NEEDED NEW DOORS MATCH EXISTING DOOR & FRAME MATERIAL/ STYLE, HEIGHT & FINISH. PROVIDE MIN. 3'-0" WIDE DOORS. ALL DOORS TO HAVE LEVER HARDWARE & EGRESS FREE PASSAGE FROM THE INTERIOR OF THE SPACE / ROOM.
- ALL EXISTING FLOORING THROUGHOUT 1815' TENANT SPACE IS TO BE REMOVED & REPLACED W/ NEW LVP FLOORING.
1835' TENANT SPACE IS TO BE REVIEWED FOR AREAS OF REPLACEMENT NEEDED. REPLACE & PATCH TO MATCH TO EXISTING WITHIN ALL AREAS OF 1835' TENANT SPACE.
- EXISTING THERMOSTAT TO BE RELOCATED PER OWNER'S DIRECTION.
- EXISTING "IT" WIRING & EQUIPMENT IN EXISTING CLOSET TO BE RELOCATED PER OWNER'S DIRECTION.
- NEW CUBICLE LAYOUT SHOWN. COORDINATE W/ OWNER FOR FINAL APPROVAL / ADJUSTMENTS NEEDED. PROVIDE MIN. PASSAGE DIMENSIONS AS SHOWN.
- NEW 34" MAX. ILL. WORK COUNTER IN NEW ALCOVE. COORDINATE W/ OWNER FOR FINAL MILLWORK ITEMS THIS AREA.



KEY PLAN



PROPOSED DEMO./ FLOOR PLAN KEYNOTES FOR SHEETS A1-A3

- EXIST. WALLS TO BE REMAIN - SHOWN SOLID. REPAIR WALLS AS NEEDED PER THESE CONSTRUCTION CHANGES. FIELD REVIEW FOR ANY PATCH / REPAIR WORK REQUIRED.
- EXIST. INTERIOR WALLS / RELATED SHELVING/ MILLWORK, ETC. TO BE REMOVED (SHOWN DASHED).
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- NEW 34" MAX. LOG WORK COUNTERS IN NEW ALCOVE. COORDINATE W/ OWNER FOR FINAL MILLWORK ITEMS THIS AREA.

EGRESS LEGEND

- NEW / EXISTING EXIT SIGN
REFER TO SHTS. A4, A6 FOR NEW & EXIST. DESIGNATIONS
- NEW / EXISTING EMERGENCY LIGHT
REFER TO SHTS. A4, A6 FOR NEW & EXIST. DESIGNATIONS
- DIRECTION OF EGRESS
- FIRE EXTINGUISHER MOUNTED ON WALL
SHEET SHT. A0 FOR DETAIL
G.C. TO COORDINATE W/
LOCAL FIRE DEPT. FOR FINAL LOCATIONS & AMOUNTS

WALL LEGEND

- EXISTING WALLS TO BE REMOVED
- EXISTING WALLS
PATCH AS NEEDED WHERE DISTURBED BY NEW CONSTRUCTION
- NEW INTERIOR WALL
(MATCH EXIST. WALLS)

WALL TYPES

- NEW INTERIOR PARTITION WALLS
3.5/8" WIDE, 20 GA. MTL. STUDS (362-5-162-33mil) @ 162.0" TO UNDERSIDE OF EXISTING SUSPENDED CEILING. ALSO PROVIDE 14ga. TOP TRACK (362-T-200-60mil). PROVIDE 5/8" INS. DRYWALL ON EACH SIDE. PROVIDE FULL DEPTH SOUND BATT INSUL. IN ALL WALLS. BRACE WALLS TO STRUCTURE ABOVE / ADJACENT WALLS AS REQUIRED. ALIGN / INFILL EXISTING WALL OPENINGS WHERE SHOWN SHADED.
- EXIST. INTERIOR PARTITION WALLS
PATCH / REPAIR AS NEEDED

ISSUE DATES / REVISIONS

NO.	DESCRIPTION	DATE
FOR REVIEW		4/27/22
FOR REVIEW		3/30/22

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CHECKED BY : W. JOHNSON
DATE : ----
PROJECT No : 22003

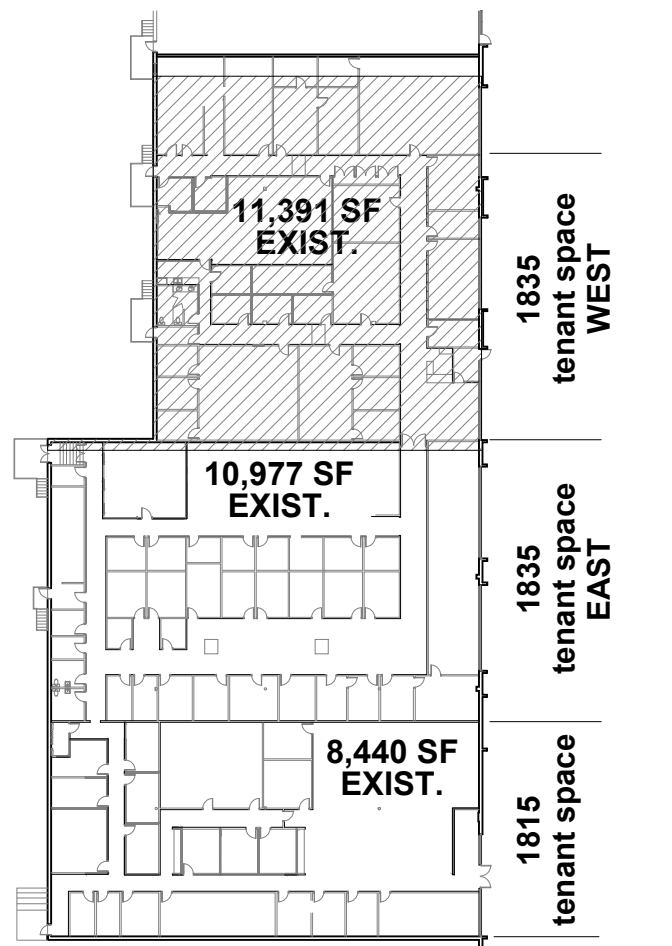
TENANT BUILD-OUT
FOR:
CLEARBROOK
(BUSINESS SPACE)

1815-1835 W. Central Rd.
Arlington Heights, IL

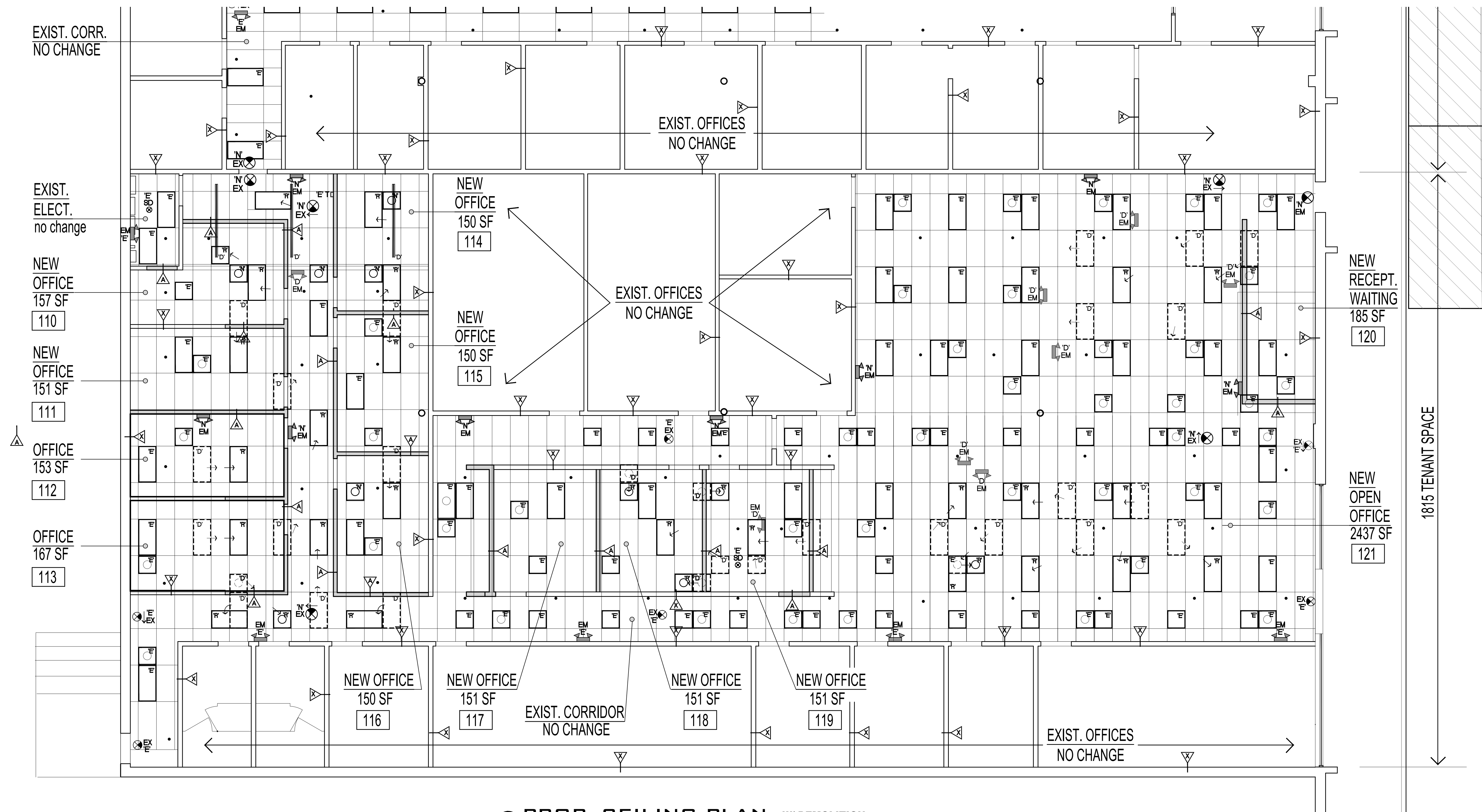
DEMO./PROPOSED
FLOOR PLAN
1835 SPACE - WEST

SHEET

A3



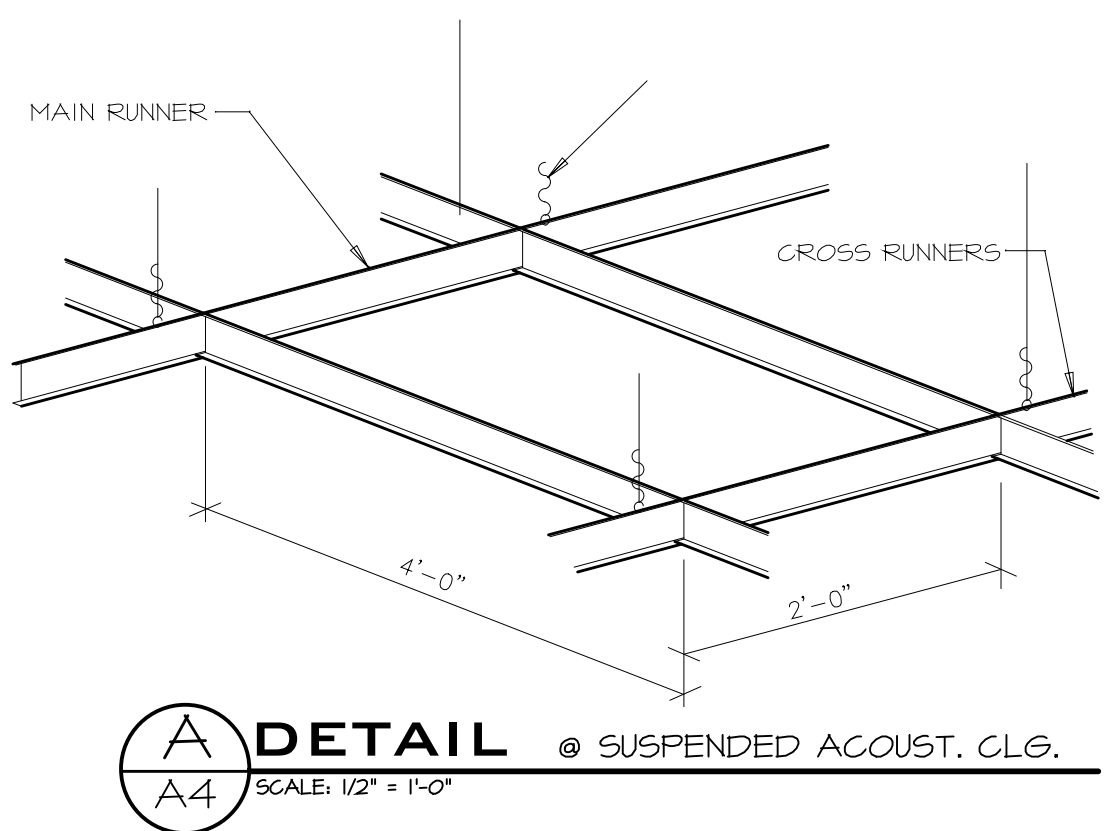
KEY PLAN



GENERAL CEILING NOTES

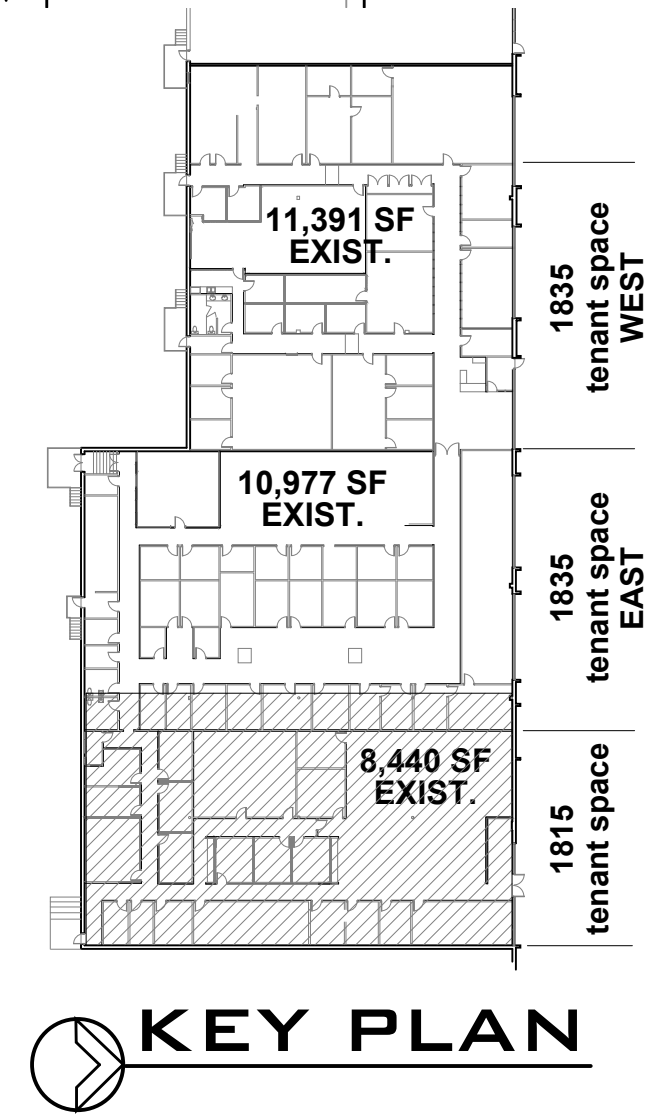
1. PROVIDE NEW DROPPED CEILING;
— FURNISH ALL MATERIALS AND LABOR TO PROVIDE A COMPLETE & OPERATIONAL CEILING GRID SYSTEM AS NOTED ON THESE CONSTRUCTION DOCUMENTS.
— GENERAL CONTRACTOR TO COORDINATE CEILING WORK WITH OTHER TRADES. COORDINATE FINAL CEILING LAYOUT W/ MECHANICAL AND ELECTRICAL WORK.
— PROVIDE NECESSARY FRAMING MEMBERS, SUPPORTS & HANGERS FOR INSTALLATION OR RECESSED LIGHT FIXTURES, DIFFUSERS AND OTHER RECESSED ITEMS.
— FIRE STOPPING AND DRAFTSTOPPING WILL BE INSTALLED IN ACCORDANCE W/ REQUIREMENTS ALONG W/ THE RELATED INTEGRITY WILL BE MAINTAINED BY SEALING ALL OPENINGS W/ NON-COMBUSTIBLE MATERIALS OR MATERIALS AS ACCEPTED BY THE VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS. BUILDING CODE.
— ALL LAY-IN CEILING FIXTURES SHALL BE SECURED TO CEILING GRID PER ARTICLE 410-15 & 16(c) 2011 NEC.
— SUPPORT WIRES FOR LAY-IN CEILING GRID MUST NOT BE CONNECTED TO ANY OF THE MECHANICAL, ELECTRICAL, PLUMBING, OR FIRE PROTECTION PIPING OR EQUIPMENT.
— HANG SUSPENSION SYSTEMS WITH A MINIMUM (1) GAUGE GALVANIZED WIRE SPACED AS REQUIRED. (MAXIMUM FOUR FEET (4') ON CENTER SPACING.)
— INSTALL EDGES OF ACOUSTIC UNITS ALIGNED, FACED IN PLANE, FLUSH & LEVEL, PERPENDICULAR & PARALLEL TO WALLS (U.O.N.). LAYOUT SUSPENSION SYSTEMS TO ACHIEVE THE PATTERN INDICATED ON THE DRAWINGS. CONTACT ARCHITECT IF DIFFERENT.
— INSTALL METAL EDGE TRIM AT JUNCTURES OF ACOUSTIC TILE UNITS & WALLS OR OTHER SURFACES & AT ALL TERMINATIONS.
2. TYPICAL - WHERE INDICATED - LED RECESSED LIGHTS TO BE INSTALLED IN EXIST. SUSPENDED CEILING - IF REPLACEMENT IS REQUIRED.
Note: ALL FIXTURES TO BE 'IC' RATED WHERE SURROUNDED BY INSULATION.

PROP. CEILING PLAN W/ DEMOLITION
SCALE: 3/16" = 1'-0"
1815 SPACE



PROPOSED REFLECTED CEILING PLAN KEYNOTES FOR SHT. A4

- 1 EXISTING CEILING GRID & TILES TO REMAIN. CLEAN THOROUGHLY.
- 2 INFILL/ PATCH / REPLACE TILES & GRID WHERE DAMAGED OR NEEDING INFILL - SHOWN SHADED. FIELD REVIEW FOR EXTENT OF WORK. ALIGN/ MATCH W/ EXISTING GRID.
- 3 EXISTING LIGHTS TO BE REMOVED WHERE SHOWN DASHED. RELOCATE TO NEW POSITION SHOWN W/ ARROWS. FINAL LIGHT POSITION AS DIRECTED BY OWNER. REVIEW EXISTING LIGHT OPERATION FOR CONDITION & RE-USE.
- 4 SELECT HVAC DIFFUSERS TO BE REMOVED / RELOCATED AS REQUIRED - TYP. SHOWN DASHED. SEE PLAN ABOVE FOR NEW / RELOCATED DIFFUSER LOCATIONS. REFER TO LANDLORD'S MECHANICAL CONSULTANT FOR ANY CHANGES TO THE HVAC SYSTEM (BY OTHERS)
- 5 EXISTING FIRE ALARM SMOKE DETECTORS / STROBE LOCATIONS; FIRE ALARM CONTRACTOR TO MAKE ANY CHANGES / ADJUSTMENTS NEEDED TO ACCOMMODATE NEW WALL PLACEMENT.
- 6 EXISTING EXIT SIGNS & EMERGENCY LIGHTING TO REMAIN FOR RE-USE. FIELD VERIFY EXIST. OPERATION FOR ANY REPAIRS. ADJUST EXIT SIGNS / EMERGENCY LIGHT LOCATIONS AS NEEDED FOR NEW WALL LAYOUT.
- 7 PORTION OF THE EXISTING CEILING GRID & TILE TO BE REMOVED FOR NEW WALL LAYOUT - SHOWN DASHED.
- 8 TYP. - EXISTING LIGHTING TO REMAIN UNLESS SHOWN TO BE REMOVED. VERIFY OPERATION FOR RE-USE.



ISSUE DATES / REVISIONS		

19 N. Greeley St. Palatine, IL 600
T (847) 359-9616

EAST SIDE
1835 TENANT SPACE

ISSUE DATES / REVISIONS

ISSUE DATES / REVISIONS		
	FOR REVIEW	4/27/20
	FOR REVIEW	3/30/20
NO:	DESCRIPTION	DATE:

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DATE	: ----
PROJECT No	: 22003

TENANT BUILD-OUT
FOR:
CLEARBROOK
(BUSINESS SPACE)

1815-1835 W. Central Rd
Arlington Heights, IL

DEMO./PROPOSED
FLOOR PLAN
1835 SPACE -EAST

SHEET

A5

PROP. CEILING PLAN W/ DEMOLITION
SCALE: 3/16" = 1'-0"
1835 SPACE - EAST SIDE

- 1 EXISTING CEILING GRID & TILES TO REMAIN. CLEAN THOROUGHLY.
- 2 INFILL PATCH / REPLACE TILES & GRID WHERE DAMAGED OR NEEDING INFILL - SHOWN SHADED. FIELD REVIEW FOR EXTENT OF WORK. ALIGN MATCH W/ EXISTING GRID.
- 3 EXISTING LIGHTS TO BE REMOVED WHERE SHOWN DASHED. RELOCATE TO NEW POSITION SHOWN W/ ARROWS. FINAL LIGHT POSITION AS DIRECTED BY OWNER. REVIEW EXISTING LIGHT OPERATION FOR CONDITION & RE-USE.
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- 8 TYP. - EXISTING LIGHTING TO REMAIN UNLESS SHOWN TO BE REMOVED. VERIFY OPERATION FOR RE-USE.

11,391 SF EXIST.

1835 tenant space

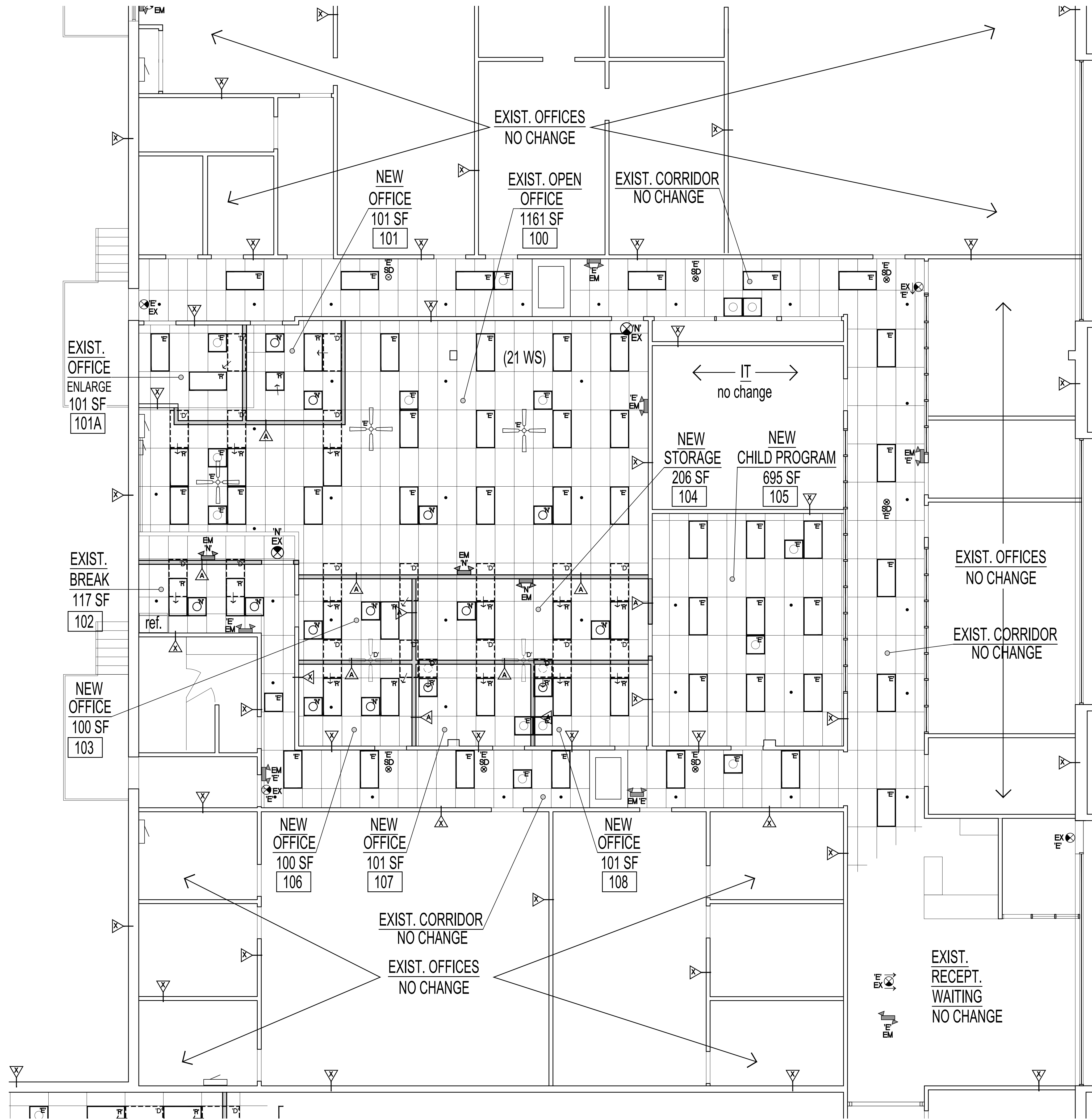
10,977 SF EXIST.

1835 tenant space

8,440 SF EXIST.

1815 tenant space

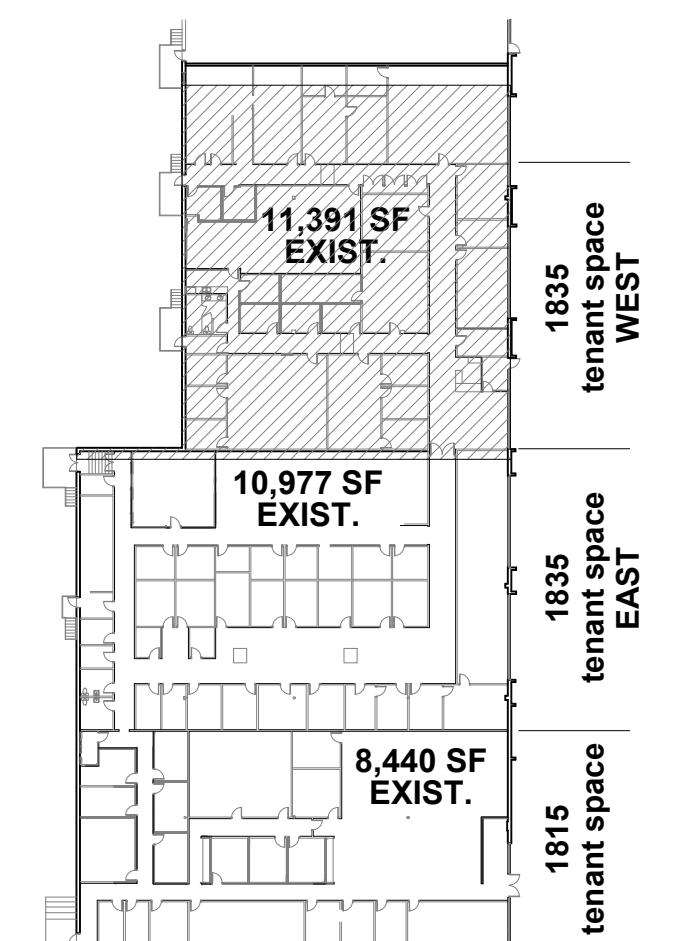
KEY PLAN



PROP. CEILING PLAN W/ DEMOLITION
SCALE: 3/16" = 1'-0"
1835 SPACE - WEST SIDE

**PROPOSED REFLECTED CEILING PLAN
KEYNOTES FOR SHT. A5**

- EXISTING CEILING GRID & TILES TO REMAIN. CLEAN THOROUGHLY.
- INFILL/ PATCH / REPLACE TILES & GRID WHERE DAMAGED OR NEEDING INFILL - SHOWN SHADED. FIELD REVIEW FOR EXTENT OF WORK. ALIGN MATCH W/ EXISTING GRID.
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KEY PLAN

**WARREN JOHNSON
ARCHITECTS, INC.**
19 N. Greeley St. Palatine, IL 60067
T (847) 359-9616

ISSUE DATES / REVISIONS	
FOR REVIEW	4/21/22
FOR REVIEW	3/30/22
NO.	DESCRIPTION DATE:

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DATE : ----
PROJECT No. : 22003

TENANT BUILD-OUT
FOR:
CLEARBROOK
(BUSINESS SPACE)

1815-1835 W. Central Rd.
Arlington Heights, IL

DEMO./PROPOSED
FLOOR PLAN
1835 SPACE - WEST

SHEET
A6



**Conceptual Plan Review Committee
5/11/2022**

Item: Orchard Evangelical Free Church - 1330 N Douglas Ave - T1766

Department: Planning & Community Development

Requested Action:

1. Plat of Subdivision to Consolidate the Subject Property into one lot.

Variations Required:

- None identified at this time.

RECOMMENDATION

The Staff Development Committee reviewed the proposed subdivision and is generally supportive of the project subject to resolution of the following:

1. Plat of Subdivision is required.
2. The petitioner shall incorporate a request to amend the Comprehensive Plan designation of the site from "Single-Family Detached" to "Institutional".
3. The existing utility easements on the property must be added to the Plat.
4. Existing setbacks shall be removed from the Plat and new building setback lines shall be added to the Plat per current code requirements.
5. The petitioner shall comply with all Federal, State, and Village Codes, Regulations, and Policies.
6. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:

Description

Staff Report

Type

Board or Commission Report

Aerial
Project Narrative
Conceptual Plat of Consolidation

Exhibits
Exhibits
Exhibits



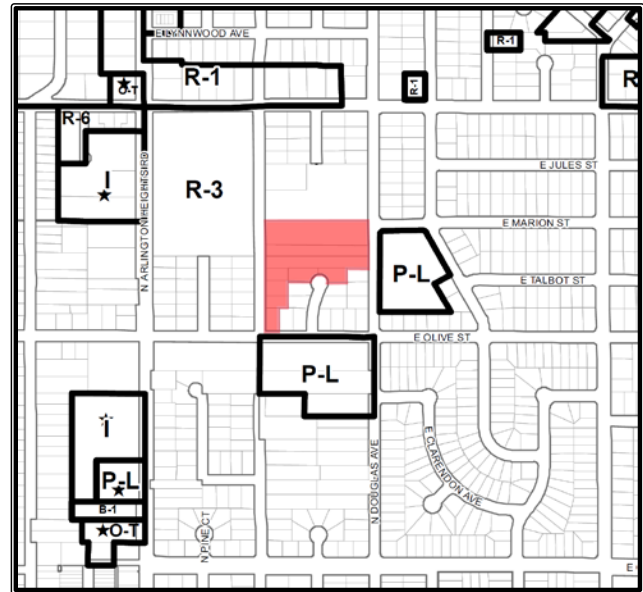
VILLAGE OF ARLINGTON HEIGHTS **STAFF DEVELOPMENT** **COMMITTEE REPORT**

Temp File Number: T1766
Project Title: Orchard Evangelical Free Church
 Lot Consolidation
Address: 1330 N. Douglas Ave.
PIN: Multiple PIN's

To: Conceptual Plan Review Committee
Prepared By: Sam Hubbard, Development Planner
Meeting Date: May 11, 2022
Date Prepared: May 6, 2022

Petitioner: Caitlin Csuk
 Rosanova & Whitaker, Ltd
Address: 127 Aurora Avenue
 Naperville, Illinois 60540

Existing Zoning: R-3: One-Family Dwelling District
Comprehensive Plan: Institutional, Single-Family Detached



SURROUNDING LAND USES

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	R-3: One-Family Dwelling District	Green Slopes Park	Government
South	P-L: Public Lands District R-3: One-Family Dwelling District	Single-Family Homes, Olive-Mary Stitt Elementary School	Parks, Single-Family Detached
East	P-L: Public Lands District R-3: One-Family Dwelling District	Single-Family Homes, Hickory Meadows Park	Government, Single-Family Detached
West	R-3: One-Family Dwelling District	Single-Family Homes, Thomas Middle School	Schools, Single-Family Detached

Requested Action:
 1. Plat of Subdivision to Consolidate the Subject Property into one lot.

Variations Required:

- None identified at this time.

Project Background:

The subject property is the Orchard Evangelical Free Church, located at 1330 N. Douglas Avenue and consisting of seven platted lots of record, along with a small portion of an eighth lot. The site is approximately 5.10 acres in size and includes the church building, parking areas to the north, south and east, and a small detention lot at the southeast corner of the site. The site has a total parking capacity for 405 cars. Access to the site comes from two curb cuts along Douglas Avenue, two curb cuts along Belmont Avenue, and a single curb cut along Olive Street.

The Orchard Evangelical Free Church is proposing to consolidate the property into one lot, which will clearly delineate unified property ownership, facilitate the combination of the ten PINs that make up the subject property into one PIN number, and allow the church to update the underlying title policies for the respective parcels making up the church so that the property can be insured under a single title policy.

Zoning and Comprehensive Plan

The subject property is currently zoned R-3, One-Family Dwelling District, and the existing use of the site is permitted within the underlying zoning district. Relative to the Comprehensive Plan, the northern portion of the site is classified as “Institutional” and the southern portion of the site is classified as “Single-Family Detached”. The division between these two classifications cuts through the southern side of the church building, leaving a small portion of the church building within the “Single-Family Detached” classification, along with certain drive aisles, the southern parking lot, and the detention lot. As the proposed consolidation would create one overall lot for the church site, which solidifies the future use of the property as institutional and would require subdivision if any portion of the land is proposed for single-family development in the future, staff recommends that the entirety of the site be classified within the “Institutional” land use classification within the Comprehensive Plan, which is the most appropriate classification for a place of worship.

As part of the formal zoning approval process, the petitioner will need to clarify if they intend to proceed with both preliminary and final plat of subdivision concurrently, or if they wish to proceed through the approval process separately.

Building, Site, Landscaping:

The petitioner is not proposing any site modifications as part of the proposed lot consolidation. Staff will verify that all onsite landscaping conforms to current code requirements, and if any deficiencies exist, they must be corrected as part of the consolidation process. The proposed subdivision does not trigger any new stormwater capacity per the Village and MWRD requirements; the site currently conforms to code requirements in this regard. Relative to the proposed Plat, the petitioner will need to add the existing utility easements onto the Plat, and all existing setback lines created by previous subdivisions shall be removed. New setbacks, per current code standards, shall be added to, and established by, the proposed Plat of Subdivision.

Parking and Loading:

According to the Village’s Subdivision Control Regulations and Zoning Ordinance, a traffic study is only required for subdivisions in the R-3 District that involve at least 100 dwelling units or more. Since the petitioner is proposing a single-lot consolidation, no traffic study is required.

RECOMMENDATION

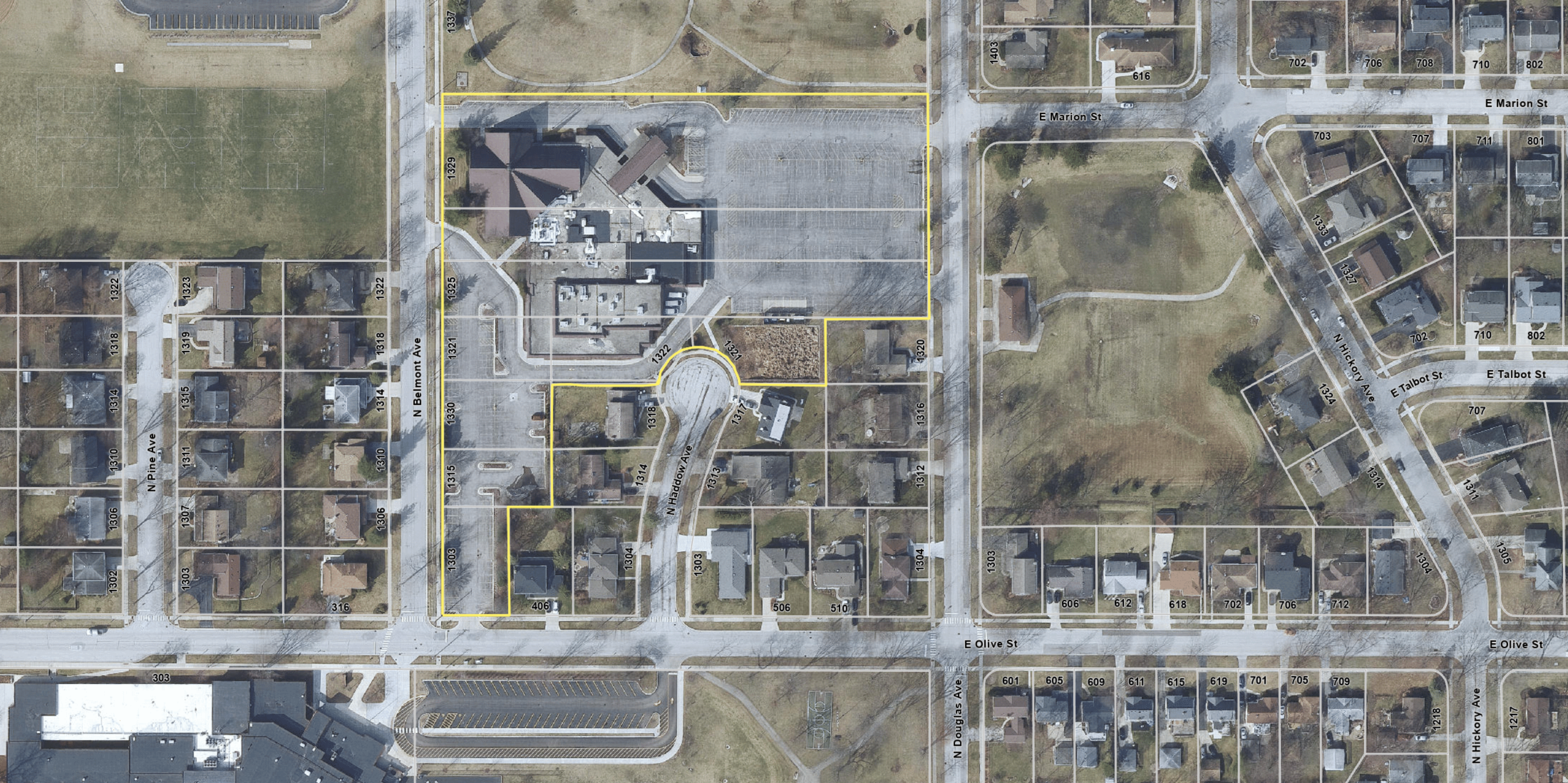
The Staff Development Committee reviewed the proposed subdivision and is generally supportive of the project subject to resolution of the following:

1. Plat of Subdivision is required.
2. The petitioner shall incorporate a request to amend the Comprehensive Plan designation of the site from "Single-Family Detached" to "Institutional".
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5. The petitioner shall comply with all Federal, State, and Village Codes, Regulations, and Policies.
6. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

May 11, 2022

Bill Enright, Assistant Director of Planning and Community Development

Cc: Randy Recklaus, Village Manager
All Department Heads
Temp File 1766



N Belmont Ave

N Pine Ave

N Haddow Ave

E Marion St

E Marion St

E Olive St

E Olive St

E Talbot St

E Talbot St

N Hickory Ave

N Douglas Ave

N Hickory Ave

STATE OF ILLINOIS)
)
COUNTY OF COOK)
)
VILLAGE OF ARLINGTON HEIGHTS)

PETITION FOR SUBDIVISION

THE UNDERSIGNED Petitioner, The Orchard Evangelical Free Church, an Illinois not-for-profit corporation (hereinafter the “**Petitioner**”), as the record owner of the property commonly known as 1330 N. Douglas Ave., Arlington Heights, IL 60004 and which is comprised of ten (10) parcels (the “**Church Property**”) respectfully petitions the Village of Arlington Heights (“**Village**”) to (i) approve a Plat of Subdivision consolidating the ten (10) parcels into a single parcel as further detailed herein; and (ii) approve such other relief from the Village of Arlington Heights zoning and subdivision ordinances as may be deemed necessary and appropriate to consolidate the Church Property.

1. Petitioner purchased its first five parcels of what is now a part of the existing Church Property in 1986 and are commonly known as 1333, 1329, 1325, 1321, and 1331 Belmont Avenue.
2. In 2003, Petitioner acquired an additional parcel commonly known as 1321 N. Haddow Avenue, which was added to the Church Property for water detention purposes.
3. In 2006, Petitioner acquired an additional three parcels commonly known as 1315 N. Belmont Avenue, 1322 N Haddow Avenue, and 1303 N. Belmont Avenue which were added to the Church Property.
4. In 1999, Petitioner acquired a parcel for the Church Property commonly known as 1318 N Haddow Avenue and subsequently conveyed this parcel in 2014 excepting the northern 4.90 feet, which was retained by the Petitioner. The original 1318 N. Haddow Avenue

parcel was then subdivided in Cook County to create two parcels effectively identifying the appropriate ownership of this property.

5. Petitioner now seeks to consolidate the ten parcels making up the Church Property into a single lot to provide for the integrated operation of a single and unified campus.

OBJECTIVE OF CONSOLIDATION

The objective of the proposed subdivision is to provide for a single unified, integrated campus to further facilitate Petitioner's church operations which have historically attracted visitors to the Village of Arlington Heights for the benefit of the community. As mentioned, Petitioner currently utilizes the Property as the Arlington Heights campus for The Orchard Evangelical Free Church which has 6 campuses throughout the Chicagoland area. Petitioner seeks no departures or exceptions from the Village's zoning ordinance or subdivision regulations. Petitioner now seeks approval of a Plat of Subdivision to consolidate the existing 10 parcels making up the Church Property into a single parcel for the purposes of providing a single unified and integrated campus in order to clearly delineate unified property ownership, ensure there is one principal building located on a single lot in accordance with the intent of the Village of Arlington Heights zoning and subdivision ordinances, and to facilitate the continued success of Petitioner's operations. In addition, the Petitioner's request allows for the platting of all applicable and appropriate easements located on the Church Property in addition to platting the Church Property consistent with all requirements as stipulated and set forth in the Village's subdivision ordinance. The consolidation will allow Petitioner to update the underlying title policies for the respective parcels making up the Church Property so that the Church Property can be insured under a single title policy, which will clearly delineate the Church Property ownership, clarify the Church Property's chain of title, and set forth all

easements and building lines as reflected on the recorded plat of subdivision.

SUBDIVISION/CONSOLIDATION OF THE PROPERTY

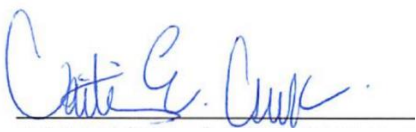
1. As described above and shown on the Plat of Consolidation, which will be included with the formal application materials, Petitioner desires to consolidate the existing 10 parcels in order to create a single, lot for purposes set forth herein.
2. As the proposed Plat of Consolidation is compliant with the Village's Code of Ordinances, Petitioner requests the Plat of Consolidation be approved.

WHEREFORE, by reason of the foregoing, the undersigned Petitioner requests the Village (i) approves a Plat of Subdivision consolidating the ten (10) parcels into a single parcel; and (ii) approve such other relief from the Village of Arlington Heights zoning and subdivision ordinances as may be deemed necessary and appropriate to consolidate the Church Property.

RESPECTFULLY SUBMITTED this 20th day of April, 2022.

PETITIONER:

The Orchard Evangelical Free Church,
an Illinois not-for-profit corporation

By: 

ROSANOVA AND WHITAKER LTD.
Attorneys for Petitioner

SCHOOL DISTRICT BOUNDARY STATEMENT

THE UNDERSIGNED, BEING DULY SWORN, UPON HIS/HER OATH DESPOSES AND STATES AS FOLLOWS:

THE HE/SHE IS THE OWNER OF THE PROPERTY LEGALLY DESCRIBED ON A PROPOSED PLAT OF CONSOLIDATION SUBMITTED TO THE CITY FOR APPROVAL, WHICH LEGAL DESCRIPTION IS ATTACHED HERETO AND INCORPORATED BY REFERENCE HEREIN AND TO THE BEST OF THE OWNER'S KNOWLEDGE, THE SCHOOL DISTRICT(S) IN WHICH EACH TRACT, PARCEL, LOT OR BLOCK OF THE PROPOSED PLAT LIES IS/ARE:

TOWNSHIP HIGH SCHOOL DISTRICT 214 ARLINGTON HEIGHTS
ARLINGTON HEIGHTS SCHOOL DISTRICT 25

DATED THIS _____ DAY OF _____, 2018.

OWNER _____

THE ORCHARD EVANGELICAL
FREE CHURCH PRELIMINARY
PLAT OF CONSOLIDATION

IN THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE
THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

AREA BEING CONSOLIDATED

221,984 SQ. FT. OR 5.096 ACRES

PERMANENT
INDEX NUMBERS

03-20-304-003
03-20-304-004
03-20-304-005
03-20-304-016
03-20-304-017
03-20-304-018
03-20-304-019
03-20-304-022
03-20-304-028
03-20-311-001

RESERVED FOR COOK COUNTY RECORDER

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____)SS

THIS IS TO CERTIFY THAT THE ORCHARD EVANGELICAL FREE CHURCH
IS THE RECORD OWNER OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE
AFFIRMED HEREON, AND DOES HEREBY CONSENT TO THE EASEMENTS FOR PUBLIC UTILITIES, SANITARY
SEWER, DRAINAGE, TEMPORARY AND WATER MAIN OF SAID PROPERTY, SHOWN HEREON.

DATED THIS _____ DAY OF _____, A.D., 20_____.

SIGNATURE _____

NOTARY'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF _____)SS

I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE AFORESAID COUNTY AND STATE,
DO HEREBY CERTIFY THAT THE FOREGOING SIGNATOR OF THE OWNER'S CERTIFICATE
IS PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED
TO THE FOREGOING INSTRUMENT, AND THAT SAID INDIVIDUAL APPEARED AND DELIVERED SAID
INSTRUMENT AS A FREE AND VOLUNTARY ACT OF THE CORPORATION AND THAT
SAID INDIVIDUAL DID ALSO THEN AND THERE ACKNOWLEDGE THAT HE OR SHE IS A CUSTODIAN
OF THE CORPORATE SEAL OF SAID CORPORATION AND DID AFFIX SAID SEAL OF SAID CORPORATION
TO SAID INSTRUMENT AS HIS OR HER OWN FREE AND VOLUNTARY ACT AND AS THE FREE
AND VOLUNTARY ACT OF SAID CORPORATION, AS OWNER, FOR THE USES AND PURPOSES
THEREIN SET FORTH IN AFORESAID INSTRUMENT.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS _____ DAY OF _____

A.D., 20_____.

BY: _____

NOTARY

PRINT NAME _____

PLAN COMMISSION AND VILLAGE BOARD CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK) SS

UNDER THE AUTHORITY PROVIDED BY 65 ILCS 5/11-12 AS AMENDED BY THE
STATE LEGISLATURE OF THE STATE OF ILLINOIS AND ORDINANCE ADOPTED BY THE
VILLAGE BOARD OF THE VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS,

THIS PLAT WAS GIVEN APPROVAL BY THE VILLAGE OF ARLINGTON HEIGHTS AND MUST
BE RECORDED WITHIN SIX MONTHS OF THE DATE OF APPROVAL BY THE VILLAGE BOARD,
OTHERWISE IT IS NULL AND VOID.

APPROVED BY THE PLAN COMMISSION AT A MEETING HELD _____

CHAIRMAN _____

SECRETARY _____

APPROVED BY THE VILLAGE BOARD OF TRUSTEES AT A MEETING HELD _____

PRESIDENT _____

VILLAGE CLERK _____

APPROVED BY THE DIRECTOR OF ENGINEERING _____

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF COOK)SS

I, THE UNDERSIGNED, AS COUNTY CLERK OF COOK COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE
ARE NO DELINQUENT GENERAL TAXES, NO UNPAID OR FORFEITED TAXES, AND NO REDEEMABLE TAX SALES
AGAINST ANY OF THE LAND DEPICTED HEREON.

I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE PLAT
DEPICTED HEREON.

GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK AT _____, ILLINOIS, THIS _____ DAY

OF _____, A.D., 20_____.

COUNTY CLERK _____

PLEASE TYPE/PRINT NAME _____

FIELDWORK COMPLETED ON 4-12-13

Rev	Date	Description	By	PLAT OF CONSOLIDATION			
				LOCATION:	1330 N. DOUGLAS AVE. ARLINGTON HEIGHTS, IL		
				PREPARED FOR:	THE ORCHARD EVANGELICAL FREE CHURCH 1330 N. DOUGLAS AVE. ARLINGTON HEIGHTS, IL 60004 PHONE: 847.392.4840		
				JOB #:	43267	DATE:	3-23-18
				SCALE:	1"=40'		
				SURV:	JCV	DRAWN:	JCV
				DESIGN:	----		
				FILE #:	COOK CO. 20-42-11 CONSOLIDATION		
				SHEET #:	1 of 1		

OWNER AND SUBDIVIDER

THE ORCHARD EVANGELICAL FREE CHURCH
1330 N. DOUGLAS AVE.
ARLINGTON HEIGHTS, IL 60004
PHONE: 847.392.4840

ADJACENT OWNERS

SCOTT A HAGEN
1314 N. HADDOW AVE.
ARLINGTON HEIGHTS, IL 60004
LOT 6 LEMANS SUBDIVISION
P.L.N. 03-20-304-021-0000

MARK AND LISA RUDY
1318 N. HADDOW AVE.
ARLINGTON HEIGHTS, IL 60004
PART LOT 5 -LEMANS SUBDIVISION
P.L.N. 03-20-304-029-0000

JEFFREY & STACEY HARTM
406 E. OLIVE ST.
ARLINGTON HEIGHTS, IL 60004
LOT 2 LEMANS SUBDIVISION
P.L.N. 03-20-311-002

D & S LAVIN
1317 N. HADDOW AVE.
ARLINGTON HEIGHTS, IL 60004
LOT 8 LEMANS SUBDIVISION
P.L.N. 03-20-304-023

S & H SAFFORD
1320 N. HADDOW AVE.
ARLINGTON HEIGHTS, IL 60004
LOT 10 LEMANS SUBDIVISION
P.L.N. 03-20-304-025

LINE LEGEND

———— = BOUNDARY LINE
———— = LOT LINE
----- = EASEMENT LINE
- - - - = SETBACK LINE

ABBREVIATIONS

HDPE = HIGH-DENSITY POLYETHYLENE
RCP = REINFORCED CONCRETE PIPE
PVC = POLYVINYLCHLORIDE PIPE
CMP = CORRUGATED METAL PIPE
VCP = VITRIFIED CLAY PIPE
INV = INVERT
TC = TOP OF CURB
FL = FLOW LINE
FE = FLOOR ELEVATION
TF = TOP OF FOUNDATION
CHB = CHORD BEARING
DIP = DUCTILE IRON PIPE
RRS = RAILROAD SPIKE
PUDE = PUBLIC UTILITY AND DRAINAGE EASEMENT
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
R=RECORD MEASUREMENT

AVENUE

MARION ST.

DOUGLAS

SURVEYOR CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DU PAGE) SS

LEGAL DESCRIPTION

THE NORTH 264 FEET OF LOT 28 IN ALLISON'S ADDITION TO ARLINGTON HEIGHTS, A SUBDIVISION
OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE
THIRD PRINCIPAL MERIDIAN (EXCEPT THE WEST HALF OF THE SOUTHWEST QUARTER THEREOF,
AND THE SOUTH 4 ACRES OF THE EAST HALF OF THE SOUTHWEST QUARTER THEREOF)
RECORDED OCTOBER 19, 1906 AS DOCUMENT NO. 3941663, IN COOK COUNTY, ILLINOIS.

LOTS 1, 2, 3, 4, 7 AND THE NORTH 4.9 FEET OF LOT 5 IN GIA'S RESUBDIVISION OF THE SOUTH
66 FEET OF LOT 28 (EXCEPT THE EAST 33 FEET AND THE WEST 33 FEET THEREOF) AND THE
NORTH HALF OF LOT 30 (EXCEPT THE EAST 33 FEET AND THE WEST 33 FEET THEREOF) ALL
IN ALLISON'S ADDITION TO ARLINGTON HEIGHTS IN SECTION 20, TOWNSHIP 40 NORTH, RANGE 11,
EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT RECORDED JANUARY 25, 1974
AS DOCUMENT NO. 22806349, IN COOK COUNTY, ILLINOIS.

LOT 1 IN LE-MANS SUBDIVISION, A RESUBDIVISION OF THE SOUTH HALF OF LOT 30 IN
ALLISON'S ADDITION TO ARLINGTON HEIGHTS, A SUBDIVISION OF THE SOUTHWEST QUARTER
OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPT
THE WEST HALF OF THE SOUTHWEST QUARTER THEREOF, AND THE SOUTH 4 ACRES OF THE EAST
HALF OF THE SOUTHWEST QUARTER THEREOF) IN COOK COUNTY, ILLINOIS.

AS SHOWN BY THE ANNEXED PLAT, WHICH IS A CORRECT AND TRUE REPRESENTATION OF SAID
PROPERTY, ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.

WE FURTHER CERTIFY THAT THE PROPERTY SHOWN ON THE PLAT HEREON DRAWN IS WITHIN
THE CORPORATE LIMITS OF THE VILLAGE OF ARLINGTON HEIGHTS WHICH HAS AUTHORIZED
A COMPREHENSIVE PLAN AND WHICH IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF
ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS HERETOFORE AND HEREAFTER AMENDED.

AND THAT THE PROJECT IS IN ZONE X (UNSHADED) AREAS OUTSIDE THE 0.2% ANNUAL CHANCE
FLOODPLAIN, AS DESIGNATED BY THE FLOOD INSURANCE RATE MAP (F.I.R.M.) 170310201U FOR THE VILLAGE
OF ARLINGTON, ILLINOIS, WITH AN EFFECTIVE DATE OF AUGUST 19, 2006, AND ZONE X (SHADED)
AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE
DEPTHS OF LESS THAN ONE FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED
BY LEVEES FORM 1% ANNUAL CHANCE FLOOD.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR
A BOUNDARY SURVEY.

GIVEN UNDER MY HAND AND CORPORATE SEAL AT WHEATON, ILLINOIS, THIS _____

DAY OF _____, A.D., 20_____.

WEBSTER, McGRATH AND AHLBERG, LTD.

BY: _____

IL PROF. LAND SURVEYOR NO. 3561
LICENSE EXPIRATION DATE: NOVEMBER 30, 2018
207 S. NAPERVILLE STREET
WHEATON, ILLINOIS 60187
(630) 668-7603

OLIVE

STREET