



Agenda
Village of Arlington Heights
Design Commission
Community Room, 3rd Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
April 25, 2017
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

A. Minutes - 4/6/17

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

A. DC#17-039 - 419 N. Hickory Ave. - SF/Addition

B. DC#17-044 - 1017 N. Beverly Ln. - SF/Teardown

VII. OTHER BUSINESS

A. 2017 Alan F. Bombick Award - Nominations Discussion

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Minutes - 4/6/17

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Minutes - 4/6/17	Minutes

DRAFT

**MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
APRIL 6, 2017**

Chair Eckhardt called the meeting to order at 6:30 p.m.

Members Present: Ted Eckhardt, Chair
Anthony Fasolo
John Fitzgerald

Members Absent: Kirsten Kingsley
Jonathan Kubow

Also Present: Michael Brito-Amador for *Mago Grill & Cantina*
Anthony Massarelli, Owner of *845 S. Bristol Ln.*
George Evangelopoulos, Architect for *845 S. Bristol Ln.*
Scott Nielsen, Fairfield Homes for *919 N. Fernandez Ave.*
Chris Russo, ALA Architects for *919 N. Fernandez Ave.*
Joe Labelle, Rize Properties for *948 N. Fernandez Ave.*
Chris Russo, ALA Architects for *948 N. Fernandez Ave.*
Brent Widler, Architect for *828 N. Forrest Ave.*
Megan Carlson, Owner of *828 N. Forrest Ave.*
Tomasz Augusta, Avas Atelier Design for *905 W. Maude Ave.*
Agnes Piersa, Owner of *905 W. Maude Ave.*
Kris Shirley, Brentwood Development for *1111 W. Maude Ave.*
Alex Pereira, UP Development for *Heart's Place*
Therese Thompson, Cordogan, Clark & Associates for *Heart's Place*
Steve Hautzinger, Staff Liaison

REVIEW OF MEETING MINUTES FROM MARCH 14, 2017

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO APPROVE THE MEETING MINUTES OF MARCH 14, 2017. ALL WERE IN FAVOR. THE MOTION CARRIED.

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO MOVE PROJECT DC#17-025, MAGO GRILL & CANTINA, TO THE BEGINNING OF THE AGENDA. ALL WERE IN FAVOR. THE MOTION CARRIED.

ITEM 1. SIGN VARIATION REVIEW**DC#17-025 – Mago Grill & Cantina – 115 W. Campbell St.**

Michael Brito-Amador, representing *Mago Grill & Cantina*, was present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is seeking a variation from Chapter 30, section 30-201.h.4 Number, to allow two wall signs where only one is allowed, and a variation from Chapter 30, section 30-201.h.3 Wall Signs, to allow a 9 sf wall sign, where 0 sf is allowed. The existing Mago Grill & Cantina restaurant is located in the first floor of the Metropolis building in the Downtown. The Metropolis building has two tenant spaces facing Campbell Street that are separated in the middle by a main common building entrance. Mago currently occupies the west tenant space, and they have recently expanded into the east tenant space (formerly Z Spa). The existing Mago restaurant has two awnings above their storefront windows, and a 9 sf wall sign on the center brick pier. The petitioner is proposing to use the same signage on the new east side of their restaurant, where awnings are permitted by code, but a second wall sign for the same business on the same street frontage is not allowed.

The existing awnings are proposed to be updated with new graphics, which is nicely designed, and code compliant. The existing Mago wall sign has a brown background, and it is proposed to be refaced with a colorful new sign on a white background. The existing Z Spa wall sign is proposed to be updated with a matching white Mago sign. The petitioner has submitted a letter addressing the above criteria, with the primary hardship identified as the need to create signage reflecting that the two spaces are owned and operated by one individual business.

Staff agrees with the proposed variations for the following reasons:

- The shared common building entrance divides the restaurant into two halves which is a unique situation that is not self-created. The expanded restaurant is completely separated by the main building entrance and lobby. This situation is substantially different and unique from other establishments with only one street frontage.
- The proposed signage is nicely designed and fits the character of the Downtown.
- The size of the two wall signs combined is well under the allowable sign size for just one of the tenant spaces.

Staff recommends approval of the sign variation requests as proposed.

Mr. Amador had no comments to add to Staff's presentation.

Commissioner Fitzgerald was okay with the variation request because of the unusual situation with the restaurant being divided by a hallway. **Commissioner Fasolo** agreed with all of the comments made by Staff and recommended approval as submitted. **Chair Eckhardt** agreed with the comments made by the other commissioners.

Chair Eckhardt asked if there was any public comment on the project and there was a response from the audience.

Joe Keefe, Executive Director for Metropolis Performing Arts Centre, said that they are also a first-floor tenant in the Metropolis building with Mago, and fully support the sign variation request being made. They feel the new signage will beautify the front of the building and be a vast improvement to the previous signage.

There were no further comments.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO RECOMMEND TO THE VILLAGE BOARD OF TRUSTEES, APPROVAL OF THE SIGN VARIATION REQUEST FOR *MAGO GRILL & CANTINA* LOCATED AT *115 W. CAMPBELL STREET*, AS SUBMITTED. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE ARCHITECTURAL PLANS RECEIVED 2/23/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A VARIATION FROM CHAPTER 30, SECTION 30-201.h.4 *NUMBER*, TO ALLOW TWO WALL SIGNS WHERE ONLY ONE IS ALLOWED.
2. A VARIATION FROM CHAPTER 30, SECTION 30-201.h.3 *WALL SIGNS*, TO ALLOW A 9 SF WALL SIGN, WHERE 0 SF IS ALLOWED.
3. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
4. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.

FASOLO, AYE; FITZGERALD, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 2. SINGLE-FAMILY TEARDOWN REVIEW**DC#17-018 – 845 S. Bristol Ln.**

Anthony Massarelli, the homeowner, and **George Evangelopoulos**, the architect, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing single story residence and attached two car garage to allow construction of a new two story residence with an attached four car garage. This project received approval from the Zoning Board of Appeals on March 13, 2017 to allow an exterior side setback of 15.7 feet where 36.3 feet is required. Also, the proposed building height is approximately 25'-4", which exceeds the maximum 25' and will need to be adjusted, and the driveway width is 23 feet, which exceeds the maximum 22 feet and is in conflict with an existing parkway tree which will need to be resolved. Otherwise, the proposed design complies with the R-E zoning requirements.

This neighborhood originally consisted of primarily single story homes with attached garages, but there have been numerous teardowns previously approved throughout the neighborhood that are mostly larger two-story homes. Typical lots in this neighborhood are 100' wide x 200' deep, and 20,000 sf. The subject property is a larger corner lot with a 200' wide frontage facing Bristol Lane, although the lot tapers in width towards the rear. The proposed new home design has an overall width of approximately 117 feet facing Bristol Lane. For comparison, the widest possible house on a typical 100 foot wide lot would be 80 feet, so the proposed design is roughly 37 feet wider. The scale of the proposed house is the primary reason for the project appearing before the Design Commission.

Overall, the proposed design is very nicely done in a symmetrical, center entry, traditional style that will fit in very well with numerous other newer homes that are adjacent to this property. The proposed exterior materials and colors are a very nice classic combination of red brick, limestone base, white windows, white trim, and black shutters, and the design includes the same level of detailing on all sides of the house. The proposed four car garage is arranged in a side loaded configuration which works well on large lots to turn the garage face away from the street. There is abundant space (approximately 46 feet) between the face of the garage and the adjacent house, but it is recommended that landscaping be provided along the edge of the driveway to soften the view of the garage from the adjacent property.

Staff recommends approval of the proposed new home with the recommendation to add landscaping as previously stated.

Chair Eckhardt asked if there was any public comment on the project and there was no response from the audience.

Mr. Evangelopoulos stated that the building height will be brought down to meet code, and they intend on screening the adjacent neighbor to the north by adding landscaping along the driveway. **Mr. Massarelli** added that landscaping will be added all the way up the driveway to help screen the adjacent neighbor, and the driveway will be tapered in to allow the existing parkway tree to remain, with a planting bed added around the tree.

Commissioner Fasolo felt it was a nice looking home with great materials and great details, and will fit in well based on the lot size. He agreed with Staff's suggestion to screen the driveway and he supported the petitioner's decision to save the existing tree, and he also agreed with lowering the roof.

Commissioner Fitzgerald agreed with Staff's comments; he liked the new home and was okay with this corner lot having a bigger home, which is seen throughout the area. He added that he lives in this neighborhood and there are a lot of water issues that the petitioner should be aware of and prepared to take care of.

Chair Eckhardt agreed with the comments made by the other commissioners and felt it was a great home. He pointed out that one of the two front porches appears to not be connected with a door into the home, although he

would not discourage the petitioner from having the porches. With regards to Commissioner Fitzgerald's comments about water issues, he added that this neighborhood has no storm sewer system, and a deep pond swale currently exists at the northwest corner of this property. He encouraged the petitioner to consider some underground tank or some bio-swales, and **Mr. Massarelli** stated that he is aware of the deep pond swale, which will be addressed and taken care of.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR THE NEW SINGLE-FAMILY HOME TO BE LOCATED AT 845 S. BRISTOL LANE. THIS APPROVAL IS BASED ON THE ARCHITECTURAL PLANS DATED AND RECEIVED 2/23/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT TO LOWER THE ROOF HEIGHT TO MEET THE MAXIMUM HEIGHT ALLOWED BY CODE.
2. A REQUIREMENT TO ADD LANDSCAPING ON THE NORTH SIDE OF THE LOT TO SCREEN THE DRIVEWAY FROM THE ADJACENT NEIGHBOR TO THE NORTH.
3. A REQUIREMENT TO KEEP THE EXISTING PARKWAY TREE AT THE NORTHWEST CORNER OF THE SITE.
4. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
5. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.

Chair Eckhardt asked that the motion include a statement that the homeowner acknowledges the stormwater issues in the neighborhood, and he is going to address them.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO AMEND THE MOTION TO ADD THE FOLLOWING:

6. THAT THE PETITIONER ACKNOWLEDGES THE STORMWATER ISSUES IN THE NEIGHBORHOOD AND WILL ADDRESS THE ISSUES.

**FASOLO, AYE; FITZGERALD, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.**

ITEM 3. SINGLE-FAMILY TEARDOWN REVIEW

DC#17-019 – 919 N. Fernandez Ave.

Scott Nielsen, representing *Fairfield Homes*, and **Chris Russo**, representing *ALA Architects*, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing single story residence to allow construction of a new two story residence with an attached, two car garage. The project does comply with the R-3 zoning requirements. The existing neighborhood consists of primarily smaller scale, single-story, and one-and-a-half-story homes with predominantly detached garages; however, there are a couple of major second floor additions and four teardowns previously completed on this block, one of which is directly south of the subject property.

Overall, the proposed design is very nicely done with a single story front porch and single story garage roof that helps the house to fit in the scale of the neighborhood. Additionally, the main side-to-side roof gable is recessed towards the back of the house, so the massing of the home along the street frontage will have a very nice scale that will fit in well in this location. The Design Commission should evaluate the proposed front loaded garage where the majority of the block has detached garages, but the porch does extend in front of the garage wall placing the focal point on the entry instead of the garage.

Staff's only comment on the design is that the first-floor plan does not allow for any windows on the left side elevation. Staff recommends approval with the recommendation that landscaping be provided to soften the large blank wall.

Chair Eckhardt asked if there was any public comment on the project and there was response from the audience.

Mr. Russo said that at the time of this submittal, the proposed new home was a spec home; however, since that time, the new home has been purchased and revisions are now being proposed. He presented updated drawings to Staff and the commissioners that included the following; the first-floor will remain the same, and the second-floor was re-designed to allow for an additional bedroom, for a total of 5 bedrooms. The second-floor wall is still set back from the garage wall, and an additional window was added to the front of the home. He asked for flexibility on the revised garage door, which the homeowner wants to be something more than a standard raised panel door; however, the top of the door could be changed out with glass.

Mr. Hautzinger questioned whether the new design still meets code with respect to the bedroom that was added, and pointed out that the side elevations appear different; the gable comes forward much farther now. **Mr. Russo** replied that the square footage did not change and the new home still meets code, and he would provide new zoning information to Staff. **Mr. Hautzinger** stated that Staff would verify zoning compliance once the revisions were received.

Commissioner Fitzgerald liked the changes that were made, and also had no issues with the original design that was submitted. He liked the colors being proposed and he was okay with the comment on the garage doors. He agreed with the suggestion to soften the left side elevation with landscaping, and pointed out that the front of the home has a lot of details and the rear of the home does not. He suggested adding a belly band down the sides and across the rear of the home, or adding shingle siding to the top of the gable on the rear of the home, and a covering above the patio door.

Commissioner Fasolo was in support of the stone base that was added on the front elevation, which is similar to other homes in the neighborhood, and he suggested continuing the base onto the side elevations; down to where the second-story starts on the right side elevation and up to the first first-floor window on the left side elevation. He also suggested adding windows in the garage and a belly band at the second-floor level on the side elevations.

Chair Eckhardt agreed with the comments made by the other commissioners, and asked the petitioner if they had any response to the comments and suggestions made. **Mr. Russo** said that he was fine with suggestions that were made.

PUBLIC COMMENT

Ken Simpson, 915 N. Fernandez Avenue, said that he lives directly south of the site. He has no real issues with the design of the new home, which blends well with his home; his issues are during construction. He asked if the existing chain link fence between the 2 homes would remain during construction because of the tight space between the two properties, and **Mr. Russo** replied that it would. He also asked if additional fabric screening could be put up between the homes to help with dirt and debris, and if shoring could be done during excavation to avoid any problems on his property. He reiterated the existing water issues in the neighborhood and his concerns about the new home not blocking the existing flow of water. **Chair Eckhardt** clarified that water issues are not under the purview of this commission, and that residents should direct these concerns to the Village Engineering Department. Mr. Simpson also said that he liked the revised window placement on the left side elevation.

Pete & Meri Beth Constan, 927 N. Fernandez Avenue. Meri Beth Constan said that they live 2 homes north of the site and they are not happy with all of the teardowns in the neighborhood. She referred to the photos of the surrounding properties which clearly shows that these teardowns are far too big for the neighborhood and do not match the existing neighborhood at all. She is bothered by the Staff report stating that although this neighborhood is primarily smaller scale, single-story homes and 1-1/2-story homes with predominantly detached garages, previous teardowns have been approved on this block and will continue to be approved with this new home. She also pointed out the issue of detached garage versus attached garage, and that the proposed 2-car frontload garage does not match the neighborhood at all. She and her husband bought their home 20 plus years ago because it was a neighborhood of modest homes, which they liked and could afford; however, now there are new homes that are 2 to 3 times as expensive and almost 3 times as big, which they are not happy about. She felt that the Village is trying to get more and more people that make far more money than they do to move into the Village, by allowing these kinds of homes. She would not argue that these new homes are attractive; however, she felt that they are massive and the Village is not making an effort to make the homes look different. She reiterated that they are very upset to see another teardown on the block and she asked what the percentage of approvals versus the number of applications is.

Chair Eckhardt said that he has been on this commission for more than 23 years and the commission has denied approximately 5 homes; however, the commission also makes revisions to almost every home that comes before them, to improve them. He explained that new homes are designed according to the current zoning regulations, and this new home does not exceed those regulations. He added that neighbors' rights are being protected as much as a petitioner's rights to design a new home the way they want and Ms. Constan asked how this could be when these new homes are too big for the lot. **Chair Eckhardt** replied that this new home is not too big for the lot because it is code compliant. Ms. Constan felt that the Village should start thinking about the people that already live here in the Village; don't we want more people to live here that can afford a smaller home like hers. She also asked how the suggestions being made by the commissioners tonight are actually done by the builder, and **Chair Eckhardt** explained the approval process. He added that the purpose of this commission is not to encourage teardowns, and every resident has the same rights when building a new home or an addition, and he added that the commission rarely sees new one-story homes being built in the Village. Ms. Constan appreciated the commission listening and reiterated her previous comments to keep in mind the other people in the community.

Travis Juracek, 905 N. Fernandez Avenue, said that he lives 3 homes south of the site, and wanted to address some of the things mentioned by the 2 previous neighbors. He acknowledged the change in the neighborhood, and said that 2 years ago he had a debate with this commission about the modern design of his new home; however, he felt the commissioners did a great job in the review of his project, which included some revisions. He agreed with the previous neighbor that many of the new homes look the same, although he liked this particular home. He said that the economy is driving the change in the neighborhood, as well as the top notch School District and people with

money. He added that ranch homes are too expensive to build compared to 2-story homes, and the poor quality of some of the existing older homes in the Village contribute to the number of teardowns; houses have a life span. He commended the petitioner for finding a buyer for this new home, even if it meant that changes are being proposed.

Deb Artman, 1720 N. Kaspar Avenue, said that she has lived in a smaller home in the Hasbrook neighborhood for 30 years, and she is not opposed to seeing new homes being built in the neighborhood, although she appreciated the comments made by the previous neighbors.

Meri Beth Constan stated that Mr. Juracek spoke very nicely and she felt his new home was very nice; it is very different and not gigantic.

Chair Eckhardt closed the public comment portion of the meeting. There were no further comments from the commissioners.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR THE NEW SINGLE-FAMILY HOME TO BE LOCATED AT 919 N. FERNANDEZ AVENUE. THIS APPROVAL IS BASED ON THE REVISED ARCHITECTURAL PLANS DATED 4/04/17, RECEIVED 4/06/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT TO CONTINUE THE STONE BASE ON THE FRONT ELEVATION AROUND THE RIGHT SIDE ELEVATION UP TO THE BREAK POINT IN THE ROOFLINE, AND UP TO THE FIRST WINDOW ON THE LEFT SIDE ELEVATION.
2. A REQUIREMENT TO ADD A BELLYBAND OR TRIM BOARD BETWEEN THE FIRST-FLOOR AND SECOND-FLOOR ON THE SIDE AND REAR ELEVATIONS.
3. A RECOMMENDATION TO ADD MORE DETAIL ON THE REAR ELEVATION, INCLUDING OPTIONS FOR A COVERED CANOPY OR TRANSOM WINDOW OVER THE SLIDING DOORS, DETAILS IN THE GABLE SIMILAR TO THE VERTICAL SIDING ON THE FRONT ELEVATION.
4. A REQUIREMENT FOR SPECIAL CARE DURING CONSTRUCTION FOR DUST AND WATER AND CONSTRUCTION MATERIAL.
5. A REQUIREMENT TO ADD LANDSCAPING ON THE LEFT SIDE ELEVATION TO SOFTEN THE APPEARANCE OF THE WALL.
6. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
7. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.

Chair Eckhardt clarified the difference between a recommendation and a requirement.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO AMEND THE MOTION TO ADD THE FOLLOWING:

8. A RECOMMENDATION TO ADD GLASS TO THE TOP ARCH PORTION OF THE GARAGE DOOR.

FASOLO, AYE; FITZGERALD, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

DRAFT

ITEM 4. SINGLE-FAMILY TEARDOWN REVIEW**DC#17-022 – 948 N. Fernandez Ave.**

Joe LaBelle, representing *Rize Properties*, and **Chris Russo**, representing *ALA Architects*, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing single story residence to allow construction of a new two story residence with an attached, two car garage. The subject site is located on the same block as the previous project, although on the other side of the street, and the subject site is located next to one of the existing teardowns on the block and an older one-story home on the other side. The project does comply with the R-3 zoning; however, there are two zoning issues that need to be corrected prior to building permit:

- There is a bay window on the south elevation that encroaches into the required side yard setback which is not allowed.
- Basement window wells are required to be a minimum of 3 feet from the side property line. The basement window well on the south is less than 3 feet from the property line which is not allowed.

The proposed design has a unique and interesting traditional style with a one-and-a-half-story massing that works very well in this location. However, the Design Commission should evaluate the proposed front loaded garage where the majority of the block has detached garages. Overall, the garage is nicely designed with a single story eave line and attractive dormer above, but the front door is recessed back from the garage wall, leaving the garage wall as the prominent feature on the front. Additionally, the second floor window above the front door looks crowded by the garage roof. It is recommended that the garage be further recessed to make the front entrance more prominent and to allow more space for a double window above the front door, similar to the sketch shown in the Staff report, and Staff recommends approval.

Mr. LaBelle said that their goal was to do something different with the proposed new home. They made a conscious effort to take the typical design that they build and refine it to add character to the neighborhood and make the new home fit in. The current design was a lengthy process, and includes a first-floor flex room that could be used as a bedroom or an office, which resulted in a smaller second-story with lower massing. He appreciated Staff's suggestion to push back the garage and he met with Staff regarding this; however, this poses a challenge to the design because pushing the garage back would change the first-floor significantly and also change the second-floor and roofline. He is hopeful that the commissioners would approve the design as currently proposed.

Chair Eckhardt asked if there was any public comment on the project and there was response from the audience.

Mr. Russo stated that this is a really unique home that will fit well on the street, and a very good example of 4-sided architecture. It's a very complicated design when a second-floor fits within a roof. Pushing the garage back will affect everything about the floor plan, and they tried very hard to achieve an open first-floor and then worked backwards to create usable rooms on the second-floor. He explained that the proposed FAR is just under the allowed amount; however, the FAR includes all of the sloping areas on a 1 and ½-story home, which is difficult to work with. **Chair Eckhardt** said that he would argue that. **Mr. Hautzinger** clarified that an attic space with less than a 6'-8" ceiling height would not count towards FAR; however, the entire floor space of a finished room with a sloping ceiling that continues below 6'-8" would count towards the FAR of the home.

Commissioner Fitzgerald liked the design of the new home and felt it was charming and would fit in beautifully, which the rooflines help with. He liked the colors being proposed and that the home looks great on all four sides, and he was not bothered by the garage doors. He liked the design as submitted.

Commissioner Fasolo said that it was definitely a unique home, with funky rooflines that he has never seen quite like this before; however, he felt it was a nice design. He pointed out that the elevation shows a single window above the front door and the rendering shows a double window. **Mr. Russo** replied that the drawings were revised to show

a single window above the front door, which was a result of the minimum garage width needed. **Commissioner Fasolo** understood the situation with the garage butting into the roof and more windows in the second-floor space above the entry would be nice; however, he was okay with how it is currently proposed.

Chair Eckhardt felt the new home was nicely designed, with the exception of the single window above the front entry, which looked crowded up against the roof. **Mr. Russo** suggested changing the garage roof line into a hip roof to allow for a double window above the entry. **Chair Eckhardt** was in favor of the suggestion and had no further comments.

PUBLIC COMMENT

MeriBeth Constan, 927 N. Fernandez Avenue, said that she liked the garage as it is proposed and the way the front porch is recessed back, which gives some character to the home.

There were no further comments.

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR THE NEW SINGLE-FAMILY HOME TO BE LOCATED AT 948 N. FERNANDEZ AVENUE. THIS APPROVAL IS BASED ON THE ARCHITECTURAL PLANS RECEIVED 2/24/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT TO HIP THE ROOF ON THE LEFT SIDE OF THE GARAGE AND ADDING A DOUBLE WINDOW ABOVE THE FRONT ENTRY, TO BE APPROVED BY STAFF.
2. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
3. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.

Commissioner Fasolo asked about the 2 zoning issues that need to be corrected, and **Mr. Hautzinger** replied that these items will be taken care of by Staff, regardless of whether they are in the motion. **Chair Eckhardt** felt these items should be appropriately added to the motion for Staff to review.

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO AMEND THE MOTION TO ADD THE FOLLOWING:

4. A REQUIREMENT THAT STAFF REVIEW FOR COMPLIANCE, THE 2 ZONING ISSUES OF THE BAY WINDOW ON THE SOUTH ELEVATION THAT ENCROACHES INTO THE REQUIRED SIDE YARD SETBACK, AND THAT THE WINDOW WELLS BE A MINIMUM OF 3-FEET FROM THE SIDE PROPERTY LINE.

**FASOLO, AYE; FITZGERALD, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.**

ITEM 5. SINGLE-FAMILY TEARDOWN REVIEW**DC#17-026 – 828 N. Forrest Ave.**

Brent Widler, representing *Widler Architecture*, and **Megan Carlson**, the homeowner, were present on behalf of the project.

Chair Eckhardt asked if there was any public comment on the project and there was response from the audience.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing two story residence and attached two car garage to allow construction of a new two story residence with an attached three car side-loaded garage. The proposed design complies with the R-E zoning requirements. This street consists of large lots, generally 100 feet wide x 297 feet deep on both sides of the street. The subject property is extra wide, at 156 feet in width. The proposed house is large, but it fits comfortably on the large lot with generous setbacks on each side, and there have been numerous similar scale teardowns completed on this street.

Overall, the proposed design is nicely done with a contemporary farmhouse style. The white board and batten siding is one of the defining characteristics of the design, and this is generally a very nice detail. However, due to the size of the home, there is a large amount of board and batten siding, so it is recommended that other materials be added to break up the amount of board and batten siding. The garage has a stone base on the right side of the front elevation that has a very nice appearance, but the full wall of stone on the single story gable on the left side of the elevation seems random. For a more balanced composition, it is recommended that stone be added on the gable in the center of the front elevation, possibly up to the sill of the second floor windows, and the full stone wall on the left side be reduced to match the garage. Another suggestion to break up the amount of board and batten siding and add interest to the design would be to combine it with other siding styles, such as horizontal siding on the first floor with board and batten siding above. The metal roof features above the garage window and the adjacent door are very nice details, however they have a flat appearance, so it is recommended to slightly increase the pitch of those metal roofs.

Staff recommends approval of the proposed new home with the suggestions to revise the exterior materials to include a better balance of stone and siding, consider combining horizontal siding with the board and batten siding for more variety, and increasing the roof pitch of the small standing seam metal roofs at the garage window and adjacent door.

Mr. Widler stated that they are proposing a contemporary modern farmhouse design with an expansive front elevation on the large-width lot, with a goal to create some massing elements on the front of the home. It is their intent that the stone not be the main focal point of the home, but that it be an accenting element, so not to take away from the clean board and batten aesthetic the homeowners want. They explored the suggestions made by Staff, including a siding option, and ultimately came back to the current design that they feel best suits the homeowners' objectives. He also explained that the metal roofs are at a 4/12 pitch and the main gables of the home are at an 8/12 pitch, which are a lower pitch to avoid high reflectivity onto the adjacent neighbors. Also, the back porch is a longer porch roof, and increasing the pitch on that side would negatively affect the ability for windows in the back.

Commissioner Fasolo said that overall he liked the design of the new home, although he was unsure how it fit into the neighborhood since it is basically all board and batten and most of the homes on the street are masonry. He felt that adding masonry would help break up the large amount of board and batten and also tie into the neighborhood more. He felt the main entry façade appeared blank, and he suggested adding a window to the right of the front door that lines up with the window above. The petitioner said that a porch swing will be added on the front porch. **Commissioner Fasolo** liked that details were continued onto the sides of the home, although the trim under the windows on the rendering looks out of place. **Mr. Widler** felt that this was deceptive in the rendering; the trim is the same all the way around. **Commissioner Fasolo** also commented that an abundance of landscaping was

necessary on this large lot.

Commissioner Fitzgerald loved the home and how it appears older and maybe updated and added on, yet brand new at the same time, and very modern. He liked the balance of the stone as proposed because it gives a sense of time that it has maybe been here awhile and added on to; he really liked the front elevation and felt the 3 other sides were even better, which is rarely seen and very much appreciated. He was okay with the rooflines as proposed and he questioned the area to the right of the front door, although the porch swing would take care of that and give it some interest. He loved the home.

Chair Eckhardt felt that the rear elevation looked more like a front elevation; however, he felt the home was spectacular. He pointed out the relationship of the roof to the window sills on the rear elevation, compared to the windows on the front elevation that look like they want to be bigger; there is a lot of space between the sill and the roof. He thought it was appropriate to add stone at the front entrance to the right of the front door; this area is too plain as proposed and adding stone with nice lighting in this area would add texture to the front entrance, which would be a huge improvement to the front entrance. He would not suggest to add stone any place else. He liked the home and was happy to vote for it as proposed.

PUBLIC COMMENT

Dori & Carsten Frank, 630 N. Forrest Avenue, have lived on the street for 32 years. Ms. Frank asked about the size of the home and who the builder is. The petitioner stated that the amount of livable space would be 4,600 square feet, and a builder has not yet been selected. Mr. Frank said that he loved the design of the new home, which will be something different on the block. He was here tonight to address engineering issues with water on the block, which they have done with previous projects on the block. They are at the low point on the block and have had 7-1/2-feet of water in their basement, although they understand that this issue is not part of the design review. Ms. Frank said that they know the previous owners of the original farmhouse home and are happy to see the farmhouse design of the new home, although she is also worried about safety. **Chair Eckhardt** sympathized with the neighbors and stated that stormwater is a very big issue in the Village and these concerns should be directed to the Engineering and the Village Board. Ms. Frank replied that they have done everything that they can do with addressing these issues with the Village, and want to make sure the builder knows about these issues as well.

There were no further comments.

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR THE NEW SINGLE-FAMILY HOME TO BE LOCATED AT 828 N. FORREST AVENUE AS SUBMITTED. THIS APPROVAL IS BASED ON THE ARCHITECTURAL PLANS DATED 2/24/17 AND RECEIVED 3/3/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

- 1. A RECOMMENDATION TO ADD MORE STONE TO THE FRONT ELEVATION, WHETHER IT BE TO THE RIGHT OF THE FRONT DOOR OR ON THE TOWER ELEMENT.**
- 2. A RECOMMENDATION TO STUDY THE SLOPE OF THE TWO OVERHANGS OVER THE GARAGE WINDOW AND THE SMALLER DOOR.**
- 3. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT**

DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

4. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.

FASOLO, AYE; FITZGERALD, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

DRAFT

ITEM 6. SINGLE-FAMILY TEARDOWN REVIEW**DC#17-028 – 905 W. Maude Ave.**

Tomasz Augustowski, representing *Avas Atelier Design*, and **Agnes Piersa**, the homeowner, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing single story residence with a one car attached garage to allow construction of a new two story residence with an attached, three car garage. The proposed design does not comply with the following zoning requirements which will either need to be corrected or variations requested from the Zoning Board of Appeals:

- The proposed side yard setback (south) is 5 feet, where a minimum 8 feet minimum is required.
- The proposed exterior side yard setback (north) is 25.1 feet, where a minimum 25.7 feet is required.
- The proposed building height is 25.5 feet, where 25 feet is the maximum.
- The proposed driveway is 27.5 feet wide, and it is required to taper to 22 feet maximum within 18 feet of the garage face.

Otherwise, the project complies with the R-3 zoning requirements.

The existing neighborhood consists primarily of single-story homes with one car attached garages. This project is appearing before the Design Commission due to past concerns in this neighborhood regarding teardown/new construction, and to evaluate the proposed architectural design with the context of the neighborhood. Although the neighborhood is predominantly single story homes, it should be noted that there are numerous teardowns previously completed throughout the neighborhood.

The subject property is a corner lot, and the proposed design includes a three car garage facing Kaspar Avenue. In a neighborhood of primarily one car garages, a three car garage prominently facing the street is out of context in this location. There have been a few newer homes with three car garages approved in this neighborhood, but they have been on interior lots and have recessed the third car garage to diminish the appearance. Corner lots should be considered as having two front facades, and it is recommended that the garage be relocated to the west end of the property facing Maude Avenue. Existing parkway tree locations need to be shown on the Site Plan and coordinated with the driveway location.

In addition to concerns about the garage, the proposed front elevation for the home fails to address the scale of the neighborhood. The design includes many tall features such as the two story front entry portico and a raised second floor balcony that do not fit with the scale of the adjacent single story homes. It is recommended that some single story design elements be included on the front elevation. Relocation of the garage to the west side of the house may help the transition to the adjacent home. The brown tone color palette for the exterior materials on the home, and the low hipped main roof do work well in this location.

Because of the issues with the garage orientation dominating the exterior side elevation, and with the 2-story features on the front, Staff is recommending revisions to the proposed design and a re-review by the Design Commission.

Mr. Augustowski stated that revisions were made to address the zoning issues, and he presented revised drawings to the commission. The entire home was moved back to meet the exterior side yard setback of 25.7 feet; the garage was pushed forward to allow for a side yard setback (south) of 8.48 feet; the bay window on the rear elevation is now the required 8.4 feet; and the roof pitch was lowered from 4/12 to 3.5/12 to meet the maximum building height of 25-feet. The square footage of the home has not changed, and the driveway was reduced to meet code. The front elevation was also changed by lowering the window above the front door and bringing down the gable. The side and rear elevations are substantially the same.

Chair Eckhardt asked if there was any public comment on the project and there was no response from the audience.

Commissioner Fasolo felt that overall it was a really nice home with nice details; however, he felt it was a bit massive for this neighborhood, especially with the 3-car garage and the towering front elevation. He pointed out that flipping the garage to face Maude would result in not seeing the garage from either street, which he felt was a great suggestion and would help cut down on the massive garage that currently faces the street. He also felt that lowering the front entry and adjusting the roofline helped as well. He wanted to hear the petitioner's thoughts about flipping the entire home.

Commissioner Fitzgerald felt it was a beautiful home, although it was large for the lot and this neighborhood, and the 3-car garage facing the street was imposing. He liked that the tower element and window above the front door were lowered, and he was also curious to hear the petitioner's comments about moving the garage to the other side.

Chair Eckhardt felt it was a shame that a 3-dimensional drawing of the new home was not provided, because the drama of the design is not being understood as presented tonight, and the front elevation is very attractive. He was glad to see that the tower element at the front door was lowered, and although he understood the petitioner's preference for the garage to face Kaspar, he pointed out that there is an accessibility issue from the driveway to the front door. He thanked the petitioner for resolving the zoning issues, because he was hesitant to allow projects to move forward without zoning compliance. He reiterated that he liked the home, although it was big, and he clarified that the new home is approximately 1,000 square feet smaller than the maximum FAR allowed. He also felt that there were always zoning difficulties on a corner lot.

With regards to the garage, **Mr. Augustowski** explained that the homeowner has children and needs a backyard, and if the garage was flipped to the other side to face Maude, there would be no backyard. Also, locating the one-story garage on the east elevation allows for a better transition to the adjacent one-story home on Kaspar. **Ms. Piersa** added that she has two small children and has been looking for a beautiful neighborhood with an amazing school district, and she plans on living in this neighborhood until her children are grown and out of high school. Moving the garage to the other side of the site will close the backyard space, and having the backyard at the southwest corner where it is currently proposed will allow for a lot of natural light and warmth for her children to play, as well as flow with the open floor plan and most usable part of the home. She prefers a corner lot because of all the options available, and the proposed 3-car garage is consistent with 3 or 4 other homes in the neighborhood.

Commissioner Fitzgerald understood the need for the backyard space, and he asked about the color of the garage doors, which **Mr. Augustowski** replied would be the same 'Khaki Brown' as the siding. **Commissioner Fitzgerald** was in favor of a darker versus lighter color for the garage doors and he liked that the door style shown is an upgrade from the usual standard style. He was okay with the home as proposed, with a requirement to add landscaping on each side of the driveway, to help soften the amount of space there.

Commissioner Fasolo understood the homeowners' concerns about the backyard. He acknowledged that the garage is a one-story element, and he did not realize the lack of space on the south elevation for a backyard until the homeowner pointed it out.

Chair Eckhardt also understood and agreed with the homeowners' reasons why the garage is not being located on the Maude side of the lot. He also agreed with Commissioner Fitzgerald's comments about adding landscaping.

Chair Eckhardt again asked if there was any public comment on the project and there was response from the audience.

PUBLIC COMMENT

Deb Artman, 1720 N. Kaspar Avenue, said that the new home is beautiful and pointed out that there are 2 other teardowns nearby on Maude, as well as multiple teardowns on Kaspar. She appreciated the concerns about the garage location; however, it was not a boring garage and the landscaping will help.

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR THE NEW SINGLE-FAMILY HOME TO BE LOCATED AT 905 W. MAUDE AVENUE. THIS APPROVAL IS BASED ON THE ARCHITECTURAL PLANS DATED 2/20/17 AND RECEIVED 3/03/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. BASED ON THE REVISED DRAWINGS RECEIVED AT THE DESIGN COMMISSIONER MEETING TONIGHT.
2. A REQUIREMENT TO REMOVE THE VENTS FROM THE GARAGE DOORS SHOWN IN THE DRAWING.
3. A REQUIREMENT TO CREATE LANDSCAPING ALONG BOTH SIDES OF THE DRIVEWAY, ENOUGH TO SOFTEN THE AMOUNT OF GARAGE DOOR THERE IS, TO BE APPROVED BY STAFF.
4. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
5. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.

Mr. Hautzinger commented about the context elevation along Kaspar; if drawn to scale, the eave line of the garage appears to be a few feet higher than the adjacent home. He questioned why the garage is so tall, and suggested lowering the single-story garage roof a few feet to better relate to the adjacent home. Mr. Augustowski explained that the floor of the bathroom and closets located above the garage on the east elevation will be the same height as the garage; however, the eave line of the garage can be lowered if necessary. Commissioner Fitzgerald felt that lowering the eave line of the garage would look unusual on the front elevation, and he questioned how it would affect the window in the garage (north) that faces the front and the window in the office (east). The commissioners discussed lowering the roofline of the garage consistent with the adjacent home to the south, or reducing the size of the windows. Mr. Hautzinger suggested lowering the eave line of the garage approximately 2-feet, to be reviewed by Staff, to give the architect an opportunity to further study and work out these issues. Chair Eckhardt and Commissioner Fitzgerald felt the eave line of the garage should remain as proposed, and Commissioner Fitzgerald added that the details of the windows and the stone are one of the many things that make the home so beautiful. He suggested a requirement to add an ornamental tree between 12 and 18-feet to the south of the garage doors. Commissioner Fasolo felt this would help.

A MOTION WAS MADE BY COMMISSIONER FITZGERALD TO AMEND THE MOTION AND ADD THE FOLLOWING:

6. A REQUIREMENT TO ADD A TREE AT THE SOUTHEAST CORNER OF THE HOME, A MINIMUM MATURE HEIGHT OF 12-FEET TALL, TO SOFTEN THE ROOFLINE OF THE NEW HOME AND THE ADJACENT HOME TO THE SOUTH, AND BE APPROVED BY STAFF.

COMMISSIONER FASOLO SECONDED THE MOTION.

FASOLO, AYE; FITZGERALD, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 7. SINGLE-FAMILY TEARDOWN REVIEW**DC#17-030 – 1111 W. Maude Ave.**

Kris Shirley, representing *Brentwood Development*, was present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing split level residence with a one car attached garage to allow construction of a new two story residence with an attached, three car garage. This project does comply with the R-3 zoning requirements, although a few items require clarification:

- The front yard setback requirement needs to be confirmed based on the average setback of the block.
- The driveway is required to taper to a maximum 22 feet wide within 18 feet from the front of the garage.
- The driveway layout needs to be coordinated to avoid and preserve the existing parkway trees.

The existing neighborhood consists primarily of single-story homes with one car attached garages. This project is appearing before the Design Commission due to past concerns in this neighborhood regarding teardown/new construction, and to evaluate the proposed architectural design with the context of the neighborhood. Although the neighborhood is predominantly single story homes, it should be noted that there are numerous teardowns previously completed throughout the neighborhood.

Overall, the proposed design is nicely done in a traditional style and a nice color palette that will fit well in this location. The design includes single story roofs over the garage and entry portico which help the design to fit with the scale of the adjacent single story homes. The design includes a three car garage, but the garage is recessed from the front of the house to diminish the appearance. Staff recommends the following revisions to improve the design:

1. Increase the setback of the third car garage from 1'-7" to a minimum of 3 to 5 feet.
2. Hip the sides of the main roof to reduce the height of the side walls. If the roof is not required to be hipped, then add a continuous trim board in line with fascia to break up the visual height of the walls.
3. Return the stone base down the side of the garage wall on the right side, and return the stone approximately 6 feet on the left side.
4. Add at last one window in each bedroom on the second floor of the left side elevation to break up the wall of siding.
5. Increase the gable detail above the garage door proportionate to the size of the gable.
6. Add a portico over the patio door on the rear elevation to break up the large flat wall.

Staff recommends approval of the proposed new home, with consideration of the recommendations stated.

Chair Eckhardt asked if there was any public comment on the project and there was response from the audience.

Ms. Shirley stated that the proposed new home has been sold, and although the owners are not able to attend tonight, the suggestions from Staff were previously discussed with them and some revisions were made to the original design. She presented revised drawings that include: increasing the size of the gable decoration over the garage; increasing the setback of the 3-car garage to 3-feet; splitting the window in the bedroom above the garage on the west elevation; adding a continuous trim board on the upper portion of the west elevation, east elevation, and on the garage instead of the hip roof as suggested; and adding windows in the two bedrooms on the east elevation. The owners are considering stained garage doors with some type of glass element, as well as glass in the front door, and the grill pattern shown in the drawings may be slightly different; the lower sashes will be clear glass. The owners prefer to dress up the rear elevation with possible transoms over the patio door, or splitting the double window in the family room into two windows or putting transoms over it. With regards to the suggestion to continue the stone base onto the sides of the home, the owners intend on putting up a privacy fence on both sides of the home, and a stone base would not be visible.

Commissioner Fitzgerald felt it was a very nicely designed home, and enlarging the detail above the garage door has helped. He did not see an issue with moving the garage back; however, now that it has been done he agreed that it looks better. He liked the idea of a hip roof because it would still make the home look great while not changing the style of the home, and would help the home better fit into the neighborhood. He also liked the idea of returning the stone on to the side elevations because the next owner could take down the fence. He was in favor of the additional windows on the second-floor, as well as adding glass to the front door and the garage. He commented that the lights on the garage should not be brighter than the lights over the front door; don't feature the garage doors versus the front entrance. **Commissioner Fitzgerald** also felt that because of all the movement and interest on the front elevation, the back of the home does not look like it belongs to the front, which is why the commissioners sometimes ask that a petitioner add interest to the back of the home. He was still in favor of adding more details on the rear elevation, although it would not be a requirement.

Commissioner Fasolo liked the home as designed and the revisions that were presented tonight. He generally agreed with all of Commissioner Fitzgerald's comments: adding windows to the garage, adding glass to the front door, hipping the sides of the main roof to better fit the neighborhood, as well as continuing the stone down the sides of the home for the same reason. He asked for clarification about the window grills and **Ms. Shirley** explained that the owners were considering a few options for the windows grills, including the bottom window sash to be clear glass and the upper sash to be a simple grill pattern. **Commissioner Fasolo** was fine with this, as long as some sort of grill pattern remains to provide character, and **Ms. Shirley** agreed.

Chair Eckhardt agreed with the comments made by the other commissioners, although he was okay with either hipping the sides of the main roof or leaving the roof as proposed. He also felt that adding some type of covering over the patio door was based on aesthetics and practicality, and the petitioner should consider it.

PUBLIC COMMENT

John & Cathy Leonard, 1115 W. Maude Avenue, live directly west of the site for 43 years. They have seen a lot of changes in the neighborhood and are looking forward to the new home because it will be an improvement to the existing home that has been abandoned and an eyesore in the neighborhood. They are concerned about possible noise impacts of the air conditioner unit that is shown on the west elevation, which is adjacent to their master bedroom, and he asked if the location could be changed. **Mr. Hautzinger** explained that a/c units are not allowed in the required side yard setback, which is 8-feet on this 80-foot wide lot. The unit is proposed to be located approximately 12 to 13-feet from the property line. **Chair Eckhardt** said that landscaping or small fence screening can help with sound from the air conditioner. Ms. Leonard added that they experienced flooding when the home on the other side of theirs added on, and she asked if this would be a problem with this new home. **Chair Eckhardt** explained that the new home cannot increase the existing path of water flow on the site, and the grading plan for the new home will be reviewed by the Village Engineering department during the permit process; however, any concerns can be directed to the Engineering Department.

There were no further comments.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR THE NEW SINGLE-FAMILY HOME TO BE LOCATED AT 1111 W. MAUDE AVENUE. THIS APPROVAL IS BASED ON THE ARCHITECTURAL PLANS DATED 3/06/17 AND RECEIVED 3/08/17, REVISED ELEVATIONS RECEIVED 4/06/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. **A REQUIREMENT TO RETURN THE STONE BASE DOWN THE EAST ELEVATION TO WHERE THE ROOF BREAKS, APPROXIMATELY 6-FEET, AND DOWN THE SIDE OF THE GARAGE WALL ON THE WEST ELEVATION.**
2. **A RECOMMENDATION TO ADD WINDOWS TO THE GARAGE AS WELL AS THE FRONT DOOR.**

3. A REQUIREMENT TO HIP THE SIDES OF THE MAIN ROOF.
4. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
5. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.

Commissioner Fitzgerald asked that the motion be amended to include a requirement to screen the a/c unit with evergreens.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO AMEND THE MOTION TO ADD THE FOLLOWING:

6. A REQUIREMENT THAT THE A/C UNIT IN THE SIDE YARD BE SCREENED WITH EVERGREENS.

Chair Eckhardt asked for clarification on where the main roof would be hipped. **Commissioner Fasolo** felt it should be clipped to match the left side of the east elevation. **Ms. Shirley** asked if this was a requirement, because it would completely change the look of the home, and the owners chose the proposed design from seeing similar homes in the Village. **Chair Eckhardt** agreed with the petitioner and preferred to keep the gable ends that are currently proposed. **Mr. Hautzinger** commented that Staff made the recommendation to hip the sides of the main roof, or add a continuous trim board in line with the fascia if the commissioners felt the roof should not be hipped. He pointed out that there is 20.5-feet and 16-feet between the new home and each adjacent home, which is more than typically seen, and in light of the homeowner's concerns about a hipped roof, Staff does not feel strongly about the comment to hip the main roof in this case.

Commissioner Fitzgerald asked the adjacent neighbors how they felt about the roof as proposed. Ms. Leonard first asked why the new home was not centered on the lot, to allow more space between the two homes, and it was pointed out that there is approximately 2-feet for the petitioner to work with to center the home on the lot. Pending any engineering issues, **Ms. Shirley** said she was not opposed to centering the home. Ms. Leonard was fine with keeping the roof pitch as proposed. **Commissioner Fitzgerald** was okay with the main roof as proposed since the neighbors are as well. **Commissioner Fasolo** agreed.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO AMEND THE MOTION TO REMOVE THE REQUIREMENT TO HIP THE MAIN ROOF.

FASOLO, AYE; FITZGERALD, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 8. COMMERCIAL REVIEW**DC#17-036 – Heart’s Place – 120-122 E. Boeger Pl.**

Therese Thompson, representing *Cordogan, Clark & Associates*, and Alex Pereira, representing *UP Development*, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to build a new 18,800 square foot, two-story, 16-unit, multi-family supportive housing development to provide housing for families living with disabilities that are in need of supportive services. All units within the building will be 2-bedroom. The first floor contains 7 units, as well as laundry and storage space, a community room, and two offices that can be used to provide the supportive services to the residents. The proposed development includes site improvements with new on-grade parking, an outdoor gazebo, and landscaping throughout the site. The subject property consists of two lots of record comprising a total of 40,435 square feet (0.93 acres). The east lot, which is currently vacant, is zoned B-2, General Business District, while the west lot is zoned B-1, Limited Retail Business District. This proposal requires review by the Plan Commission and approval by the Village Board as a Planned Unit Development, approval to consolidate and rezone the two lots to I, Institutional, as well as various zoning variations (zoning district area, collector street frontage, building/pavement separation, gazebo in the side yard, and parking quantity reduction).

With regards to the architectural design, the overall design has a nice scale and proportion, and a good balance of stone and siding on all facades. The dark brown siding color contrasts nicely with the white trim and the “Sienna” stone, creating a very attractive appearance. The design fits well with the surrounding one and two-story commercial buildings that are primarily dark brown brick construction.

Staff comments relative to site design are as follows:

1. **Parking.** As part of the Plan Commission review, construction of the land-banked parking spaces may be required as part of the development.
2. **Trash Enclosure.** It is recommended that the trash enclosure be constructed of masonry to match the building in lieu of vinyl which is less durable.
3. **Landscaping.**
 - a. As part of the Plan Commission review:
 - i. 4” caliper shade trees are required in the parking islands at the end of all parking rows.
 - ii. Staff is recommending that a 6 foot tall fence be provided on the sides and rear of the property for additional site buffer and security, and additional evergreen trees be provided along the fence.
 - iii. Four additional existing trees are recommended to be saved.
 - b. Additional foundation plantings along the south (front) and east elevations are recommended. The plantings should be layered and consist of a mix of shrubs, perennials, and groundcover.
 - c. Brick pavers are recommended at the main entrance.
 - d. Site furnishings including benches and planter pots are recommended in key site areas such as at the main entrance and under the gazebo.
4. **Mechanical Unit Screening.** The Site Plan indicates 18 individual condensing units on grade. 14 units are on the side of the building, and 4 units are in the rear. All mechanical equipment is required to be screened from public view, so it is recommended that all 18 condensing units be moved to the back of the building and screened with landscaping.
5. **Ground Sign.** The proposed sign is too tall and large, and does not comply with code. 40 sf is the maximum allowed sign area, where 48 sf is proposed. It is recommended that the overall height of the sign be reduced to 6 feet above grade. The message on the sign is small as compared to the size of the sign panel; consider enlarging the message for better readability.

With all of these comments in mind, Staff recommends approval.

Chair Eckhardt asked if there was any public comment on the project and there was no response from the audience.

With regards to the comments about mechanical unit screening, **Ms. Thompson** stated that there was probably not enough room to line up all 18 of the condensing units across the width of the site, as suggested by Staff. However, they are not opposed to beefing up the landscaping as much as needed on the south elevation to better screen the mechanical units. She also stated that they intend to comply with code for the proposed ground sign; however, the final text on the sign has not been determined. **Chair Eckhardt** commented that the commissioners are looking at the design of the sign as part of the overall review of the project tonight, and he asked for more specific details about it. **Ms. Thompson** replied that the ground sign would not be illuminated, the panel color would be a dark color to match the dark siding on the building, the trim color would be white to match the white siding on the building, the stone would be the same as the stone on the building, and the aluminum letters have not yet been determined, although they could be either a mill finish, or a light anodized aluminum to stand out against the dark sign background, or a white baked enamel to match the trim. **Chair Eckhardt** had no issue with the design of the ground sign as shown in the drawing.

Ms. Thompson said that other than their concerns about trying to move all of the condensing units to the north side of the building, they have no concerns with the other suggestions made by Staff. She added that although it is not shown on the drawings, they are considering adding site furniture on the patio, the gazebo, and possibly a bench or two under the entrance canopy.

Commissioner Fasolo liked the design of the new building, the materials, and the compositions; it is nicely designed, and he was confident that the final sign design will meet code; the colors and materials are consistent with the building. With regards to the condensing units, he suggested locating the units in a well on the roof, and **Ms. Thompson** replied that it can be difficult to make this type of roof detail look normal and screen the units from the adjacent neighbors, especially on a 2-story building like this. They felt the units would be less visible if they were located on the ground and screened with landscaping. **Commissioner Fasolo** understood; however, he felt the units that are adjacent to the gazebo could be pushed further north to be more on the northwest corner. He also agreed with Staff comments about changing the trash enclosure to masonry to be consistent with the building. **Commissioner Fasolo** also agreed with the other comments about the site regarding brick pavers and site furnishings.

Commissioner Fitzgerald agreed with all of the Staff comments, and felt it was a very nice building on all four sides, which is appreciated. He suggested dressing up the single doors shown on both the east and the west elevations, which **Ms. Thompson** stated were exit-only doors in the stairwell. **Commissioner Fitzgerald** commented that 'Austrian Pine' can be killed by fungus, and 'Hameln Grasses' can be difficult to grow.

Chair Eckhardt felt the project was great, and although he initially thought that the stone should be raised all the way up, the horizontal line going around the building is a nice detail.

Commissioner Fitzgerald said that he was in favor of allowing Staff to review and approve the ground sign.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR HEART'S PLACE TO BE LOCATED AT 120-122 E. BOEGER DRIVE. THIS APPROVAL IS BASED ON THE PLANS RECEIVED 3/10/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. **A REQUIREMENT THAT THE FINAL DESIGN OF THE GROUND SIGN BE REVIEWED BY STAFF.**
2. **A REQUIREMENT TO EITHER PAINT THE SINGLE-DOOR ON BOTH THE EAST AND WEST ELEVATIONS TO MATCH THE SIDING OR PROVIDE PANELIZATION TO THE DOORS.**
3. **A REQUIREMENT TO MOVE THE CONDENSING UNITS LOCATED NEXT TO THE GAZEBO, FURTHER NORTH TOWARDS THE NORTHWEST CORNER OF THE BUILDING.**

4. A REQUIREMENT TO SCREEN ALL OF THE CONDENSING UNITS WITH EVERGREEN LANDSCAPING.
5. A REQUIREMENT TO REPLACE THE 'AUSTRIAN PINE' AND 'HAMELN GRASSES' WITH A DIFFERENT PLANTING MATERIAL.
6. A REQUIREMENT TO CHANGE MATERIAL ON THE TRASH ENCLOSURE FROM VINYL TO MASONRY, TO MATCH THE BUILDING.
7. A REQUIREMENT TO ADD MORE FOUNDATION PLANTINGS ALONG THE SOUTH AND EAST ELEVATIONS, TO PROVIDE MORE LAYERING WITH A MIX OF SHRUBS, PERENNIALS AND GROUND COVER.
8. A RECOMMENDATION TO PROVIDE BRICK PAVERS AT THE MAIN ENTRANCE.
9. A RECOMMENDATION TO ADD SITE FURNISHINGS THROUGHOUT THE SITE, INCLUDING THE MAIN ENTRANCE GAZEBO AND PATIO.
10. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
11. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.

Chair Eckhardt felt it was a hardship that the trash enclosure is all masonry, and he suggested changing it to include stone corner piers and a combination of materials that are on the building. **Ms. Thompson** said that from an economic standpoint, in terms of installation they prefer that the enclosure be all stone instead of a combination of materials. **Commissioner Fitzgerald** suggested adding to #3, the option for Staff to review the revised location of the condensing units, in case of any zoning issues. **Commissioner Fasolo** agreed with the suggestion.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO AMEND THE MOTION AS FOLLOWS:

3. A REQUIREMENT TO MOVE THE CONDENSING UNITS LOCATED NEXT THE GAZEBO, FURTHER NORTH TOWARDS THE NORTHWEST CORNER OF THE BUILDING, TO BE REVIEWED BY STAFF IN CASE OF ANY CHANGES.

Commissioner Fasolo suggested changing the gates on the trash enclosure from aluminum to siding to match the building. **Ms. Pereira** was concerned about using fiber cement siding without some substantial backing to it and felt the aluminum was more durable. **Mr. Hautzinger** suggested a dark finish to match the building and **Ms. Thompson** agreed.

**FASOLO, AYE; FITZGERALD, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.**

ITEM 9. OTHER BUSINESS**2017 Alan. F. Bombick Award**

Last year, there was discussion about establishing the annual Alan F. Bombick award for excellence in design, one for a completed single-family project and one for a completed commercial project. The intent is to have the Village Board present the first annual award during the month of June, the one year anniversary of former Design Commissioner Alan Bombick's passing. The commissioners should complete a list of projects to be considered for this award, with a final selection to be made by the Design Commission. **Mr. Hautzinger** presented and reviewed a list of projects that Staff recommended for the commissioners' consideration, although the commissioners could add to this list as well.

Chair Eckhardt asked that Staff provide the commissioners with photos of the projects on their list. **Commissioner Fitzgerald** liked the projects listed by Staff, and suggested focusing on projects that Commissioner Bombick had both discussion with and input on. **Chair Eckhardt** said that he would provide a few single-family projects that he wanted to be included for consideration. **Mr. Hautzinger** asked the commissioners to provide him with a list (and photos if possible) of any other projects they wanted to add to this list for consideration, prior to discussion at the next meeting on April 25th.

Chair Eckhardt said that in addition to selecting one winner in each of the 2 categories, he suggested naming one or two honorable mentions. **Commissioner Fitzgerald** preferred the idea of the award only being presented to the winner of each of the 2 categories.

There was no further discussion.

ITEM 10. GENERAL MEETING

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO ADJOURN THE MEETING AT 9:45 P.M. ALL WERE IN FAVOR. THE MOTION CARRIED.

DRAFT



Item: DC#17-039 - 419 N. Hickory Ave. - SF/Addition

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for an addition to an existing single-family residence.

RECOMMENDATION:

It is recommended that the Design Commission evaluate the proposed addition to the existing single-family residence located at 419 N. Hickory Avenue. This recommendation is based upon the architectural plans dated 3/8/17 and received on 3/14/17, and the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
2. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report

Drawings & Documents

Type

Board or Commission Report

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: O'Donnell Residence
Project Address: 419 N. Hickory Avenue
Prepared By: Steve Hautzinger

Date Prepared: April 18, 2017

PETITION INFORMATION:

DC Number: 17-039
Petitioner Name: Keith Ginnodo
Petitioner Address: Kingsley Ginnodo Architects
33 N. Hickory Ave.
Arlington Heights, IL 60004
Meeting Date: April 25, 2017

Requested Action(s): Approval of the proposed architectural design for an addition to an existing single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to add a second floor addition and a new front porch to an existing single story home. An existing attached one car garage is also proposed to be demolished. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 7,920 square feet and the residence, with the proposed addition, will have approximately 2,322 square feet. This project received ZBA approval on April 17, 2017 for a zoning variation to allow a 20.9 front yard setback to accommodate the new front porch, where a 24.9 foot front setback is required. The project does comply with all other R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 24.9 feet Side: 6 feet Side: 6 feet Rear: 30 feet	Front: 20.9 (variation approved) Side: 6 Side: 18 feet Rear: 72
Building Height	25 feet to the midpoint	22.5 feet to the midpoint
FAR	3,564 SF	2,322 SF
Building Lot Coverage	2,772 SF	1,221 SF
Impervious Surface Coverage Total	4,422 SF	2,871 SF

The existing block consists of primarily single story, mid-century houses with attached one car garages. The houses on the block have a very consistent and uniform appearance because there have been very few changes to the existing houses on the block, except for one second floor addition on the house directly south of the subject property which was approved in 2003, as well as one other two-story home on the north end of the block.

The proposed renovation and addition of the existing house has a one-and-a-half story scale that fits well with the overall scale of the block. The proposed design has a craftsman style appearance that the Design Commission should evaluate with the context of the block and neighborhood.

RECOMMENDATION:

It is recommended that the Design Commission **evaluate** the proposed addition to the existing single-family residence located at 419 N. Hickory Avenue. This recommendation is based upon the architectural plans dated 3/8/17 and received on 3/14/17, and the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design

Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

2. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

April 18, 2017

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 17-039

Associated Surveying Group, LLC

Illinois Prof. Design Firm No. 184-004973

P.O. Box 810

Bolingbrook, IL 60440

PH: 630-759-0205

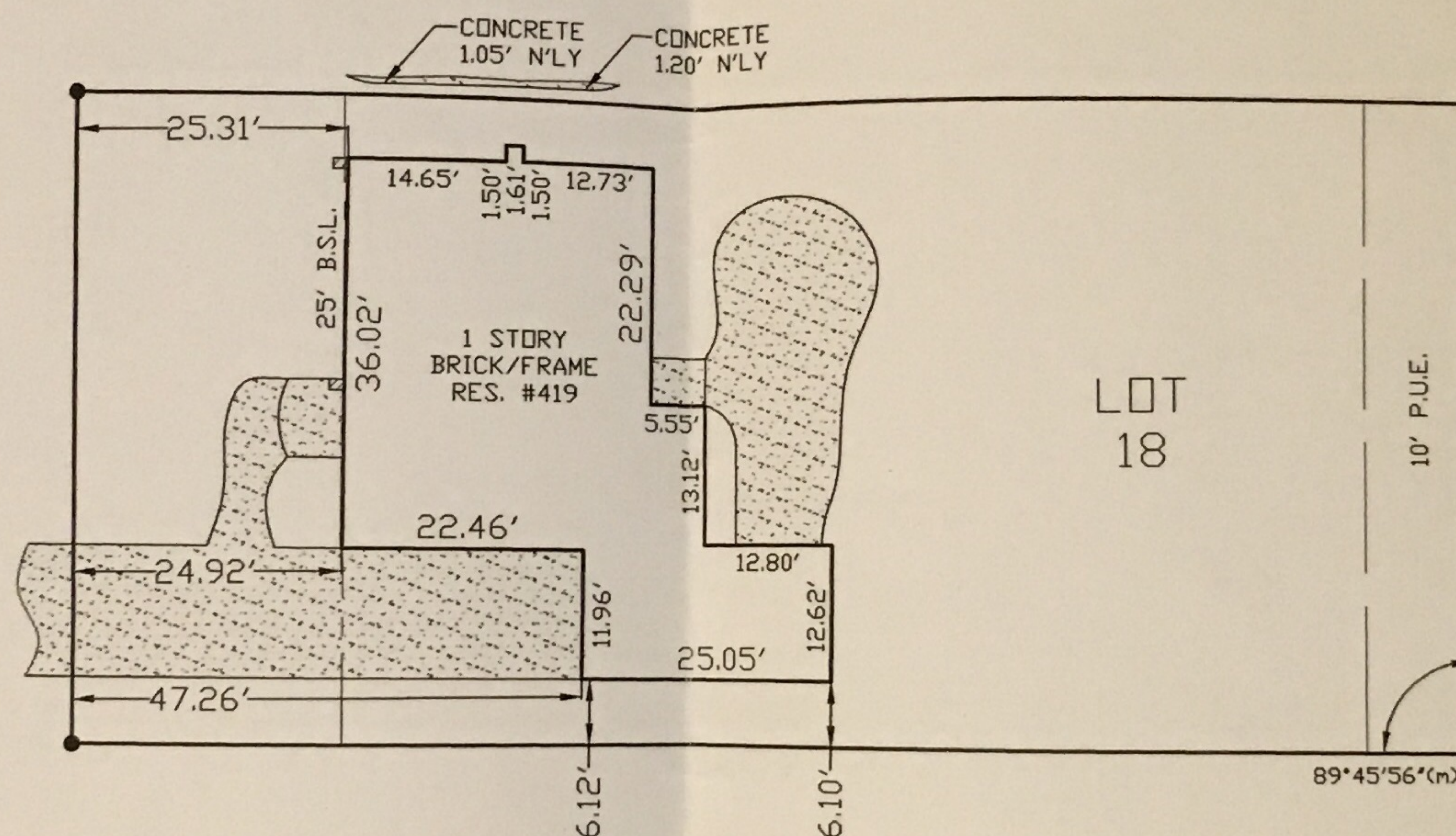
FAX: 630-759-9291

PLAT OF SURVEY

LOT 18 IN BLOCK 1 IN EASTWOOD, A SUBDIVISION OF THE EAST 3/4 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

HICKORY AVENUE

60.00' (m/r)



State of Illinois }
County of Will } SS

I, Michael G. Herwy, an Illinois Professional Land Surveyor, do hereby certify that "This professional service conforms to the current Illinois minimum standards for a boundary survey", and that the Plat hereon drawn is a correct representation of said survey.

Dated, this 30th day of AUGUST, A.D., 2013 at Bolingbrook, IL.

FIELDWORK DATE: AUGUST 26, 2013

CLIENT: MCKINSTRY

JOB NO.: 73388-13

Michael G. Herwy
Illinois Professional Land Surveyor No. 35-002900
License Expires: November 30, 2014

NOTES:

1. COMPARE THE LEGAL DESCRIPTION ON THIS PLAT WITH YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE; ALSO, COMPARE ALL FIELD MEASURED LOT CORNERS & BUILDING TIES WITH THIS PLAT BEFORE CONSTRUCTION AND REPORT ANY DIFFERENCE AT ONCE.
2. BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO DEPICTED ON THE RECORDED SUBDIVISION PLAT. REFER TO YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE FOR ADDITIONAL ENCUMBRANCES.
3. MEASURED LOT DIMENSIONS ARE SHOWN ONLY WHEN THEY DIFFER FROM RECORD DIMENSIONS BY 0.15 FEET OR MORE.
4. CURVED LINES DENOTED WITH ARC LENGTHS UNLESS OTHERWISE NOTED. ALSO, ALL ARCS ARE TANGENT UNLESS OTHERWISE NOTED.

LEGEND:

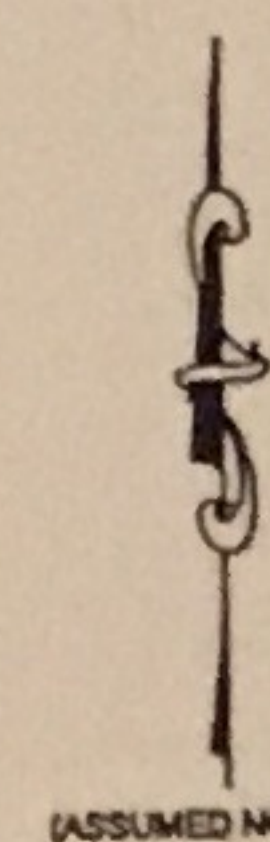
(NOT TO SCALE)

	ASPHALT		WALL		CONCRETE
	WOOD/PVC		BRICK		ENCLOSED/COVERED

SET	● IRON PIPE	+ CROSS
○ IRON PIPE	■ REBAR/ROD	- NOTCH
PK NAILS AS NOTCH		
CHAIN LINK FENCE		
WOOD FENCE		
ALL OTHER FENCE TYPES		

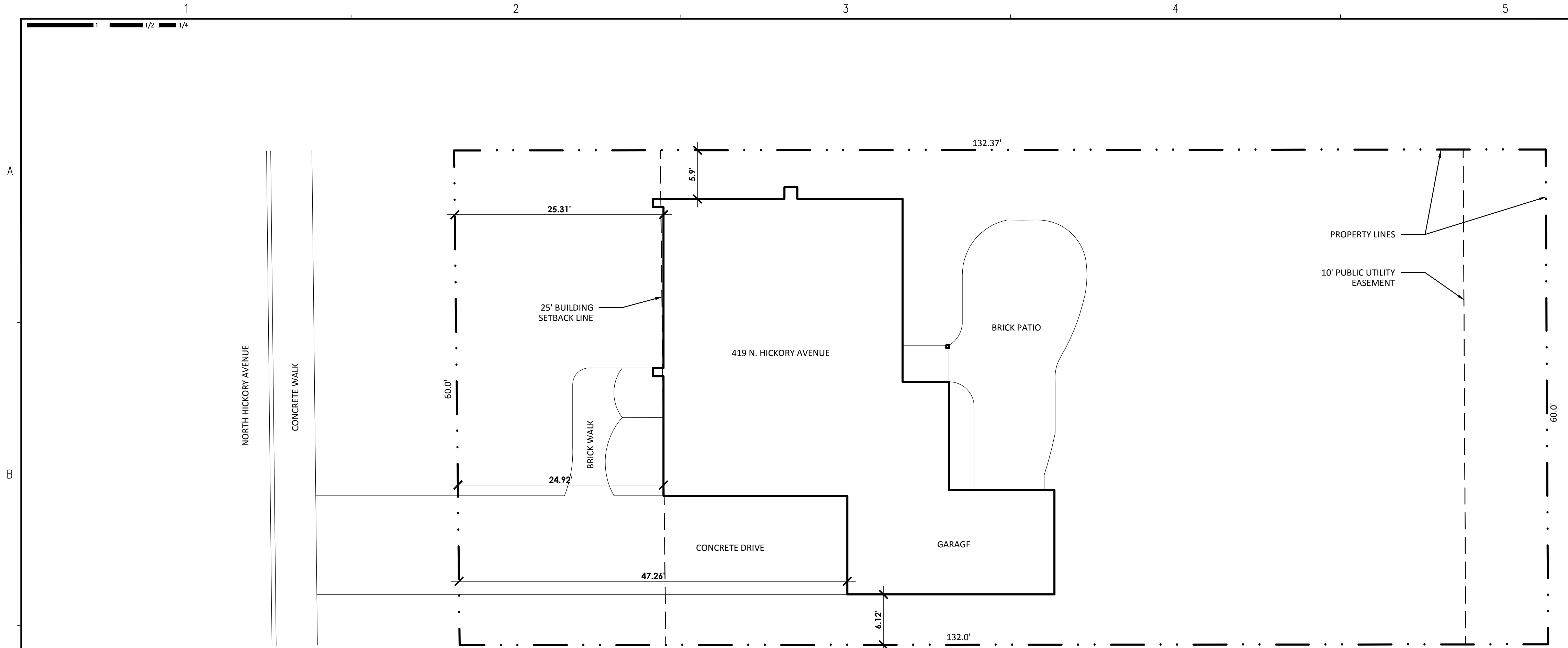
ABBREVIATIONS:

A = ARC LENGTH	N'LY = NORTHERLY
R = RADIUS	S'LY = SOUTHERLY
CH = CHORD LENGTH	E'LY = EASTERLY
(r) = RECORD VALUE	W'LY = WESTERLY
(m) = MEASURED VALUE	TYP = TYPICAL
B.S.L. = BUILDING SETBACK LINE	
P.U.E. = PUBLIC UTILITY EASEMENT	
P.U.D.E. = PUBLIC UTILITY & DRAINAGE EASEMENT	



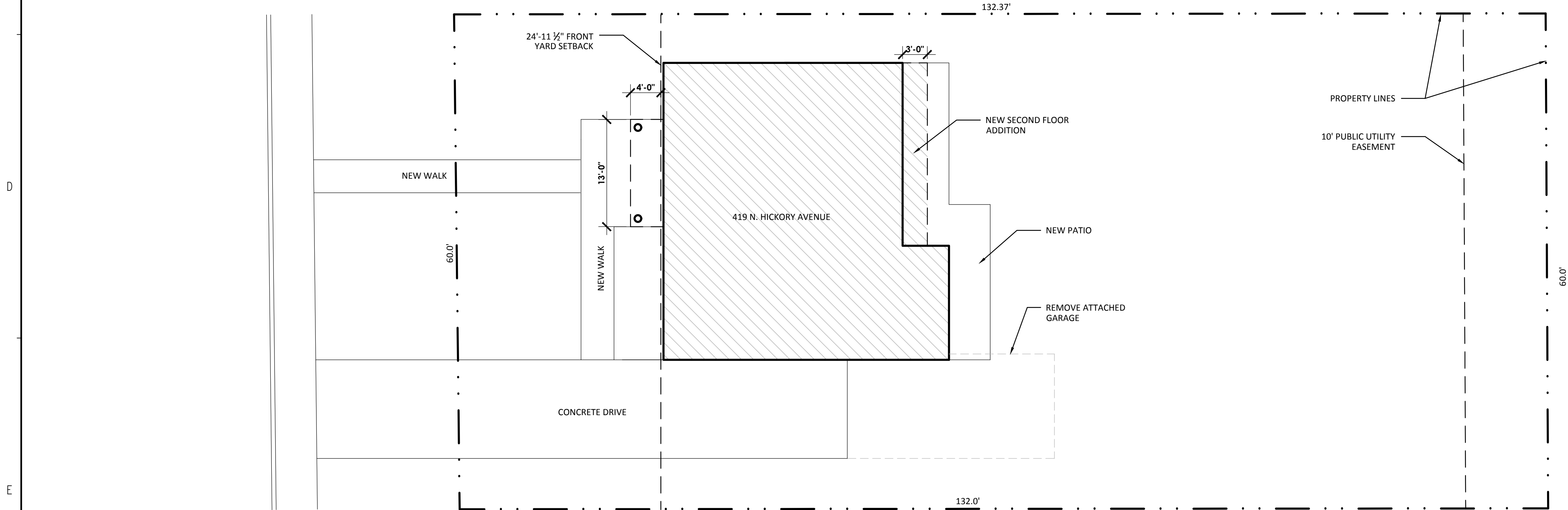
(ASSUMED NORTH)

SCALE 1" = 20'



FRONT YARD SETBACKS	
703 E. EUCLID	29'-4"
511 N. HICKORY	25'-3"
507 N. HICKORY	23'-7"
503 N. HICKORY	23'-7"
419 N. HICKORY	23'-7 1/2"
415 N. HICKORY	25'-2"
411 N. HICKORY	23'-10"
407 N. HICKORY	25'-3"
702 E. ST. JAMES	24'-8"
TOTAL:	224'-8 1/2"
224'-8 1/2" / 9 HOUSES = 24'-11 1/2"	
ESTABLISHED FRONT YARD SET BACK = 24.95'	

2 EXISTING SITE PLAN
1/8" = 1'-0"



1 PROPOSED SITE PLAN
1/8" = 1'-0"

KINGSLEY + GINNODO ARCHITECTS
33 N Hickory Ave, Arlington Heights, IL 60004
Professional Design Firm - Architect
Sole Proprietor - Exp: 4.30.17 # 184.005449

APPLICABLE BUILDING CODES

International Residential Code (IRC)
2009 Edition (with amendments)

International Energy Conservation Code (IECC)
2015 Edition (with amendments)

National Electric Code
2005 Edition (with amendments)

State of Illinois Plumbing Code
2014 (with amendments)

DRAWING LIST

T100	TITLE SHEET AND SITE PLAN
A000	SPECIFICATIONS
EX100	EXISTING PLANS AND ELEVATIONS
A100	BASEMENT & FIRST FLOOR PLANS
A101	SECOND FLOOR & ROOF PLANS
A200	EXTERIOR ELEVATIONS
A300	SECTIONS AND DETAILS
A301	SECTIONS AND DETAILS
A302	WINDOW INSTALLATION
E100	ELECTRICAL PLANS

NOTES:

PLUMBING

- EXISTING WATER SERVICE IS 3/4" Ø COPPER
- RE-USE EXISTING WATER DISTRIBUTION AND WASTE PIPING. MODIFY AS NECESSARY.
- MINIMUM PIPE SIZE FOR SANITARY WASTE LINES ABOVE GROUND IS 2"
- TUBS/SHOWERS REQUIRE 2" P-TRAPS
- HAND HELD SHOWERS REQUIRE VACUUM BREAKERS
- TUB/SHOWER VALVES REQUIRE INTEGRAL STOPS
- FLOOR DRAIN OR WASHER DRIP PAN PIPED TO FLOOR DRAIN IS REQUIRED IN LAUNDRY ROOM
- 2" CLEAN OUT REQUIRED UNDER KITCHEN SINK
- PULL OUT FAUCETS REQUIRE DUAL CHECK VALVES
- REUSE EXISTING SANITARY SEWER

HVAC

- PROVIDE DUCTED HI/LO OPERABLE RETURN-AIR GRILLES
- THE DRYER EXHAUST DUCT, WHERE CONCEALED IN THE BUILDING CONSTRUCTION, SHALL HAVE A PERMANENT LABEL OR TAG INDICATING THE CONCEALED LENGTH OF THE EXHAUST DUCT. THE LABEL OR TAG SHALL BE LOCATED WITHIN 6 FEET OF THE EXHAUST DUCT CONNECTION
- ALL SUPPLY AND RETURN DUCTS SHALL BE PROPERLY SEALED WITH UL 181 LISTED TAPE OR MASTIC
- ANY SUPPLY DUCTS LOCATED IN THE ATTIC SHALL HAVE A MINIMUM INSULATION OF R-8 AND ALL OTHER DUCTS SHALL HAVE R-6 UNLESS LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE
- EXTEND EXISTING HVAC TO NEW SPACES
- HEATING: SUPPLY & RETURN FOR NEW SPACES
- COOLING: SUPPLY & RETURN FOR ALL SPACES
- ELECTRONIC ZONE DAMPERING FOR ZONE 1: FIRST FLOOR & BASEMENT, ZONE 2: SECOND FLOOR

ELECTRICAL

- PROVIDE NEW 200 AMP UNDERGROUND SERVICE WITH NEW 40 CIRCUIT PANEL

WINDOWS

- ALL NEW WINDOWS SHALL HAVE A MAXIMUM U-FACTOR OF 0.32
- SKYLIGHTS SHALL HAVE MAXIMUM U-FACTOR OF 0.055. SKYLIGHT SHAFT WALLS SHALL HAVE A MIN. R-20 INSULATION
- AN ENERGY CERTIFICATE SHALL BE POSTED IN OR ON THE ELECTRICAL PANEL INDICATING THE R-VALUES, U-FACTORS, ETC. OF THE BUILDING COMPONENTS

OTHER

- GENERAL CONTRACTOR SHALL PROVIDE VILLAGE OF ARLINGTON HEIGHTS WITH A SOILS REPORT PRIOR TO POURING FOOTINGS
- PROVIDE HURRICANE TIE AT EACH RAFTER/WALL INTERSECTION (SIMPSON H SERIES HURRICANE TIE OR EQUAL)
- LISTED CONNECTORS SHALL BE INSTALLED AT ALL POST TO PIER CONNECTIONS AND POST TO BEAM CONNECTIONS
- AN ENERGY CERTIFICATE SHALL BE POSTED IN OR ON THE ELECTRICAL PANEL INDICATING THE R-VALUES, U-FACTORS, ETC. OF THE BUILDING COMPONENTS
- DISCHARGE ALL NEW OR ALTERED DOWNSPOUTS TO FRONT OR REAR YARD
- NEW WORK DOES NOT ALTER EXISTING GRADE
- NEW ROOFING SHALL BE A MINIMUM CLASS "C"



KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV ARLINGTON HTS IL 60004 847 975 5008 info@kingsleyginnodo.com
© KINGSLEY + GINNODO ARCHITECTS

NOT FOR CONSTRUCTION

JAMIE &
LAUREN
O'DONNELL

419 N. HICKORY AVENUE
ARLINGTON HTS., IL 60004

O'DONNELL
RESIDENCE

no.	revision	init.	date
CD	PROGRESS SET		3/8/17

TITLE SHEET AND SITE
PLAN

date	drawn by	checked by
------	----------	------------

Job No.
O'DONNELL

Sheet No.
T100



PROPERTY TO NORTH 3
511 N HICKORY AVE



PROPERTY TO NORTH 2
507 N HICKORY AVE



PROPERTY TO NORTH 1
503 N HICKORY AVE



SUBJECT PROPERTY
419 N HICKORY AVE



PROPERTY TO SOUTH 1
415 N HICKORY AVE



PROPERTY TO SOUTH 2
411 N HICKORY AVE



PROPERTY TO SOUTH 3
407 N HICKORY AVE

North Hickory Avenue

PROPERTY ACROSS NORTH 1
502 N HICKORY AVE



PROPERTY ACROSS
420 N HICKORY AVE



PROPERTY ACROSS SOUTH 1
416 N HICKORY AVE





1 **EXISTING CONTEXT ELEVATIONS**
1/16" = 1'-0"



2 **PROPOSED CONTEXT ELEVATIONS**
1/16" = 1'-0"



JAMIE AND LAUREN O'DONNELL
419 NORTH HICKORY AVENUE, ARLINGTON HTS., IL 60004



4 WEST ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

MATERIAL LIST

Siding/shingles:	Aged Pewter, Cement Fiber by James Hardie (or similar by another company)
Trim:	Artic White, Cement Fiber, by James Hardie (or similar by another company)
Column:	HB&G composite, Tuscan capital and base Paint to match trim
Windows:	White, to match trim
Gutters/Leaders:	White, Prefinished aluminum, to match trim
Stone:	Fond Du Lac Cambrian Blend Natural Limestone
Roof shingles:	Slate, textured asphalt, by GAF Timberline (or color match by another company)
Metal:	Dark bronze, Prefinished aluminum, PAC clad



3 SOUTH ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"



KINGSLEY + GINNODO ARCHITECTS
 33 N HICKORY AV ARLINGTON HTS IL 60004 847 975 5008 info@kingsleyginnodo.com
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NOT FOR CONSTRUCTION

**JAMIE &
LAUREN
O'DONNELL**

419 N. HICKORY AVENUE
ARLINGTON HTS., IL 60004

O'DONNELL RESIDENCE

no.	revision	init.	date
	CD PROGRESS SET		3/8/17

EXTERIOR ELEVATIONS

date	drawn by	checked by
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Job No. **O'DONNELL**

Sheet No. **A200**

O'DONNELL RESIDENCE: 419 SOUTH HICKORY AVENUE
MATERIAL LIST

LIST OF PRIMARY COLORS, TEXTURES AND MATERIALS TO BE USED:

1. Petitioner Name: Kingsley + Ginnodo Architects
2. Date: February 27, 2017
3. Project: O'Donnell Residence
4. Location: 419 S. Hickory Avenue

Addition:

Siding: "Aged Pewter" by James
Hardie or similar by another
company

Shingle Siding: "Aged Pewter" by James
Hardie or similar by another
company

Trim: "Artic White" by James
Hardie or similar by another
company

Windows: "White" to match trim

Columns: White, painted - HB&G
Composite, Tuscan capital
and base

Gutters/Leaders: White, Prefinished aluminum

Roof shingles: "Slate", Textured asphalt,
by GAF CertainTeed - or
similar by another company

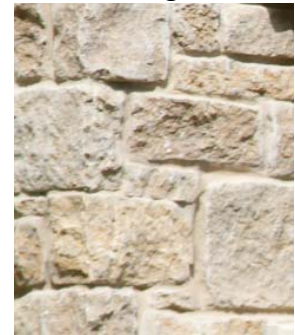
Stone: Veneer natural stone



Aged Pewter



Slate roofing



Natural stone





Item: DC#17-044 - 1017 N. Beverly Ln. - SF/Teardown

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

RECOMMENDATION:

It is recommended that the Design Commission require revisions and approve the proposed new single-family residence to be located at 1017 N. Beverly Lane. This recommendation is subject to compliance with the plans dated 3/27/16 and received 3/31/17, and the following:

1. Recess the garage, and/or expand the front porch to place the focus on the front porch instead of on the garage.
2. Add window grilles to all of the windows to match the front elevation.
3. Provide additional detailing on the north elevation to add interest since it faces the street.
4. Consider adding windows in the stairwell at the landings.
5. Revise the proportions of the tall dormer above the front entry door.
6. Evaluate the appropriateness of the dark "Iron Gray" siding and "Moire Black" roofing with the context of the neighborhood.
7. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

8. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report

Drawings & Documents

Type

Board or Commission Report

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 1017 N. Beverly Ln.
Project Address: 1017 N. Beverly Ln.
Prepared By: Steve Hautzinger

Date Prepared: April 18, 2017

PETITION INFORMATION:

DC Number: 17-044
Petitioner Name: Gary Wronkiewicz
Petitioner Address: 1000 S. Brockway Street
Palatine, IL 60078
Meeting Date: April 25, 2017

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to demolish an existing single story residence and detached one car garage to allow construction of a new two story residence with an attached, two car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 6,963 square feet and the proposed residence is approximately 3,272 square feet. This project received ZBA approval on July 11, 2016 for a zoning variation to allow a 10 foot exterior side setback, where 23.3 feet is required.

The proposed design does not comply with the following zoning requirements, which will either need to be corrected or additional variations requested from the Zoning Board of Appeals:

- The proposed FAR (Floor Area Ratio) is approximately 3,272 sf, where 3,133 sf is the maximum allowed.
- The proposed shed has a rear setback of 3 feet, where a minimum 5 foot rear setback is required.
- The proposed driveway is 24 feet at the widest point, where 22 feet is the maximum allowed width.
- The proposed 4 foot tall fence is located on the north property line, where a 5 foot minimum setback is required, with landscaping required to be a minimum 3 feet high spaced a maximum of 4 feet on center along the street side of the fence.

The project does comply with the other R-3 zoning requirements, as summarized below:

	ALLOWED	PROPOSED
Setbacks	Front: 25 feet Exterior Side: 10 feet (variation approved) Side: 5 feet Rear: 30 feet	Front: 25.08 feet Exterior Side: 10.08 feet Side: 5.08 feet Rear: 48.08 feet
Building Height	25 feet to the midpoint	24.5 feet to the midpoint
FAR	3,133 SF	3,272 SF
Building Lot Coverage	2,437 SF	2,107 SF
Impervious Surface Coverage Total	3,481 SF	2,958 SF

The existing neighborhood consists of primarily single-story homes with a mix of attached and detached garages. However, there have been numerous teardowns completed on this block, one of which is directly south of the subject property.

Overall, the proposed design is of similar scale and character as the other newer homes in the neighborhood. The property is a corner lot, and the location of the covered front entry porch facing the corner is nicely done. However, the garage does project about 10 feet in front of the porch, so it is recommended that the garage be further recessed, and/or the porch depth be increased to place the focus on the front porch instead of on the garage.

In regards to the exterior elevations:

- The proposed brick base wraps around the sides and onto the rear, which is nicely done.
- Window grilles (grids) on the front elevation should be provided on all sides of the house.
- Additional detailing is recommended to add interest to the north elevation since it faces the street. Consider adding windows in the stairwell at the landings.
- The tall dormer on the front elevation (above the front entrance door) has odd proportions that should be further studied.
- The proposed "Iron Gray" siding and "Moire Black" roofing are very dark, and should be evaluated with the context of the neighborhood.

RECOMMENDATION:

It is recommended that the Design Commission **require revisions and approve** the proposed new single-family residence to be located at 1017 N. Beverly Lane. This recommendation is subject to compliance with the plans dated 3/27/16 and received 3/31/17, and the following:

1. Recess the garage, and/or expand the front porch to place the focus on the front porch instead of on the garage.
2. Add window grilles to all of the windows to match the front elevation.
3. Provide additional detailing on the north elevation to add interest since it faces the street.
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8. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

_____, April 18, 2017

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

c: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 17-044

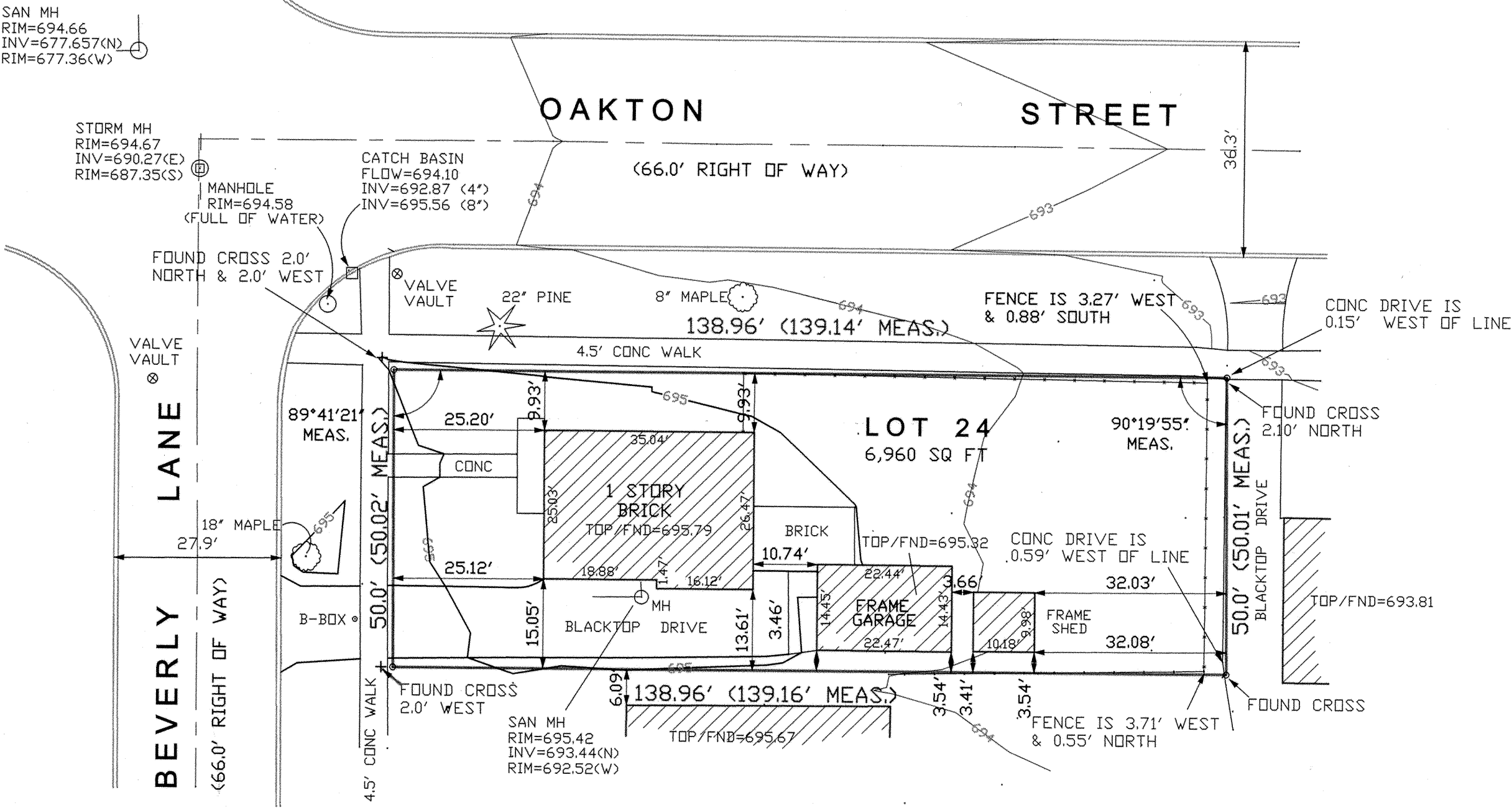
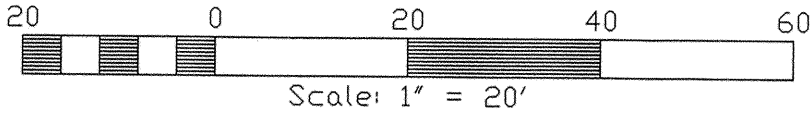
ALAN J. COULSON, P.C.

PROFESSIONAL LAND SURVEYORS

Plat of Survey

OF PROPERTY DESCRIBED AS FOLLOWS:

Lot 24 in Block 1 in Charles W. James Subdivision of Lots 1 to 5, 7 and 8 in Block 1, and Lots 1 to 8 in Block 2 in Arlington Farms, being a subdivision of the East 60 acres of the West Half of the Northeast Quarter of Section 29, Township 42 North, Range 11 East of the third Principal Meridian, in Cook County, Illinois.



BENCH MARK:
FROM VILLAGE OF ARLINGTON HEIGHTS-
BENCH MARK NO. 43:3' BRASS DISK 34'
NORTH OF CENTERLINE OF OAKTON ST.
& 34' EAST OF CENTERLINE OF DRYDEN
AVE. ELEVATION = 690.29 NAVD 88 DATUM

FIELD WORK COMPLETED
ON JULY 20, 2017

Scale: 1"=20'
Ordered: STONEFIELD GROUP
Owner: -
Page: 42-11-29 A
Drawn: [Signature]
Job: B59,153A/SLE
City: ARLINGTON HTS

STATE OF ILLINOIS
COUNTY OF KANE ss JAN 23, 2017

This is to certify that the plat hereon drawn correctly
indicates the above described property.

[Signature]
Charles J. Hill PLS 2700 My license expires 11/30/18

Any discrepancy in measurements should be promptly
reported to surveyor for explanation or correction.

WE DO NOT CERTIFY AS TO LOCATION OF UNDER-
GROUND UTILITIES OR UNDERGROUND IMPROVEMENTS.

THIS SURVEY IS VALID ONLY
WITH EMBOSSED SEAL

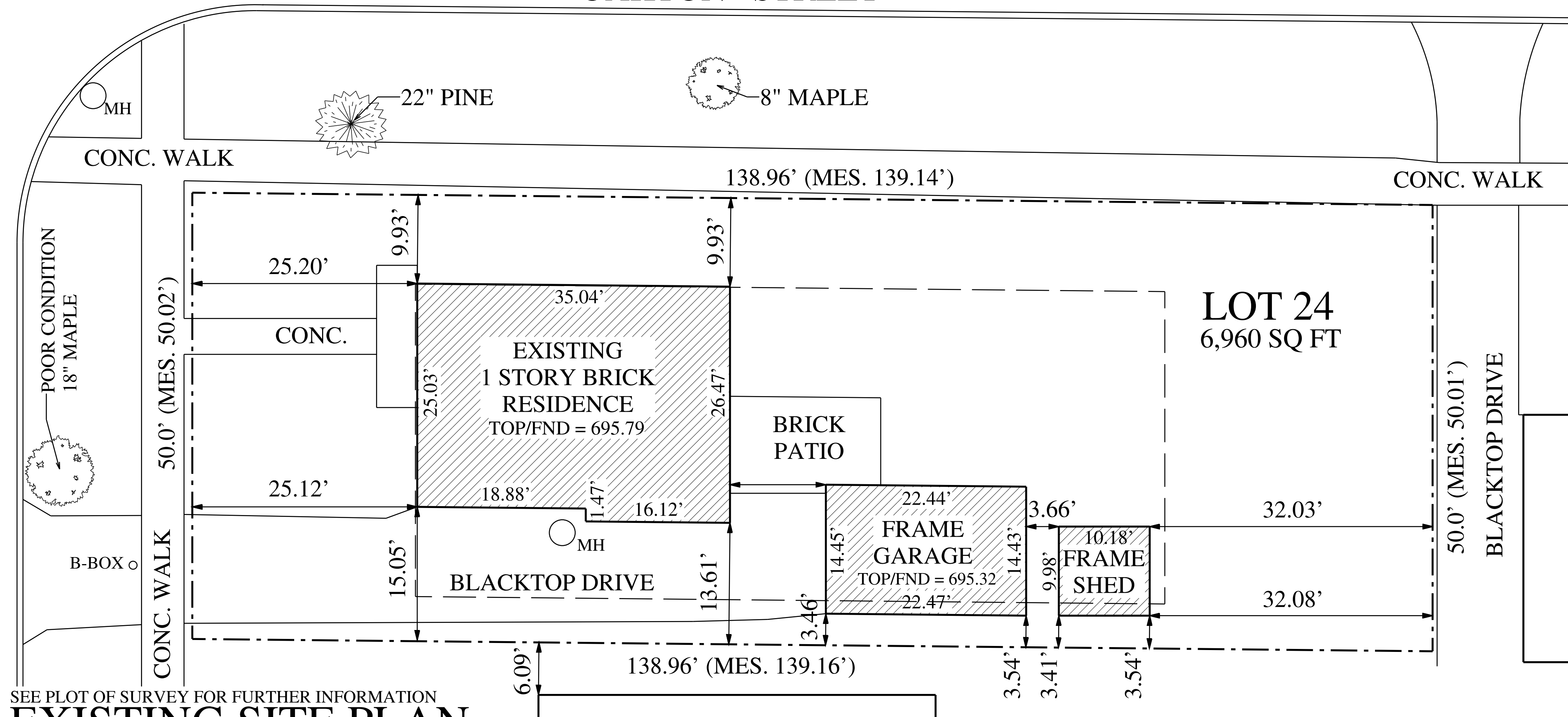
This professional service conforms to the current
Illinois minimum standards for a boundary survey.

Professional Design Firm Land Surveying
Corporation License No.184-002863

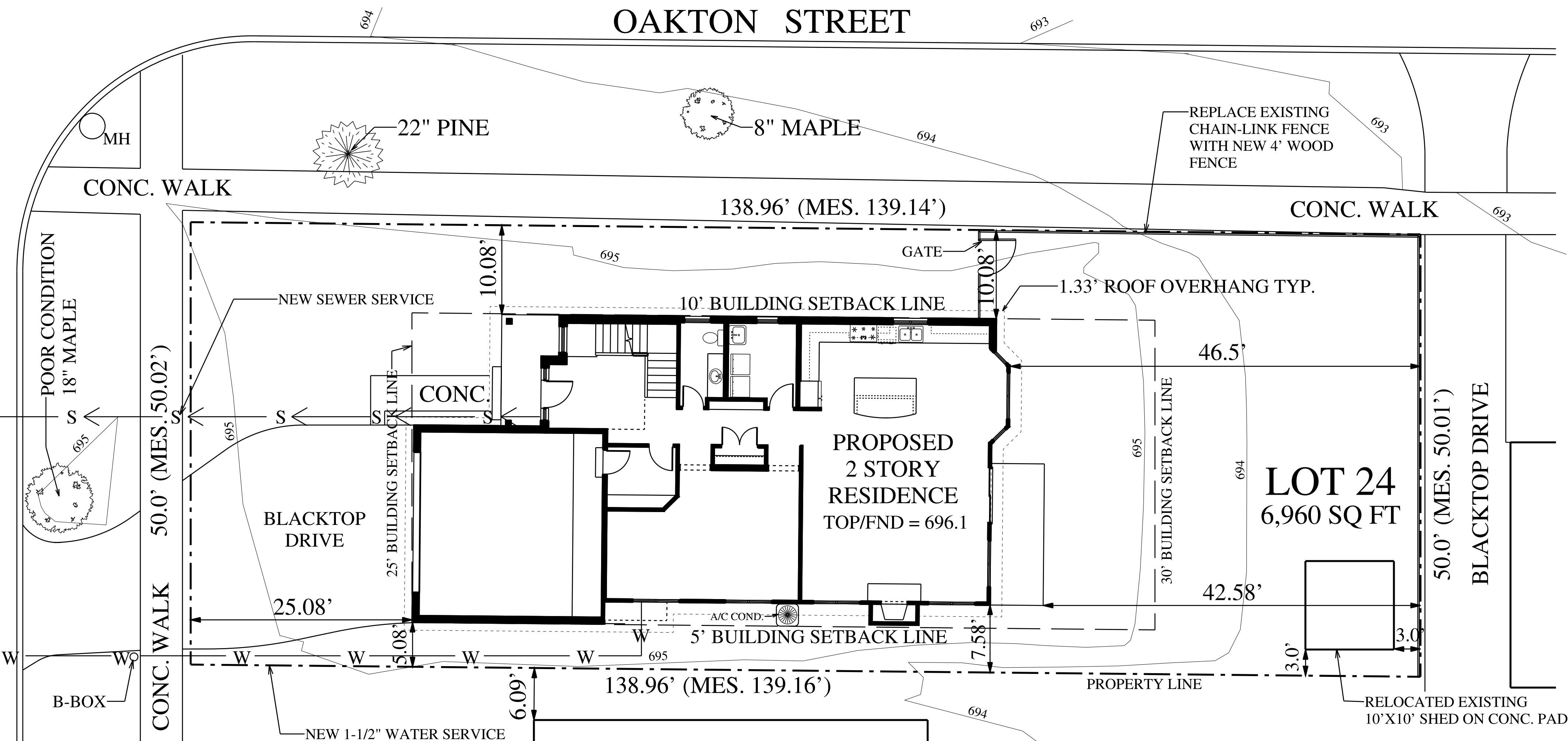
ALAN J.COULSON, P.C.
PROFESSIONAL LAND SURVEYORS
645 S. 8th St.,(Rte. 31) West Dundee,IL. 60118
Phone: (847)- 426-2911 Fax: (847)- 426- 8074
E-Mail: SIRVAYR@AOL.COM

Compare the description on this plat with deed. Refer to deed for easements and buildings lines.

BEVERLY LANE

SEE PLOT OF SURVEY FOR FURTHER INFORMATION
EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

BEVERLY LANE

SEE PLOT OF SURVEY FOR FURTHER INFORMATION
PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"**BUILDING & ZONING DATA**
FOR 1017 BEVERLY LANE ARLINGTON HEIGHTS, IL

ZONE R-3
CORNER LOT (NONCONFORMING)
TOTAL LOT AREA 6960 SF
LOT SETBACKS:
FRONT YARD 25'
REAR YARD 30'
STREET SIDE YARD 10'
INTERIOR SIDE YARD 5'
MAX HEIGHT 25' (AVG. ROOF)

BUILDING AREAS:
FIRST FLOOR 1535 SF
SECOND FLOOR 1521 SF
FRONT PORCH 66 SF
GARAGE 472 SF
TOTAL HEATED AREA 3056 SF
TOTAL COVERED AREA 3594 SF

LOT COVERAGE ALLOWED 35%
LOT COVERAGE ACTUAL: 29.8%
LOT COVERAGE / TOTAL LOT AREA = ACTUAL LOT COVERAGE
2073 SF / 6960 SF = 29.8%

IMPERVIOUS SURFACE ALLOWED 50%
IMPERVIOUS SURFACE ACTUAL: 42%
IMPERVIOUS AREA / TOTAL LOT AREA = ACTUAL IMPERVIOUS SURFACE
2932 SF / 6960 SF = 42%

Property Across (North East)
820 E Oakton St



Property Behind (East)
901 E Oakton St



Property Left 3
1111 N Beverly Ln



Property Left 2
1107 N Beverly Ln



Property Left 1
1101 N Beverly Ln



SUBJECT PROPERTY
1017 N Beverly Ln



Property Right 1
1013 N Beverly Ln



Property Right 2
1009 N Beverly Ln



Property Right 3
1005 N Beverly Ln



North Beverly Lane



Property Diagonally Opposite
1102 N Beverly Ln

East Oakton Street



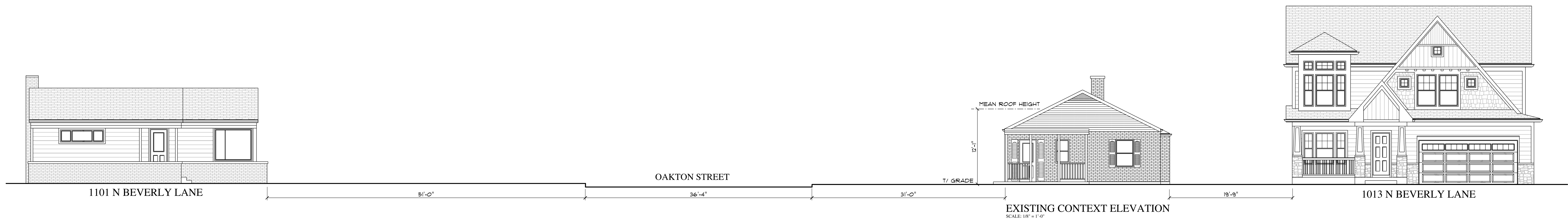
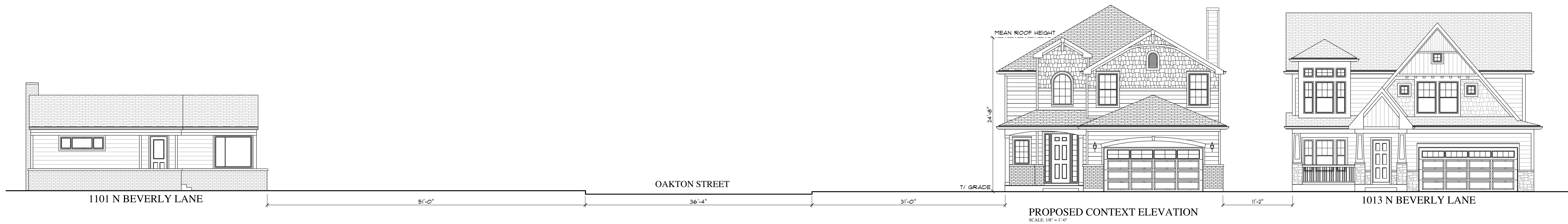
Property Across 1
1018 N Beverly Ln



Property Across 2
1014 N Beverly Ln



Property Across 3
1010 N Beverly Ln

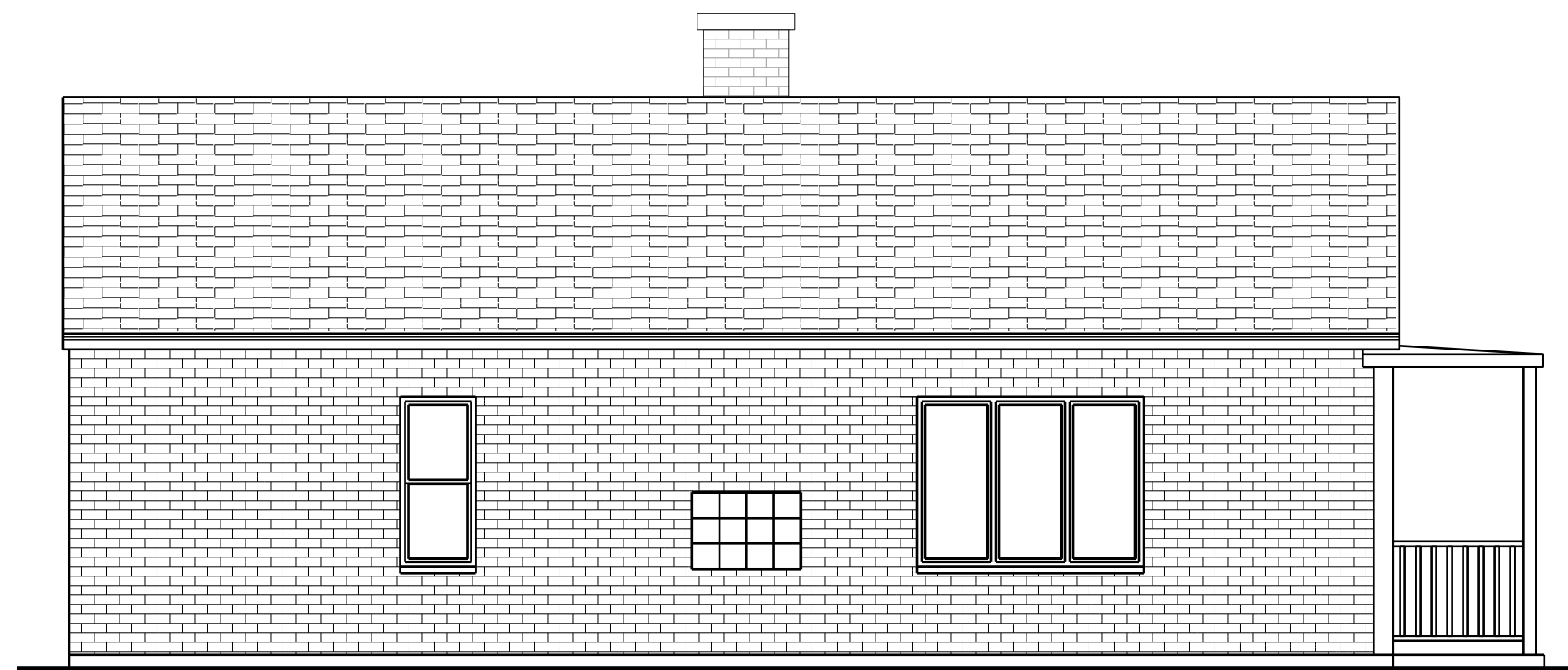


CONTEXT ELEVATIONS

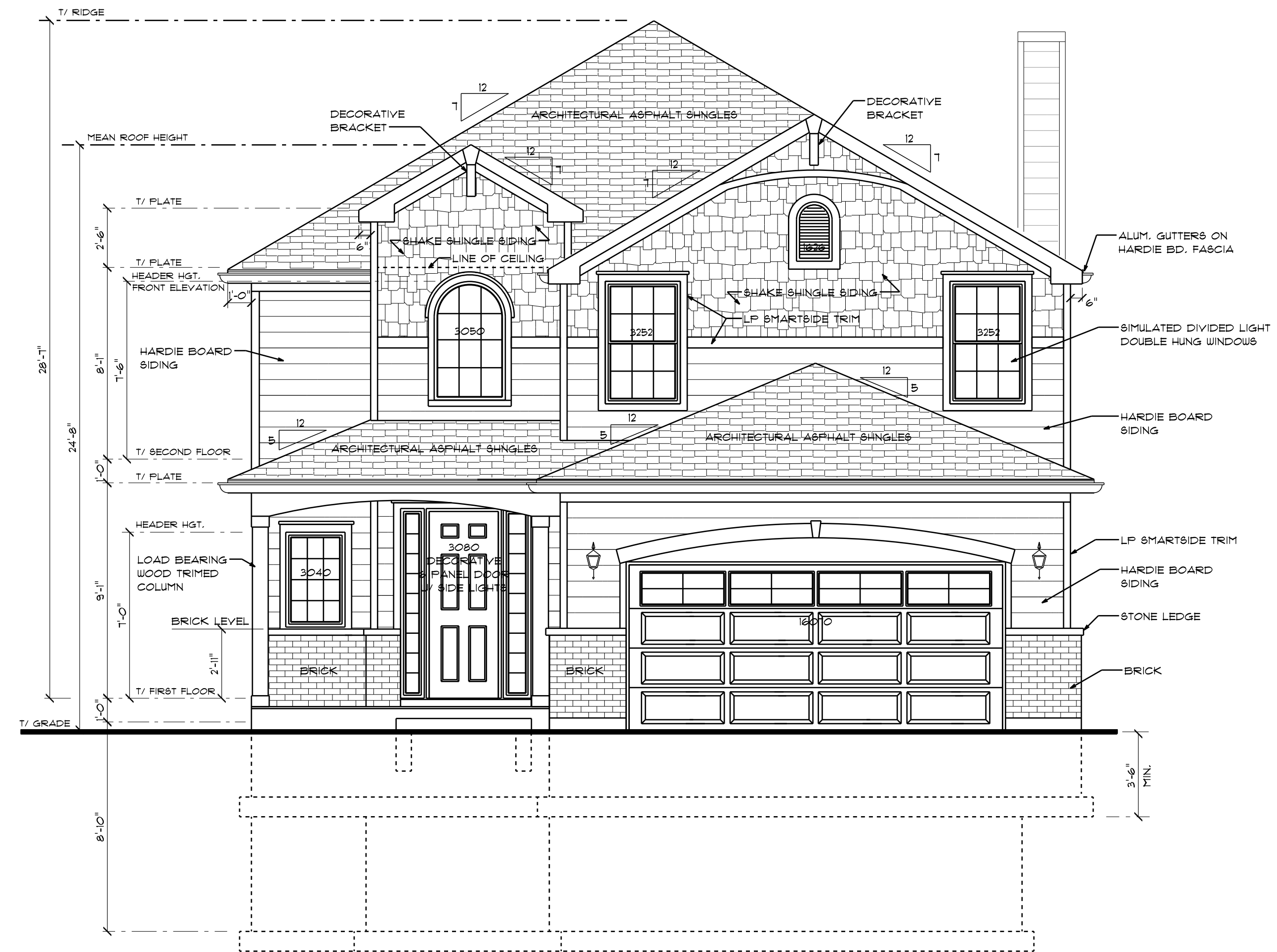
SCALE: 1/8" = 1'-0"



PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



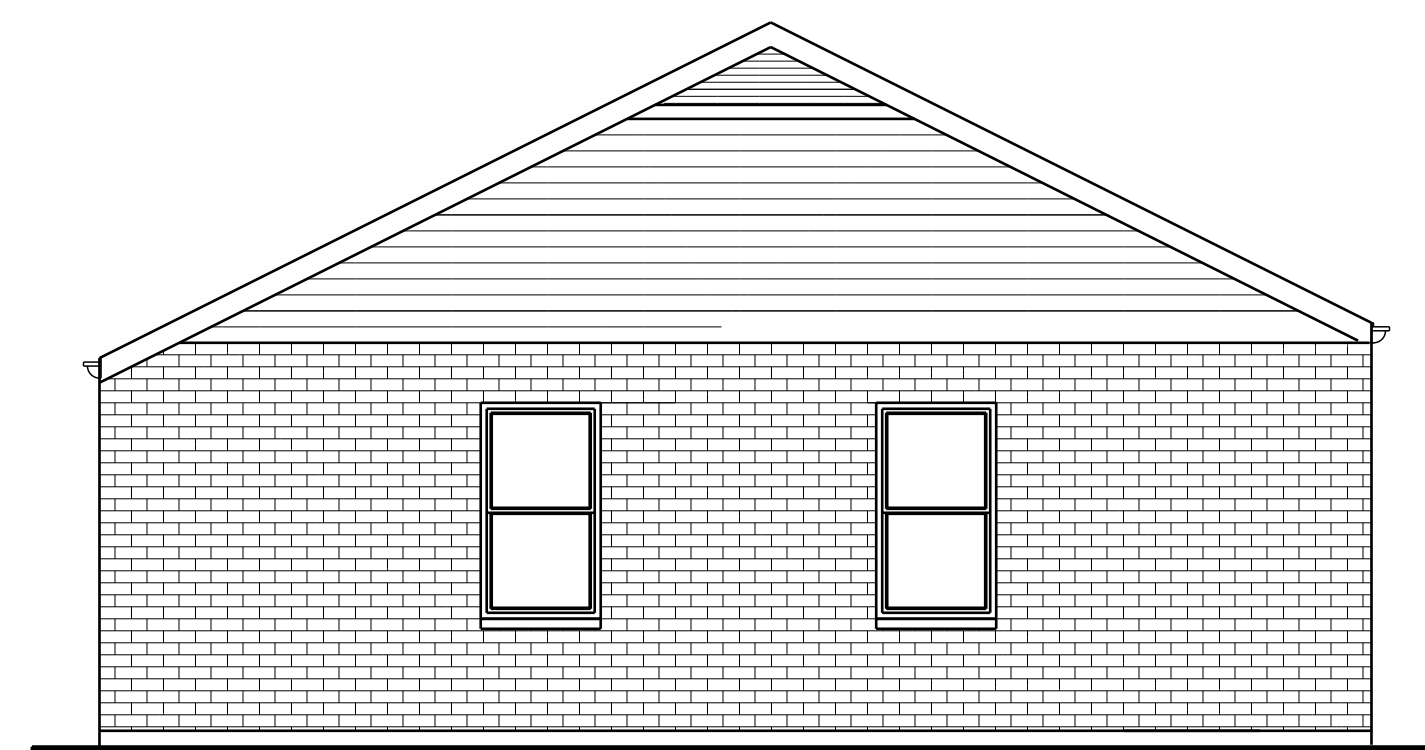
PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



1017 North Beverly Lane, Arlington Heights

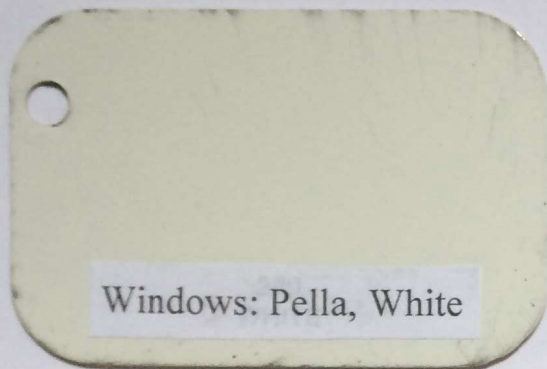
Material Schedule

Item	Material	Manufacturer	Color
Brick / Stone	Clay	Illinois Brick	Special Blend
Roof	Asphalt Shingles	CertainTeed Landmark	Moire Black
Siding	Fiber Cement	James Hardie	Iron Gray
Gutters/trim/fascia	Aluminum / LP	Owens Corning / James Hardie	White / Arctic White
Windows	Vinyl / Wood Jamb	Pella 250 Series	White
Garage Door	Stamped Steel	C.H.I	White

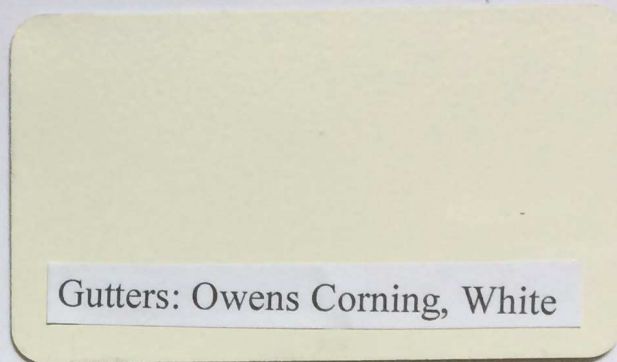
THE STONEFIELD GROUP INC
PO Box 878, PALATINE, IL 60078-0878
(847) 963-9100 • INFO@STONEFIELDINC.COM



1017 N Beverly Lane - Major Material Sample Board



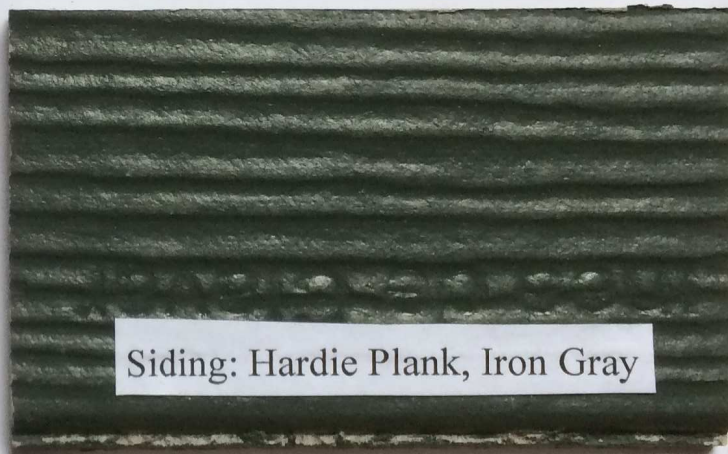
Windows: Pella, White



Gutters: Owens Corning, White



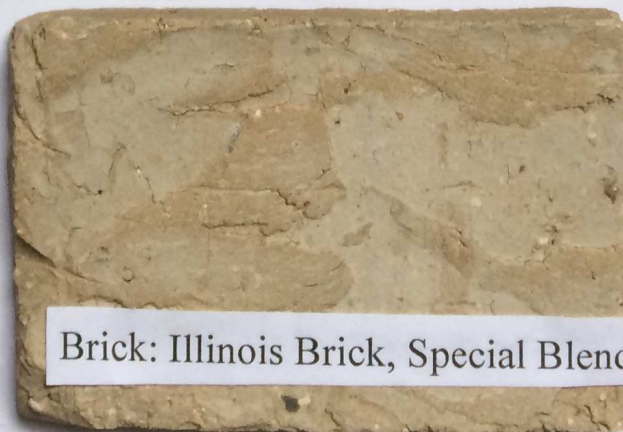
Trim/Fascia: Hardie Plank, Arctic White



Siding: Hardie Plank, Iron Gray



Roof: CertainTeed Landmark, Moire Black



Brick: Illinois Brick, Special Blend

THE STONEFIELD GROUP INC
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