



Agenda
Village of Arlington Heights
Zoning Board of Appeals
Virtual Meeting

March 15, 2021
7:00 PM

I. CALL TO ORDER

- A. In response to the COVID-19 pandemic, this meeting is being held virtually which permits the public to fully participate via their computers or using their phones.

To participate in the virtual meeting, please follow these instructions: <https://bit.ly/3bw4ZVg>

Individuals who wish to comment or ask a question on an item on the Agenda may either participate virtually or send an email to the Village at dmach@vah.com. Please limit emails to 200 words or less. To be shared at the meeting, the email must be received by 3:00 p.m. on March 15, 2021.

II. ROLL CALL

III. APPROVAL OF MINUTES

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. 406 N. Waterman Ave - ZBA#21-008
B. 1223 N. Arlington Heights Rd. - ZBA#21-012
C. 1107 N. Mitchell Ave - ZBA#21-005
D. 410 N. Douglas Ave. - ZBA#21-006

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S.

Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793
(Voice), (847)368-5980 (Fax) or drobb@vah.com.



Zoning Board of Appeals 3/15/2021

Item: 406 N Waterman Ave - ZBA#21-008

Department: Planning & Community Development

REQUEST

1. A 10.2 foot variation from Chapter 28, Section 5.1-3.2d (Required Minimum Yards –Rear Yards), to allow an addition with a rear yard setback of 19.8 feet where 30.0 feet is required.
2. A 16 square foot variation from Chapter 28, Section 5.1-3.4b (Maximum Impervious Surface Coverage) to allow 4,007 square feet of impervious surface coverage where 3,991 square feet is allowed.

ATTACHMENTS:

Description	Type
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: March 15, 2021
Date Prepared: March 10, 2021
Project Title: Gonke Residence
Address: 406 N. Waterman Ave.

Background Information

Petition Number: ZBA #21-008
Petitioner: Keith Ginnodo – Kingsley/Ginnodo Architects
Address: 33 N. Hickory Ave.
Arlington Heights IL 60004

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

The subject property is zoned R-3, One-Family Dwelling District and includes a single-family home, that is approximately 3,083 square feet. The property has a total land area of 7,983 square-feet and a lot width of 64 feet. The petitioner is proposing to add an addition to the rear of the existing home. However, this would result in a rear yard setback of 19.8 feet where 30.0 feet is required. In addition, the total proposed impervious surface coverage is 4,007 square-feet where the maximum coverage allowed is 3,991 square feet. Therefore, the petitioner requests the following variations:

- A 10.2 foot variation from Chapter 28, Section 5.1-3.2d (Required Minimum Yards –Rear Yards), to allow an addition with a rear yard setback of 19.8 feet where 30.0 feet is required.
- A 16 square foot variation from Chapter 28, Section 5.1-3.4b (Maximum Impervious Surface Coverage) to allow 4,007 square feet of impervious surface coverage where 3,991 square feet is allowed.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.



<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	2/25/21	
2. List of Property Owners Within 250 feet of Subject Property	✓	2/25/21	
3. Letter that was Mailed	✓	2/25/21	
4. Photographs of Sign on Property	✓	2/25/21	

Photograph of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Gonke Residence

Project Address: 406 N Waterman Ave

ZBA #: 21-008

Date: February 25, 2021

Derek:

I have reviewed the request for the following variances:

- A 10.2-foot variation from Chapter 28, Section 5.1-3.2d (Required Minimum Yards –Rear Yards), to allow an addition with a rear yard setback of 19.8 feet where 30.0 feet is required.
- A 16 square foot variation from Chapter 28, Section 5.1-3.4b (Maximum Impervious Surface Coverage) to allow 4,007 square feet of impervious surface coverage where 3,991 square feet is allowed.

I have no objection to the requests.

ZBA# 21-008
406 N Waterman Ave - ZBA
Rev. Eng: Briget Schwab, P.E.
cc: Mike Pagones, P.E. Village Engineer

Application Date: February 4, 2021
Received by Planning:
Transmitted to Engineering: February 24, 2021
Received by Briget: February 24, 2021
Completed: February 26, 2021

The proposed ZBA application indicates that the petitioner is seeking:

A 10.2 foot variation from Chapter 28, Section 5.1-3.2d (Required Minimum Yards –Rear Yards), to allow an addition with a rear yard setback of 19.8 feet where 30.0 feet is required.

A 16 square foot variation from Chapter 28, Section 5.1-3.4b (Maximum Impervious Surface Coverage) to allow 4,007 square feet of impervious surface coverage where 3,991 square feet is allowed.

The Engineering Division has NO COMMENT to the proposed variance request for required minimum yard-rear yards.

The Engineering Division is NOT IN FAVOR of the proposed variance for impervious surface coverage. If the variance for impervious surface coverage is granted, it is recommended that the petitioner be required to use permeable pavers that allows for detention for a portion of the patio to offset the increase in impervious surface.

--

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Gonke Residence

Project Address: 406 N. Waterman Avenue

ZBA #: 21-008

ZBA Hearing Date: March 15th, 2021

To: Mike Pagones, Village Engineer
Mark Fink, Assistant Building Official

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: February 24, 2021

- A 10.2 foot variation from Chapter 28, Section 5.1-3.2d (Required Minimum Yards –Rear Yards), to allow an addition with a rear yard setback of 19.8 feet where 30.0 feet is required.
- A 16 square foot variation from Chapter 28, Section 5.1-3.4b (Maximum Impervious Surface Coverage) to allow 4,007 square feet of impervious surface coverage where 3,991 square feet is allowed.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: The design of the proposed addition fits well with the existing house. The design is

favorable for an Administrative (Staff) design approval, pending ZBA review/approval.

Steve Hautzinger, Design Planner

Please review, comment, and return to me no later than March 5, 2021.

February 4, 2021

PETITION

Lauren and Bob Gonke Residence – 406 N Waterman Ave, Arlington Heights, Illinois 60004

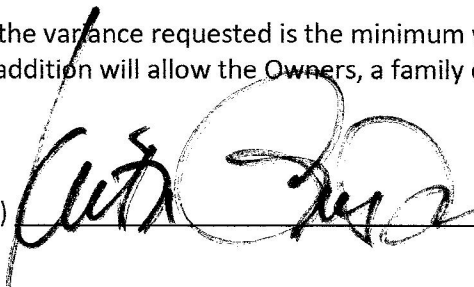
NOW COMES the Petitioner Lauren and Bob Gonke being the owner of the property commonly known as: 406 N Waterman Ave, Arlington Heights, Illinois 60004 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variance from the Arlington Heights Municipal Code, Chapter 28 Zoning Regulations, Section 5.1-3.2 (Required Minimum Yards) in order to build a first floor addition that encroaches into the required rear yard by 9'-2" and Section 5.1-3.4 (Maximum Impervious Surface) in order to build an addition and patio that exceeds the maximum allowable impervious surface area by 145 SF.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with the existing uses and zoning of nearby property if the variations were granted: The proposed first floor addition will not be visible from the front of the house. The homes to rear of the property are setback farther than typical due to the lot layout on the cul-de-sac and therefore will not be negatively affected by the addition.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned: The front loaded garage and size of driveway, inherent to the existing design of the home, results in a modest addition that encroaches into the required rear yard and a patio that exceeds the allowable impervious surface area.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter: The first floor addition will not be visible from the front of the home and is sympathetic with the existing style of the home.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property: The addition will allow the Owners, a family of four, to live in this home as their forever home.

Signed: (petitioner)  date: _____

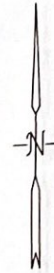
SIGNED (OWNER):



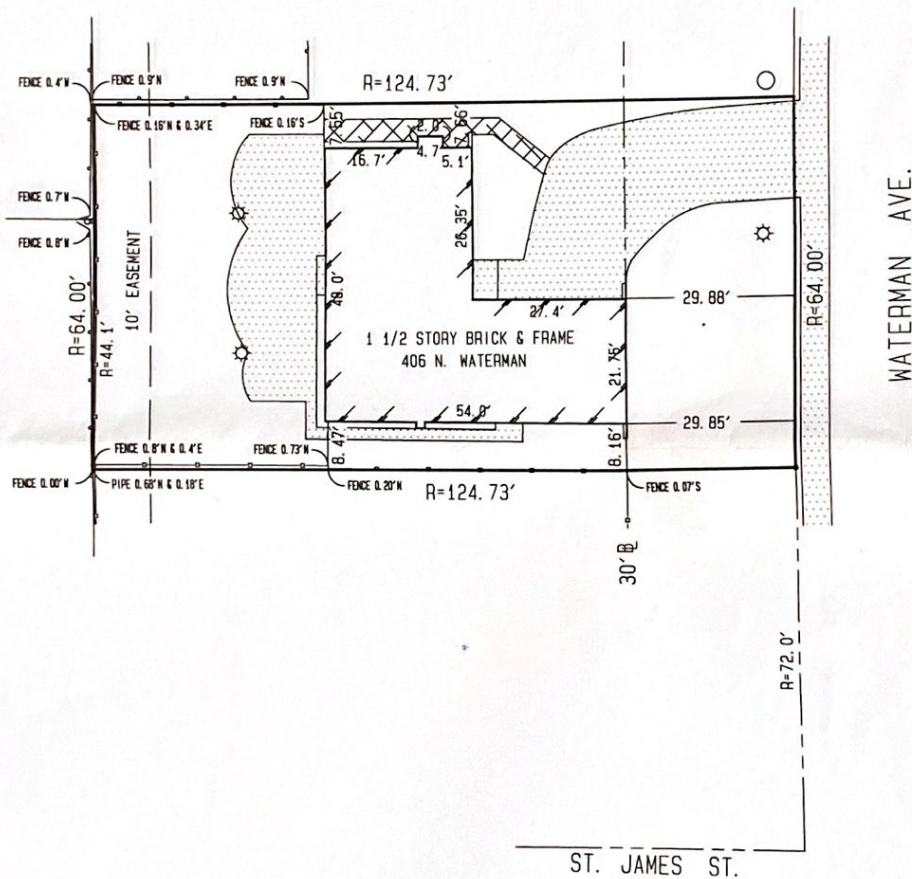
DATE: 2/5/21

Order No. 1713566

LOT 3 IN MINARDI'S RESUBDIVISION IN THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 28, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



SCALE 1" = 20'



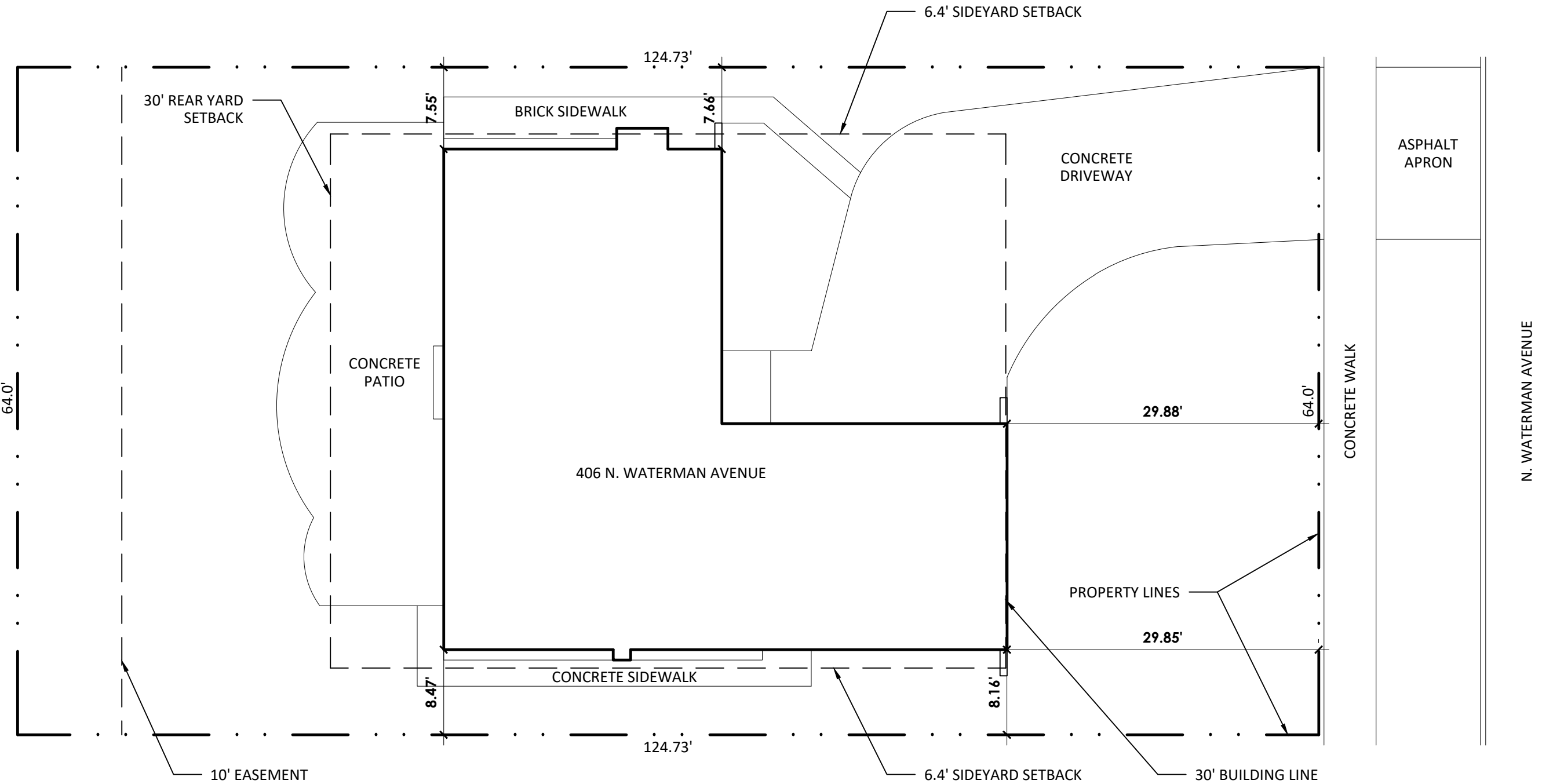
LDI LAND DIVISIONS, Inc.
Professional Surveying Services
P.O. Box 835
West Dundee, Illinois 60118
(847) 841-8305 (847) 551-9171
Fax (841) 551-9193

STATE of ILLINOIS
COUNTY of KANE

WE, LAND DIVISIONS INC., CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND, THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS AS FOUND AT THE TIME OF THE SURVEY AND THAT THIS PROFESSIONAL SERVICE REPRESENTS A TESTED OPINION OF THE BOUNDARY OF THE ABOVE CAPTIONED PROPERTY.
DATE OF SURVEY: MARCH 24, 2017.

LICENSE NO. 2783 EXPIRES ON NOVEMBER 30, 2018.

THIS PLAT CONFORMS WITH THE CURRENT ILLINOIS PROFESSIONAL LAND SURVEYORS ASSOCIATION MINIMUM STANDARDS FOR A BOUNDARY SURVEY. BUILDING LINE RESTRICTIONS AND EASEMENTS SHOWN ARE THOSE IDENTIFIED ON THE RECORD SUBDIVISION PLAT, UNLESS OTHERWISE NOTED. REFER TO THE RECORD SUBDIVISION PLAT FOR ALL ZONING ORDINANCES FOR RESTRICTIONS NOT SHOWN. COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT. IMMEDIATELY REPORT ANY DISCREPANCIES FOUND. DISTANCE IN FEET ARE DECIMALS OF A FOOT UNLESS OTHERWISE NOTED. THIS PLAT HAS BEEN PREPARED FOR KOCK AND GONKE.



DRAWING INDEX	
EX0	EXISTING SITE PLAN
EX1	EXISTING BASEMENT/ CRAWLSPACE PLAN
EX2	EXISTING FIRST FLOOR/ SECOND FLOOR PLAN
EX4	EXISTING ROOF PLAN
EX5	EXISTING EAST ELEVATION
EX6	EXISTING NORTH ELEVATION
EX7	EXISTING WEST ELEVATION
EX8	EXISTING SOUTH ELEVATION

1 EXISTING SITE PLAN
3/32" = 1'-0"

LAUREN AND BOB GONKE
406 N. WATERMAN AVENUE, ARLINGTON HEIGHTS, IL 60004

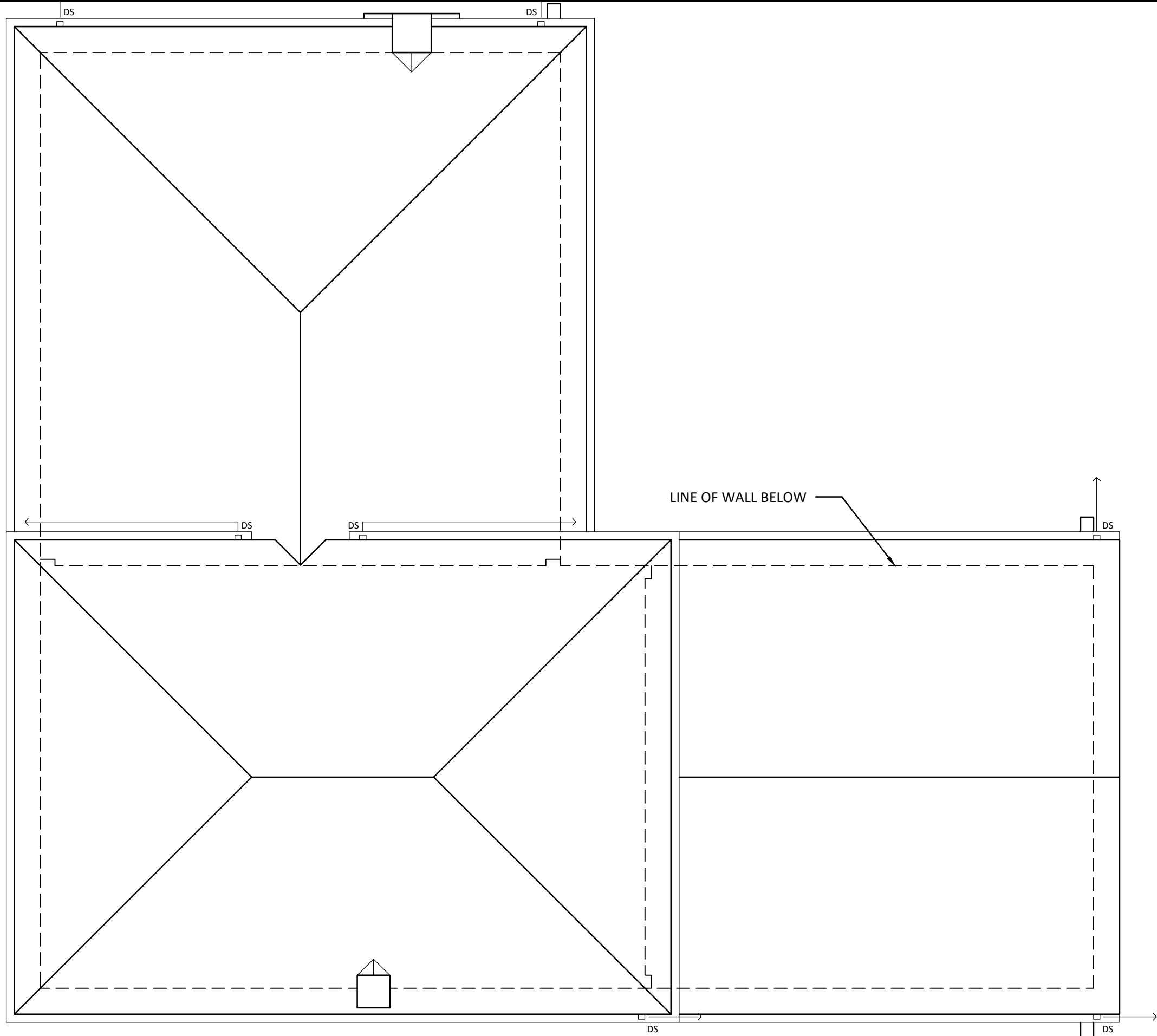


1

EXISTING ROOF PLAN

3/16" = 1'-0"

1



KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV. ARLINGTON HTS. IL 60004

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12.15.20

EX4

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LAUREN AND BOB GONKE
406 N. WATERMAN AVENUE, ARLINGTON HEIGHTS, IL 60004



1 EXISTING EAST ELEVATION
3/16" = 1'-0"

LAUREN AND BOB GONKE
406 N. WATERMAN AVENUE, ARLINGTON HEIGHTS, IL 60004

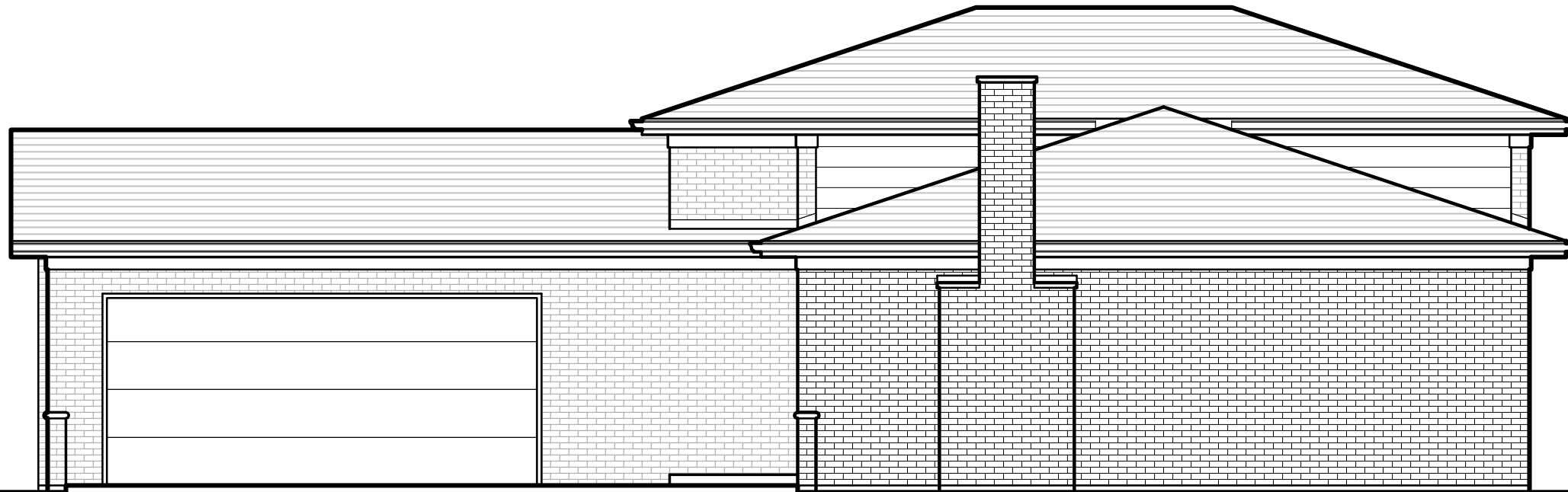


KINGSLEY + GINNODO ARCHITECTS
333 N. HICKORY AV., ARLINGTON HTS., IL 60004

EX5

12.15.20

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1 EXISTING NORTH ELEVATION
3/16" = 1'-0"

LAUREN AND BOB GONKE
406 N. WATERMAN AVENUE, ARLINGTON HEIGHTS, IL 60004



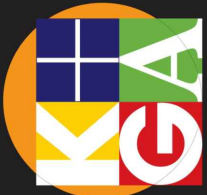
KINGSLEY + GINNODO ARCHITECTS
333 N. HICKORY AV. ARLINGTON HTS. IL 60004
12.15.20
© KINGSLEY + GINNODO ARCHITECTS

EX6



1 EXISTING WEST ELEVATION
3/16" = 1'-0"

LAUREN AND BOB GONKE
406 N. WATERMAN AVENUE, ARLINGTON HEIGHTS, IL 60004



KINGSLEY + GINNODO ARCHITECTS
333 N. HICKORY AV., ARLINGTON HTS., IL 60004

EX7

12.15.20

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1 EXISTING SOUTH ELEVATION
3/16" = 1'-0"

LAUREN AND BOB GONKE
406 N. WATERMAN AVENUE, ARLINGTON HEIGHTS, IL 60004

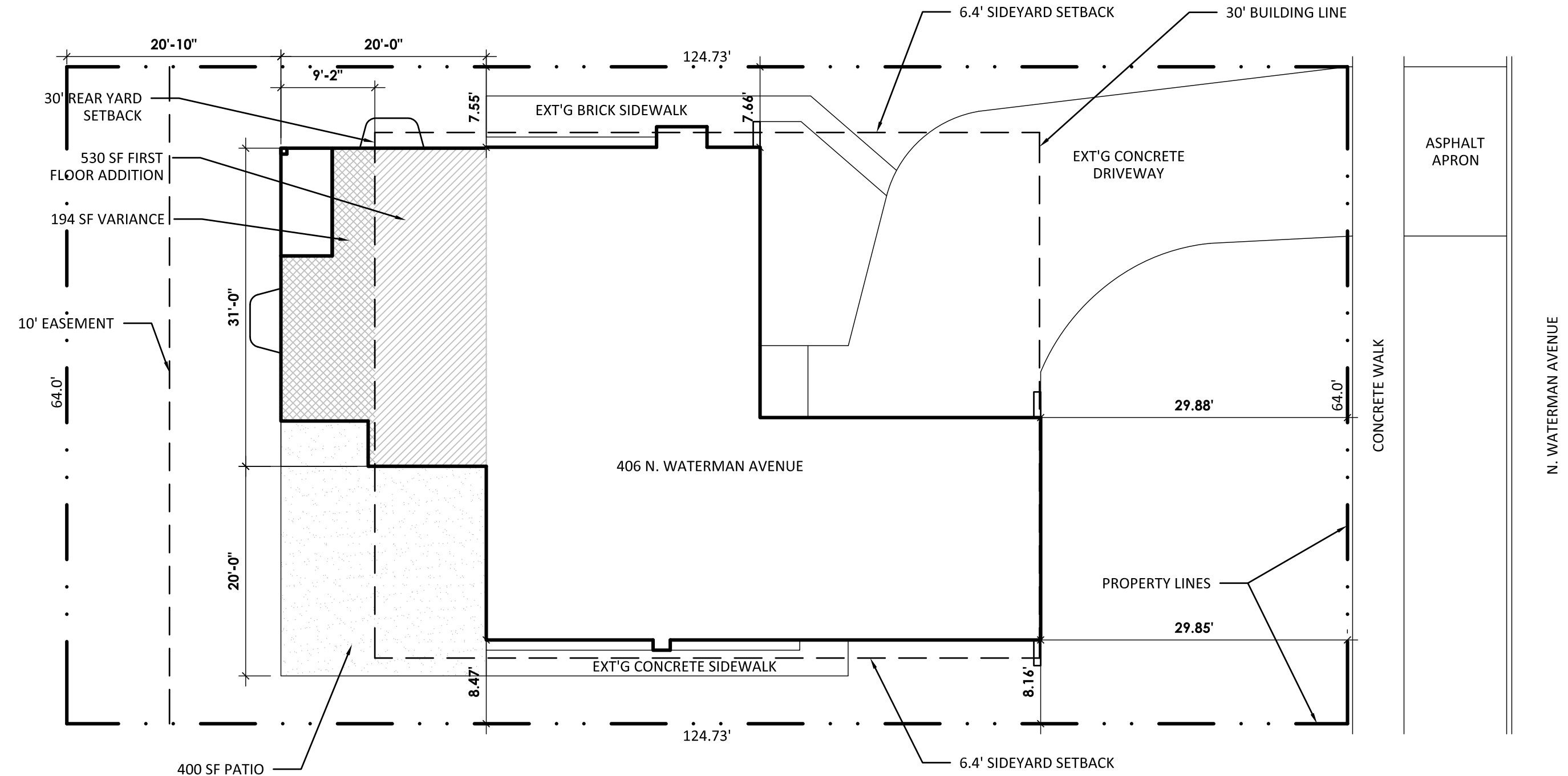


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333 N. HICKORY AV., ARLINGTON HTS., IL 60004

12.15.20									

EX8

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1 SITE PLAN
3/32" = 1'-0"

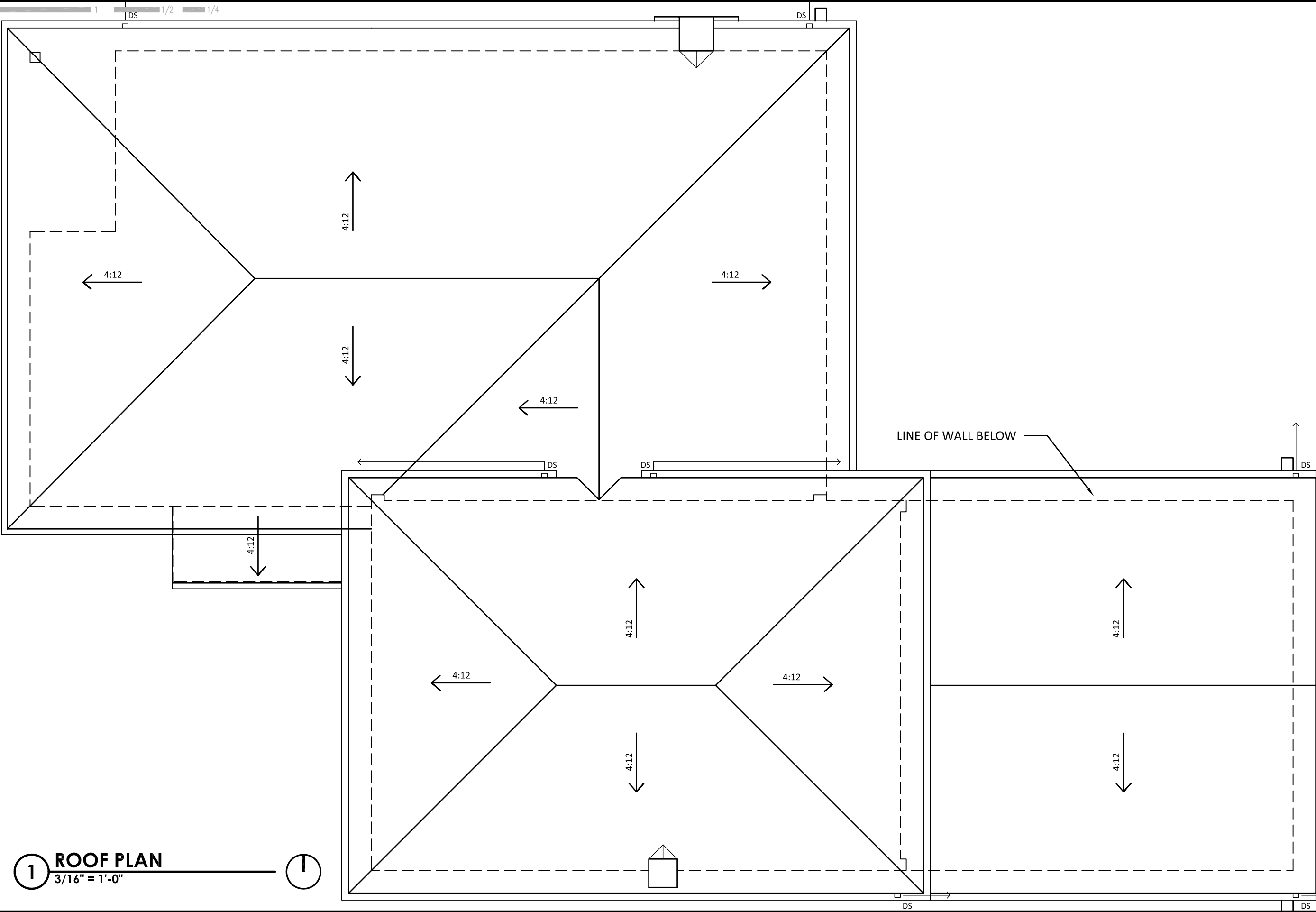
KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV. ARLINGTON HTS. IL 60004

2.2.21
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LAUREN AND BOB GONKE
406 N. WATERMAN AVENUE, ARLINGTON HEIGHTS, IL 60004

A0



1 ROOF PLAN
3/16" = 1'-0"



LAUREN AND BOB GONKE
406 N. WATERMAN AVENUE, ARLINGTON HEIGHTS, IL 60004



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33 N HICKORY AV. ARLINGTON HTS. IL 60004

2.2.21

A4

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1 EAST ELEVATION - NO CHANGE
3/16" = 1'-0"

LAUREN AND BOB GONKE
406 N. WATERMAN AVENUE, ARLINGTON HEIGHTS, IL 60004



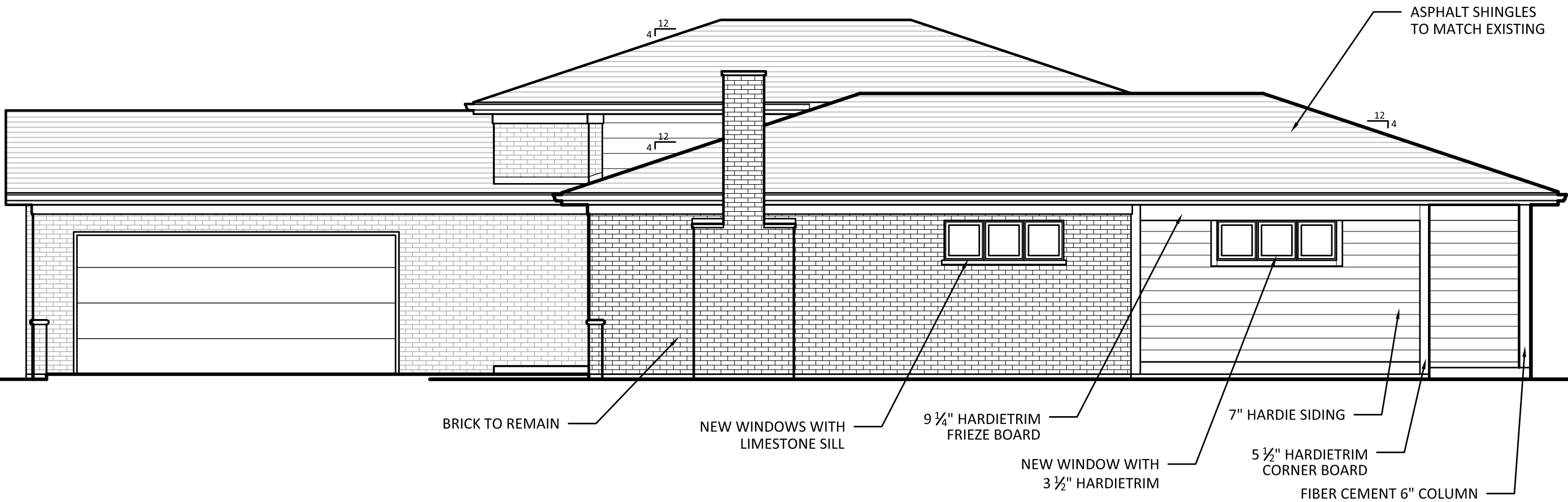
KINGSLEY + GINNODO ARCHITECTS
333 N. HICKORY AV. ARLINGTON HTS. IL 60004

2.2.21

A5

MATERIAL LIST

- SIDING:"TIMBERBARK" - 7" EXPOSURE HARDIEPLANK LAP SIDING SELECT
- CEDARMILL - JAMES HARDIE FIBER CEMENT
- TRIM:"ARCTIC WHITE" - SMOOTH HARDIETRIM BOARDS
- COLUMN:SQUARE - FIBER CEMENT
- WINDOWS:"STONE WHITE", ESSENTIAL WINDOWS BY MARVIN
- GUTTERS/LEADERS:PREFINISHED ALUMINUM, WHITE
- ROOF SHINGLES:TEXTURED ASPHALT TO MATCH EXISTING
- BRICK:EXISTING TO REMAIN



1 NORTH ELEVATION
3/16" = 1'-0"

LAUREN AND BOB GONKE
406 N. WATERMAN AVENUE, ARLINGTON HEIGHTS, IL 60004



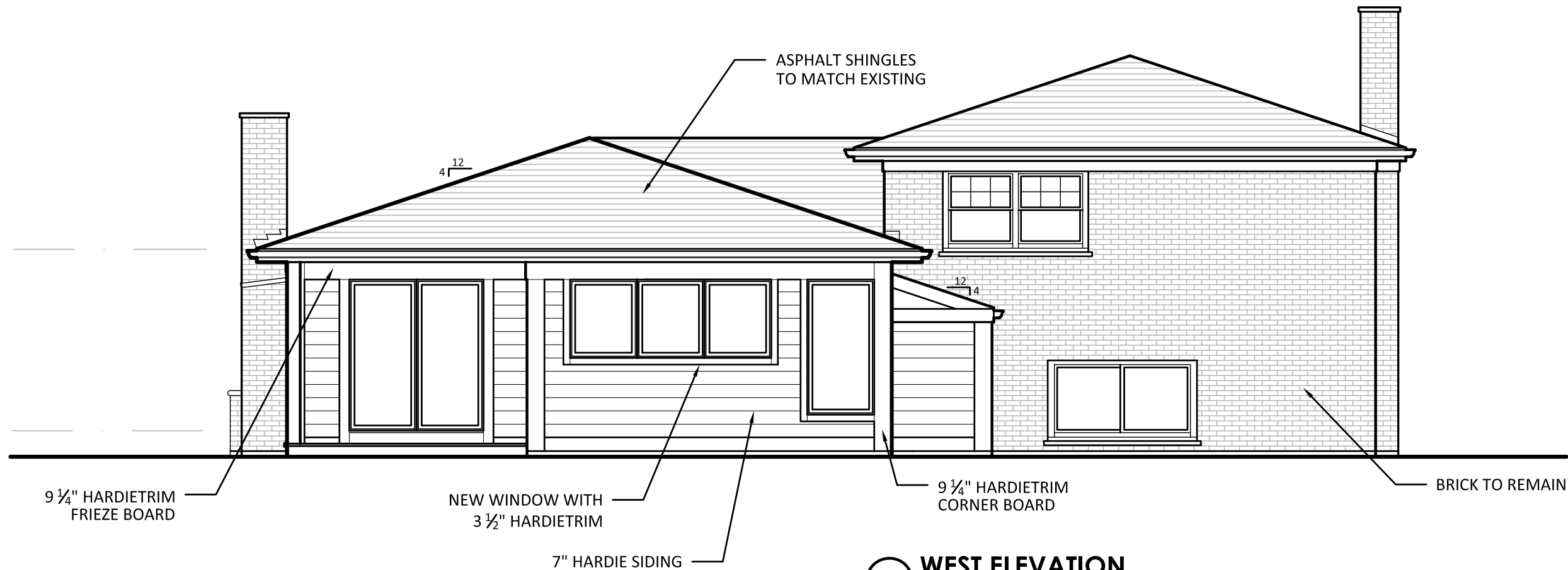
KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV. ARLINGTON HTS. IL 60004

2.2.21

A6

MATERIAL LIST

SIDING:	"TIMBERBARK" - 7" EXPOSURE HARDIEPLANK LAP SIDING SELECT
TRIM:	CEDARMILL - JAMES HARDIE FIBER CEMENT
COLUMN:	"ARCTIC WHITE" - SMOOTH HARDIETRIM BOARDS
WINDOWS:	SQUARE - FIBER CEMENT
GUTTERS/LEADERS:	"STONE WHITE", ESSENTIAL WINDOWS BY MARVIN
ROOF SHINGLES:	PREFINISHED ALUMINUM, WHITE
BRICK:	TEXTURED ASPHALT TO MATCH EXISTING
	EXISTING TO REMAIN



1 WEST ELEVATION
3/16" = 1'-0"

LAUREN AND BOB GONKE
406 N. WATERMAN AVENUE, ARLINGTON HEIGHTS, IL 60004



KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV. ARLINGTON HTS. IL 60004

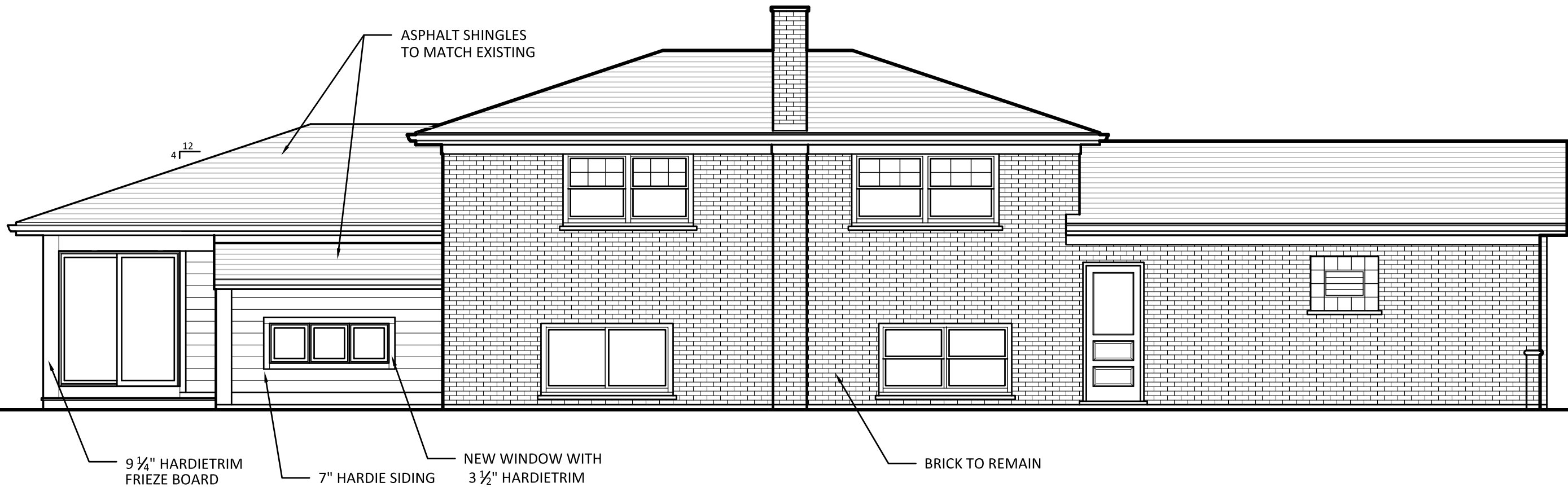
A7

2.2.21

© KINGSLEY + GINNODO ARCHITECTS

MATERIAL LIST

- SIDING: "TIMBERBARK" - 7" EXPOSURE HARDIEPLANK LAP SIDING SELECT
CEDARMILL - JAMES HARDIE FIBER CEMENT
TRIM: "ARCTIC WHITE" - SMOOTH HARDIETRIM BOARDS
COLUMN: SQUARE - FIBER CEMENT
WINDOWS: "STONE WHITE", ESSENTIAL WINDOWS BY MARVIN
GUTTERS/LEADERS: PREFINISHED ALUMINUM, WHITE
ROOF SHINGLES: TEXTURED ASPHALT TO MATCH EXISTING
BRICK: EXISTING TO REMAIN



1 SOUTH ELEVATION
3/16" = 1'-0"

LAUREN AND BOB GONKE
406 N. WATERMAN AVENUE, ARLINGTON HEIGHTS, IL 60004



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A8

2.2.21

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Zoning Board of Appeals 3/15/2021

Item: 1223 N. Arlington Heights Rd. - ZBA#21-012

Department: Planning & Community Development

REQUEST

A 11.4 foot variation from Chapter 28, Section 5.1-3.2d (Required Minimum Yards – Rear Yards), to allow an addition with a rear yard setback of 18.6 feet where 30.0 feet is required.

ATTACHMENTS:

Description	Type
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: March 15, 2021
Date Prepared: March 10, 2021
Project Title: Goujon Residence
Address: 1223 N Arlington Heights Rd.

Background Information

Petition Number: ZBA #21-012
Petitioner: Kevin Purdom / JRC Design Build
Address: 1275 E Davis St
Arlington Heights IL 60005

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

The subject property is zoned R-3, One-Family Dwelling District and includes a single-family home, that is approximately 1,792 square feet. The property has a total land area of 7,875 square-feet and a lot width of 75 feet. The petitioner is proposing to add an addition to the rear of the existing home. However, this would result in a rear yard setback of 18.6 feet where 30.0 feet is required. Therefore, the petitioner requests the following variation:

- A 11.4 foot variation from Chapter 28, Section 5.1-3.2d (Required Minimum Yards –Rear Yards), to allow an addition with a rear yard setback of 18.6 feet where 30.0 feet is required.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	2/23/21	
2. List of Property Owners Within 250 feet of Subject Property	✓	2/23/21	
3. Letter that was Mailed	✓	2/23/21	
4. Photographs of Sign on Property	✓	2/23/21	

Photograph of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Goujon Residence

Project Address: 1223 N Arlington Heights Rd

ZBA #: 21-012

Date: February 25, 2021

Derek:

I have reviewed the request for the following variance:

- A 11.4-foot variation from Chapter 28, Section 5.1-3.2d (Required Minimum Yards –Rear Yards), to allow an addition with a rear yard setback of 18.6 feet where 30.0 feet is required.

I do not have any objections to the variance.

Note: A trench foundation will be required for the addition. The 2018 International Residential Code section allowing pier foundations, R404.1.5.3, as shown on the proposed elevation was removed and not replaced during the most recent code adoption in March of 2020.

ZBA# 21-012
1223 N Arlington Heights Rd - ZBA
Rev. Eng: Briget Schwab, P.E.
cc: Mike Pagones, P.E. Village Engineer

Application Date: January 17, 2021
Received by Planning:
Transmitted to Engineering: February 24, 2021
Received by Briget: February 24, 2021
Completed: February 26, 2021

The proposed ZBA application indicates that the petitioner is seeking:

A 11.4 foot variation from Chapter 28, Section 5.1-3.2d (Required Minimum Yards –Rear Yards), to allow an addition with a rear yard setback of 18.6 feet where 30.0 feet is required.

The Engineering Division has NO COMMENT to the proposed variance request for required minimum yard-rear yards.

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PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Goujon Residence

Project Address: 1223 N. Arlington Heights Road

ZBA #: 21-012

ZBA Hearing Date: March 15th, 2021

To: Mike Pagones, Village Engineer
Mark Fink, Assistant Building Official

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: February 24, 2021

- A 11.4 foot variation from Chapter 28, Section 5.1-3.2d (Required Minimum Yards –Rear Yards), to allow an addition with a rear yard setback of 18.6 feet where 30.0 feet is required.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: The design of the small addition fits with the style of the existing house.

Steve Hautzinger, Design Planner

Please review, comment, and return to me no later than March 5, 2021.

SAMPLE PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner Kevin Purdom of JRC Design Build representing Christophe Goujon

being the owner of the property commonly known as: 1223 Arlington Heights Rd

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.2 (d)

Chapter 28, of the Arlington Heights Municipal Code, in order to: build an extension of the house into the 30'-0" rear yard setback. to align with existing wood deck.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): all other zoning requirements are being met and the variance is in the rear yard and will not detract from any character of the neighborhood

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): the unique circumstances are that the existing deck already protrudes into the setback and by aligning with that deck for a cohesive design we are required to ask for a variance.

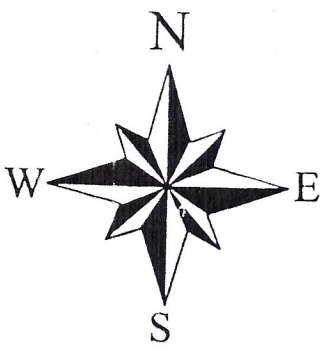
I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): by aligning with the existing deck we are not altering any intent of the zoning requirements but simply asking to create more space with the existing house characteristics and location of the existing deck.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): We are not asking to extend any of the new construction past the existing wood deck and do not think that this encroachment into the rear setback will negatively impact the rear yard The addition will also be on piers and not a full foundation, therefore leaving more landscaped area in rear yard compared to a full addition

Signed: _____


Petitioner

Date: 01/17/2021



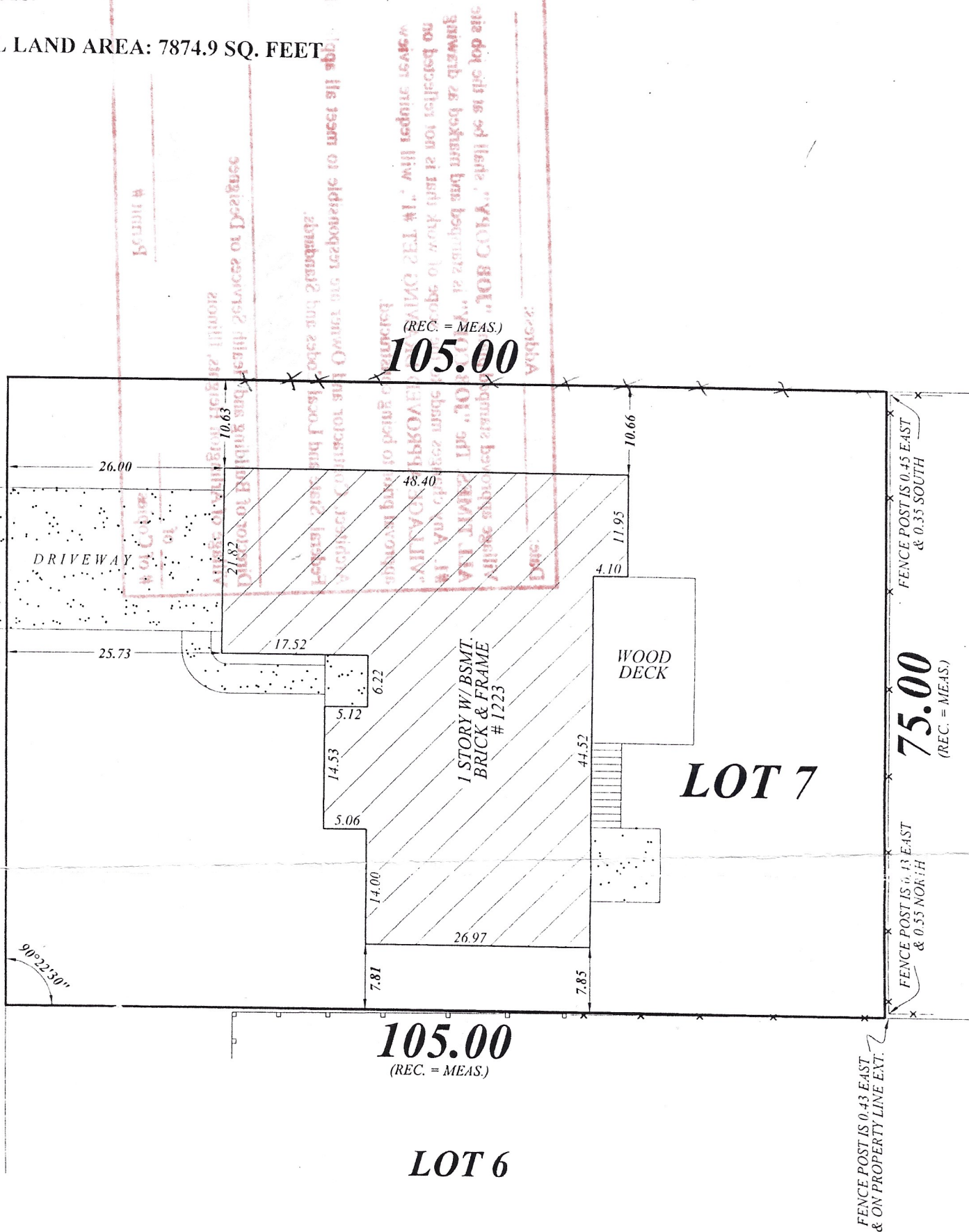
PLAT OF SURVEY

DESCRIBED AS :

LOT 7 IN BIERMA'S RESUBDIVISION UNIT ONE IN ARLINGTON HEIGHTS BEING A RESUBDIVISION IN THE SOUTHEAST ¼ OF THE SOUTHWEST ¼ OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

TOTAL LAND AREA: 7874.9 SQ. FEET

N. ARLINGTON HTS. RD.



LEGEND

- CHAIN LINK FENCE
- WOOD FENCE
- IRON FENCE
- CONCRETE PAVEMENT
- E. FR. P. - ENCLOSED FRAME PORCH
- O. FR. P. - OPEN FRAME PORCH
- SIDE BOUNDARY LINE
- EASEMENT LINE
- BLDG. SETBACK LINE
- CENTER LINE

ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

SCALE: 1"=16'

ORDERED : WALDEMAR WYSZYNSKI

JOB NO : 130123

FIELDWORK COMPLETION DATE : JAN. 22ND 2013

MUNICIPALITY : ARLINGTON HTS.

STATE OF ILLINOIS
COUNTY OF COOK SS

SIGNATURE DATE:
JANUARY 23RD 2013

NO CORNERS WERE MONUMENTED PER CUSTOMER REQUEST.

I, ANDRZEJ MURZANSKI, AN ILLINOIS REGISTERED LAND SURVEYOR, DO HERBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

ANDRZEJ MURZANSKI PLS. NO. 35-3258 EXPIRES 11/30/2014
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

ANY DISCREPANCY IN MEASUREMENT SHOULD BE PROMPTLY REPORTED TO THE SURVEYOR FOR EXPLANATION OR CORRECTION.

FOR EASEMENTS, BUILDING LINES AND OTHER RESTRICTIONS NOT SHOWN ON THIS PLAT REFER TO YOUR ABSTRACT, DEED, TITLE POLICY AND LOCAL BUILDING REGULATIONS.



ANDRZEJ MURZANSKI
LAND SURVEYORS, INC
PROFESSIONAL DESIGN FIRM
NO. 184-004748

240 COUNTRY LANE
GLENVIEW, IL 60025
PHONE : 847-486-8731
FAX : 847-486-8732

amurzanski@yahoo.com

THE LEGAL DESCRIPTION NOTED ON THIS PLAT IS A COPY OF THE ORDERS AND FOR ACCURACY MUST BE COMPARED WITH THE DEED.



PROPOSED RENDERING



PROPOSED RENDERING



PROPOSED INTERIOR RENDERING (62 x 76)

**ADDITION TO
GOUJON RESIDENCE**
1223 ARLINGTON HEIGHTS RD,
ARLINGTON HEIGHTS, IL

DATE

02/17/2021

ISSUE DATE

02/17/2021

1 - PRELIMINARY

SHEET TITLE

3D VIEWS

SHEET NUMBER

A0

PROJECT DATA

PROJECT LOCATION:	1223 ARLINGTON HEIGHTS
ZONING DISTRICT:	R-3
LOT AREA:	7875 SF
PIN:	03-20-306-088-0000
MAX LOT COVERAGE:(35%)	2756 SF
PROPOSED LOT COVERAGE:	2192 SF
MAX FAR: [0.4]	3150 SF
PROPOSED FAR:	1792 SF
MAX IMPERVIOUS COVERAGE (50%)	3937 SF
PROPOSED IMPERVIOUS COVERAGE:	2852 SF
MAX BUILDING HEIGHT:	25'-0"
PROPOSED BUILDING HEIGHT:	19'-6"
LOCATION AREAS:	
FIRST FLOOR	1760 SF
GARAGE	432 SF
TOTAL GROSS BUILDING SIZE:	2192 SF
TOTAL LIVABLE SQUARE FOOTAGE:	1760 SF + BASEMENT

APPLICABLE CODES

ALL WORK PERFORMED AND MATERIALS USED SHALL COMPLY WITH THE FOLLOWING:

BUILDING CODE	2018 INTERNATIONAL RESIDENTIAL CODE WITH AMENDMENTS
MECHANICAL CODE	INTERNATIONAL MECHANICAL CODE, 2018
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
PLUMBING CODE	2014 ILLINOIS PLUMBING CODE WITH AMENDMENTS
ENERGY CODE	2018 ILLINOIS ENERGY CONSERVATION CODE WITH STATE AMENDMENTS

ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES, AND REGULATIONS.

MANUFACTURERS' SPECIFICATIONS AND TRADE ASSOCIATIONS RECOMMENDATIONS.

ACCEPTED ENGINEERING AND CONSTRUCTION PRACTICES.

ENERGY CODE COMPLIANCE NOTES

1. ENERGY CODE COMPLIANCE DESIGN BY PRESCRIPTIVE MEANS. CLIMATE ZONE : 5
MAX. GLAZING U-FACTOR: 0.30
ACTUAL U-FACTOR: 0.30
MIN. SKYLIGHT U-FACTOR: 0.55
ACTUAL SKYLIGHT U-FACTOR: 0.55
SHGC : N R
MIN. CEILING R-VALUE: 49
ACTUAL CEILING R-VALUE: 49 (BLOWN)
MIN. FRAME WALL R-VALUE: 20 OR 13+5
ACTUAL WALL R-VALUE: 15 + 5 (BATT & RIGID)
MIN. FLOOR R-VALUE: 30
ACTUAL FLOOR R-VALUE: N/A
MIN. BASEMENT R-VALUE: 15/19
ACTUAL BASEMENT R-VALUE: 21
GC TO PROVIDE PERMANENT CERTIFICATE TO BE POSTED ADJACENT TO ELECTRICAL PANEL INDICATING INSULATION AND ENERGY VALUES FOR BUILDING INSULATION, FENESTRATION AND DUCT SYSTEMS. SPRAY FOAM BOX SILLS AND SILL PLATES, AND ADD R-15 HIGH DENSITY FRICTION FIT BATT INSULATION.

2. ALL PENETRATIONS THROUGH THERMAL ENVELOPE SHALL BE ADEQUATELY SEALED BY CAULK, GASKET, WEATHERSTRIPPING OR OTHER BARRIER MEANS PER 2018 IECC REQUIREMENTS. ALL WINDOWS AND EXTERIOR DOOR JAMBS ARE TO BE SEALED WITH LOW-EXPANSION FOAM. ALL BOTTOM PLATES ON EXTERIOR WALLS SHALL BE GLUED TO SUB-FLOOR.

3. ALL FIREPLACES SHALL HAVE GASKETED DOORS & OUTSIDE COMBUSTION AIR.

4. ALL RECESSED LIGHTING IN THERMAL ENVELOPE SHALL BE SEALED TO PREVENT AIR LEAKAGE. ALL RECESSED DOWNLIGHTING TO BE IC-RATED.

DESIGN CRITERIA

FLOOR
SLEEPING ROOMS 40# LL - 10# DL
OTHER ROOMS 40# LL - 10# DL
VEH. GARAGES 50# LL - 10# DL

WALL
60# PLF OR ACTUAL LOAD
20 PSF WIND 0'-20' HEIGHT
25 PSF WIND 21'-29' HEIGHT
30 PSF WIND 30' HEIGHT AND ABOVE

CEILING
UNHAB W/O STOR 10# LL - 10# DL
UNHAB LIM STOR 20# LL - 10# DL
HAB W/ FIX STAIR 30# LL - 10# DL

WIND SPEED
NOMINAL 115 MPH 3 SECOND GUST & 89

ROOF
30# LL (SNOW) - 10# DL (ALL SLOPES)

CATHEDRAL
30# LL - 15# DL (ALL SLOPES)

EXT DECK
40# LL - 10# DL

EXT BALCONY
40# LL - 10# DL

STAIRS
40# LL + 300# CONCENTRATED LOAD

GUARD & HANDRAILS
200# LL AT ANY DIRECTION
APPLIED AT THE TOP

FROST DEPTH
42" (3'-6")

STRUCTURAL FRAMING LUMBER
BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)
GRADE #2 SPECIES SPF DOMESTIC OR CANADIAN BASE Fb 875

SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM PRODUCT WITH THE CURRENT SIZE, Fb, AND E VALUES PER MANUFACTURER

MANUFACTURER - TRUS-JOIST
PRODUCT - LVL HEADERS & BEAMS MICRO-LAM

PROJECT DESCRIPTION

ABBREVIATIONS

A.B.	ANCHOR BOLT	FD	FLOOR DRAIN	PLYWD	PLYWOOD
ABV	ABOVE	FE	FIRE EXTINGUISHER	PSF	POUNDS PER SQUARE FOOT
A.C.	AIR CONDITIONING	FF	FINISH FLOOR	PSI	POUNDS PER SQUARE INCH
ACOUS.	ACOUSTIC	FIN.	FINISH	PVC	POLYVINYLCHLORIDE
ADJ.	ADJUSTABLE	FIXT	FIXTURE	QT	QUARRY TILE
A.F.F.	ABOVE FINISH FLOOR	FLR	FLOOR	R	RADIUS
ALUM.	ALUMINUM	FLSHG	FLASHING	RD	ROOF DRAIN
ALT.	ALTERNATE	FDN	FOUNDATION	R & S	ROD AND SHELF
A.P.	ACCESS PANEL	FO	FACE OF	REC	RECESSED
APPROX.	APPROXIMATE	FS	FOOTING SUMP	REF	REFRIGERATOR
ARCH.	ARCHITECTURAL	FTG	FOOTING	REG	REGULAR
@	AT	FURN	FURNACE	REINF	REINFORCE
BD	BOARD	GA	GAUGE	RM	ROOM
BI	BUILT-IN	GALV	GALVANIZED	RO	ROUGH OPENING
BLDG	BUILDING	GFI	GROUND FAULT	RR	ROOF RAFTERS
BOT.	BOTTOM		INTERRUPT	SECT	SECTION
B/	BOTTOM OF	GLU-LAM	GLUE LAMINATED	SHLV	SHELVES
BRG.	BEARING		BEAM	SHT	SHEET
BRG. PL.	BEARING PLATE	GYP.	GYPSUM	SHWR	SHOWER
B.U.R.	BUILT UP ROOFING	HD	HEAD	SHTG	SHEATHING
CRPT	CARPET	HDR	HEADER	SIM	SIMILAR
CABT	CABINET	HT	HEIGHT	SL	SLIDING
C.I.	CAST IRON	HM	HOLLOW METAL	SPEC	SPECIFICATION
C.J.	CEILING JOISTS	HORZ	HORIZONTAL	SQ	SQUARE
C.J.T.	CONSTRUCTION JOINTS	HP	HIGH POINT	SF	SQUARE FOOT
CL	CENTERLINE	HTG	HEATING	SS	SANITARY SUMP
CLG.	CEILING	HVAC	HEATING VENTILATE	STD	STANDARD
CL	CLOSET		AIR CONDITIONING	STL	STEEL
C.M.U.	CONCRETE MASONRY	INSUL.	INSULATION	STOR	STORAGE
	UNIT	INT.	INTERIOR	STRUCT	STRUCTURE
C. O	CASED OPENING	L	LINEN	SUSP	SUSPENDED
COL	COLUMN	LAM.	LAMINATE	T & B	TOP AND BOTTOM
CONC.	CONCRETE	LAV.	LAVATORY	T/	TOP OF
CONST.	CONSTRUCTION	LL	LIVE LOAD	TEL	TELEPHONE
CONT.	CONTINUOUS	LP	LOW POINT	T & G	TONGUE AND GROOVE
C.T.	CERAMIC TILE	MAX.	MAXIMUM	THK	THICK
C.W.	COLD WATER	MC	MEDICINE CABINET	TJI	TRUST JOIST
DEMO.	DEMOLITION	MECH	MECHANICAL	TOP	TOP OF PLATE
DIA.	DIAMETER	MED	MEDIUM	TV	TELEVISION
DIAG.	DIAGONAL	MIN	MINIMUM	TYP	TYPICAL
DIM.	DIMENSION	MISC	MISCELLANEOUS	UC	UNDER COUNTER
DISP.	DISPOSAL	ML	MICROLAM	UON	UNLESS OTHERWISE NOTED
DIV.	DIVISION	MO	MASONRY OPENING	VCT	VINYL COMPOSITION TILE
DL	DEAD LOAD	MRBL	MARBLE	VERT	VERTICAL
DN.	DOWN	MTL	METAL	VIF	VERIFY IN FIELD
DWGS.	DRAWINGS	MW	MICROWAVE	W/	WITH
D.S.	DOWNSPOUT	NIC	NOT IN CONTRACT	WC	WATER CLOSET
D.W.	DISHWASHER	NO	NUMBER	WIC	WALK IN CLOSET
EA.	EACH	NOM	NOMINAL	WD	WOOD
EX.	EXISTING	NTS	NOT TO SCALE	WDO	WINDOW
EIFS	EXTERIOR INSULATION	O	OVEN	WH	WATER HEATER
	FINISH SYSTEM	OA	OVERALL	W/O	WITHOUT
EXP.	EXPANSION	OC	ON CENTER	WP	WATERPROOF
ELECT.	ELECTRICAL	OPP	OPPOSITE	WT	WEIGHT
ELEV.	ELEVATION	OPT.	OPTIONAL	WWF	WELDED WIRE FABRIC
EQUIP.	EQUIPMENT	PERF.	PERFORATED		
EQUIV.	EQUIVALENT	PL	PLATE		
E.W	EACH WAY	P LAM	PLASTIC LAMINATE		

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMANGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDER LAYMENT REQ.	FLOOD HAZARDS CHAPTER 15-05 VILLAGE CODE	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE	WTHRNG	FROST LINE DEPTH	TERMITE						
25	115	NO	NO	NO	b	SEVERE	42"	MOD TO-HEAVY	-4	YES	NOV 5 2000	2000	47.6

SHEET INDEX - ARCHITECTURAL

A0	3D VIEWS	02/17/2021
A0.0	COVER SHEET	02/17/2021
A0.00	EXISTING DRAWINGS	02/17/2021
A1.0	SITE PLAN	02/17/2021
A2.0	FOUNDATION & BASEMENT PLANS	02/17/2021
A2.1	FIRST FLOOR PLAN	02/17/2021
A2.3	ROOF PLAN & STAIR DETAILS	02/17/2021
A3.0	ELEVATIONS	02/17/2021



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ADDITION TO
GOUJON RESIDENCE

1223 ARLINGTON HEIGHTS RD,
ARLINGTON HEIGHTS, IL

DATE

02/17/2021

ISSUE DATE

02/17/2021 1 - PRELIMINARY

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SHEET TITLE
COVER SHEET

SHEET NUMBER

A0.0

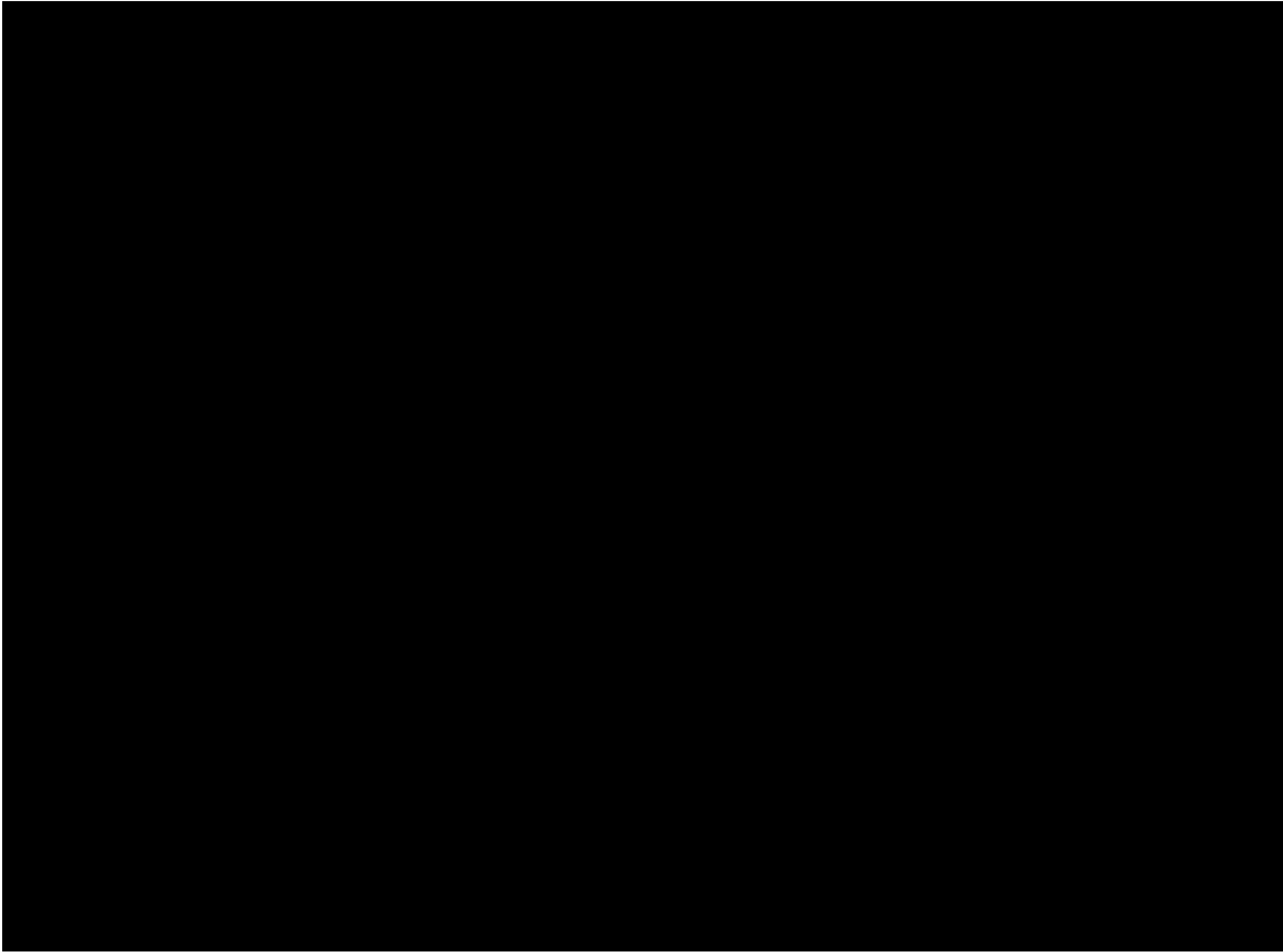
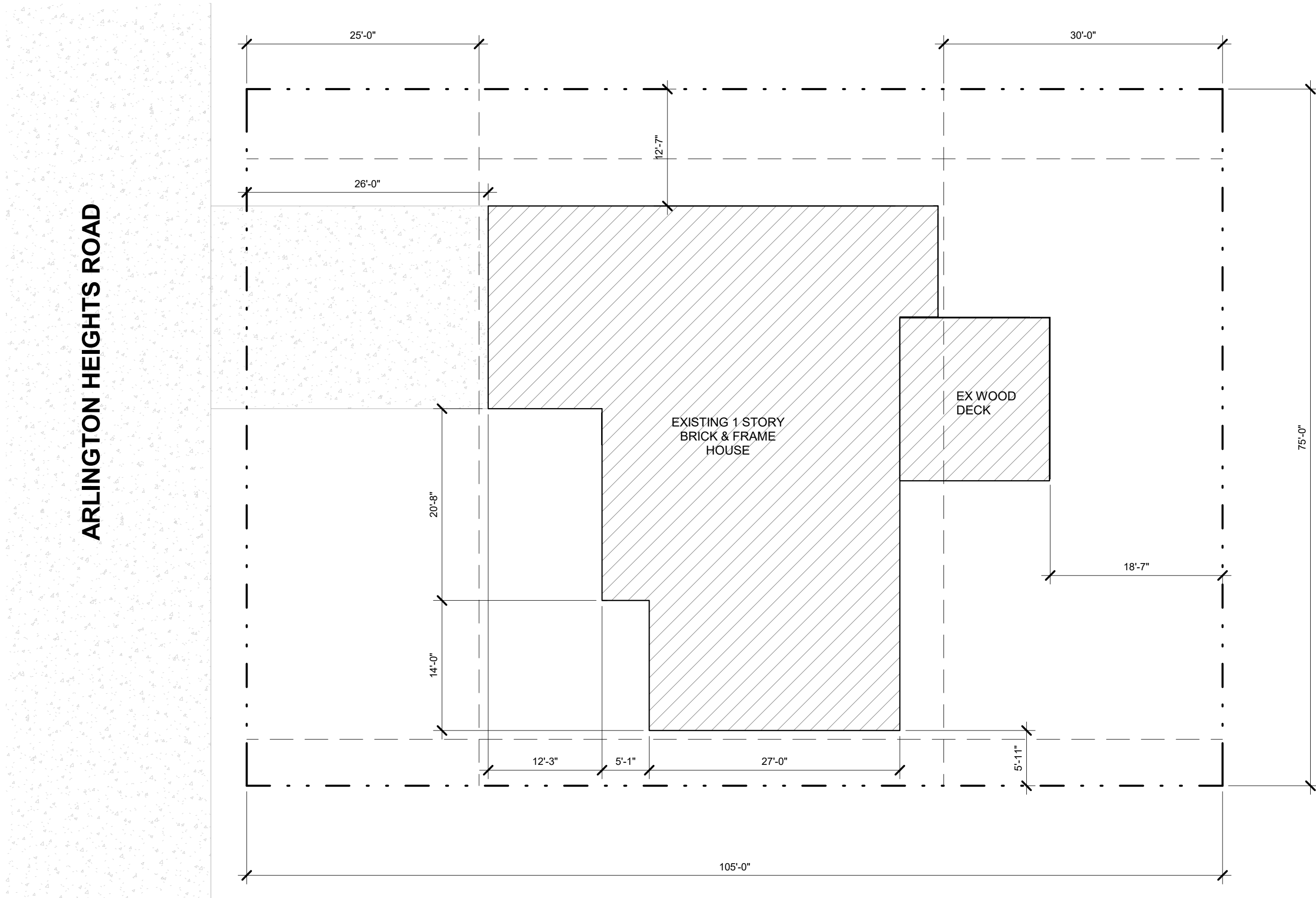
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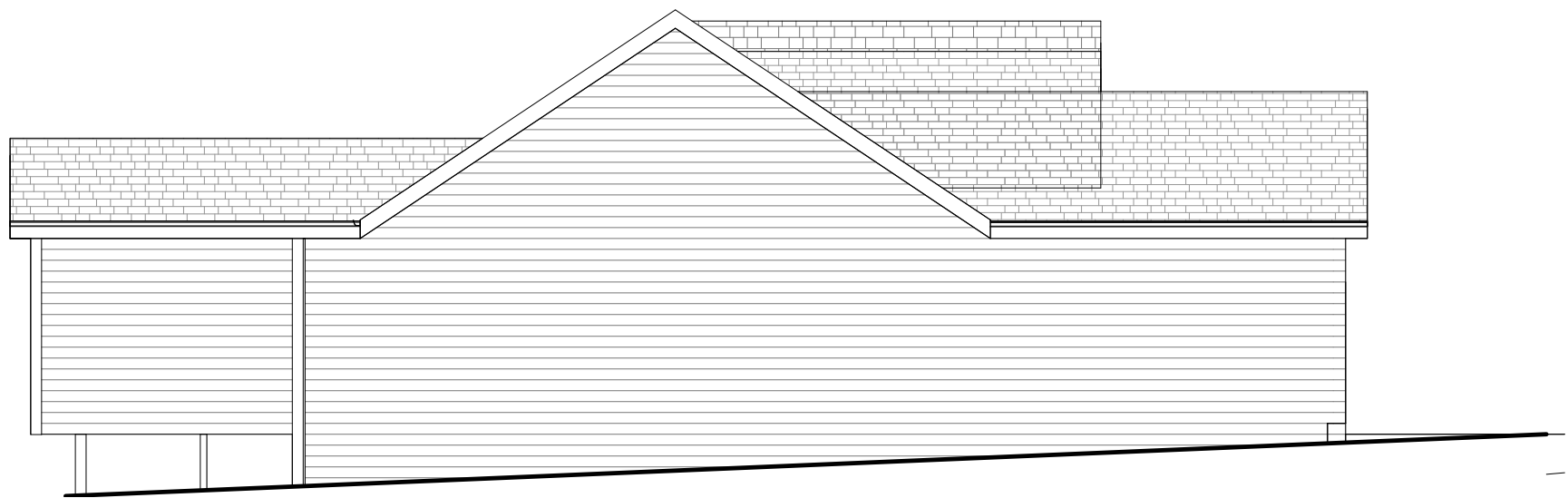
ISSUE DATE

02/17/2021 1 - PRELIMINARY



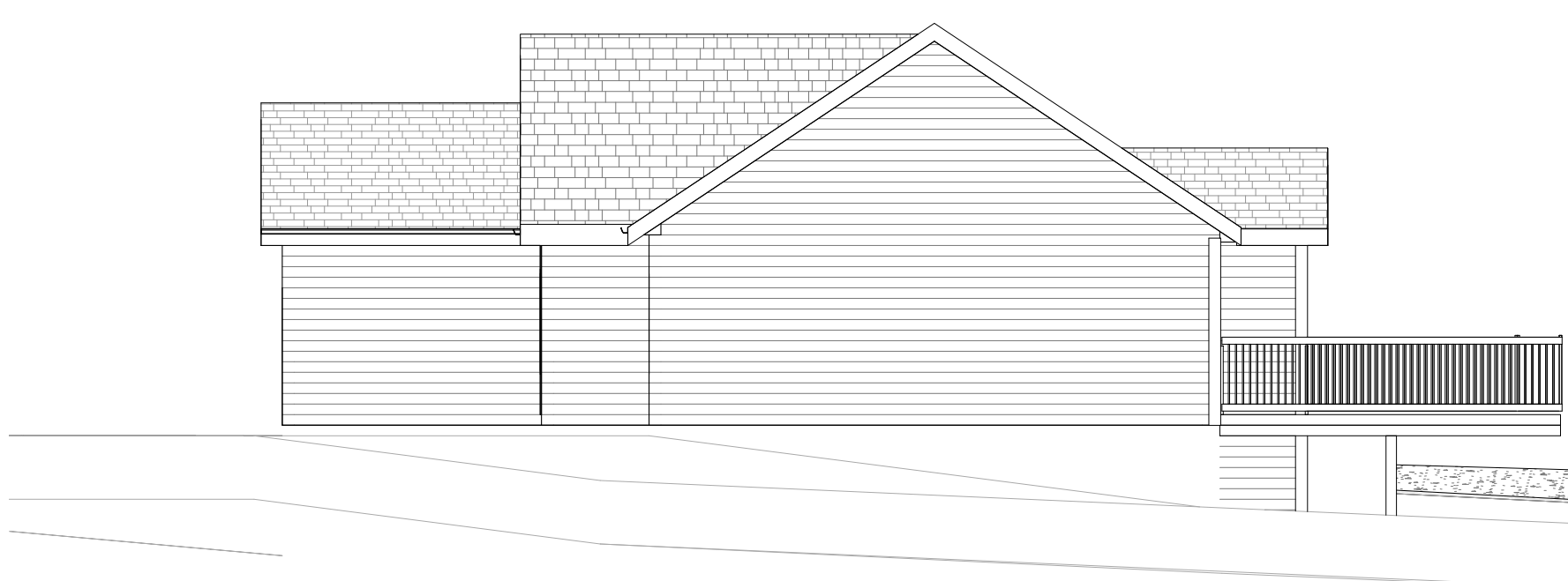
1 SITE PLAN - EXISTING
A0.00 1" = 10'-0"

3 P-FIRST FLOOR - EXISTING
A0.00 1/8" = 1'-0"



7 WEST ELEVATION - EXISTING
A0.00 1/8" = 1'-0"

5 NORTH ELEVATION - EXISTING
A0.00 1/8" = 1'-0"



4 EAST ELEVATION - EXISTING
A0.00 1/8" = 1'-0"

6 SOUTH ELEVATION - EXISTING
A0.00 1/8" = 1'-0"

2 EXISTING FOUNDATION/BASEMENT PLAN
A0.00 1/8" = 1'-0"

SHEET TITLE
EXISTING DRAWINGS

SHEET NUMBER

A0.00

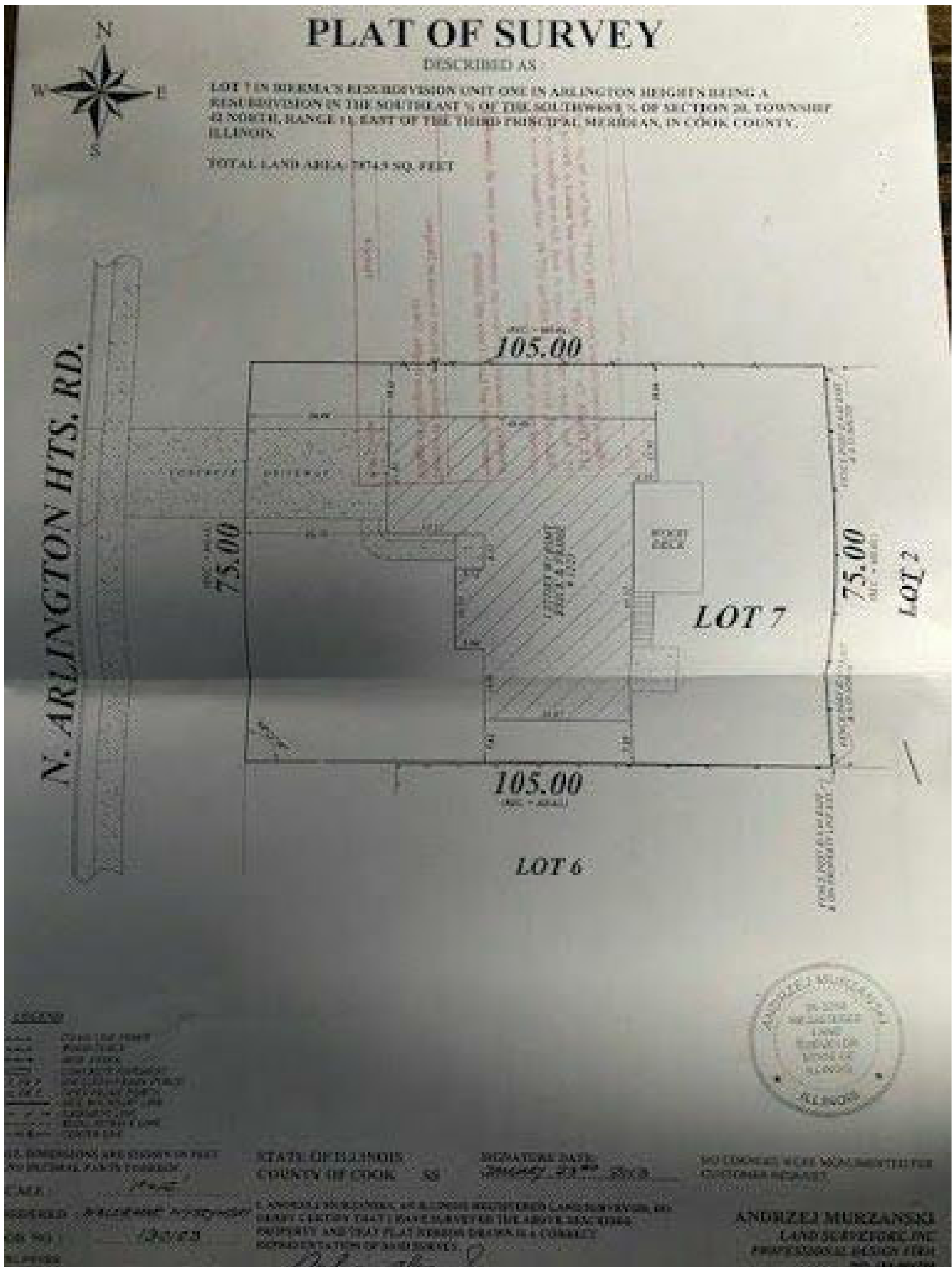
SITE SETBACKS (R-3)

	REQUIRED	PROPOSED
FRONTYARD	25'-0"	26'-0"
EXTERIOR SIDEYARD	7.5	12'-7"
INTERIOR SIDEYARD 10% LOT WIDTH	7.5	5'-11"
REARYARD	30'-0"	18'-7"
HEIGHT - MEAN	MAX 25'-0"	19'-6"

SITE PLAN LEGEND & NOTES

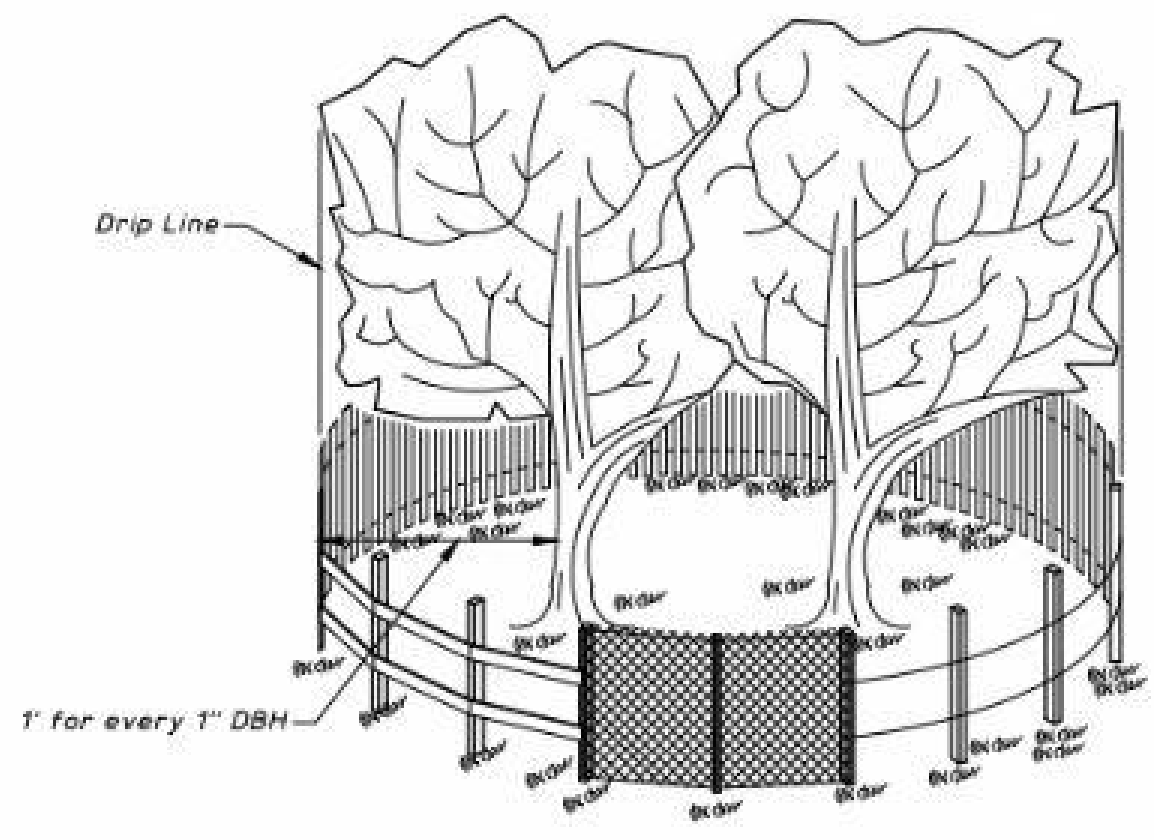
- INFORMATION ON THIS DRAWING IS ACCUMULATED FROM EXISTING DOCUMENTATION AND MUST BE CONFIRMED BY THE CONTRACTOR AND COORDINATED WITH THE ARCHITECT PRIOR TO CONSTRUCTION. ARCHITECTURAL SITE PLAN IN FOR SCHEMATIC PURPOSES ONLY. SEE SITE ENGINEERING PLAN AND LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- VERIFY LOCATIONS OF ALL UTILITIES AND OTHER BUILDING SERVICES PRIOR TO EXCAVATION.
- PROVIDE REQUIRED WORK TO ACCOMMODATE EXISTING UTILITIES OR OTHER BUILDING SERVICES.
- PROTECT EXISTING LANDSCAPING DURING CONSTRUCTION, TO GREATEST EXTENT POSSIBLE.
- PROVIDE TEMPORARY CONSTRUCTION/SECURITY FENCING AROUND ALL OPEN EXCAVATIONS; HEIGHT AS REQ'D BY LOCAL CODES.
- VERIFY LOCATIONS OF ALL MATERIAL STOCKPILES AND DUMPSTERS WITH OWNER.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCIES IN FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.
- PLEASE NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- STATE LAW, BEFORE DIGGING, CALL JULIE (811 OR 1-800-892-0123) FOR LOCATION OF PUBLIC AND PRIVATE UTILITIES AT WORK SITE. 48 HOUR NOTICE IS REQUIRED.
- THE HOUSE SHALL PASS A BLOWER DOOR TEST AND A COPY OF THE RESULTS SHALL BE PROVIDED TO THE BUILDING DEPARTMENT PRIOR TO SCHEDULING THE FINAL INSPECTIONS.
- CONSTRUCTION DEBRIS AND REFUSE CONTAINMENT SHALL BE REQUIRED FOR ALL JOB SITES. CONTAINMENT SHALL OCCUR ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT & SHALL BE WITHIN A DUMPSTER, STRUCTURE, OR CONTAINER THAT CAN BE COVERED TO PREVENT WINDBLOWN DEBRIS. ALL SUCH DUMPSTERS, STRUCTURES, OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.
- ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH NEW SOD ON 6" OF TOPSOIL. ALL SOD SHALL BE WATERED AS REQ'D TO SUSTAIN GROWTH.
- ALL PARKWAY TREES SHALL HAVE A SNOW FENCE THAT EXTENDS TO THE DRIP LINE. NO TRAFFIC SHALL GO OVER THE ROOT SYSTEM. SURFACE DRAINAGE TO BE DIVERTED FROM STRUCTURE SO AS NOT TO CREATE A HAZARD ON THIS OR ADJACENT PROPERTY. GRADE FROM FOUNDATION TO DROP A MINIMUM OF 6" IN 10'-0". PROVIDE SWALES OR DRAINS TO ENSURE DRAINAGE FROM STRUCTURE AND ADJACENT PROPERTY.
- TOILET FACILITIES SHALL BE PROVIDED AT ALL JOB SITES PER ILLINOIS PLUMBING CODE. THIS WILL BE A CONDITION OF THE PERMIT.
- PROVIDE AND MAINTAIN A 5'-0" HIGH FENCE ALONG THE FULL LENGTH OF INTERIOR SIDE YARDS UNTIL EXTERIOR CONSTRUCTION IS COMPLETE.
- PROVIDE AND MAINTAIN A 5'-0" HIGH CONSTRUCTION FENCE DURING NON-WORKING HOURS THAT WILL ENCLOSE ALL OPEN EXCAVATIONS UNTIL FOUNDATION IS BACK-FILLED & FIRST FLOOR DECK IS COMPLETED.
- ERECT PROTECTIVE SNOWFENCE PRIOR TO ANY CONSTRUCTION ACTIVITY. DO NOT STORE ANY EQUIPMENT OR MATERIALS WITHIN THE PROTECTION AREA. REMOVE THE PROTECTIVE SNOW FENCE ONLY AFTER CONSTRUCTION IS COMPLETE.
- ALL TREES ARE TO BE PROTECTED DURING CONSTRUCTION WITH FENCING FOR EVERY 1" OF TREE DIAMETER. MAINTAIN 1'-0" DISTANCE AWAY FOR FENCING.

- · — · — PROPERTY LINE
- — — — — SETBACK LINE
- — — — — EASEMENT LINE
- E — ELECTRIC SERVICE
- G — GAS SERVICE
- (— (— STORM SEWER
- < — < — SANITARY SEWER
- W — WATER SERVICE
- X — FENCE

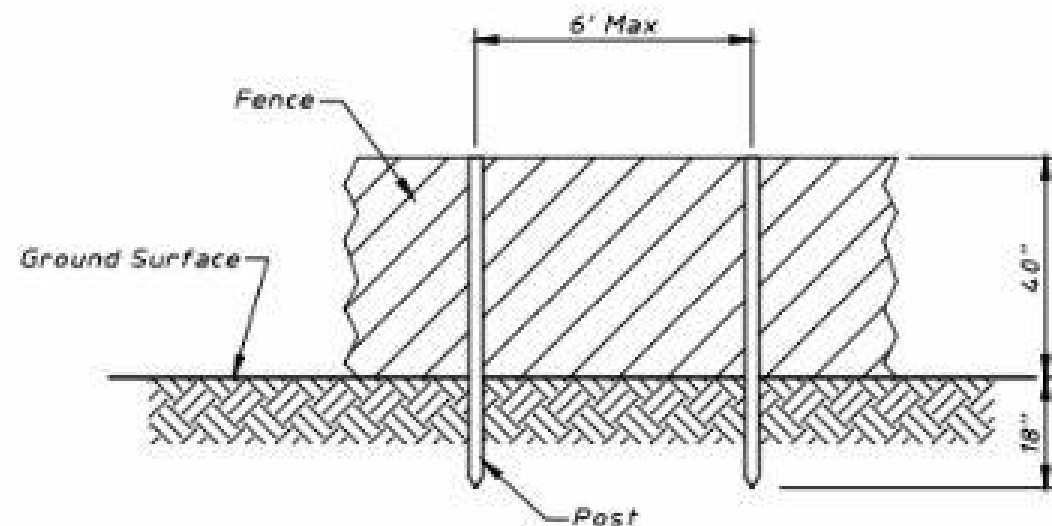


ARLINGTON HEIGHTS ROAD

1 SITE PLAN - PROPOSED
A1.0 1/16" = 1'-0"



SIDE VIEW



POST AND FENCE DETAIL

NOTES:

- The fence shall be located outside the drip line of the tree to be saved and in no case closer than 1 foot for every 1" DBH to the trunk of any tree.
- Fence posts shall be either standard steel posts or wood posts with a minimum cross sectional area of 3.0 sq. in.
- The fence may be either 40" high snow fence, 40" plastic web fencing or any other material as approved by the engineer.

TREE PROTECTION - FENCING



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SHEET TITLE
SITE PLAN

SHEET NUMBER

A1.0

ADDITION TO
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1 - PRELIMINARY

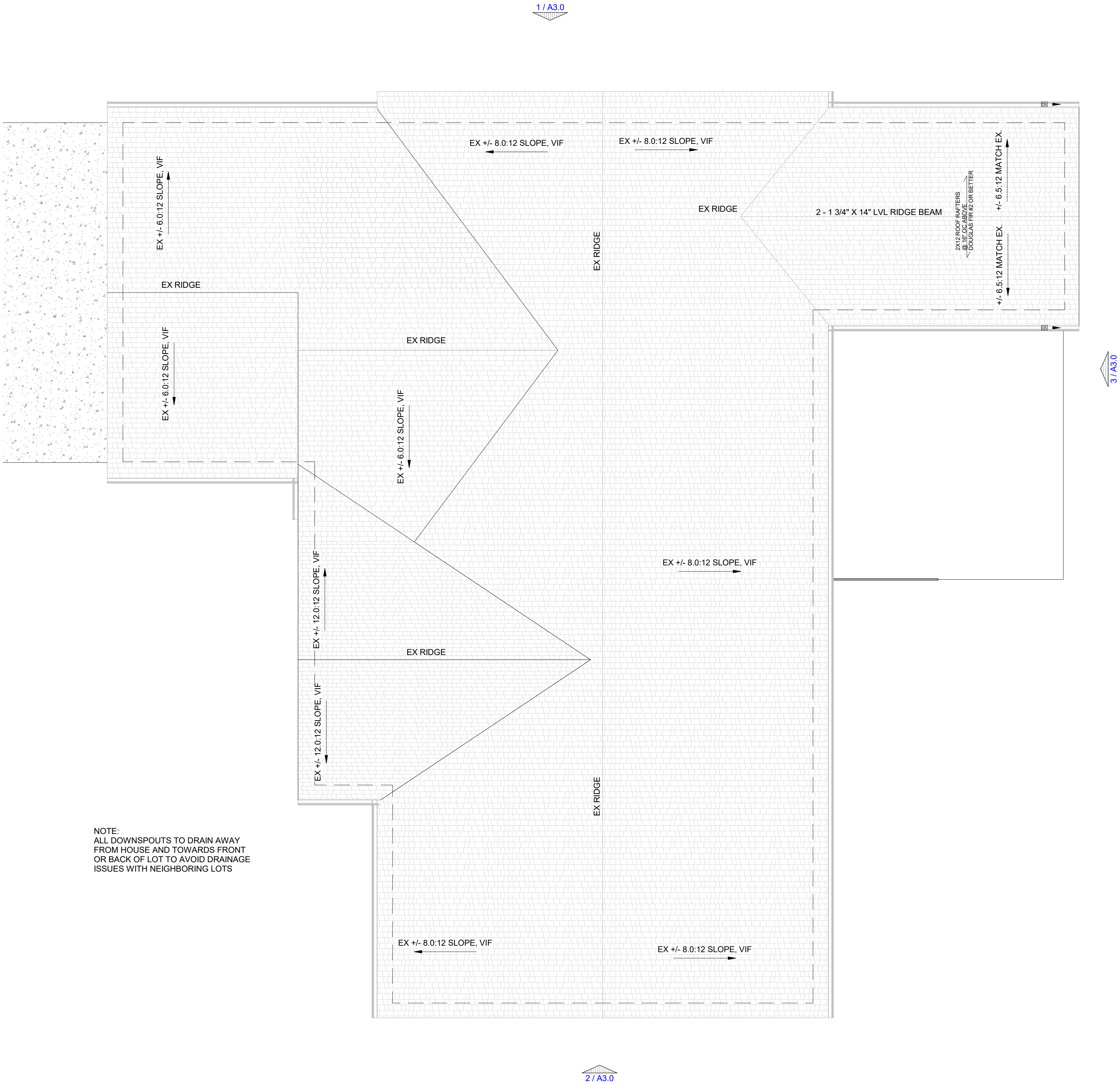
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TO BE VERIFIED.

SHEET TITLE

ROOF PLAN & STAIR DETAILS

SHEET NUMBER

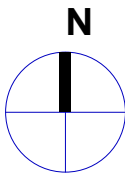
A2.3



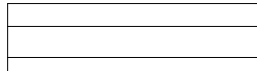
R905.1.2 ICE BARRIERS

IN AREAS WHERE THERE HAS BEEN A HISTORY OF ICE FORMING ALONG THE EAVES CAUSING S BACKUP OF WATER AS DESIGNATED IN TABLE R301.2(1). AN ICE BARRIER SHALL BE INSTALLED FOR ASPHALT SHINGLES, METAL ROOF SHINGLES, MINERAL-SURFACED ROLL ROOFING, SLATE AND SLATE-TYPE SHINGLE, WOOD SHINGLES AND WOOD SHAKES. THE ICE BARRIER SHALL CONSIST OF NOT FEWE THAN TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER, OR A SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT NOT LESS THAN 24 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUIDLING. ON ROOF SLOPES WITH SLOPE EQUAL TO OR GREATER THAN 8 UNITS VERTICAL IN 12 UNITS HORIZONTAL. THE ICE BARRIER SHALL ALSO BE APPLIED NOT LESS THAN 36 INCHES MEASURED ALONG THE ROOF SLOPE FROM THE EAVE EDGE OF THE BUILDING.

3
A2.3
ROOF PLAN
1/4" = 1'-0"



ELEVATION MATERIALS

LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.
SIDING (1)		HORIZ HARDIPLANK LAP SIDING [TBD]	MATCH EXISTING
ROOFING (1)		ASPHALT SHINGLES [BLACK TO MATCH EX]	
DOORS		WHITE	
TRIM AND FASCIA		TRIM [WHITE TO MATCH EX]	OPTION JAMES HARDIE BOARD
SOFFIT AND FASCIA		ALUMINUM - VENTED [WHITE]	
COLUMNS		WHITE	
GUTTERS, DOWNSPOUTS		ALUMINUM [WHITE]	
WINDOWS		FIBERGLASS [WHITE]	

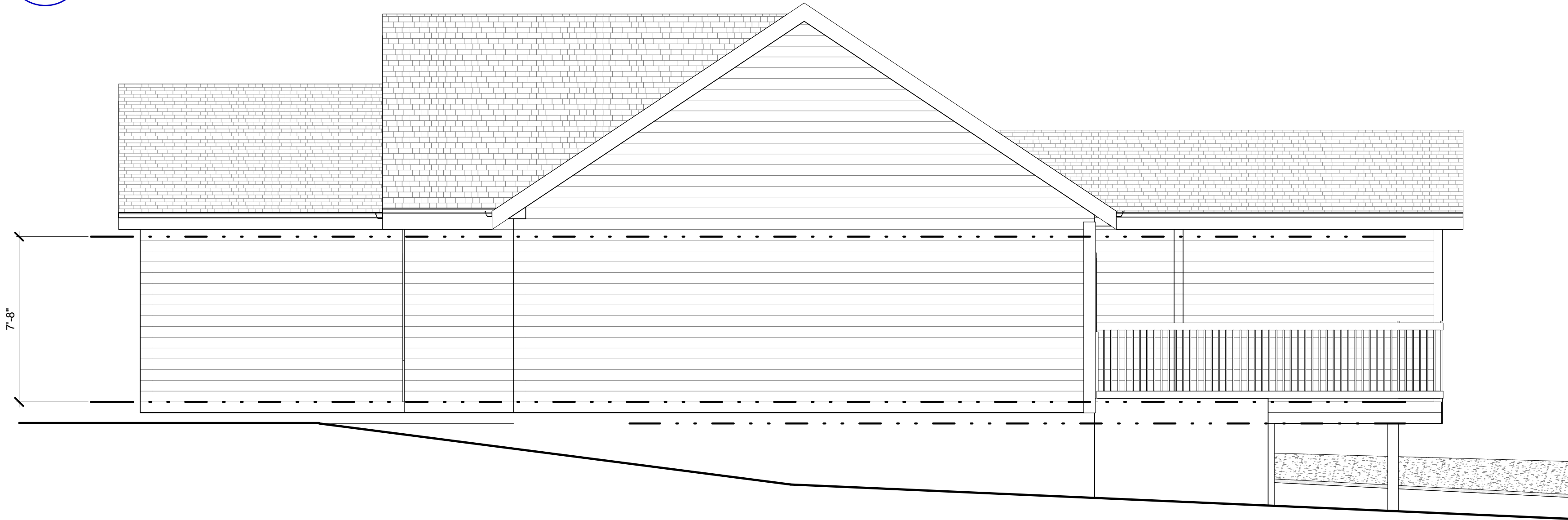
1. WINDOW SIZES : ROUGH OPENING TO BE VERIFIED IN FIELD W/ CHOSEN WINDOW MANUF. & CONTRACTOR PRIOR TO CONSTRUCTION
2. GLASS SIZES TO BE FOLLOWED AS CLOSE AS POSSIBLE PER DIFFERENT MANUF.
3. BEDROOM WINDOWS TO HAVE EGRESS HARDWARE & FOLLOW EGRESS REQUIREMENTS AS LABELED ON ELEVATIONS
4. WINDOWS IN WHICH THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" ABOVE THE TOP OF THE FLOOR ARE REQUIRED TO BE TEMPERED.
5. FIELD VERIFY EMERGENCY ESCAPE & RESCUE OPENINGS IN SLEEPING ROOMS
EGRESS WINDOW REQUIREMENTS
PROVIDE A NET CLEAR OPENING OF 5.7 SF OR GREATER, ACHIEVED BY SIMPLY OPENING THE WINDOW
PROVIDE A NET CLEAR OPENING OF 5.0 SF OR GREATER FOR GRADE LEVEL WINDOWS.
A MINIMUM CLEAR WIDTH OF 20"
A MINIMUM CLEAR HEIGHT OF 24"
A SILL HEIGHT OF LESS THAN 44" AFF
ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.32
6.



1

NORTH ELEVATION - SIDE

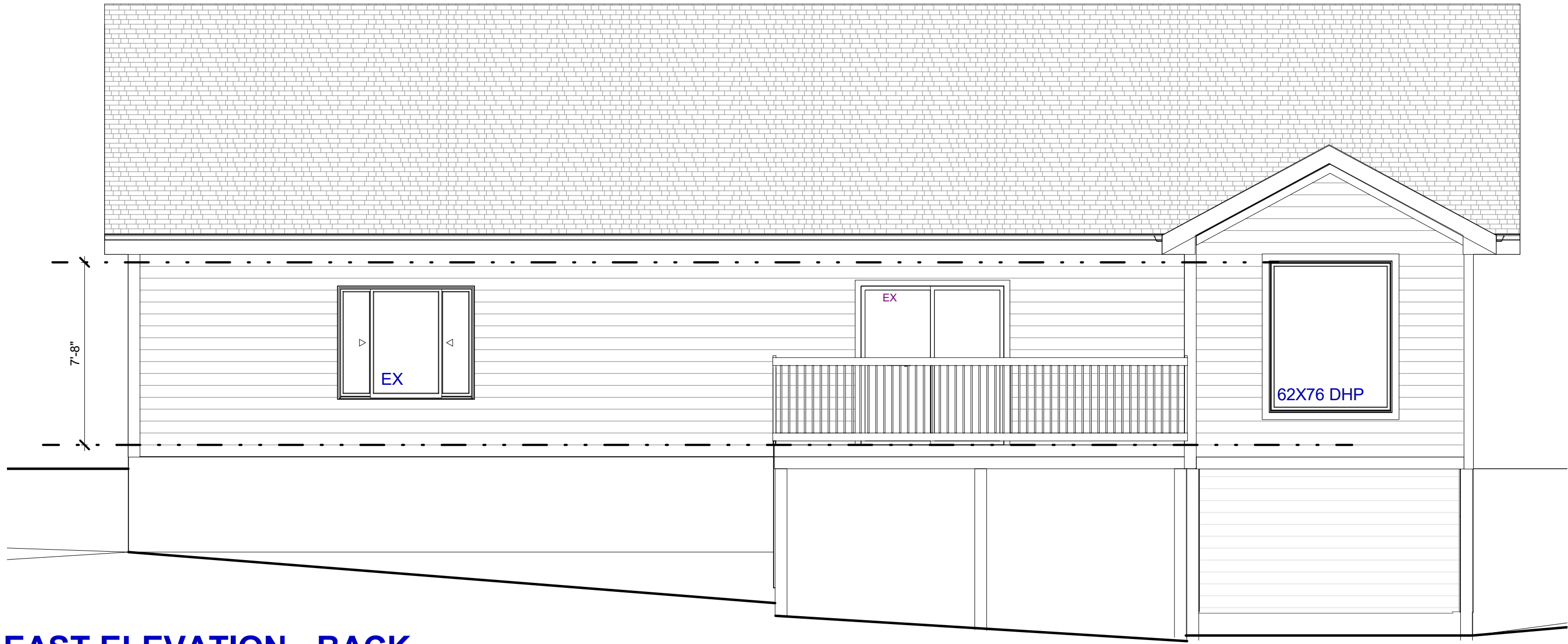
A3.01/4" = 1'-0"



2

SOUTH ELEVATION - SIDE

A3.01/4" = 1'-0"



3

EAST ELEVATION - BACK

A3.01/4" = 1'-0"



1275 E. DAVIS, ARLINGTON HEIGHTS, IL 60005
PHONE: (847)255-2322
EMAIL: JIMJRCDB@GMAIL.COM
C 2020 COPYRIGHT. ALL RIGHTS RESERVED

ADDITION TO
GOUJON RESIDENCE
1223 ARLINGTON HEIGHTS RD,
ARLINGTON HEIGHTS, IL

DATE

02/17/2021

ISSUE DATE

02/17/2021

1 - PRELIMINARY

THESE DRAWINGS ARE NOT FOR
CONSTRUCTION AND ARE FOR CONCEPT ONLY.
DIMENSIONS, HEIGHTS, AND WALL LOCATIONS
TO BE VERIFIED.

SHEET TITLE
ELEVATIONS

SHEET NUMBER

A3.0



Zoning Board of Appeals 3/15/2021

Item: 1107 N. Mitchell Ave - ZBA#21-005

Department: Planning & Community Development

REQUEST

1. A 926.3 square-foot variation from Chapter 28, Section 5.1-3.3 (Maximum Floor Area Ratio) to allow an enclosed porch addition resulting in a floor area of 4,491.9 square feet where 3,565.6 square-feet is allowed.
2. A 43.4 square-foot variation from Chapter 28 Section 5.1-3.4a (Maximum Building Lot Coverage) to allow an enclosed porch addition resulting in Building Lot Coverage of 2,816.7 square-feet where 2,773.3 square-feet is allowed.

ATTACHMENTS:

Description

Supporting Documents
Public Comment

Type

Exhibits
Correspondence

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Jake Schmidt, Planner
Hearing Date: March 15, 2021
Date Prepared: March 12, 2021
Project Title: Peters Residence
Address: 1107 N. Mitchell Ave.

Background Information

Petition Number: ZBA #21-005
Petitioner: Gregory Peters
Address: 1107 N. Mitchell Ave.
Arlington Heights IL 60004

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

The petitioner is seeking to add an enclosed rear porch to their home. The home is existing-nonconforming, with an FAR that exceeds code allowances. The home was built prior to the 2002 code amendments which reduced allowable FAR. The porch addition results in a floor area of 4,491.9 square feet where 3,565.6 square-feet is allowed, and Building Lot Coverage of 2,816.7 square-feet where 2,773.3 square-feet is allowed. Therefore, the petitioner requestes the following variations:

- A 926.3 square-foot variation from Chapter 28, Section 5.1-3.3 (Maximum Floor Area Ratio) to allow an enclosed porch addition resulting in a floor area of 4,491.9 square feet where 3,565.6 square-feet is allowed.
- A 43.4 square-foot variation from Chapter 28 Section 5.1-3.4a (Maximum Building Lot Coverage) to allow an enclosed porch addition resulting in Building Lot Coverage of 2,816.7 square-feet where 2,773.3 square-feet is allowed.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity

Photographs of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Peters Residence

Project Address: 1107 N Mitchell Ave

ZBA #: 21-005

Date: February 24, 2021

Derek:

I have reviewed the request for the following variances:

- A 926.3 square-foot variation from Chapter 28, Section 5.1-3.3 (Maximum Floor Area Ratio) to allow an enclosed porch addition resulting in a floor area of 4,491.9 square feet where 3,565.6 square-feet is allowed.
- A 43.4 square-foot variation from Chapter 28 Section 5.1-3.4a (Maximum Building Lot Coverage) to allow an enclosed porch addition resulting in Building Lot Coverage of 2,816.7 square-feet where 2,773.3 square-feet is allowed.

I have no objections to the request.

ZBA# 21-005
1107 N Mitchell Ave - ZBA
Rev. Eng: Briget Schwab, P.E.
cc: Mike Pagones, P.E. Village Engineer

Application Date: January 27, 2021
Received by Planning:
Transmitted to Engineering: February 24, 2021
Received by Briget: February 24, 2021
Completed: February 26, 2021

The proposed ZBA application indicates that the petitioner is seeking:

A 926.3 square-foot variation from Chapter 28, Section 5.1-3.3 (Maximum Floor Area Ratio) to allow an enclosed porch addition resulting in a floor area of 4,491.9 square feet where 3,565.6 square-feet is allowed.

A 43.4 square-foot variation from Chapter 28 Section 5.1-3.4a (Maximum Building Lot Coverage) to allow an enclosed porch addition resulting in Building Lot Coverage of 2,816.7 square-feet where 2,773.3 square-feet is allowed.

The Engineering Division has NO COMMENT on the proposed variance request for Maximum Floor Area Ratio and Maximum Building Lot Coverage.

--

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Peters Residence

Project Address: 1107 N. Mitchell Ave.

ZBA #: 21-005

ZBA Hearing Date: March 15, 2021

To: Mike Pagones, Village Engineer
Steven Touloumis, Director of Building and Life Safety

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Jake Schmidt, Assistant Planner

Transmitted On: February 24, 2021

- A 926.3 square-foot variation from Chapter 28, Section 5.1-3.3 (Maximum Floor Area Ratio) to allow an enclosed porch addition resulting in a floor area of 4,491.9 square feet where 3,565.6 square-feet is allowed.
- A 43.4 square-foot variation from Chapter 28 Section 5.1-3.4a (Maximum Building Lot Coverage) to allow an enclosed porch addition resulting in Building Lot Coverage of 2,816.7 square-feet where 2,773.3 square-feet is allowed.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: No objection to the design of the proposed screen room, which is not visible from the front
of the house.

Steve Hautzinger, Design Planner

Please review, comment, and return to me no later than March 5, 2021.

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner Gregory Peters

being the owner of the property commonly known as: 1107 N Mitchell Ave

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.3

Chapter 28, of the Arlington Heights Municipal Code, in order to: construct a sunroom addition.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): The addition will not be seen from the street. It does not expand past out current patio layout. It does not remove any green space from our property. Our neighbor already has a similar structure approved recently.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): We get very little use of our backyard due to the wild cats which reside in our neighbors yard. Unfortunately, they use our patio furniture and yard to relax and relieve themselves. Plus my family has cat allergies. Also, our house was built in 2003 prior to a change in zoning.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): We understand that the variance is in place so that the house will not take up the majority of the lot. This structure is replacing an existing patio space and does not infringe on our current green space.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): The enclosed space is going to be smaller than our current outdoor patio. We are looking for a semi-outside private space where we can eat and relax and get fresh air. The proposed area is large enough to enclose our patio table and a small seating area to relax privately in.

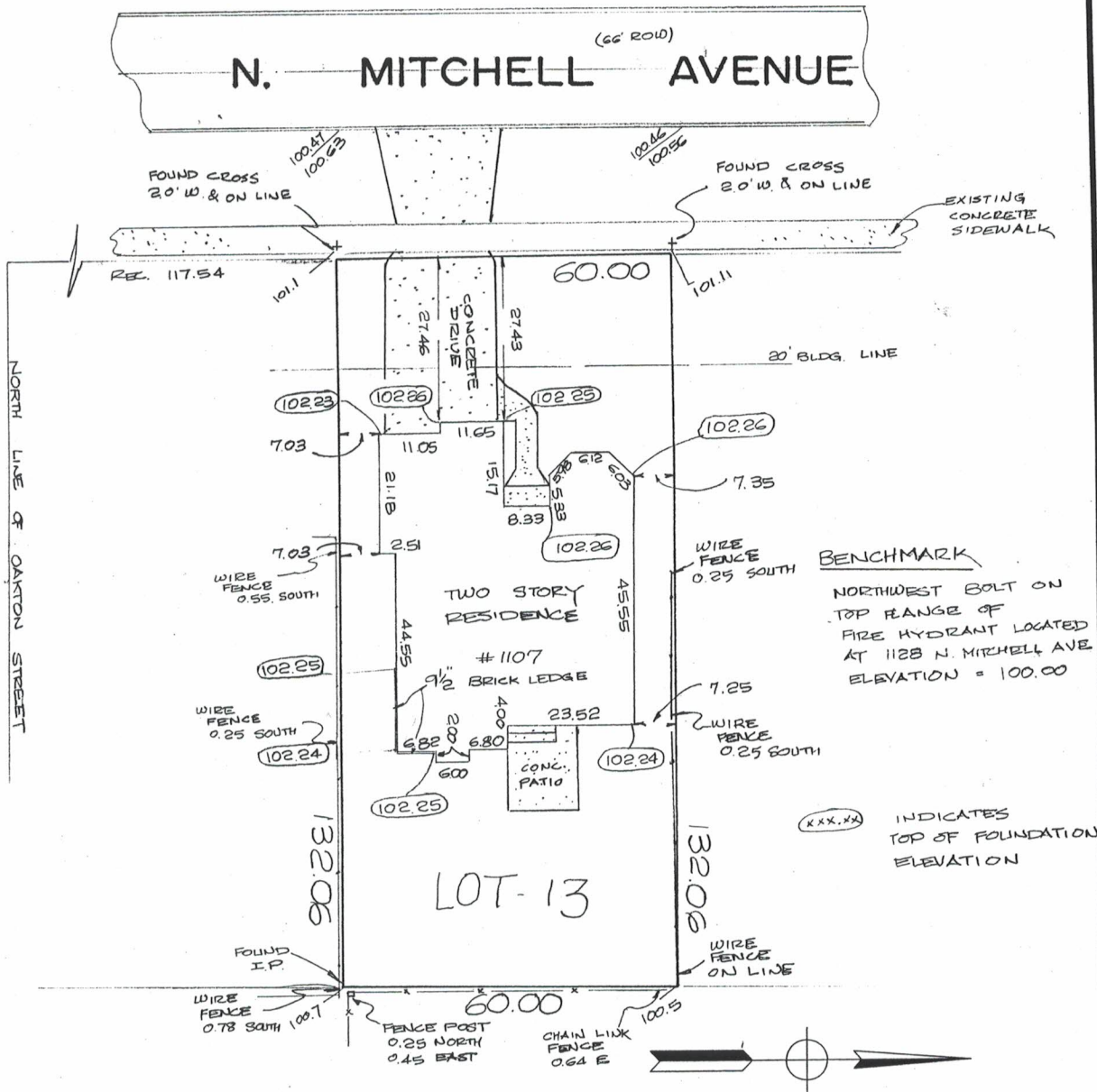
Signed: _____

Petitioner

Date: 1/27/21

PLAT OF SURVEY

LOT 13 IN BLOCK 15 IN NORTHWEST HIGHLANDS, BEING A SUBDIVISION OF THE EAST HALF OF THE SOUTHEAST QUARTER (EXCEPT 2 ACRES IN THE EXTREM SOUTHEAST CORNER) OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



BUILDINGS LOCATED AS SHOWN ON THIS
24TH DAY OF MAY A.D. 2002
ILLINOIS LAND SURVEYOR NO. 35-2457
COMPARE DESCRIPTION AND POINTS BEFORE
BUILDING AND REPORT ANY APPARENT DIFFER-
ENCE TO THE SURVEYOR.

STATE OF ILLINOIS) S.S.
COUNTY OF DuPAGE)
THIS IS TO CERTIFY THAT I, NUNZIO CASALINO, AN
ILLINOIS LAND SURVEYOR, HAVE SURVEYED THE PROPERTY
DESCRIBED IN THE ABOVE CAPTION(S) AS SHOWN BY THE
ANNEXED PLAT WHICH IS A CORRECT AND TRUE REPRESENTA-
TION OF SAID SURVEY.
GIVEN UNDER MY HAND AND SEAL.
THIS DAY A.D.
ILLINOIS LAND SURVEYOR NO.

REFER TO DEED OR GUARANTEE POLICY FOR
BUILDING LINES AND EASEMENTS NOT SHOWN HEREON.

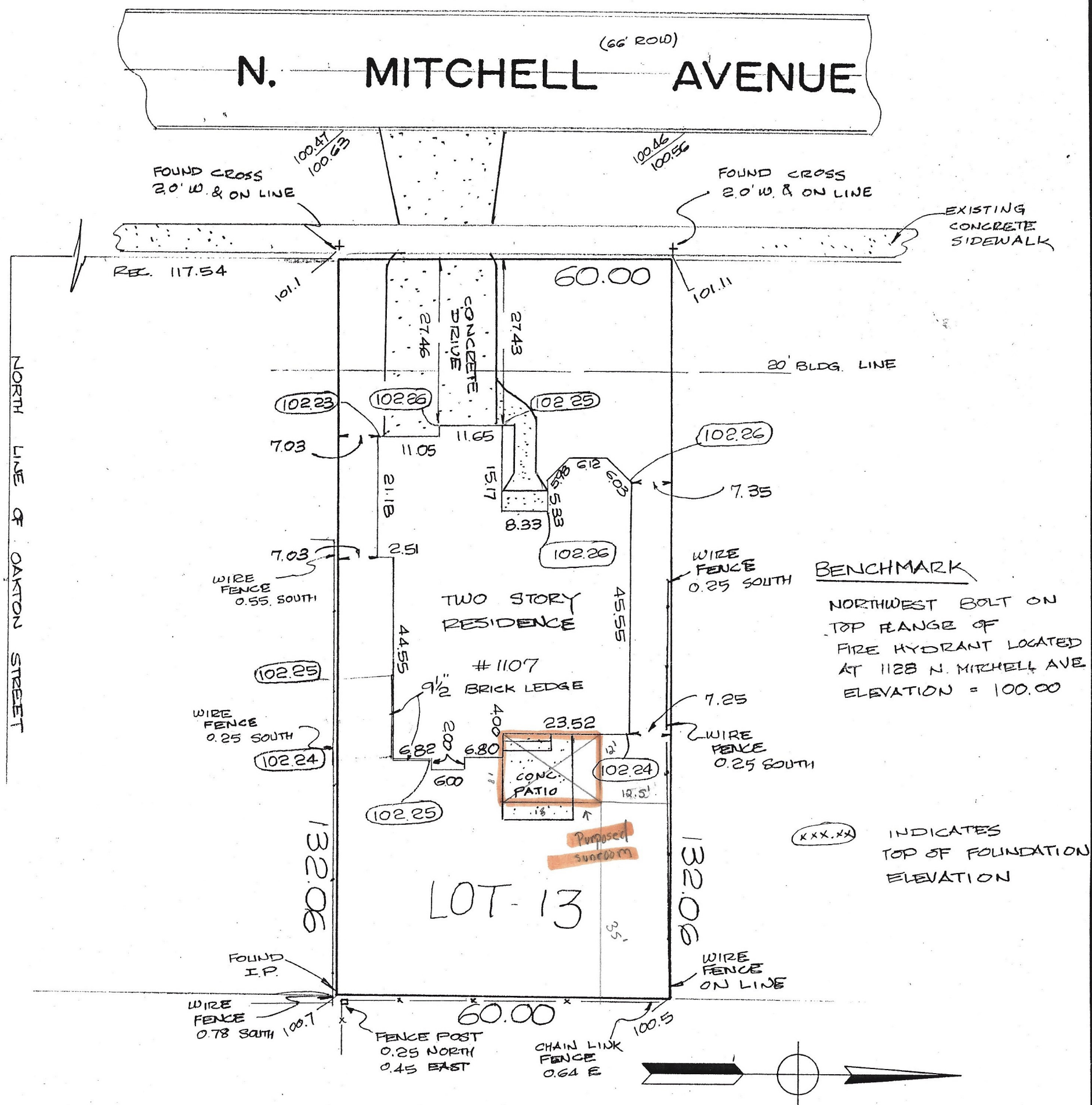
ORDER NO.
FILE NO. NORTHWEST HIGHLANDS
FOR JOHN HARAN
NOTES
IRON STAKE FOUND ● DRIVEN ○
ALL DIMENSIONS GIVEN IN FEET AND
DECIMALS THEREOF
SCALE 1" = 20'

N. Casalino
Engineers - Land Surveyors
1150 Lakeview
Crystal Lake, Illinois 60014
Phone: (630) 893-2600
DRAWN S.B.M.
CHECKED N.C.
SURVEY BY



PLAT OF SURVEY

LOT 13 IN BLOCK 15 IN NORTHWEST HIGHLANDS, BEING A SUBDIVISION OF THE EAST HALF OF THE SOUTHEAST QUARTER (EXCEPT 2 ACRES IN THE EXTREM SOUTHEAST CORNER) OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



BUILDINGS LOCATED AS SHOWN ON THIS
..24TH DAY OF ..MAY.. A.D. ..2002.

ILLINOIS LAND SURVEYOR NO. 35-2457

COMPARE DESCRIPTION AND POINTS BEFORE
BUILDING AND REPORT ANY APPARENT DIFFER-
ENCE TO THE SURVEYOR.

STATE OF ILLINOIS
COUNTY OF DuPAGE S.S.

THIS IS TO CERTIFY THAT I, NUNZIO CASALINO, AN
ILLINOIS LAND SURVEYOR, HAVE SURVEYED THE PROPERTY
DESCRIBED IN THE ABOVE CAPTION(S) AS SHOWN BY THE
ANNEXED PLAT WHICH IS A CORRECT AND TRUE REPRESENTA-
TION OF SAID SURVEY.

GIVEN UNDER MY HAND AND SEAL.

THIS DAY A.D.

ILLINOIS LAND SURVEYOR NO.

REFER TO DEED OR GUARANTEE POLICY FOR
BUILDING LINES AND EASEMENTS NOT SHOWN HEREON.

ORDER NO.
FILE NO. ... NORTHWEST ... HIGHLANDS ...
FOR ... JOHN ... HAN ...

NOTES
IRON STAKE FOUND ● DRIVEN ○
ALL DIMENSIONS GIVEN IN FEET AND
DECIMALS THEREOF
SCALE 1" = 20'



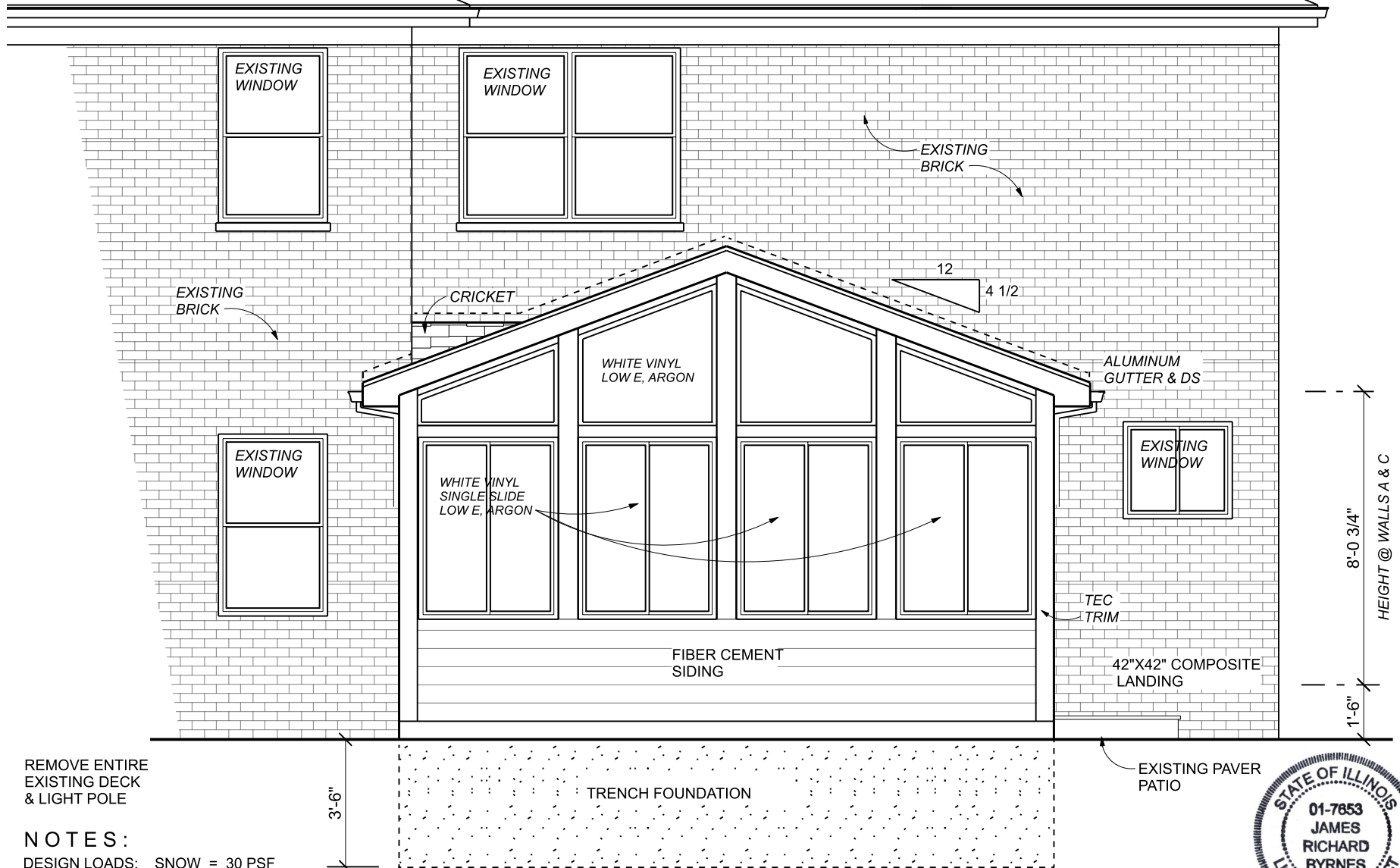
N. Casalino
Engineers - Land Surveyors
1150 Lakeview
Crystal Lake, Illinois 60014
Phone: (630) 893-2600

DRAWN ... S.B.M.
CHECKED ... N.4.
SURVEY BY ...



EXISTING ROOF

EXISTING ROOF



REMOVE ENTIRE
EXISTING DECK
& LIGHT POLE

NOTES:

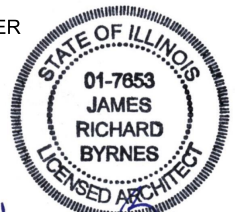
DESIGN LOADS: SNOW = 30 PSF
WIND = 90 MPH

ALL FASTNERS & CONNECTORS
TO BE HOT DIPPED GALVANIZED.
ALL FLASHING TO BE AC2 APPROVED

TRENCH FOUNDATION

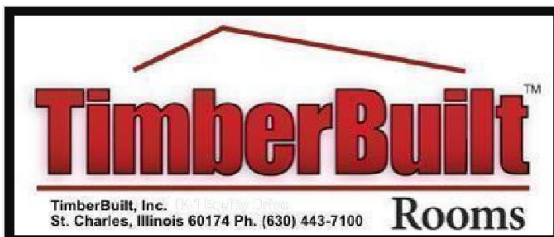
Front Elevation

SCALE: 1/4" = 1' - 0"



James R. Byrnes

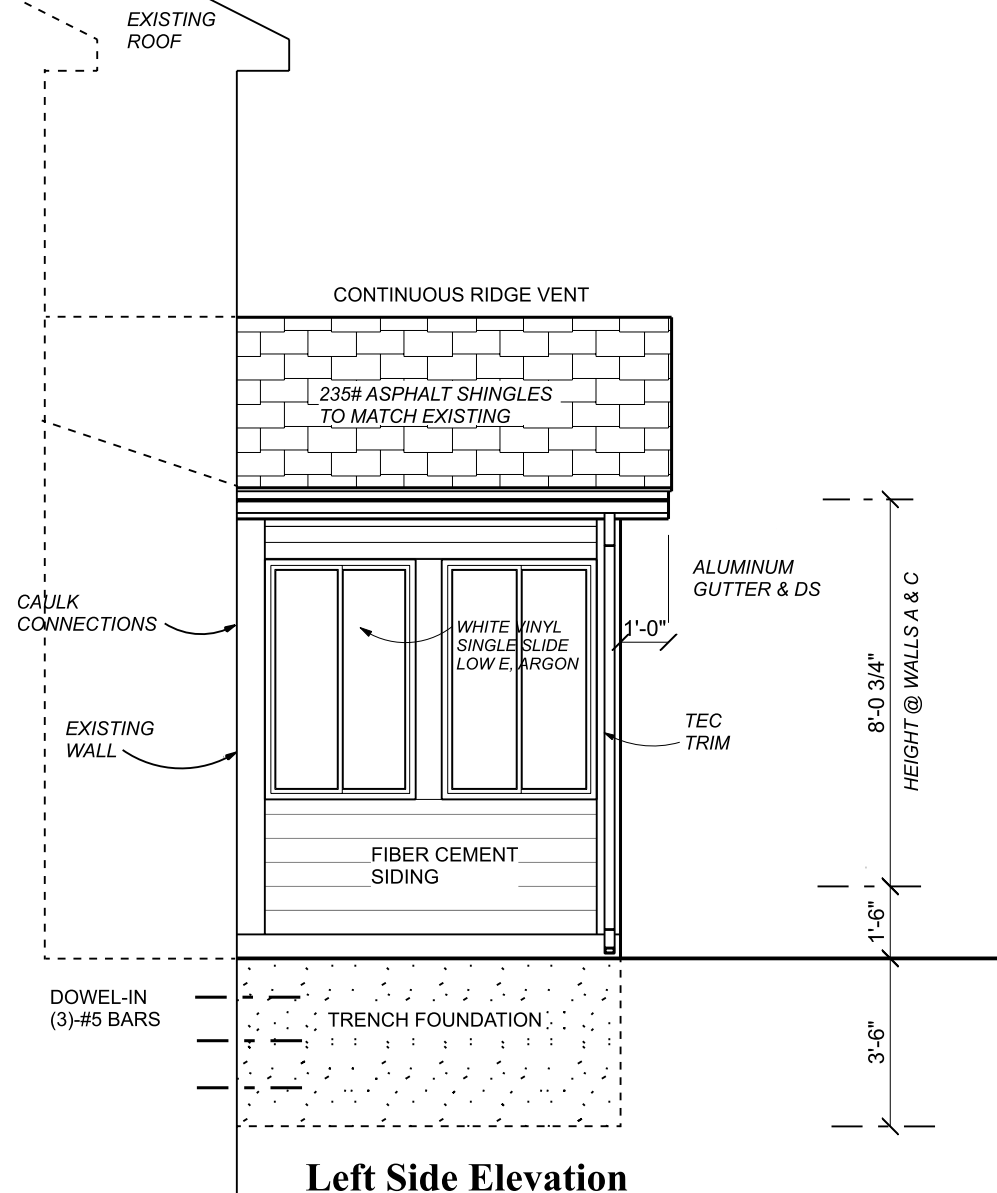
EXP. DATE: 11-30-20



Front Elevation
Gregory & Shirley Peters
1107 N. Mitchell Ave.
Arlington Heights, IL. 60004

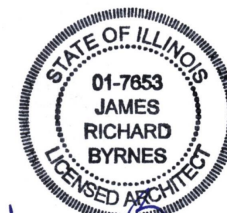
PROJECT: PETERS	REVISIONS:
DATE: 8-25-20	
DRAWN BY: J.R.B.	
CLOUD:	

1

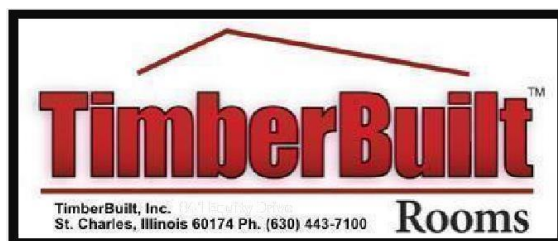


Left Side Elevation

SCALE: 1/4" = 1' - 0"



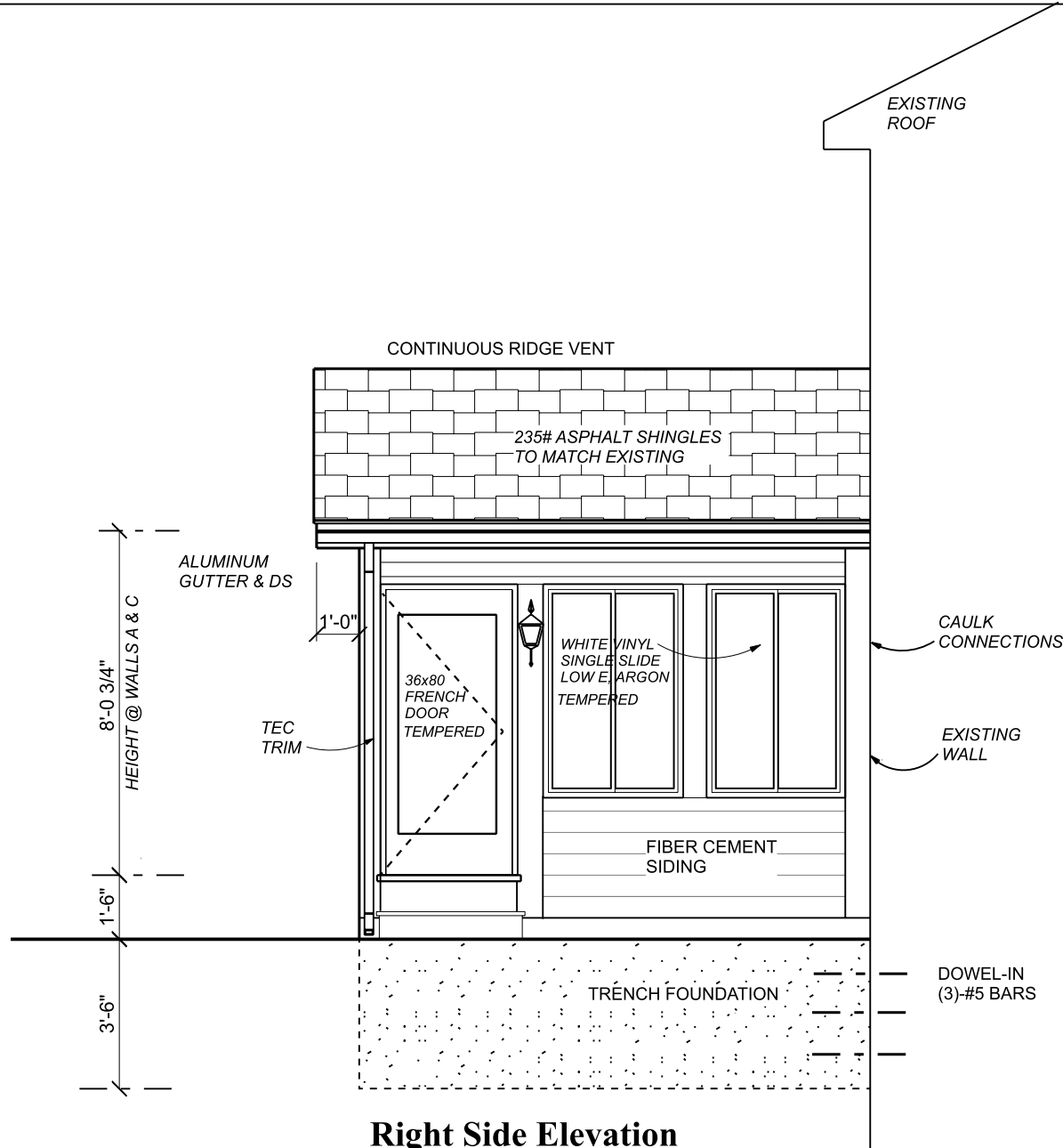
James R. Byrnes
EXP. DATE: 11-30-20



Left Elevation
Gregory & Shirley Peters
1107 N. Mitchell Ave. Arlington Heights, IL. 60004

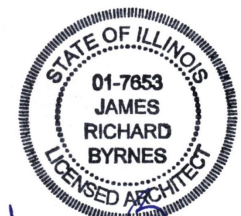
PROJECT: PETERS	REVISIONS:
DATE: 8-25-20	
DRAWN BY: J.R.B.	
CLOUD:	

2



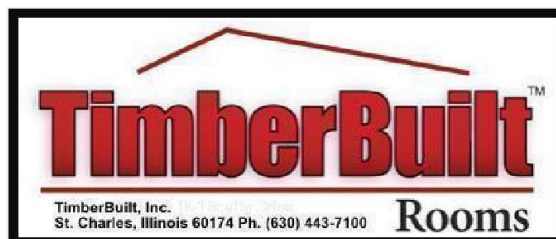
Right Side Elevation

SCALE: 1/4" = 1' - 0"



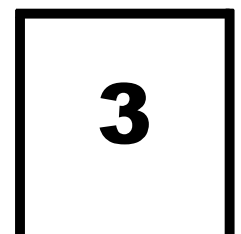
James R. Byrnes

EXP. DATE: 11-30-20

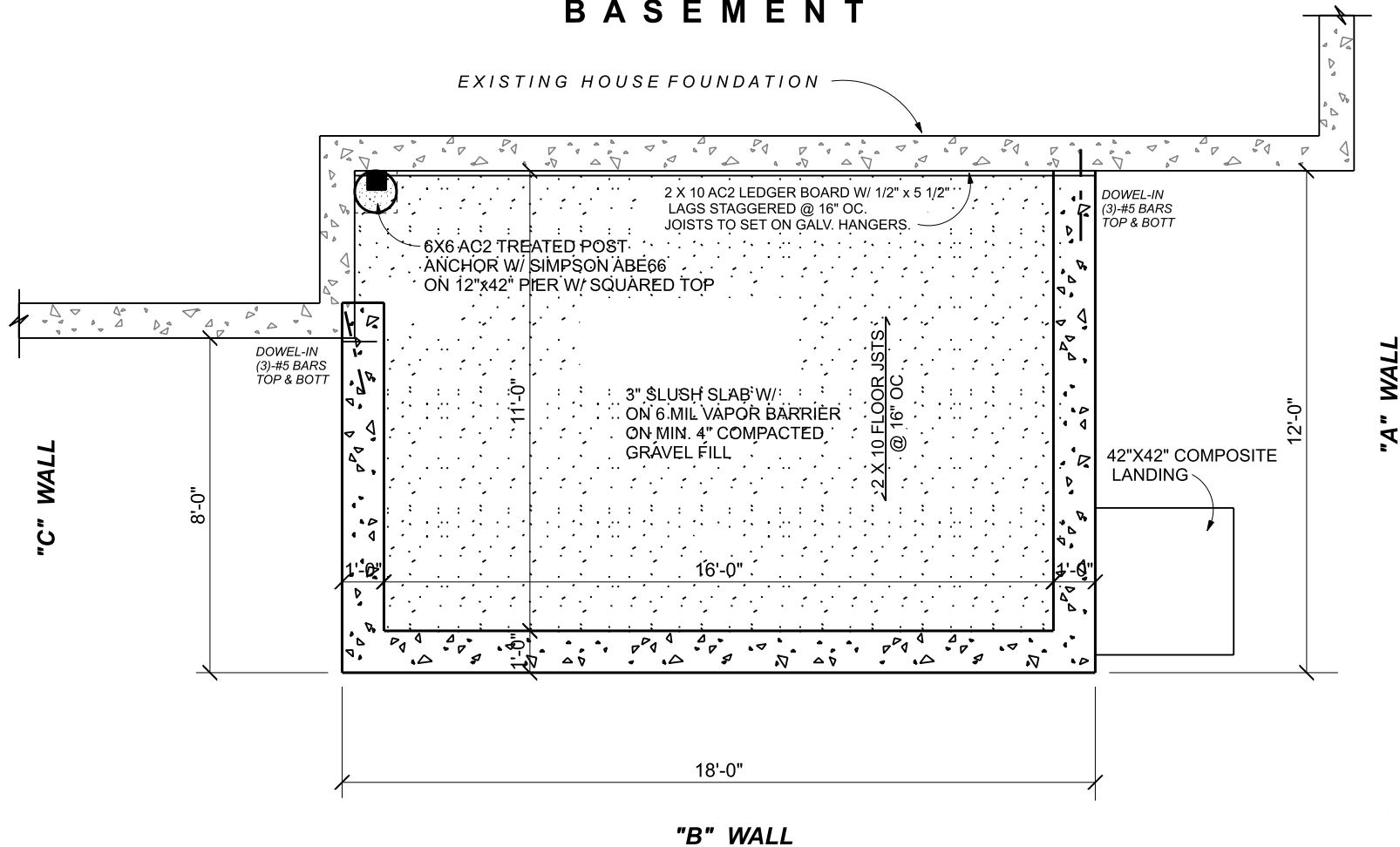


Right Side Elevation Gregory & Shirley Peters 1107 N. Mitchell Ave. Arlington Heights, IL. 60004
--

PROJECT: PETERS	REVISIONS:
DATE: 8-25-20	
DRAWN BY: J.R.B.	
CLOUD:	



B A S E M E N T

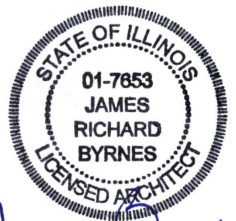


NOTE:
NO BASEMENT EXITS
OR ESCAPE WINDOWS
WILL BE REMOVED OR
BLOCKED BY THIS
ADDITION.

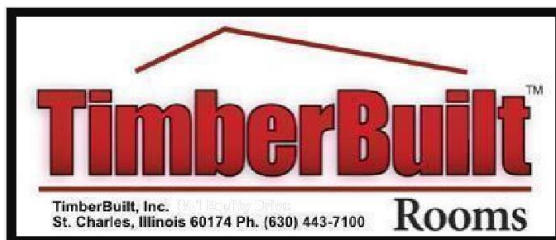
TRENCH FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

ASSUMED SOIL BEARING PRESSURE = 3000 PSI

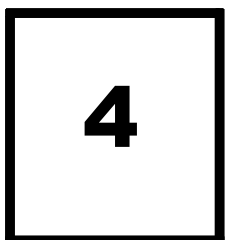


James R. Byrnes
EXP. DATE: 11-30-20

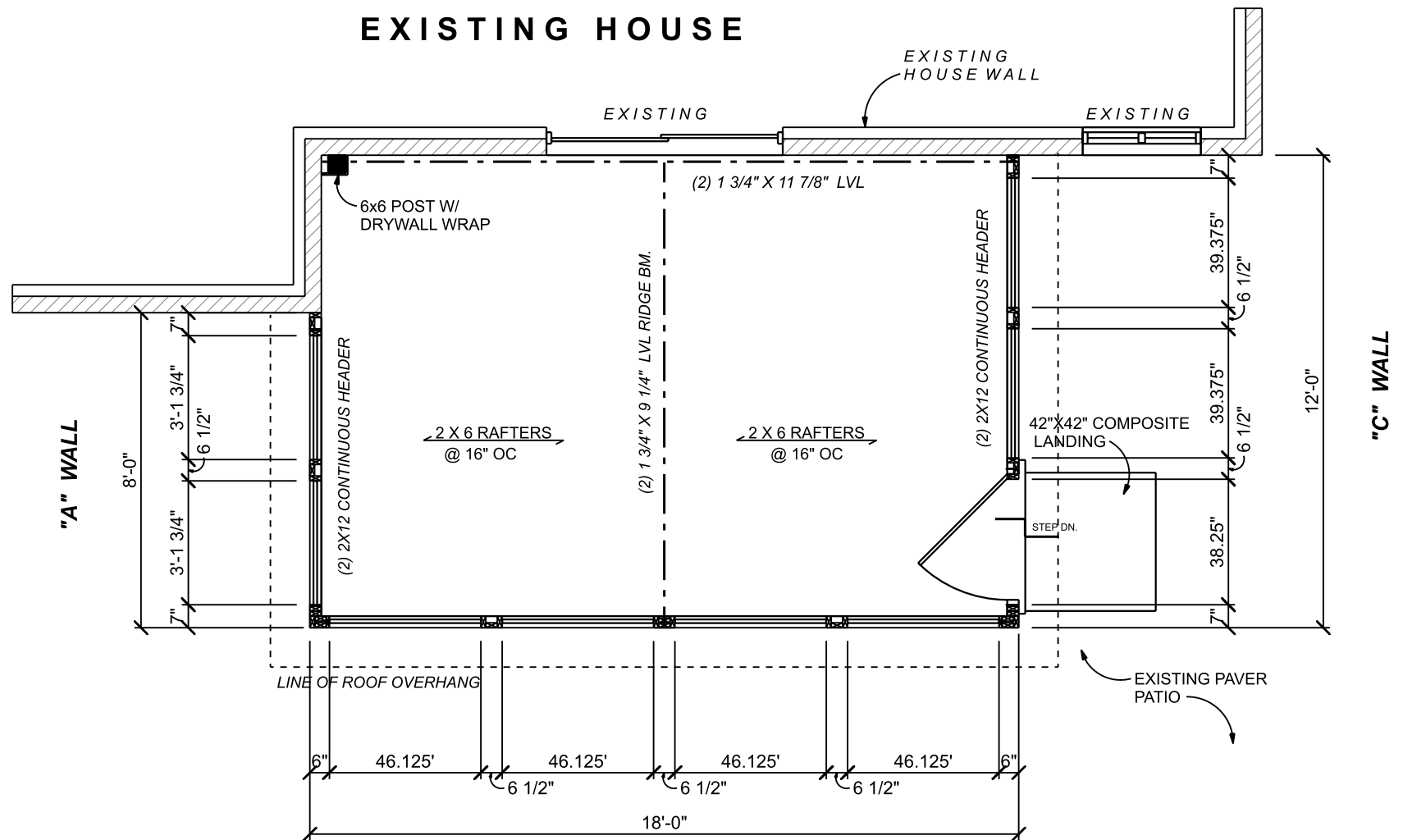


Foundation Plan Gregory & Shirley Peters 1107 N. Mitchell Ave. Arlington Heights, IL. 60004
--

PROJECT: PETERS	REVISIONS:
DATE: 8-25-20	
DRAWN BY: J.R.B.	
CLOUD:	



EXISTING HOUSE

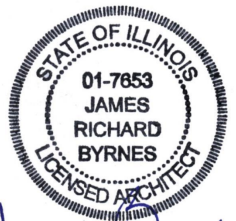


NOTE:
SUNROOM NOT TO BE
USED AS A PERMANENT
LIVING AREA. THIS AREA
IS NOT TO BE HEATED
OR COOLED.

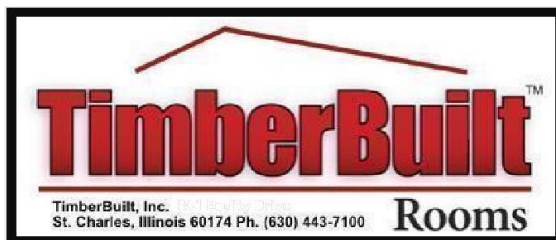
"B" WALL

SUN ROOM FLOOR PLAN

SCALE: 1/4" = 1'-0"



James R. Byrnes
EXP. DATE: 11-30-20



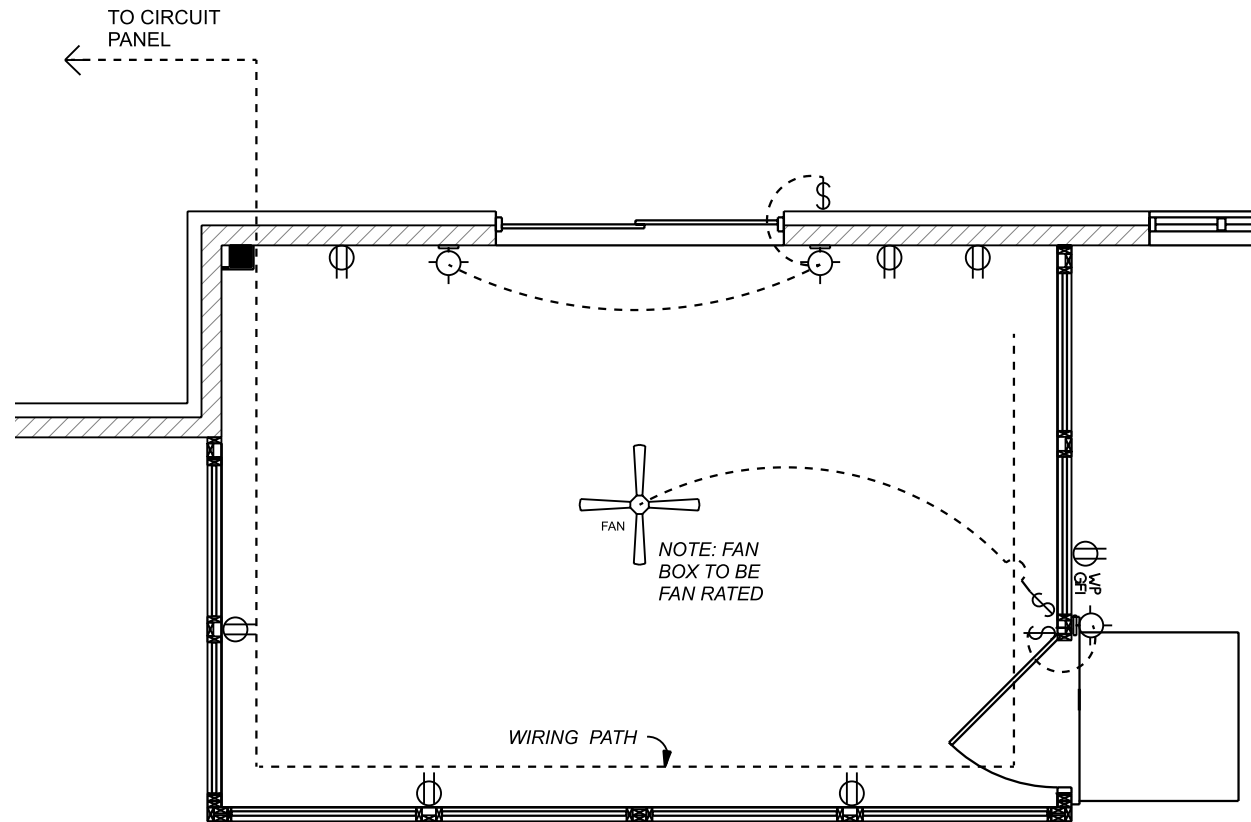
First Floor Plan Gregory & Shirley Peters 1107 N. Mitchell Ave. Arlington Heights, IL. 60004

PROJECT: PETERS	REVISIONS:
DATE: 8-25-20	
DRAWN BY: J.R.B.	
CLOUD:	

5

ELECTRICAL SYMBOL LIST	
	CEILING SURFACE LIGHT
	SWITCH
	THREE WAY SWITCH
	RECEPTICAL
	220 RECEPTICAL
	PULL CHAIN LIGHT
	GROUND FAULT PROTECTED RECEPTICAL
	WALL SURFACE FIXTURE
	HALF HOT RECEPTICAL
	WATER PROOF OUTLET
	FAN
	FAN LIGHT
	RECESSED LIGHT
	EYEBALL RECESSED LIGHT
	FLUORESCENT LIGHT

USE EMT THINWALL CONDUIT

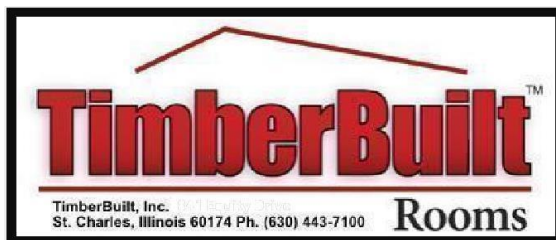


ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

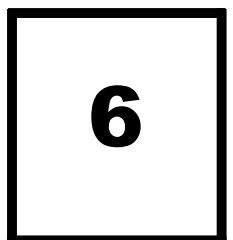


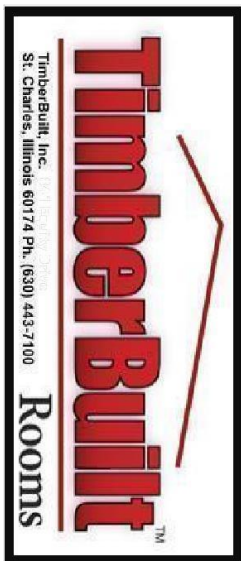
James R. Byrnes
EXP. DATE: 11-30-20



Electrical Plans
Gregory & Shirley Peters
1107 N. Mitchell Ave. Arlington Heights, IL. 60004

PROJECT: PETERS	REVISIONS:
DATE: 8-25-20	
DRAWN BY: J.R.B.	
CLOUD:	





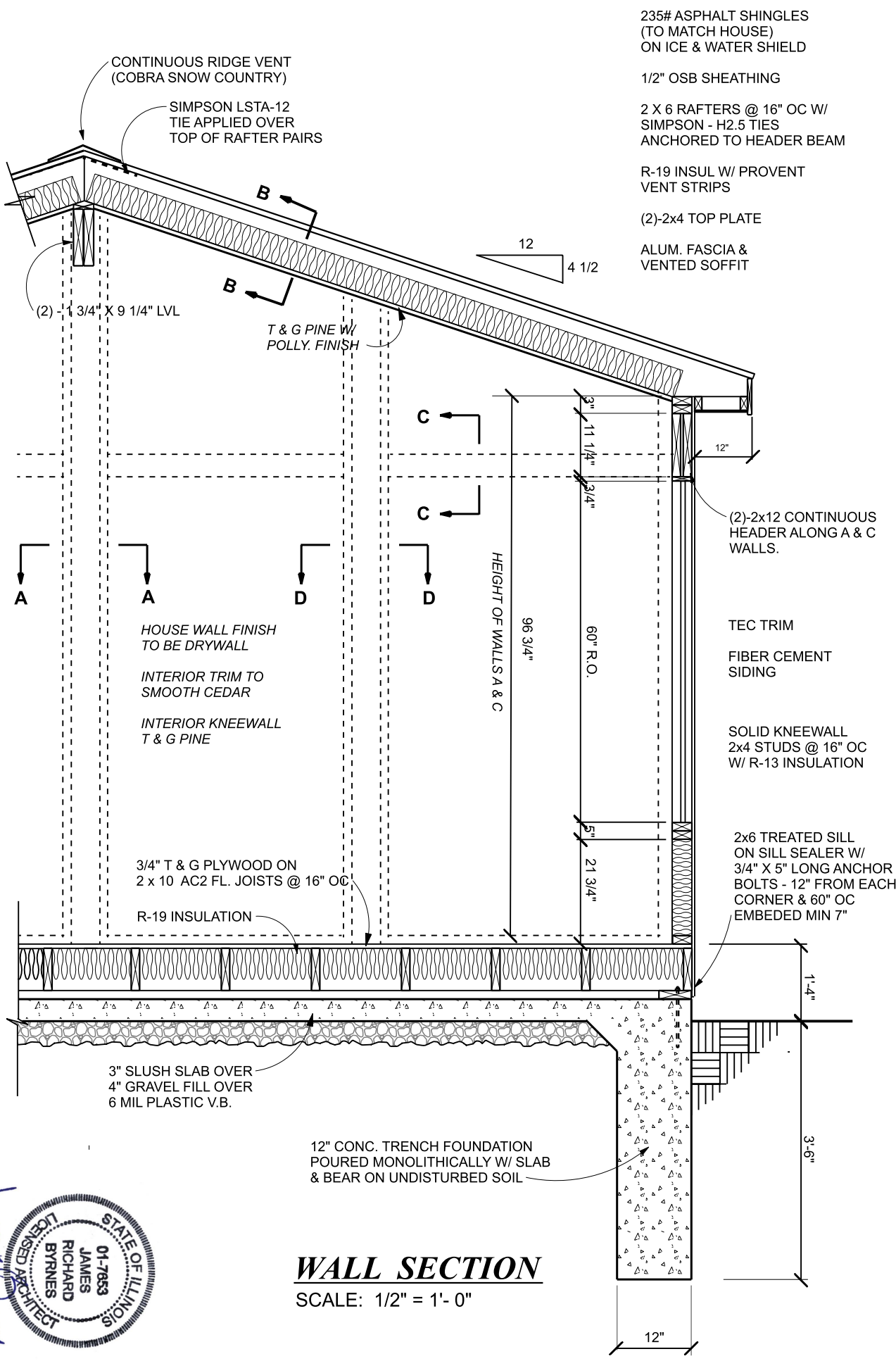
Typical Wall Section

Gregory & Shirley Peters
1107 N. Mitchell Ave.
Arlington Heights, IL. 60004

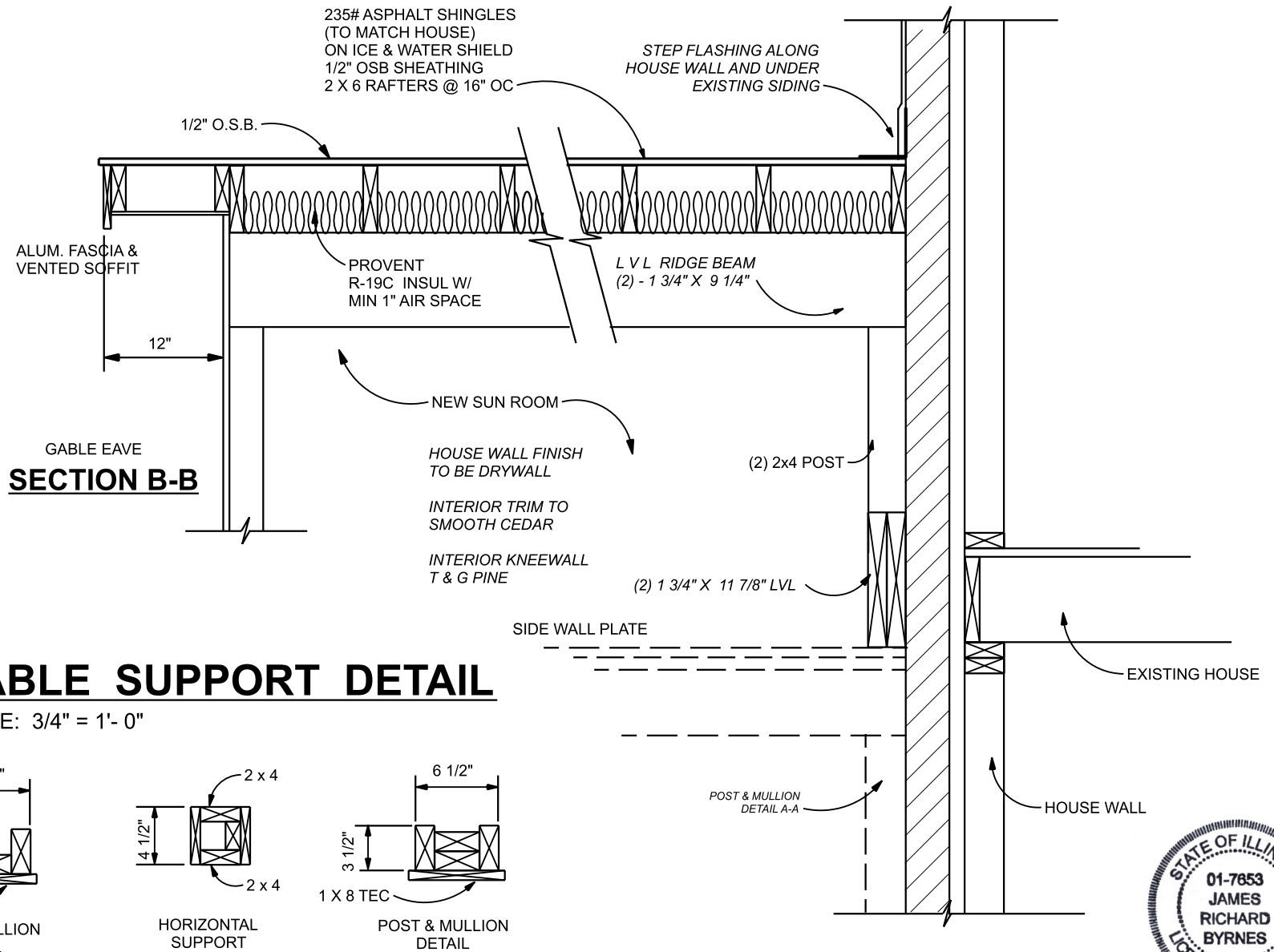
PROJECT:	REVISIONS:
PETERS	
DATE: 8-25-20	
DRAWN BY: J.R.B.	
CLOUD:	

7

EXP. DATE: 11-30-20

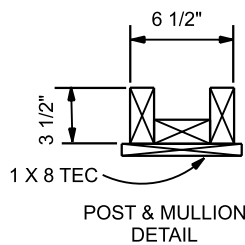


WALL SECTION
SCALE: 1/2" = 1'- 0"

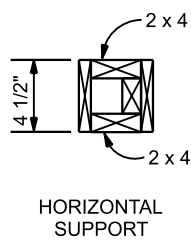


GABLE SUPPORT DETAIL

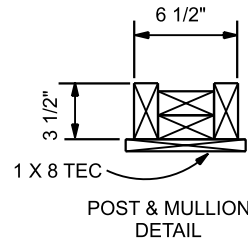
SCALE: 3/4" = 1'- 0"



SECTION A-A



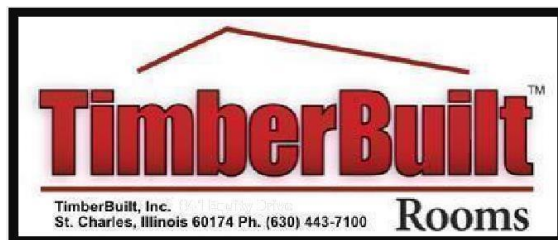
SECTION C-C



SECTION D-D



EXP. DATE: 11-30-20



Gable Support & Sections

Gregory & Shirley Peters

1107 N. Mitchell Ave.
Arlington Heights, IL. 60004

PROJECT: PETERS	REVISIONS:
DATE: 8-25-20	
DRAWN BY: J.R.B.	
CLOUD:	

8

Schmidt, Jacob

From: Mary Hahn
Sent: Friday, March 5, 2021 5:39 PM
To: Schmidt, Jacob
Subject: Re: Public Hearing for 1107 N. Mitchell

[**NOTICE:** This message originated outside of Village of Arlington Heights email system -- **DO NOT CLICK** on links or open **attachments** unless you are sure the content is safe.]

Hi - again thank you for your response. And thank you for the contact number. It's been several years since the homes were built but it can't hurt to reach out and find out why I have so much water. Good luck to our neighbors and their new porch!

She/Her/Hers
Sent from my iPhone

On Mar 5, 2021, at 3:20 PM, Schmidt, Jacob wrote:

Hi Mary,

Our Engineering Division reviews all proposals for adequate drainage. If you have questions on the specifics of their review, I'd reach out to them at (847) 368-5250

Best,

Jake Schmidt, Assistant Planner
Village of Arlington Heights
Planning and Community Development Department
847-368-5215

From: Mary Hahn
Sent: Thursday, March 4, 2021 6:13 PM
To: Schmidt, Jacob
Subject: Re: Public Hearing for 1107 N. Mitchell

[**NOTICE:** This message originated outside of Village of Arlington Heights email system -- **DO NOT CLICK** on links or open **attachments** unless you are sure the content is safe.]

Hi - thank you for your response.

Does anyone from the village do a review of drainage when homes are pulled down and new ones put up? Because we have a lot more water in our yard since all the new homes have been built. We are now left to manage this excess water on our property.

Kind regards,
Mary

She/Her/Hers
Sent from my iPhone

On Mar 3, 2021, at 2:42 PM, Schmidt, Jacob wrote:

Good afternoon Mary,

All ZBA Petitions are reviewed by our Engineering Division, and provision of adequate drainage is within the scope of their review. For this project, the Engineering Division did not have any concerns regarding adequate drainage on the property

I will share your concern with the members of the ZBA for their review

Best,

Jake Schmidt, Assistant Planner
Village of Arlington Heights
Planning and Community Development Department
847-368-5215

From: Mary Hahn
Sent: Tuesday, March 2, 2021 12:55 PM
To: Schmidt, Jacob
Subject: Public Hearing for 1107 N. Mitchell

[NOTICE: This message originated outside of Village of Arlington Heights email system -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Hi - this sounds like a wonderful addition for our neighbors two door down.

Has the impact of rain and snow water drainage been studied and addressed? How will this addition impact the already poor drainage on our backyards? My home was built in the mid 50's and we are surrounded by large homes that replaced smaller homes built around the same time as mine. We now get a lot of water pooling in our yard that, according to our landscaper, may damage the shrubs and beech tree we have had put in along the sidewalk to screen our backyard from auto and foot traffic.

I hope the project goes through and I hope the water drainage impact is addressed.

Kind regards,
Mary Hahn

She/Her/Hers
Sent from my iPhone



**Zoning Board of Appeals
3/15/2021**

Item: 410 N. Douglas Ave. - ZBA#21-006

Department: Planning & Community Development

REQUEST

A 3.5-foot variation from Chapter 28, Section 6.5-6 (Height of Accessory Structures in Required Rear Yards) to allow a detached garage with a peak height of 18.5 feet above grade where a maximum peak height of 15 feet is allowed.

ATTACHMENTS:

Description

Supporting Documents

Type

Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Jake Schmidt, Planner
Hearing Date: March 15, 2021
Date Prepared: March 12, 2021
Project Title: Unger Residence
Address: 410 N Douglas Ave.

Background Information

Petition Number: ZBA #21-006
Petitioner: Julie Unger
Address: 410 N. Douglas Ave.
Arlington Heights IL 60004

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

The petitioner is seeking to construct a new detached garage with loft storage space. However, this results in a detached garage with a peak height of 18.5 feet above grade where a maximum peak height of 15 feet is allowed. Therefore, the petitioner requests the following variation:

- A 3.5-foot variation from Chapter 28, Section 6.5-6 (Height of Accessory Structures in Required Rear Yards) to allow a detached garage with a peak height of 18.5 feet above grade where a maximum peak height of 15 feet is allowed.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

Item	Provided	Dated	Remarks
1. Notification Affidavit	✓	2/26/21	
2. List of Property Owners Within 250 feet of Subject Property	✓	2/26/21	
3. Letter that was Mailed	✓	2/26/21	
4. Photographs of Sign on Property	✓	2/26/21	

Photographs of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Unger Residence

Project Address: 410 N Douglas Ave

ZBA #: 21-006

Date: February 24, 2021

Derek:

I have reviewed the request for the following variance:

- A 3.5-foot variation from Chapter 28, Section 6.5-6 (Height of Accessory Structures in Required Rear Yards) to allow a detached garage with a peak height of 18.5 feet above grade where a maximum peak height of 15 feet is allowed.

I do not have any objections to the variance.

Note: The garage attic area shall not be used for sleeping purposes.

ZBA# 21-006
410 N Douglas Ave - ZBA
Rev. Eng: Briget Schwab, P.E.
cc: Mike Pagones, P.E. Village Engineer

Application Date: January 27, 2021
Received by Planning:
Transmitted to Engineering: February 24, 2021
Received by Briget: February 24, 2021
Completed: February 26, 2021

The proposed ZBA application indicates that the petitioner is seeking:

A 3.5-foot variation from Chapter 28, Section 6.5-6 (Height of Accessory Structures in Required Rear Yards) to allow a detached garage with a peak height of 18.5 feet above grade where a maximum peak height of 15 feet is allowed.

The Engineering Division has NO COMMENT on the proposed variance request for maximum height of an accessory structure.

--

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Unger Residence

Project Address: 410 N Douglas Avenue

ZBA #: 21-006

ZBA Hearing Date: March 15, 2021

To: Mike Pagones, Village Engineer
Steven Touloumis, Director of Building and Life Safety

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Jake Schmidt, Assistant Planner

Transmitted On: February 24, 2021

- A 3.5-foot variation from Chapter 28, Section 6.5-6 (Height of Accessory Structures in Required Rear Yards) to allow a detached garage with a peak height of 18.5 feet above grade where a maximum peak height of 15 feet is allowed.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: The proposed detached garage is nicely designed to match the architecture of the house,
which is always encouraged for a cohesive appearance.

Steve Hautzinger, Design Planner

Please review, comment, and return to me no later than March 5, 2021.

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner William and Julie Unger

410 N Douglas Ave

being the owner of the property commonly know as: _____

6.5-6

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section _____

Increase the maximum height allowed

Chapter 28, of the Arlington Heights Municipal Code, in order to: _____

for structures in the rear yard from 15'-0" to 18'-6".

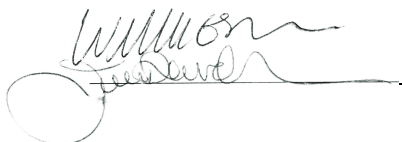
I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): The style and character of the new garage will match that of the house.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): The existing house has a roof slope that can not be matched without an increase to the height limitation for a structure in the rear yard.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): The height limitation was not intended to prevent secondary structures from matching the style of principal structures

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): The 3'-6" requested height variance is the minimum required to match the roof slopes.

Signed: _____
Petitioner



Date: 1/20/2011



ANTON ADAMS

Illinois Professional Land Surveyors

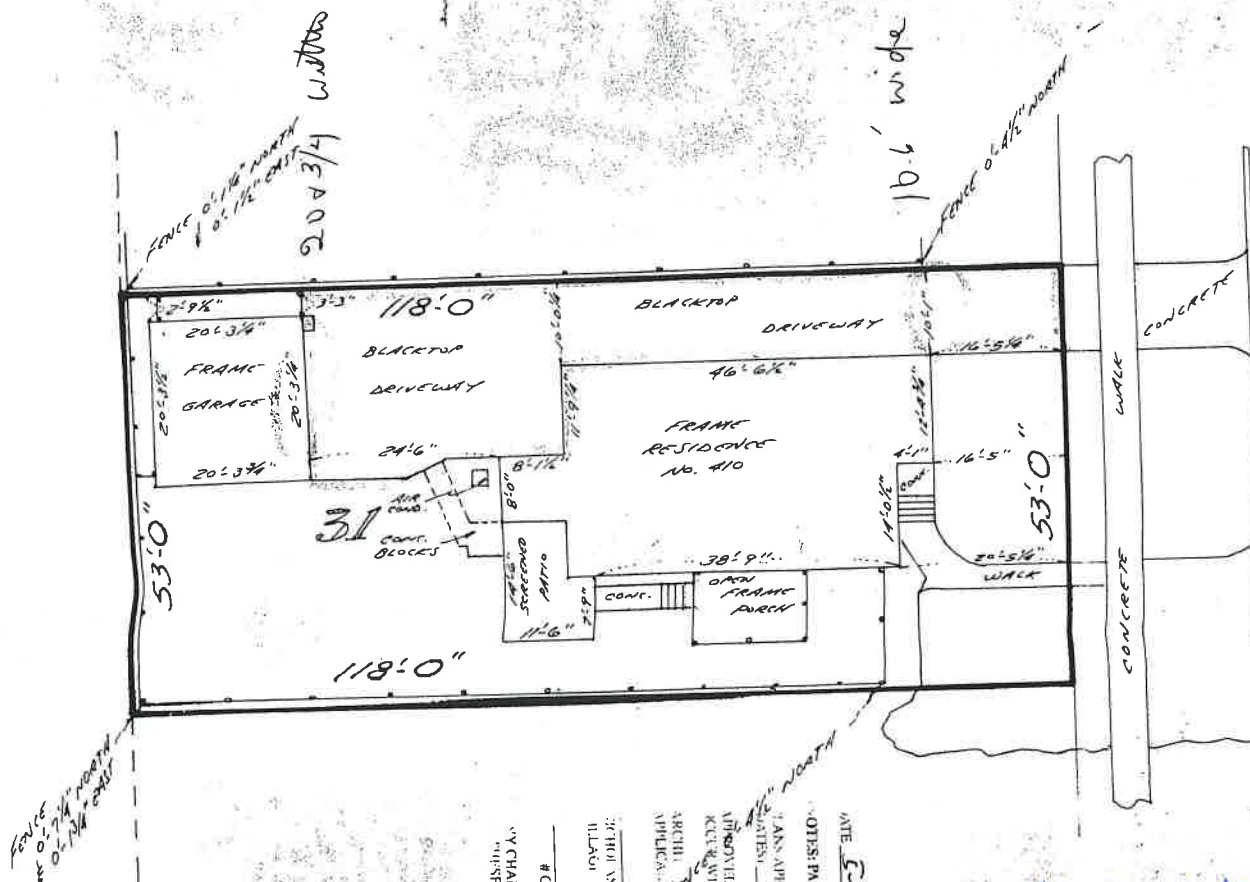
PLAT OF SURVEY

OF

Anton J.
301 N
Mount Pro
Phone:

Anton A

Lot 31 in Henry Hinrich's Third Addition to Arlington Heights, a Subdivision of the South of the North 662 feet of the East 151 feet of the West 1306 feet of the East 1/2 of the of Section 29, Township 42 North, Range 11 East of the Third Principal Meridian, in Cook



williammizer410@y

SCALE: 1 inch = 15 FEET

ORDER NUMBER: 41619

FIELD BOOK: 42-11-93 PAGE: 9

ORDERED BY: ROBERT J. SABIN

Compare legal description on this plat with deed or title policy. Compare all points before building by same and report any differences at once. Building lines

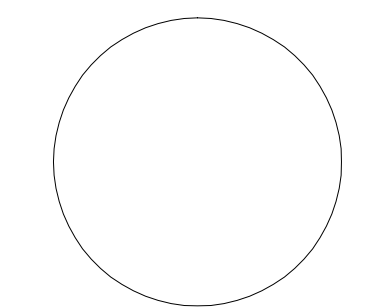
DATE: 5-14-93 ADDRESS: 418 W. Taylor

STATE OF ILLINOIS)
COUNTY OF COOK) SS.

I, ANTON ADAMS, Illinois Professional Land Surveyor, certify that I have surveyed the property described above and that the same is a correct representation of said survey.

MOUNT PROSPECT, ILLINOIS, MAY 1, 1993

Anton J. Adams



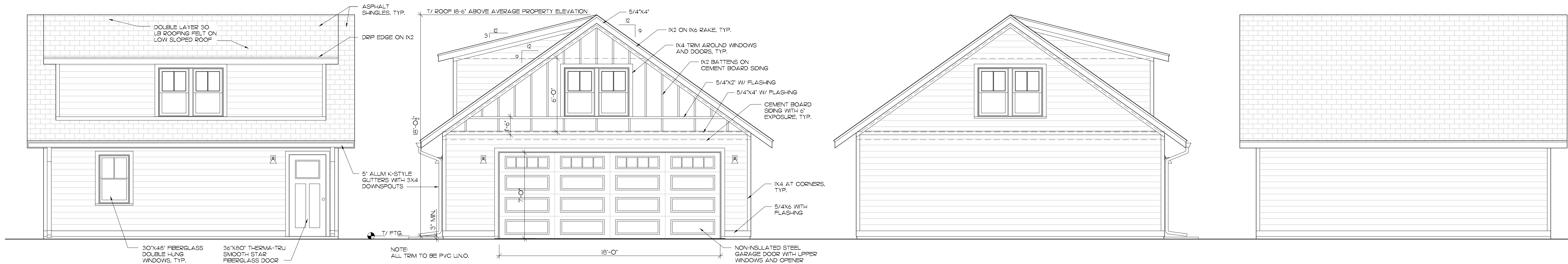
EXISTING RESIDENCE - FUTURE EAST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING RESIDENCE - CURRENT EAST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED GARAGE - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

PROPOSED GARAGE - EAST ELEVATION

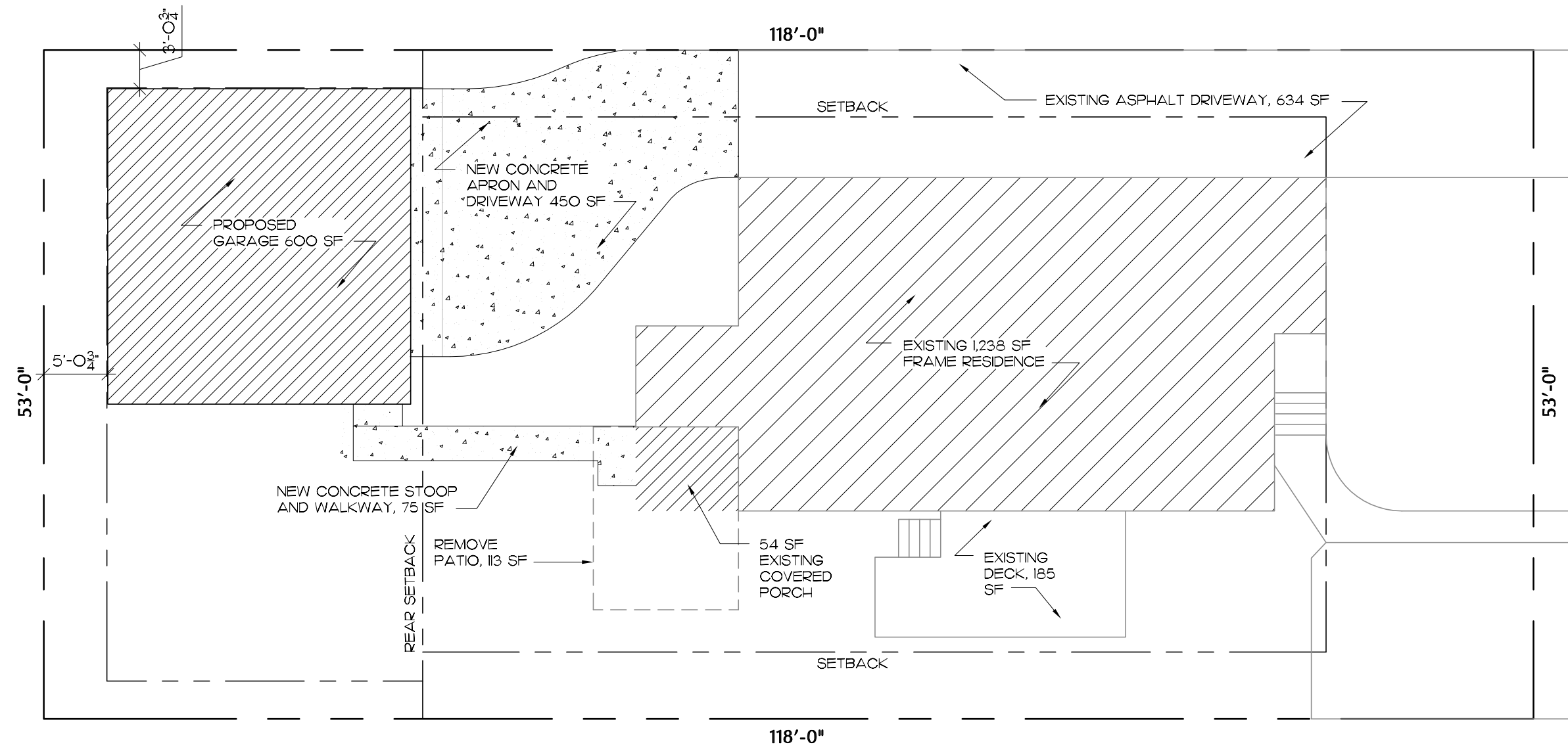
SCALE: 1/4" = 1'-0"

PROPOSED GARAGE - WEST ELEVATION

SCALE: 1/4" = 1'-0"

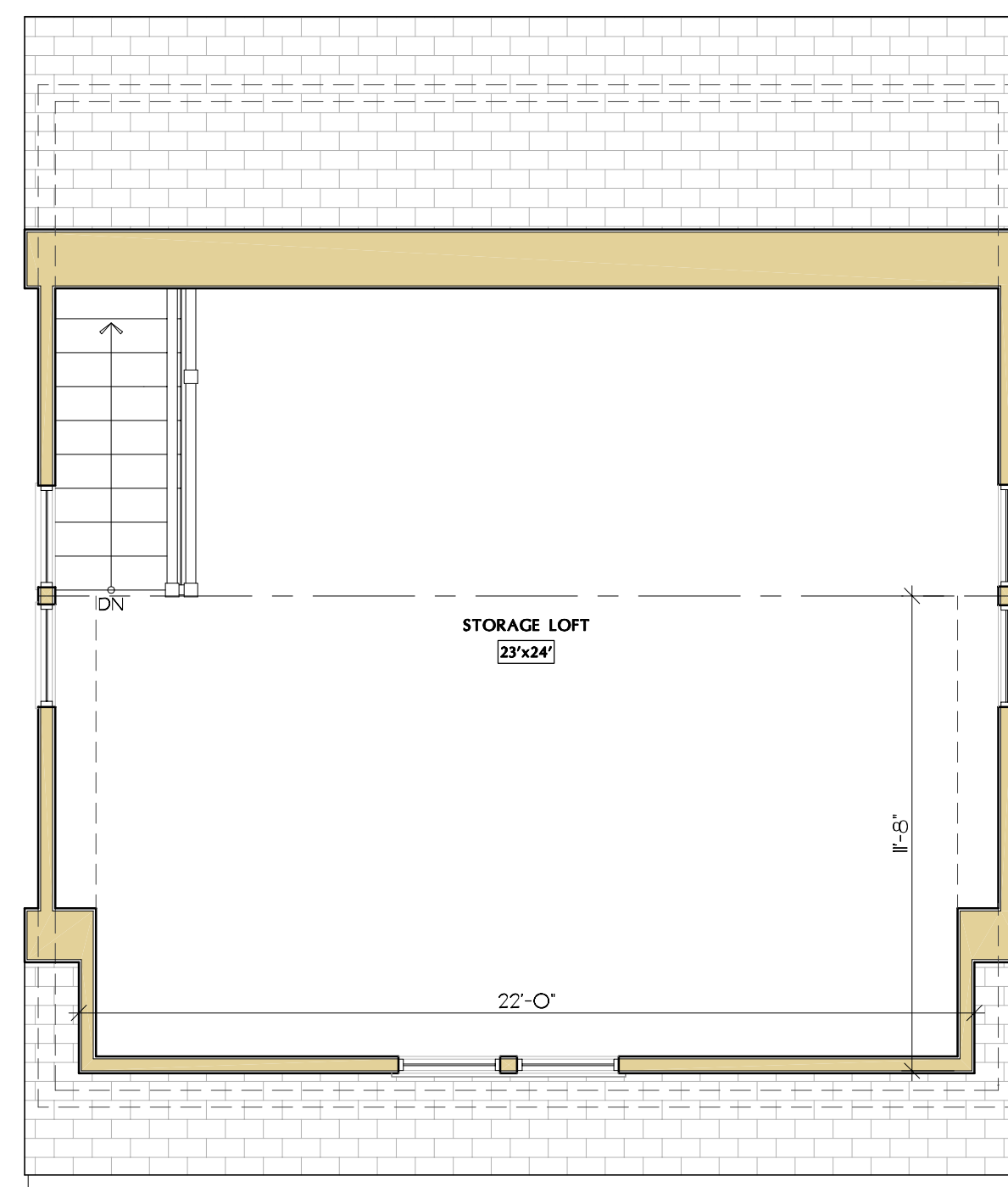
PROPOSED GARAGE - NORTH ELEVATION

SCALE: 1/4" = 1'-0"

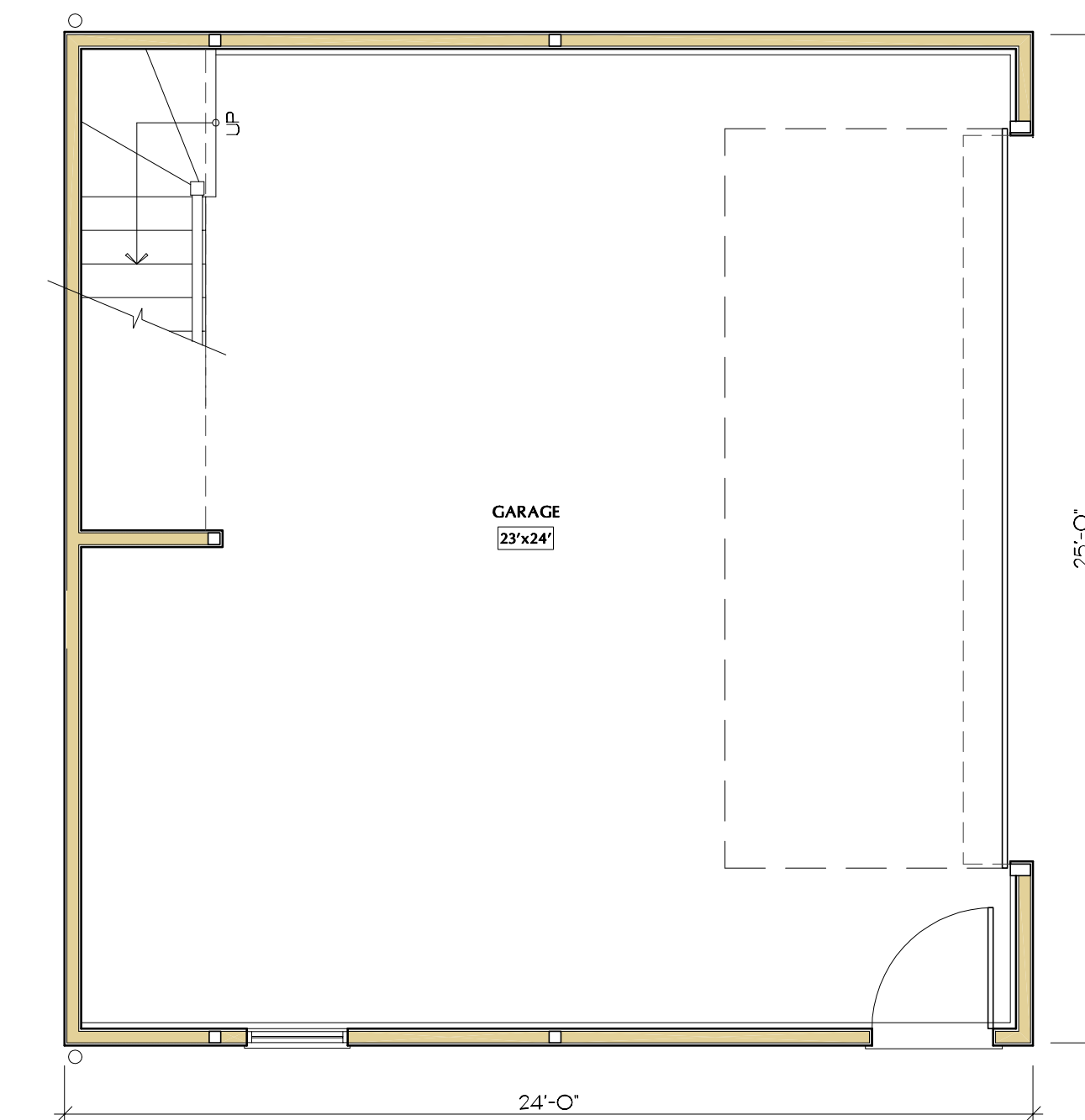


NORTH
SITE PLAN
SCALE: 1" = 10'-0"

Douglas Avenue



NORTH
GARAGE LOFT PLAN
SCALE: 1/4" = 1'-0"



NORTH
GARAGE FLOOR PLAN
SCALE: 1/4" = 1'-0"