



Agenda
Village of Arlington Heights
Design Commission
Community Room, 3rd Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
March 14, 2017
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

A. Minutes - 2/28/17

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. DC#17-012 - 403 E. Eastman St. - SF/Addition
- B. DC#17-014 - 1510 N. Ridge Ave. - SF/Teardown
- C. DC#17-015 - 1112 W. White Oak St. - SF/Addition

VII. OTHER BUSINESS

VIII. ADJOURNMENT

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Item: Minutes - 2/28/17

Department: Planning & Community Development

ATTACHMENTS:

Description

Minutes 2/28/17 DRAFT

Type

Minutes

DRAFT

MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
FEBRUARY 28, 2017

Chair Eckhardt called the meeting to order at 6:30 p.m.

Members Present: Ted Eckhardt, Chair
Kirsten Kingsley
Jonathan Kubow
Anthony Fasolo

Members Absent: John Fitzgerald

Also Present: Brian Hyde, Greenscape Homes for 705 N. Kaspar Ave.
Peter Cahill, Owner of 705 N. Kaspar Ave.
Steve Hautzinger, Staff Liaison

REVIEW OF MEETING MINUTES FROM FEBRUARY 14, 2017

A MOTION WAS MADE BY COMMISSIONER KINGSLEY, SECONDED BY COMMISSIONER KUBOW, TO APPROVE THE MEETING MINUTES OF FEBRUARY 14, 2017. ALL WERE IN FAVOR. THE MOTION CARRIED.

ITEM 1. SINGLE-FAMILY TEARDOWN REVIEWDC#17-011 – 705 N. Kaspar Ave.

Brian Hyde, representing *Greenscape Homes*, and Peter Cahill, the homeowner, were present on behalf of the project.

Chair Eckhardt acknowledged that there was no one present in the audience other than the petitioners.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing single story residence and one car attached garage to allow construction of a new two story residence with an attached, two car garage. The proposed design does comply with the R-3 zoning requirements. The existing neighborhood consists of a mix of smaller scale single-story and one-and-a-half-story houses with a mix of attached and detached garages. However, there are a few teardowns and large additions previously approved on this block.

Overall, the proposed design is nicely done in a traditional style that fits the neighborhood. However, the primary concern with the proposed design is the scale of the home as it relates to the adjacent smaller homes. The single story porch and single story garage roof on the front of the home do help the proposed design to relate to the scale of the adjacent homes, but the following suggestions should be considered to help the home to fit in better in this location:

1. It is strongly recommended that the sides of the main roof be hipped to reduce the overall scale of the home.
2. The dark "Evening Blue" siding color will increase the visual impact of the home. A lighter siding color should be considered for a softer appearance, and to relate to the existing color tones on the block.
3. Adding a window to the side of the garage is recommended to add interest to the design.

Staff recommended approval of the project with the proposed changes.

Mr. Hyde responded to the comments in the Staff report. With regards to the recommendation to hip the main roof to reduce the overall scale of the home, he pointed out that the side elevations include a continuation of the architecture being proposed on the front of the home, which consists of a gable and the board and batten detail, and they would prefer to keep the gables. He added that the homeowner has security issues with the suggestion to add a window to the side of the garage, and prefers the "Evening Blue" siding color being proposed with the contrast of the white trim color. He said there are other examples of this color palette in the neighborhood, and pointed out a home located north down the street on the other side of the park that has almost the same blue color siding and white trim. Mr. Cahill presented a photo of a home located 5 sites away with the same blue siding color, and a photo of the proposed new home but in Downers Grove with the color palette being proposed, which he felt was the most attractive of all the options. He also presented a photo of a home located one street over on Fernandez that has bright purple siding. He reiterated the security issues associated with having a window in the garage, as well as privacy issues with the home next door.

Commissioner Kubow pointed out that the petitioner has listened to comments made by the commissioners from previous projects he has presented; specifically including the horizontal banding that helps detail the home, the continuation of the architecture around the entire home, and the projection of the front porch in front of the garage. He suggested bringing forward the main portion of the porch to create more usable space. Overall, he was fine with the design and massing of the new home, and pointed out that this is a transitional neighborhood with a mix of architecture and size of homes. He appreciated Staff's suggestion to hip the sides of the main roof, but felt it would take away from the architecture, and he really liked the blue siding color being proposed and the contrast of the light and dark color palette.

Commissioner Fasolo agreed with the comments made by Commissioner Kubow. He was okay with the roof as proposed, he liked the color palette, and he agreed with the petitioner's concerns about adding a window in the

garage. He pointed out that the adjacent homes and the homes across the street all have masonry, and he suggested adding stone at the base of the front elevation and wrapping it around the sides of the home, to help tie in with the surrounding homes.

Commissioner Kingsley was okay with the blue siding color; however, she suggested changing the roof shingle color to either 'Georgetown' or 'Slate', which have more of a blue tone and would help make the roofing pop. She felt that adding a window on the side elevation in the garage was a great idea, although she understood the petitioner's concerns about security. She suggested adding closed shutters with trim instead, to create the appearance of a window that would improve the scale of the elevation. She also suggested increasing the size of the covering over the door on the rear elevation, by either changing the shape of the entry or changing the roof to a shed roof to provide a minimum of 3-feet of covered space. Commissioner Kingsley also stated that she likes how the front porch extends from the garage; however, this left only 2-feet from the front of the garage to the front of the column on the right side, and she suggested either pulling the front porch out more or reducing the projection to omit the small gap between the column and the wall. Chair Eckhardt added that the front porch is allowed to project 8-feet wide and 4-feet deep into the front yard. Commissioner Kingsley also added a suggestion to lower the space above the header of the garage to make it appear lower.

Chair Eckhardt agreed with the suggestion to bring the front porch further out, and he agreed with Commissioner Fasolo's comments about adding masonry or stone on the front elevation. He explained that he built a similar home in Park Ridge and used simulated stone on the front elevation and wrapped it all the way around the home with a flared siding transition detail, which turned out really well. The petitioner asked for clarification on where the stone would be located and Chair Eckhardt replied that the stone would be directly below the height of the front window, which would give beautiful character to the home. Chair Eckhardt also agreed that the brown tone of the proposed roof shingle would not work with the blue siding color, and he suggested a shingle color in a charcoal or black tone. He also agreed with the recommendation to add framed shutters on the side elevation instead of a window, and he agreed with the suggestion to increase coverage over the door on the rear elevation.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER FASOLO, TO APPROVE THE PROPOSED ARCHITECTURAL DESIGN FOR THE NEW SINGLE-FAMILY HOME TO BE LOCATED AT 705 N. KASPAR AVENUE. THIS APPROVAL IS BASED ON THE ARCHITECTURAL PLANS RECEIVED 2/08/17, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A RECOMMENDATION TO CONSIDER A DIFFERENT ROOF SHINGLE COLOR TO BETTER COMPLEMENT THE BLUE SIDING.
2. A RECOMMENDATION TO BRING THE FRONT PORCH OUT FURTHER, APPROXIMATELY 2-FEET, TO ALLOW FOR USABLE FURNITURE.
3. A RECOMMENDATION TO CONSIDER ADDING A STONE BASE TO THE HOME, APPROXIMATELY 36 TO 42-INCHES IN HEIGHT.
4. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.
5. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.

Commissioner Kingsley suggested a recommendation that the petitioner consider adding a larger covering over the back entry door, and adding shutters on the side elevation in the garage.

A MOTION WAS MADE BY COMMISSIONER KUBOW AND SECONDED BY COMMISSIONER KINGSLEY, TO AMEND THE MOTION AS FOLLOWS:

6. A RECOMMENDATION THAT THE PETITIONER CONSIDER ADDING A LARGER COVERING OVER THE ENTRY DOOR ON THE REAR ELEVATION.
7. A RECOMMENDATION TO ADD SOME TYPE OF ADDITIONAL FENESTRATION ON THE RIGHT SIDE ELEVATION AT THE GARAGE, SUCH AS A WINDOW OR SHUTTERS.
8. A RECOMMENDATION TO ADJUST THE ROOFLINE ABOVE THE GARAGE DOOR, TO MINIMIZE THE GAP BETWEEN THE HEADER AND ROOF.

Mr. Hautzinger clarified that the recommendation is to consider a cooler roof shingle color to better complement the siding color, and Commissioner Kubow agreed. Commissioner Kingsley specifically called out the colors 'Slate' and 'Georgetown', which have a grey-blue tone. Commissioner Fasolo suggested making the roof shingle color change a requirement, which the petitioner was not opposed to.

A MOTION WAS MADE BY COMMISSIONER KUBOW TO AMEND THE MOTION AS FOLLOWS:

1. A REQUIREMENT THAT THE ROOF SHINGLE COLOR BE CHANGED TO A COOLER COLOR PALETTE.

FASOLO, AYE; KINGSLEY, AYE; KUBOW, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 2. GENERAL MEETING

Chair Eckhardt asked for an update on Electronic Signs Village-wide and Staff gave a brief update. Mr. Hautzinger reported that a memo was recently sent to the Village Board outlining an option to allow electronic signs along primary commercial corridors, and no objections or comments were received back. Staff is now drafting the code amendments and awaiting a response from the Village Board as to whether or not the Design Commission will review the proposed amendments. Chair Eckhardt questioned why the commissioners would not review the final code amendments language, since this is how it has been done with previous sign code amendments, and the Design Commission reviews sign variations. Mr. Hautzinger agreed and offered to share the Design Commission's feedback. Commissioner Kubow asked how the specific corridors were determined for where electronic signs will be allowed, and Mr. Hautzinger explained that Staff reviewed all of the primary arterial roads throughout the Village and identified those areas where there is no residential adjacent or across the street. He explained that specific standards and limitations will be required for the signs. Commissioner Kingsley referred Commissioner Kubow to the map created by Staff that highlights these corridors, which was included in the packet for the sign variation at Arlington Racecourse. Commissioner Kubow felt that the 3 locations being recommended for electronic signs make sense. Mr. Hautzinger clarified that in all cases, a conditional review will be required for each electronic sign through the Design Commission, with final approval by the Village Board, similar to a sign variation review.

A MOTION WAS MADE BY COMMISSIONER KINGSLEY, SECONDED BY COMMISSIONER KUBOW, TO ADJOURN THE MEETING AT 7:05 P.M. ALL WERE IN FAVOR. THE MOTION CARRIED.



Item: DC#17-012 - 403 E. Eastman St. - SF/Addition

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for an addition to an existing single-family residence.

Recommendation

It is recommended that the Design Commission **evaluate** the proposed addition to the existing single-family residence located at 403 E. Eastman Street. This recommendation is based upon the architectural plans received on 2-10-17, and the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
2. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report

Supporting Documents & Drawings

Type

Board or Commission Report

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: Heaton Residence
Project Address: 403 E. Eastman Street
Prepared By: Steve Hautzinger

Date Prepared: March 7, 2017

PETITION INFORMATION:

DC Number: 17-012
Petitioner Name: Keith Ginnodo
Petitioner Address: Kingsley Ginnodo Architects
33 N. Hickory Ave.
Arlington Heights, IL 60004
Meeting Date: March 14, 2017

Requested Action(s): Approval of the proposed architectural design for an addition to an existing single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to add two small additions and a new wrap-around front porch to an existing single-story house. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 8,844 square feet and the residence, with the proposed additions, will have approximately 2,380 square feet. This project complies with all of the R-3 zoning requirements except for the following: The proposed Building Lot Coverage is 3,374 square feet which exceeds the maximum allowed 3,095 square feet. Also, the proposed front porch encroaches approximately 3 inches into the required exterior side setback. The plans will either need to be revised, or zoning variations requested from the Zoning Board of Appeals.

	ALLOWED	PROPOSED
Setbacks	Front: 25.87 feet Side: 6.7 feet Exterior Side: 12.27 feet Rear: 30 feet	Front: 25.2 feet (existing) 25.9 feet to new porch Side: 3 feet (existing) 8.5 feet to new addition Exterior Side: 12.77 feet (existing) 12.0 feet to new porch Rear: 30.22 (existing, no change)
Building Height	25 feet to the midpoint	17.83 feet to the midpoint
FAR	3,976 SF	2,380 SF
Building Lot Coverage	3,095 SF	3,374 SF
Impervious Surface Coverage Total	4,422 SF	4,110 SF

The proposed front porch addition is a nice feature on this corner lot, and the decorative porch columns and new stone base are nicely designed. The concern with the design is the proposed intersecting gable roof form located above the existing roof. The petitioner explained that the new gable roof form is required to receive the new porch roof, but the massing and scale of the proposed roof is somewhat out of context with the existing home, and it should be evaluated by the Design Commission.

One of the goals of the Village's Single-Family Design Guidelines is that "*New additions will look like they belong and not dominate or change the character of the original building*". Staff suggests either reducing the pitch of the proposed gables to match the pitch of the existing roof, or expanding the existing main hipped roof over the new front porch.

RECOMMENDATION:

It is recommended that the Design Commission **evaluate** the proposed addition to the existing single-family residence located at 403 E. Eastman Street. This recommendation is based upon the architectural plans received on 2-10-17, and the following:

1. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
2. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

March 7, 2017

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 17-012



Scale: 1" = 20'

PLAT OF SURVEY

LOT 1 IN BLOCK 4 OF THE EAST SIDE SUBDIVISION OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 (EXCEPT THE WEST 66 FEET THEREOF) OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

East Eastman Street

66.00' Right of Way

Belmont Avenue

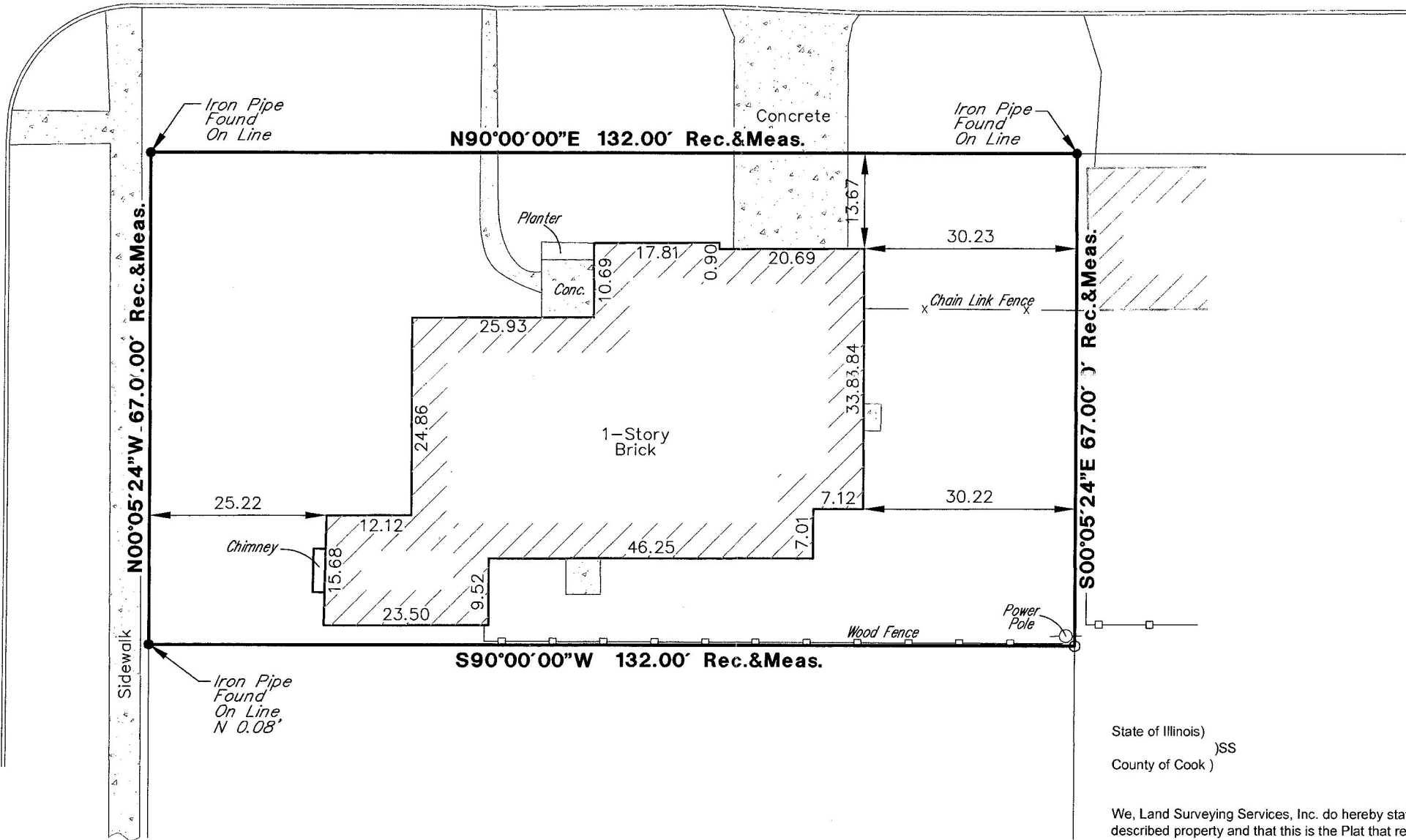
66.00' Right of Way

Legend:

- -Set 1/2" Iron Pipe
- -Found Iron Pipe
- X -Found Cross

Surveyor Notes:

- Field Work Completed on 4-18-08
- Prepared for Survey Services, Inc., for real estate transaction.
- Site Address: 403 E. Eastman Street, Arlington Heights, Illinois 60004
- Pin No.: 03-29-330-001
- The easements shown hereon are provided from the current title and the use of the recorded subdivision plat. No search of the records for easements or encumbrances was made as part of this survey.
- Compare deed description and site conditions with the data given on this plat and report any discrepancies to the surveyor at once.



State of Illinois)
County of Cook)

We, Land Surveying Services, Inc. do hereby state that we have surveyed the above described property and that this is the Plat that represents the conditions found at the time of said survey.

Given under my hand and seal this 22nd day of April, A.D. 2008 in Palatine, Illinois.

Gloria Jean Kotler, an agent for Land Surveying Services, Inc.

Illinois Professional Land Surveyor Number 3323
License Expiration Date 11-30-08

This professional service conforms to the current Illinois minimum standards for a boundary survey.

Drawn By:	JLR	Checked By:	GJK
REV.#	Date	Drawn	Checked

Field Work Completed:	01-26-08
Scale:	1" = 20'
Date:	01-28-08
Site Address:	403 E. Eastman Street Arlington Heights, Illinois

Land Surveying Services, Inc.
574 W. Calfax Street
Palatine, Illinois 60067
Ph. (847)991-7700 Fax. (847)991-7707
Professional Design Firm License No. 184-003632

Job Number
LS080316

Sheet Name
PLAT OF SURVEY

Sheet Number
SURVEY



EXISTING HOUSE



PROPERTY TO NORTH 3
311 N. Belmont Ave.



PROPERTY TO NORTH 2
307 N. Belmont Ave.



PROPERTY TO NORTH 1
303 N. Belmont Ave.



PROPERTY ACROSS NORTH 1
314 E. Eastman St.

East Eastman St.



SUBJECT PROPERTY
403 E. Eastman Ave.



PROPERTY TO SOUTH 1
211 N. Belmont Ave.



PROPERTY TO SOUTH 2
207 N. Belmont Ave.



PROPERTY TO SOUTH 3
203 N. Belmont Ave.

North Belmont Ave.



PROPERTY ACROSS
216 N. Belmont Ave.



PROPERTY ACROSS SOUTH 1
212 N. Belmont Ave.

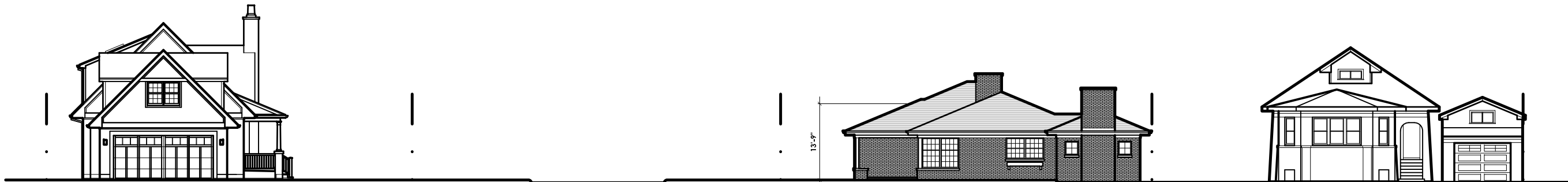
East Miner St.

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DC1

2.2.17
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403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004

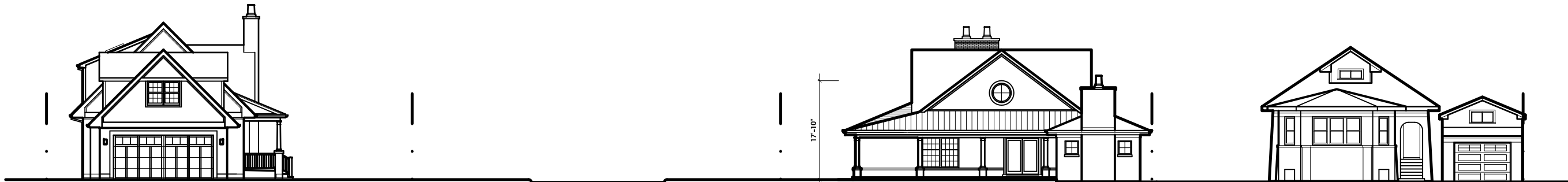


303 N. BELMONT AVE.

403 E. EASTMAN ST.

211 N. BELMONT AVE.

1 **EXISTING CONTEXT ELEVATIONS**
1" = 20'-0"



303 N. BELMONT AVE.

403 E. EASTMAN ST.

211 N. BELMONT AVE.

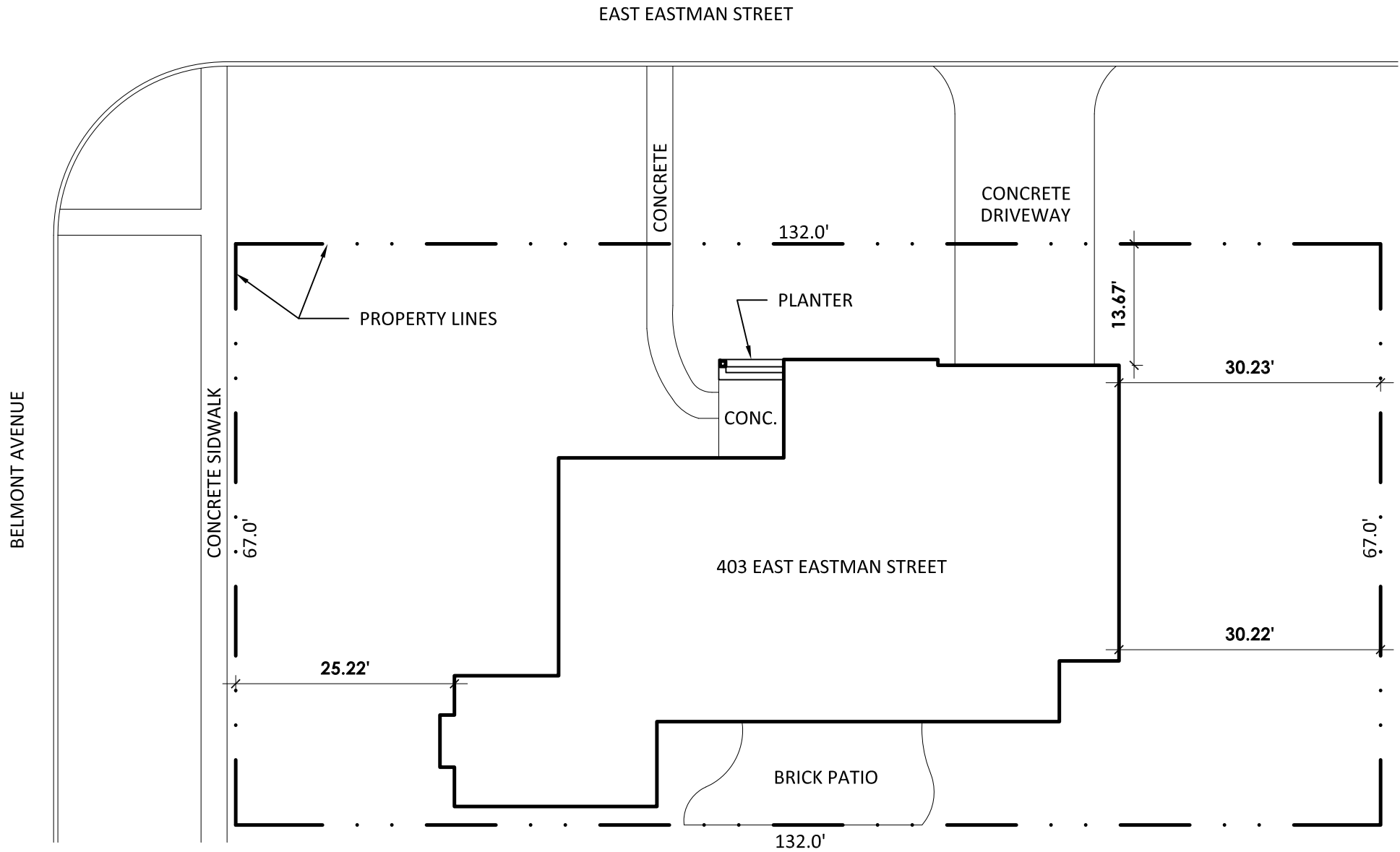
2 **PROPOSED CONTEXT ELEVATIONS**
1" = 20'-0"



KYLE AND KRISTINA HEATON
403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004

DRAWING INDEX

EX0	EXISTING SITE PLAN
EX1	EXISTING BASEMENT PLAN
EX2	EXISTING FIRST FLOOR PLAN
EX4	EXISTING ROOF PLAN
EX5	EXISTING NORTH ELEVATION
EX6	EXISTING EAST ELEVATION
EX7	EXISTING SOUTH ELEVATION
EX8	EXISTING WEST ELEVATION



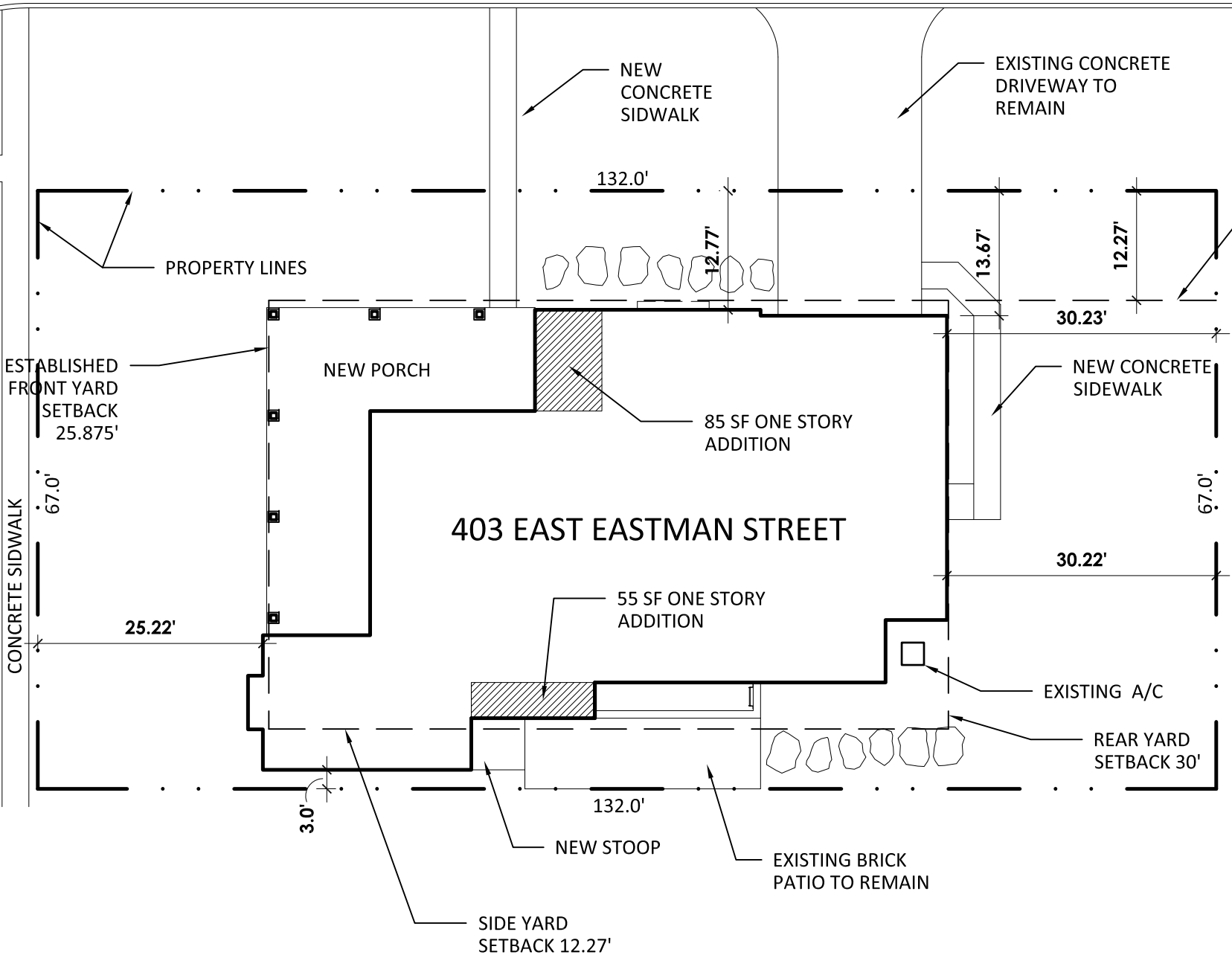
1 EXISTING SITE PLAN
1/16" = 1'-0"

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BELMONT AVENUE

EAST EASTMAN STREET



DRAWING INDEX

A0	SITE PLAN
A1	BASEMENT PLAN
A2	FIRST FLOOR PLAN
A4	ROOF PLAN
A5	NORTH ELEVATION
A6	EAST ELEVATION
A7	SOUTH ELEVATION
A8	WEST ELEVATION

SIDE YARD SETBACKS

E. EASTMAN ST.	
216 N. HADDOW	11'-9 1/4"
403 E. EASTMAN	12'-9 1/4"
AVERAGE:	12'-3 1/4"

ESTABLISHED EXTERIOR SIDE YARD SETBACK = 12.27'

N BELMONT AVE.	
403 E. EASTMAN	26'-5"
211 N. BELMONT	29'-6"
207 N. BELMONT	24'-10"
203 N. BELMONT	22'-9"
AVERAGE:	25'-10.5"

ESTABLISHED FRONT YARD SET BACK = 25.875'

1 PROPOSED SITE PLAN
1/16" = 1'-0"



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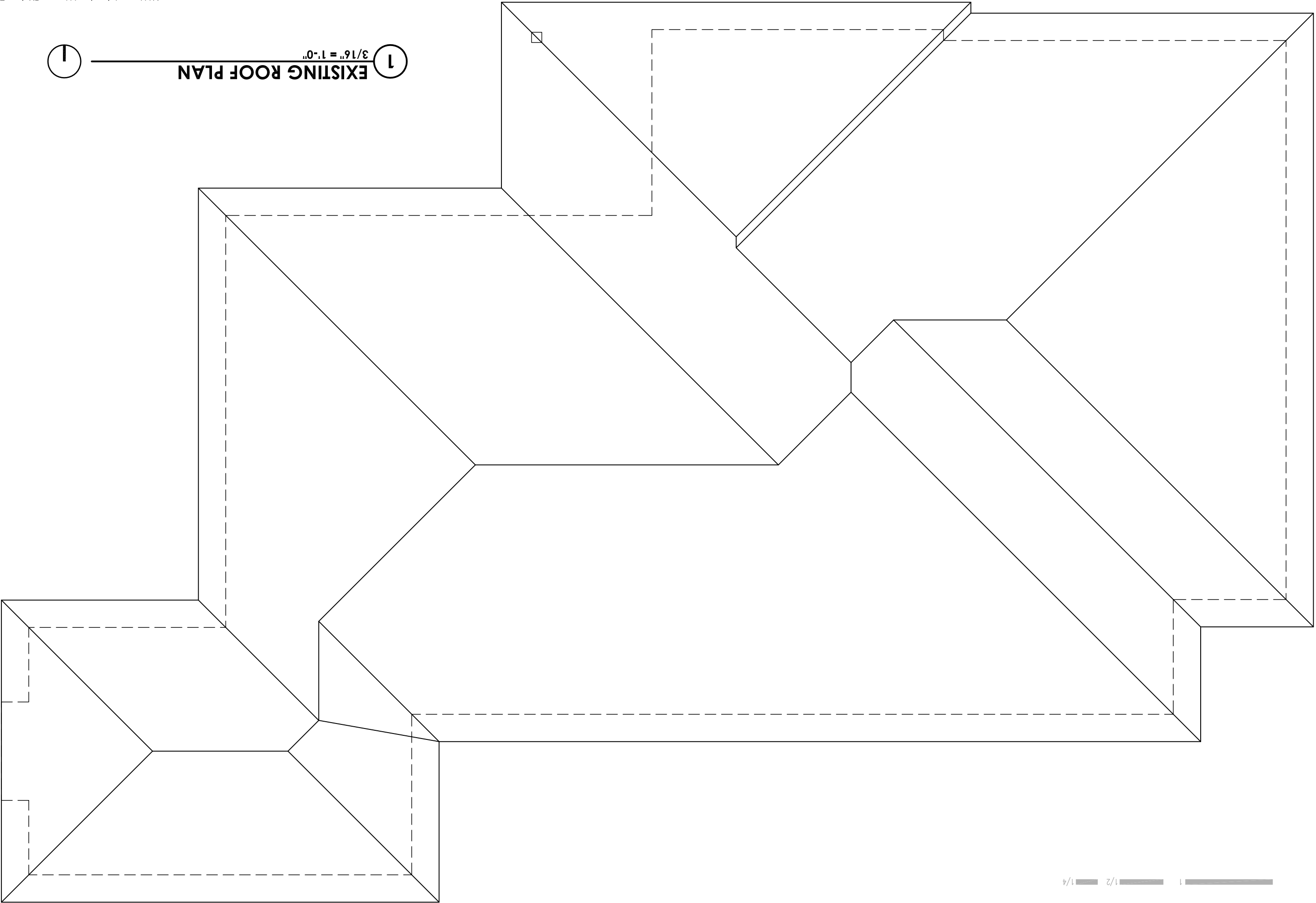
A0

22.17

1.13.17

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1
1/2
1/4



1

EXISTING ROOF PLAN
3/16" = 1'-0"

1

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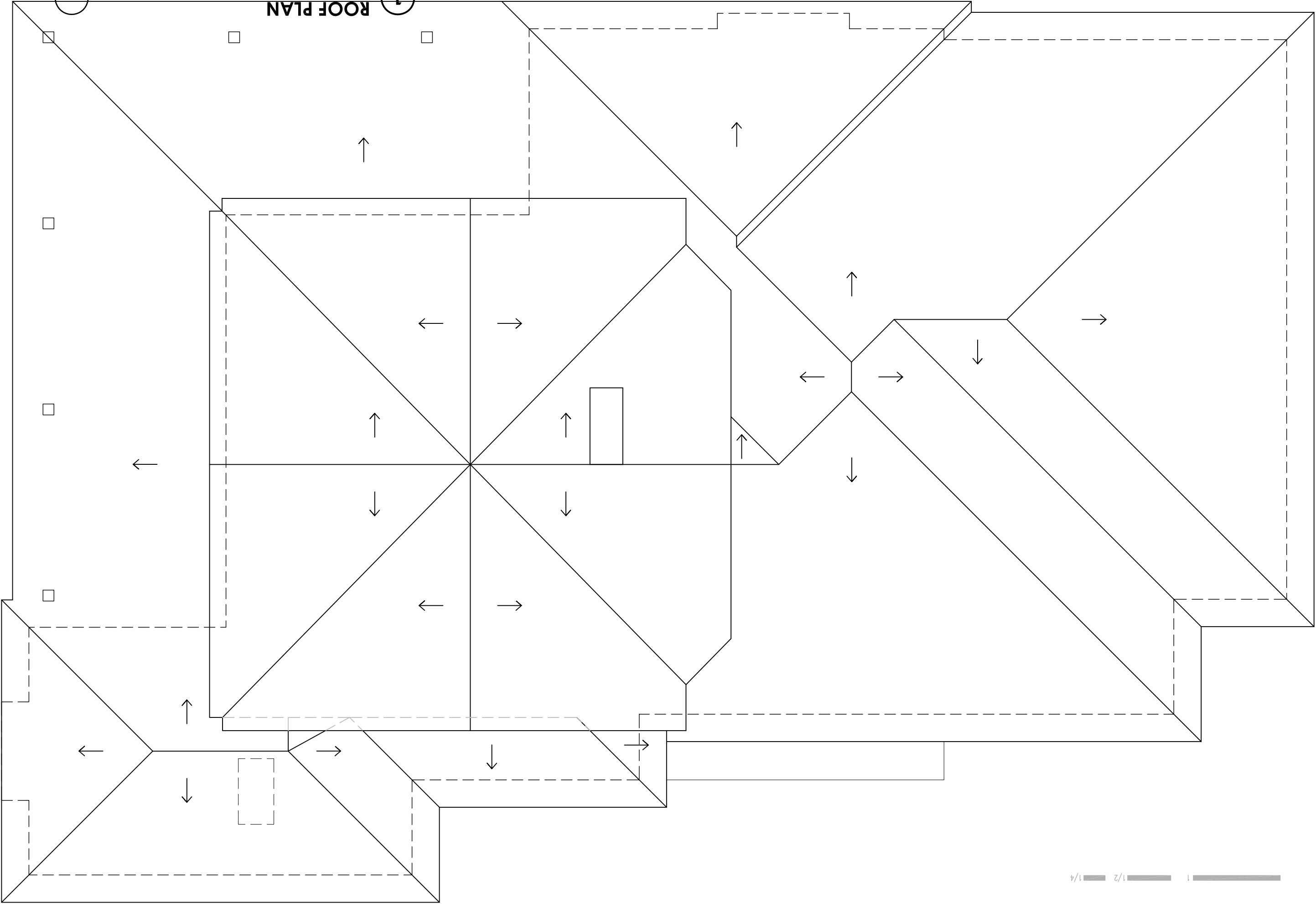


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7.29.16

EX4

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1
3/16" = 1'-0"
ROOF PLAN

1 1/2 1/4

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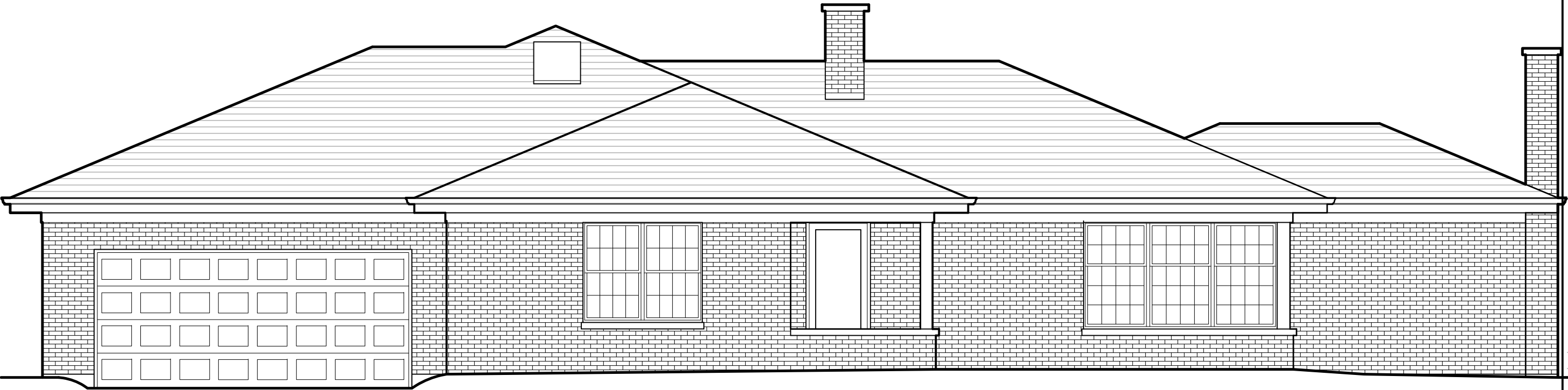


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2.217
1.13.17

A4

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1 EXISTING NORTH ELEVATION
3/16" = 1'-0"

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EX5

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KYLE AND KRISTINA HEATON

403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004

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MATERIAL LIST

- Siding: Cement fiber shingle siding - "Night Gray" or "Aged Pewter" (or similar by another company)
- Brick: Match existing brick
- Stone: Natural Veneer
- Windows: Cashmere, Integrity Windows by Marvin
- Trim: Color to match windows
- Column: Melton Duraclassic composite, paint to match trim
- Gutters/Leaders: Prefinished aluminum, to match trim
- Roof shingles: Georgetown Gray, textured asphalt, by GAF (or color match by another company)
- Metal Roofing: Standing Metal Seam, PAC Clad aluminum, "Dark Bronze"



1 NORTH ELEVATION
3/16" = 1'-0"

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A5

2.27.17

2.2.17



KYLE AND KRISTINA HEATON

403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004



1 EXISTING WEST ELEVATION
3/16" = 1'-0"

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EX8

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1 PROPOSED WEST ELEVATION
3/16" = 1'-0"

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1 EXISTING SOUTH ELEVATION
3/16" = 1'-0"

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EX7

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1 SOUTH ELEVATION
3/16" = 1'-0"

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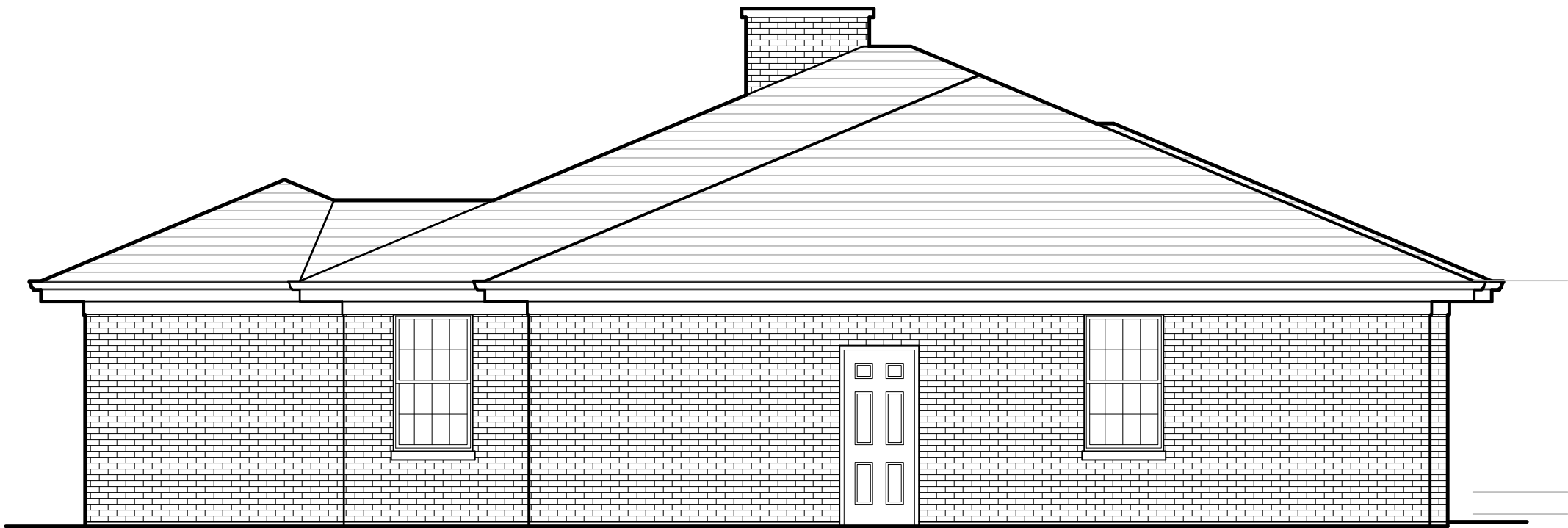


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A7

2.2.17

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1 EXISTING EAST ELEVATION
3/16" = 1'-0"

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EX6

7.29.16

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1 EAST ELEVATION
3/16" = 1'-0"

KYLE AND KRISTINA HEATON
403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004



KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV. ARLINGTON HTS. IL 60004

2.2.17

A8

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HEATON RESIDENCE: 403 EAST EASTMAN STREET
MATERIAL LIST

LIST OF PRIMARY COLORS, TEXTURES AND MATERIALS TO BE USED:

1. Petitioner Name: Kingsley + Ginnodo Architects
2. Date: February 27, 2017
3. Project: Heaton Residence
4. Location: 403 E. Eastman Street

Addition:

Shingle Siding : Cement Fiber, "Night Gray"
Or "Aged Pewter" or similar
by another company

Trim: Cement Fiber, by James
Hardie to match windows -
or similar by another
company

Windows: "Cashmere" by Marvin - or
similar by another company

Columns: Composite, painted to match
windows and trim

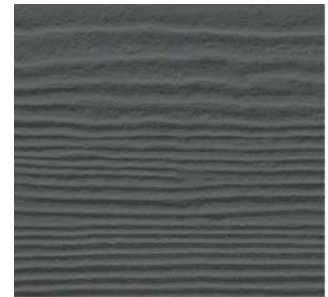
Gutters/Leaders: Prefinished aluminum, to
match trim

Roof shingles: Textured asphalt,
"Georgetown Gray"
by CertainTeed - or similar
by another company

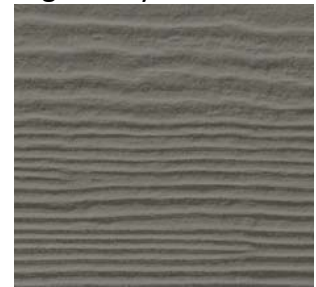
Metal Roof: Aluminum standing metal
seam, "Dark Bronze"

Brick: Match existing

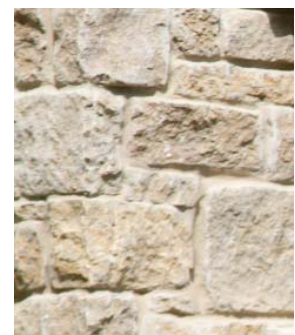
Stone: Veneer natural stone



Night Gray



Aged Pewter





Item: DC#17-014 - 1510 N. Ridge Ave. - SF/Teardown

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 1510 N. Ridge Avenue. This recommendation is subject to compliance with the architectural plans received on 2/15/16, and the following:

1. Lower the porch/garage roof at least one foot.
2. Continue the board and batten siding from the front elevation on the second floor of the side and rear elevations.
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report

Supporting Documents & Drawings

Type

Board or Commission Report

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 1510 N. Ridge Ave.
Project Address: 1510 N. Ridge Ave.
Prepared By: Steve Hautzinger

Date Prepared: March 8, 2017

PETITION INFORMATION:

DC Number: 17-014
Petitioner Name: Pamela Moros
Petitioner Address: David Weekley Homes
1930 Thoreua Dr., Suite 160
Schaumburg, IL 60173
Meeting Date: March 14, 2017

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to demolish an existing single story residence with a one car attached garage to allow construction of a new two story residence with an attached, two car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of approximately 9,251 square feet and the proposed residence will have approximately 3,406 square feet. The proposed design does comply with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 30 feet Side: 7.4 feet Side: 7.4 feet Rear: 30 feet	Front: 35 feet Side: 8 feet Side: 8.42 feet Rear: 56.31 feet
Building Height	25 feet to the midpoint	24.8 feet to the midpoint
FAR	4,138 SF	3,406 SF
Building Lot Coverage	3,238 SF	2,061 SF
Impervious Surface Coverage Total	4,625 SF	2,876 SF

The existing neighborhood consists primarily of single-story homes with one car attached garages. This project is appearing before the Design Commission due to past concerns in this neighborhood regarding teardown/new construction, and to evaluate the proposed architectural design with the context of the neighborhood. Although the neighborhood is predominantly single story homes, it should be noted that there are a few other teardowns previously completed on this block, and numerous teardowns completed throughout the neighborhood.

The front elevation is nicely designed with varying roof forms and a nice mix of materials, and the hipped main roof works well to reduce the height of the side walls and reduce the overall mass of the proposed new house. The single story porch/garage roof helps the design to fit in with the context of the single story neighborhood, but it is recommended to lower the garage/porch roof at least one foot to better relate to the scale of the adjacent houses.

The exterior materials and colors are nicely coordinated, and the stone detailing on the front is wrapped down the sides to a good transition point. The board and batten siding on the front elevation is a very nice detail, but it is recommended that it be continued on the second floor of the side and rear elevations for a more cohesive appearance.

RECOMMENDATION:

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 1510 N. Ridge Avenue.

This recommendation is subject to compliance with the architectural plans received on 2/15/16, and the following:

1. Lower the porch/garage roof at least one foot.
2. Continue the board and batten siding from the front elevation on the second floor of the side and rear elevations.
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

March 8, 2017

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 17-014

PLAT OF SURVEY

PROPERTY DESCRIPTION:

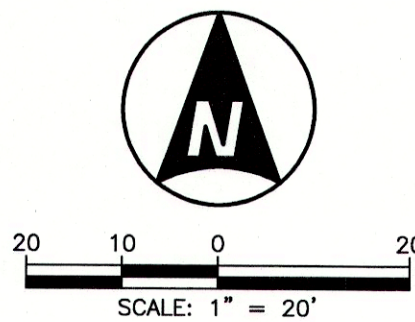
LOT 10 IN BLOCK 6 IN HASBROOK SUBDIVISION UNIT NO. 3, OF PART OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS ON SEPTEMBER 8, 1958 AS DOCUMENT 1816395.

AREA:

PROPERTY CONTAINS 9,251 SQUARE FEET OR 0.212 ACRES MORE OR LESS

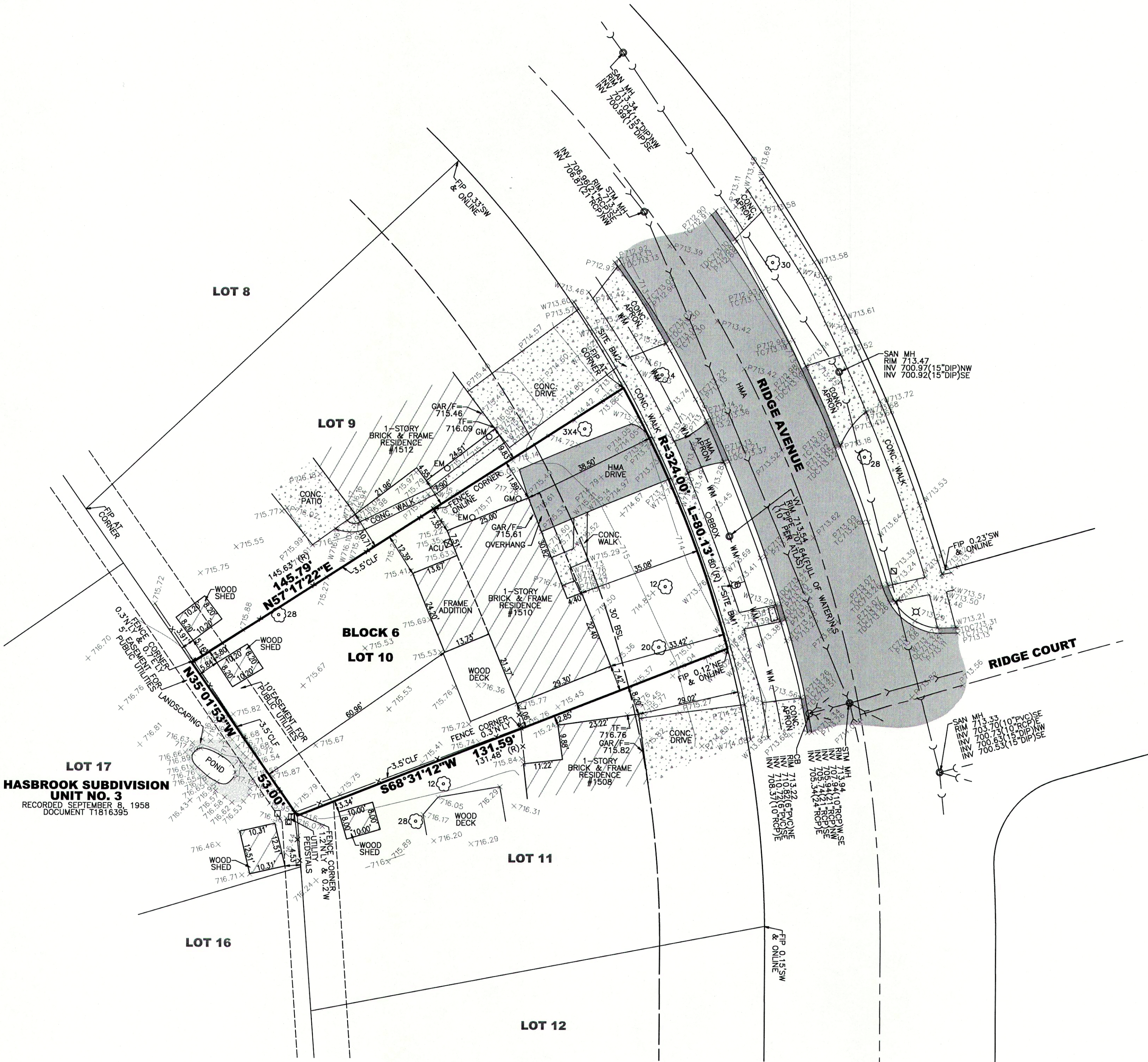
P.I.N.:

03-19-211-011



LEGEND:

- SANITARY SEWER
- STORM SEWER
- COMBINED SEWER
- WATER MAIN
- FORCE MAIN
- UNDERDRAIN
- CABLE TV LINE
- ELECTRIC LINE
- FIBER OPTIC LINE
- GAS LINE
- TELEPHONE LINE
- OVERHEAD WIRE
- FENCE
- GUARDRAIL
- BUSH LINE
- TREE LINE
- RAILROAD
- EDGE OF WATER
- MANHOLE (STMH/SAMH)
- CATCH BASIN (CB)
- INLET (INL)
- FLARED END SECTION (FES)
- VALVE VAULT (VV)
- VALVE BOX (VB)
- BUFFALO BOX (BB)
- FIRE HYDRANT (FH)
- AUXILIARY VALVE (AV)
- CLEANOUT (CO)
- BOLLARD (BOL)
- GAS VALVE (GV)
- ELECTRIC MANHOLE (EMH)
- TELEPHONE MANHOLE (TMH)
- HANDHOLE (HH)
- TRAFFIC SIGNAL BOX (TSB)
- TRAFFIC SIGNAL (TS)
- LIGHT (LHT)
- GROUND LIGHT (GLHT)
- POWER POLE (PP)
- GUY WIRE (GW)
- CABLE PEDESTAL (PEDC)
- ELECTRIC PEDESTAL (PEDE)
- TELEPHONE PEDESTAL (PEDT)
- SIGN
- MAILBOX (MB)
- DECIDUOUS TREE (SIZE IN INCHES)
- CONIFEROUS TREE (SIZE IN INCHES)
- BUSH
- CONTOUR LINE
- SPOT ELEVATION
- PAVEMENT ELEVATION
- TOP OF CURB ELEVATION
- TOP OF DEPRESSED CURB ELEVATION
- WALK ELEVATION
- AIR CONDITIONER UNIT
- B/WALL
- BSL
- DEED
- DIP
- DUCTILE IRON PIPE
- ELECTRIC METER
- FINISHED FLOOR
- GARAGE FLOOR
- GRADE AT FOUNDATION
- GAS METER
- INVERT
- MEASURED
- PUE
- PVC
- RECORD
- RCP
- REINFORCED CONCRETE PIPE
- RETAINING WALL
- SA
- SANITARY
- ST
- T/F
- TOP OF FOUNDATION
- T/P
- TOP OF PIPE
- T/WALL
- TOP OF WALL
- TRANS
- TRANSFORMER
- FIP
- FOUND IRON PIPE
- FRRS
- FOUND RAIL ROAD SPIKE
- CONCRETE (CONC)
- GRAVEL
- HOT MIX ASPHALT (HMA)
- BUILDING
- BARRIER CURB
- B 6.12 CURB & GUTTER
- B 6.24 CURB & GUTTER
- DEPRESSED CURB



BENCHMARKS:

SOURCE BENCHMARK(VILLAGE OF ARLINGTON HEIGHTS MONUMENT 32): BRASS DISC IN CONCRETE APPROXIMATELY 44 FEET SOUTH OF THE CENTERLINE OF FRONTAGE ROAD(PALATINE ROAD) AND 21 FEET EAST OF THE CENTERLINE OF FERNANDEZ AVENUE(STAMPED 114B). ELEVATION = 713.78

SITE BENCHMARK #1: ARROW BOLT ON FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF RIDGE AVENUE, AT THE SOUTHEASTERLY CORNER OF PROPERTY. ELEVATION = 715.17

SITE BENCHMARK #2: CUT CROSS IN SIDEWALK ON THE SOUTH SIDE OF RIDGE AVENUE AT THE NORTHEASTERLY CORNER OF PROPERTY. ELEVATION = 713.64

GENERAL NOTES:

- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
- ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISIONS ARE SHOWN HERE ON. REFER TO THE DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS.
- COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT AND DISCREPANCIES TO THE SURVEYOR AT ONCE.
- NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENTS.
- CERTIFIED COPIES OF THIS SURVEY BEAR AN IMPRESSED SEAL.

SURVEYOR'S NOTES:

- THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
- BUILDING DIMENSIONS AND TIES SHOWN HEREON ARE MEASURED FROM THE OUTSIDE FACE OF CONCRETE FOUNDATION.
- SURVEY IS BASED ON FIELD WORK COMPLETED 10/12/2016.
- PROPERTY NOT MONUMENTED AT THIS TIME AT CLIENT'S REQUEST.

STATE OF ILLINOIS
COUNTY OF COOK

WE, MACKIE CONSULTANTS LLC, AN ILLINOIS PROFESSIONAL DESIGN FIRM NUMBER 184-002694, HEREBY CERTIFY THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT REPRESENTS THE CONDITIONS FOUND AT THE TIME OF SAID SURVEY.

GIVEN UNDER MY HAND AND SEAL THIS 8TH DAY OF February 2017 IN ROSEMONT, ILLINOIS.

RUSSELL W. OLSEN
EMAIL: rolsen@mackieconsult.com
ILLINOIS PROFESSIONAL LAND SURVEYOR NUMBER 035-002718
LICENSE EXPIRES: NOVEMBER 30, 2016

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847)696-1400
www.mackieconsult.com

CLIENT:

David Weekley Homes

1930 THOREAU DRIVE
SUITE 160
SCHAUMBURG, IL 60173

		DESIGNED	
		DRAWN	MRD
		APPROVED	RWO
		DATE	10-14-16
DATE	DESCRIPTION OF REVISION	BY	SCALE 1"=20'

PLAT OF SURVEY
1510 N. RIDGE AVENUE
ARLINGTON HEIGHTS, ILLINOIS

SHEET

1 OF **1**

PROJECT NUMBER: 3106
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ILLINOIS FIRM LICENSE 184-002694

DEMOLITION PLAN

PROPERTY DESCRIPTION:

LOT 10 IN BLOCK 6 IN HASBROOK SUBDIVISION UNIT NO. 3, OF PART OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS ON SEPTEMBER 8, 1958 AS DOCUMENT 1816395.

AREA:

PROPERTY CONTAINS 9,251 SQUARE FEET OR 0.212 ACRES MORE OR LESS

P.I.N.:

03-19-211-011

DEMOLITION NOTES:

- CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR DEMOLITION WORK AND ASSOCIATED UTILITY DISCONNECT FEES.
- THE VILLAGE OF ARLINGTON HEIGHTS AND THE OWNER SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THIS PLAN WAS PREPARED FROM TOPOGRAPHIC SURVEY PREPARED BY MACKIE CONSULTANTS, LLC SURVEYING DATED 02/27/16 AND AVAILABLE RECORDS. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES SHOWN AND NOT SHOWN BEFORE COMMENCING WORK AND NOTIFY THE ENGINEER OR OWNER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES PRIOR TO BEGINNING DEMOLITION WORK FOR THE EXACT LOCATIONS OF THE UTILITIES. THE CONTRACTOR SHALL ARRANGE FOR THE DISCONNECTION, PROTECTION OR RELOCATION OF ANY EXISTING UTILITY SERVICES, INCLUDING WATER, SEWER, GAS, ELECTRIC, TELEPHONE AND CABLE.
- THE CONTRACTOR IS REQUIRED TO ASSURE HIMSELF OF LOCATION AND DEPTH OF EXISTING UTILITIES AND RELATED FEATURES AND SHALL REPORT AT ONCE TO THE OWNER OR ENGINEER ANY DISCREPANCIES WITH RESPECT TO INFORMATION INDICATED IN THE CONTRACT DOCUMENTS.
- ALL BITUMINOUS PAVEMENT AND BUILDING MATERIALS SHALL BE REMOVED TO AN OFFSITE LOCATION. GRAVEL BASE MATERIALS SHALL BE STOCKPILED ONSITE AND USED FOR TEMPORARY ROADS OR GENERAL FILL, AS APPROVED BY THE OWNER OR DEVELOPER. ANY BASE MATERIALS REMAINING UPON COMPLETION OF THE PROPOSED IMPROVEMENTS SHALL BE HAULED TO AN OFFSITE LOCATION.
- ALL UTILITIES TO REMAIN AS NOTED SHALL BE ADJUSTED TO THE FINAL GRADES AS PROVIDED ON THE UTILITY PLANS.
- GAS, TELEPHONE AND ELECTRIC DISTRIBUTION SYSTEM REMOVALS AND ADJUSTMENTS SHALL BE DONE BY RESPECTIVE UTILITY AND PAID FOR SEPARATELY BY OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THIS WORK INCIDENTAL TO THE CONTRACT. ALL ENVIRONMENTAL REMEDIATION WILL BE COMPLETED BY OWNER PRIOR TO START OF CONSTRUCTION.
- ALL EXISTING UTILITIES ARE TO REMAIN IN SERVICE UNLESS SPECIFICALLY SHOWN TO BE REMOVED.
- ALL EXISTING TREES, BRUSH, AND MISCELLANEOUS APPURTENANCES, SUCH AS FENCES, WHEEL STOPS, POLES LIGHTS AND MISCELLANEOUS DEBRIS SHALL BE HAULED TO AN OFFSITE LOCATION AS MARKED.
- ANY EXISTING PAVEMENT TO REMAIN SHALL BE BROKEN UP IN PLACE TO PROVIDE ADEQUATE DRAINAGE.
- THE CONTRACTOR SHALL ENSURE THAT ALL ADJOINING AREAS, INCLUDING ADJACENT STREETS AND DRIVEWAYS, SHALL BE FREE OF DEBRIS AT ALL TIMES.
- PAVEMENT, CURB AND GUTTER AND SIDEWALK SHALL BE SAWCUT FULL DEPTH AT THE LIMITS OF REMOVAL.
- ALL TREES TO REMAIN SHALL BE PROTECTED WITH SILT FENCE OR ORANGE CONSTRUCTION FENCES. PROTECTIVE FENCING SHALL BE PLACED AT THE DRIP LINE OF THE TREE TO BE SAVED. CONSTRUCTION WITHIN THE FENCE WITHOUT PERMISSION FOR THE OWNER OR VILLAGE/CITY IS STRICTLY PROHIBITED.
- ANY DAMAGE DONE TO EXISTING STRUCTURES OR OBJECTS NOT SHOWN TO BE REMOVED OR REPLACED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- NO OPEN CUTTING OF ROADWAYS FOR UTILITY CONNECTIONS SHALL OCCUR WITHOUT AUTHORIZATION BY THE VILLAGE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

BENCHMARKS:

SOURCE BENCHMARK(VILLAGE OF ARLINGTON HEIGHTS MONUMENT 32): BRASS DISC IN CONCRETE APPROXIMATELY 44 FEET SOUTH OF THE CENTERLINE OF FRONTAGE ROAD(PALATINE ROAD) AND 21 FEET EAST OF THE CENTERLINE OF FERNANDEZ AVENUE(Stamped 1146). ELEVATION = 713.78

SITE BENCHMARK #1: ARROW BOLT ON FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF RIDGE AVENUE AT THE SOUTHEASTERLY CORNER OF PROPERTY. ELEVATION = 715.17

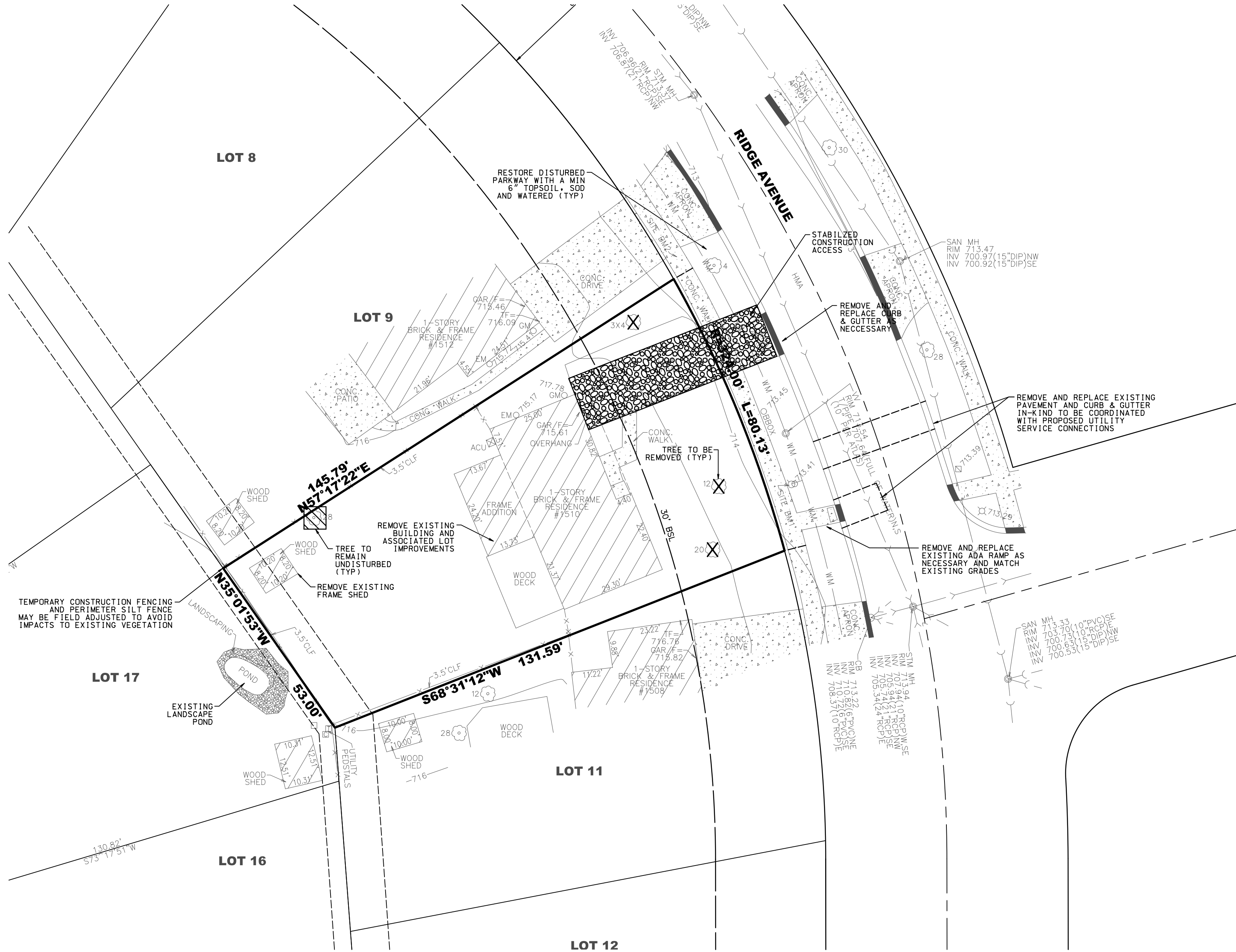
SITE BENCHMARK #2: CUT CROSS IN SIDEWALK ON THE SOUTH SIDE OF RIDGE AVENUE AT THE NORTHEASTERLY CORNER OF PROPERTY. ELEVATION = 713.64

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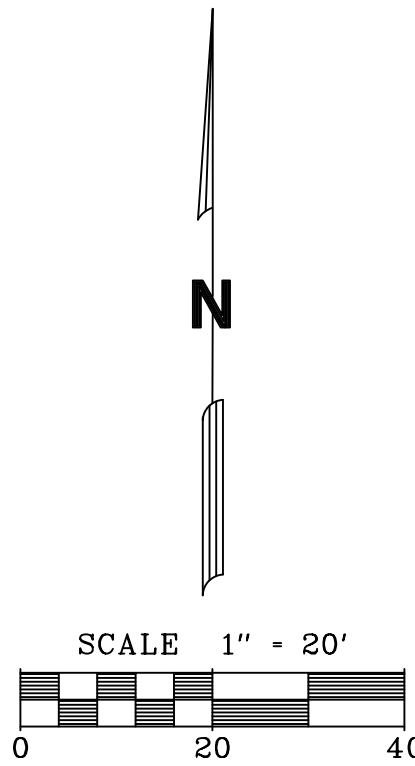
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- SURVEY IS BASED ON FIELD WORK COMPLETED 10/12/2016.
- PROPERTY NOT MONUMENTED AT THIS TIME AT CLIENT'S REQUEST.



LEGEND:

—	SANITARY SEWER	XXX	CONTOUR LINE
—	STORM SEWER	XXXXXX	SPOT ELEVATION
—	COMBINED SEWER	PXXXXXX	PAVEMENT ELEVATION
WM	WATER MAIN	TCXXXXXX	TOP OF CURB ELEVATION
FM	FORCE MAIN	TCXXXXXX	TOP OF DEPRESSED CURB ELEVATION
UD	UNDERDRAIN	WXXXXXX	WALK ELEVATION
CAV	CABLE TV LINE	ACU	AIR CONDITIONER UNIT
E	ELECTRIC LINE	B/WALL	BOTTOM OF WALL
FO	FIBER OPTIC LINE	BSL	BUILDING SETBACK LINE
G	GAS LINE	(D)	DEED
T	TELEPHONE LINE	DIP	DUCTILE IRON PIPE
OH	OVERHEAD WIRE	EM	ELECTRIC METER
—	FENCE	FF	FINISHED FLOOR
—	GUARDRAIL	FF	FINISHED FLOOR
—	BUSH LINE	GF	GRADE AT FOUNDATION
—	TREE LINE	GM	GAS METER
—	RAILROAD	INV	INVERT
—	EDGE OF WATER	(M)	MEASURED
○	MANHOLE (STMH/SAMH)	PUE	PUBLIC UTILITY EASEMENT
○	CATCH BASIN (CB)	PVC	POLYVINYL CHLORIDE PIPE
—	INLET (INL)	(R)	RECORD
—	FLARED END SECTION (FES)	RCP	REINFORCED CONCRETE PIPE
○	VALVE VAULT (VV)	RW	RETAINING WALL
○	VALVE BOX (VB)	SA	SANITARY
○	BUFFALO BOX (BB)	ST	STORM
○	FIRE HYDRANT (FH)	T/F	TOP OF FOUNDATION
○	AUXILIARY VALVE (AV)	T/P	TOP OF PIPE
○	CLEANOUT (CO)	T/WALL	TOP OF WALL
○	BOLLARD (BOL)	TRANS	TRANSFORMER
○	GAS VALVE (GV)	FIP	FOUND IRON PIPE
○	ELECTRIC MANHOLE (EMH)	FRRS	FOUND RAIL ROAD SPIKE
○	TELEPHONE MANHOLE (TMH)		CONCRETE (CONC)
○	HANDHOLE (HH)		GRAVEL
○	TRAFFIC SIGNAL BOX (TSB)		HOT MIX ASPHALT (HMA)
○	TRAFFIC SIGNAL (TS)		BUILDING
○	LIGHT (LHT)		BARRIER CURB
○	GROUND LIGHT (GLHT)		B 6.12 CURB & GUTTER
○	POWER POLE (PP)		B 6.24 CURB & GUTTER
○	GUY WIRE (GW)		DEPRESSED CURB
○	CABLE PEDESTAL (PEDC)		
○	ELECTRIC PEDESTAL (PEDE)		
○	TELEPHONE PEDESTAL (PEDT)		
○	SIGN		
○	MAILBOX (MB)		
○	DECIDUOUS TREE (SIZE IN INCHES)		
○	CONIFEROUS TREE (SIZE IN INCHES)		
○	BUSH		



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
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www.mackieconsult.com

CLIENT:

David Weekley Homes

1930 THOREAU DRIVE
SUITE 160
SCHAUMBURG, IL 60173

				DESIGNED	MSR
				DRAWN	MSR
				APPROVED	KJM
				DATE	10/31/16
				SCALE	N.T.S.
DATE		DESCRIPTION OF REVISION	BY		

DEMOLITION PLAN
1510 N RIDGE AVENUE
ARLINGTON HEIGHTS, ILLINOIS

SHEET	
1	OF 1
PROJECT NUMBER:	3106
© MACKIE CONSULTANTS LLC, 2016	
ILLINOIS FIRM LICENSE 184-002694	

SITE DEVELOPMENT PLAN

PROPERTY DESCRIPTION:

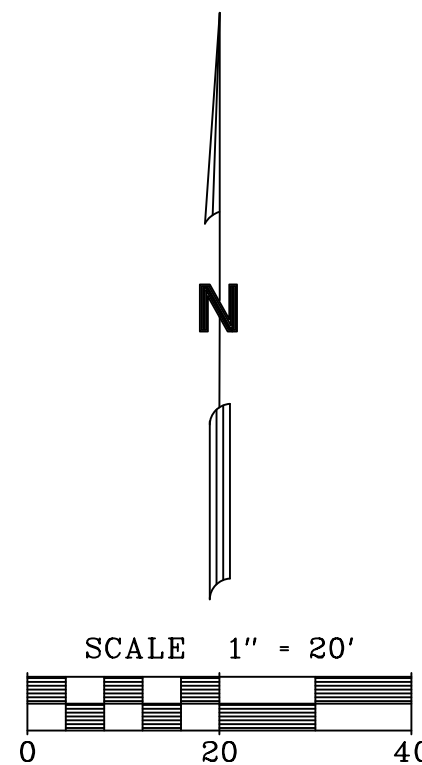
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AREA:

PROPERTY CONTAINS 9,251 SQUARE FEET OR 0.212 ACRES MORE OR LESS

P.I.N.:

03-19-211-011



DUMPSTER (6'X10' TYP) AND PORTABLE TOILET TO BE LOCATED ONSITE DURING CONSTRUCTION ACTIVITIES

NO CONSTRUCTION ACTIVITIES, EQUIPMENT STORAGE OR CONSTRUCTION MATERIAL STORAGE SHALL OCCUR OUTSIDE OF THE CONSTRUCTION AREA OR WITHIN AREAS OF TREES TO REMAIN

OPEN STREET CUT REPAIR FOR SERVICES SHALL BE IN KIND WITH COMPACTED TRENCH BACKFILL (TYP)

MAINTAIN 1.5' MIN VERTICAL SEPARATION BETWEEN EXISTING WATERMAIN AND PROPOSED SANITARY AND STORM SERVICES

BENCHMARKS:

SOURCE BENCHMARK(VILLAGE OF ARLINGTON HEIGHTS MONUMENT 32): BRASS DISC IN CONCRETE APPROXIMATELY 44 FEET SOUTH OF THE CENTERLINE OF FRONTAGE ROAD(PALATINE ROAD) AND 21 FEET EAST OF THE CENTERLINE OF FERNANDEZ AVENUE(STAMPED 114B). ELEVATION = 713.78

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SITE BENCHMARK #2: CUT CROSS IN SIDEWALK ON THE SOUTH SIDE OF RIDGE AVENUE AT THE NORTHEASTERLY CORNER OF PROPERTY. ELEVATION = 713.64

GENERAL NOTES:

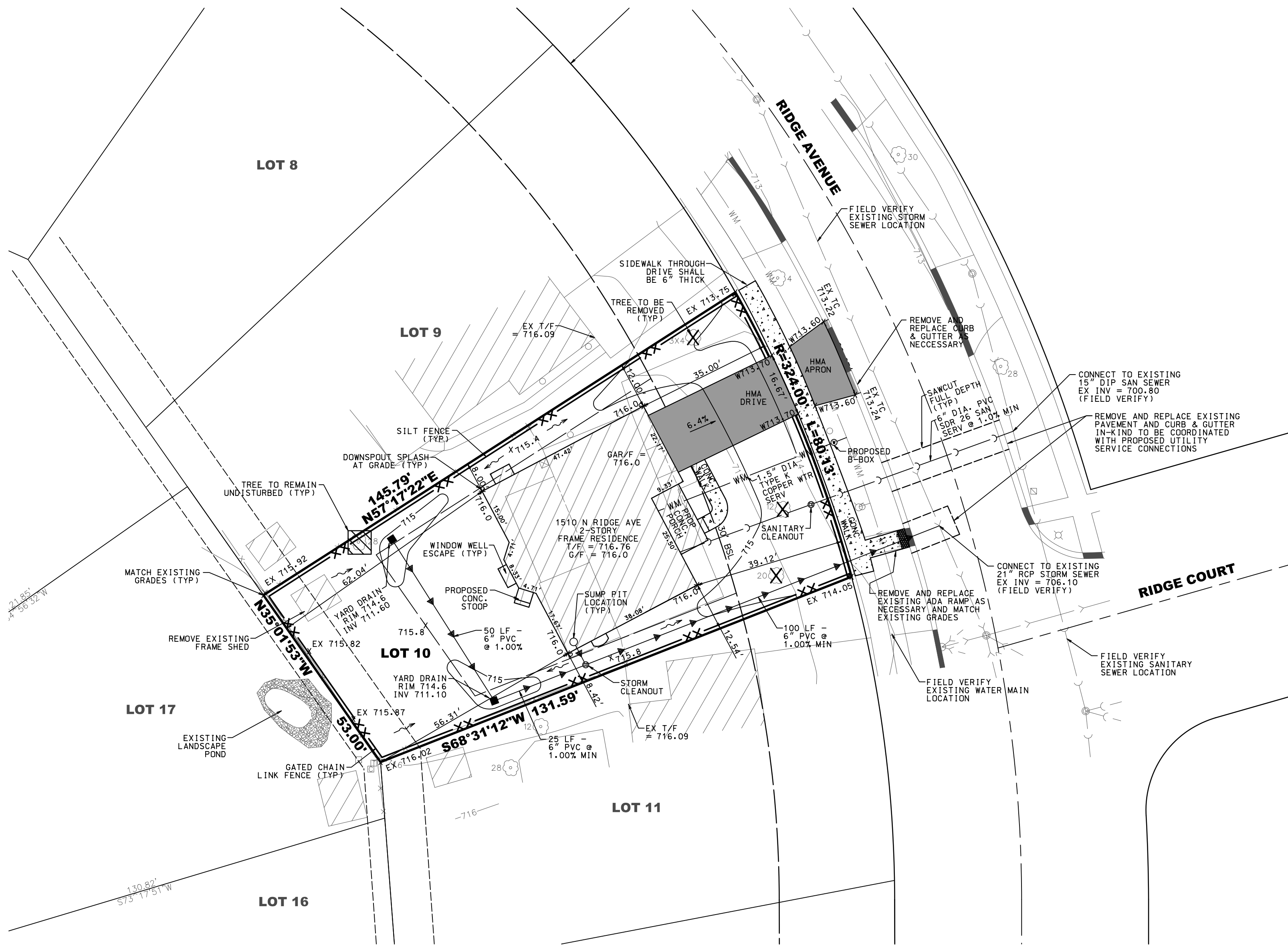
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SURVEYOR'S NOTES:

- THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
- BUILDING DIMENSIONS AND TIES SHOWN HEREON ARE MEASURED FROM THE OUTSIDE FACE OF CONCRETE FOUNDATION.
- SURVEY IS BASED ON FIELD WORK COMPLETED 10/12/2016.
- PROPERTY NOT MONUMENTED AT THIS TIME AT CLIENT'S REQUEST.

UTILITY NOTES:

- A 1 1/2" TYPE "K" COPPER WATER SERVICE IS REQUIRED ALL THE WAY TO THE MAIN. THE OLD SERVICE INCLUDING THE EXISTING B-BOX SHALL BE DISCONNECTED AT THE MAIN.
- SANITARY SERVICE TO BE 6" PVC SDR 26 AT 1.0% MINIMUM SLOPE. THE OLD SERVICE INCLUDING THE EXISTING CLEANOUT SHALL BE DISCONNECTED AT THE MAIN.
- A SANITARY SEWER CLEANOUT WITH WATERTIGHT SCREW-DOWN CAP SHALL BE PROVIDED AT LEAST 10-FEET OUTSIDE THE FACE OF BUILDING FOUNDATION.
- UNLESS IT CAN BE DEMONSTRATED THAT THE EXISTING SERVICE LINE IS OF SUFFICIENT CAPACITY, INTEGRITY, AND CONSTRUCTION TO MEET THE REASONABLE STANDARDS OF THE CITY, IT SHALL BE REMOVED AND DISCONNECTED AT THE MAIN/SEWER AND A NEW SERVICE SHALL BE INSTALLED.
- ALL SANITARY SEWER AND WATER MAIN WORK AND MATERIALS SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATION FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", CURRENT EDITION.
- ALL DOWNSPOUTS AND SUMP PUMP DISCHARGES SHALL SPLASH AT GRADE OR POP-UP.
- NO OPEN CUTTING OF ROADWAYS FOR UTILITY CONNECTIONS SHALL OCCUR WITHOUT AUTHORIZATION BY THE VILLAGE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.



EROSION CONTROL NOTES:

- SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON THE SITE.
- VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO A GRAVEL DRIVE. SAID GRAVEL DRIVE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS ABOVE THE TOP OF FOUNDATION.
- ANY SOIL, MUD OR DEBRIS THAT IS WASHED, TRACKED, OR DEPOSITED ONTO THE STREET SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
- THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS NOT AT FINAL GRADE THAT WILL REMAIN UNDISTURBED FOR MORE THAN 15 DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION.
- IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.
- STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.
- WATER PUMPED OR OTHERWISE DISCHARGED FOR THE SITE DURING CONSTRUCTION DEWATERING SHALL BE FILTERED.

IMPERVIOUS TABLE:

LOT AREA =	9,251 SF	EXISTING CONDITIONS:	
PROPOSED CONDITIONS:		HOME STRUCTURE =	1,741 SF
HOME STRUCTURE =	2,061 SF	GARAGE STRUCTURE =	0 SF
GARAGE STRUCTURE =	0 SF	PORCH/PATIO =	0 SF
PORCH/PATIO =	152 SF	DRIVEWAY =	725 SF
DRIVEWAY =	587 SF	SIDEWALK/CONC. WALK =	83 SF
SIDEWALK/ CONC. WALK =	76 SF	FRAME SHED =	0 SF
FRAME SHED =	0 SF		
TOTAL =	2,876 SF	TOTAL =	2,549 SF
IMPERVIOUS SURFACE COVERAGE =	31.0%	IMPERVIOUS SURFACE COVERAGE =	27.5%
MAXIMUM IMPERVIOUS SURFACE COVERAGE (35%) =	3238 SF		
INCREASE IN IMPERVIOUS AREA =	327 SF		

LEGEND:

—XXX—	SANITARY SEWER	—XXX—	CONTOUR LINE
—XXX—	STORM SEWER	XXX.XX	SPOT ELEVATION
—XXX—	COMBINED SEWER	XXXXXX	PAVEMENT ELEVATION
WM	WATER MAIN	TDXXXX	TOP OF CURB ELEVATION
FM	FORCE MAIN	WXXXXX	TOP OF DEPRESSED CURB ELEVATION
UD	UNDERDRAIN	ACU	WALK ELEVATION
CATV	CABLE TV LINE	B/WALL	AIR CONDITIONER UNIT
E	ELECTRIC LINE	BSL	BOTTOM OF WALL
FO	FIBER OPTIC LINE	DIP	BUILDING SETBACK LINE
G	GAS LINE	EM	DEED
T	TELEPHONE LINE	FF	DUCTILE IRON PIPE
OH	OVERHEAD WIRE	FF	ELECTRIC METER
—X—X—	FENCE	GF	FINISHED FLOOR
—X—X—	GUARDRAIL	GM	GARAGE FLOOR
—X—X—	BUSH LINE	GM	GRADE AT FOUNDATION
—X—X—	TREE LINE	IN	GAS METER
—X—X—	RAILROAD	INV	INVERT
—X—X—	EDGE OF WATER	(M)	MEASURED
○	MANHOLE (STMH/SAMH)	PUE	PUBLIC UTILITY EASEMENT
○	CATCH BASIN (CB)	PVC	POLYVINYL CHLORIDE PIPE
○	INLET (INL)	(R)	RECORD
○	FLARED END SECTION (FES)	RCP	REINFORCED CONCRETE PIPE
○	VALVE VAULT (VV)	RW	RETAINING WALL
○	VALVE BOX (VB)	SA	SANITARY
○	BUFFALO BOX (BB)	ST	STORM
○	FIRE HYDRANT (FH)	T/F	TOP OF FOUNDATION
○	AUXILIARY VALVE (AV)	T/P	TOP OF PIPE
○	CLEANOUT (CO)	T/WALL	TOP OF WALL
●	BOLLARD (BOL)	TRANS	TRANSFORMER
○	GAS VALVE (GV)	FIP	FOUND IRON PIPE
○	ELECTRIC MANHOLE (EMH)	FRRS	FOUND RAIL ROAD SPIKE
○	TELEPHONE MANHOLE (TMH)		
○	HANDHOLE (HH)		
○	TRAFFIC SIGNAL BOX (TSB)		
○	TRAFFIC SIGNAL (TS)		
○	GROUND LIGHT (GLHT)		
○	POWER POLE (PP)		
○	GUY WIRE (GW)		
○	CABLE PEDESTAL (PEDC)		
○	ELECTRIC PEDESTAL (PEDE)		
○	TELEPHONE PEDESTAL (PEDT)		
○	SIGN		
○	MAILBOX (MB)		
○	DECIDUOUS TREE (SIZE IN INCHES)		
○	CONIFEROUS TREE (SIZE IN INCHES)		
○	BUSH		

DRAINAGE CERTIFICATION

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SAID IMPROVEMENTS OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREA, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE IMPROVEMENTS.

ENGINEER'S SIGNATURE

ENGINEER'S SEAL



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847)696-1400
www.mackieconsult.com

CLIENT:

David Weekley Homes

1930 THOREAU DRIVE
SUITE 160
SCHAUMBURG, IL 60173

	DESIGNED	MSR
	DRAWN	MSR
	APPROVED	KJM
	DATE	10/31/16
	SCALE	1"=20'

SITE DEVELOPMENT PLAN
1510 N RIDGE AVENUE
ARLINGTON HEIGHTS, ILLINOIS

SHEET

1 OF **2**

PROJECT NUMBER: 3106
© MACKIE CONSULTANTS LLC, 2016
ILLINOIS FIRM LICENSE 184-002694



1506 N Ridge



1508 N Ridge



1510 N Ridge



1512 N Ridge



1514 N Ridge



1511 N Ridge



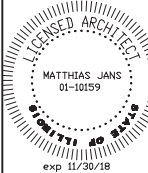
1509 N Ridge

COPYRIGHT © 2016 MATTHIAS JANS ARCHITECT ALL RIGHTS RESERVED

MATTHIAS JANS ARCHITECT
602 ACADEMY DR, NORTHEROOK, IL 60062
VOICE (847) 344-5241 FAX (224) 326-2483
mjm@matthiasjans.com



DAVID WEEKLEY HOMES - 4754Z
1510 N RIDGE AVENUE
ARLINGTON HEIGHTS, IL 60004



Matthias Jans

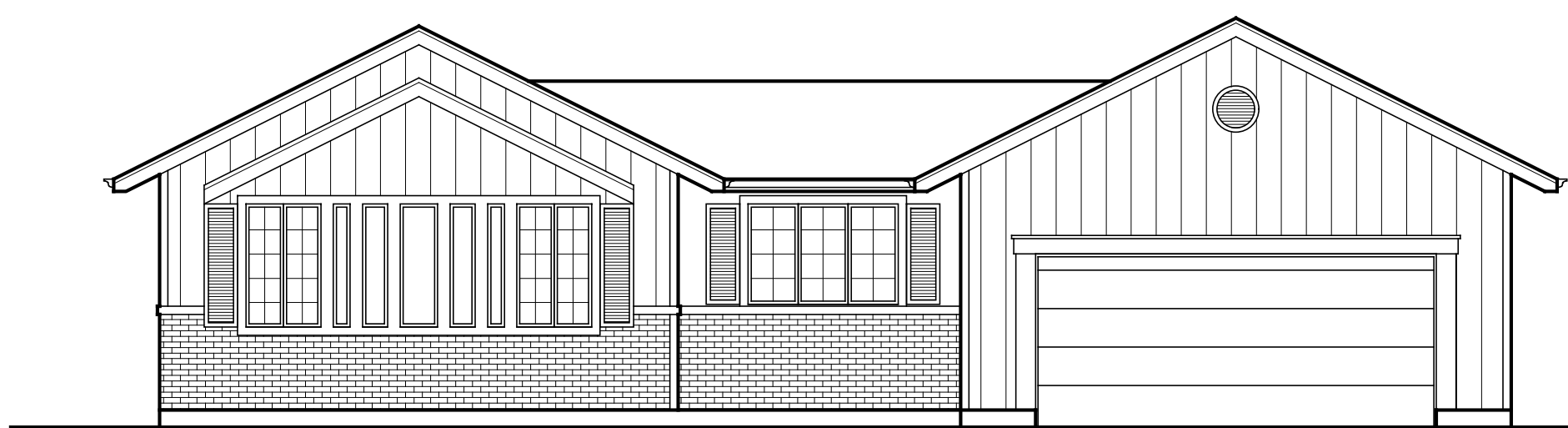
REVISION DATES
DATE 1

PROJ. START
12/12/16

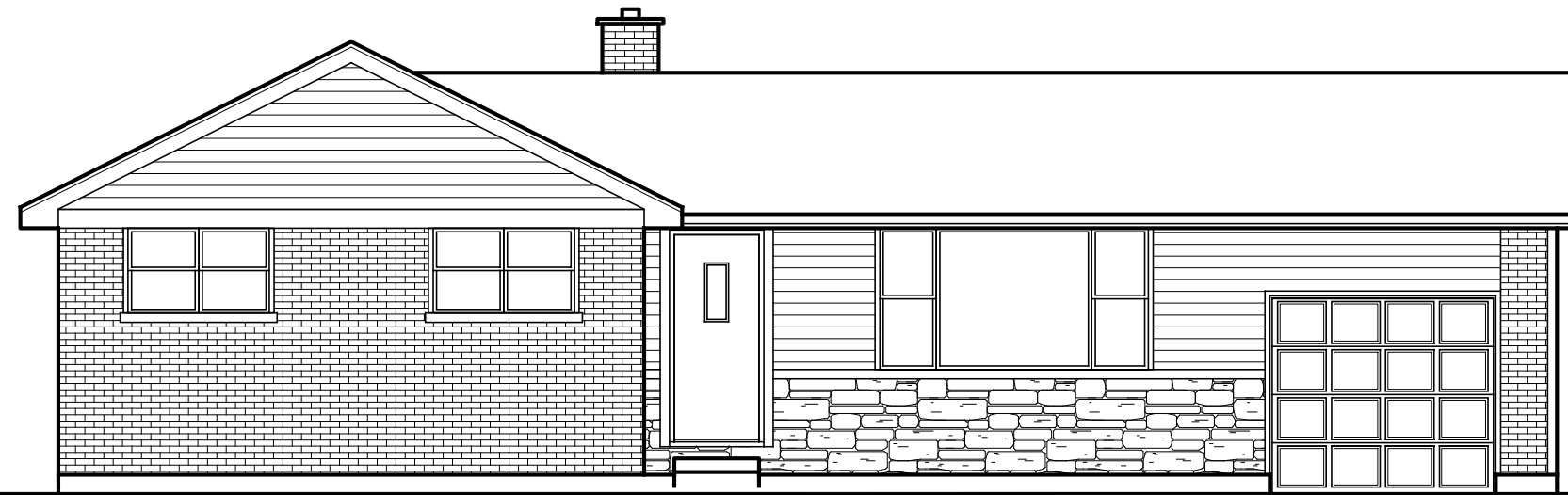
RBC

JOB #
560300xx





1508 N. RIDGE



1510 N. RIDGE



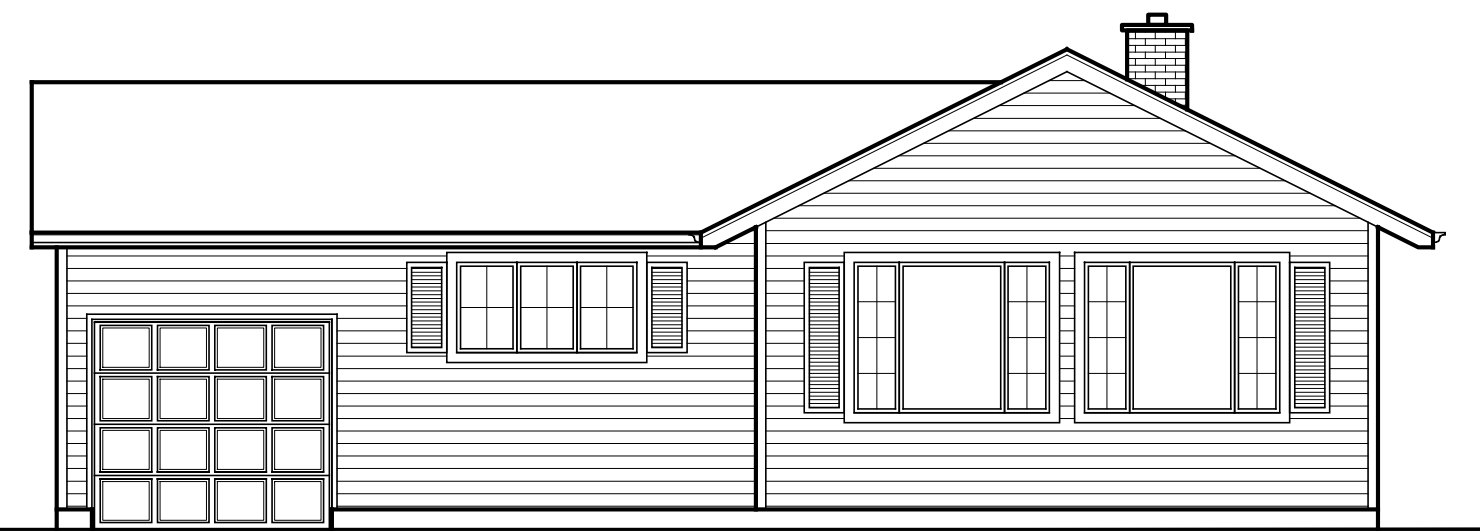
1512 N. RIDGE



1508 N. RIDGE



1510 N RIDGE - proposed



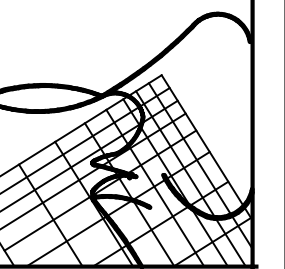
1512 N. RIDGE

8'-2 3/8"

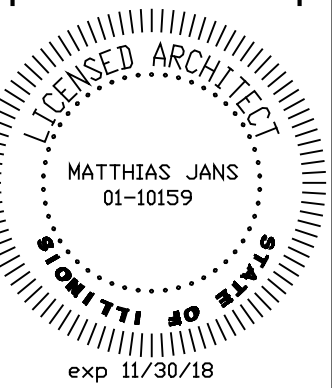
12'-6 1/2"

12'-0"

10'-0"



DAVID WEEKLEY HOMES - 4759Z
1510 N RIDGE AVENUE
ARLINGTON HEIGHTS, IL 60004

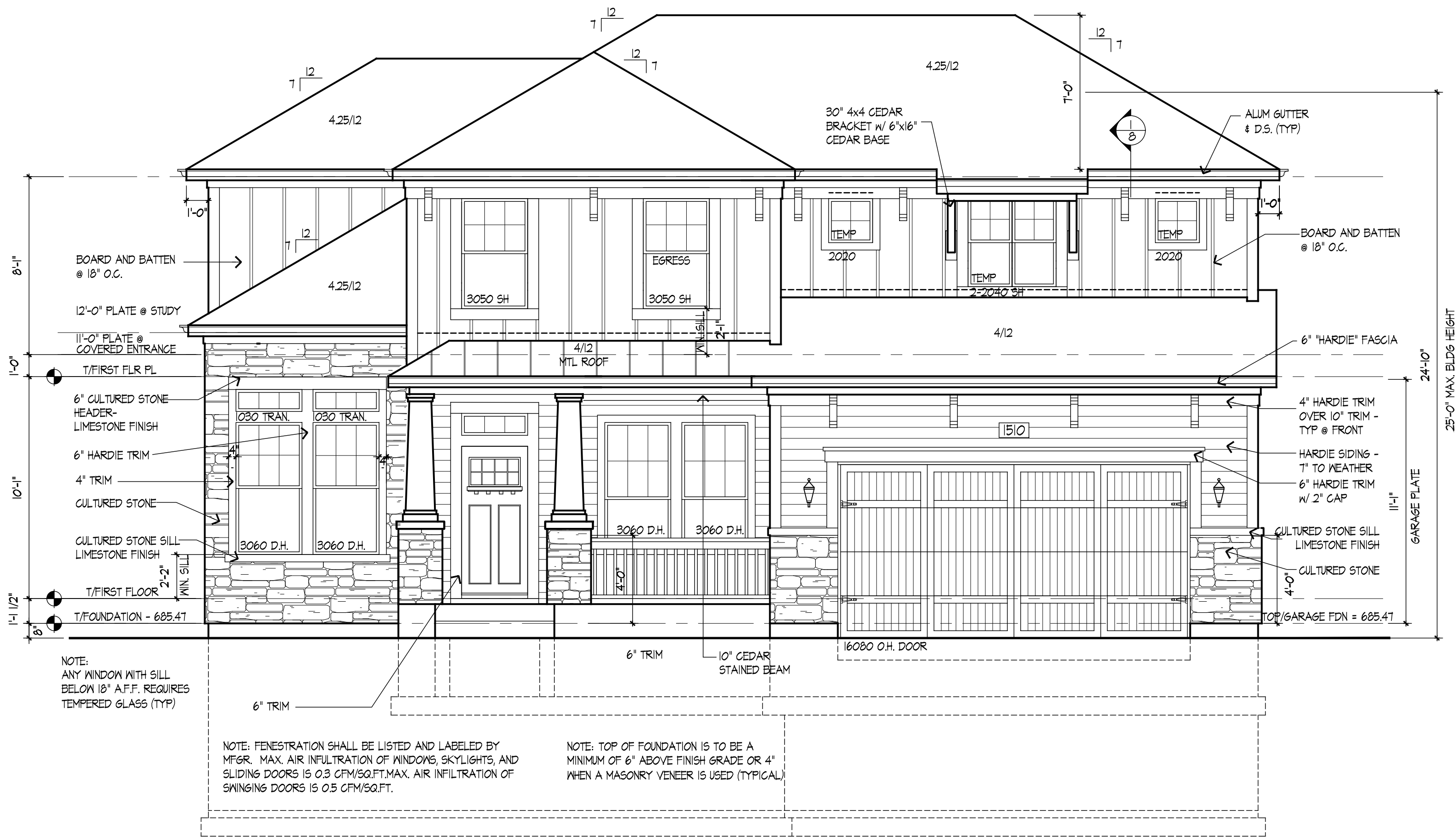


REVISION DATES
DATE

PROJ. START
12/12/16

REC

JOB #
560300xx



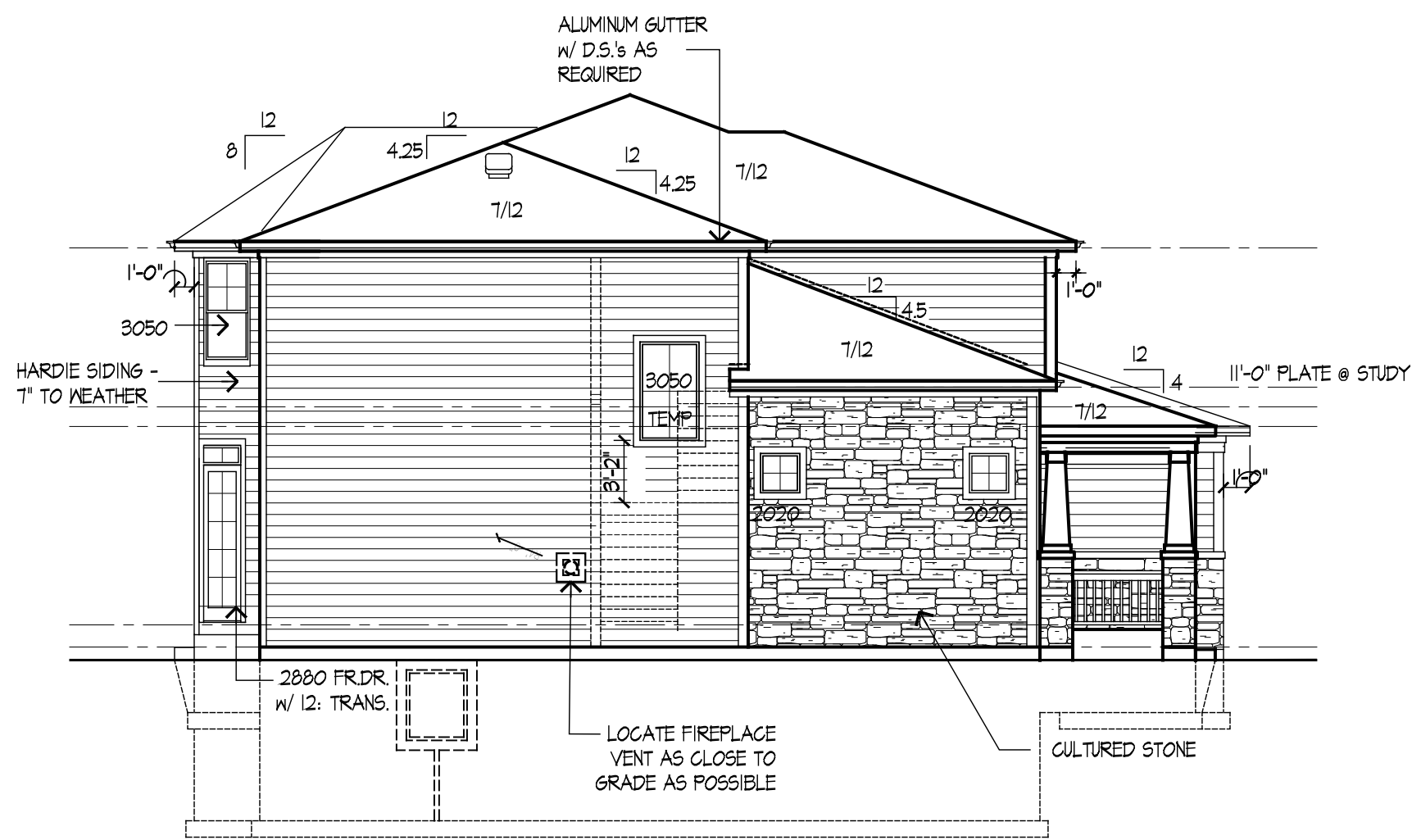
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

STANDARD ELEVATION NOTES

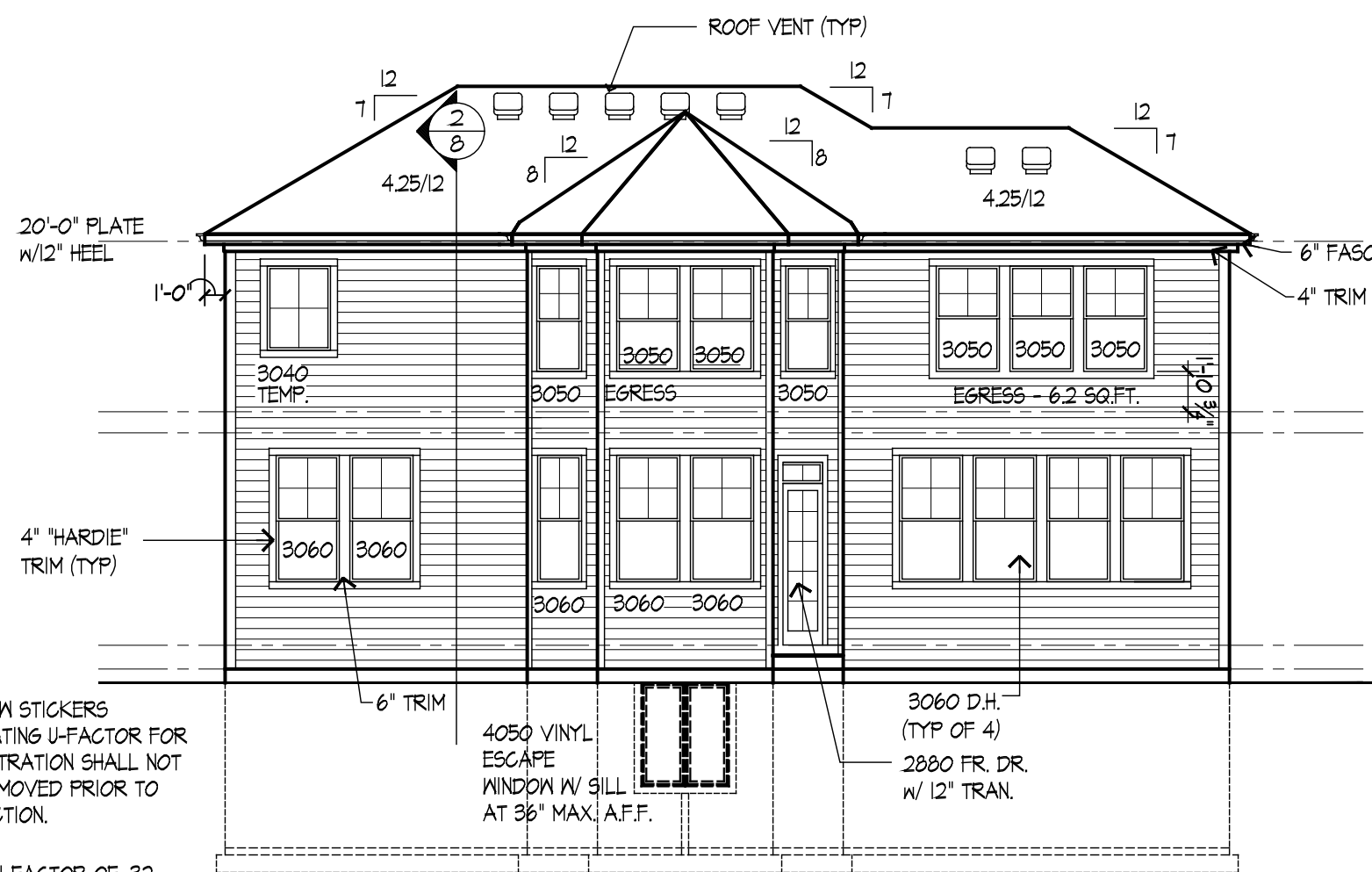
- 30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES
- ALUMINUM GUTTERS AND DOWNSPOUTS OVER ALUMINUM FASCIA.
- 'HARDIE' SOFFIT W/ INTERSAL VENT.
- SHEET METAL FLASHING OVER WINDOWS, DOORS AND WOOD TRIM.
- SHEET METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS.
- 1X2 EDGE BOARD OVER 1X8 RAKE BOARD
- ALL RAKE AND OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED
- ROOF SHINGLES SHALL HAVE A MINIMUM RATINGS OF CLASS 'C' OR BETTER

- INDICATES STONE VENEER
- INDICATES HARDIE SIDING
- HIDDEN GALVANIZED METAL FLASHING
- NOTE: ALL WINDOW SIZES ARE 'SILVERLINE' VINYL DOUBLE HUNG - OR AN APPROVED EQUAL



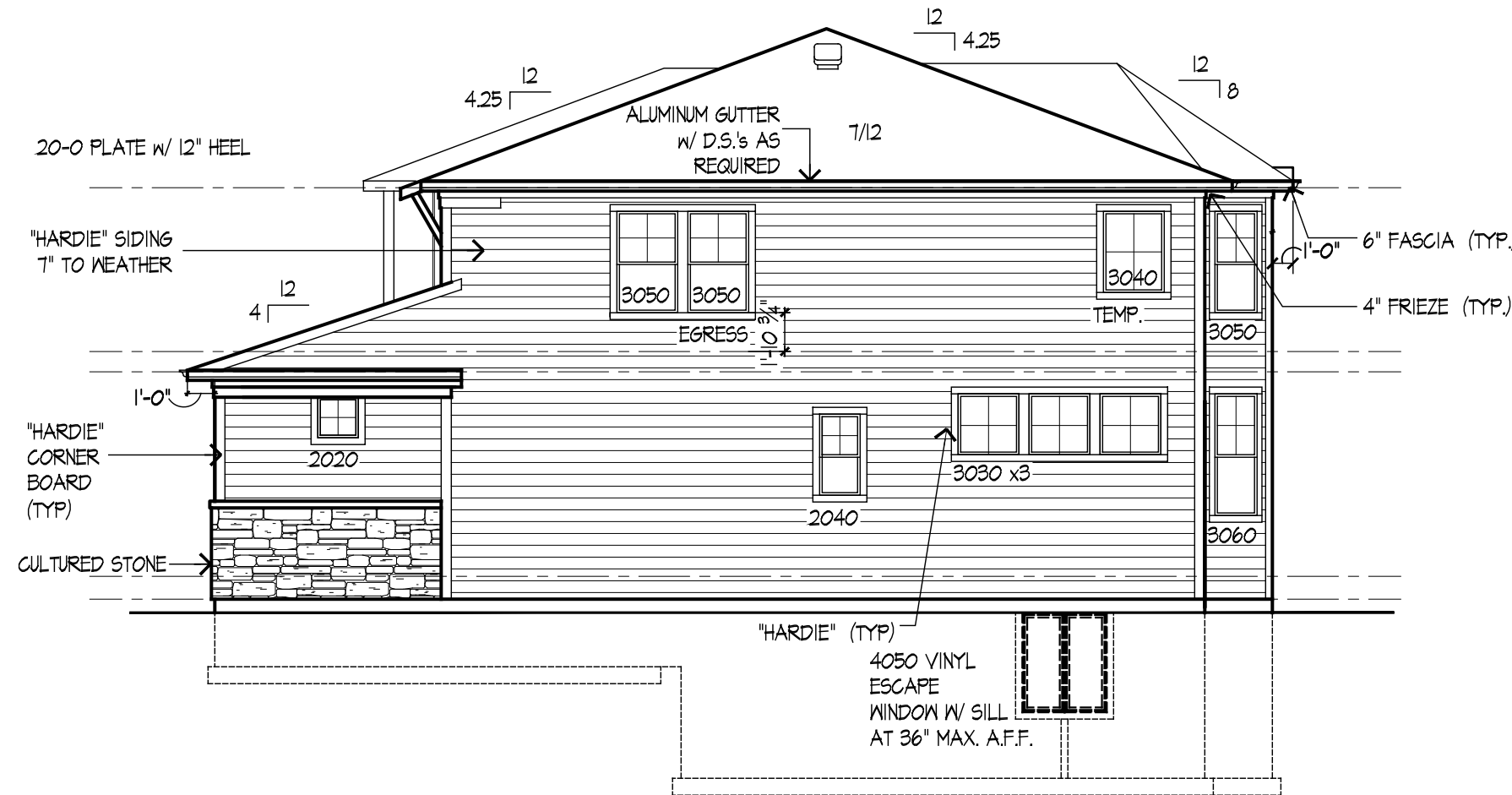
LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



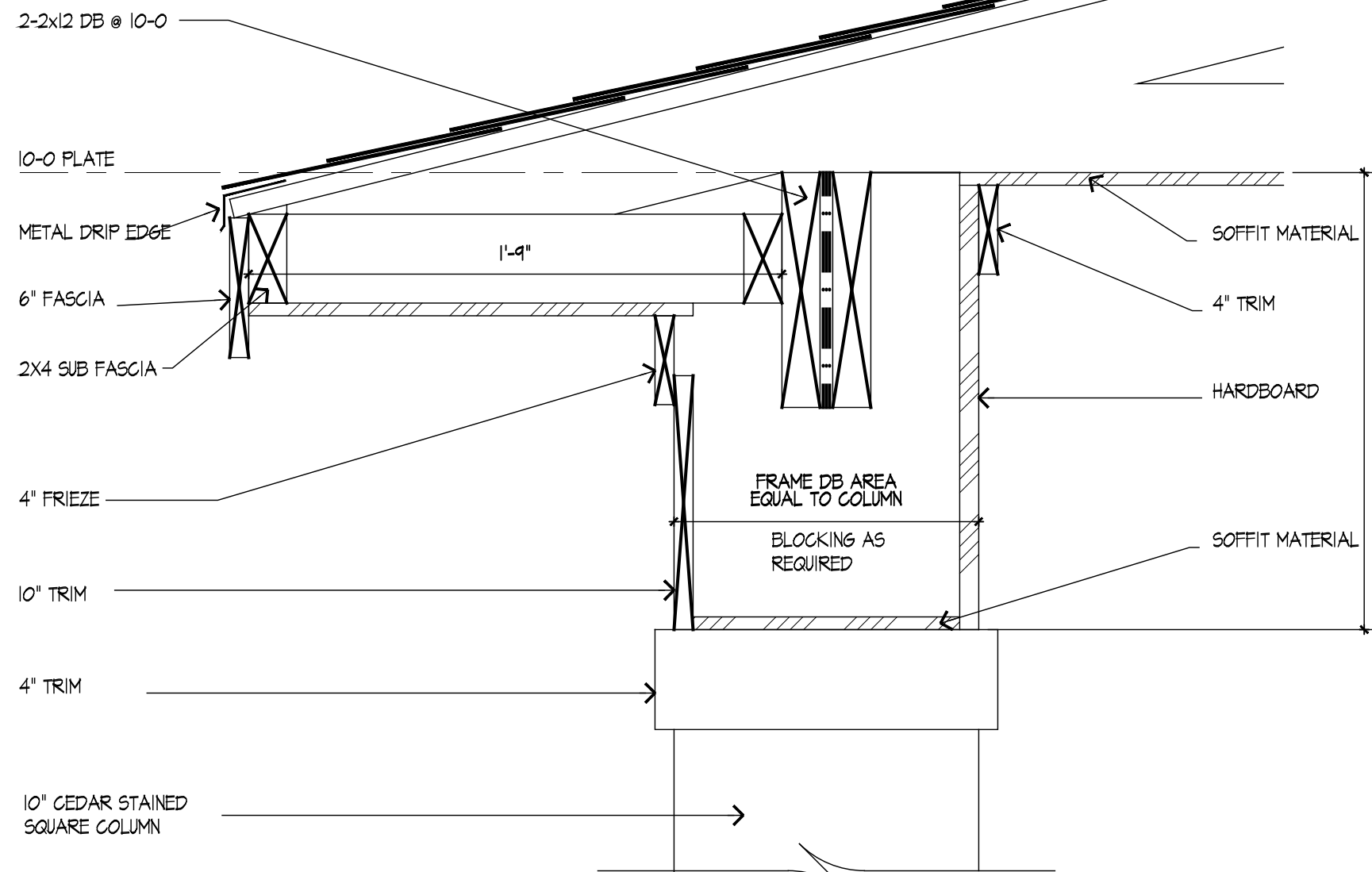
REAR SIDE ELEVATION

SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



FRONT PORCH CORNICE DETAIL

SCALE: 1" = 1'-0"

ELEVATION NOTES:

- DO NOT SCALE DRAWINGS
- PROVIDE SPLASH BLOCKS AT ALL DOWN SPOUTS DISCHARGING AT GRADE. (NOT TO DISCHARGE ACROSS WALKWAY)
- PROVIDE DRIP CAPS AT ALL WINDOWS AND DOORS
- ALL ROOF SADDLES TO BE SHEATHED W/ BUILDING PAPER AND SHINGLES.
- REFER TO FLOOR PLANS FOR DOOR SIZES
- WINDOW SIZES ARE AS PER ELEVATIONS. WINDOW MFR TO VERIFY ALL BEDROOMS HAVE EGRESS WINDOW
- ROOF VENTS TO BE SCREENED AND BALANCED INTAKE AND EXHAUST.
- PROVIDE 1/2" FLASHING ALONG ALL HORIZONTAL TRIM
- PROVIDE GALV. METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS.
- FIREPLACE FLUE TO BE MIN. 2'-0" ABOVE ANY ROOF SURFACE WITHIN 10'-0" HORIZONTALLY, MIN. 3'-0" PENETRATION ABOVE ROOF.
- SAFETY GLAZING AT BATH/SHOWER, SILL HEIGHTS BELOW 18", EXT. DOORS AND WINDOWS W/ IN 24" OF DOOR (AS PER GOVERNING CODES)

EXTERIOR FINISH MATERIALS:

- TYPICAL ROOFING WILL BE ARCHITECTURAL GRADE 30 YEAR ASPHALT SHINGLES
- TYPICAL - ALUMINUM GUTTERS W/ DOWN SPOUTS OVER 1X8 FASCIA AND WITH 1X10 FRIEZE BOARD UNLESS OTHERWISE NOTED.
- 1X2 ON 1X8 RAKE BOARD TYPICAL
- TYPICAL SIDING - 'HARDIE' W/ 1" EXPOSED
- TYPICAL TRIM - 'HARDIE'
- ALL EYE AND RAKE OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED.

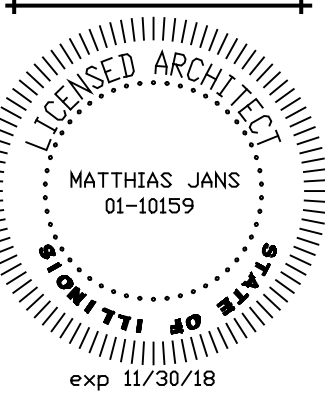
ADDRESS INFORMATION:

THE ADDRESS NUMBERS SHALL BE AT LEAST 6 INCHES HEIGHT AND SHALL BE LOCATED ON OR OVER THE PRIMARY ENTRANCE TO THE DWELLINGS.

DOWNSPOUTS SHALL BE DIRECTED TO DISCHARGE TO THE FRONT OR REAR OF THE PROPERTY, NOT THE SIDEYARDS.

ROOM NAME	AREA	LIGHT		VENT		MECH CFM	
		REQ.	ACT.	REQ.	ACT.	REQ.	ACT.
BASEMENT	1430 S.F.	28.6	32.3	28.6	25.1	--	--
STUDY	120 S.F.	9.6	34.9	4.8	14.9	--	--
KITCHEN / BREAKFAST	458 S.F.	36.6	56.6	18.3	34.3	--	--
FAMILY ROOM	264 S.F.	21.1	51.9	10.5	24.8	--	--
POUNDER ROOM	24 S.F.	--	4.7	--	--	--	50 CFM
KEEPING	115 S.F.	9.2	54.3	4.8	31.7	--	--
DINING	126 S.F.	10.0	25.9	5.0	14.9	--	--
MASTER BATH	128 S.F.	--	16.1	--	--	200 CFM	50 CFM
OWNER'S SUITE	246 S.F.	19.6	42.0	9.8	24.3	--	--
LAUNDRY	52 S.F.	--	--	--	--	--	--
BEDROOM #2	225 S.F.	18.0	24.3	9.0	14.3	--	--
BEDROOM #3	141 S.F.	11.2	21.0	5.6	12.1	--	--
BEDROOM #4	191 S.F.	15.3	13.84	7.6	8.28	--	--
BATH #2	108 S.F.	--	--	--	--	100 CFM	--
BATH #3	34 S.F.	--	--	--	--	50 CFM	--

DAVID WEEKLEY HOMES - 4754Z
1510 N RIDGE AVENUE
ARLINGTON HEIGHTS, IL 60004



REVISION DATES

DATE 1

PROJ. START
12/12/16

REC

JOB #
560300xx

2

1510 Ridge

ITEM	MATERIAL	MANUFACTURER	COLOR
Roof	Asphalt Shingles	GAF	Weather Wood
Siding	Fiber Cement	James Hardie	Monterey Taupe
Gutters	Aluminum	ABC	White
Trim/Fascia	Fiber Cement	LP	Arctic White
Windows	Vinyl	Silverline	White
Garage Door	Steel	Wayne Dalton	White
Stone	Limestone	Buechel	Fond Du Lac Heritage Blend



Item: DC#17-015 - 1112 W. White Oak St. - SF/Addition

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for an addition to an existing single-family residence.

Recommendation

It is recommended that the Design Commission require revisions and approve the proposed addition to the existing single-family residence located at 1112 W. White Oak Street. This recommendation is based upon the architectural plans received on 2-17-17, and the following:

1. Revise the window layout for a more balanced appearance.
2. Lower the roof eave of the proposed addition to align with the existing roof on the front and rear elevations.
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report

Supporting Documents & Drawings

Type

Board or Commission Report

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: Johnson Residence
Project Address: 1112 W. White Oak Street
Prepared By: Steve Hautzinger

Date Prepared: March 8, 2017

PETITION INFORMATION:

DC Number: 17-015
Petitioner Name: Craig Johnson
Petitioner Address: 1112 W. White Oak Street
Arlington Heights, IL 60005
Meeting Date: March 14, 2017

Requested Action(s): Approval of the proposed architectural design for an addition to an existing single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

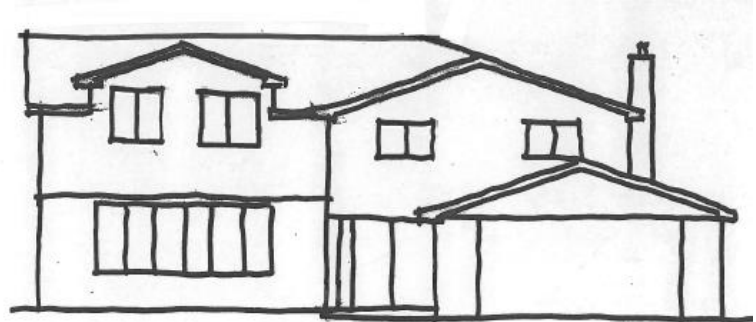
The petitioner is proposing to add a second floor addition to an existing split-level home. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 9,227 square feet and the residence, with the proposed addition, will have approximately 2,600 square feet. This project complies with all of the R-3 zoning requirements as summarized below

	ALLOWED	PROPOSED
Setbacks	Front: 26 feet Side: 7.5 feet Side: 7.5 feet Rear: 30 feet	Front: 26.5 Side: 10.7 Side: 8.4 Rear: 62.8
Building Height	25 feet to the midpoint	22 feet to the midpoint
FAR	4,129 SF	2,600 SF
Building Lot Coverage	3,230 SF	1,642 SF
Impervious Surface Coverage Total	4,614 SF	3,133 SF

The proposed second floor addition is a simple rectangular form above the existing living room and kitchen area. However, the massing of the addition is poorly integrated with the existing house. One of the goals of the Village's Single-Family Design Guidelines is that "*New additions will look like they belong and not dominate or change the character of the original building*". Staff recommends that the window spacing on the front elevation be revised for a more balanced appearance, and that the new second floor eave be lowered to align with the existing roof. The sketch below illustrates how this could look. It is recommended that the rear elevation be modified similarly.



Proposed Design



Suggested Revision

RECOMMENDATION:

It is recommended that the Design Commission require revisions and approve the proposed addition to the existing single-family residence located at 1112 W. White Oak Street. This recommendation is based upon the architectural plans received on 2-17-17, and the following:

1. Revise the window layout for a more balanced appearance.
2. Lower the roof eave of the proposed addition to align with the existing roof on the front and rear elevations.
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

_____, March 8, 2017

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 17-015

1523 WEATHERSTONE LANE
ELGIN, ILLINOIS 60123
PHONE: (847) 253-6566

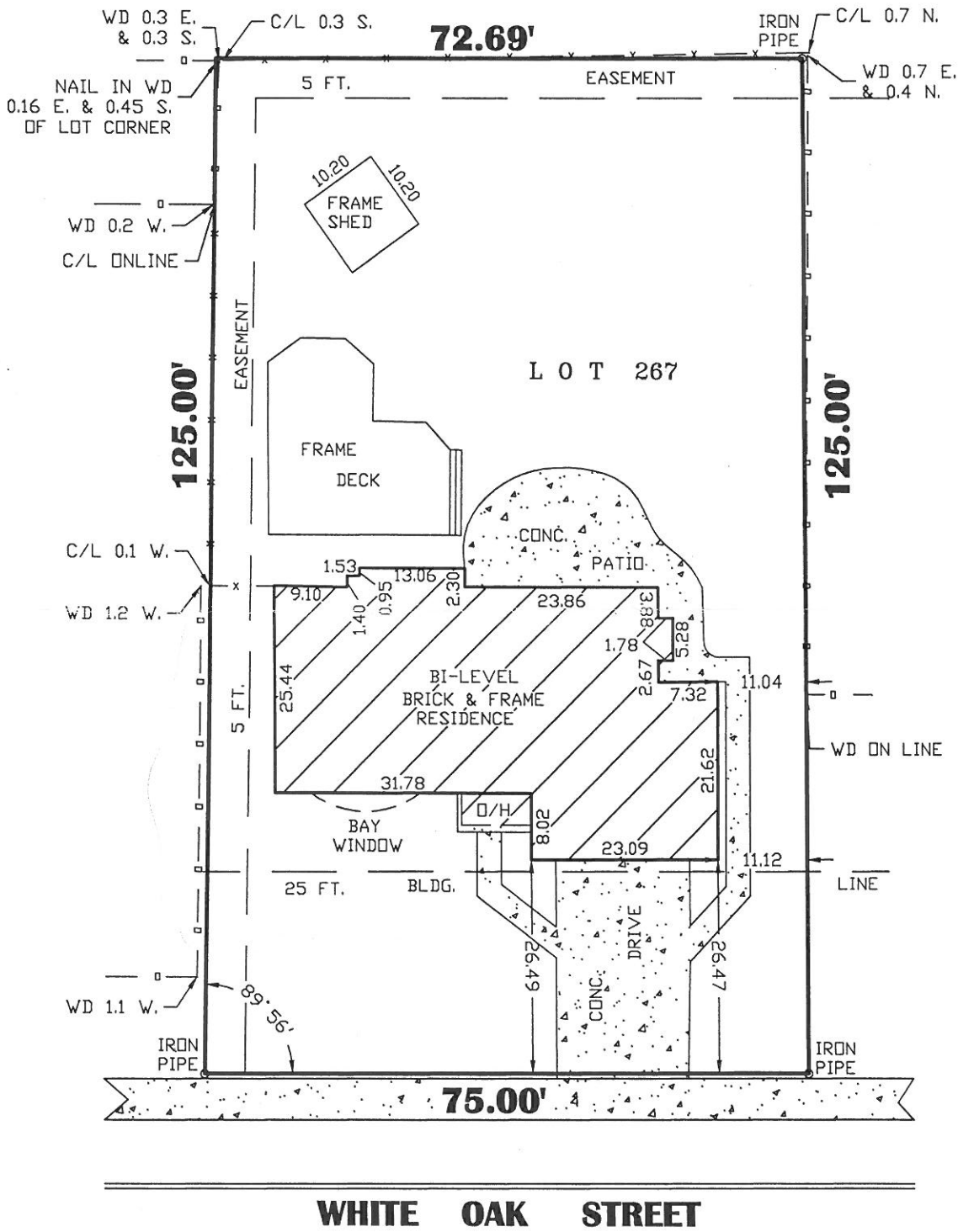
PLAT OF SURVEY

-BY-

JAMES M. ELLMAN LTD.



LOT 267 IN SURREY RIDGE WEST UNIT NUMBER 4, BEING A
SUBDIVISION OF PART OF THE WEST HALF OF SECTION 9, TOWNSHIP 41
NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK
COUNTY, ILLINOIS.



Ordered by: STEPHEN R. MURRAY
Order No: 060884
Base Scale: 1 inch = 20 feet
Date: SEPTEMBER 23, 2006
Address: 1112 WHITE OAK
ARLINGTON HEIGHTS, ILLINOIS.

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT
ONCE REPORT ANY DIFFERENCE. FOR BUILDING LINE AND
OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR
ABSTRACT, DEED, CONTRACT AND ZONING ORDINANCE.

THIS PROFESSIONAL SERVICE
CONFORMS TO THE CURRENT
ILLINOIS MINIMUM STANDARDS
FOR A BOUNDARY SURVEY.

—□—□— = WOOD FENCE
—x—x— = C/L FENCE
[Pattern] = CONCRETE

NOT VALID UNLESS EMBOSSED

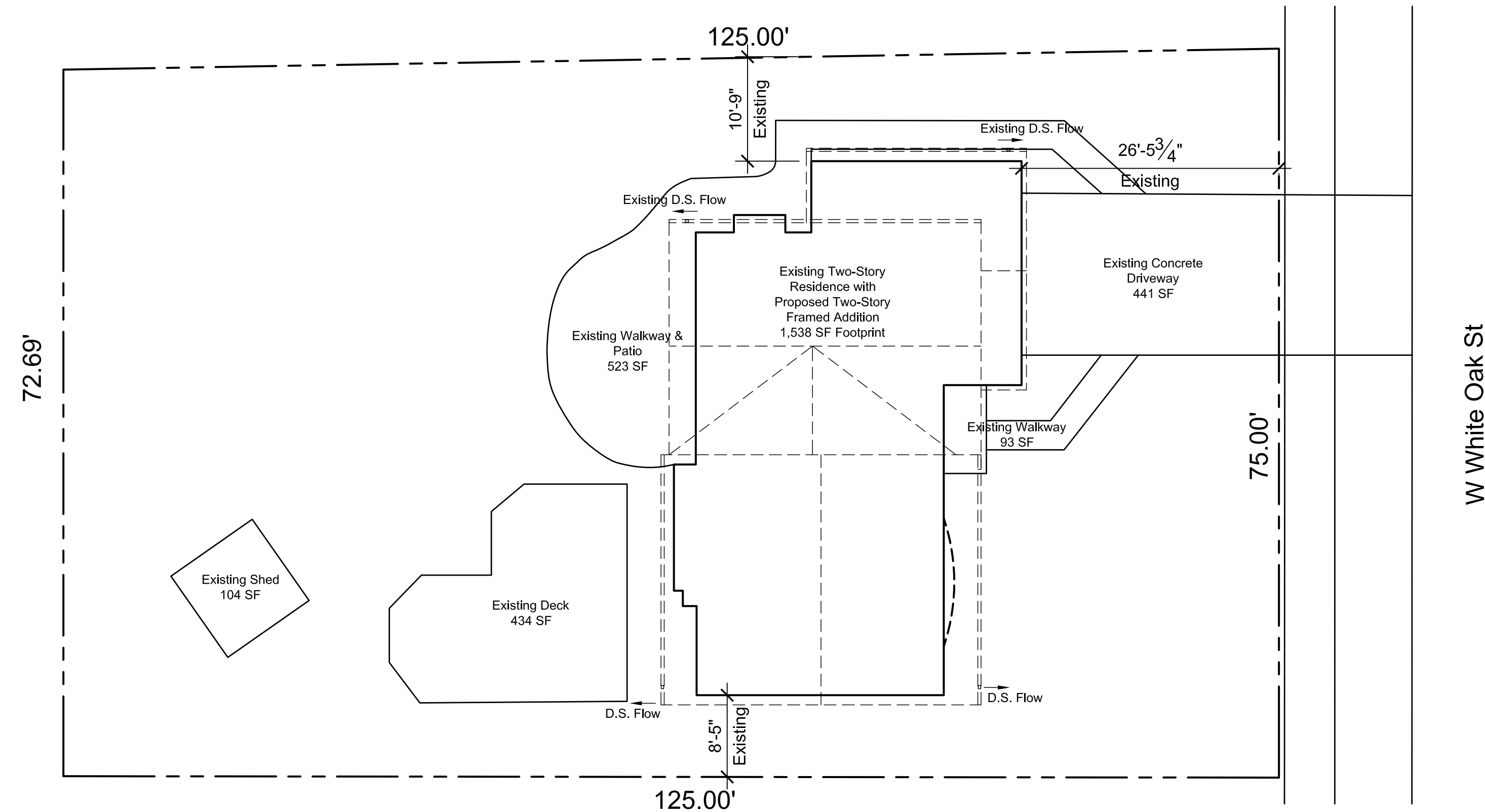
STATE OF ILLINOIS)
COUNTY OF KANE)

I, JAMES M. ELLMAN LTD, DO HEREBY CERTIFY THAT THE ABOVE
DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY SUPERVISION
AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION
OF SAID SURVEY.

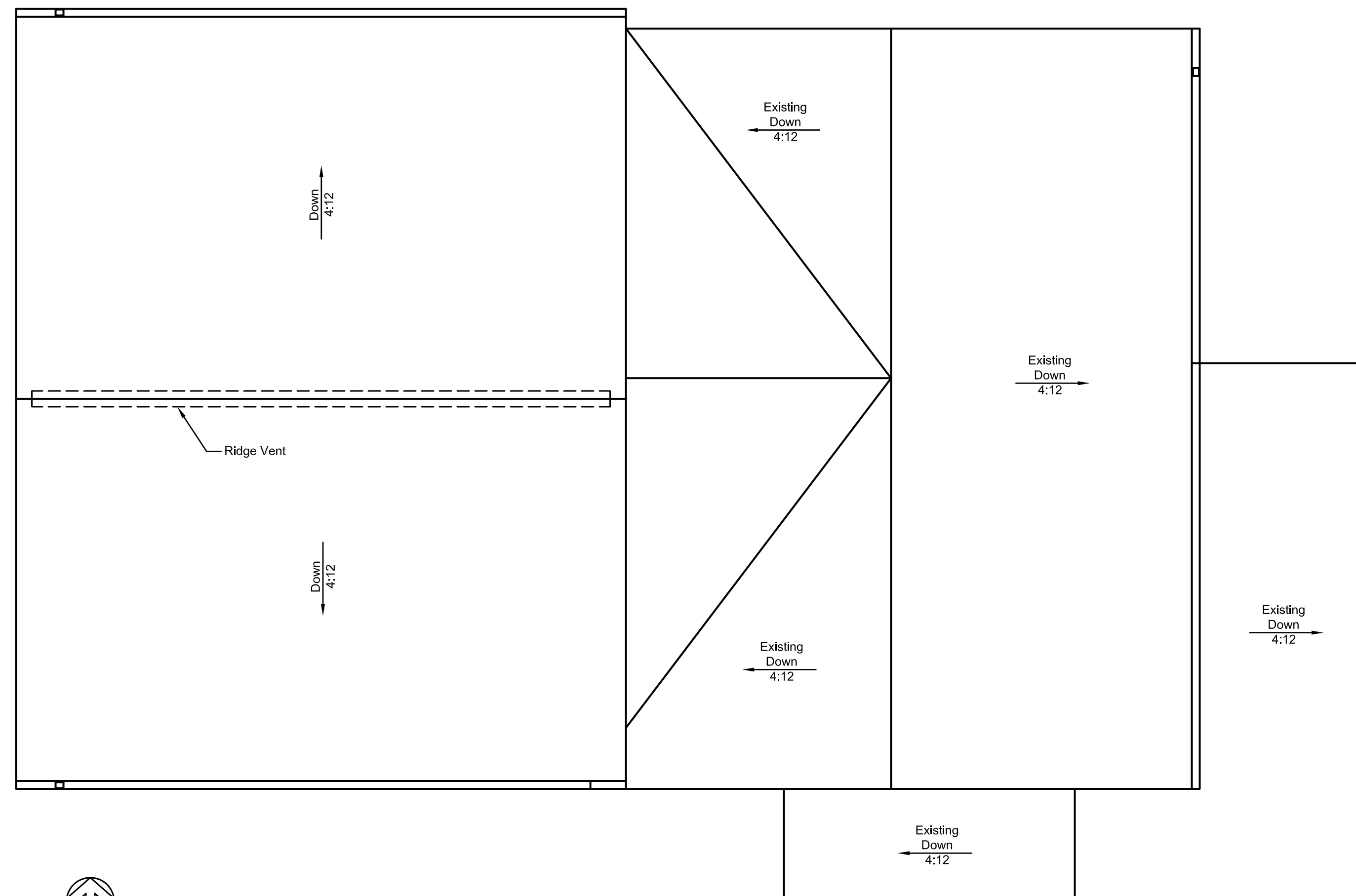
BY: James M. Ellman

ILLINOIS PROFESSIONAL LAND SURVEYOR
LICENSE NO. 184-002744
(35-002158)
EXPIRES 4/30/2007

1 Proposed Site Plan
Scale: 1"=10'



2 Roof Plan
Scale: 1/4"=1'-0"



19235 W Forest Ln Mundelein, IL 60060
Phone: (847) 691-0885
Email: kmlgroup@gmail.com

1112 White Oak
Arlington Heights, IL
60005

Sheet Title:
**Site & Roof
Plans**

Project #:
16008
Date:
February 7, 2017
Issue:
Design Commission

Revisions:
1. -
2. -
3. -
4. -

Sheet Number:

A0

Subject Property
1112 W White Oak St

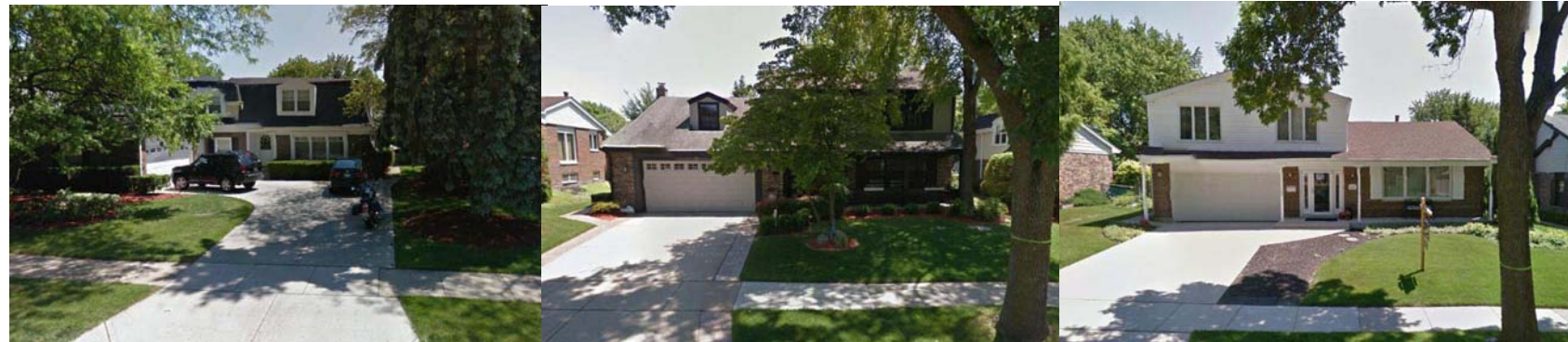
Property to right 1
1108 W White Oak St

Property to Right 2
1020 W White Oak St

Property to right 3
1016 W White Oak St



W White Oak St



Property across 1
1115 W White Oak St

Property across 2
1111 W White Oak St

Property across 3
1107 W White Oak St



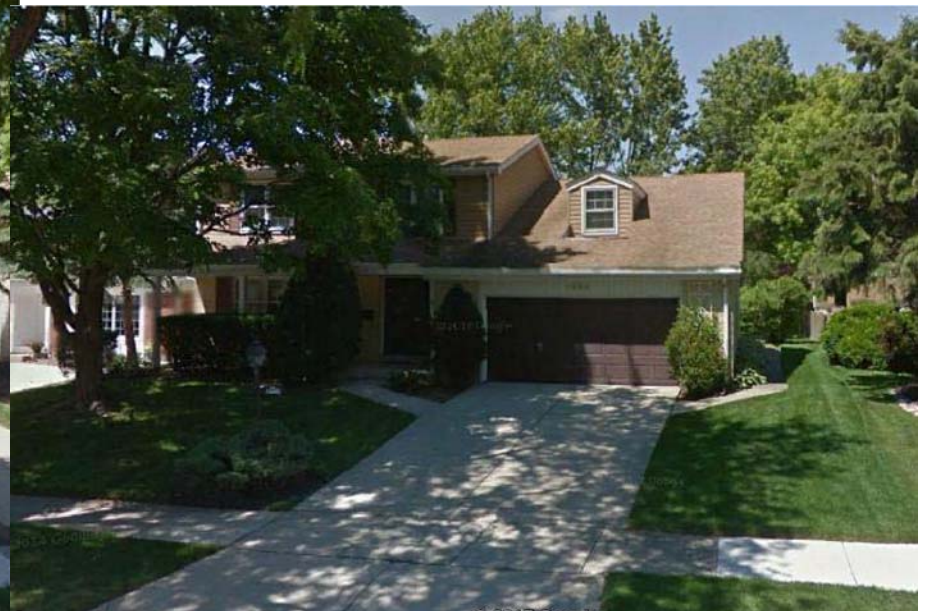
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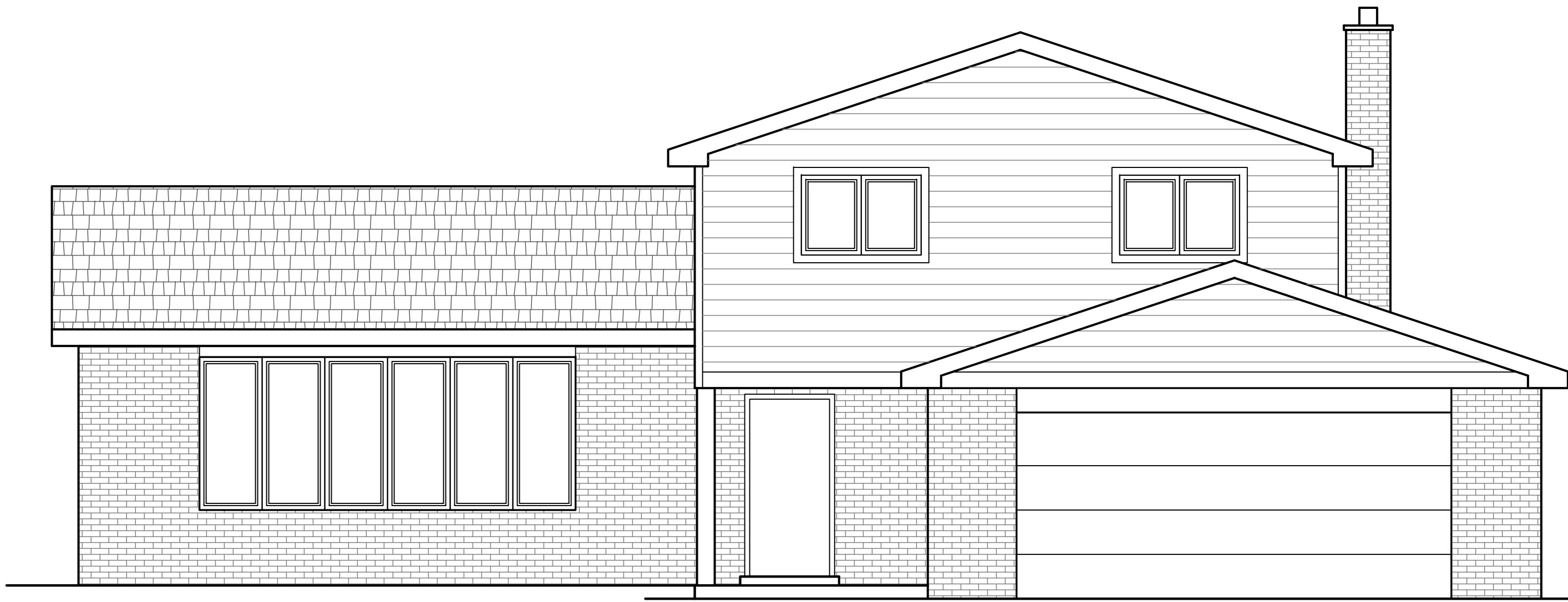
① Existing Context Elevation
Scale: 1/16" = 1'-0"



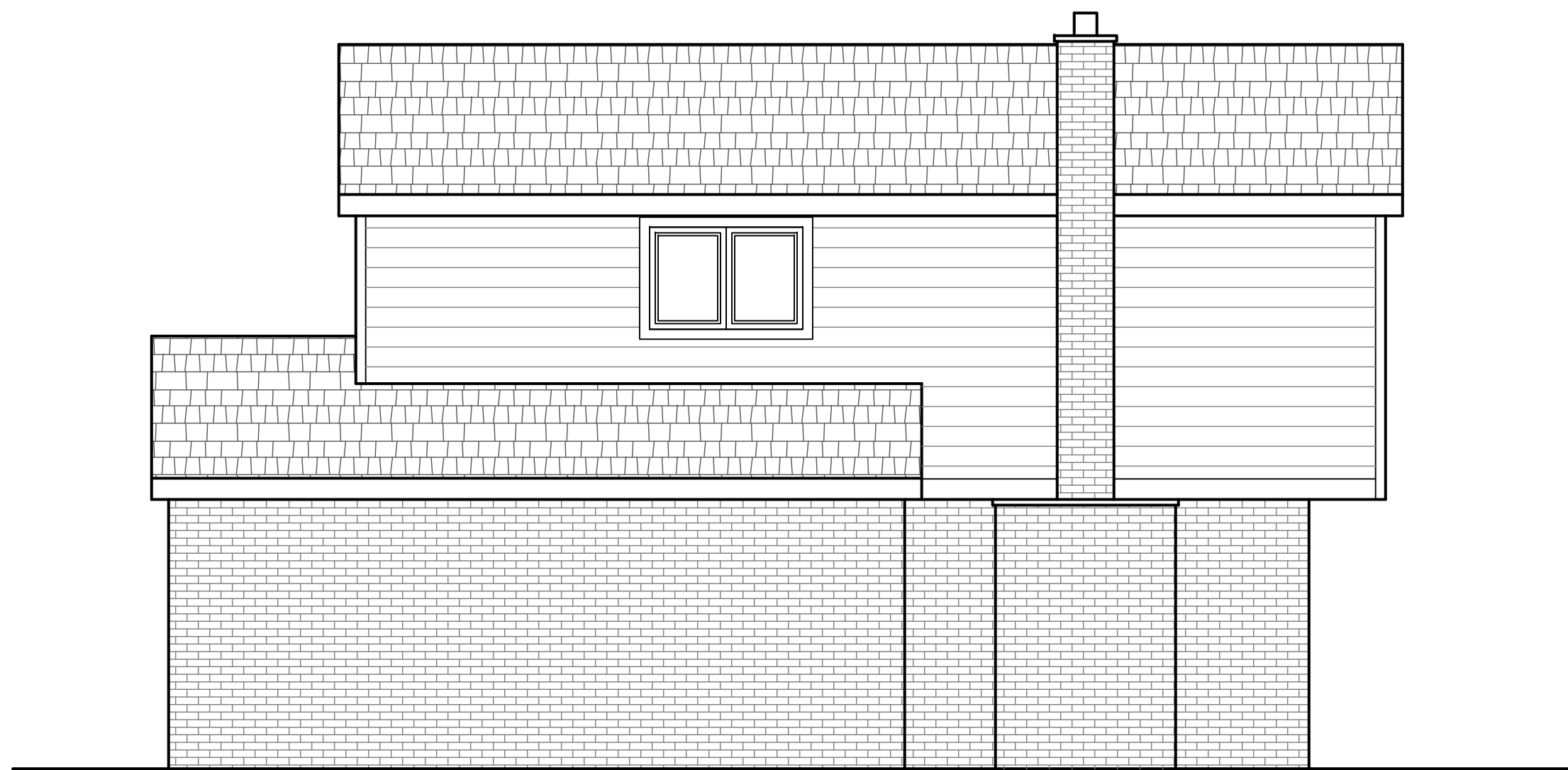
→ 16.25' ←



② Proposed Context Elevation
Scale: 1/16" = 1'-0"



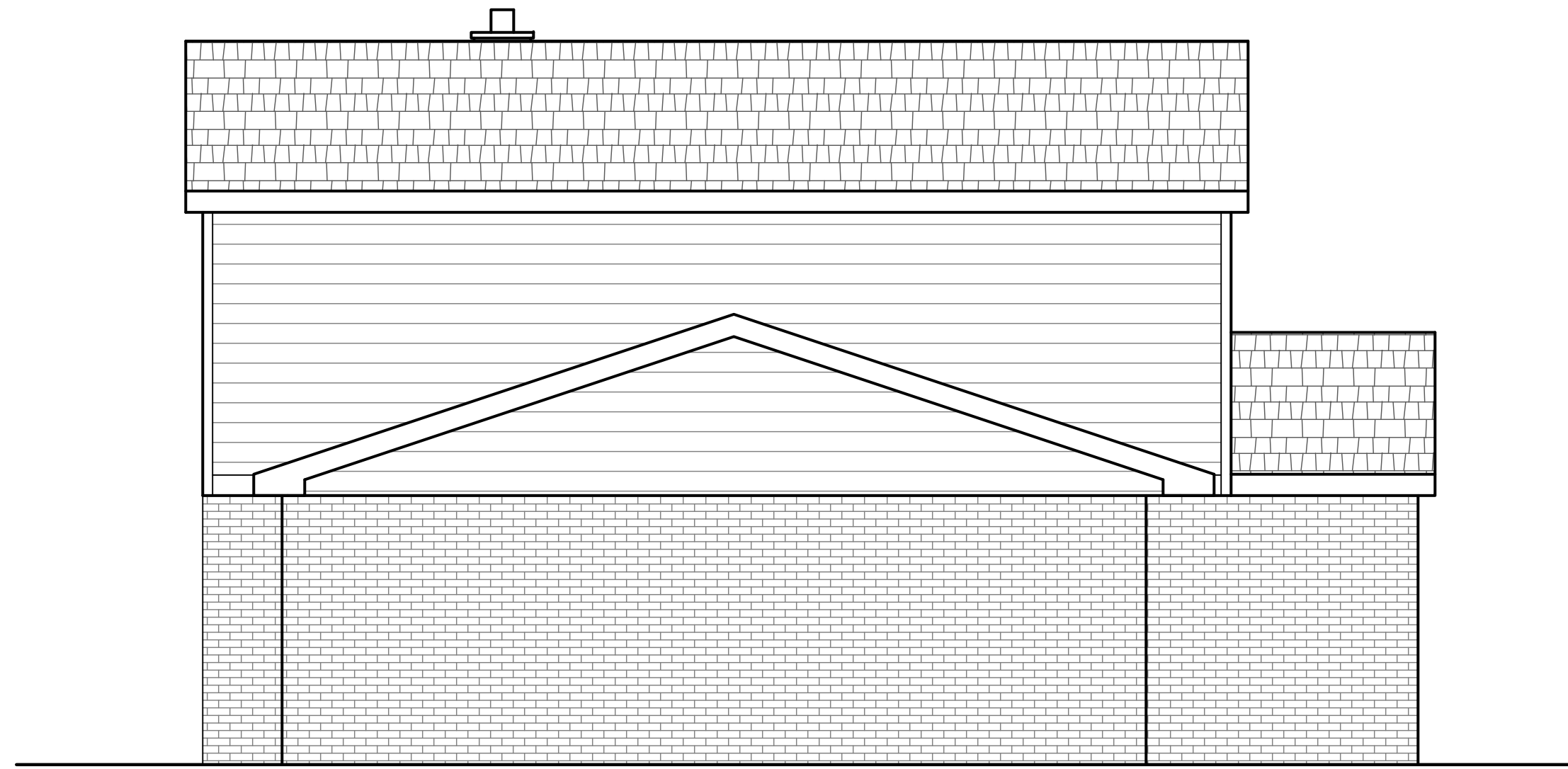
1 South Elevation
Scale: 1/4"=1'



2 East Elevation
Scale: 1/4"=1'



3 North Elevation
Scale: 1/4"=1'



4 West Elevation
Scale: 1/4"=1'

1112 White Oak
Arlington Heights, IL
60005

Sheet Title:
**Existing
Exterior
Elevations**

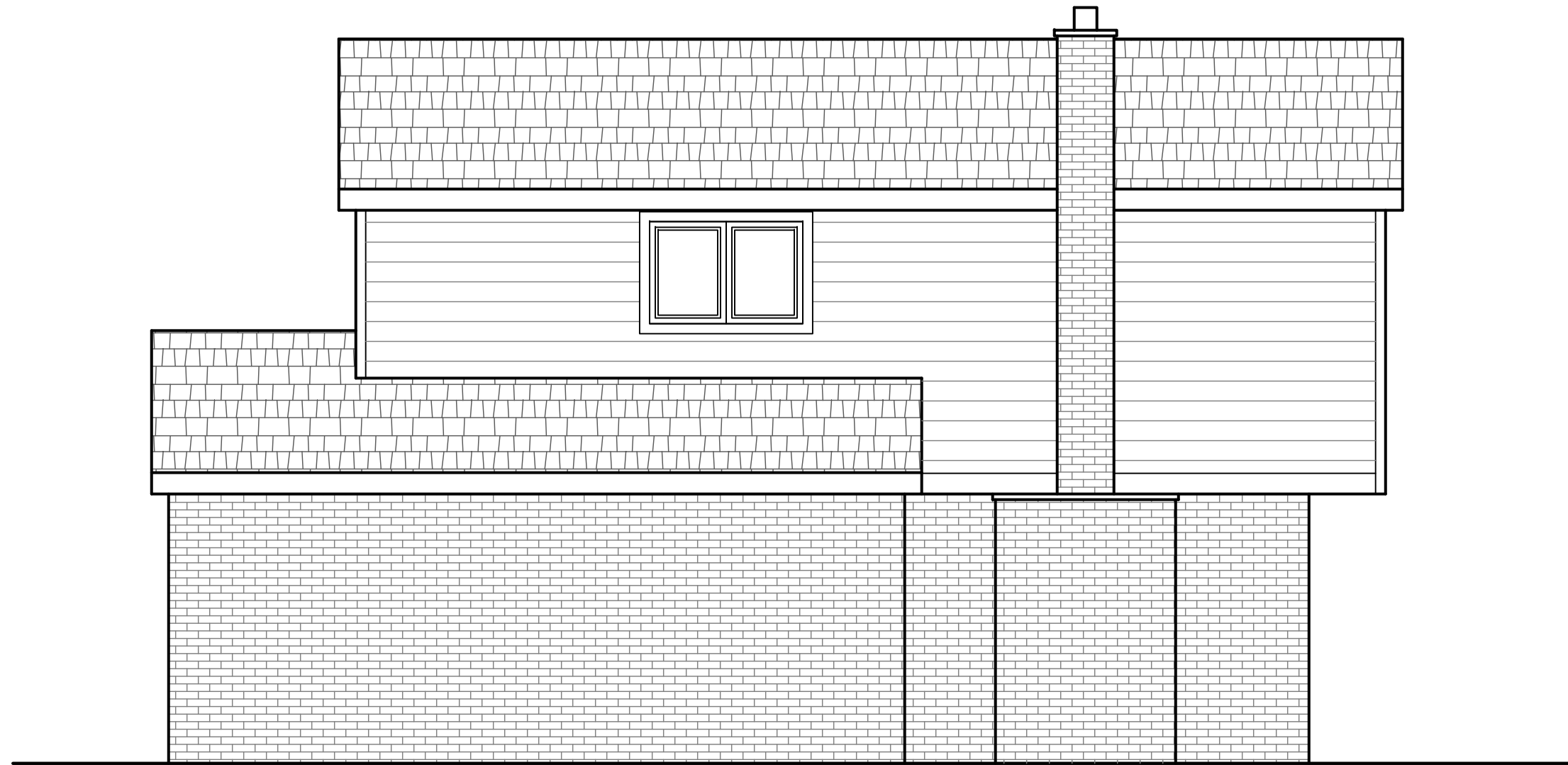
Project #:
16008
Date:
February 7, 2017
Issue:
Design Commission

Revisions:
1. -
2. -
3. -
4. -

Sheet Number:
A3.1



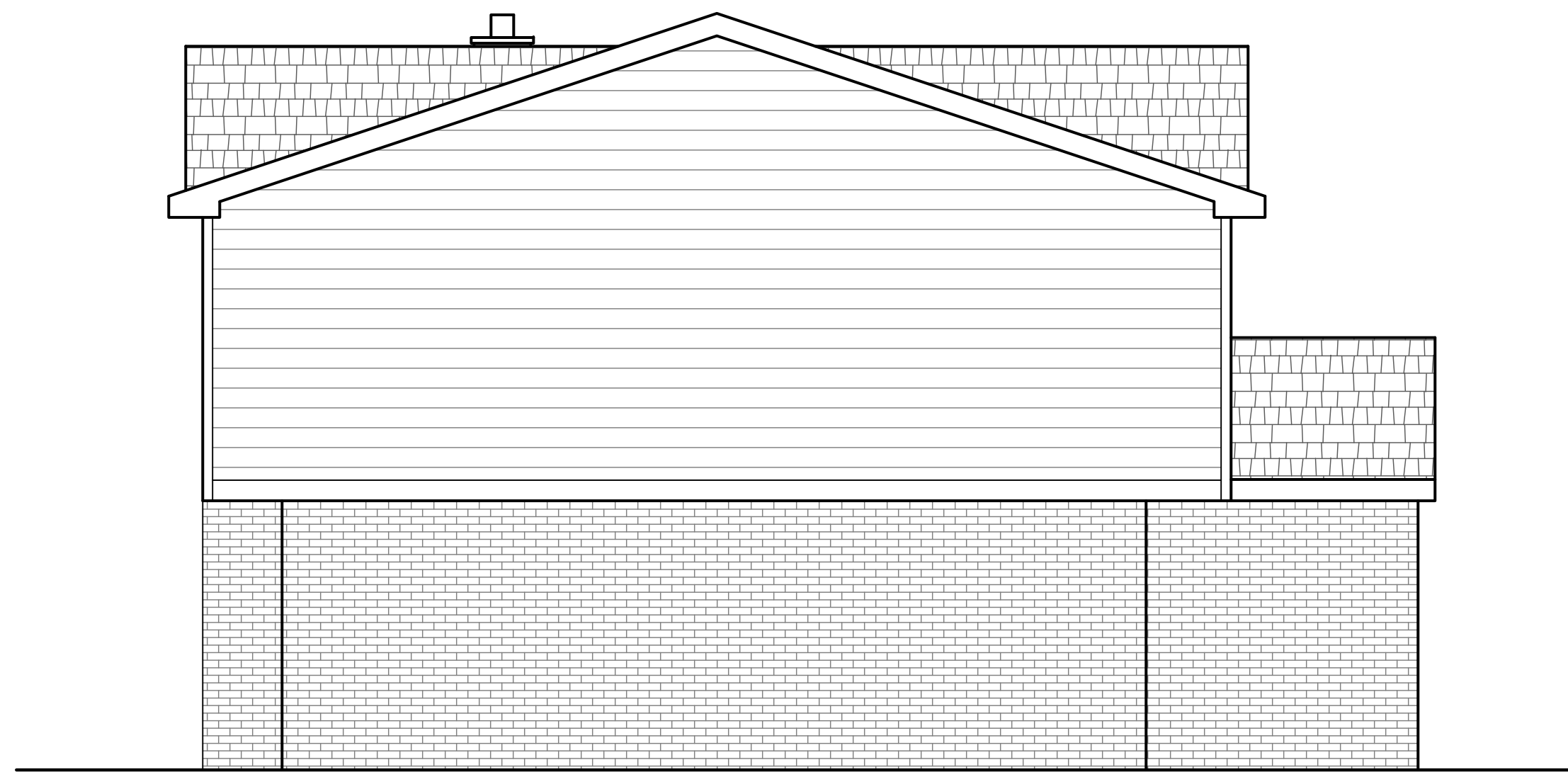
1 South Elevation
Scale: 1/4"=1'



2 East Elevation
Scale: 1/4"=1'



3 North Elevation
Scale: 1/4"=1'



4 West Elevation
Scale: 1/4"=1'

Material Schedule		
Material Type	Manufacturer	Color
Roofing	GAF Timberline	Pewter
Lap Siding	LP Smartside	SW7656 Rhinestone
Trim	LP Smartside	SW7005 Pure White
Windows	Marvin Integrity	Clad - Stone White

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