



Village of Arlington Heights
Conceptual Plan Review Committee
Community Room, 3rd Floor
Arlington Heights Village Hall, 33 S. Arlington Heights Rd.
March 9, 2022
6:45 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Ryan Companies Mixed-Use - 4/28/21
- B. Vine Street Subdivision - 6/9/21
- C. Cortland's Garage - 9/1/21
- D. AutoSky Detailing - 1/12/22

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. Maryville/St. Anne Home - 800 N. Fernandez Ave. - T1755
Special Use Permit for Shelter Care Home for Girls
- B. Mueller Lot Consolidation - 318 W. Mueller St. - T1758
Subdivision to Consolidate two lots into one lot

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Conceptual Plan Review Committee
3/9/2022

Item: Ryan Companies Mixed-Use - 4/28/21

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Ryan Companies Mixed-Use - 4/28/21	Minutes

REPORT OF THE PROCEEDINGS OF
THE CONCEPTUAL PLAN REVIEW COMMITTEE

OF THE VILLAGE OF ARLINGTON HEIGHTS PLAN COMMISSION

HELD AT VILLAGE HALL VIRTUALLY ON:

April 28, 2021

Project Title: Ryan Companies Mixed Use

Address: 364 E Golf Road
Arlington Heights, IL 60005

Petitioner: Dan Walsh, Senior VP
Ryan Companies
Naperville, IL

Requested Action:

- Rezoning of approximately 8.5 acres from the B-2 District to the Institutional (I) District; rezoning of approximately 3.1 acres from R-1 One Family Residential to Institutional (I).
- Planned Unit Development (PUD) to allow a 175 unit senior living facility (6 floors) and 31 senior villas; a 50,000 square foot 3 floor medical office building, a 15,000 square foot wellness center and a 9,000 square foot commercial building.
- Plat of Subdivision (if multiple lots are to be provided)

Variations Required:

1. A variation from Chapter 28, Section 5.1-8b., to grant relief from the requirement that property over 4 acres zoned Institutional must have frontage on at least a secondary arterial roadway.
2. A variation from Chapter 28 Section 10 Parking to allow a reduction to parking from 158 to 120 spaces for the senior housing component.
3. A variation from Chapter 28 Section 5.1-8 Height to allow 70 feet (estimate) where 45 feet is allowed.

Attendees: Dan Walsh, Ryan Companies
Amy Weishaar, Ryan Companies
Brett Bunke, Ryan Companies
John Sigalos, Plan Commissioner
Bruce Green, Plan Commissioner
Lynn Jensen, Plan Commissioner
Bill Enright, Asst Director Planning and Community Development
Sam Hubbard, Development Planner

Project Summary:

The subject properties include International Plaza, three properties along Golf Terrace (one of which is owned by the Village), the corner property at Arlington Heights Road and Golf Road (owned by the Village), and the rear portion of vacant land owned by the Village south of Council Trail. The site overall is 18.3 acres and is located just east of Arlington Heights Road along the north side of Golf Road. The properties are currently a single story commercial shopping center consisting of approximately 164,000 square feet of floor area, three single family homes along Golf Terrace, and a portion of a Village owned vacant lot, and the corner properties which are vacant. The site has access off Golf Road at a signalized main entrance and two secondary access drives off Golf Road. Access is also provided at Arlington Heights Road and Golf Terrace. The developer proposes an access drive for the Villas at Tonne Road and Council Trail at the rear/north side of the site.

Ryan Companies US, Inc., a national developer, is proposing demolition of the existing shopping center for redevelopment as a senior housing development and three commercial buildings fronting Golf Road. The petitioner is proposing a 175 unit

senior living facility, which would have independent living, assisted living, and memory care at the center of the site which will be 6 floors tall and approximately 70 feet height. This building will be set back approximately 200 feet from the north property line and 425 feet from the east property line, both of which exceed the required setbacks. In addition, there will be 31 villa units comprised of a mix of duplex and simplex units that wrap around the north and east sides of the site adjacent to the residential to the north and to the east. These units provide a nice buffer of low-density development with ample green space. Ryan Companies is the developer and is partnering with a senior housing provider who would operate the senior housing facility. Also included is a 50,000 square foot 3 floor medical office building nearest the corner of Arlington Heights Road and Golf Road, a 15,000 square foot wellness center, and a 9,000 square foot commercial building. The three main buildings are oriented around a center green plaza connecting the senior housing with the medical office and the wellness center in a campus like setting.

Meeting Discussion:

Mr. Walsh stated they have a presentation they want to use for the meeting. Stated they are returning to this committee with a revised concept for the consideration of the committee it is an expanded concept that takes them beyond on what was contemplated last summer, which was primarily a Senior Living Community to a much grand and more progressive approach to redeveloping International Plaza. It is a Senior Living Health and Wellness campus that is being presented. Showed a map from the presentation of Arlington Heights Road and Golf Road and the northeast corner of that major intersection is about 18 to 19 acres, primarily consisting of International Plaza which is a retail center that is partially occupied and some vacant parcels, several that are owned by the Village and that is going to be the subject of the concept plan. Mr. Walsh noted that the Northwest Suburban Pain Center, which occupies the east side of Arlington Heights Road, north of Golf Road is a separate parcel and is not a part of the master plan. Although he Mr. Walsh said he views that as a complimentary use and look to embrace that as part of the overall concept. Mr. Walsh said what they are presenting tonight as he had mentioned, is a bigger bolder vision than what was discussed last summer. It goes beyond senior living to really the whole person wellness. He added that what is seen on the masterplan, it incorporates, health, wellness, senior living and retail. He again said, in this broader vision he believes there is a strong desire and need within Arlington Heights and the surrounding communities. For more than just high-quality senior living, but an offering of wellness that really addresses the physical, emotional, social, spiritual, intellectual, and environmental dimensions of all of their customers. Mr. Walsh said when you see the master plan, it should be noticed that they are aggregating a collection of uses that really provide a multi-disciplinary approach. There's a senior living building itself, but you'll see a wellness center and medical office building and retail. Stated in all these you will note are an important element in creating a broader approach, a mixed-use approach, a dynamic environment that focuses well beyond the medical or senior living, and addresses the whole person wellness. Asked Brett to walk everyone through the master plan.

Mr. Bunke started out by saying the site plan that is seen on the screen, Golf Road to the south and Arlington Heights Road to the west. At the intersection, which is an existing intersection, the plan is to keep it signalized into the property and that is the main entry to the new site plan. As you enter the site, it is shown that there are three main grouping of buildings. These are the buildings that Dan was referring to that creates this very dynamic community. The center building would be a senior living building, which would be approximately 5-6 stories tall. Connected to that would be a 1-story 15,000 sq ft wellness center, and addition to that would be a 3-story medical office building near the hard corner of Arlington Heights Road and Golf Road. In the center, the buildings would be connected with open green space. The opened green space, they see as active for uses for both of the wellness and senior living community programs that get presented by both the medical and wellness center. He stated also important to this community are Villas and the plan shows approximately 30-35 1-story villas. These are also connected to the senior living community via walking paths, sidewalks, again creating the overall wellness and healthy aspect to the project. The center of the plan is showing a open pond, which is actually retention, but it creates the overall feeling and effect of the community as being a water feature as well as storm water retention. The plan is showing a one-story retail building approximately 9,000 sq. ft with surface parking. The uses can vary, there is not an exact use for that at this time. It can be a restaurant that contributes to this healthy eating wellness aspect of the project. Another image showing the site plan super imposed on the existing surrounding context. Residential to the north and to the east. Intentionally located the single story villas next to the residential to gradually making the transition from the residential to the more dense area of the center of the site which faces Golf Road. The connection is kept at Golf Road at the signal intersection, but there are also two curb cuts along the south. Access to the retail as well as to the villas and access directly to the medical office building. The east there is also a connection kept to Golf Terrace, this allows access to the site via southbound along Arlington Heights Road and he

stated they continue to work with the Staff to address Fire Department access throughout the site. The next series of images that are shown are some precedent images giving a sense of the architectural.

Mr. Walsh interrupted asking if Mr. Bunke mentioned the connection to the north? To Council Trail?

Mr. Bunke responded he did not, and thanked Mr. Walsh for reminding him. He continued showing access to the north at Tonne Road, stated that this has been in discussion with the City Staff, this would allow the people living in the villas to come through that area, instead of coming down Arlington Heights Road or Golf Road and this is something they continue to study and work with City Staff. Showing the architectural images, along the top are the images of medical office buildings, showing projects that Ryan Companies developed and constructed – 2 story medical office building in Elmhurst, masonry, glass, and metal. Showing a 6-story building to show everyone a sense of the density of the 6-story senior living building that is being proposed. Showing examples of different buildings that have been developed. Want this to be inviting, modern, contemporary with masonry glass, wood, painted metal. Turns it over to Mr. Walsh to talk about their Senior Living experience with some of the images.

Mr. Walsh explained that Ryan Companies is partnered with Watermark Retirement Communities to bring forward the senior living and wellness and villas, so he is demonstrating several things with the slides he is presenting to the committee. First, he says as a team, Watermark and Ryan have been able to develop senior living in a variety different form, urban, suburban, Midwest, southwest, it demonstrates their ability to understand the local architectural context culture and to bring forward a project with strong architecture that relates to the surrounding context in public spaces. Watermark Retirement Communities is represented by the founder David Freshwater is at the forefront within the country. Mr. Walsh is asking Mr. Freshwater to talk about Watermarks experience and approach for wellness and how that will really differentiate this redevelopment, to senior living health and wellness campus and how it will be very unique to Arlington Heights.

Mr. Freshwater starts off with a quick introduction saying that Watermark is based out of Tucson Arizona, they have been in senior housing exclusively for the past 37 years that they have been operating. They have communities in 23 states and are in about 66 communities. Explained what senior housing needs to provide the necessary services, but also discovered that they focus on all the dimensions of wellness and understanding that especially servicing baby boomers they really are focused on not aging at all but really define aging. Mr. Freshwater stated that the focus of wellness is to keep people in whatever state they are in to keep them as functional and able to thrive as much as possible. Mr. Freshwater refers to the images on display and explains one of the images and facility in Tucson Arizona that actually is connected with Equestrian Facilitated Learning, Equestrian Facility therapy and said it's a really special place. That one is on a park system and has stables on the site. Watermark is doing some very very different things. Horse therapy is being used in their memory care, he stated that it has proven to keeping people calm and keeping away the kind of agitation with folks with memory diseases. Mr. Freshwater stated they have been doing this for years and have partnered up with quality firms like Ryan Companies because they know how to build them and Watermark focuses on the operation.

Mr. Walsh asked Mr. Bunke to back up to the Mater Plan, the first Master Plan. He wanted to emphasize that along Golf Road, the Wellness Center has a very important front face to Golf Road, yet Mr. Walsh stated the Wellness Center is connected to the Senior Living with a physical connection, but also, an open space recreational connection. He explains its because the Wellness Center isn't strictly for the residence for the Senior Living building, its there to serve the greater Arlington Heights community. They situated on the site, so that the community can access the Wellness Center, as well as the Senior Living Building, as well las the connection to the Medical Building through the pedestrian connection. He stated the last two slides of the presentation are about Ryan Companies and Watermark Retirement Communities. He said it's a commercial on the companies.

Commissioner Green thanked Dan and said John was the only one present tonight with him.

Commissioner Sigalos started by saying it was an excellent presentation and an excellent use for this site and would really like to see this developed. He said all his questions he had but said Dan stated it and said the facilities are look great and it's a great project.

Commissioner Green said he agrees with John. He feels the concept is extremely exciting. He remembers starting years back with this redevelopment, where it was then, and where it is now, he thinks this company is doing a tremendous job, this will be beautiful development, architectural the lakes, the villas and deserves applauding them on this. He feels this is going to be a tremendous thing for Arlington Heights and is very excited on what was shown at this evening.

Mr. Hubbard wanted to talk about some of the comments from the Staff perspective. Talk about main points of analysis. It is a 6-story building proposed, the Senior facility in the center of the site. It does require a variation; it needs to be rezoned into the I District. He said Staff is generally supportive of the height variation, but want to ensure it is high quality architectural, this is going to be the center piece of this development and this prominent corner Golf and Arlington Heights Road. Staff is not opposed of the height, just want to make sure the design is well thought out. Asking the petitioner to explore some additional opportunities for commercial space that would potentially serve development on the perimeter on the Golf Road side, if feasible, per market demand. There is an opportunity for a small plaza space and focal point at the corner of Arlington Heights Road and Golf Road, so they are asking the petitioner to evaluate that and pay careful attention to the entry ways into the site, they present a unique opportunity for enhanced landscaping, there is some infrastructure work that needs to be done along Golf Road and the sidewalk its and existing carriage walk, want it to be relocated to create a parkway there with potential for expansion to a bike path in the future with additional width, this was outlined in the Staff Report. There were some unique parameters for the sidewalk in this location.

Staff is suggesting a preliminary meeting with the Design Commission prior to finalizing the project. This will require Design Commission approval and application with the DC Commission. Staff is asking Ryan Companies to touch base early with our liaison to the Design Commission and coordinate a preliminary review. Preliminary Engineering plans will be required. There is a detention area proposed, we want make sure that the detention area provides capacity for the not only for the Senior Living site, but for the other uses in the development. This site is a little larger than the previous development proposed, the Village acquired one of the single-family homes along Golf Terrace and part of this development there is half of a Village owned property that would be incorporated. Relative to traffic and access, traffic and parking study is required, there is a slight variation relative to onsite parking for the Senior Living facility if the petitioner can demonstrate thru data, that the code required parking may not be necessary, Staff will take a look at that. This PUD will be required to develop as a PUD. Cross access, easements, and interconnects will be required as necessary to provide for full access to Golf Road and the signal and Golf Terrace access drive. Asking the petitioner and the traffic consultant to take a look at that connection to the north to Council Trail and what type of traffic impact and distribution that would have to that residential neighborhood to the north, there is an opportunity for separate primary connection to Council Trail and the western side of the site. Asking the petitioner to look into that as a potential future cross access area. Staff wants the petitioner to look at some of the drive aisles to streamline the front drive aisles. Continue to work with the developer on some of the fire lanes and fire lane issues as mentioned. Staff is excited about the development. Generally supportive.

RECOMMENDATION

The Conceptual Plan Review Committee expressed support for the project and advised the petitioner to proceed forward with their application.

Bruce Green, Chair
CONCEPTUAL PLAN REVIEW COMMITTEE
Bill Enright, Recorder



**Conceptual Plan Review Committee
3/9/2022**

Item: Vine Street Subdivision - 6/9/21

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Vine Street Subdivision - 6/9/21	Minutes

REPORT OF THE PROCEEDINGS OF
THE CONCEPTUAL PLAN REVIEW COMMITTEE

OF THE VILLAGE OF ARLINGTON HEIGHTS PLAN COMMISSION

A VIRTUAL MEETING WAS HELD ON:

June 9, 2021

Project Title: Vine Street Subdivision

Address: 800 N Fernandez

Petitioner: Anthony Pecoraro

Address: Benchmark Developers, Inc.
725 E. Dundee Road, Suite 206
Arlington Heights, IL 60004

Requested Action:

1. Comprehensive Plan Amendment to change the designation of the property from “Institutional” to “Single-Family Detached”.
2. Preliminary and Final Plat of Subdivision approval to subdivide the property into 13 single-family lots plus one lot for detention.

Variations Required:

- Variation to Chapter 28, Section 5.1-3.1, to allow 85 wide corner lots where code requires a minimum lot width of 90' on corner lots.
- Variation to Chapter 28, Section 5.1-3.1, to allow 8,883 sq. ft. corner lots where code requires a minimum corner lot size of 9,900 sq. ft.
- Variation to Chapter 29, Section 29-307a.3, to allow 85 wide corner lots where code requires a minimum lot width of 90' on corner lots.
- Variation to Chapter 28, Section 29-307a.4, to allow 8,883 sq. ft. corner lots where code requires a minimum corner lot size of 9,900 sq. ft.
- Additional Variations may be identified upon submittal of a formal Plan Commission application.

Attendees: Anthony Pecoraro, Benchmark Developers
Bruce Green, Plan Commissioner
Lynn Jensen, Plan Commissioner
John Sigalos, Plan Commissioner
Jay Cherwin, Plan Commissioner
Sam Hubbard, Development Planner

Project Summary:

The subject property is approximately 3.76 acres in size and bounded by Fernandez Avenue to the east and Kaspar Avenue to the west. The site is currently owned and occupied by Sisters of the Living Word, a religious institution whose mission is to spread the word of God through ministry. According to the petitioner, the owner is no longer running at full capacity and staff has been reduced. Additionally, a portion of the building was previously leased to Northwest Suburban Montessori School, but they have since vacated and are no longer tenants.

The petitioner has proposed subdivision of the land into 13 single-family lots with an additional lot for onsite detention. Vine Street, which dead-ends into the site at the east, would be extended through the subject property and connected to Kaspar Avenue to the west.

Meeting Discussion:

Mr. Pecoraro introduced himself and stated that his business was a family business. Staff had done a really nice job to get

them through the preliminary process. Said they originally had a little more density and has reduced that to where he thinks staff would be a little more comfortable.

Commissioner Green said the report was very good and says that they understand what Mr. Pecoraro would like to do. He understands they would like to have 10 lots and the price tag on these houses is anywhere between \$900 – \$1.1 million.

Mr. Pecoraro responded that they are proposing 13 homes with a 14 lot being a detention area. Right now, they don't have the exact sizing down but that will get worked out through the Plan Commission process and through engineering. He said that originally, they intended to have a little bit lower price point with more lots and more density; they thought that smaller lots would have conformed with the neighborhood a little better. However, zoning restrictions are what they are and they've tried to adapt and are now at 13 lots which are approximately 85 feet wide by 105 feet deep. The minimum allowable lot size per zoning is 8,700 square feet, so their lots were a little over that. However, a variation would be needed for the corner lots as they are required to be a minimum of 9,900 square feet, but would be at 8,700 square feet. They think this is a nice development for the area. It's a really nice neighborhood and this project would fit in well. It is surrounded by single family homes. They were excited about this development and believed this is a desirable location with good amenities as well.

Commissioner Green thanked the petitioner.

Mr. Hubbard said the site is currently occupied by the Sisters of the Living Word facility, which is a religious institution. They are looking to sell the site to the petitioner for redevelopment of a single-family home subdivision. It would be 13 lots with a 14th lot dedicated for detention. As part of the subdivision they would demo the site and extend Vine Street through the center of the site. On the north side would be a row of homes and on the south side of the Vine Street extension there would be another row of homes. Staff is generally supportive of the development, as you heard, the petitioner has worked with us from their preliminary concept which was proposing 20 lots, which went down to 18 lots, and now through collaboration with staff, they are at 13 lots. They have worked well with staff to get a mostly code compliant development.

The site is zoned R-3 so it has the correct zoning for single-family uses, however, they would need a change to the comprehensive plan to reclassify the site from institutional to single-family detached due to the change in land use. Relative to the lot size and lot width standards of the R-3 District, all the lots conform, except for the corner lots, they are about 1,000 square feet shy of the minimum allowable lot size requirement. Staff is generally supportive of the lot sizes and acknowledge that they are larger than the lots in the vicinity, which are generally either 50 feet by 132 feet or 66 feet by 132 feet. This translates to existing lots sizes of approximately 6,000 - 8,000 square feet and the petitioner is proposing around 9,000 square feet per lot.

Due to the proposed change in use, the petitioner is being asked to hold a neighborhood meeting prior to appearing before the Plan Commission. Design Commission would also be required as part of this process. Design Commission application and approvals would be required prior to Plan Commission appearance. The lots do appear to be able to conform to all setback requirements, however, the petitioner should note that the setback for the corner lots is based on the average setback of the existing homes on that frontage. So for the exterior side lot lines on each of those three corner lots, the petitioner will have to provide information on the existing setbacks of all the homes up and down the frontage so the average setback can be calculated. The petitioner should be aware of this requirement and it will likely increase the setbacks for those lots, which is generally why corner lots are required to be a little larger than standard interior lots.

The petitioner has proposed that the stormwater detention lot would be under owned and maintained by the HOA. Typically, we see those lots dedicated to the Village to guarantee long term maintenance. The Village requires the petitioner provide an upfront fee so the maintenance can begin once it is dedicated to the Village. Staff is encouraging the petitioner to reach out to the Engineering Department to understand if this is something they will be supportive of, since the petitioner is proposing a privately owned detention lot. No traffic and parking study is required. He reiterates that staff is generally supportive of the project at this point, subject to addressing the items as raised in the staff report.

Commissioner Sigalos stated that he doesn't have any initial questions. He has reviewed the site plan and understands

the site presents some limitations on the lot sizes, but he doesn't have any questions at this particular point.

Commissioner Cherwin Asked about the HOA being established. He felt that the subdivision did not offer substantial amenities, other than the stormwater lot. He did not think residents living in the subdivision 15 years from now would be supportive of having to coordinate payments towards stormwater maintenance. It would be tough to organize those payments, and it is not a great reason to establish an HOA. He believed having the Village manage maintenance would be better for the long-term success of the facility. He also asked about the use and history of this property as far as being institutional. Has it been marketed as anything else for any other use?

Mr. Hubbard replied that he has not had discussion with other developers about this property. This is the first development proposal for the site that he has seen. He does not have a relationship with the property owners, so he does not know the extent of their marketing efforts. If they had approached the Village to discuss a vision for redevelopment or reuse of the site, he was not aware of that taking place.

Commissioner Cherwin said he is not opposed of this project. It seems like the developer was looking to have smaller lots but the Village was discouraging that; was the reason simply to avoid a variance? He said that it sounds like the size of the lots they were proposing were consistent with the surrounding neighborhood and code compliant lots would be larger than what is found in the neighborhood.

Mr. Hubbard responded that there were other issues beyond just the density and lot sizes with the 20-lot version. At 20 lots, all of the lots would have required variations for lot size and lot width and they were actually slightly smaller than the average lot sizes in the vicinity. Additionally, to fit in 20 lots, or even 18 lots, the size of the Vine Street extension through the site would not have been able to meet the minimum required width.

Commissioner Cherwin said it looks like a nice project. He was open to hearing more and learning more about it. He did not have any major issues with it at this point.

Commissioner Jensen said he doesn't really have any comments. He echoed the comment from Commissioner Cherwin relative to having the Village maintain the stormwater lot.

Commissioner Green stated that he did not believe the Plan Commission should support substandard lots, so development was not about how many lots can be fit into the site, and the number of lots should be determined by Village ordinances. He was a little concerned about the size and he thought the lots were a little bit small for the price. He was not sure they would justify the price point he was hearing given the size of the lots and homes. He did not object to the petitioner moving forward, but would like to hear more of the substandard lots and how many there are, and how they compared to the surrounding lots.

Mr. Pecoraro said they intended for the lots to look similar to the neighborhood. They are somewhat restricted due to the depth of the property. Originally they had proposed a more creative way to handle the right-of-way, which would have given more depth to the lots, as well as more size. The widths would have been 50 to 60 feet wide lot, which would have matched the neighborhood. However, the Village was asking for the full 66-foot right of way and the compromise was to reduce the lots. He agrees that the detention should be maintained by the city and prefers not to have an HOA just to maintain the detention.

Commissioner Green opened the floor up to public comment.

No one from the public spoke on this project.

RECOMMENDATION

The Conceptual Plan Review Committee expressed an interest to hear more about the project and encouraged the petitioner to proceed to the Plan Commission.

Bruce Green, Chair
CONCEPTUAL PLAN REVIEW COMMITTEE
Sam Hubbard, Recorder



Conceptual Plan Review Committee
3/9/2022

Item: Cortland's Garage - 9/1/21

Department: Planning & Community Development

ATTACHMENTS:

Description

Cortland's Garage - 9/1/21

Type

Minutes

REPORT OF THE PROCEEDINGS OF
THE CONCEPTUAL PLAN REVIEW COMMITTEE

OF THE VILLAGE OF ARLINGTON HEIGHTS PLAN COMMISSION

A MEETING WAS HELD ON:

September 1, 2021

Project Title: Cortland's Garage Patio Enclosure

Address: 1 N. Vail Avenue

Petitioner: Brian Roginski

Address: Cortland's Garage
1 North Vail Avenue
Arlington Heights, IL 60005

Requested Action:

1. Planned Unit Development (PUD) approval to allow an approximately 1,077 square foot building addition in the B-5 District.
2. Amendment to Special Use Permit (SUP) Ord. 83-056 to allow a 1,077 square foot building addition to the existing restaurant.

Variations Required:

- Additional Variations may be identified upon submittal of a formal Plan Commission application.

Attendees: Brian Roginski, Cortland's Garage
Jim Platt, CAM Services
Jay Cherwin, Plan Commissioner
Lynn Jensen, Plan Commissioner
John Sigalos, Acting Chair
Sam Hubbard, Development Planner

Project Summary:

The petitioner and restaurant owner, Brian Roginski, would like to construct a fabric roofed canopy/enclosure on the north side of Cortland's Garage, which would enclose a portion of their existing outdoor patio. This enclosure would total approximately 1,077 square feet, equating to 59% of the existing 1,857 square foot exterior patio and would allow this portion of the patio to be used year-round.

The interior of the building is approximately 5,662 square feet and includes a 3rd floor office area, 2nd floor mezzanine area that includes an auxiliary bar and seating area, and a first floor that has the primary seating area, kitchen, bathrooms, and main bar. There is also a basement, which includes storage and an additional food prep area. The interior of the building has a total of 1,322 square feet of seating area.

Cortland's Garage is open between 11am-12am on Sunday through Thursday and 11am-2am on Friday's and Saturdays. However, the existing outdoor patio is closed after 11:00pm per the Outdoor Eating Café regulations within Chapter 28 of the Municipal Code. As the area for the proposed outdoor enclosure is already used (on a seasonal basis) for additional seating, no additional staff are anticipated over the existing peak staff employed by the restaurant. There is no on-site parking; parking for Cortland's is provided within the downtown Arlington Heights public parking system, consisting of on-street parking and public garages/parking lots.

Meeting Discussion:

Mr. Roginski introduced as the owner of Cortland's Garage.

Mr. Platt introduced himself as a business consultant that was helping Mr. Roginski through the process.

Commissioner Sigalos asked the petitioner to explain their proposal.

Mr. Roginski explained that he was interested in putting in a canopy above his patio where they already had outdoor seating. During summer it would provide rain cover and shade and in the winter they could put heaters in there. They would like to add some wind walls for really cold times but not until they have to. The majority of the time it would be completely open walls, maybe 10 months out of the year. It was necessary to provide extra space to get through the COVID pandemic.

Mr. Platt said the side walls would be temporary. The canopy would ideally be a permanent structure.

Commissioner Sigalos asked if the canopy would have metal trusses and would be anchored into the ground with concrete footings. Just the side walls would be temporary?

Mr. Platt said the side walls are only as needed. For inclement weather. It would probably have only two walls since it was boxed in between the Cortlands building and the building next door.

We started talking to the Building Department. Talked to the Planning Department about Design as well, and have discussed issues with them. The one issue was whether this was identified as a full building addition, which we are not sure how that is because there's already the existing space. There would be no increase in customers, vehicles, square footage, employees; none of that is being added because the space already exists and been approved for the operation. They were just proposing a canopy over the top of the patio area so they could use it more often so people can sit outside and give them a more outdoor environment.

Mr. Hubbard stated the property is in the B-5 Downtown district and all restaurants are required to get a special use permit. The subject property obtained a special use permit in 1983, which has been assumed by different businesses over the years, prior to Cortland's, it was Harry's Restaurant and they got approval for an amendment to their special use permit and PUD approval to allow a building addition. Harry's never moved forward with construction so those approvals lapsed. Because this is a permanent structure that will enable year-round use of the patio, it is classified as a building addition from a zoning standpoint. In the B-5 district, any building addition over 500 square feet is required to get PUD approval. They also need to amend their original Special Use Permit to allow for the expansion of the seating area, I understand it's currently a patio and there's currently seating there, and they're going to build an enclosure over it; it's going to go from seasonal to year-round use and it requires an amendment to the special use permit. From an appearance standpoint, it does need to go before the Design Commission. The Staff Development Committee is supportive of the expansion of the restaurant; we were supportive of the expansion in 2009, although there are some concerns about the material being proposed by Cortland's. The exterior is a fabric material, which is more of a temporary material and may not be appropriate for the Downtown Arlington Heights setting. I don't think that the Staff Development Committee has opined one way or the other, but there is some concern over the appearance. The Staff Development Committee would prefer to see a more permanently designed addition with brick work or masonry materials as opposed to a fabric canopy. There are some building code implications and I've touched base with Mr. Platt about those and he is working through the Building Department to understand what type of upgrades are needed from an accessibility standpoint. The Village doesn't expect this to have an impact on traffic or parking, generally supportive of the addition, just subject to the comments outlined in the Staff Report.

Commissioner Cherwin asked where else can we look to that's something of this scale and this fabric material has been implemented? What is an example?

Mr. Platt said TNT restaurant on Campbell and Wilke is a good example visually, they put theirs over the parking lot. We have about 20 sites that the awning company has provided that are currently in Chicago for restaurants and stores that are using the same type of application.

Commissioner Cherwin asked if TNT was evaluated under a different standard since it was not in a Downtown District?

Mr. Hubbard responded yes, there was a little bit of a different perspective on what was appropriate because it was not in a B-5 District and was outside Downtown.

Commissioner Cherwin asked if it would be constructed with structural support; the plans looked to include concrete piers that would hold it up.

Mr. Platt said the Building Department felt was better for stability.

Mr. Cherwin asked if the piers were bolted into the ground below? If you have to go through this and somewhat permanent and significant, how much more incremental would it be to give something that has something like a cedar roof oppose to an awning. Have you looked at that as an option?

Mr. Roginski stated that from what they knew at this point, yes.

Mr. Cherwin said that if you have to add footings and create something that was somewhat permanent and significant, how much more incremental would it be to construct something like a cedar roof as opposed to an awning? Have you looked at that as an option?

Mr. Platt replied that they had looked into this. The original project that Harry got approved, the cost for that is about \$1.2 million. This project is about \$75,000.

Commissioner Cherwin asked if there was something inbetween? Something between \$75,000 and \$1.2 that's viable.

Mr. Roginski stated that for what he can afford, no.

Mr. Platt said that the petitioner's design was trying to following the vibe that Downtown is trying to have; something like a Chicago feel, that's why we are trying to work with a company that has done dozens of these in the City, so they are familiar with that look and exit doors and fire doors, and all that stuff is being considered and we are complying with the Building Department.

Commissioner Cherwin said that in general he is not overly concerned since it was somewhat tucked away. He wants to see what the public thinks of it. The wall up front by the street may be a little concerning. If it wears and doesn't look good after a while, are you able to replace just the front wall?

Mr. Roginski said yes and he reiterated that the front wall would only be in use two or three months a year.

Commissioner Cherwin said it could wear and the concern is it ends up looking deteriorated in five years; fading on the top was not a concern to him. He asked about runoff created by the canopy, in particular how it would impact the building to the north.

Mr. Platt said they have talked to the architect and they are prepared to put on a better system along that side to divert water and keep on the Cortland property.

Commissioner Sigalos stated that the runoff would then be directed through the down spouts. Where is that water ending up?

Mr. Platt said that there is a drain in the patio.

Commissioner Cherwin said he wants to see them do well and see people outside. He doesn't have a huge problem with the proposal. He understands the Village perspective, but if it's not financially viable it shouldn't be forced. Doesn't seem to

have a reason to not proceed with the proposal. His biggest concern was with wear and tear and that could be addressed with a condition of approval that if over time if it starts looking old and wears, then they would be required to replace the side walls.

Mr. Roginski said he agrees that if it starts looking old and unattractive, he would change the side walls. He said it's a no brainer.

Commissioner Cherwin stated that he's seen these things before and doesn't recall thinking they looked terrible. He was generally supportive.

Commissioner Jenson said he is pretty supportive, thinks there are some technical issues. He asked about the heaters and referenced the staff report that said gas and propane heaters would not be allowed.

Mr. Roginski responded that they would have electric heaters.

Commissioner Cherwin asked if electric heaters would be allowed.

Mr. Hubbard replied they will have to work it out with the Building Department. Said he believes electrical heaters would be acceptable.

Commissioner Jensen asked if there was going to be any entertainment?

Mr. Roginski said no, not really. He did not want to upset the neighbors with noise or anything. He has a great relationship with them and has not received any phone calls.

Commissioner Jensen recommended that staff make it clear in the staff report that entertainment was not allowed and that the petitioner would not be having any entertainment. He asked what body had authority over the material that would be used. Was it under the purview of the Design Commission or the Plan Commission.

Commissioner Sigalos said he thought it was the Design Commission.

Mr. Hubbard said it would be up to the Design Commission and whether or not the materials are compatible with the materials Downtown. Relative to the use, parking, being too noisy, that would be under the Plan Commission.

Commissioner Jensen said he's generally supportive.

Commissioner Sigalos said he had a couple of questions. Asked about the twenty structures in the city. Are they all anchored in concrete foundation as the one being shown? Asked whether this would be more of a temporary tent?

Mr. Platt responded that these would be permanent.

Commissioner Sigalos asked if there are any nearby this area that can be taken a look at?

Mr. Platt said there are some around here in the suburbs. They could provide a list and pictures.

Commissioner Cherwin stated that Moretti's in Schaumburg has one maybe.

Mr. Roginski said Buffalo Wild Wings in Randhurst had one, although it was smaller.

Commissioner Sigalos recommended that they provide the location of similar structures in the suburbs as part of the Plan Commission process so that the Plan Commission could take a look at them.

Commissioner Cherwin stated that the proposed structure would be less prominent than other examples since it would be screened by buildings on most sides. The front portion was the main concern.

Commissioner Sigalos agreed that the front façade was the biggest concern. To him this was a permanent structure.

Mr. Platt said that this is top of the line canvas material. Will have information from the awning company to identify the quality of the canvas.

Commissioner Sigalos asked if they have communicated with the Building Department as far as any requirements that they would have? How do they consider it a permanent structure or a temporary structure?

Mr. Platt said they have talked to the Building Department and they have provided preliminary feedback. What they are trying to address with them is whether this is an expansion of this current usage. The special use is not changing, just trying to get more time of the year to use the space.

Commissioner Sigalos asked if the Building Department addressed if a fire sprinkler will be required?

Mr. Platt said they have looked at that, but have not asked for a sprinkler system.

Commissioner Sigalos stated that he's a contractor and is currently involved with some restaurants that have an outdoor canopy and seating area and may municipalities require that to be sprinklered. These areas were enclosed, all open, but had a structure above and the municipalities wanted it sprinklered.

Mr. Roginski asked how does that work in January?

Commissioner Sigalos said it's a dry system.

Mr. Platt said that this has not been an issue for them at this point and it has gone through review by the Fire Department.

Commissioner Sigalos stated he wanted them to be aware of this potential issue so there aren't any surprises because it could cost thousands of dollars later on.

Commissioner Cherwin said if they do require that, he would recommend that they push back on the requirement since it would be a sprinkler for an outdoor space. It was probably subject to some interpretation.

Commissioner Sigalos said would love to help Cortland's Garage and keep it more outdoor and year-round.

Commissioner Sigalos opened the floor for public comment.

Mr. Moens asked why public comment was only solicited at the end of the meeting and not after each agenda item. He asked about the point of the Conceptual Plan Review Committee and that it appeared to be a body that was subjectively deciding on projects.

Commissioner Sigalos explained that the Conceptual Plan Review Committee did not approve or deny any project; they provided their opinions on preliminary concepts.

Mr. Moens asked why the Conceptual Plan Review turned projects down?

Commissioner Jensen explained that if they have problems with any particular project, the petitioner can still appear before the Plan Commission. They only provided their preliminary opinion to potential petitioners

Commissioner Sigalos said they try to help petitioners and make them aware of certain codes and requirements that they

will have to comply with, which may be cost prohibitive.

Mr. Moens stated that as a committee, he recommended that they prepare a report to their parent body with some type of formal action being taken. The committee seemed very subjective and public comment was not occurring at times when it should. Minutes were not completed in a timely fashion.

Ms. Cayer stated that the Conceptual Plan Review Committee should be disbanded because it discouraged development in Arlington Heights.

Mr. Moens said that the public should have been given an opportunity to speak prior to voting to approve the minutes.

RECOMMENDATION

The Conceptual Plan Review Committee encouraged the petitioner to move forward with their proposal and work with staff on certain items.

Bruce Green, Chair
CONCEPTUAL PLAN REVIEW COMMITTEE
Sam Hubbard, Recorder



Conceptual Plan Review Committee
3/9/2022

Item: AutoSky Detailing - 1/12/22

Department: Planning & Community Development

ATTACHMENTS:

Description

AutoSky Detailing - 1/12/22

Type

Minutes

REPORT OF THE PROCEEDINGS OF
THE CONCEPTUAL PLAN REVIEW COMMITTEE
OF THE VILLAGE OF ARLINGTON HEIGHTS PLAN COMMISSION
A MEETING WAS HELD ON:

January 12, 2022

Project Title: AutoSky Detailing
Address: 3456 N. Ridge Avenue, Unit 100

Petitioner: Carlos Meza
AutoSky Detail, Inc.
Address: 1223 E. Prairie Brook Drive – Apt. A1
Palatine, IL 60074

Requested Action:

1. Land Use Variation to allow Minor Motor Vehicle Repair and Car Wash/Detailing within the M-1 District.

Variations Required:

- None identified at this time. Variations may be identified upon submittal of a formal Plan Commission application.

Attendees: Carlos Meza, Petitioner
Bruce Green, Plan Commissioner
Lynn Jensen, Plan Commissioner
John Sigalos, Plan Commissioner
Sam Hubbard, Development Planner

Project Summary:

The subject property is 5.06 acres in size and contains a 100,207 square foot office/light industrial building that includes four separate units. Access comes from two curb cuts on Ridge Avenue, which connect to a parking area at the front of the building and wrap around each side of the building leading to a secondary parking area at the rear. In total, the site includes 129 parking spaces. Additionally, each of the four units contains a double wide overhead door for shipping and receiving, as well as a single-wide overhead door for auxiliary truck/vehicle access. Two of the four units are occupied, with the remaining two units currently vacant, although Arlington Heights Ford (the property owner), who also owns the abutting dealership to the north, uses unit 100 (subject unit) for miscellaneous storage.

The Arlington Heights Ford dealership subcontracts detailing and minor repair work to the petitioner, Carlos Meza, owner of AutoSky Detail, Inc. For several years, AutoSky has worked out of the abutting Ford Dealership at 801 W. Dundee Road to the north, however, upon the recent acquisition of the subject property, Ford relocated AutoSky into the 1,500 square foot loading dock of unit 100 within the building. The petitioner subsequently applied for a new business license and was informed that the subject property was zoned M-1, which was a light manufacturing zoning district that did not permit auto detailing and minor repairs. Accordingly, AutoSky has initiated the zoning approval process and is seeking Conceptual Plan Review Committee feedback.

Meeting Discussion:

Mr. Meza stated that he was the owner and operator of AutoSky detailing and would like to petition for what he believed was a rezoning in order to operate a detailing shop out of 3456 North Ridge. He said he's been doing mobile detailing for over 10 years, but landed a good account that would allow them to stay local in a location instead of doing mobile detailing at offsite locations. He had been operating on a Business License from Palatine. He said to continue the business with Arlington Heights Ford, in the future he is going to need license plate to transport vehicles back and forth to locations. Looking for zoning approval.

Commissioner Green asked Mr. Meza what type of work would he be doing in his business.

Mr. Meza responded that basically its auto detailing and it entailed reconditioning of vehicles, which entailed vacuuming, shampooing interior vehicles, and buffing but not any painting or body work. Just water based and soap and chemicals that are all compliant. Also, Mr. Meza stated that they will be doing paint-less dent repair. All repairs done would be minor and cosmetic in nature.

Mr. Hubbard said the property is in the M-1 zoning district, multi-tenant industrial building located on Ridge Avenue, in the north side of the Village. The petitioner is proposing a minor auto repair use. Minor repair is not allowed in the M-1 district, so a land use variation is required. Car washes are also not allowed in the M-1 district and because the petitioner is going to be hand washing cars it falls under the car washing detailing classification and that requires a land use variation as well. So that is the reason the petitioner would need to make an application to the Plan Commission. Generally, as far as the use is concerned, it's very small and takes place in a loading dock/area that is about 1,500 square feet. The overall building is just over 100,000 square feet so this use is about 1.5% of the overall floor area so overall it is not a significant operation within the building. Staff is generally supportive of the use, we don't anticipate problems, but in order to process this application, we need more information on the building. To calculate parking we need to know information on the other tenants in the building, including how Ford is using the unit that the petitioner is located in. With this information we can calculate the parking requirement and understand, from a parking standpoint, what the impact of the use will be. However, with four employees at peak, staff does not anticipate a big impact. Since there will be cars parked on the site awaiting repairs, we would need to ensure there is enough capacity for that. Staff needs to see where car awaiting repairs would be parked on the site. Since the petitioner would not be doing any major body work it probably won't have a negative appearance but want to make sure we understand where the cars would be stored. There aren't any changes proposed to the interior of the building, but Staff will inspect the site landscaping to make sure landscaping is up to code.

The Building Department is going to need to see the types of chemicals and materials that are stored and the operations that will occur at this business. Depending on type and quantity of the materials and operations, a control room and/or a fire suppression system may be required, and adequate ventilation may also be required as well. Technically, code requires a parking and traffic study so the petitioner will be required to submit that, but with such a low intensity use, we think a variation may be warranted, so you the petitioner may wish to request that variation. A complete analysis on the parking will be done once all information is provided. If there's a parking deficit, from a code standpoint, we would likely ask that the petitioner survey the parking lot over a two-day period to understand what the baseline demand is, and then that will be evaluated as the application moves forward. All in all, it's a very small and low intensity use, the Staff Development Committee is supportive of the use but needs additional details in order to quantify and analyze all code requirements.

Commissioner Sigalos asked if the petitioner recently moved into this space and went to get a business license, which is how they found out a variation was required?

Mr. Meza responded yes, his business and business license was approved because he had been operating onsite at the Ford Dealership. That's how he started his business relationship with Ford. Recently, Ford came under new ownership and they started spreading people out. The dealership bought the 3456 Ridge building and moved his business in there temporarily, but then they determined it would be better to house his business permanently in the 3456 building. When he learned he would be at the 3456 building permanently, he applied for a business license and license plates to transport vehicles.

Commissioner Sigalos asked if the Village allowed vehicles to be parked onsite overnight?

Mr. Hubbard responded that automobile storage was allowed in the M-1.

Commissioner Green stated that he didn't want vehicles stored onsite to be in poor condition.

Commissioner Sigalos agreed with Commissioner Green.

Mr. Meza explained that the vehicles he works on are vehicle that are ready for purchase or trade-in. He only did business to business transactions. He did not take walk in customers. The work flow depends on the flow at the dealership.

Commissioner Sigalos said he thinks its good use of the space.

Commissioner Jensen asked if the space was being leased from Ford.

Mr. Meza responded yes

Commissioner Jensen asked about the business relationship with Ford.

Mr. Meza replied that they had a verbal contract. He will give them onsite services for a very discounted price as long as they can house him and they absorb all the bills associated with the building.

Commissioner Jensen said that Ford appears to be the petitioner and not Mr. Meza. He feels Ford should be the one applying for the Land Use Variation and they will be the one responsible for any landscape upgrades needed and he doesn't think that Mr. Meza has leverage over anything.

Mr. Hubbard explained that anyone could be the petitioner. The Village can accept an application from the business owner or the landlord or a developer that wants to come in and do both. He may not disagree that it's a better application coming from Ford, as they are the building owners and probably have a lot of the information needed for this application. If Mr. Meza is the petitioner, Ford will have to provide all the details through Mr. Meza.

Commissioner Jensen said that Mr. Meza can't commit to the landscaping things.

Mr. Hubbard said the it would be no different from a tenant leasing a space and the landlord would be responsible for making improvements to their property as necessary to allow their tenant to occupy the space.

Commissioner Sigalos said a tenant doesn't have control over the landscaping; it's the owners responsibility.

Commissioner Jensen asked if the Village has leverage to make sure they complete any necessary landscape upgrades?

Mr. Meza responded that he spoke to ownership about all these changes and mentioned that they have to be up to code, so they are all on the same page.

Commissioner Jensen said he supported a variation to waive the traffic and parking study requirement. He doesn't have a problem with the proposed use, he just wants to sort out who should come before the Plan Commission. In his opinion it should be Ford.

Commissioner Green said that he wouldn't want to hold up AutoSky if Ford is not willing to make the application; he doesn't want to punish the tenant. However, he agrees with Commissioner Jensen and thinks Ford should be present. He advised the petitioner to find out the details on the chemicals from the supplier and provide it to the Village to determine what building upgrades may be needed. A control room and a suppression system and any needed ventilation system could be very expensive. He suspects that Mr. Meza does not have a level hazardous material that would require these upgrades, but the Village would need to make that call. It's very important. He thinks it's a great use. Hopefully as the business grows, they can get a bigger space and do more business.

Mr. Meza responded yes. He was tying to get there.

Commissioner Sigalos asked if they are doing this strictly for Ford, or whether individuals could bring their car to be worked on.

Mr. Meza answered no, it would have to go through Ford.

Commissioner Green said he believed they were giving three thumbs up on the proposed use. He opened up the floor for public comment.

No public comments were received.

RECOMMENDATION

The Conceptual Plan Review Committee encouraged the petitioner to proceed with this project.

Bruce Green, Chair
CONCEPTUAL PLAN REVIEW COMMITTEE
Sam Hubbard, Recorder



Conceptual Plan Review Committee
3/9/2022

Item: Maryville/St. Anne Home - 800 N. Fernandez Ave. - T1755

Department: Planning & Community Development

Requested Action

1. Special Use Permit to allow a "Shelter Care Home" on the subject property.

Variations Required

1. No variations identified at this time.

Recommendation

The Staff Development Committee (SDC) reviewed the proposed Special Use Permit to allow a "Sheltered Care" home on the subject property and is generally supportive of the request subject to submittal of a Plan Commission application and resolution of the following:

1. For the requested Special Use Permit, the petitioner shall provide a written response to each of the three criteria necessary for special use approval, which have been included below:
 - That said special use is deemed necessary for the public convenience at this location.
 - That such case will not, under the circumstances of the particular case, be detrimental to the health, safety, morals or general welfare of persons residing or working in the vicinity.
 - That the proposed use will comply with the regulations and conditions specified in this ordinance for such use, and with the stipulations and conditions made a part of the authorization granted by the Village Board of Trustees.
2. For any requested variation, the petitioner shall provide a written response to each of the four hardship criteria necessary for variation approval, which have been included below:
 - The proposed use will not alter the essential character of the locality and will

be compatible with existing uses and zoning of nearby property.

- The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.
- The proposed variation is in harmony with the spirit and intent of this Chapter.
- The variance requested is the minimum variance necessary to allow reasonable use of the property.

3. The petitioner shall provide additional details on the proposed use, such as house rules and supervision protocols, where food preparation and meals would take place, what will happen to the girls once they turn 18, etc.

4. The petitioner shall provide a map and/or a list of addresses showing who was invited to the initial neighborhood meeting. If requested by the Village, the petitioner shall hold a second formal neighborhood meeting well in advance of any Plan Commission appearance.

5. The conceptual floorplan shall be revised to clearly show what areas of the building will be used by St. Anne's and what areas will remain vacant.

6. A parking variation for the future tenants on the site may be required.

7. The petitioner shall comply with all Federal, State, and Village Codes, Regulations, and Policies.

8. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:

Description

Staff Report

Aerial

Project Narrative

Plat of Survey

Conceptual Floor Plan & Site Plan

Type

Board or Commission Report

Exhibits

Correspondence

Exhibits

Exhibits



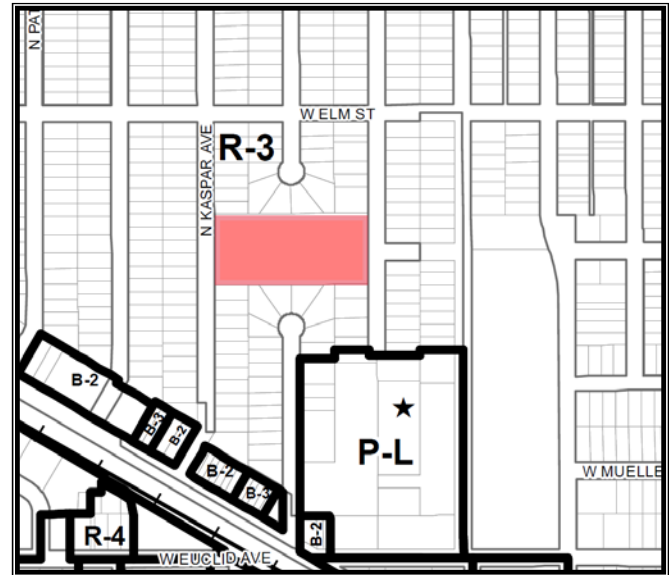
VILLAGE OF ARLINGTON HEIGHTS **STAFF DEVELOPMENT** **COMMITTEE REPORT**

Temp File Number: T1755
Project Title: St. Anne Home (Maryville)
Location: 800 N. Fernandez Avenue
PIN: 03-17-301-009

To: Conceptual Plan Review Committee
Prepared By: Sam Hubbard, Development Planner
Meeting Date: March 9, 2022
Date Prepared: March 4, 2022

Petitioner: Kathleen A. Duncan
Address: 71 South Wacker Drive, 47th Floor
 Chicago, IL 60606

Existing Zoning: R-3: One-Family Dwelling District
Comprehensive Plan: Institutional



SURROUNDING LAND USES

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	R-3: One-Family Dwelling District	Single-Family Homes	Single-Family Detached
South	R-3: One-Family Dwelling District	Single-Family Homes	Single-Family Detached
East	R-3: One-Family Dwelling District	Single-Family Homes	Single-Family Detached
West	R-3: One-Family Dwelling District	Single-Family Homes	Single-Family Detached

Requested Action:

1. Special Use Permit to allow a “Shelter Care Home” on the subject property.

Variations Required:

1. No variations identified at this time.

Project Background:

The subject property is approximately 3.76 acres in size and bounded by Fernandez Avenue to the east and Kaspar Avenue to the west. The site is currently owned and occupied by Sisters of the Living Word, a religious institution whose mission is to spread the word of God through ministry. The eastern half of the subject property includes an approximately 21,000 square foot two-story building with a partial basement, as well as 52 surface parking stalls dispersed primarily around the sides and rear of the building. The western half of the site consists of an open field and a small fenced/mulched area formerly used as a children's playground. The Village is aware that Sisters of the Living Word is no longer running at full capacity and staffing has been reduced. Additionally, a portion of the building was previously leased to the Northwest Suburban Montessori School, but they have since vacated and are no longer tenants.

Maryville, a social service agency that provides a range of programs including residential care, mental health services, healthcare services, family support services, educational offerings and youth development programs through-out the Chicagoland area, is interested in purchasing the subject property. They have proposed using a portion of the building as Saint Anne's Home, a long-term shelter home for girls aged 12-17 who are in the United States as unaccompanied children under the care of the Administration of Children and Families until they are 18 years old. The remainder of the building would be left vacant at the present time, although Maryville would seek to use or rent the space at some point in the future.

St. Anne's Home would have space for ten teenage girls and six teenage girls who are either pregnant or parenting, all of whom would live at the facility and attend local schools. Maryville would provide shelter and care for these individuals, as well as assistance in identifying family members in the United States who may be able to provide a permanent home and care for the girls. The facility would be staffed 24-hours a day, seven days a week. During daytime business hours the site would have 3-6 staff members assisting with services and providing care for the residents. During the evening shift there would be 2-3 employees onsite through the entire night. A more detailed description of the program is included in the packet provided to the Conceptual Plan Review Committee.

Zoning and Comprehensive Plan

The subject property is zoned R-3, One-Family Dwelling District, which allows single-family homes and religious institutions as permitted uses. The proposed St. Anne's Home would fall under a "Sheltered Care" use classification, which requires a special use permit in the R-3 District. As part of the Plan Commission review process, the petitioner must provide a written response justifying compliance with each of the three Special Use Permit approval criteria, as summarized below:

- 1. That said special use is deemed necessary for the public convenience at this location.***
- 2. That such case will not, under the circumstances of the particular case, be detrimental to the health, safety, morals or general welfare of persons residing or working in the vicinity.***
- 3. That the proposed use will comply with the regulations and conditions specified in this ordinance for such use, and with the stipulations and conditions made a part of the authorization granted by the Village Board of Trustees.***

The petitioner will need to provide additional details on the proposed use, such as details on the house rules and supervision protocols, where food preparation and meals would take place, what will happen to the girls once they turn 18, etc.

The Comprehensive Plan currently designates the property as “Institutional”, which corresponds to the current religious usage. The proposed facility is institutional in nature and appropriate for the Institutional classification as designated in the Comprehensive Plan (Sheltered Care facilities are only allowed in the R Districts and I District via special use permit issuance).

While staff is aware that the petitioner has already held an initial neighborhood meeting to discuss the project, however, the exact extent of notification for this meeting is unknown. Although it appears that at least 28 individuals attended, to be consistent with similar projects that have come before the Plan Commission, the Staff Development Committee may ask that Maryville send out formal invitations and hold another neighborhood meeting, which would occur well in advance of any Plan Commission appearance. The petitioner should provide a map and/or addresses showing which properties were notified for their initial neighborhood meeting and staff will evaluate whether a second neighborhood meeting is warranted.

Building, Site, and Landscaping:

The petitioner is not proposing any exterior changes to the building or site at this time. Minor interior modifications will be needed to the interior to the building, however, the facility has previously been used as a covenant for nuns, so it is well designed to accommodate the proposed use. The petitioner would be required to install a sprinkler system within the facility, and in the event that a water line needs to be upsized for fire protection, a utility plan will be required. As part of Plan Commission review, staff will verify if the existing landscaping is in good condition and whether any improvements may be required to conform to code requirements.

The petitioner shall be required to provide a more detailed floorplan that clearly shows what areas of the building will be used by St. Anne’s Home, and what areas of the building will be left vacant, as well as where recreation/common areas would be for the residents. No Design Commission review is required as no exterior changes have been proposed.

Parking & Traffic:

Per code, a traffic and parking study is required for any special use permit proposed on land that does not abut a major or secondary arterial. Fernandez Avenue and Kaspar Avenue are both classified as local streets and therefore the petitioner must provide a detailed traffic and parking study from a Certified Traffic Engineer that assesses access (location, design, and Level of Service), on-site circulation, trip generation and distribution, and parking. The Staff Development Committee is supportive of a variation to waive this requirement as the residents are not allowed to own cars and traffic to and from the site is expected to be minimal. However, future tenants/usage of the vacant portions of the building may trigger the need for a traffic and parking study.

The petitioner will need to clarify if they are proceeding with a variation request, and if so, shall provide written justification to the following hardship criteria to justify their request to waive the traffic and parking study requirement:

- **The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.**
- **The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.**
- **The proposed variation is in harmony with the spirit and intent of this Chapter.**

- **The variance requested is the minimum variance necessary to allow reasonable use of the property.**

Sheltered Care facilities do not have a line item within the table of parking requirements, and as such, staff must apply the requirements for the most similar use listed in the table of parking requirements. Accordingly, the most similar use is a “Dormitory”, which requires two spaces per three residents and one space for each staff member. At maximum capacity of 16 girls, 11 spaces would be required for the residents and six spaces for each employee, totaling 17 spaces required. As outlined above, the subject property contains 52 parking stalls, however, some of these stalls are located within the required fire lanes and must be eliminated. The site would have approximately 43 parking spaces as a result, which exceeds code requirements for St. Anne’s Home. Staff must also take into consideration the future reuse of the vacant spaces within the building, and once the petitioner clarifies where and how large these spaces will be, staff can calculate the required parking for the site. A variation may be required. At least two bike parking spaces are required by code, and likely more will be required to accommodate for future reuse of the vacant areas within the building.

RECOMMENDATION

The Staff Development Committee (SDC) reviewed the proposed Special Use Permit to allow a “Sheltered Care” home on the subject property and is generally supportive of the request subject to submittal of a Plan Commission application and resolution of the following:

1. For the requested Special Use Permit, the petitioner shall provide a written response to each of the three criteria necessary for special use approval, which have been included below:
 - **That said special use is deemed necessary for the public convenience at this location.**
 - **That such case will not, under the circumstances of the particular case, be detrimental to the health, safety, morals or general welfare of persons residing or working in the vicinity.**
 - **That the proposed use will comply with the regulations and conditions specified in this ordinance for such use, and with the stipulations and conditions made a part of the authorization granted by the Village Board of Trustees.**
2. For any requested variation, the petitioner shall provide a written response to each of the four hardship criteria necessary for variation approval, which have been included below:
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 - **The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.**
 - **The proposed variation is in harmony with the spirit and intent of this Chapter.**
 - **The variance requested is the minimum variance necessary to allow reasonable use of the property.**
3. The petitioner shall provide additional details on the proposed use, such as house rules and supervision protocols, where food preparation and meals would take place, what will happen to the girls once they turn 18, etc.
4. The petitioner shall provide a map and/or a list of addresses showing who was invited to the initial neighborhood meeting. If requested by the Village, the petitioner shall hold a second formal neighborhood meeting well in advance of any Plan Commission appearance.
5. The conceptual floorplan shall be revised to clearly show what areas of the building will be used by St. Anne’s and what areas will remain vacant.
6. A parking variation for the future tenants on the site may be required.

7. The petitioner shall comply with all Federal, State, and Village Codes, Regulations, and Policies.
8. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

March 4, 2022

Bill Enright, Assistant Director of Planning and Community Development

Cc: Randy Recklaus, Village Manager
All Department Heads
Temp File 1755



Map created on March 1, 2021.

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Disclaimer: This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

NARRATIVE

Maryville is seeking to operate the existing property at 800 N. Fernandez (the "Property") (formerly the home of the Sisters of the Living Word) as a shelter care home, to be named St. Anne Program. In collaboration with the Federal Office of Refugee Resettlement, Maryville will operate a program at the Property which will allow them to care for up to 10 teenage girls, ages 12-17, plus an additional 6 teenage girls who are pregnant or parenting. These girls arrive in the United States unaccompanied by adult family members and are now in the care of the Administration of Children and Families, until they reach the age of 18. Maryville will provide care, housing, meals and family reunification services for the girls. The girls will attend school in the local community and learn to interact in the local community.

The property will be staffed 24 hours per day, 7 days per week. There will consistently be a Program Director or Manager on site, with 3 to 6 staff members on site during each day-time and evening shift as well as 2 to 3 care providers during overnight hours. Staff will escort the girls to school, worship services, and recreational and other activities.

The length of stay of each child is dependent on her unique situation: Maryville case workers work to identify family members to serve as sponsors to the girls and assume their care. Girls who do not have family members will remain in care at St. Anne until they reach the age of 18 and can be transferred to a suitable group home for young adult women. Please note that, for reasons of safety and the protection of minors, ORR directs agencies not to disclose the location of the site for children. In this instance, we must seek a special use so there must be disclosure of this program to the City and the community surrounding the Property. However, Maryville will not generally advertise the location of the program.

There are currently approximately 51 parking spaces on the Property and this will accommodate parking for the employees who will be on site daily and any visitors to the Property. None of the girls will have a car. Only interior remodeling is anticipated at this time and the exterior of the Property will remain unchanged.

Please note that Maryville operates several other similar programs at various locations both in Chicago and the surrounding suburbs. Maryville has been a provider of social services since the 1880s and has an excellent reputation for serving the most vulnerable children.

SURVEY LEGEND
● Monumentation Found
○ Monumentation Not Found
(80') Record Dimension
--- Fence Line

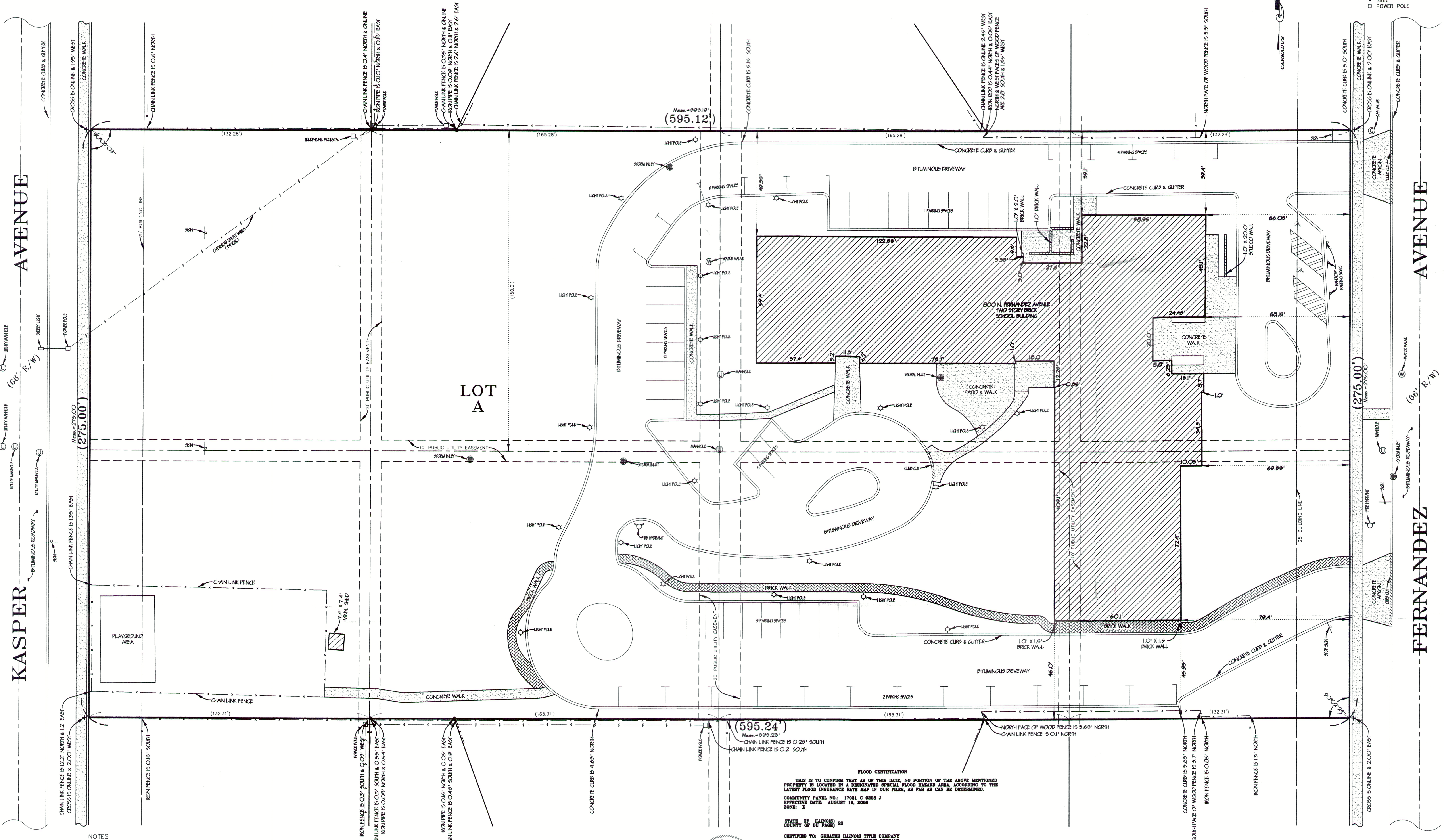
AREA OF SITE - 163,685 SQ. FT. (3.76 ACRES)
AREA OF BUILDING - 19,875 SQ. FT.
2 HANDI-CAP PARKING SPACES
52 REGULAR PARKING SPACES

ALTA/ACSM SURVEY

LOT 'A' IN RESUBDIVISION OF CERTAIN BLOCKS AND PARTS OF BLOCKS AND VACATED STREETS IN R.A. CEPEK'S ARLINGTON RIDGE, BEING A SUBDIVISION OF THAT PART OF THE WEST HALF (EXCEPT THE EAST 33 FEET THEREOF) OF THE NORTHEAST QUARTER AND SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTHEASTERLY LINE OF NORTHWEST HIGHWAY, SAID NORTHEASTERLY LINE OF HIGHWAY BEING 66 FEET NORTHWESTERLY OF AND PARALLEL TO THE NORTHEASTERLY LINE OF THE CHICAGO AND NORTHWESTERN RAILWAY RIGHTS OF WAY, IN COOK COUNTY, ILLINOIS.

0 10 20 30 40
SCALE: 1" = 20'

UTILITY LEGEND
● MANHOLE / CATCHBASIN
■ CURB INLET
T FLARED END SECTION
○ WATER VALVE VAULT
○ FIRE HYDRANT
○ UTILITY MANHOLE
○ UTILITY STRUCTURE
○ TRAFFIC SIGNAL
○ SIGN
○ POWER POLE



FLOOD CERTIFICATION
THIS IS TO CERTIFY THAT AS OF THIS DATE, NO PORTION OF THE ABOVE MENTIONED PROPERTY IS LOCATED IN A DESIGNATED SPECIAL FLOOD HAZARD AREA, ACCORDING TO THE LATEST FLOOD INSURANCE RATE MAP IN OUR FILES, AS FAR AS CAN BE DETERMINED.
COMMUNITY PANEL NO.: 17031 C 0803 J
EFFECTIVE DATE: AUGUST 18, 2008
ZONE: X

STATE OF ILLINOIS
COUNTY OF DU PAGE) SS
CERTIFIED TO: GREATER ILLINOIS TITLE COMPANY
CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 ILLINOIS STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1-4, 6-8, 10-11, 13-14, 16-18, 20-21, 23-24, 26-27, 29-30, 32-33, 35-36, 38-39, 41-42, 44-45, 47-48, 50-51, 53-54, 56-57, 59-60, 62-63, 65-66, 68-69, 71-72, 74-75, 77-78, 80-81, 83-84, 86-87, 89-90, 92-93, 95-96, 98-99, 101-102, 104-105, 107-108, 110-111, 113-114, 116-117, 119-120, 122-123, 125-126, 128-129, 131-132, 134-135, 137-138, 140-141, 143-144, 146-147, 149-150, 152-153, 155-156, 158-159, 161-162, 164-165, 167-168, 170-171, 173-174, 176-177, 179-180, 182-183, 185-186, 188-189, 191-192, 194-195, 197-198, 200-201, 203-204, 206-207, 209-210, 212-213, 215-216, 218-219, 221-222, 224-225, 227-228, 230-231, 233-234, 236-237, 239-240, 242-243, 245-246, 248-249, 251-252, 254-255, 257-258, 260-261, 263-264, 266-267, 269-270, 272-273, 275-276, 278-279, 281-282, 284-285, 287-288, 290-291, 293-294, 296-297, 299-300, 302-303, 305-306, 308-309, 311-312, 314-315, 317-318, 320-321, 323-324, 326-327, 329-330, 332-333, 335-336, 338-339, 341-342, 344-345, 347-348, 350-351, 353-354, 356-357, 359-360, 362-363, 365-366, 368-369, 371-372, 374-375, 377-378, 380-381, 383-384, 386-387, 389-390, 392-393, 395-396, 398-399, 401-402, 404-405, 407-408, 410-411, 413-414, 416-417, 419-420, 422-423, 425-426, 428-429, 431-432, 434-435, 437-438, 440-441, 443-444, 446-447, 449-450, 452-453, 455-456, 458-459, 461-462, 464-465, 467-468, 470-471, 473-474, 476-477, 479-480, 482-483, 485-486, 488-489, 491-492, 494-495, 497-498, 500-501, 503-504, 506-507, 509-510, 512-513, 515-516, 518-519, 521-522, 524-525, 527-528, 530-531, 533-534, 536-537, 539-540, 542-543, 545-546, 548-549, 551-552, 554-555, 557-558, 560-561, 563-564, 566-567, 569-570, 572-573, 575-576, 578-579, 581-582, 584-585, 587-588, 590-591, 593-594, 596-597, 599-600, 602-603, 605-606, 608-609, 611-612, 614-615, 617-618, 620-621, 623-624, 626-627, 629-630, 632-633, 635-636, 638-639, 641-642, 644-645, 647-648, 650-651, 653-654, 656-657, 659-660, 662-663, 665-666, 668-669, 671-672, 674-675, 677-678, 680-681, 683-684, 686-687, 689-690, 692-693, 695-696, 698-699, 701-702, 704-705, 707-708, 710-711, 713-714, 716-717, 719-720, 722-723, 725-726, 728-729, 731-732, 734-735, 737-738, 740-741, 743-744, 746-747, 749-750, 752-753, 755-756, 758-759, 761-762, 764-765, 767-768, 770-771, 773-774, 776-777, 779-780, 782-783, 785-786, 788-789, 791-792, 794-795, 797-798, 800-801, 803-804, 806-807, 809-810, 812-813, 815-816, 818-819, 821-822, 824-825, 827-828, 830-831, 833-834, 836-837, 839-840, 842-843, 845-846, 848-849, 851-852, 854-855, 857-858, 860-861, 863-864, 866-867, 869-870, 872-873, 875-876, 878-879, 881-882, 884-885, 887-888, 890-891, 893-894, 896-897, 899-900, 902-903, 905-906, 908-909, 911-912, 914-915, 917-918, 920-921, 923-924, 926-927, 929-930, 932-933, 935-936, 938-939, 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MARYVILLE - ARLINGTON HEIGHTS

800 NORTH FERNANDEZ STREET, ARLINGTON HEIGHTS, ILLINOIS 60004

ZONING REVIEW - DECEMBER 22, 2021

CONTACT INFORMATION:

OWNER:

MARYVILLE ACADEMY
1150 N. RIVER ROAD
DES PLAINES, ILLINOIS 60016
P: 847.2941846
CONTACT: MIKE WALLISCH

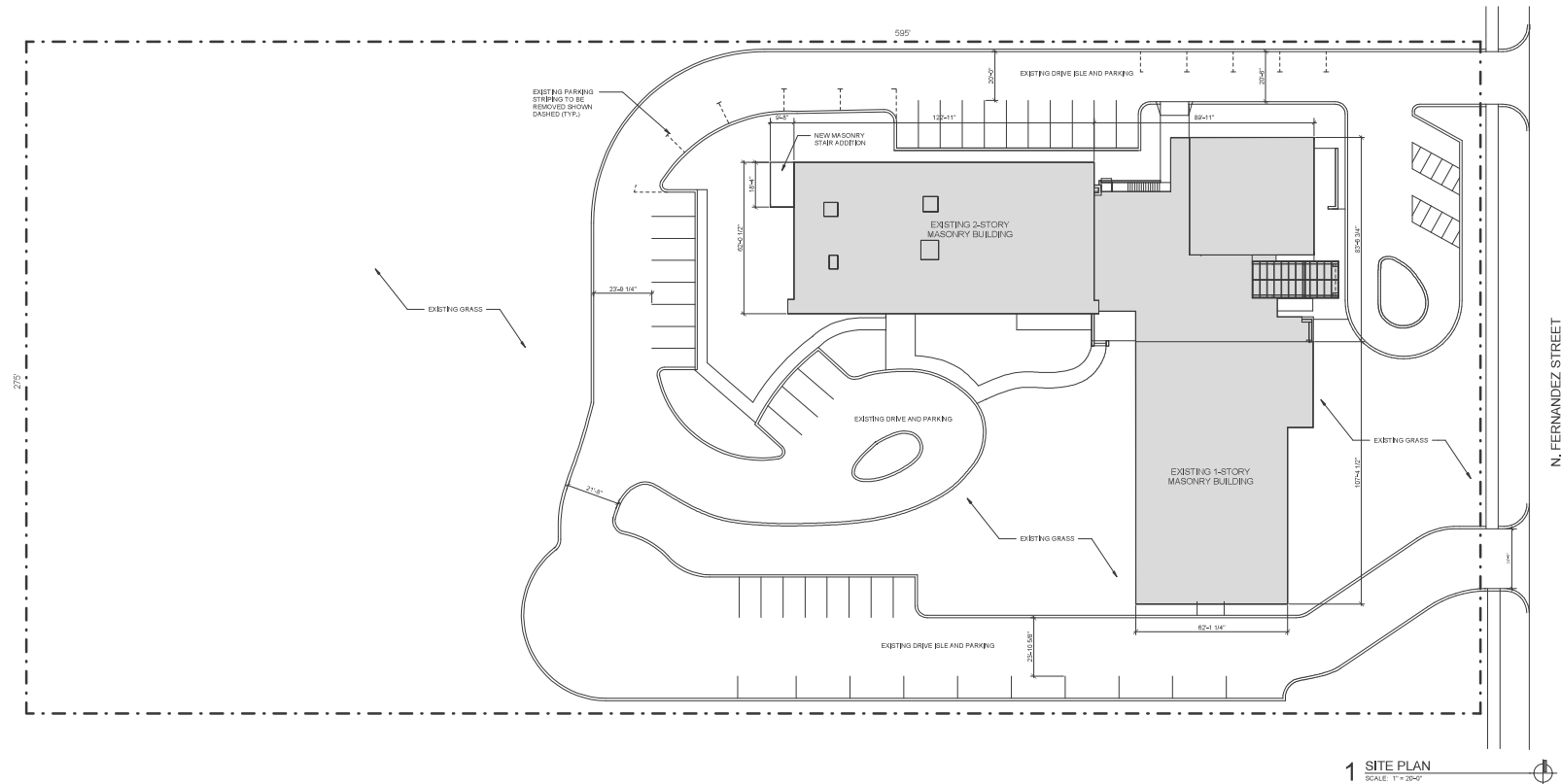
ARCHITECT:

MKB ARCHITECTS, LLC
1918 NORTH MENDELL STREET, SUITE 300
CHICAGO, ILLINOIS 60642
P: 773.235.3800 X18
CONTACT: GERI KELLEY

DRAWING INDEX:

ARCHITECTURAL

A100 BASEMENT FIRST FLOOR PLAN
A101 FIRST & SECOND FLOOR PLAN
A102 PARTIAL FIRST FLOOR PLAN
A103 SECOND FLOOR PLAN
A104 ROOF PLAN
A105 EXTERIOR ELEVATIONS



MKB

Architects
1918 North Mendell Street
Suite 300
Chicago, Illinois 60642
mkdesign.net
773.235.3800

12.23.21 ZONING REVIEW
REV DATE ISSUE

800 N. FERNANDEZ STREET
ARLINGTON HEIGHTS, ILLINOIS
60004

Maryville
Caring for Children. Strengthening Families.

TITLE SHEET/ SITE
PLAN

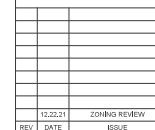
NOT FOR
CONSTRUCTION

DRAWN BY: JRL
CHECKED BY: GHK
APPROVED:
SCALE: 1" = 20'-0"

JOB NO.
2123
A000



Architects
1918 North Mendell Street
Suite 300
Chicago, Illinois 60642
mkbdesign.net
773.235.3800



800 N. FERNANDEZ STREET
ARLINGTON HEIGHTS, ILLINOIS
60004



BASEMENT/
FOUNDATION PLAN

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT LICENSED IN THE STATE OF CALIFORNIA.

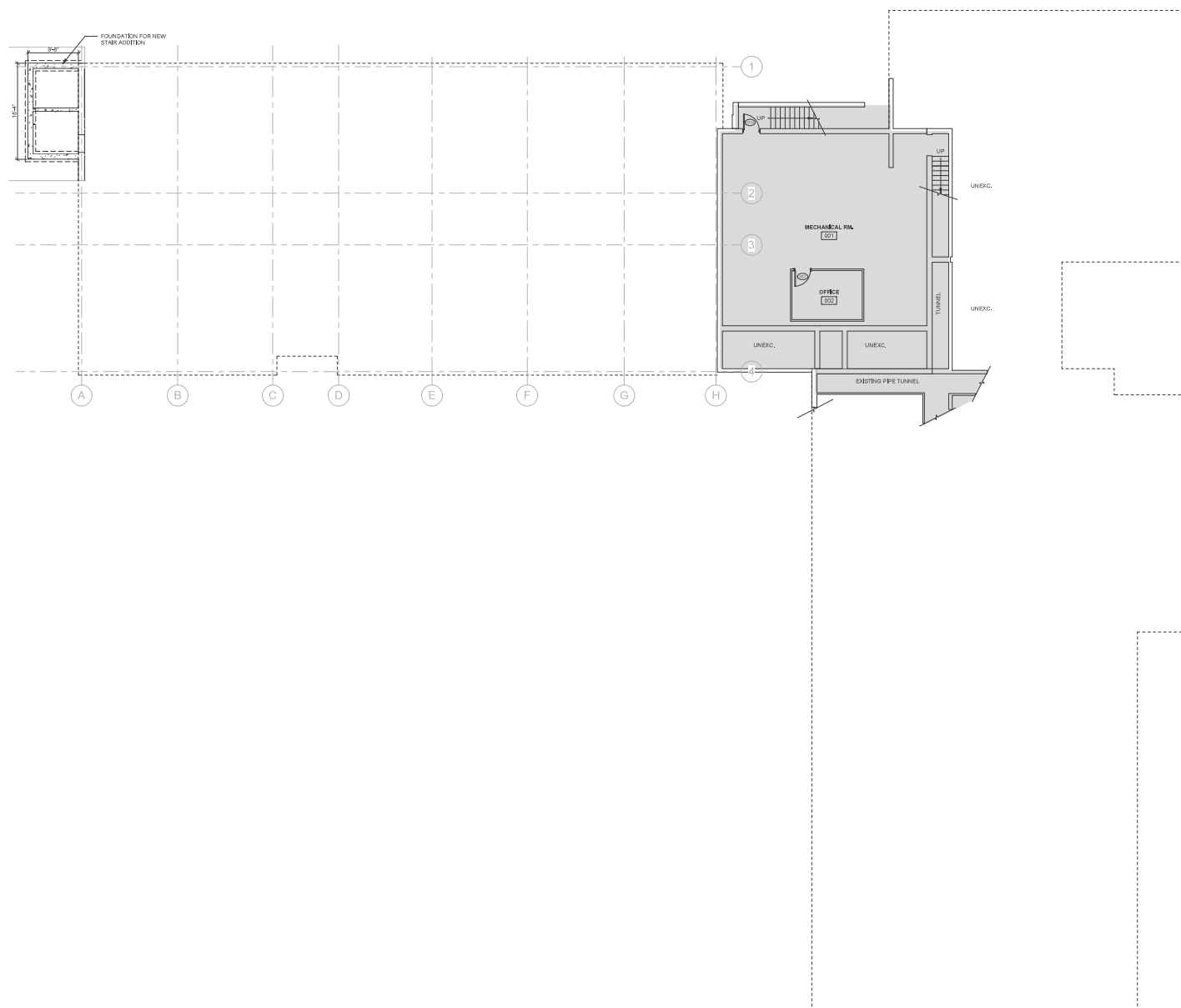
© 2004 Blackwell Publishing Ltd *Journal of Internal Medicine* 255: 105–112

DATE _____ REQUEST FOR INFO NO. _____

NOT FOR CONSTRUCTION

DRAWN BY: JRL
CHECKED BY: GHK
APPROVED:
SCALE: As indicated

JOB NO. 2123	A100
-----------------	------



2 BASEMENT PLAN

FLOOR PLAN LEGEND

	AREA OF NO WORK - NOT IN CONTRACT
	EXISTING PARTITION TO REMAIN
	NEW PARTITION

MKB

Architects
1918 North Mendell Street
Suite 300
Chicago, Illinois 60642
mkdesign.net
773.235.3800

12.23.21 ZONING REVIEW
REV DATE ISSUE

800 N. FERNANDEZ STREET
ARLINGTON HEIGHTS, ILLINOIS
60004



FIRST & SECOND FLOOR PLANS - OVERALL

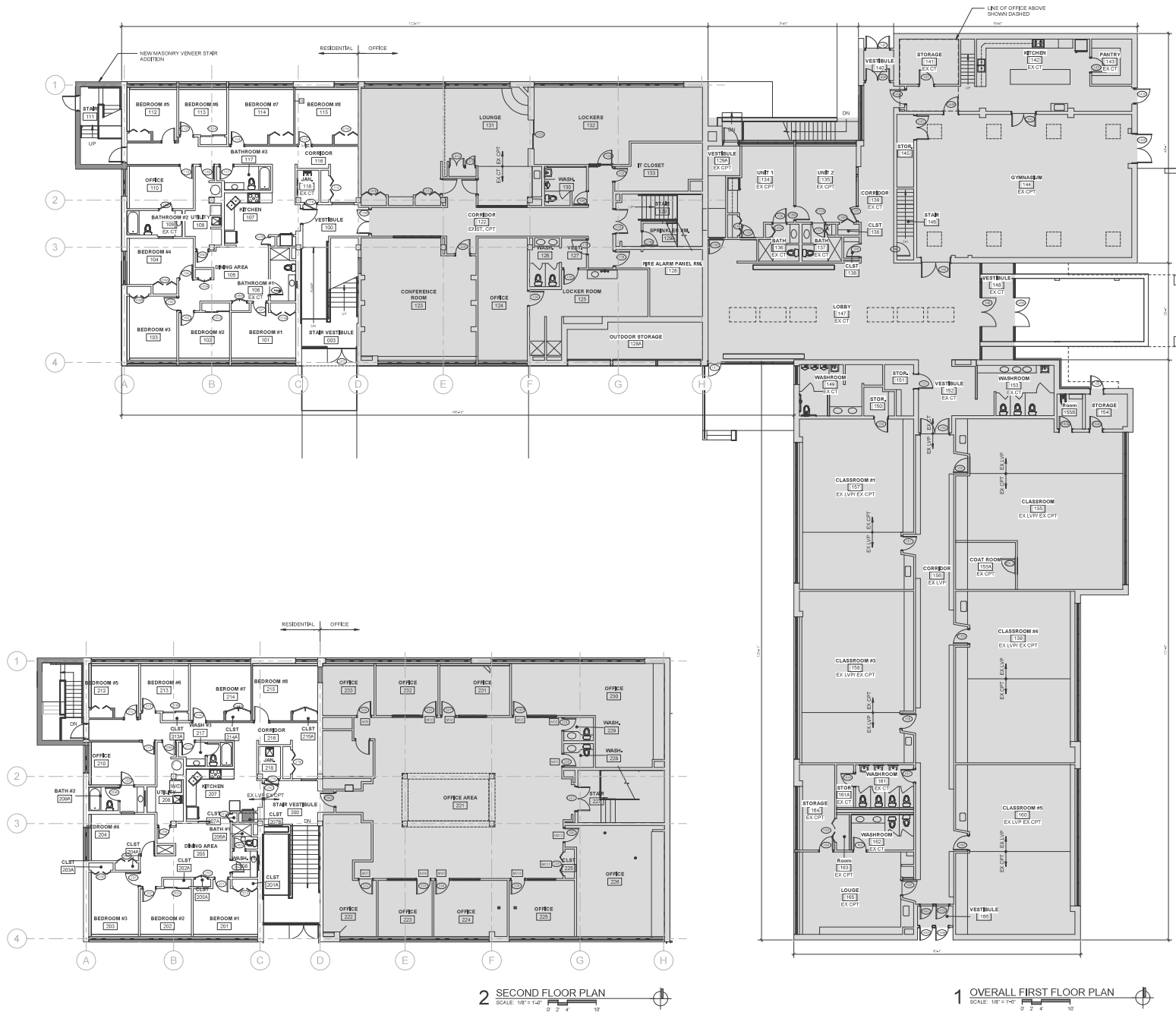
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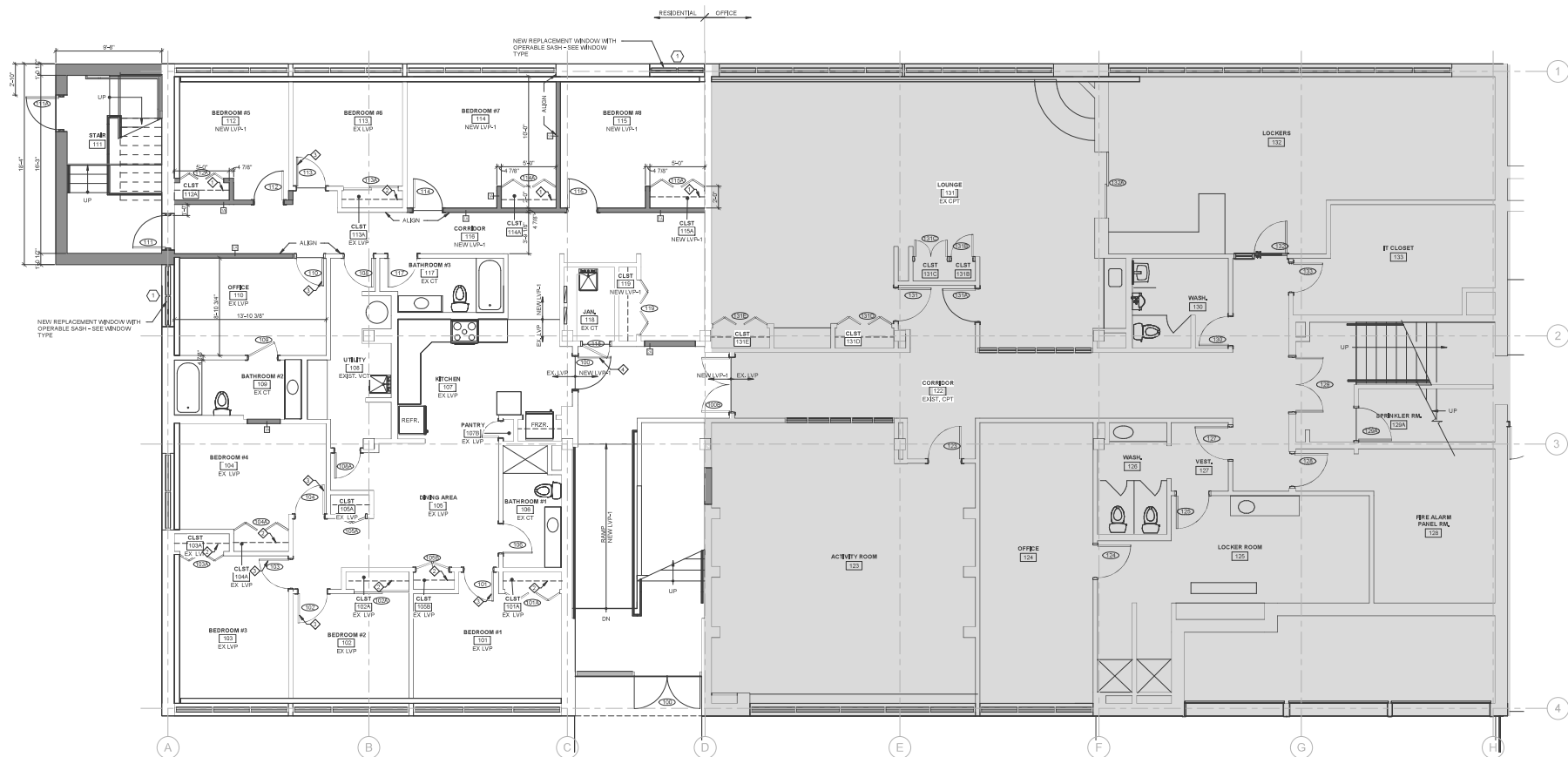
DATE: 12/23/21 PROJECT NO.: 2021

NOT FOR CONSTRUCTION

DRAWN BY: JRL
CHECKED BY: GHK
APPROVED: SCALE: As indicated

JOB NO. 2123 **A101**





1 PARTIAL FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

FLOOR PLAN KEYNOTES

- ◆ PROVIDE NEW SHELF WITH INTEGRAL TONMOUNTED HANGER BAR PER MARYVILLE STANDARD DETAIL.
- ◆ REMOVE EXISTING HANGER ROD. PROVIDE SHELF-BOUNDED HANGER BAR PER MARYVILLE STANDARD DETAIL.
- ◆ REMOVE EXISTING LOCKSET AND REPLACE WITH NEW CLASSROOM FUNCTION HARDWARE TO MATCH EXISTING ON FLOOR.
- ◆ REMOVE DOOR AND REPLACE WITH NEW WITH ENTRY LOCKSET. PROVIDE CONDUIT FOR NEW ELECTRIC STRIKE AND CARDREADER.

FLOOR PLAN LEGEND

- AREA OF NO WORK - NOT IN CONTRACT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION

MKB

Architects

1918 North Mendell Street
Suite 300
Chicago, Illinois 60642
mkdesign.net
773.235.3800

12.23.21 ZONING REVIEW
REV DATE ISSUE

800 N. FERNANDEZ STREET
ARLINGTON HEIGHTS, ILLINOIS
60004

Maryville
Caring for Children. Strengthening Families.

ENLARGED FIRST
FLOOR PLAN

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AND TO OBTAIN NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES

DATE: 12/23/21

NOT FOR
CONSTRUCTION

DRAWN BY: JRL
CHECKED BY: GHK
APPROVED: [Signature]
SCALE: As indicated

JOB NO. 2123
A102



Conceptual Plan Review Committee
3/9/2022

Item: Mueller Lot Consolidation - 318 W. Mueller St - T1758

Department: Planning & Community Development

Requested Action

1. Plat of Subdivision to Consolidate two lots into one.

Variations Required

1. No variations identified at this time.

Recommendation

The Staff Development Committee (SDC) reviewed the proposed Plat of Subdivision to consolidate two lots into one and is generally supportive of the application subject to resolution of the following:

1. Plat of Subdivision is required.
2. A fee-in-lieu of on-site detention shall be required, at the discretion of the Engineering Division.
3. The petitioner shall provide details of the existing front yard setbacks on the northern side of the Mueller Avenue frontage west of Chestnut and east of Walnut.
4. The petitioner shall comply with all Federal, State, and Village Codes, Regulations, and Policies.
5. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:

Description

Staff Report

Type

Board or Commission Report

Aerial	Exhibits
Project Narrative	Correspondence
Plat of Survey	Exhibits
Plat of Survey - 25 foot wide lot	Exhibits
Architectural Plans	Exhibits
Potential Future Attached Garage Concept	Exhibits



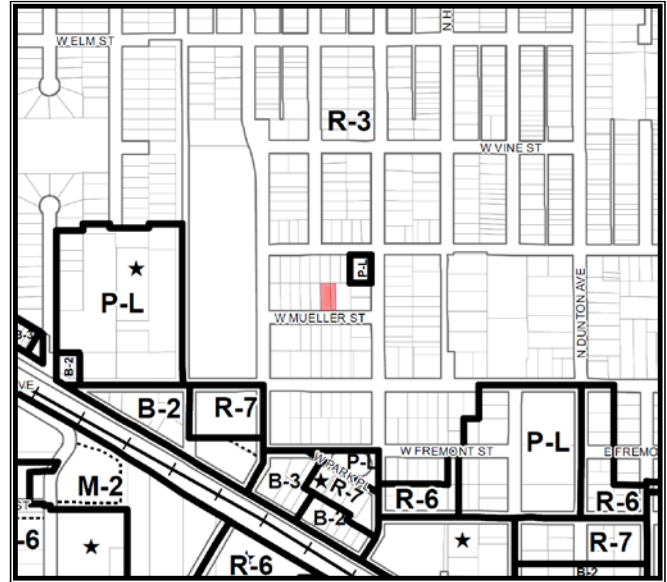
VILLAGE OF ARLINGTON HEIGHTS **STAFF DEVELOPMENT** **COMMITTEE REPORT**

Temp File Number: T1758
Project Title: Mueller Lot Consolidation
Location: 318 W. Mueller Avenue
PIN: 03-30-230-015, 03-30-203-016

To: Conceptual Plan Review Committee
Prepared By: Sam Hubbard, Development Planner
Meeting Date: March 9, 2022
Date Prepared: March 4, 2022

Petitioner: Chris and Tama Filpi
Address: 318 W. Mueller Avenue
 Arlington Heights, IL 60004

Existing Zoning: R-3: One-Family Dwelling District
Comprehensive Plan: Single-Family Detached



SURROUNDING LAND USES

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	R-3: One-Family Dwelling District	Single-Family Homes	Single-Family Detached
South	R-3: One-Family Dwelling District	Single-Family Homes	Single-Family Detached
East	R-3: One-Family Dwelling District	Single-Family Homes	Single-Family Detached
West	R-3: One-Family Dwelling District	Single-Family Homes	Single-Family Detached

Requested Action:

- Plat of Subdivision to Consolidate two lots into one.

Variations Required:

- No variations identified at this time.

Project Background:

The subject property consists of two platted lots of record. The first lot is 50' wide by 139.75' deep and contains the single-family home located at 318 W. Mueller Avenue. The second lot is a vacant 25' x 139.75' parcel of land that serves as an additional yard/landscape area for the home at 318 W. Mueller. Both lots are owned by the petitioners, although they first acquired the larger lot that includes the house in 2011 and purchased the smaller vacant lot from the abutting property owner about one year later (sometime in 2012).

The property owners are now proposing to remodel a portion of the interior of their home, which involves a new rear entryway of 117 square feet and a small kitchen bump-out of 40 square feet at the rear of the residence, along with replacement of a rear deck with an at-grade patio. In the future, the petitioners are contemplating demolition of their existing detached garage and constructing an attached garage on the opposite side of the house. For both the current project and potential future project, the property must be consolidated into one lot in order to conform with impervious surface coverage requirements. If approved, the combined lots would yield a 10,481 square foot lot that would be 75' feet wide.

Zoning and Comprehensive Plan

The subject property is currently zoned R-3, One-Family Dwelling District. The proposed use of the site is consistent with the Comprehensive Plan "Single-Family Detached" land use designation. In 2003, the Village established a requirement for formal plat of subdivision approval to consolidate any residentially zoned property that comes under common ownership after 2003. Because the petitioners acquired the 25' wide lot in 2012, they must request formal Plat of Subdivision approval to consolidate it as part of the overall property. In consideration of the appropriateness of a proposed lot consolidation, staff's primary analysis focuses on the lots that are located on the same side of the street as the subject property (and that front on that street). In this instance, there are currently seven zoning lots that are located on the north side of Mueller Avenue that front on the street and are east of Walnut and west of Chestnut. Of those lots, one is 75' feet wide and the remaining lots are 50' wide. If the consolidation is approved, the subject lot would be 75' feet in width. The proposed consolidation meets the R-3 standards for lot size and lot area (shown below in **Table I**), and is compatible with the existing lots on the north side of Mueller Avenue. Per Chapter 28, Section 5.1-3.3, a minimum side yard of ten percent of the lot width is required. Therefore, a 75-foot wide lot requires a 7.5-foot side yard on both sides. The existing home is setback 8.5 feet from the side lot line to the west and would be setback over 35 feet from the property line to the east.

Table I:

Zoning Requirements	Lot Area		Lot Width		Front Yard Setback	Side Yard Setback	Rear Yard Setback	Corner Side Yard Setback
Typical R-3 Lot	Corner	Standard	Corner	Standard	Block Avg. (TBD)	10% of Lot width (min. 7')	30 FT	Avg. or 10% of lot width
	9,900 SF	8,750 SF	90 FT	70 FT				
Proposed Lot (318 W. Mueller)	N/A	10,481 SF	N/A	75 FT	TBD	8.5 FT	55.5 FT	N/A
414 W. Mueller	6,988 SF	N/A	50 FT	N/A	TBD	N/A	N/A	N/A
410 W. Mueller	N/A	6,988 SF	N/A	50 FT	TBD	N/A	N/A	N/A
408 W. Mueller	N/A	6,988 SF	N/A	50 FT	TBD	N/A	N/A	N/A
406 W. Mueller	N/A	6,988 SF	N/A	50 FT	TBD	N/A	N/A	N/A
402 W. Mueller	N/A	6,988 SF	N/A	50 FT	TBD	N/A	N/A	N/A
314 W. Mueller	N/A	10,481 SF	N/A	75 FT	TBD	N/A	N/A	N/A

Although there is no change proposed to the existing front yard setback of this home, the code required front yard setback must be shown on the Plat of Subdivision. Therefore, the petitioner must provide the existing front yard setbacks of the homes on the Mueller Avenue frontage to determine the average of the existing homes, which will allow calculation of the required front yard setback.

The petitioner shall provide a formal Plat of Subdivision document for review by Village staff. Additionally, the petitioner should clarify if they intend to proceed with both preliminary and final plat of subdivision concurrently, or if they wish to proceed through the approval process separately.

Building, Site, and Landscaping:

Based on a preliminary analysis, the proposed lot and site improvements will comply with all R-3 regulations upon consolidation of the lots. However, without consolidation, the improvements to the house would not be allowed (unless a variation was granted to exceed the maximum allowable impervious surface regulations). Since this issue was not identified until the petitioners had already applied for a building permit, they have redesigned the project to proceed in two phases. Phase One entails revising the plans to show only code-compliant work on the existing 50' wide lot, which work would be allowed without the requested lot consolidation. Once the lot consolidation is approved, the permit will be amended (or a second permit will be submitted) to allow project completion, which would entail only patio/servicewalk work that would have exceeded the maximum impervious surface limitation as based on the 50' wide lot but would now conform to code requirements based on the larger consolidated lot size. No Design Commission review will be required due to the small scope of the exterior changes to the home.

The petitioners should be aware that the subdivision process triggers the requirement to provide onsite stormwater detention. For small one and two lot subdivisions, code allows a fee-in-lieu of onsite detention. The petitioner is encouraged to reach out to the Engineering division to understand how much this fee-in-lieu of onsite detention would be. Additionally, if the current home does not have overhead sewer, the addition of overhead sewer shall be required.

Parking & Traffic:

According to the Village's Subdivision Control Regulations and Zoning Ordinance, a traffic study is only required for residential subdivisions that involve at least 100 dwelling units or more. Since the petitioner is proposing a single-lot consolidation, no traffic study is required.

RECOMMENDATION

The Staff Development Committee (SDC) reviewed the proposed Plat of Subdivision to consolidate two lots into one and is generally supportive of the application subject to resolution of the following:

1. Plat of Subdivision is required.
2. A fee-in-lieu of on-site detention shall be required, at the discretion of the Engineering Division.
3. The petitioner shall provide details of the existing front yard setbacks on the northern side of the Mueller Avenue frontage west of Chestnut and east of Walnut.
4. The petitioner shall comply with all Federal, State, and Village Codes, Regulations, and Policies.
5. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

March 4, 2022

Bill Enright, Assistant Director of Planning and Community Development

Cc: Randy Recklaus, Village Manager
All Department Heads
Temp File 1758



N Walnut Ave

N Chestnut Ave

W Mueller St

lid Ave

Narrative Statement from Chris and Tama Filpi Regarding the Lot Consolidation of Real Estate PIN 03-30-230-015-0000 & 03-30-230-021-0000

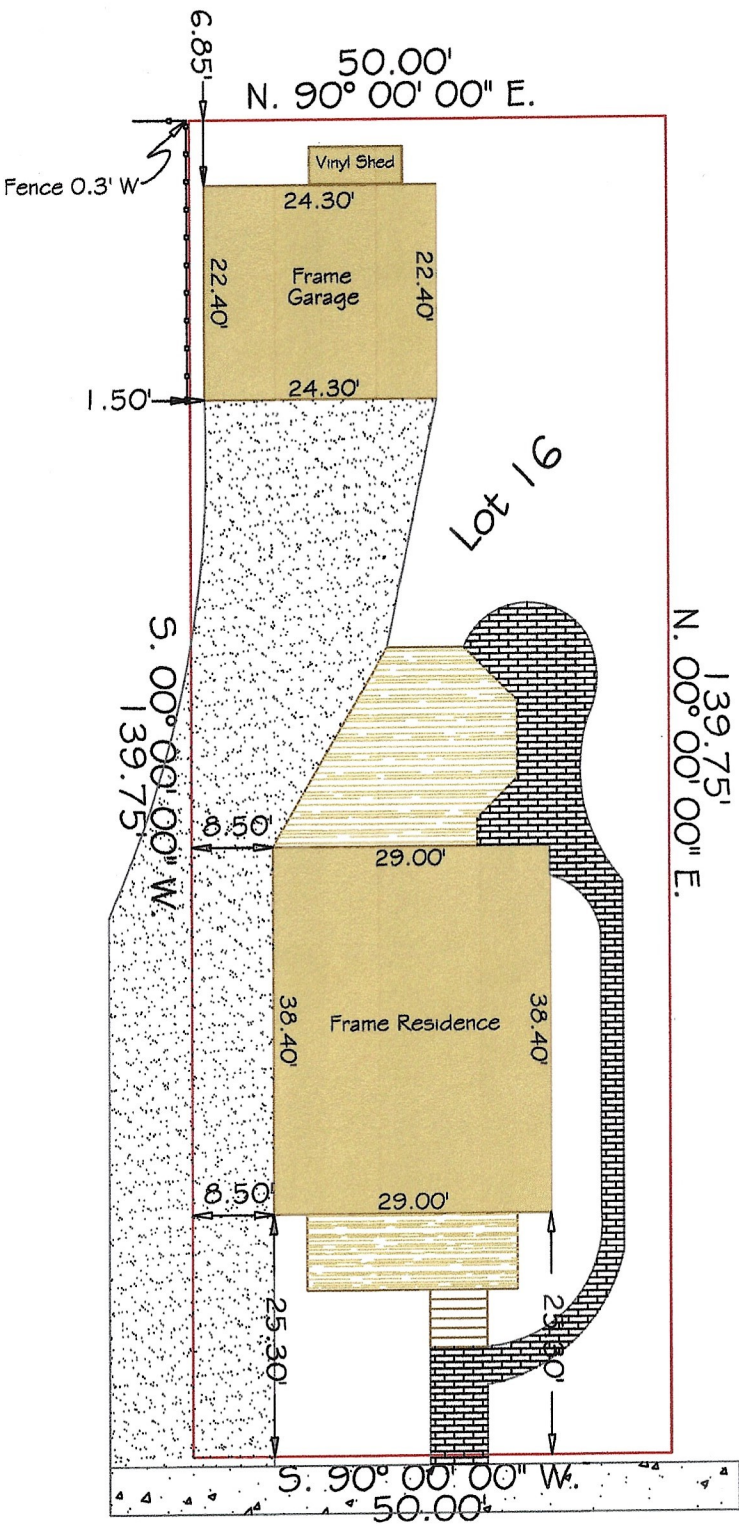
We would like to combine the lot at 318 W. Mueller St. (PIN 03-30-230-015-0000), on which our home sits, with the adjacent 25 ft. wide lot that we also own (PIN 03-30-230-021-0000). We purchased our home in March of 2010. The adjacent property was purchased in the summer of 2011 from the estate of the owner of a double lot to our east.

We are attempting to complete a renovation of our home, which will include the addition of a new rear staircase (which will lead from the first floor to the back door and then down to our basement). A Mud Room will replace the area where the current back staircase sits. It has come to our attention through the permit process that the renovation will create a situation where the Impervious Surface Coverage of our house, when combined with the garage, driveway, walkway and patio, will exceed the 50% limit established by the Village for the lot on which our house sits. It has further come to our attention, that if the Village will allow us to combine our two adjacent lots, the additional square footage afforded by the smaller, unbuilt lot, will ameliorate this situation. This would allow us to complete the renovation of our home without losing our brick walkway and patio.

We *may* (or may not) in the future consider relocating our garage to the east side of our property onto what is now our adjacent 25 ft. lot. This would serve two purposes. First, it would allow us an attached garage, whereas our garage is currently detached and located at the northwest corner of our property. Second, it would mean our driveway would no longer adjoin the driveway of our neighbors to the west as it does now. We will provide the conceptual drawings for this potential project, as prepared by our architects, Kingsley & Ginnodo.

We thank you for your consideration.

BEARINGS ARE ASSUMED



Mueller Street



SURVEYOR'S NOTE:

IRON PIPE'S AT ALL PROPERTY CORNERS UNLESS NOTED OTHERWISE

PLAT OF SURVEY

LEGAL DESCRIPTION

LOT 16 IN BLOCK 8 IN E. P. MUELLER'S ALTENHEIM SUBDIVISION BEING A SUBDIVISION OF THE EAST 28 ACRES MORE OR LESS OF THE SOUTH EAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY COUNTY, ILLINOIS.

Commonly Known as: 318 W. MUELLER STREET
ARLINGTON HTS, ILLINOIS.

STATE OF ILLINOIS)
COUNTY OF DU PAGE) S.S.)

I GREGORY L. POWELL, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS A CORRECT REPRESENTATION OF A SURVEY OF THE LAND PURSUANT TO THE "MINIMUM STANDARDS OF PRACTICE," 68 IL.ADMIN.CODE, SECTION 1270.56(b)(6)(F) PERFORMED AT AND UNDER MY DIRECTION. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL THIS 15TH DAY OF MARCH, A.D. 2010. MY LICENSE EXPIRES 1/30/2010

GREGORY L. POWELL
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3187

ORDER NO.	10-1023
Drawn by	glp
Checked	GLP
Approved	GLP
Scale	1" = 20'

Prepared for:
Jennifer M. Baratta
310 W. Fremont Street
Arlington Hts, Illinois. 60004

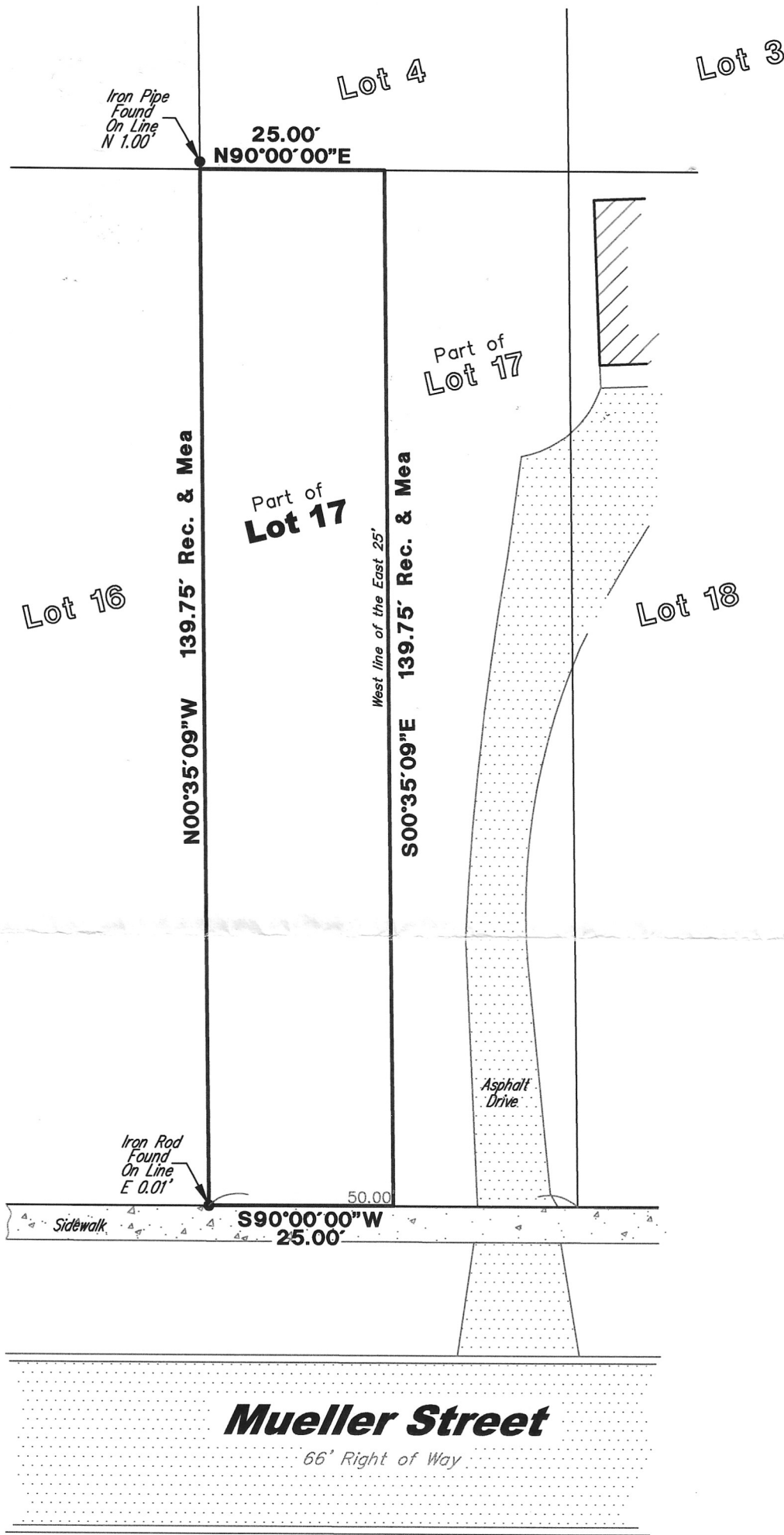
G. Powell & Associates Inc.
Professional Land Surveyors
5892 Chatsworth Court
Hanover Park, Illinois 60133
Phone (630) 540-2557
Fax (630) 540-2558



Scale: 1" = 20'

PLAT OF SURVEY

LOTS 17 (EXCEPT THE EAST 25 FEET) IN BLOCK 8 IN E.P. MUELLERS ALTENHEIM SUBDIVISION, BEING A SUBDIVISION IN SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



Legend:

- O-Set 1/2" Iron Pipe
- Found Iron Pipe
- X-Found Cross

Surveyor Notes:

- Field Work Completed on 8-9-2011
- Prepared for Survey Services, Inc., for real estate transaction.
- Site Address: 314 N. Mueller St., Arlington Heights, Illinois
- Pin No.: 03-30-230-016
- The easements shown hereon are provided from the current title and the use of the recorded subdivision plat. No search of the records for easements or encumbrances was made as part of this survey.
- Compare deed description and site conditions with the data given on this plat and report any discrepancies to the surveyor at once.
- No boundary corners were set at time of field survey of the subject property by client agreement.

State of Illinois)
SS)
County of Cook)

We, Land Surveying Services, Inc. do hereby state that we have surveyed the above described property and that this is the Plat that represents the conditions found at the time of said survey.

Given under my hand and seal this 9th day of August, A.D. 2011 in the County of Cook, State of Illinois.

Gloria Jean Koter, an agent for Land Surveying Services, Inc.

Illinois Professional Land Surveyor Number 3323
License Expiration Date 11-30-12

This professional service conforms to the current Illinois minimum standards for a boundary survey.

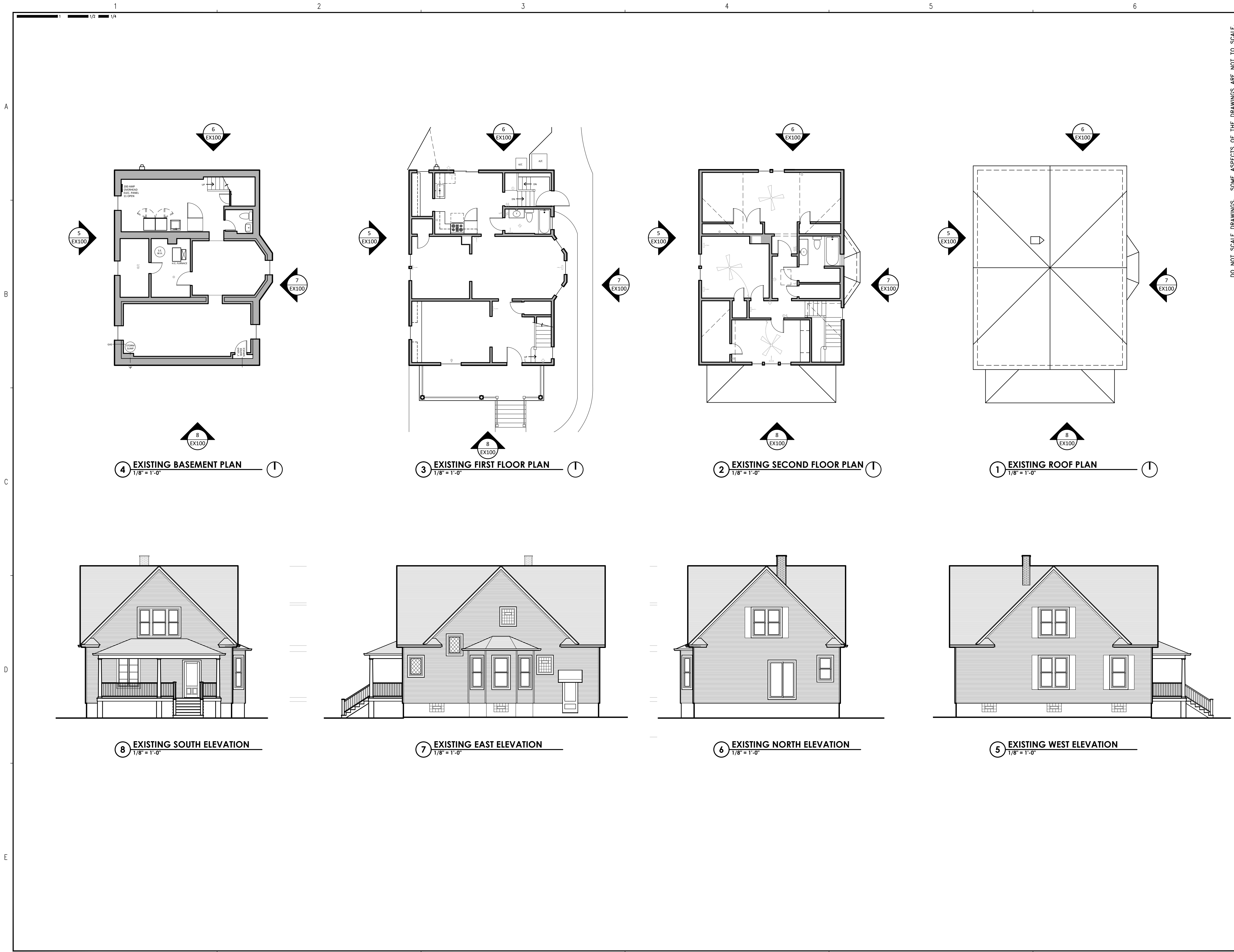


Job Number LS110430
Sheet Name PLAT OF SURVEY
Sheet Number SURVEY

Land Surveying Services, Inc.
574 W. Colfax Street Palatine, Illinois 60067
Ph. (847)991-7700 Fax. (847)991-7707
Professional Design Firm License No. 184-003632

Field Work Completed:	8-9-2011
Scale: 1" = 20'	Date: 8-9-2011
Site Address: 314 Mueller Street Arlington Heights, Illinois	

Drawn By: JJP	Checked By: GJK		
Drawing Revisions			
REVISION	Date	Drawn	Checked



TAMA & CHRIS FILPI

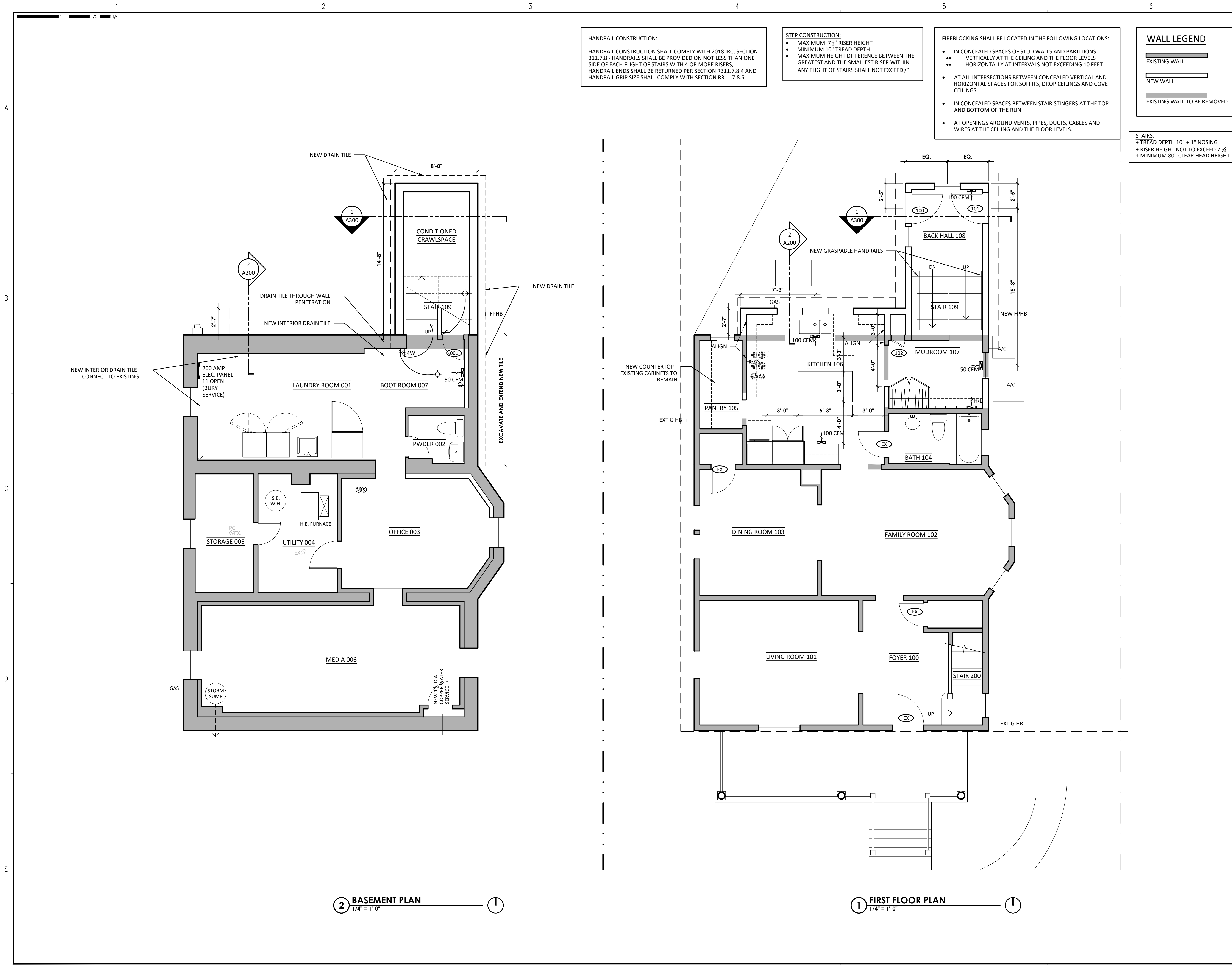
318 W MUELLER STREET
ARLINGTON HTS, IL 60004

FILPI RESIDENCE

no.	revision	init.	date
	PERMIT SET		1/26/22

EXISTING PLANS AND ELEVATIONS

date	drawn by	checked by
Job No.		FILPI
Sheet No.		EX100



HANDRAIL CONSTRUCTION:

HANDRAIL CONSTRUCTION SHALL COMPLY WITH 2018 IRC, SECTION 311.7.8 - HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH 4 OR MORE RISERS, HANDRAIL ENDS SHALL BE RETURNED PER SECTION R311.7.8.4 AND HANDRAIL GRIP SIZE SHALL COMPLY WITH SECTION R311.7.8.5.

STEP CONSTRUCTION:

- MAXIMUM 7 3/4" RISER HEIGHT
- MINIMUM 10" TREAD DEPTH
- MAXIMUM HEIGHT DIFFERENCE BETWEEN THE GREATEST AND THE SMALLEST RISER WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED 3/8"

FIREBLOCKING SHALL BE LOCATED IN THE FOLLOWING LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS
 - VERTICALLY AT THE CEILING AND THE FLOOR LEVELS
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
- AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES FOR SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- IN CONCEALED SPACES BETWEEN STAIR STINGERS AT THE TOP AND BOTTOM OF THE RUN
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT THE CEILING AND THE FLOOR LEVELS.

WALL LEGEND

EXISTING WALL

NEW WALL

EXISTING WALL TO BE REMOVED

STAIRS:

- + TREAD DEPTH 10" + 1" NOSING
- + RISER HEIGHT NOT TO EXCEED 7 1/2"
- + MINIMUM 80" CLEAR HEAD HEIGHT



KINGSLEY + GINNODO ARCHITECTS

33 N HICKORY AV ARLINGTON HTS IL 60004 847 975 5008 info@kingsleyginnodoc.com

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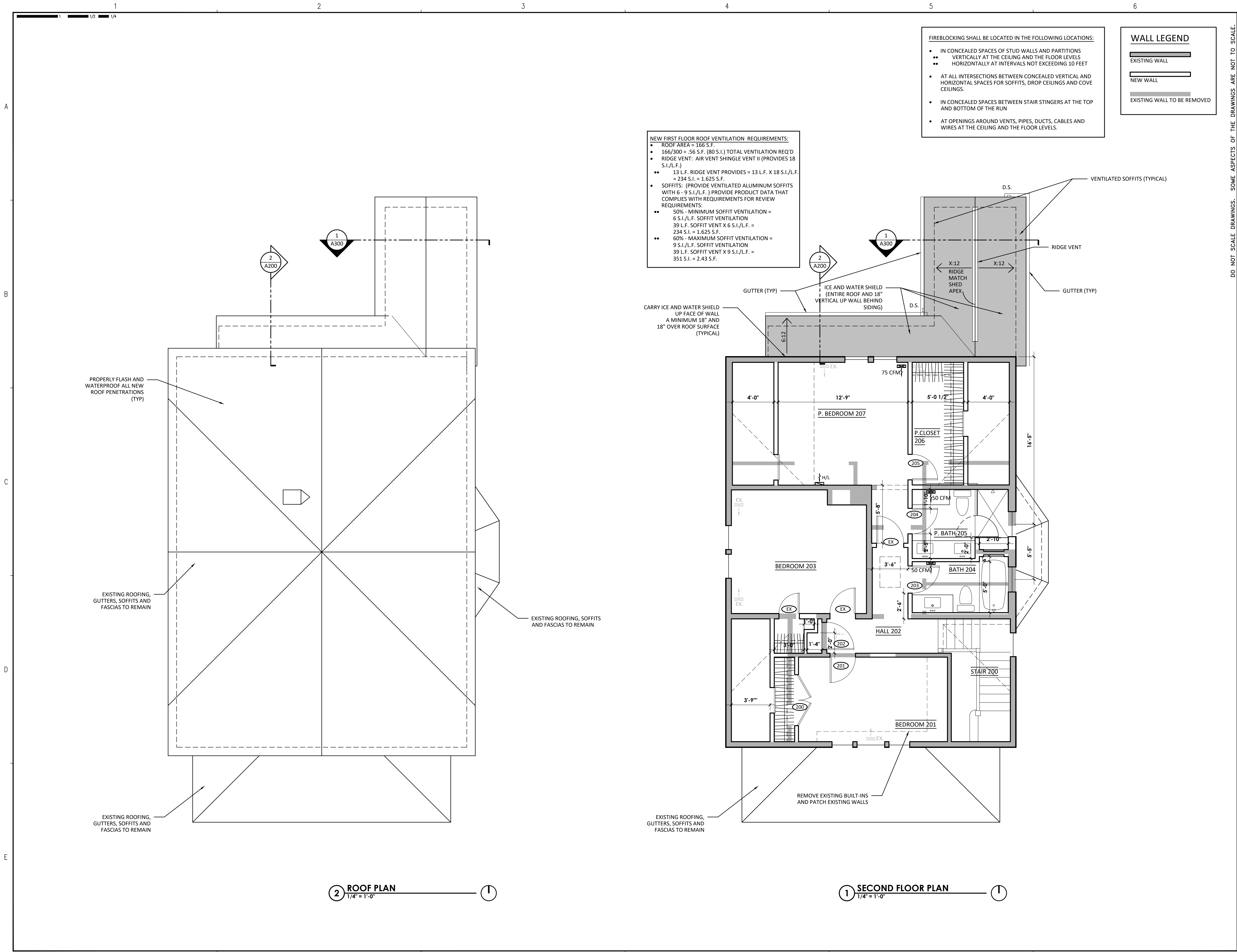
FILPI RESIDENCE

no.	revision	init.	date
	PERMIT SET		1/26/22

BASEMENT AND FIRST FLOOR PLANS

date	drawn by	checked by
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Job No.	FILPI
Sheet No.	A100



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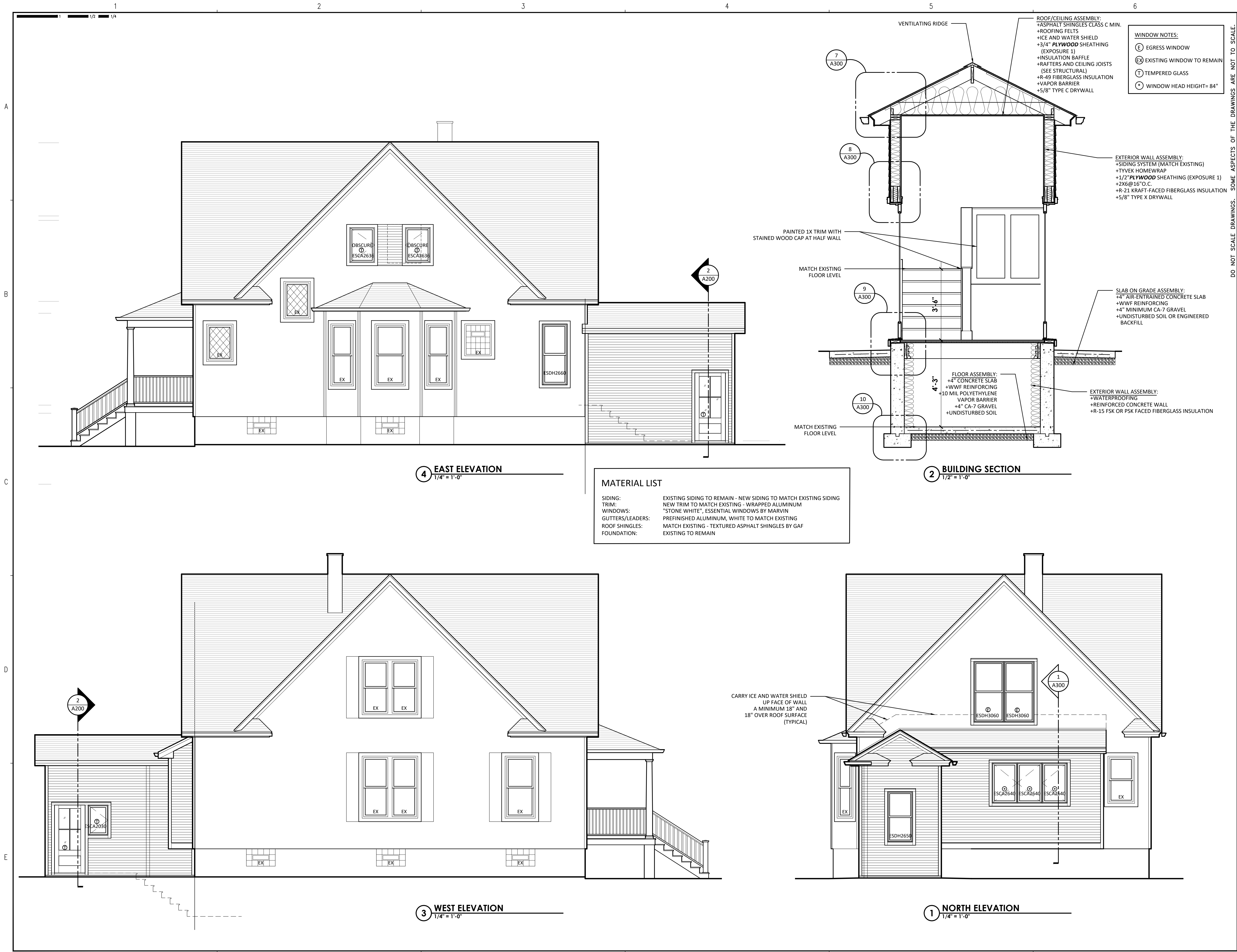
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no.	revision	init.	date
1	PERMIT SET		1/26/22

SECOND FLOOR AND ROOF PLANS

date	drawn by	checked by
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Job No.	FILPI
Sheet No.	A101



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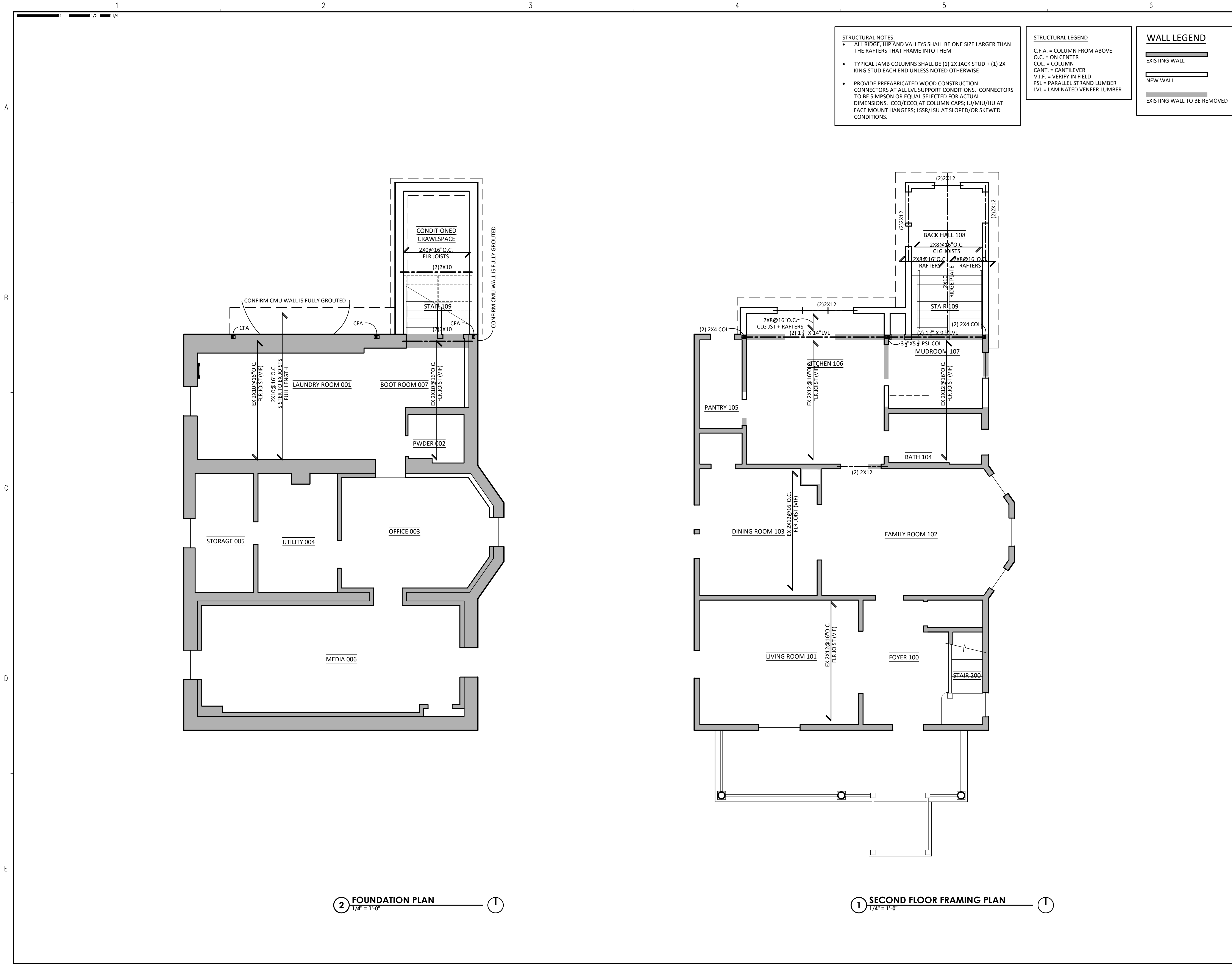
FILPI RESIDENCE

no.	revision	init.	date
1	PERMIT SET		1/26/22

EXTERIOR ELEVATIONS

date	drawn by	checked by
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Job No.	FILPI
Sheet No.	A200



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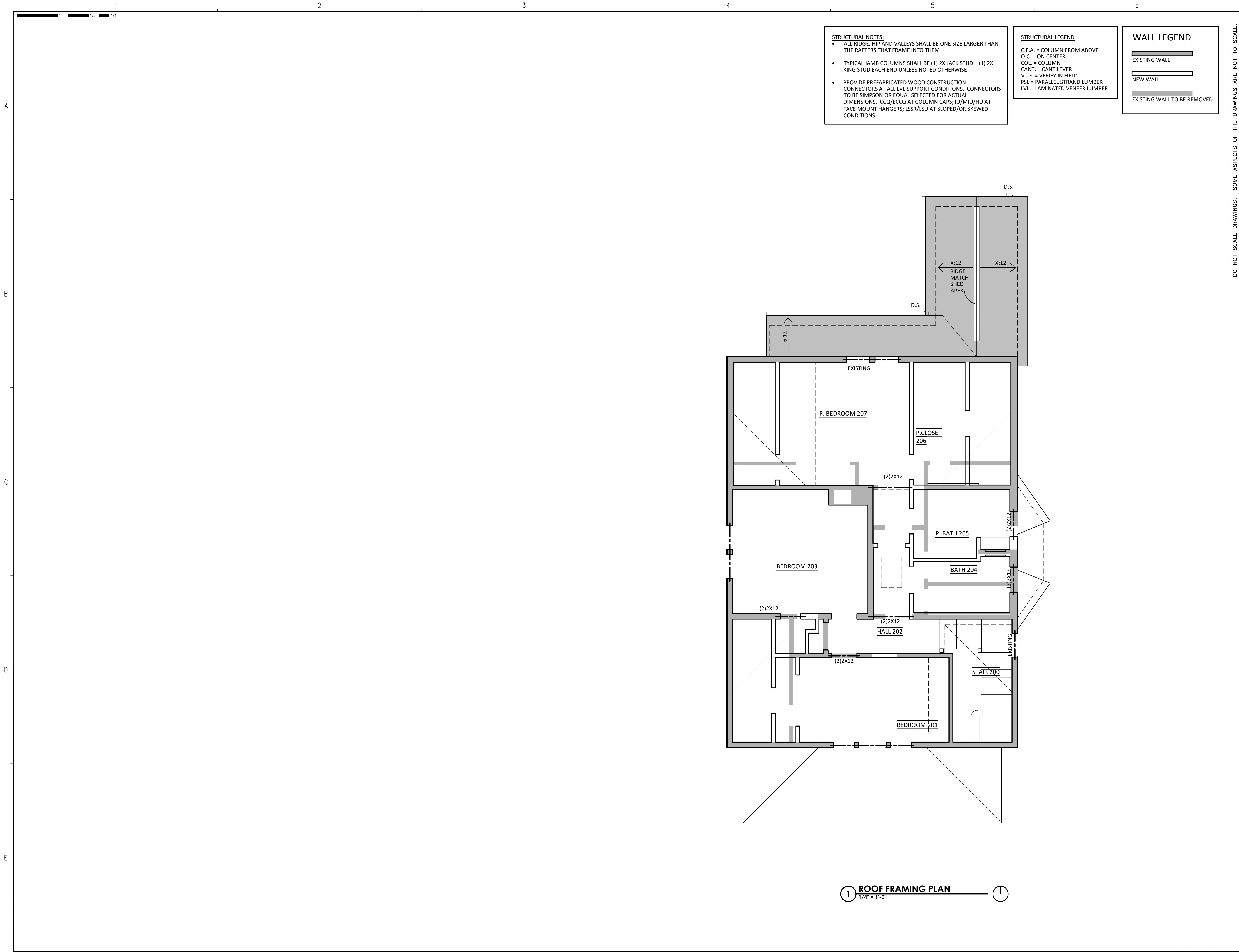
FILPI RESIDENCE

no.	revision	init.	date
	PERMIT SET		1/26/22

STRUCTURAL PLANS

date	drawn by	checked by
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Job No. **FILPI**
Sheet No. **S100**



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ARCHITECTS

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TAMA & CHRIS
FILPI

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FILPI
RESIDENCE

no.	revision	init.	date
	PERMIT SET		1/26/22

STRUCTURAL PLANS

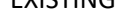
date	drawn by	checked by
Job No.		FILPI
Sheet No.		S101



LIGHT FIXTURE SCHEDULE					
	DESCRIPTION	MANUFACTURER	MODEL #	FINISH	REMARKS
	4" IC1 w/LED Retrofit	Juno	IC1 4RLDG2-927	WWH	4" IC1 w/LED Retrofit, 2700 K, Lensed, wet location
	Under Cabinet Lighting	Trulux	HTL-UWW, 27K 16'L	--	Driver: Magnitude M96L24DC-AR Extrusion: Krus 1888-2M Lens: Krus 17031-2M
	Surface Light				By Owner, Installed by Contractor
	Bathroom Fan	Panasonic	DC FV-0511VQ1	White	Whispercelling DC 50-80-110 CFM Ceiling Mounted Fan - Energy Star

ELECTRICAL LAYOUT LEGEND									
	Duplex power outlet		Can light (Insulated Ceiling)		Sprinkler head		DW	Dishwasher	Numbers indicate height above finished floor
	Quadrupole power outlet		Porcelain Socket		Garbage Disposal		REF	Refrigerator	
	Multioutlet assembly (spacing/in.)		Pendant Light		AFCI		H	Hood	
	Floor outlet (verify location)		Cabinet puck light		GFCI		MICRO	Microwave	
	Countertop Outlet		Surface-mounted light		WP			Ceiling fan	
	Duplex power outlet, 2 USB charger		Under-cabinet light		WL			In-floor electric heat	Existing wire path New wire path Existing outlets / fixtures New outlets / fixtures
	Switched outlet		Exhaust fan		EXTER				
	Junction box		Exhaust fan with light		D				
	Switch (D=Dimmer T=Timer)		Wall sconce		3W				
	Cable outlet		Fluorescent light		PC				
	Data outlet- Cat 5		Carbon-monoxide detector		JS				
	USB outlet		Smoke detector		▼				
	Door bell		Carbon-monoxide/Smoke detector		↑				
	Door bell chime		Pin Can Light (Insulated Ceiling)						

WALL LEGEND

	EXISTING WALL
	NEW WALL
	EXISTING WALL TO BE REMOVED

SEE 1/A100 FOR BASEMENT ELECTRICAL PLAN.



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318 W MUELLER STREET
ARLINGTON HTS, IL 60004

FILPI RESIDENCE

[illegible]

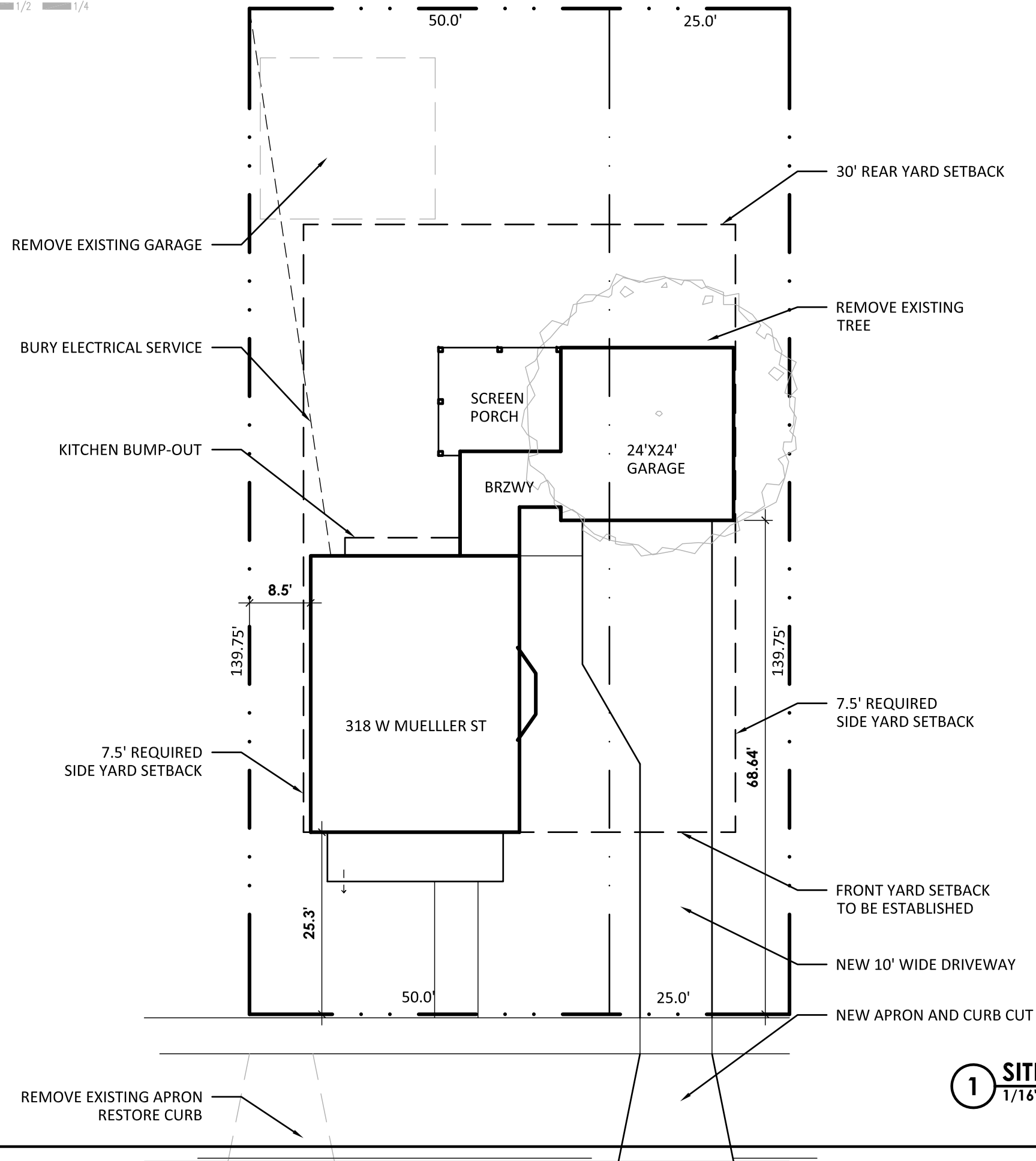
FIRST AND SECOND ELECTRICAL PLANS

date	drawn by	checked by
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Job No. **FILPI**

Sheet No. **E100**

1 1/2 1/4

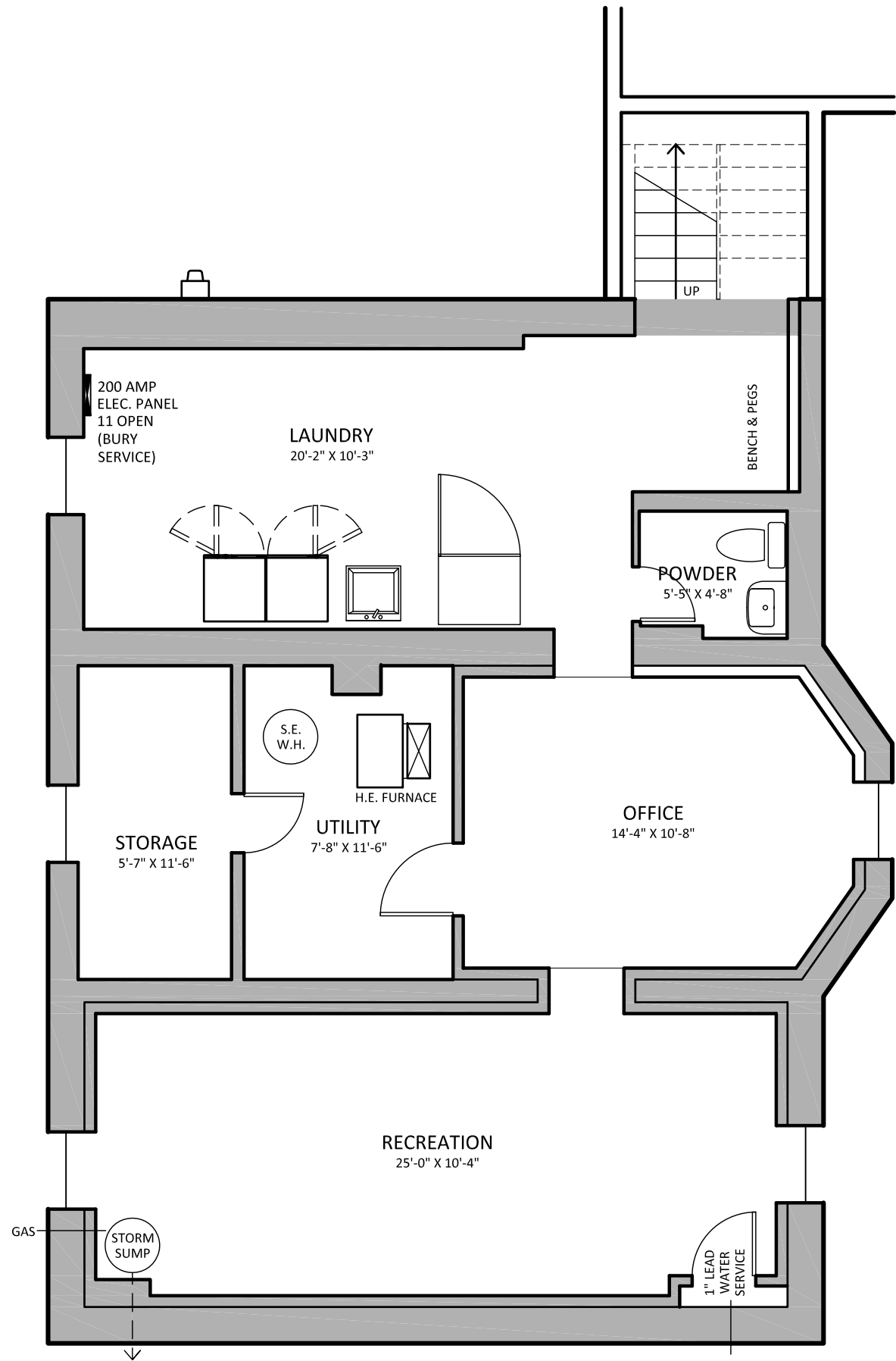


1 SITE PLAN
1/16" = 1'-0"



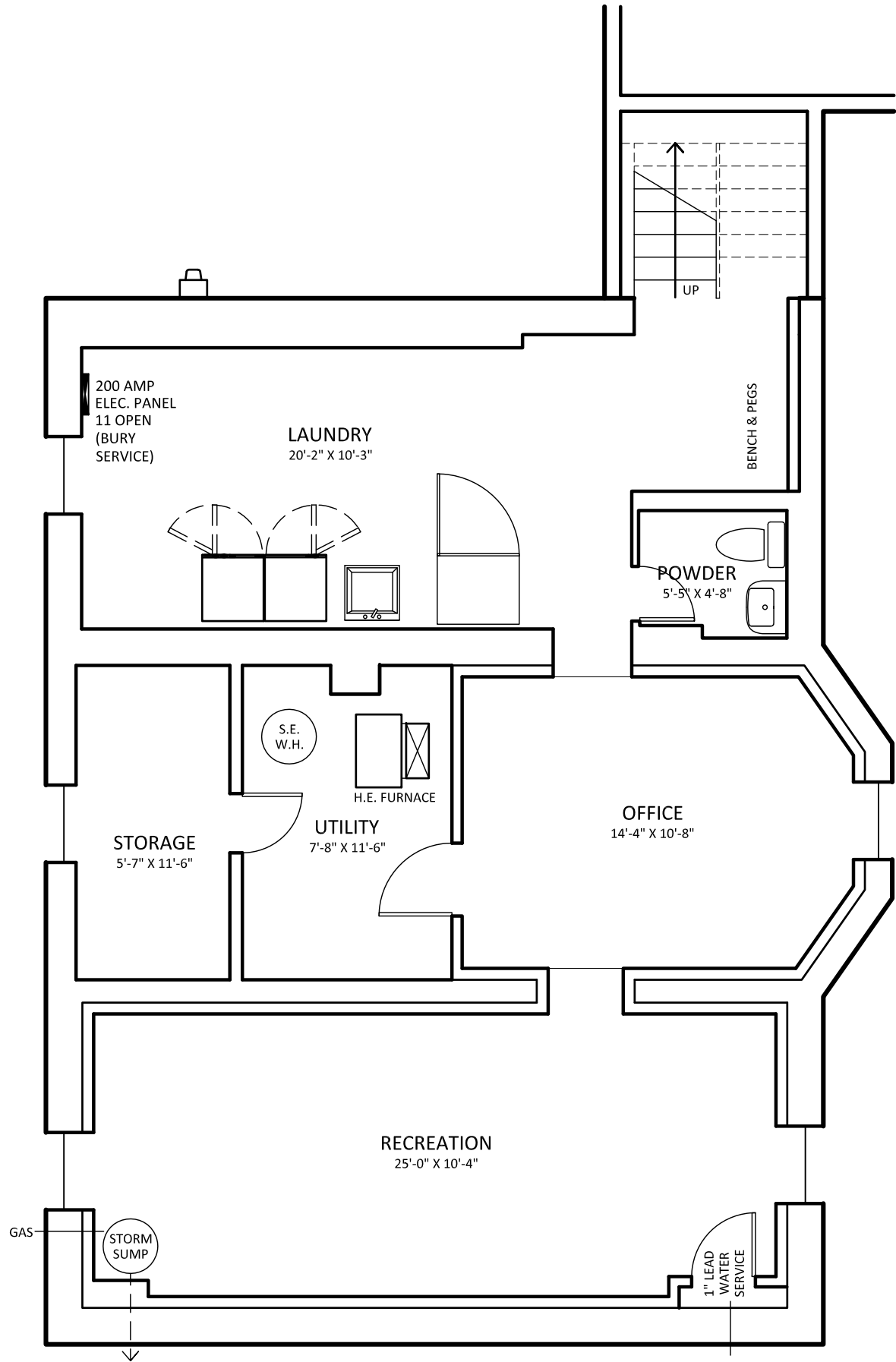
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A0



1 BASEMENT PLAN
3/16" = 1'-0"





1 BASEMENT PLAN
3/16" = 1'-0"



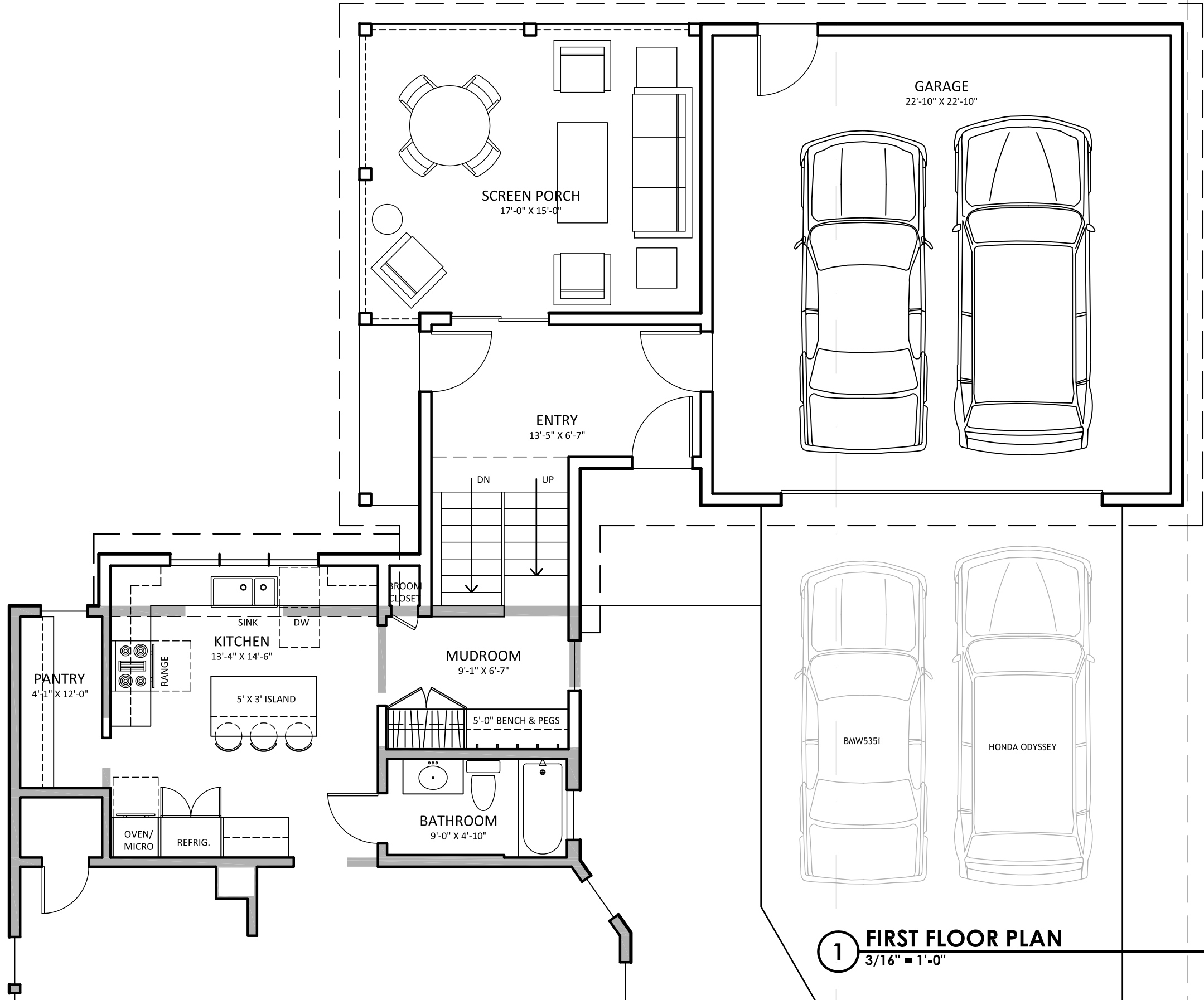
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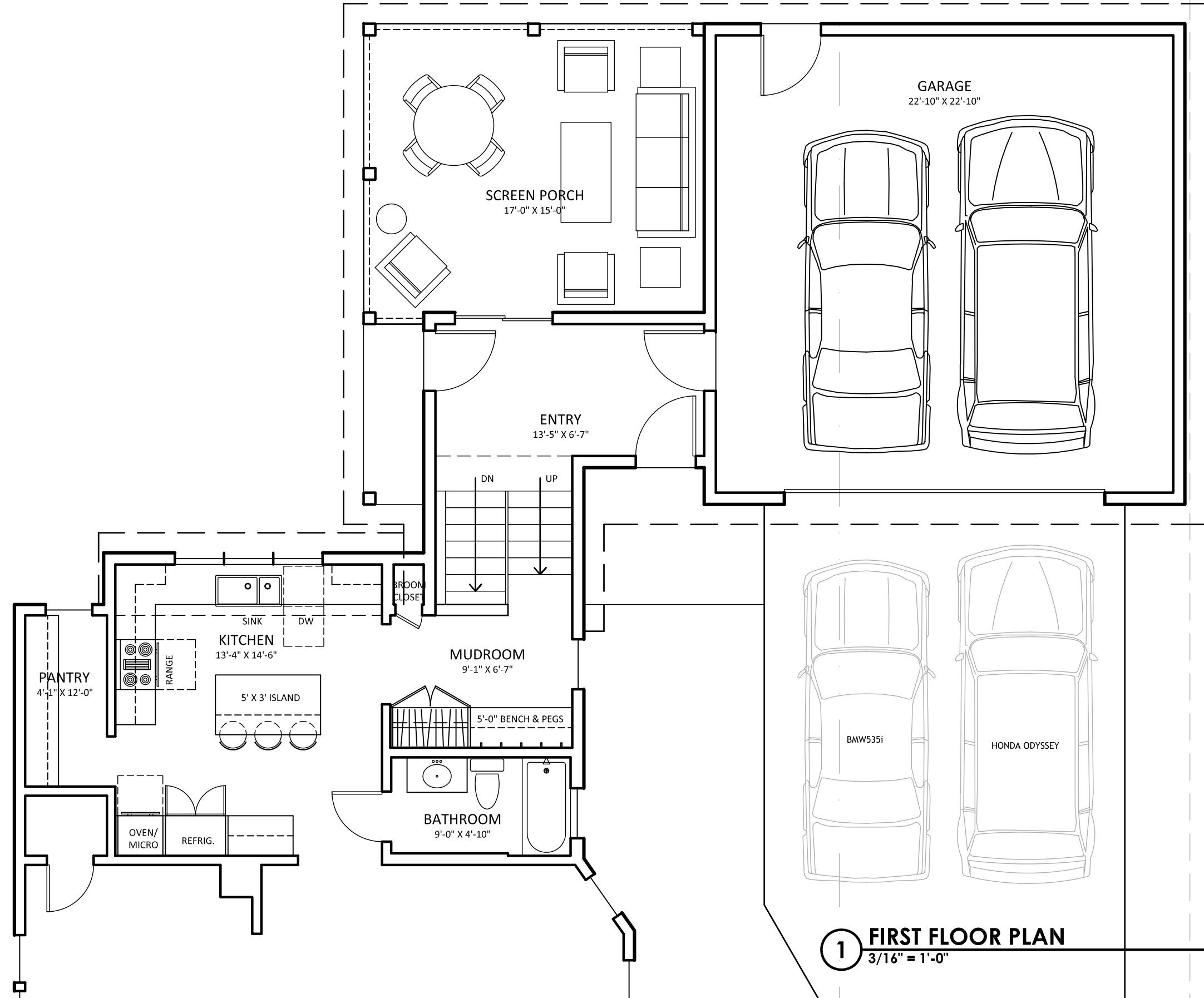


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1 FIRST FLOOR PLAN
3/16" = 1'-0"

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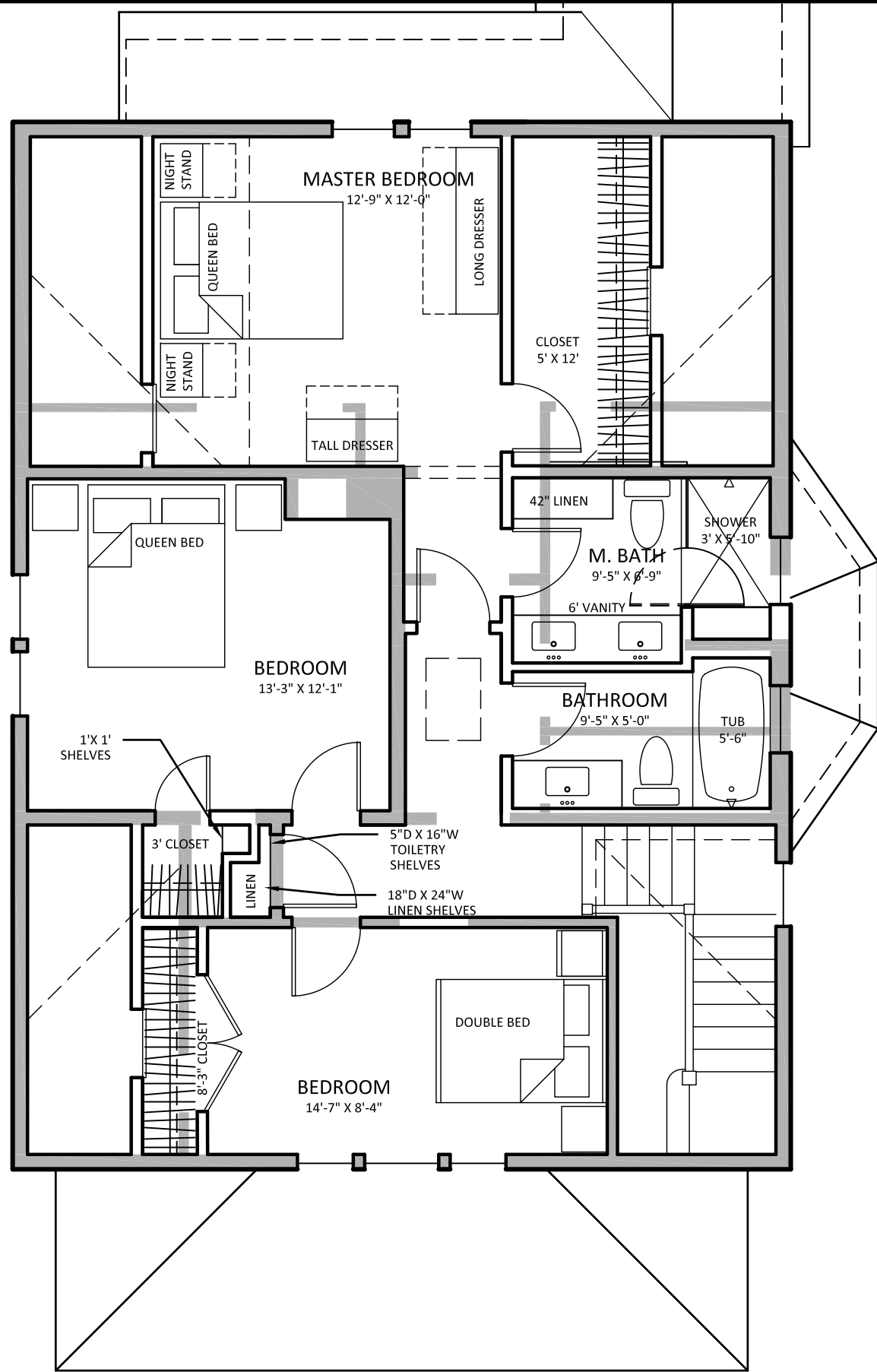


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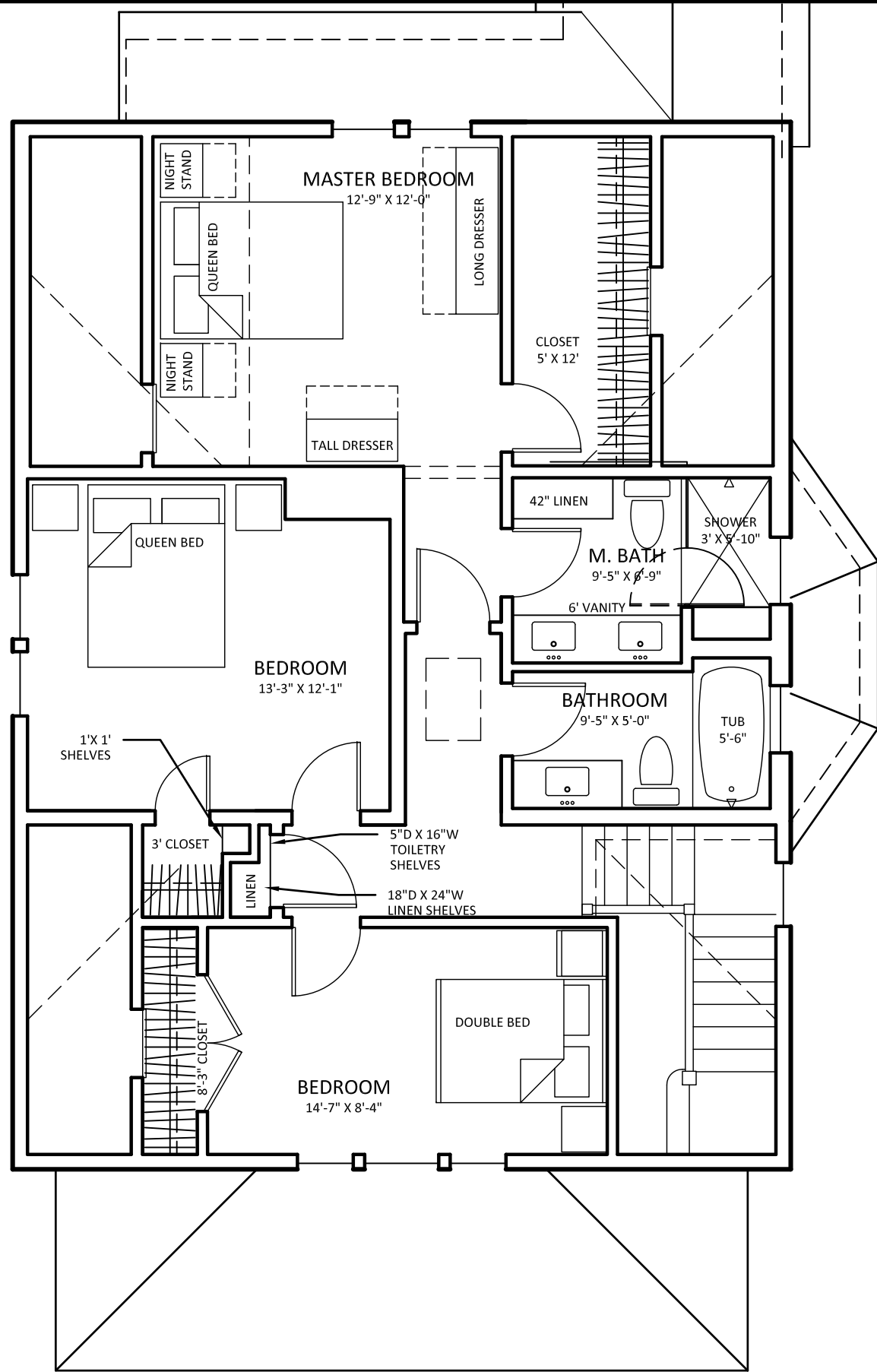
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1 1/2 1/4



1 SECOND FLOOR PLAN
3/16" = 1'-0"





1 SECOND FLOOR PLAN
3/16" = 1'-0"



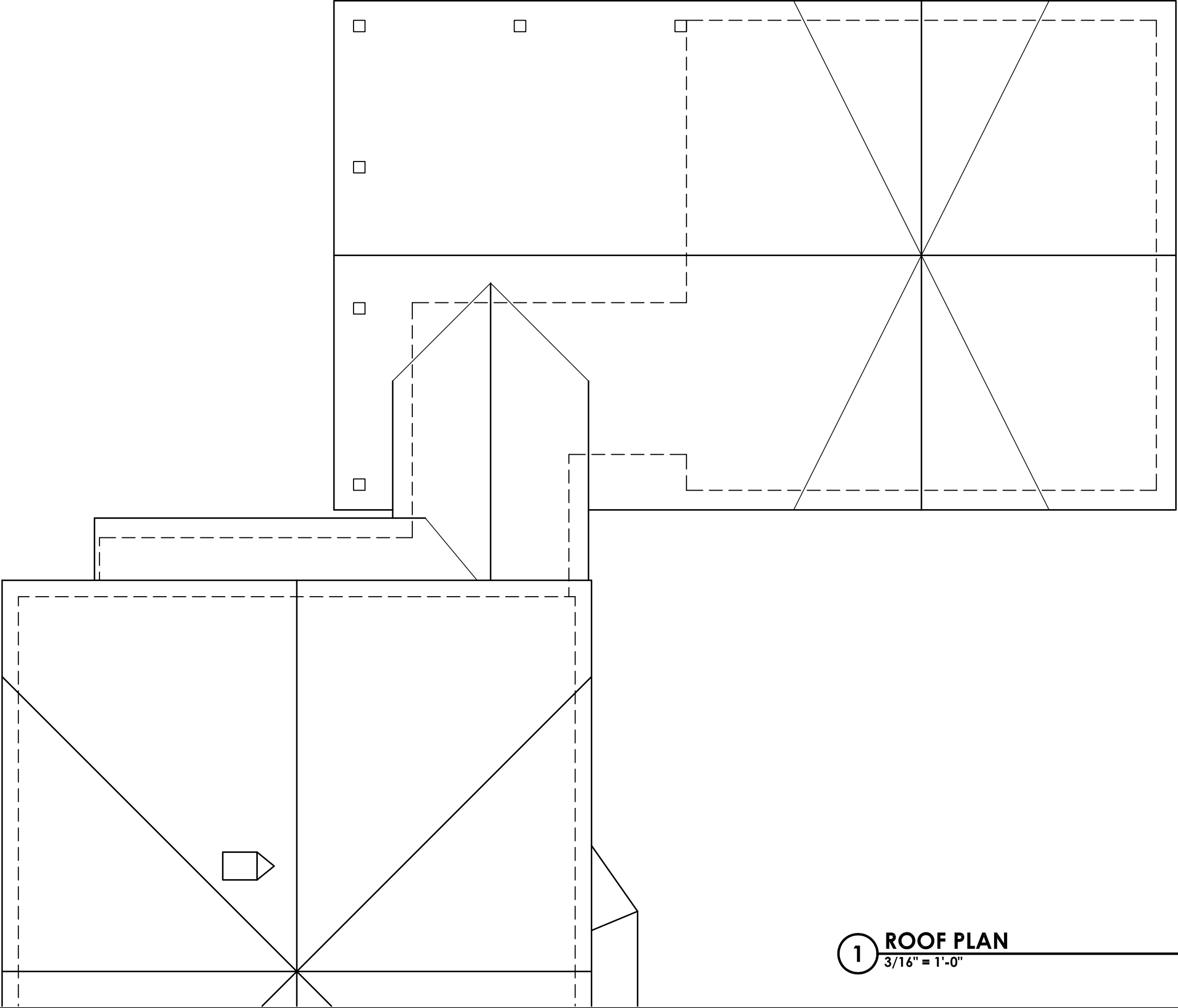
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1 ROOF PLAN
3/16" = 1'-0"



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1 SOUTH ELEVATION
3/16" = 1'-0"

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1 EAST ELEVATION
3/16" = 1'-0"





1 NORTH ELEVATION
3/16" = 1'-0"

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1 WEST ELEVATION
3/16" = 1'-0"

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