



Agenda
Village of Arlington Heights
Design Commission
Virtual Meeting

March 9, 2021
6:30 PM

I. CALL TO ORDER

- A. In response to the COVID-19 pandemic, this meeting is being held virtually, which permits the public to fully participate via their computers or using their phones.

To participate in the virtual meeting, please follow these instructions: <https://bit.ly/3bSjscV>

Individuals who wish to comment or ask a question on an item on the Agenda may either participate virtually or send an email to the Village at shautzinger@vah.com. Please limit emails to 200 words or less. To be shared at the meeting, the email must be received by 3:00 p.m. on March 9, 2021.

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Minutes - 2/23/21

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. DC#21-008 - 219 S. Evergreen Ave. - SF/Teardown

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-

5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Design Commission
3/9/2021

Item: Minutes - 2/23/21

Department: Planning & Community Development Department

ATTACHMENTS:

Description

Minutes - 2/23/21

Type

Minutes

DRAFT

MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION
VIRTUAL MEETING

FEBRUARY 23, 2021

Chair Fitzgerald called the meeting to order at 6:30 p.m.

Members Present: John Fitzgerald, Chair
Jonathan Kubow
Kirsten Kingsley
Scott Seyer

Members Absent: Ted Eckhardt

Also Present: Kristine Shirley & Craig Anderson, Brentwood Development for 607 W. Maude Ave.
Kevin Davis, Fairfield Homes for 916 N. Kaspar Ave.
Steve Hautzinger, Staff Liaison

Chair Fitzgerald read the following statement: I find that the public health concerns related to the coronavirus pandemic render in-person attendance at the regular meeting location not feasible.

Chair Fitzgerald also reminded those speaking tonight to state their names before speaking. Mr. Hautzinger added instructions for public attendees that want to speak tonight, as well as muting when not speaking.

REVIEW OF MEETING MINUTES FOR JANUARY 26, 2021

A MOTION WAS MADE BY COMMISSIONER SEYER, SECONDED BY COMMISSIONER KINGSLEY, TO APPROVE THE MEETING MINUTES OF JANUARY 26, 2021. ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 1. SINGLE-FAMILY TEARDOWN REVIEWDC#21-004 – 607 W. Maude Ave.

Kristine Shirley and Craig Anderson, representing *Brentwood Development*, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing single-story residence and one-car attached garage to allow construction of a new two-story residence with an attached, two-car garage. The project does comply with all R-3 zoning requirements. The existing neighborhood consists of primarily single-story homes with a mix of one-car and two-car attached garages. However, there have been numerous teardowns previously completed in this neighborhood.

Overall, the proposed design is nicely done and is consistent with other newer homes approved in this neighborhood. Features such as the single story entry portico and single story garage roof help the design to fit in with the adjacent single story homes, and the hipped main roof keeps the height of the side walls from being too tall.

Staff has the following minor recommendations to enhance the design:

- A recommendation to add a window or two in the side wall of Bedroom 4 to help break up the blank wall space on the northwest side elevation.
- A recommendation to add a small portico roof above the rear patio door to help break up the large flat wall.

With these recommendations, Staff recommends approval of the proposed design.

Mr. Hautzinger also said that he received an email late this afternoon from Cheryl Crouch, the adjacent neighbor to the west at 615 W. Maude Avenue. She said that her front door is located on the side of her home that will face the northwest side of the new home, and she is concerned about the location of the a/c units. She asked if the a/c units could be relocated to the southeast corner of the new home instead. She also said she is not in support of the suggestion from Staff to add windows in Bedroom 4 on the northwest side of the new home, because of the close proximity to the 2 existing bedroom windows on the east side of her home, which would create a loss of privacy for her. She also said that windows are already proposed in Bedroom 4 on the rear elevation.

Chair Fitzgerald asked if the petitioner had any comments at this time. Ms. Shirley said they reviewed the comments from Staff with the buyers, who are not opposed to adding a window in Bedroom 4 on the side of the home; however, they are opposed to adding a small roof over the patio door on the rear elevation because they are currently working with a landscape architect on plans for the backyard which will include a pergola at the patio area. Mr. Anderson responded to the adjacent neighbor's concerns about adding a window on the northwest side elevation in Bedroom 4 by suggesting to add an awning window up high on that elevation to reduce privacy issues. He also commented that the newer a/c units are very quiet and the proposed location for them is recessed in at the back corner of the new home. Ms. Shirley added that they built a similar home with the same footprint at 1111 W. Maude Avenue, and concerns were also raised from a neighbor about the location of the a/c units. The units were left in the originally proposed location and she has since spoke with that neighbor who said the a/c units are not as loud as expected and no longer a concern.

Chair Fitzgerald asked if there was any public comment on the project and there was response from the public.

PUBLIC COMMENT

Cheryl Crouch, the neighbor who lives adjacent to the new home, clarified that she is suggesting the a/c units be moved to the southeast corner of the new home, not the northeast corner. Mr. Hautzinger said that according to the floor plans, the a/c units are being proposed at the southwest corner of the new home, and Ms. Crouch said that this was different than what the elevation shows for the a/c units, which was why she suggested moving the units; however, she liked the location of the a/c units as proposed in the southwest corner of the home. She also liked the new home

design and said it was beautiful. Ms. Shirley confirmed that the a/c units are being proposed at the southwest corner of the home in the recessed alcove area, which is correctly shown on the floor plan; however, the elevation incorrectly shows the units in the side yard, which code does not allow. She apologized for the error by the architect, and Mr. Anderson added that the elevation also incorrectly shows a window well on the northwest elevation that will not be located there. Ms. Crouch also reiterated her concerns about adding more windows on the side of the new home that faces her home.

Keith Moens, 636 S. Cleveland Avenue. He asked if the \$3,500 linkage fee for the Affordable Housing Fund would apply to this project. Mr. Hautzinger said that the fee does apply to this project, and beginning this year all new homes being built in the Village have a \$3,532 fee that is paid at the time of building permit issuance that goes into an affordable housing fund.

There was no further public comment.

The commissioners summarized their comments. Commissioner Kingsley said the new home was nicely designed and she was glad the location of the a/c units was resolved. She was in favor of the petitioner's suggestion to add small awning windows in Bedroom 4 on the northwest elevation, with a sill height of about 5-feet high. She commented that this will be the first 2-story home in the entire context elevation of homes submitted, although there are other 2-story homes just outside this area; however, she felt the Design Guidelines should be taken into consideration when designing a home like this that has a surrounding neighborhood of one-story homes. She asked the petitioner to consider lowering the eave height of the garage and the porch, to reduce the amount of head room above the front door and garage, because it appeared as though the eave height is substantially higher than the eave lines of the homes on either side. She also said that the proportions of the dormer on the front of the garage seem inconsistent with the rest of the home, and she suggested a single window in the dormer instead of a double window. With regards to the overall height of the new home, Commissioner Kingsley reiterated that in the future, she wanted to see the second-floor eave height of homes like this in a predominantly one-story area be brought down. She was in favor of the materials being proposed.

Commissioner Kubow said that overall he liked the design of the new home and he appreciated the neighbors' comments tonight and the petitioner smartly designing the location of the a/c units. For the most part he agreed with Commissioner Kingsley's comments about the dormer above the garage; however, going with a single window in that location could look more awkward, considering all the other windows on the front are doubles, and although the dormer is a bit large and not really in place with the home, he felt the design works, as proposed. Commissioner Kubow had no other comments.

Commissioner Seyer liked the design of the new home, and although he understood Commissioner Kingsley's comments with respect to the height, he liked the design of the home and felt the dormer fit well, especially since it is the only window in that bedroom. He was in favor of the way the dormer is designed with two windows. He understood the petitioner's concerns about adding a roof above the patio door on the rear of the home because of the pergola being proposed; however, either way it was just a recommendation for him. Commissioner Seyer was in favor of the project as designed with clarification that the location of the a/c units are as shown on the floor plans and not the elevations.

Chair Fitzgerald liked the design of the new home, the colors and materials, and he really liked that a pergola will be built on the back of the home. He said that adding a roof above the patio door on the rear elevation was just a recommendation for him. Chair Fitzgerald also liked the location of the plant material.

There were no further comments from the commissioners.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER SEYER, TO RECOMMEND APPROVAL OF THE PROPOSED NEW (TEARDOWN) SINGLE-FAMILY HOME TO BE LOCATED

AT 607 W. MAUDE AVENUE. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE ARCHITECTURAL PLANS RECEIVED 1/26/21, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A REQUIREMENT THAT THE A/C UNITS BE LOCATED IN THE NOTCHED AREA AS SHOWN ON THE FLOOR PLAN EXHIBIT, AND NOT WHERE THEY ARE SHOWN IN THE ELEVATION.
2. A RECOMMENDATION THAT IF WINDOWS ARE ADDED IN BEDROOM 4 ON THE NORTHWEST ELEVATION, THAT THEY BE AWNING WINDOWS TO RESPECT THE PRIVACY OF THE ADJACENT NEIGHBOR.
3. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

SEYER, AYE; KUBOW, AYE; KINGSLEY, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 2. SINGLE-FAMILY TEARDOWN REVIEWDC#21-006 – 916 N. Kaspar Ave.

Kevin Davis, representing *Fairfield Homes*, was present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing single-story residence and detached garage to allow construction of a new two-story residence with an attached, two-car garage. The project does comply with the R-3 zoning requirements. The existing neighborhood has a mix of single-story, one-and-a-half story, and two-story homes with a mix of detached and attached garages. There have been other teardowns previously approved in this neighborhood, with one teardown completed on this block that was approved in 2014.

Overall, the proposed design is nicely done with a single story front porch and single story garage roof that helps the house to fit in with the scale of the neighborhood, and the hipped main roof keeps the height of the side walls from being too tall. The front porch projects out in front of the garage, which keeps the focus of the design on the house instead of the garage. The stone base is returned partially down the side walls, however it is recommended that it be extended further on the side of the garage to align with the transition in the roof line above. With this recommendation, Staff recommends approval of the proposed design.

Chair Fitzgerald asked the petitioner for any comments at this time, and Mr. Davis said he had no comments at this time.

Chair Fitzgerald asked if there was any public comment on the project and Mr. Hautzinger said that there was.

PUBLIC COMMENT

Keith Moens, 636 S. Cleveland Avenue. He asked if the \$3,500 linkage fee for the Affordable Housing Fund would apply to this project. Mr. Hautzinger said that it does, and he clarified that all new homes being built in the Village now require the \$3,532 fee be paid at the time of building permit. Mr. Moens asked if this information could be included in the Staff reports for these projects. Mr. Hautzinger said that because the linkage fee is not a Design Commission matter, it would not be part of the Staff report; however, he assured Mr. Moens that the linkage fee is being applied at the time of building permit approval for all new homes.

There was no further public comment.

The commissioners summarized their comments. Commissioner Kubow said that Staff comments were spot on with regards to the recommendation that the stone base turn the corners; however, he felt the stone on the south elevation (left side) that ends at the window looks awkward, and because the new home is set back from the street more than the adjacent home to the south, he would suggest the stone extend only 1-foot onto the left side of the home. On the north elevation (right side), he agreed with Staff's suggestion to extend the stone down to where it transitions from 1-story to 2-story. Commissioner Kubow said this was a good-looking home and he thanked Staff for pointing out that the first-floor garage roof actually goes all the way back, which helps reduce the imposing nature of it from the front of the home.

Commissioner Seyer also thanked Staff for how the project was presented tonight, because he initially felt the home was a little overpowering in elevation; however, after seeing it in side elevation, it feels more set back, which will help with the massing, particularly within the context. He was in favor of the massing and the materials, and he was okay with the stone base as currently proposed, although he also agreed with Commissioner Kubow's suggestions about the stone base. With these comments, Commissioner Seyer was in favor of the project.

Commissioner Kingsley also felt Staff did a really good job of presenting the new home and she appreciated how the surrounding neighborhood was laid out to show how many homes have been torn down and how many have been

improved. Because of the massing, she felt the new home was more appropriate in this location, especially with the front elevation of the garage extending all the way back. Although she may have liked to see the new home flipped with the garage on the left, the way the home is currently proposed was not an issue, especially after looking at the site plan and how the other homes are laid out. With regards to the stone base, she felt it could go either way, but she liked Commissioner Kubow's suggestion to only extend the base 1-foot on the left side, and extend it a little farther on the garage side elevation. Commissioner Kingsley pointed out that there are four different materials on the front elevation; stone base, lap siding, shingle siding in the gable ends, and vertical board and batten in the main portion above the front door that does not turn. She felt all these materials looked a bit busy, and her initial reaction is to either change all the second-story materials on the front elevation to vertical board and batten, or have siding on the main dormer above the front door with shingles just in the apex of the gable. She also suggested adding some type of canopy over the patio door on the back of the home for protection.

Chair Fitzgerald liked the new home, and he agreed with Commissioner Kingsley's comments about the mix of materials on the front of the home. He liked the stone base as proposed on the side elevations; how the base extends 5-feet across on the left side to be somewhat consistent with what this commission typically asks for. He added that once landscaping is added there, it will appear as though the base extends the entire length of the home, which he likes. He also agreed with the suggestion to extend the stone base to the end of the garage on the right side elevation.

Commissioner Seyer asked for clarification on Chair Fitzgerald's comments about the materials on the front elevation. Chair Fitzgerald said that if the petitioner wants to simplify the materials on the front elevation, he would be appreciative of that because sometimes simplicity is better, especially when there is not a lot of detail on the other three sides of the home. Commissioner Seyer asked where the vertical board and batten is being suggested on the front of the home, and Commissioner Kingsley clarified her previous comments that 3 of the 4 gables on the front of the home have shingle siding proposed, and one of the gables has board and batten. Her suggestion was that all 4 of the gables be either shingle siding, or all of them be vertical board and batten, since everything on the second-floor will be white, except where there is roofing and to the right of the garage where there is siding. Mr. Hautzinger clarified that all of the siding on the front of the home will be blue not white, with white trim; different textures of siding but the same blue color. Mr. Davis concurred. Commissioner Kingsley understood and said that it was just a matter of texture, which is probably not as big of a deal to her. Commissioner Seyer said that knowing the materials are all the same color helps make it feel less contrasting, and Commissioner Kingsley agreed.

Mr. Hautzinger said that although he did not comment in the staff report about the materials, it was a very observant comment from Commissioner Kingsley that the front elevation does look somewhat busy with maybe one too many types of siding materials. He made the suggestion to eliminate the board and batten and replace it with horizontal lap siding, or replace the shingle accent with board and batten.

There were no further comments.

A MOTION WAS MADE BY COMMISSIONER KINGSLEY, SECONDED BY COMMISSIONER SEYER, TO RECOMMEND APPROVAL OF THE PROPOSED ARCHITECTURAL DESIGN FOR THE NEW (TEARDOWN) SINGLE-FAMILY HOME TO BE LOCATED AT 916 N. KASPAR AVENUE. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE ARCHITECTURAL PLANS RECEIVED 2/10/21, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A RECOMMENDATION TO EXTEND THE STONE BASE ON THE GARAGE (RIGHT) SIDE ELEVATION TO PAST THE SECOND WINDOW, LINING UP WITH THE BEGINNING OF THE SECOND-STORY OF THE HOME.
2. A RECOMMENDATION TO SIMPLIFY THE MATERIALS ON THE FRONT OF THE HOME, WHETHER IT BE CHANGE THE SHINGLE SIDING TO BOARD AND BATTEN, OR CHANGE THE BOARD AND BATTEN TO SHINGLE SIDING.
3. A RECOMMENDATION TO ADD SOME TYPE OF CANOPY OR PROTECTION AT THE BACK PATIO DOOR.

4. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, NOR REPRESENT ANY TACIT APPROVAL OR SUPPORT FOR THE PROPOSED LAND USE OR ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

Commissioner Kubow said that comments about the stone base on the left side elevation were missed, with a suggestion to reduce the return of the stone base.

A MOTION WAS MADE BY COMMISSIONER KINGLSEY TO AMEND THE MOTION TO ADD THE FOLLOWING:

5. A RECOMMENDATION TO EXTEND THE STONE BASE ON THE LEFT SIDE ELEVATION 1-FOOT.

COMMISSIONER KUBOW SECONDED THE AMENDMENT.

SEYER, AYE; KUBOW, AYE; KINGSLEY, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 3. GENERAL MEETING

There was no further discussion.

A MOTION WAS MADE BY COMMISSIONER SEYER, SECONDED BY COMMISSIONER KUBOW, TO ADJOURN THE MEETING AT 7:20 PM.

KUBOW, AYE; KINGSLEY, AYE; SEYER, AYE; FITZGERALD, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.



**Design Commission
3/9/2021**

Item: DC#21-008 - 219 S. Evergreen Ave - SF/Teardown

Department: Planning & Community Development Department

Requested Action

Approval of the proposed architectural design for a new (teardown) single-family residence.

Recommendation

It is recommended that the Design Commission require further design development of the proposed architectural design for the new (teardown) single-family home to be located at 219 S. Evergreen Avenue. This recommendation is based on the architectural plans received 2/5/21, site plan received 2/23/21, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. Further design development is recommended to improve the balance of the composition and the massing/proportions of the design.
2. Consider changing the proposed large dormer to two smaller dormers, and increasing all front and side roof pitches to a 12:12 slope.
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report

Supporting Documents

Type

Board or Commission Report

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 219 S Evergreen Ave.
Project Address: 219 S Evergreen Ave.
Prepared By: Steve Hautzinger

Date Prepared: March 3, 2021

PETITION INFORMATION:

DC Number: 21-008
Petitioner Name: Kevin Davis
Petitioner Address: Fairfield Homes Inc.
530 S. Arthur Ave.
Arlington Heights, IL 60005
Meeting Date: March 9, 2021

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

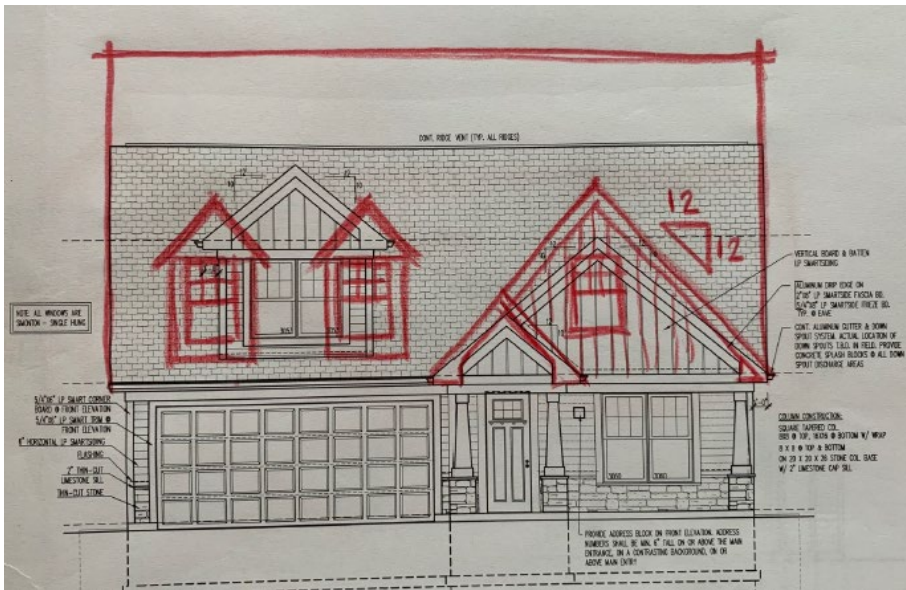
The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines.

The petitioner is proposing to demolish an existing two-story residence to allow construction of a new one-and-a-half story residence with an attached, two-car garage. The subject site is zoned R-6, Multiple Family Dwelling District. The property has a total land area of 8,405 square feet and the proposed residence will have approximately 3,324 square feet. The proposed front setback needs to be slightly adjusted to comply with the average setback of the block, but otherwise the project does comply with the single-family zoning requirements as summarized below.

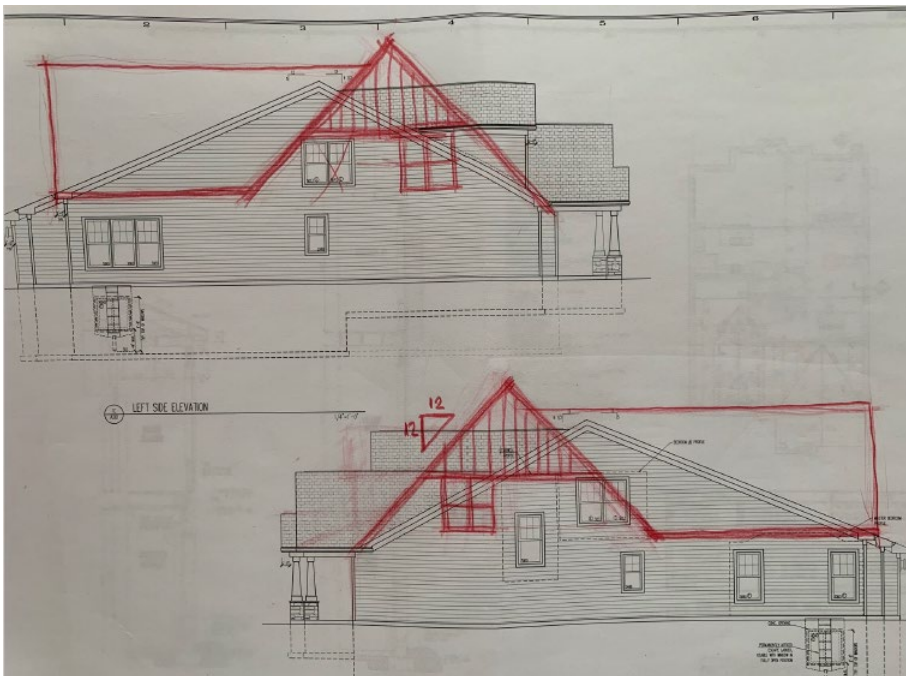
	ALLOWED	PROPOSED
Setbacks	Front: 27.6 feet Side: 6.135 feet Side: 6.13 feet Rear: 30 feet	Front: 27.3 feet Side: 10.17 feet Side: 10.16 feet Rear: 38.7 feet
Building Height	25 feet to the midpoint	17 feet to the midpoint
FAR	3,782 SF	3,324 SF
Building Lot Coverage	2,942 SF	2,726 SF
Impervious Surface Coverage Total	4,203 SF	3,526 SF

This block is zoned R-6, Multiple-Family Dwelling District, and is comprised of a mix of housing types. The block currently has a mix of existing and newer single-family homes, as well as newer multi-family residences, row homes, and multi-story residential buildings. The subject property is located between two multiple-family buildings, so the proposed design looks small in comparison. However, the properties across the street are predominantly single-family houses.

In regards to the proposed design, the massing has awkward proportions, and further design development is recommended. The dormer on the front (above the garage) looks large and out of balance with the front porch gable. Additionally, the asymmetrical front-to-back main roof gable (side elevations) has an awkward and unbalanced appearance. To provide a more balanced composition with better proportions, consider changing the proposed large dormer to two smaller dormers, and increasing all front and side roof pitches to a 12:12 slope. Sketches 1 and 2 below illustrate these suggestions.



Sketch 1. Front Elevation with suggested double dormer and 12:12 roof pitches.



Sketch 2. Side Elevations with suggested 12:12 roof pitch.

RECOMMENDATION:

It is recommended that the Design Commission **require further design development** of the proposed architectural design for the new (teardown) single-family home to be located at 219 S. Evergreen Avenue. This recommendation is based on the architectural plans received 2/5/21, site plan received 2/23/21, Design Commission recommendations, compliance with all applicable Federal, State, and Village codes regulations and policies, the issuance of all required permits, and the following:

1. Further design development is recommended to improve the balance of the composition and the massing/proportions of the design.

2. Consider changing the proposed large dormer to two smaller dormers, and increasing all front and side roof pitches to a 12:12 slope.
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.



March 3, 2021

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

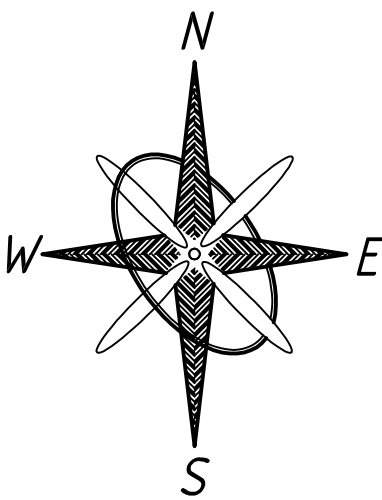
Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 21-008

BOUNDARY AND TOPOGRAPHIC SURVEY

OF

LOT 7 IN CHARLES REUSSNER'S SUBDIVISION IN THE WEST 1/2 OF THE NORTHWEST 1/4 OF SECTION 32, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

ADDRESS: 219 SOUTH EVERGREEN AVENUE, ARLINGTON HEIGHTS, ILLINOIS
CONTAINING AN AREA OF 8405.2 SQ.FT OR 0.193 ACRES, MORE OR LESS



GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

LEGEND

- P.U. PUBLIC UTILITY EASEMENT
D.E. DRAINAGE EASEMENT
P.S.E. PUBLIC WALK EASEMENT
PROP. PROPOSED FEATURE
EXIST. EXISTING
MH MANHOLE
T/F TOP OF FOUNDATION
CONC. CONCRETE
WW WINDOW WELL
M= MEASURED DIMENSION
R= RECORDED DIMENSION
BLDG. BUILDING
RAD RADIUS
B/C BACK OF CURB ELEVATIONS
+ FCC FOUND CROSS-CUT
+ SIR SET IRON ROD
+ FIP FOUND IRON PIPE
+ SCC SET CROSS CUT
+ SMN SET MAG NAIL
PROPERTY LINE
W WATER MAIN
G GAS MAIN
COMBO SEWER LINE
CABLE/TV LINE
TELEPHONE/COMMUNICATION LINE
ELECTRIC LINE
OVERHEAD LINE
DOWNSPOUT LOCATIONS
WATER VALVE VAULT
CP CONTROL POINT
BM BENCH MARK
- XXX.X PROPOSED SPOT ELEVATIONS
AS-BUILT SPOT ELEVATIONS
--812-- AS-BUILT CONTOURS
B BUFFALO BOX
C CLEANOUT
A/C UNIT
DRAINAGE FLOW ARROW
WATER VALVE
STORM CATCH BASIN
STORM INLET
MANHOLE
TREE W/ SIZE
LIGHT POLE
BOLLARDS
FIRE HYDRANTS
UTILITY POLE
HAND HOLE
GAS VALVE
STREET SIGN
EXISTING SPOT ELEVATIONS
CONCRETE PAVEMENT
BITUMINOUS PAVEMENT
GRAVEL PAVEMENT
BRICK PAVEMENT

GENERAL NOTES:
1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
2. COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA SHOWN HEREON AND REPORT ANY DISCREPANCIES AT ONCE.
3. NO DIMENSIONS SHALL BE DERIVED FROM SCALED MEASUREMENT.
4. ONLY THOSE BUILDING SETBACK LINES AND EASEMENT WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISION ARE SHOWN HEREON, UNLESS INDICATED OTHERWISE. REFER TO DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS WHICH MAY OR MAY NOT EXIST.
5. LEGAL DESCRIPTION AS PER MOST RECENT DEED OF RECORD, UNLESS OTHERWISE INDICATED HEREON.

SURVEYOR'S NOTES:
1. BEARINGS BASED ON ASSUMED DATUM.
2. THIS SURVEY WAS PERFORMED ON THE GROUND AND COMPLETED NOVEMBER 2, 2020.
3. ONLY THE IMPROVEMENTS THAT WERE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY AND THROUGH A NORMAL SEARCH AND WALK THROUGH OF THE SITE ARE SHOWN ON THE FACE OF THIS PLAT. LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS SURVEY.
4. SURFACE INDICATIONS OF UTILITIES ON THE SURVEYED PARCEL HAVE BEEN SHOWN. UNDERGROUND AND OFFSITE OBSERVATIONS HAVE NOT BEEN MADE TO DETERMINE THE EXTENT OF UTILITIES SERVING OR EXISTING ON THE PROPERTY. PUBLIC AND/OR PRIVATE RECORDS HAVE NOT BEEN SEARCHED TO PROVIDE ADDITIONAL INFORMATION. OVERHEAD WIRES, IF ANY, ARE EXISTING AND THEIR POLES HAVE BEEN SHOWN, HOWEVER THEIR FUNCTION AND DIMENSIONS HAVE NOT BEEN NOTED.
5. OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY SERVICE OR UTILITY LINE. CONTROLLED UNDERGROUND EXPLORATORY EFFORT TOGETHER WITH J.U.L.I.E. LOCATIONS IS RECOMMENDED TO DETERMINE THE FULL EXTENT OF UNDERGROUND SERVICE AND UTILITY LINES. CONTACT J.U.L.I.E. AT: 1-800-892-0123.
6. MISSING PROPERTY CORNERS WILL BE SET AFTER CONSTRUCTION DURING FINAL AS-BUILT SURVEY PER CLIENT'S REQUEST.

STATE OF ILLINOIS } SS
COUNTY OF COOK }

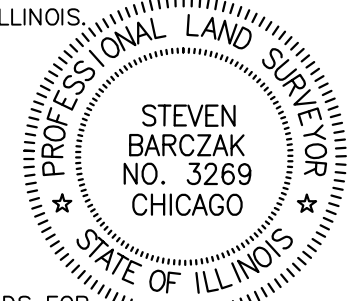
WE, KNIGHT E/A, INC., ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184-002141, HEREBY CERTIFY THAT THE PROPERTY HEREON DESCRIBED WAS SURVEYED UNDER THE DIRECT SUPERVISION OF AN ILLINOIS PROFESSIONAL LAND SURVEYOR, AND THAT THIS PLAT REPRESENTS THE CONDITIONS FOUND AT THE TIME OF SAID SURVEY.

GIVEN UNDER MY HAND AND SEAL THIS 7TH DAY OF DECEMBER, 2020 IN CHICAGO, ILLINOIS.
KNIGHT E/A, INC.

STEVEN BARCZAK, IPLS NO. 035.003269
LICENSE EXPIRES: 11/30/2022

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY AND FOR A TOPOGRAPHIC SURVEY.

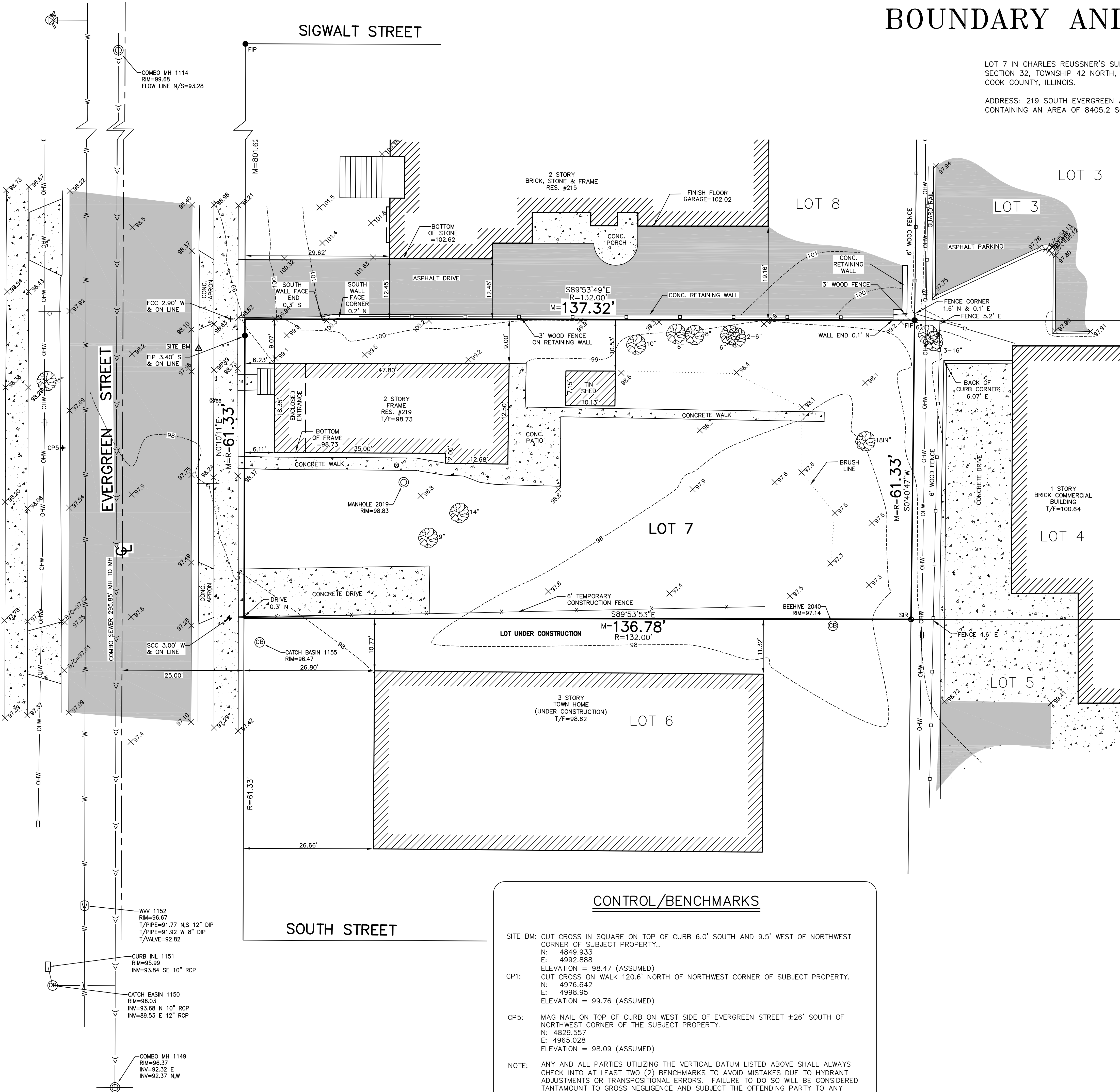
ORIGINAL COPIES OF THIS PLAT CONTAIN A SIGNATURE AND A RAISED SEAL.



CONTROL/BENCHMARKS

- SITE BM: CUT CROSS IN SQUARE ON TOP OF CURB 6.0' SOUTH AND 9.5' WEST OF NORTHWEST CORNER OF SUBJECT PROPERTY.
N: 4849.933
E: 4992.888
ELEVATION = 98.47 (ASSUMED)
CP1: CUT CROSS ON WALK 120.6' NORTH OF NORTHWEST CORNER OF SUBJECT PROPERTY.
N: 4976.642
E: 4998.95
ELEVATION = 99.76 (ASSUMED)
CP5: MAG NAIL ON TOP OF CURB ON WEST SIDE OF EVERGREEN STREET ±26' SOUTH OF NORTHWEST CORNER OF THE SUBJECT PROPERTY.
N: 4829.557
E: 4965.028
ELEVATION = 98.09 (ASSUMED)

NOTE: ANY AND ALL PARTIES UTILIZING THE VERTICAL DATUM LISTED ABOVE SHALL ALWAYS CHECK INTO AT LEAST TWO (2) BENCHMARKS TO AVOID MISTAKES DUE TO HYDRANT ADJUSTMENTS OR TRANSPOSITIONAL ERRORS. FAILURE TO DO SO WILL BE CONSIDERED TANTAMOUNT TO GROSS NEGLIGENCE AND SUBJECT THE OFFENDING PARTY TO ANY DAMAGES ATTENDANT THERETO.



BOUNDARY AND TOPOGRAPHIC SURVEY		
Drawn By: AZ	Designed By: SB	Scale: 1"=10'
REVISIONS		
1	02/19/21	PER VILLAGE REVIEW

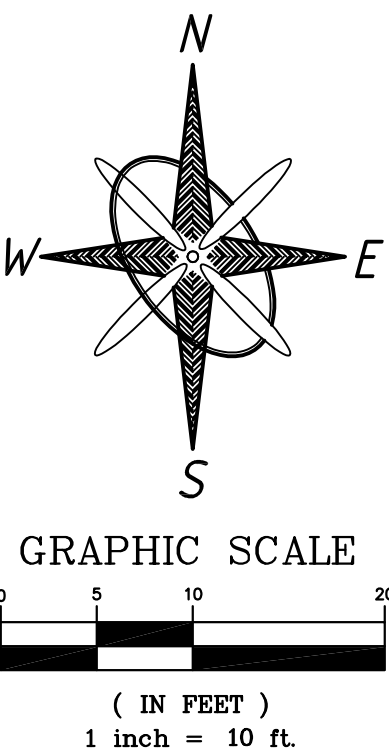
219 S. EVERGREEN AVENUE, ARLINGTON HEIGHTS, IL 60005
PREPARED FOR:
FAIRFIELD HOMES, LLC
530 S. ARTHUR AVENUE
ARLINGTON HEIGHTS, IL 60005
(847) 456-8017

KNIGHT
Engineers & Architects
Knight E/A, Inc.
221 N. LaSalle Street, Suite 300
Chicago, Illinois 60601-1211
Phone (312) 577-3300
Fax (312) 577-3526
knigtea.com

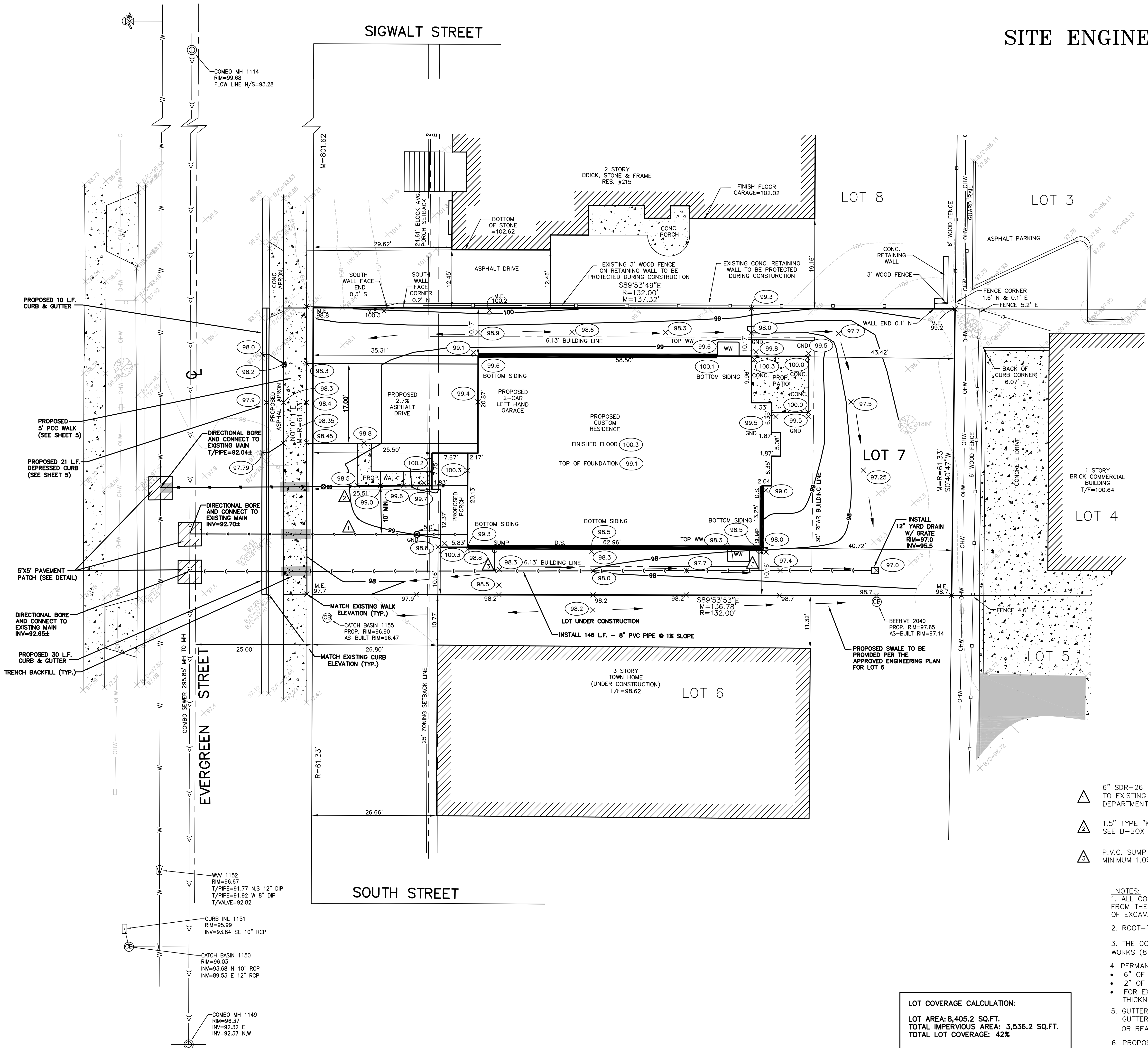
SHEET NO.
2
OF **7**
DATE: 12/07/2020
JOB NO. 7281.34

LOT 7

SITE ENGINEERING PLAN



Drawn By:	AZ	Designed By:	LK	Scale:	1"=10'
SITE ENGINEERING PLAN					
REVISIONS					
1	02/19/21	PER VILLAGE REVIEW			



SERVICES

- 6" SDR-26 P.V.C. SANITARY SERVICE MIN. 1.00% SLOPE AND CONNECTION TO EXISTING SANITARY SEWER MAIN. COORDINATE WITH VILLAGE PUBLIC WORKS DEPARTMENT AS TO CONNECTION TYPE (SADDLE TEE OR WYE). SEE DETAILS.
- 1.5" TYPE "K" COPPER WATER SERVICE. CONNECT TO EXISTING WATERMAIN. SEE B-BOX DETAIL, SHEET 5.
- P.V.C. SUMP DISCHARGE IN ACCORDANCE WITH VILLAGE CODE. MINIMUM 1.0% SLOPE. CONNECT TO PROPOSED STORM SEWER.

NOTES:

- ALL CONSTRUCTION EXCAVATION SPOIL SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF. NO STOCKPILING OF EXCAVATION SPOIL SHALL OCCUR ON SITE.
- ROOT-PRUNE TO ALLOW FOUNDATION EXCAVATION.
- THE CONTRACTOR MUST NOTIFY THE VILLAGE DEPARTMENT OF PUBLIC WORKS (847) 368-5800 PRIOR TO PLACING THE DRIVEWAY.
- PERMANENT PAVEMENT PATCH:
 - 6" OF COMPACTED B.A.M. (2" LIFTS)
 - 2" OF COMPACTED SURFACE COURSE
 - FOR EXISTING PAVEMENT GREATER THAN 8" THICK, INCREASE B.A.M. THICKNESS ACCORDINGLY.
- GUTTER DISCHARGE
 - GUTTERS SHALL DISCHARGE TOWARDS THE CENTER OF THE FRONT OR REAR YARDS, NO MORE THAN 10 FEET FROM BUILDING.
- PROPOSED WALKS SHALL BE IN ACCORDANCE WITH THE ILLINOIS ACCESSIBILITY CODE.

LOT COVERAGE CALCULATION:

LOT AREA: 8,405.2 SQ.FT.
TOTAL IMPERVIOUS AREA: 3,536.2 SQ.FT.
TOTAL LOT COVERAGE: 42%

SITE ENGINEERING PLAN

KNIGHT

Engineers & Architects

Knight E/A, Inc.
221 N. LaSalle Street, Suite 300
Chicago, Illinois 60601-1211

219 S. EVERGREEN AVENUE, ARLINGTON HEIGHTS, IL 60005

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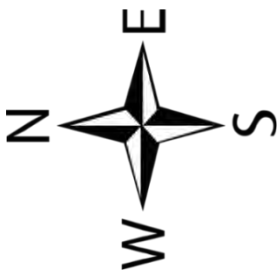
SHEET NO.

4

OF 7

DATE: 12/07/2020

JOB NO. 7281.34



Surrounding Properties

Village of Arlington Heights219 S Evergreen AveArlington Heights



Property to left 3
209 S Evergreen Ave



Property to left 2
211 S Evergreen Ave



Property to left 1
215 S Evergreen Ave



Subject Property
219 S Evergreen Ave



Property to right 1
221A E South St

E South St



Property to right 2
301 E South St



Property to right
20 S Evergreen Ave

S Evergreen Ave

S Evergreen Ave



Property Across to right 1
216 S Evergreen Ave



Property Across
918 S Evergreen Ave



Property Across to left 1
220 S Evergreen Ave

E South St

A

B

C

D

E

1

2

3

4

5

6

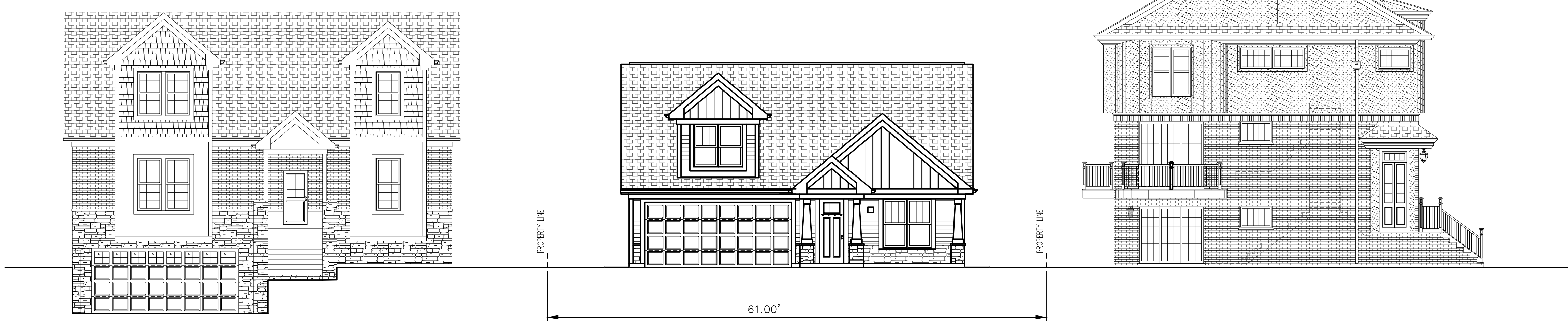
7



2C
A202
EXISTING FRONT ELEVATION
PROPERTY TO LEFT 1
215 S. EVERGREEN AVE.
1/8"=1'-0"

4C
A202
EXISTING FRONT ELEVATION
SUBJECT PROPERTY
219 S. EVERGREEN AVE.
1/8"=1'-0"

5C
A202
EXISTING FRONT ELEVATION
PROPERTY TO RIGHT 1
221A E. SOUTH ST.
1/8"=1'-0"



2D
A202
EXISTING FRONT ELEVATION
PROPERTY TO LEFT 1
215 S. EVERGREEN AVE.
1/8"=1'-0"

4D
A202
PROPOSED FRONT ELEVATION
SUBJECT PROPERTY
219 S. EVERGREEN AVE.
1/8"=1'-0"

5D
A202
EXISTING FRONT ELEVATION
PROPERTY TO RIGHT 1
221A E. SOUTH ST.
1/8"=1'-0"

1

2

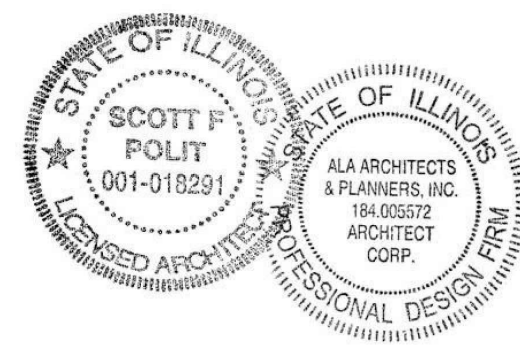
3

4

5

6

7

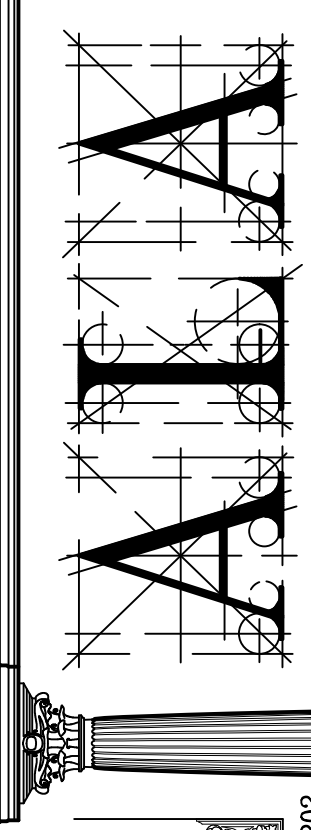


DESIGN STAGE		1	2	3	4	5
CONCEPTUAL DESIGN	10-05-20 BUI					
PRELIMINARY DESIGN	10-15-20 BUI					
DESIGN DEVELOPMENT	12-17-20 BUI					
RELEASE FOR BID	01-22-21 BUI					
FINAL REVIEW	01-11-21 BUI					
RELEASE FOR PERMIT	01-06-21 BUI					
REVISION	01-05-21 BUI					

FAIRFIELD HOMES
219 S. EVERGREEN AVE.
ARLINGTON HEIGHTS, IL 60004

CONTEXT ELEVATIONS

Architects & Planners, Inc.
2000 Behan Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-0200 Fax: 815-788-0201



ELEVATION NOTES

- * DO NOT SCALE ELEVATIONS. VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
- * WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE.
- * SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
- * IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS

WINDOW NOTES

- * ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET & INCHES
- EXAMPLE: 2555 = 2'-5" X 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED), DEPENDING ON MFG.
- EGRESS WINDOW = (E)
- TEMPERED GLASS = (T)
- FIXED WINDOW = (F)

DESIGN STAGE	1	2	3	4	5
CONCEPTUAL DESIGN					
PRELIMINARY DESIGN					
DESIGN DEVELOPMENT					
RELEASE FOR BID					
FINAL REVIEW					
RELEASE FOR PERMIT					
REVISION					

FAIRFIELD HOMES
219 S. EVERGREEN AVE.
ARLINGTON HEIGHTS, IL

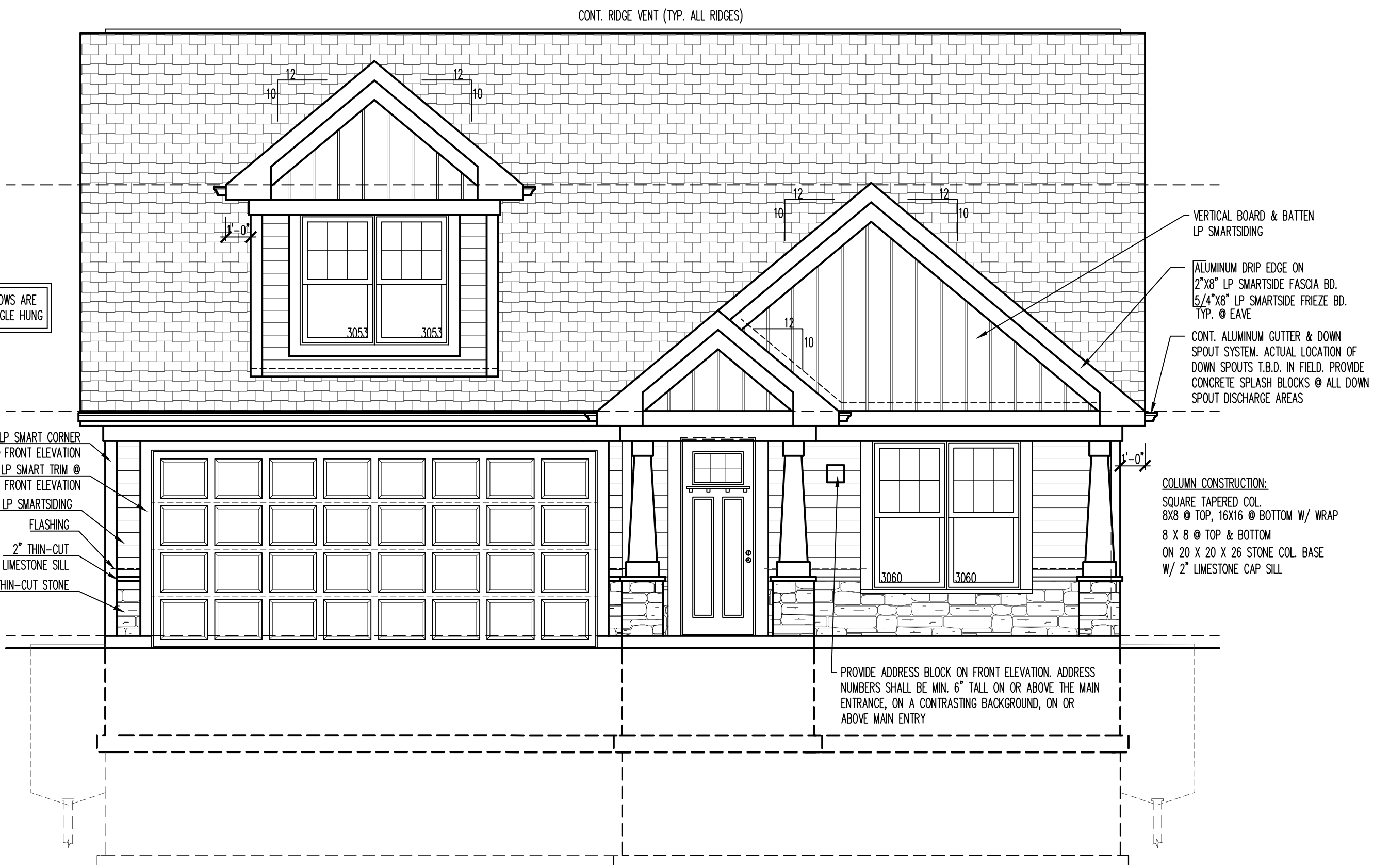
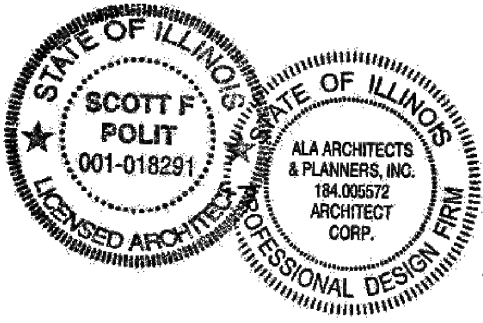
FRONT ELEVATION
REAR ELEVATION

Architects & Planners, Inc.
2000 Behan Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-0200 Fax: 815-788-9201

AIA

Job Number: 20286
Sheet Number: A200
File Name: 20286200

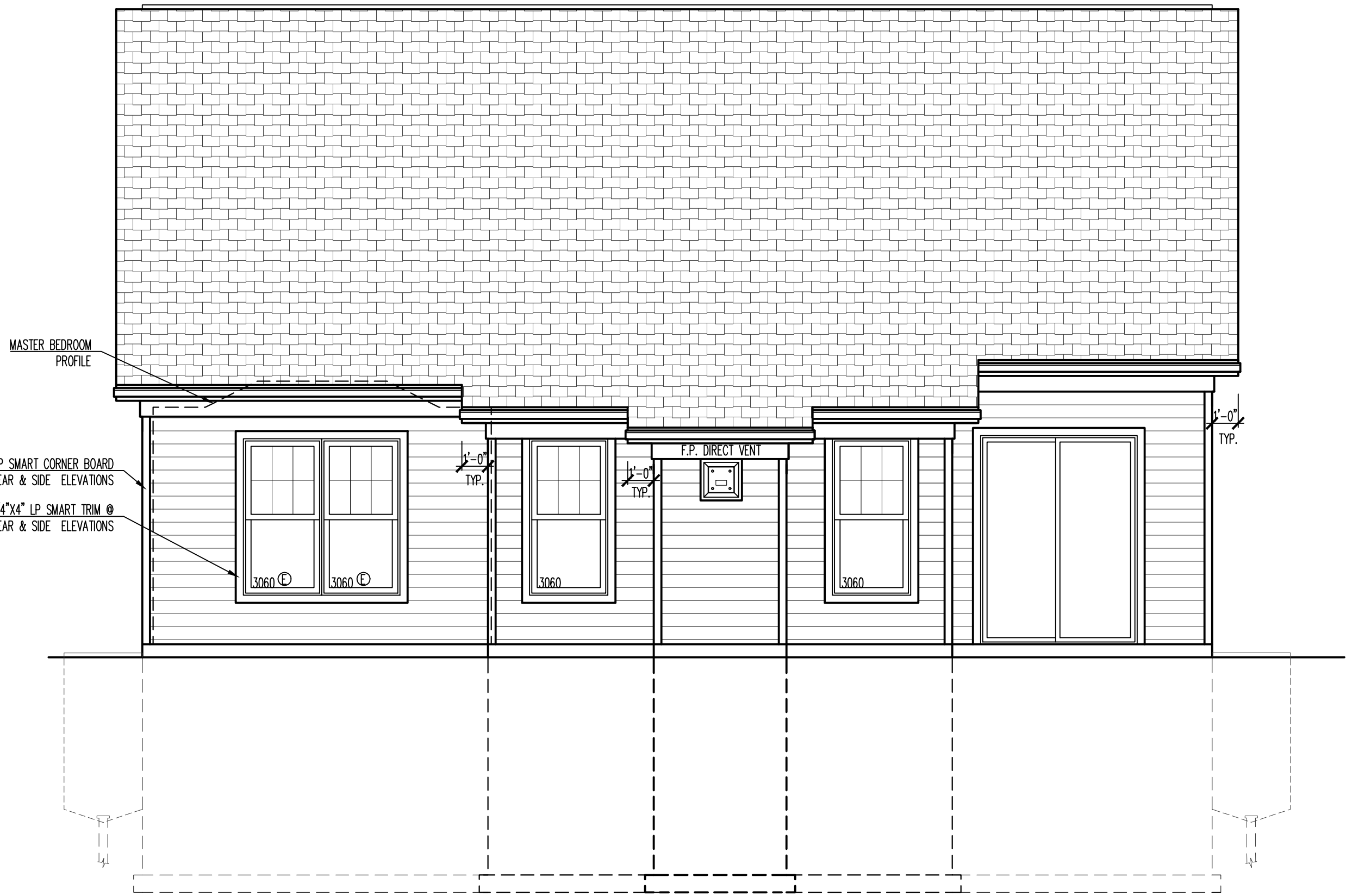
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4E
A200

FRONT ELEVATION

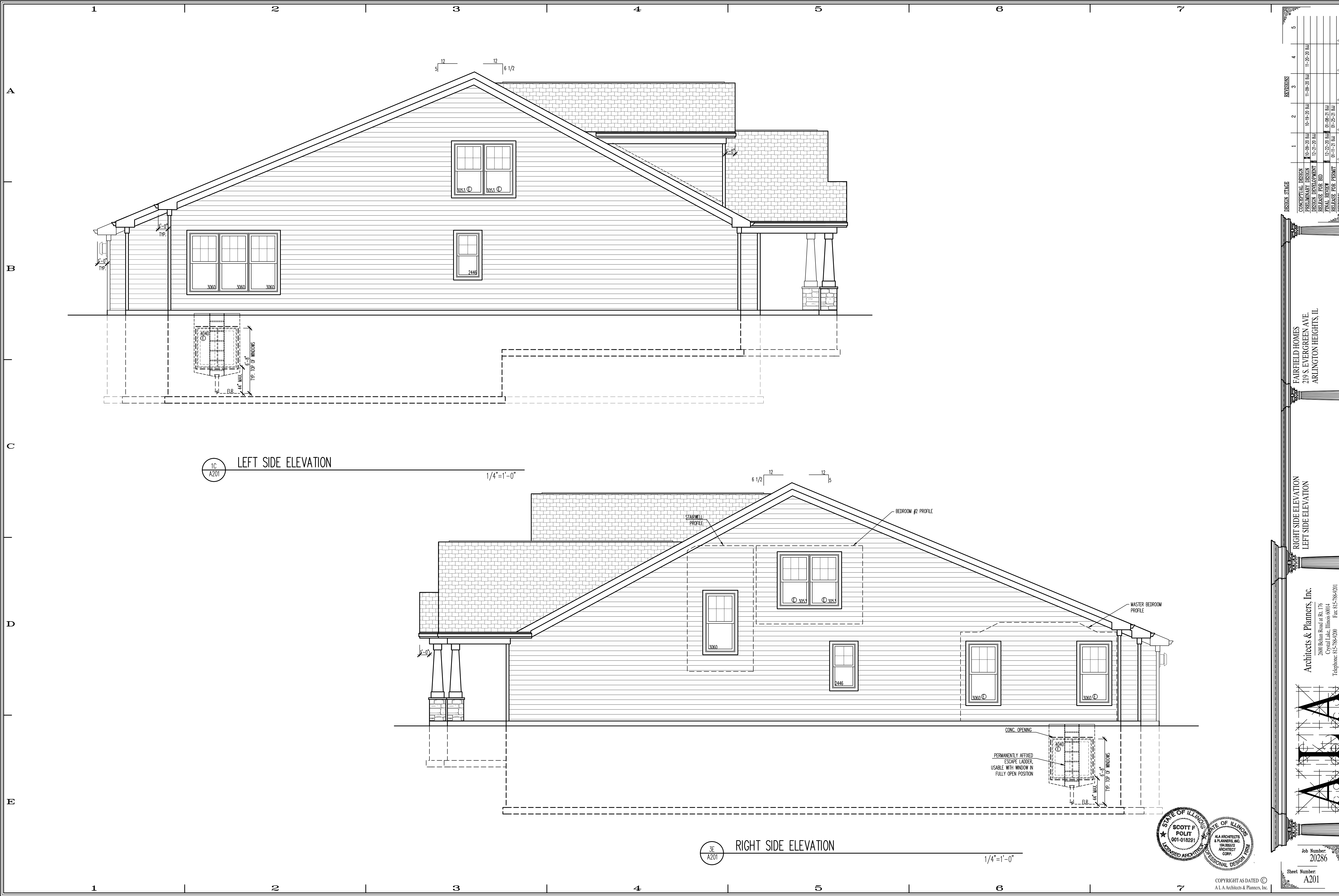
1/4"=1'-0"



1C
A200

FRONT ELEVATION

1/4"=1'-0"



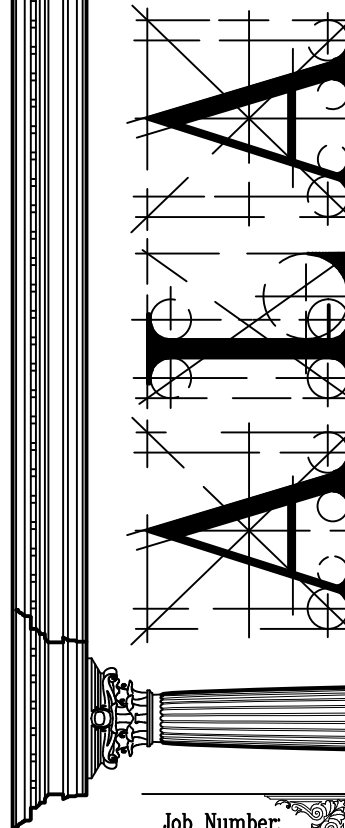
1C
A201
LEFT SIDE ELEVATION

3E
A201
RIGHT SIDE ELEVATION

FAIRFIELD HOMES
219 S. EVERGREEN AVE.
ARLINGTON HEIGHTS, IL

RIGHT SIDE ELEVATION
LEFT SIDE ELEVATION

Architects & Planners, Inc.
2000 Behan Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-0200 Fax: 815-788-0201



Job Number
20286
Sheet Number
A201
File Name
20286A201

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Fairfield Homes, Inc.
219 S Evergeen
Material Schedule

ITEM	MATERIAL	MANUFACTURER	COLOR
Brick	N/A	N/A	N/A
Stone	Niagra Wheatheredeg	Norse	Pro-line Buckingham Limestone
Roof	Asphalt Shingles	IKO/Tamko	Weatheredwood
Siding	Wood	LP	"Hardie" Aged Pewter
Shutters	NA	NA	NA
Gutters/Trim/Fascia	Aluminum	Best Line	White
Columns/Porch Trim	Wood	LP	White
Windows	Vinyl	Simonton	White
Garage Door	Steel	Hass Raised Standard Panel Model 680	White

Pro Line 6.50/sf

PRO ♦ LINE
Stone Veneer
WWW.PROLINESTONE.COM

NIAGARA WEATHEREDGE

