



Agenda
Village of Arlington Heights
Zoning Board of Appeals
Buechner Room, 1st Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
March 9, 2015
7:00 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Olsen Residence - 706 N. Dryden Ave.

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. Strimling Residence - 602 E. Lynden Ln.
- B. Khudyk Residence - 124 N. Regency West Dr.
- C. Thomas Residence - 737 S. Chestnut Ave.
- D. Juracek Residence - 905 N. Fernandez Ave.

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847) 368-5980 (Fax) or drobb@vah.com.



Item: Olsen Residence - 706 N. Dryden Ave.

Department: Planning & Community Development

Approval of Minutes & Findings from 1/12/15 hearing.

ATTACHMENTS:

Description	Type
Minutes 1/12/15 - Olsen	Minutes
Findings 1/12/15 - Olsen	Minutes

DRAFT

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: OLSEN RESIDENCE - 706 N. DRYDEN

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the
Arlington Heights Village Hall, 33 South Arlington Heights
Road, 1st Floor Buechner Room, Arlington Heights, Illinois
on the 12th day of January, 2015, at the hour of
7:01 o'clock p.m.

MEMBERS PRESENT:

CARL ANFENSON, Acting Chair
DAVID DIVITO
JOSEPH SELBKA
JOSEPH GEISEL
BARBARA LIVERMORE

ALSO PRESENT:

DEREK MACH, Landscape Planner

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ACTING CHAIR ANFENSON: We'll call this meeting to order at 7:01. And the first item on the agenda is the roll call.

MR. MACH: Chairman Petrillo.

(No response.)

MR. MACH: Mrs. Livermore.

MRS. LIVERMORE: Yes.

MR. MACH: Mr. Anfenson.

ACTING CHAIR ANFENSON: Here.

MR. MACH: Mr. Siavelis.

(No response.)

MR. MACH: Mr. Geisel.

MR. GEISEL: Yes.

MR. MACH: Mr. Divito.

MR. DIVITO: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Here.

ACTING CHAIR ANFENSON: Great, thank you. Will you all please rise for the pledge of allegiance?

(Pledge of allegiance.)

ACTING CHAIR ANFENSON: Thank you very much. We have the minutes and findings from last month's meeting. Has everybody had a chance to review?

MR. DIVITO: Yes.

ACTING CHAIR ANFENSON: Any comments, corrections, additions? With that, can I have a motion to approve?

MR. SELBKA: Motion made.

ACTING CHAIR ANFENSON: Do we have a second?

MR. GEISEL: Second.

ACTING CHAIR ANFENSON: All in favor, say aye.

(Chorus of ayes.)

ACTING CHAIR ANFENSON: Opposed?

(No response.)

ACTING CHAIR ANFENSON: Thank you. Okay, then, we have, any other old business to discuss? None other old business. We have one petition on the agenda this evening, it's the Olsen petition. So, if you would like to come forward to the podium?

MRS. OLSEN: All of us?

ACTING CHAIR ANFENSON: Whoever is going to be presenting. There is a sign-in sheet. If you could please sign in if you're going to be speaking tonight. And then I will ask you each to state your name and address for the record and then I will swear you in.

And then as you are signing in, if you can each state your name and address please?

MRS. OLSEN: Sharon L. Olsen, O-l-s-e-n, 706 North Dryden in

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Arlington Heights.

MRS. LIVERMORE: He has to be able to hear that.

MRS. OLSEN: Okay. Did you hear me? Yes? Okay, thank you.

ACTING CHAIR ANFENSON: Sir?

MR. OLSEN: Thomas Olsen, 706 Dryden, Arlington Heights.

ACTING CHAIR ANFENSON: And?

MS. WISNIEWSKI: Carole Wisniewski, 922 Monroe in Wauconda.

ACTING CHAIR ANFENSON: Great. I'm going to ask you each to raise your right hand.

(Witnesses sworn.)

ACTING CHAIR ANFENSON: Thank you all. Okay, with your petition this evening, if you will please just hit on the three main points, that being the hardship, the uniqueness of your situation, and how, if your variance is approved, it won't affect the character of the neighborhood. It looks like you're looking for 7/10ths of a foot variance this evening. Okay, go ahead.

MS. WISNIEWSKI: Well, the -- oops, I don't have a copy that I can --

MRS. OLSEN: Let me get, I think I have a copy here. Excuse me, I've never done this. I'm not exactly sure what I'm supposed to do.

ACTING CHAIR ANFENSON: You're just going to tell us what you're looking for in a way.

MRS. OLSEN: A lot of copies.

MS. WISNIEWSKI: We're looking for 0.7 foot variance for the side yard. The required side yard is 5 feet and we are at 4.3 about. We're just looking to do a second floor addition at that existing nonconforming.

ACTING CHAIR ANFENSON: Okay, the existing nonconforming home, you're just going to add a second floor going straight up using the same footprint, the same walls?

MS. WISNIEWSKI: That's right.

ACTING CHAIR ANFENSON: You've owned the house for how long?

MRS. OLSEN: Since November 4th.

ACTING CHAIR ANFENSON: Since November 4th, okay. So, welcome to the town.

MR. OLSEN: Well, thank you.

MRS. OLSEN: Thank you.

ACTING CHAIR ANFENSON: It seems very reasonable, you know, that you want to add the second story. I assume, is there, how many people are living in the home?

MRS. OLSEN: Just the two of us.

MR. OLSEN: Just the two of us.

ACTING CHAIR ANFENSON: Okay, okay. I think it's pretty self explanatory. Are there any questions from Board members? Everybody understand what the hardship is? Unless you have any other comments?

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MRS. LIVERMORE: Will this give you what you want?

MRS. OLSEN: I sure hope so, yes.

MR. OLSEN: Yes. I think so.

MRS. OLSEN: Yes, absolutely.

ACTING CHAIR ANFENSON: Have you talked to your neighbors?

MRS. OLSEN: What's that?

ACTING CHAIR ANFENSON: Have you talked to your neighbors?
Do they know what you're going to do?

MR. OLSEN: Well, the property to the south of us isn't actually here. They're renting, the people that are living there are renting.

MRS. OLSEN: But I did talk to them on the phone.

MR. OLSEN: He did call, the owner did call.

MRS. OLSEN: Yes, the owner called and I told them what we were going to do. And on the other side, they have not asked for anything. Have you talked to them?

MR. OLSEN: No, I didn't talk to them.

MRS. OLSEN: I haven't seen them. We're still living in our other house, so we just start coming and going.

ACTING CHAIR ANFENSON: Okay, okay.

MRS. OLSEN: We haven't had a lot of time there with the holidays and everything.

ACTING CHAIR ANFENSON: All right. Okay.

MRS. OLSEN: But we're going to start very soon and we'll get moved in as soon as we can.

ACTING CHAIR ANFENSON: Great.

MRS. OLSEN: Our daughter lives in Arlington Heights, and so that's why we're moving here.

ACTING CHAIR ANFENSON: Okay. Any other questions? Thank you very much. It's pretty self explanatory.

MRS. OLSEN: Thank you.

ACTING CHAIR ANFENSON: Would you like to speak on behalf of the petition this evening? With no neighbors being heard on this, we'll have Board discussion. A pretty straightforward petition, we understand what's being asked. It's an existing non-compliant home, just looking to add a second story on the home as it stands today.

MR. SELBKA: Motion to approve. Unless there's discussion.

MR. DIVITO: I'll second.

ACTING CHAIR ANFENSON: Motion is welcome. Any other discussion? Let's take a vote.

MR. MACH: Mrs. Livermore.

MRS. LIVERMORE: Yes.

MR. MACH: Mr. Divito.

MR. DIVITO: Yes.

MR. MACH: Mr. Geisel.

MR. GEISEL: Yes.

DRAFT

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Chairman Anfenson.

ACTING CHAIR ANFENSON: Yes. Congratulations, it passes.

MRS. OLSEN: Thank you very much.

ACTING CHAIR ANFENSON: All right. Good luck to you and
welcome.

MR. OLSEN: Thank you.

ACTING CHAIR ANFENSON: Any other business to be discussed?

MR. DIVITO: Motion to adjourn.

ACTING CHAIR ANFENSON: Second? All in favor say aye.

(Chorus of ayes.)

ACTING CHAIR ANFENSON: Opposed?

(No response.)

ACTING CHAIR ANFENSON: We're adjourned. Thank you.

(Whereupon, the meeting was adjourned at
7:07 p.m.)

DRAFT

STATE OF ILLINOIS)
) SS.
COUNTY OF K A N E)

I, ROBERT LUTZOW, depose and
say that I am a direct record court reporter
doing business in the State of Illinois; that
I reported verbatim the foregoing proceedings
and that the foregoing is a true and correct
transcript to the best of my knowledge and
ability.

ROBERT LUTZOW

SUBSCRIBED AND SWORN TO

BEFORE ME THIS _____ DAY OF
_____, A.D. 2015.

NOTARY PUBLIC

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS January 12, 2015

PETITIONER: Olsen Residence
ADDRESS OF PROPERTY: 706 N. Dryden Ave.
VARIATION: 5.1-3.6, 5.4 (Required Minimum Yards) (Table of Required Minimum Yards)

A 0.7 foot variance to allow a second-story addition with a side yard setback of 4.3 feet from the south property line instead of the minimum 5.0 feet and an additional 1.0 feet for the eave.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they are proposing a second floor addition to their existing home. The petitioner explained that the existing footprint of the home is non-conforming therefore in order to build the addition above the existing wall, a variation is necessary.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Selbka and seconded by Mr. Divito. Thereafter, the Board voted 5-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 5-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Carl Anfenson, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: Strimling Residence - 602 E. Lynden Ln.

Department: Planning & Community Development

REQUEST

1. A 1.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a garage expansion with a side yard setback of 4.0 feet from the east property line instead of the minimum 5.0 feet.
2. A 1.7 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a front porch with a front yard setback of 23.3 feet from the south property line instead of the minimum 25.0 feet.
3. A 112 square foot variance from Section 5.1-3.7 (Maximum Floor Area Calculation for Single Family Lots in R-3 Zoning District), Section 5.3-3.2 & Section 5.3-2 (Floor Area Ratio, Building Coverage, Height) to allow a Floor Area Ratio (FAR) of 3,147 square feet instead of the maximum allowed 3,035 square feet.

ATTACHMENTS:

Description	Type
Staff Report	Report
Department Comments	Correspondence
Supporting Documents & Drawings	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: March 9, 2015
Date Prepared: March 3, 2015
Project Title: Strimling Residence
Address: 602 E. Lynden Ln.

Background Information

Petition Number: ZBA #15-003
Petitioner: Jennifer Strimling
Address: 602 E. Lynden Ln.
Arlington Heights, IL 60005
Existing Zoning: R-3, Single-Family

Requested Action/Background Information

The petitioner proposes to add an additional bay to the existing one car attached garage in order to create a two car attached garage. The garage expansion would encroach into the required side yard setback. The expansion of the garage would include living space above, which increases the floor area ratio. In addition, the petitioner is proposing a front porch that is encroaching into the required front yard setback. Therefore, the petitioner requests the following variations:

- **A 1.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a garage expansion with a side yard setback of 4.0 feet from the east property line instead of the minimum 5.0 feet.**
- **A 1.7 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a front porch with a front yard setback of 23.3 feet from the south property line instead of the minimum 25.0 feet.**
- **A 112 square foot variance from Section 5.1-3.7 (Maximum Floor Area Calculation for Single Family Lots in R-3 Zoning District), Section 5.3-3.2 & Section 5.3-2 (Floor Area Ratio, Building Coverage, Height) to allow a Floor Area Ratio (FAR) of 3,147 square feet instead of the maximum allowed 3,035 square feet.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

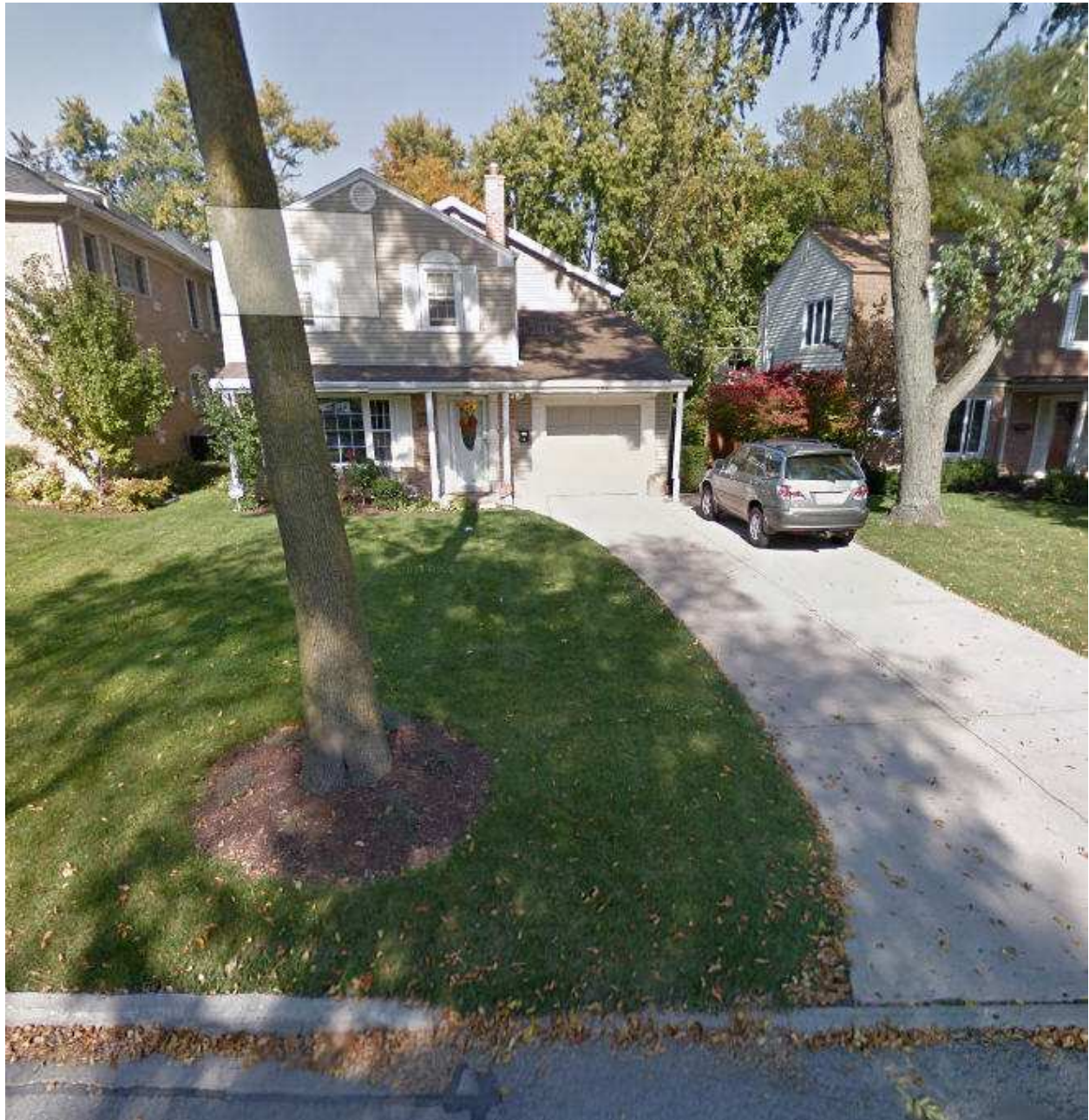
Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	2/20/15	
2. List of Property Owners Within 250 feet of Subject Property	✓	2/20/15	
3. Letter that was Mailed	✓	2/20/15	
4. Photographs of Sign on Property	✓	2/19/15	

Photograph of Existing Structure



PROJECT REVIEW TRANSMITTAL

for Zoning Board of Appeals Review

Project Name: Strimling Residence

Project Address: 602 E. Lynden Ln.

ZBA #: 15-003

ZBA Hearing Date: March 9, 2015

RECEIVED

FEB 17 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: February 12, 2015

- A 1.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a garage expansion with a side yard setback of 4.0 feet from the east property line instead of the minimum 5.0 feet.
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Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: NOTE THAT ALL BUILDING SECTIONS LESS THAN 5'

Please review, comment, and return to me no later than Friday, February 27, 2015.

TO PROPERTY LINE MUST CONFORM TO 2009 I.R.C., SECTION
R302- REQUIRE FIRE RATED CONSTRUCTION.

ZBA# 15-003

602 E Lynden Ln - ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering



Submitted: February 13, 2015

Completed – February 16, 2015

The proposed ZBA application indicates that the petitioner is seeking:

A 1 ft variance to allow a garage expansion with a side yard setback of 4 ft from the east property line instead of the minimum 5 ft;

A 1.7 ft variance to allow a front porch with a front yard setback of 23.3 ft from the south property line instead of the minimum 25 ft; and

A 112 sq ft variance to allow a Floor Area Ratio of 3,147 sq ft instead of the maximum allowed 3,035 sq ft.

The Engineering Department has NO OBJECTION to the proposed variances.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Strimling Residence

Project Address: 602 E. Lynden Ln.

ZBA #: 15-003

ZBA Hearing Date: March 9, 2015

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
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Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: A DESIGN COMMISSION APPLICATION IS REQUIRED, BUT
NO APPARENT ZONING RELATED DESIGN CONCERNS.
Please review, comment, and return to me no later than Friday, February 27, 2015.

-S. HAUTZINGER, DESIGN PLANNER

PETITION

NOW COMES the Petitioners, Jennifer and Floyd Strimling

being the owners of the property commonly known as: 602 E. Lynden Lane

5.1-3.6 and 5.1-3.7, Chapter 28, of the Arlington Heights Municipal Code, in order to:

- 1) Increase the width of an existing garage to accommodate two vehicles, encroaching into the interior side yard by 12 inches.
- 2) Increase the F.A. R. allowable amount by an additional 111.19 S.F. in order to build a room over the garage.

I hereby state that the following hardship would exist if the variation were not granted:

- 1) The Petitioner has medically documented back problems and works from a home office, and needs to enter and exit his vehicle inside a garage due to harsh winter weather. The other vehicle is already stored in the garage due to young children accessing that vehicle.
- 2) The existing house has an unusual garage roof condition that slopes back to the house wall and drains up against the house wall. Despite attempts at creating dams, oversized down spout collectors, re-doing flashing against the wall again and again, there is still leakage into the house from this condition that would be solved by adding a room over the garage that eliminates the back-slope of the existing garage roof.

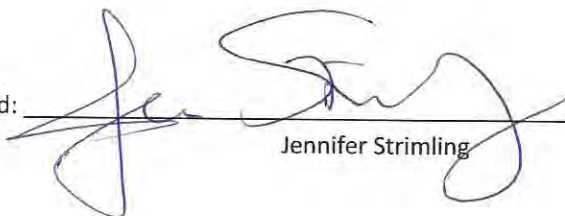
I hereby state that the following unique circumstances exist:

- 1) The lot is a width that allows only a narrow sub-standard two car garage
- 2) The existing addition to the house (put on by the previous owner) created a water leakage condition from the garage roof to the main house.

I hereby state that the variation, if granted, will not alter the essential character of the locality because:

- 1) There are several houses on the street that have two car garages already.
- 2) The roofline and dormer over the garage is similar in character to other houses on the street which have dormers and rooms built over garages.

Signed: _____


Jennifer Strimling

Date: _____

2-9-15

Associated Surveying Group, P.C.

Illinois Prof. Design Firm No. 184-003013

P.O. Box 810

Bolingbrook, IL 60440

PH: 630-759-0205

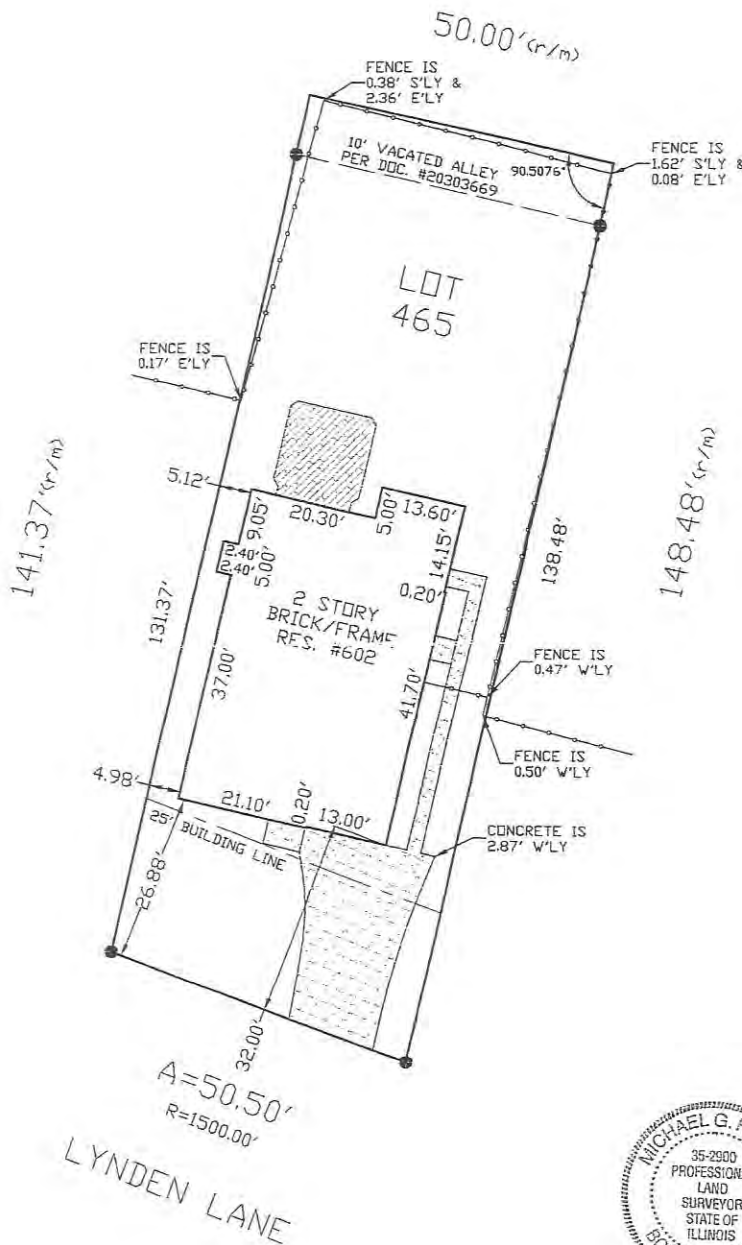
FAX: 630-759-9291

PLAT OF SURVEY

LOT 465 AND THE SOUTH HALF OF THE VACATED ALLEY LYING NORTH AND ADJACENT TO SAID LOT IN "SCARSDALE", BEING A SUBDIVISION OF PART OF THE WEST HALF OF THE EAST HALF AND PART OF THE EAST HALF OF THE WEST HALF OF SECTION 32, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 3, 1929 AS DOCUMENT NUMBER 440137, IN COOK COUNTY, ILLINOIS.

A.K.A. 602 EAST LYNDEN, ARLINGTON HEIGHTS, WHEELING TOWNSHIP.

SCALE 1"=20'



State of Illinois }
County of Will } SS

I, Michael G. Herwy, an Illinois Professional Land Surveyor, do hereby certify that "This professional service conforms to the current Illinois minimum standards for a boundary survey", and that the Plat hereon drawn is a correct representation of said survey.

Dated, this 6TH day of JUNE, A.D., 2006,
at Bolingbrook, Illinois.

FIELDWORK DATE: JUNE 5, 2006

CLIENT: SIRVA

Michael G. Herwy
Illinois Professional Land Surveyor No. 35-002900

License Expires: November 30, 2006

JOB NO.:

63384-06

NOTES:

1. COMPARE THE LEGAL DESCRIPTION ON THIS PLAT WITH YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE; ALSO, COMPARE ALL FIELD MEASURED LOT CORNERS & BUILDING TIES WITH THIS PLAT BEFORE CONSTRUCTION AND REPORT ANY DIFFERENCE AT ONCE.
2. BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO DEPICTED ON THE RECORDED SUBDIVISION PLAT. REFER TO YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE FOR ADDITIONAL ENCUMBRANCES.
3. MEASURED LOT DIMENSIONS ARE SHOWN ONLY WHEN THEY DIFFER FROM RECORD DIMENSIONS BY 0.15 FEET OR MORE.
4. CURVED LINES DENOTED WITH ARC LENGTHS UNLESS OTHERWISE NOTED. ALSO, ALL ARCS ARE TANGENT UNLESS OTHERWISE NOTED.

LEGEND:

	ASPHALT		CONCRETE
	WOOD		BRICK
	SET IRON PIPE		CROSS
	CHAIN LINK FENCE		NOTCH
	WOOD FENCE		
	ALL OTHER FENCE TYPES		

ABBREVIATIONS:

A = ARC LENGTH	N'LY = NORTHERLY
R = RADIUS	S'LY = SOUTHERLY
CH = CHORD LENGTH	E'LY = EASTERLY
(V) = RECORD VALUE	W'LY = WESTERLY
(M) = MEASURED VALUE	TYP = TYPICAL
P.U.D. = PUBLIC UTILITY & DRAINAGE EASEMENT	

GENERAL NOTES

1. DO NOT SCALE PRINTS

2. ALL WORK PERFORMED SHALL COMPLY WITH ALL LOCAL AND STATE BUILDING CODES, ORDINANCES, REGULATIONS AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

3. THE CONTR. SHALL HAVE APPROVED PLANS ON THE JOB SITE AT TIMES OF INSPECTION

4. THE CONTR. SHALL HAVE MANUF. INSTALL. INSTR. ON THE JOB SITE @ TIMES OF INSP.

5. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING OR BE LIABLE FOR WORK INVOLVED.

6. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES

UTILITIES SHOWN ON DRAWINGS ARE FOR REFERENCE ONLY

7. CONTRACTOR TO PROTECT ALL ADJOINING PROPERTIES AND EXISTING TREES DURING CONSTRUCTION

8. ALL CONCRETE FOOTINGS TO BE PLACED ON FIRM UNDISTURBED SOIL, MIN. 3'-6" BELOW GRADE AND HAVE A MIN. SOIL PRESSURE OF 3000PSF

9. IF QUESTIONABLE SOILS ARE PRESENT ON THE SITE A SIGNED & SEALED SOILS REPORT MAYBE REQUIRED TO BE SUBMITTED TO LOCAL AUTHORITIES PRIOR TO CONC. PLACEMENT

10. CONCRETE TO HAVE A 28 DAY MIN. COMPRESSION STRENGTH OF 3000PSI

11. CONC. PORCHES/ STEPS/ GARAGE FLRS. EXPOSED TO WEATHER SHALL HAVE MIN. COMPRESSIVE STRENGTH OF 3500 PSI AND SHALL BE AIR ENTRAINED NOT < 5% OR > 7%

12. CONTR. TO PROVIDE WRITTEN RECORD FROM MATERIAL SUPPLIER TO LOCAL AUTHORITIES UPON COMPLETION OF CONC. DELIVERY. RECORD TO INCL. THE FOLLOWING:

A. TIME WATER WAS INTRODUCED TO CONCRETE MIX

B. TIME AT THE END OF THE POUR

C. CEMENT MIX RATIO

D. AMOUNT OF WATER ADDED AT SITE

E. TOTAL NUMBER OF DRUM REVOLUTIONS

F. AMOUNT OF CHLORIDE ADDED TO TO CEMENT MIX

G. AMOUNT OF ADMIXTURE IN CEMENT MIX

H. AIR CONTENT OF CEMENT MIX

13. ALL JOISTS, RAFTERS, BEAMS AND HEADERS TO BE S.P.F.#2 U.N.O., E=1,400,000PSI Fb=875PSI MINIMUM, ALL LVLS TO BE #2=2600PSI U.N.O.

14. ALL FASTENERS, HANGERS AND FLASHING FOR PRESSURE TREATED WOOD SHALL BE COMPATIBLE WITH ACQ TREATED LUMBER AS PER MNF. INSTR.

15. PROVIDE 2" MIN. WOOD FIRE STOPPING TO CUT OFF ALL CONCEALED DRAFT OPENINGS BETWEEN FLOORS AND ATTIC SPACE

16. FIELD VERIFY CODE COMPLIANT FIRE STOPPING IS PROVIDED@ THE FOLLOWING LOCAT.

A. CONCEALED SPACES OF WALL STUDS AND PARTITIONS, INCL. FURRED SPACES @ FL. LEVEL. # @ 10FT INTERVALS BOTH VERTICAL # HORIZONTAL

B. ALL INTERCONNECTIONS BETWEEN CONCEALED VERT. # HORIZ. SPACES SUCH AS OCCUR @ SOFFITS, DROP CLNGS. # COVE CLNGS. ETC.

C. CONCEALED SPACES BETWEEN STAIR STRINGERS @ TOP # BOTTOM OF RUN SUCH AS OCCUR @ SOFFITS, DROP CLNGS. # COVE CLNGS.

D. OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIRE PLACES AT CLNG. AND FLOOR LEVEL WITHOUT NONCOMBUSTIBLE MATERIAL

17. ALL JOISTS TO HAVE A MIN. 2" BEARING ON WOOD AND STEEL AND MIN. 3.5" ON MASONRY

18. DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, TUBS, AND SOLID BRIDGING UNDER PERPENDICULAR PARTITIONS

BRIDGING FOR FLOOR SHALL NOT EXCEED 7'-6"

SHIMS TO BE METAL

19. SILL SEALER UNDER ALL EXTERIOR WALLS : SHIMMED PLATES TO BE GROUTED

20. ALL WOOD PLATES BEARING ON CONCRETE TO BE PRESSURE TREATED

21. ALL GLAZING TO BE PER BOCA/ IRC REQUIREMENTS

22. ALL EXTERIOR WINDOWS AND DOORS TO BE GLAZED WITH CLEAR INSULATING GLASS

23. USED MATERIALS, EQUIPMENT AND DEVICES SHALL NOT BE USED UNLESS APPROVED BY BUILDING OFFICIAL

24. THE HVAC CONTRACTOR IS TO REVIEW THE EXISTING SYSTEM, DESIGN NEW AS REQUIRED FOR THE ADDITION. COORDINATE ALL WORK WITH THE OWNER AND OTHER TRADES AS REQ.

HOT AND COLD AIR DUCTS TO BE NONCOMBUSTIBLE

25. ELECTRICAL CONTRACTOR TO REVIEW THE EXISTING SERVICE AND SYSTEM. VERIFY ALL BELOW GRADE UTILITIES BEFORE PROCEEDING W/ NEW WORK. COORDINATE ALL WORK W/ OTHER TRADES

26. ELECTRICAL CONTRACTOR TO SUBMIT ELECT. PLANS SHOWING A PANEL CHART, LOAD CALCULATIONS, CONDUCTOR TYPES & SIZES, GROUNDING DTLs.

27. THERE SHALL BE NO MORE THAN 10 RECEPT. INSTALLED ON 1- 15 AMP CIRCUIT AND NO MORE THAN 15 RECEPTACLES INSTALLED ON ONE 20 AMP BRANCH CIRCUIT DISCONNECT & REMOVE ALL EXIST. EXTERIOR SURF. MOUNTED ELECT. CONDUIT AND DEVICES.

28. PATCH # OR REPLACE EXIST. EXTERIOR SURFACES FOR A SMOOTH AND NEAT APPEARANCE WHERE INTERFACING WITH NEW.

29. COORDINATE ALL FIXTURES SWITCHES AND RECEPTACLES WITH THE OWNER. PROVIDE AS SHOWN AND AS REQ. BY CODE

PROVIDE POWER TO EQUIPMENT AND DEVICES SUPPLIED BY OTHER TRADES

30. ALL CEILING BOXES TO BE FAN RATED PER 2005 NEC.

31. ALL WIRING 25 VOLT OR GREATER TO BE IN RIGID METAL CONDUIT

32. ALL EXHAUST FANS TO VENT THROUGH ROOF

33. ALL CLOSET LIGHT FIXTURES TO BE SEALED, FLOURESCENT FIXTURES MIN. 12" IN FRONT OF SHELVE.

34. EXTERIOR OR LOAD BEARING WALLS WITH PLATES CUT, DRILLED, OR NOTCHED MORE THAN 50% OF THE WIDTH OF THE STUD SHALL HAVE A GALVANIZED METAL TIE 1/6 GAGE AND 1-1/2" WIDE FASTENED TO EACH PLATE.

35. EXTERIOR OR LOAD BEARING WALLS WITH STUDS DRILLED WITHIN 5/8" OF THE FACE OF THE STUD SHALL BE REINFORCED WITH A STRUCTURAL STUD SHOE.

36. ANY NEW DOWNSPOUTS AND SUMP PUMPS MUST BE DIRECTED TOWARD THE FRONT OR REAR YARDS, AND MUST DISCHARGE AT LEAST 5 FEET FROM ANY PROPERTY LINE, AND AT MOST 5 FEET FROM THE FOUNDATION.

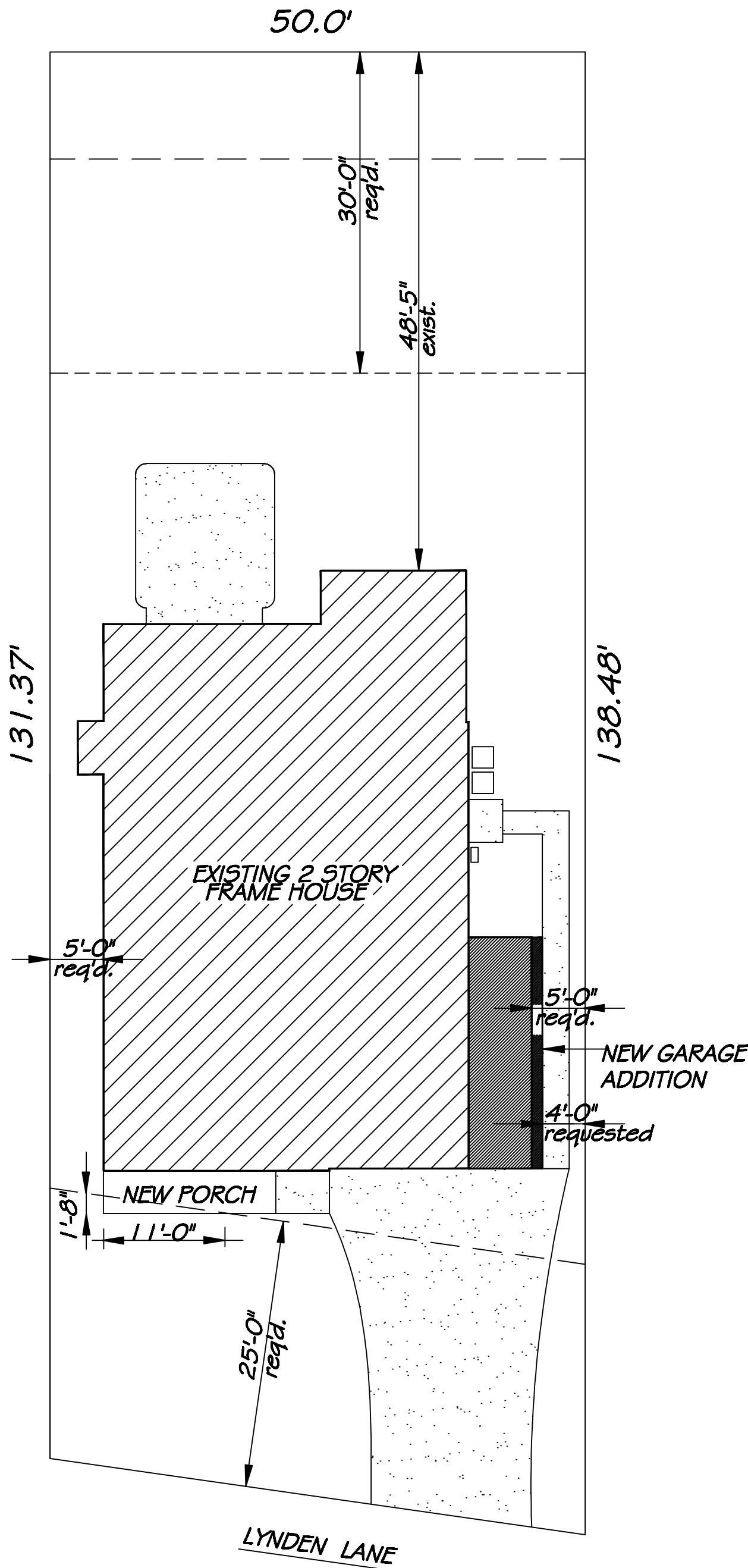
37. THE PLAN SHOULD NOTE THAT THE EXISTING DRAINAGE PATTERNS MUST BE PRESERVED; STORMWATER RUNOFF MAY NOT BE DIRECTED FROM ONE PORTION OF THE SITE TO ANOTHER. THIS INCLUDES RE-ROUTING OF DOWNSPOUTS AND SUMP PUMPS.

38. NO MODIFICATIONS TO THE EXISTING LOT GRADING ARE APPROVED.

ANY SPOIL FROM EXCAVATION MUST BE REMOVED FROM THE SITE.

39. THE EXISTING PARKWAY TREES MUST BE PROTECTED IN ACCORDANCE WITH AN APPROVED TREE PROTECTION PLAN.

THE TREE PROTECTION PLAN WILL BE PROVIDED BY THE FORESTRY DIVISION, AND MUST BE SIGNED BY THE CONTRACTOR AND RETURNED PRIOR TO ANY MOBILIZATION.

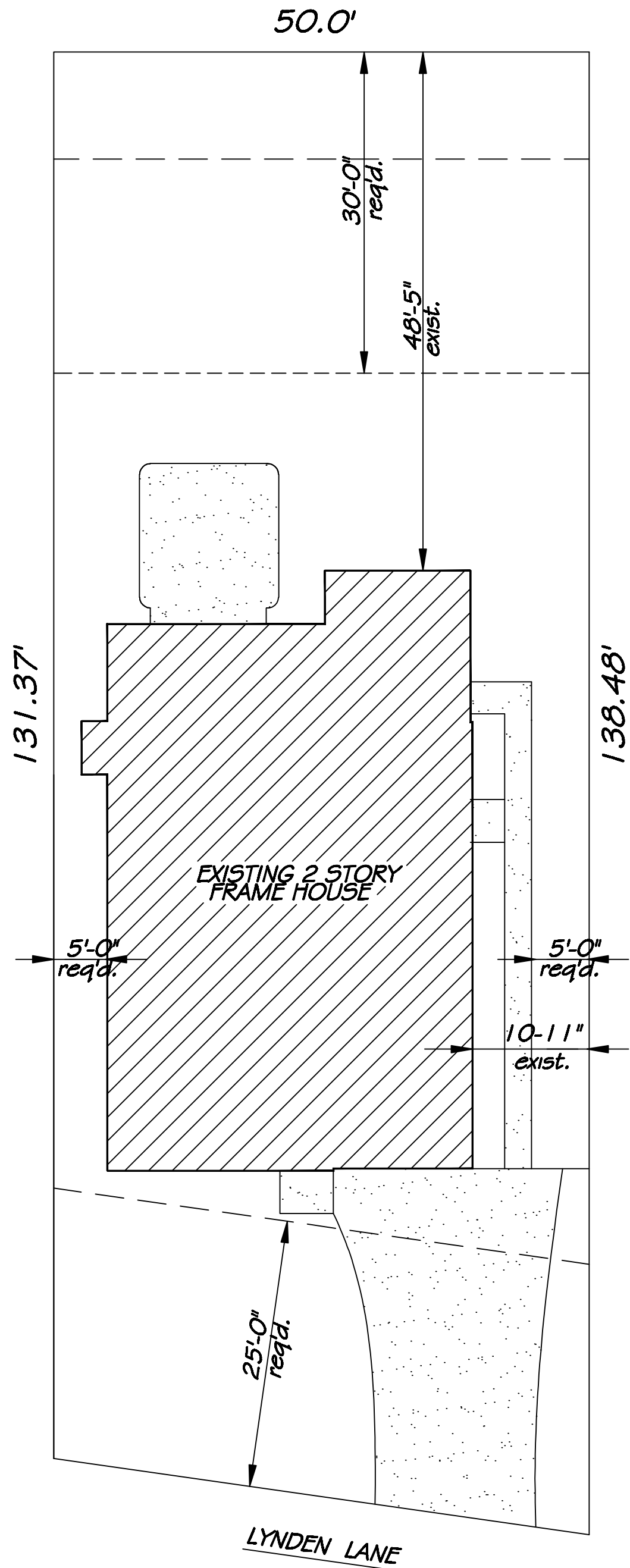


SITE PLAN PROPOSED
SCALE: 3/32" = 1' - 0"

ZONING INFORMATION: R3 DISTRICT
LOT AREA = 6,746.25 SF

PROPOSED GARAGE FLOOR AREA	=	430 S.F.
EXISTING GROUND FLOOR AREA	=	1,519 S.F.
PROPOSED SECOND FLOOR ADDITION	=	230 S.F.
EXISTING SECOND FLOOR AREA	=	1,368 S.F.
TOTAL PROPOSED F.A.R. (N.I.C. 400 S.F. OF GARAGE) = 3,147 S.F.		
ALLOWABLE F.A.R. (LA x .45) = 3,035.81 SF		
AMOUNT OF F.A.R. INCREASE FOR VARIATION = 111.19 S.F.		

VILLAGE OF ARLINGTON HEIGHTS CODES:
VILLAGE OF ARLINGTON HEIGHTS MUNICIPAL CODE
2009 INTL. BUILDING CODE
2009 INTL MECH. CODE
2005 NAT'L. ELECTRICAL CODE
2012 INTL. ENERGY CODE
2007 ASHRAE 90.1
2009 INTL FIRE CODE
2014 IL STATE PLUMBING CODE



SITE PLAN EXISTING
SCALE: 3/32" = 1' - 0"

ZONING INFORMATION: R3 DISTRICT
LOT AREA = 6,746.25 SF

EXISTING GARAGE FLOOR AREA	=	298 S.F.	EXISTING REAR TERRACES	=	190 S.F.
EXISTING GROUND FLOOR AREA	=	1,519 S.F.	SIDE WALK	=	135 S.F.
TOTAL BUILT GROUND FLOOR AREA = 1817 SF			DRIVEWAY	=	552 S.F.
EXISTING LOT COVERAGE = 1817 SF = 26.93%			FRONT SIDEWALKS AND STOOP = 20 S.F.		
ALLOWABLE LOT COVERAGE = 2,361.2 SF = 35%			TOTAL EXISTING PAVEMENT = 897 S.F.		
EXISTING SECOND FLOOR AREA = 1,368 S.F.			EXISTING IMPERVIOUS COVERAGE = 2714 S.F.		
TOTAL FAR FLOOR AREA = 2,887 SF			= 40.22 (50% OR 3373.13 SF ALLOWED)		
EXISTING F. A. R. = .428 (LA X .45 ALLOWED)			AMOUNT LEFT TO COVER = 659.12 SF		
ALLOWABLE F.A.R. = 3,035.81 SF			AMOUNT LEFT TO BUILD = 148.81 SF		
AMOUNT LEFT TO BUILD = 148.81 SF					

STRIMLING RESIDENCE ADDITION

602 E. LYNDEN LANE, ARLINGTON HEIGHTS, IL 60005

J. REIBEL, ALA ARCHITECT
4 N. Pine Street , Mt. Prospect ,IL.
jeanreibel@wowway.com
ph: 847-259-3085

Jennifer and Floyd
STRIMLING RESIDENCE
602 E. Lynden Lane, Arlington Heights, IL 60005

JOB:
0914

DATE:
ISSUED FOR OWNER REVIEW 1/12/14
ISSUED FOR PRICING 1/21/14
ISSUED FOR ZONING VARIATION 2/9/15

Master Bedroom Ceiling
Typical Bedroom Ceiling

2nd Floor Level

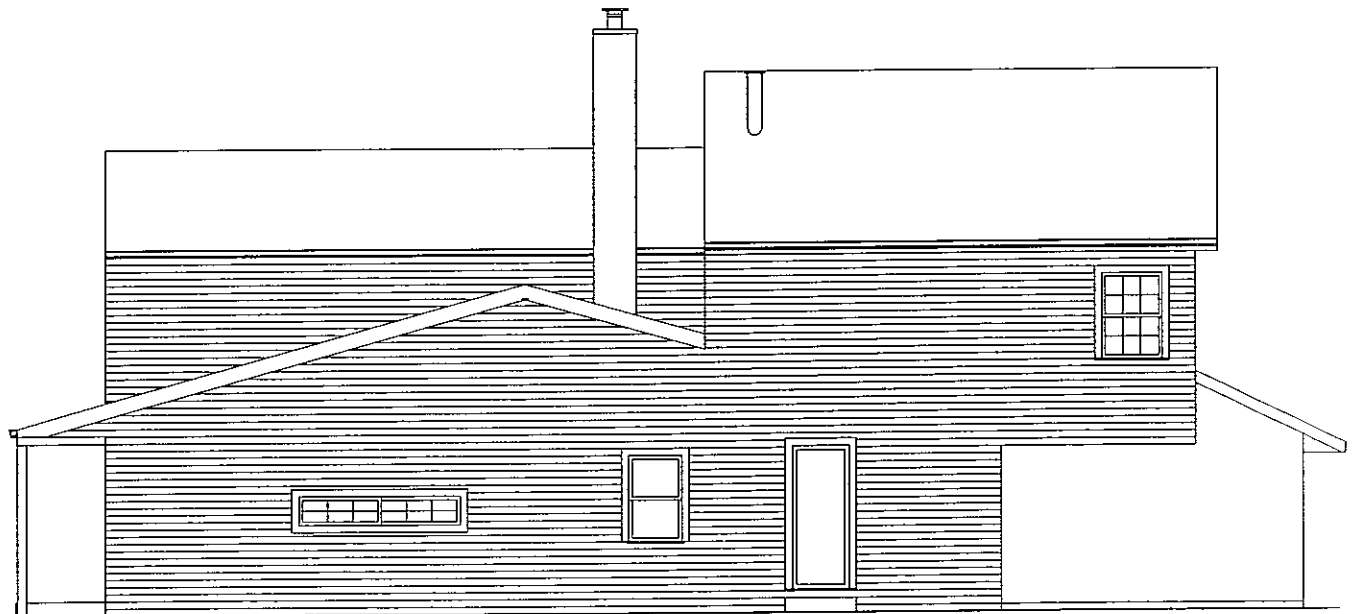
Stair Landing

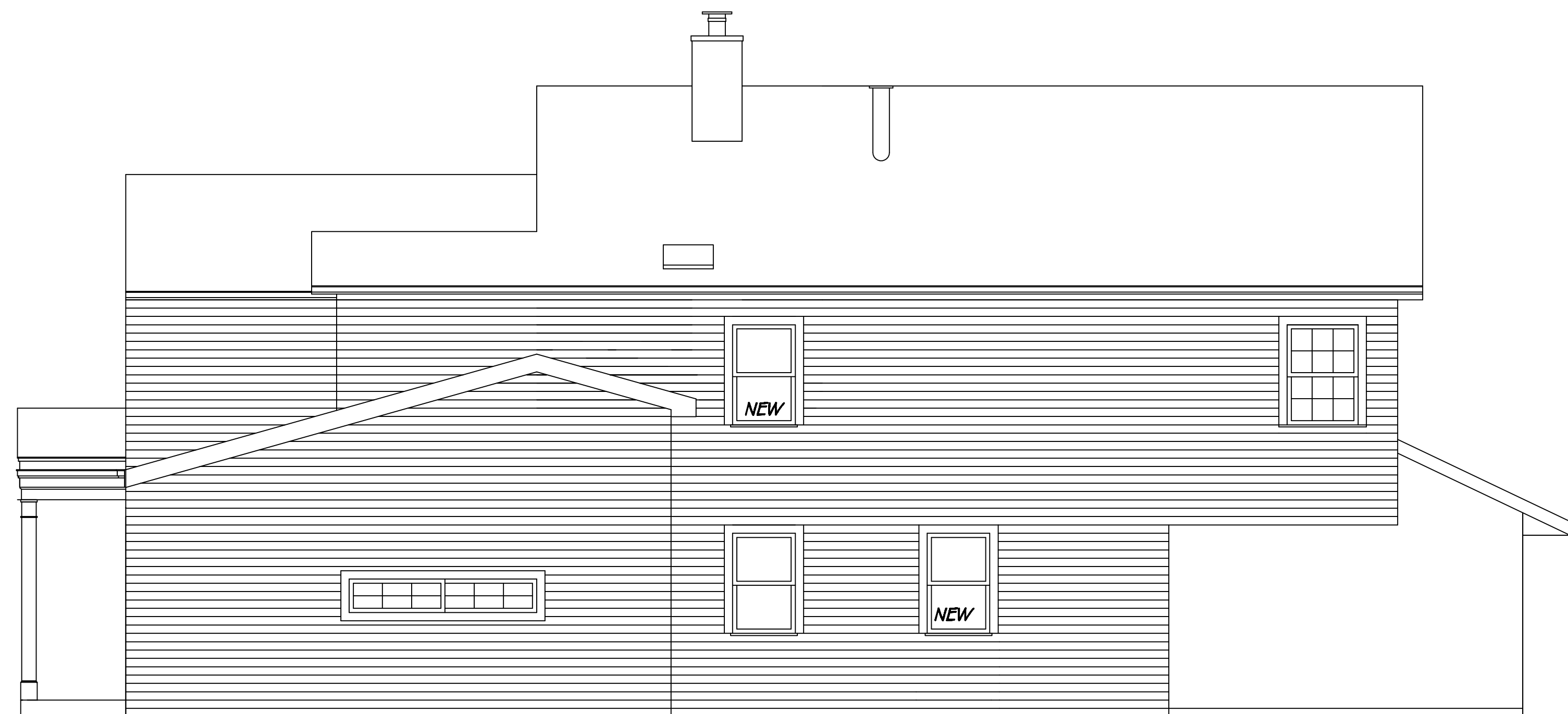
First Floor Level
Grade

SOUTH ELEVATION - Existing
SCALE 1/4" = 1'-0"



EAST ELEVATION - Existing
SCALE 1/4" = 1'-0"





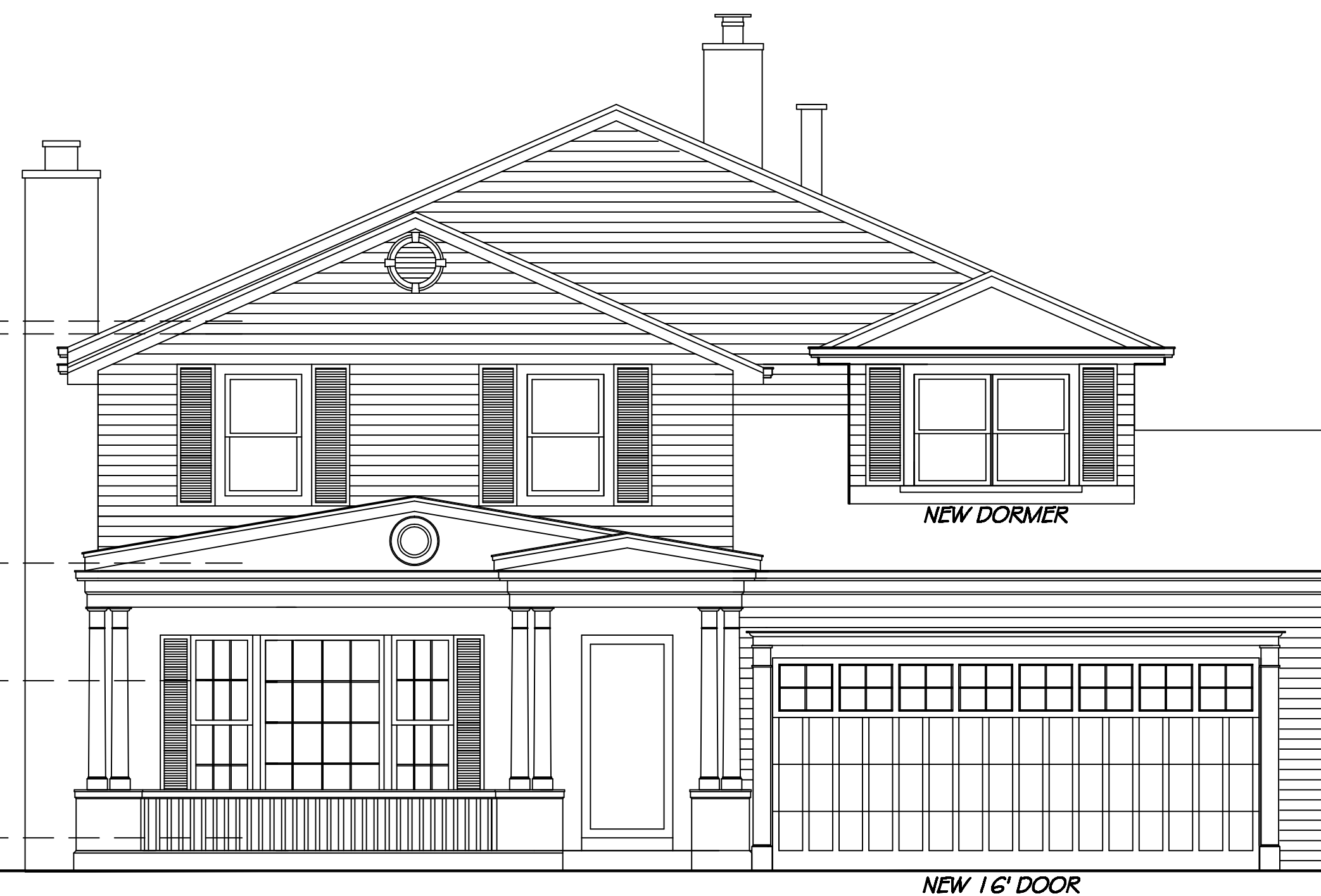
EAST ELEVATION - Proposed Scheme
SCALE: 1/4" = 1'-0"

Master Bedroom Ceiling
Typical Bedroom Ceiling

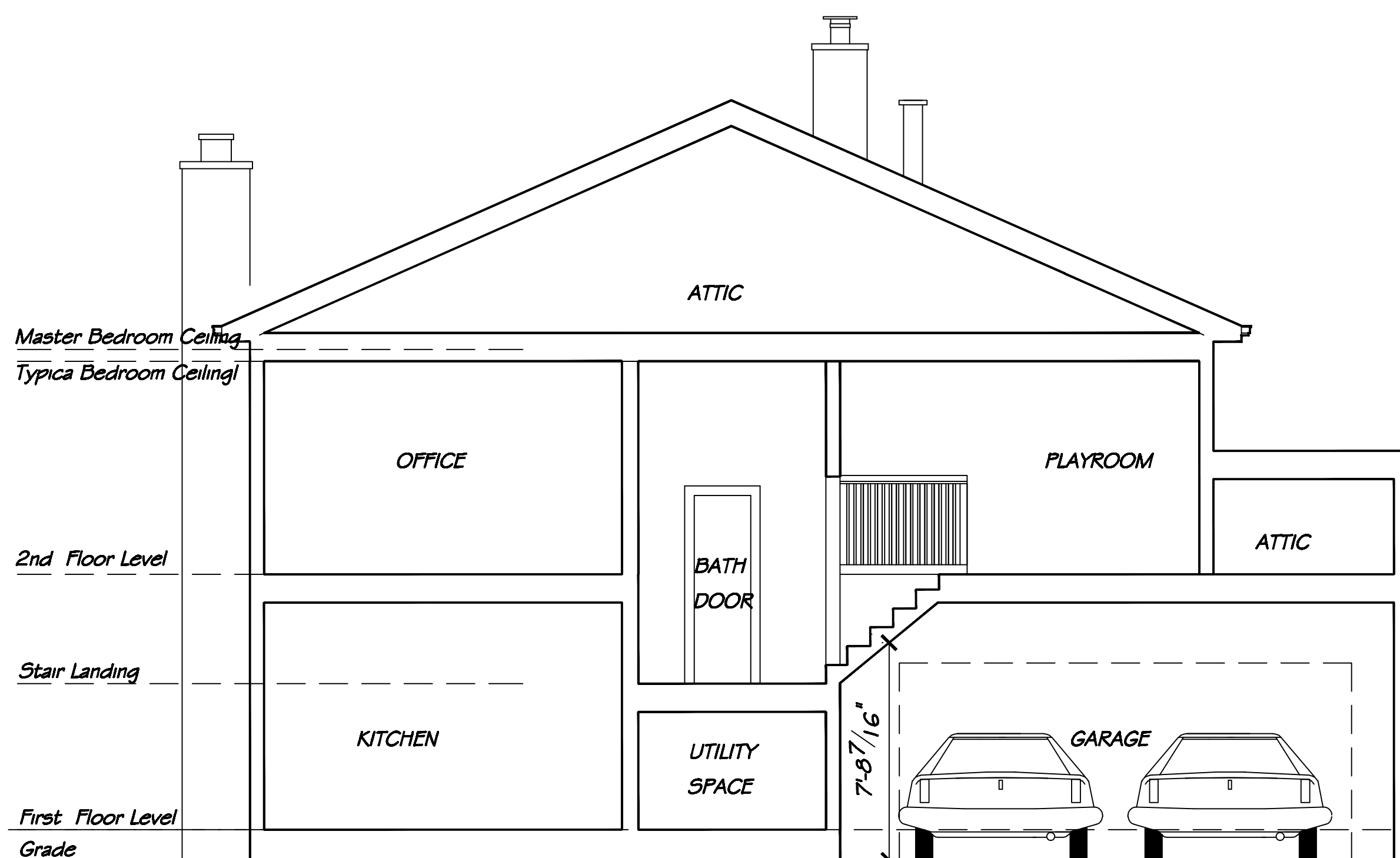
2nd Floor Level

Stair Landing

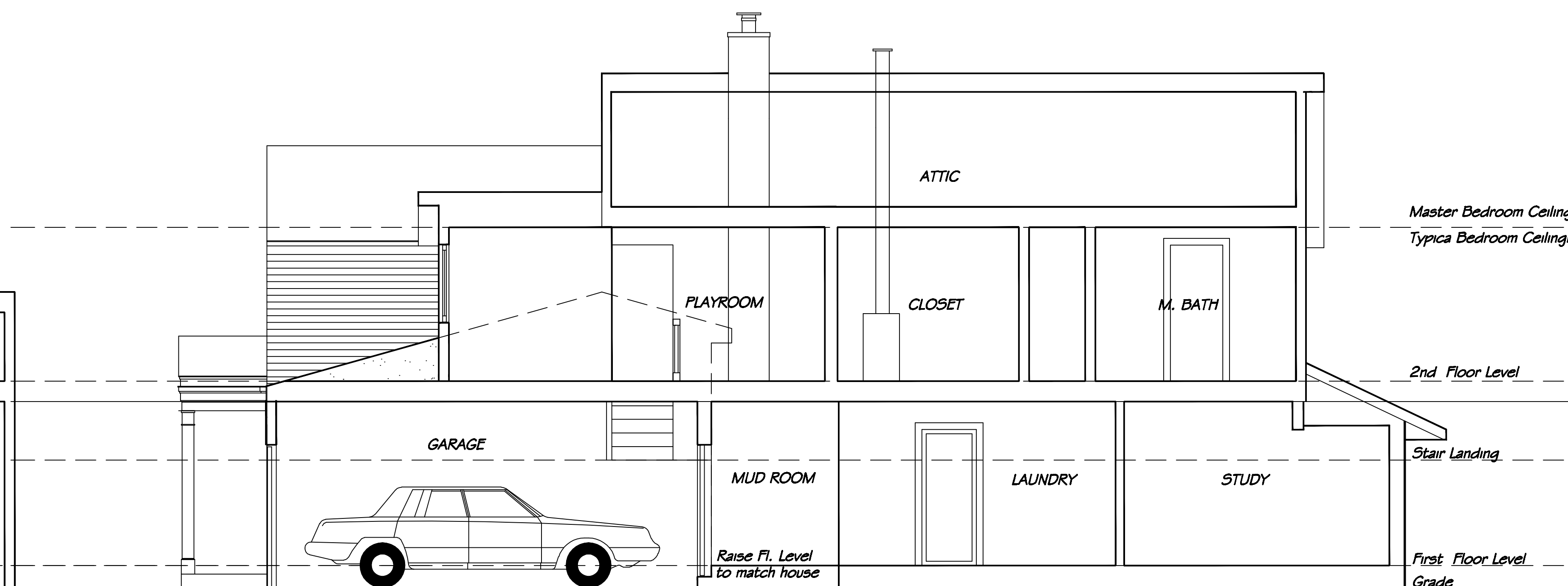
First Floor Level
Grade



SOUTH ELEVATION - Proposed Scheme
SCALE: 1/4" = 1'-0"
Double Round Columns, railing & garage door windows



SECTION AA- Proposed Scheme
SCALE: 1/4" = 1'-0"



SECTION BB- Proposed Scheme
SCALE: 1/4" = 1'-0"



Item: Khudyk Residence - 124 N. Regency West Dr.

Department: Planning & Community Development

REQUEST

1. A 1.6 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a second story addition with a side yard setback of 5.9 feet from the south property line instead of the minimum 7.5 feet and an additional 2.0 feet for the eave.

2. A 10.0 foot variance from Chapter 28, Section 11.2-11.1b and Section 11.2-9 to allow a 32.0 foot wide driveway where the maximum width is 22 feet.

ATTACHMENTS:

Description	Type
Staff Report	Report
Department Comments	Correspondence
Supporting Documents & Drawings	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: March 9, 2015
Date Prepared: March 3, 2015
Project Title: Khudyk Residence
Address: 124 N. Regency Drive West

Background Information

Petition Number: ZBA #15-001
Petitioner: Ihor Khudyk
Address: 124 N. Regency Drive West
Arlington Heights, IL 60004
Existing Zoning: R-3, Single-Family

Requested Action/Background Information

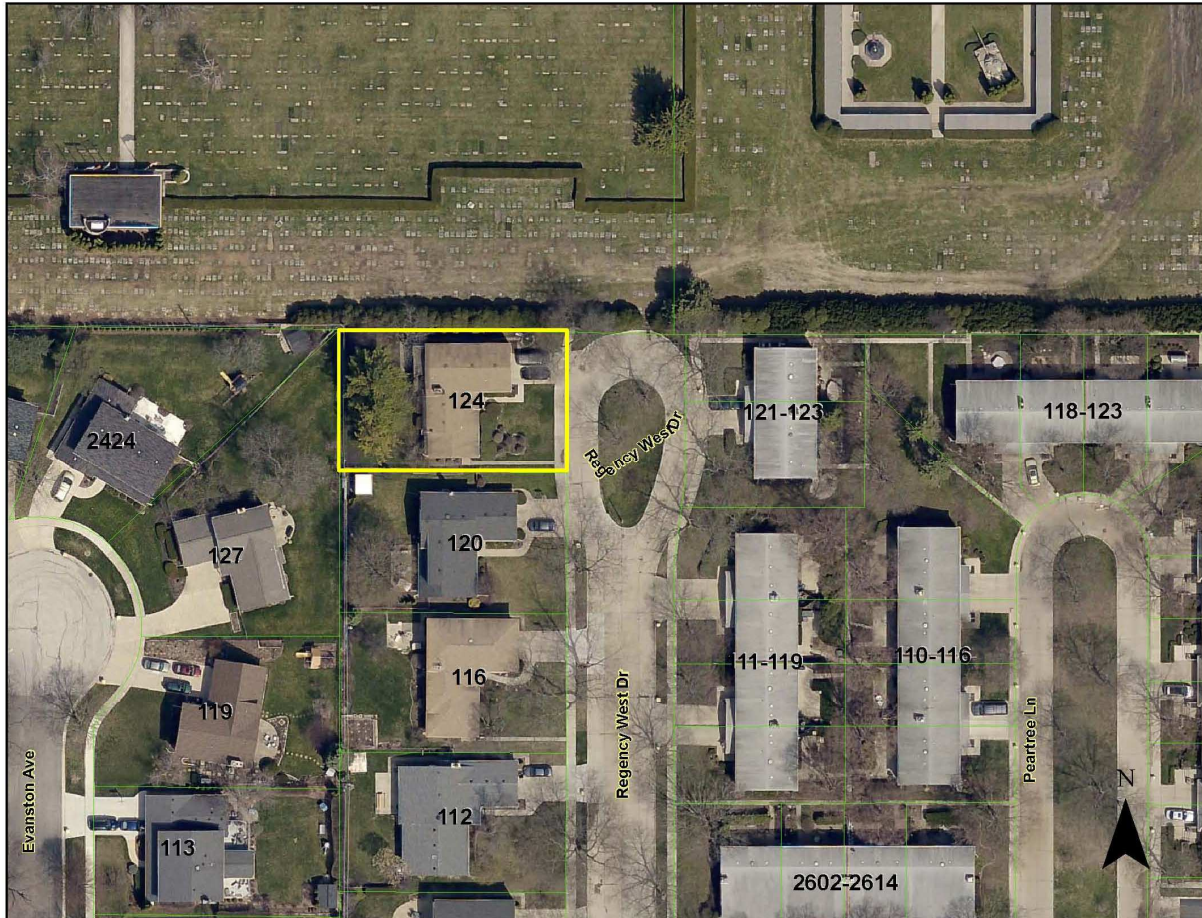
The petitioner proposes to construct a second story addition. The proposed addition will encroach 1.6 feet into the required side yard setback along the south property line. In addition, the petitioner is proposing to widen the driveway to 32 feet where the maximum allowed is 22 feet. Therefore, the petitioner requests the following variations:

- A 1.6 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a second story addition with a side yard setback of 5.9 feet from the south property line instead of the minimum 7.5 feet and an additional 2.0 feet for the eave.
- A 10.0 foot variance from Chapter 28, Section 11.2-11.1b and Section 11.2-9 to allow a 32.0 foot wide driveway where the maximum width is 22 feet.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	2/20/15	
2. List of Property Owners Within 250 feet of Subject Property	✓	2/20/15	
3. Letter that was Mailed	✓	2/20/15	
4. Photographs of Sign on Property	✓	2/20/15	

Photograph of Existing Structure



PROJECT REVIEW TRANSMITTAL

for Zoning Board of Appeals Review

Project Name: Khudyk Residence

Project Address: 124 N. Regency West Dr.

ZBA #: 15-001

ZBA Hearing Date: March 9, 2015

RECEIVED

FEB 17 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: February 12, 2015

- A 1.6 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a second story addition with a side yard setback of 5.9 feet from the south property line instead of the minimum 7.5 feet and an additional 2.0 feet for the eave.
- A 10.0 foot variance from Chapter 28, Section 11.2-11.1b and Section 11.2-9 to allow a 32.0 foot wide driveway where the maximum width is 22 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: SEE I.R.C-2009, SECTION R302 FOR EAVE
SETBACK REQUIREMENTS.

Please review, comment, and return to me no later than Friday, February 27, 2015.

ZBA# 15-001

124 N Regency Drive West- ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering



Submitted: February 13, 2015

Completed – February 16, 2015

The proposed ZBA application indicates that the petitioner is seeking:

A 1.6ft variance to allow a second story addition with a side yard setback of 5.9 ft from the south property line instead of the minimum 7.5 ft, and an additional 2 ft for the eave; and a 10 ft variance to allow a 32 ft wide driveway where the maximum width is 22 ft.

The Engineering Department has NO OBJECTION to the proposed variances.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Khudyk Residence

Project Address: 124 N. Regency West Dr.

ZBA #: 15-001

ZBA Hearing Date: March 9, 2015

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: February 12, 2015

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- A 10.0 foot variance from Chapter 28, Section 11.2-11.1b and Section 11.2-9 to allow a 32.0 foot wide driveway where the maximum width is 22 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THE PROPOSED ADDITION IS NICELY DESIGNED AND IS FAVORABLE FOR AN ADMINISTRATIVE DESIGN APPROVAL, PENDING

Please review, comment, and return to me no later than Friday, February 27, 2015.

THE OUTCOME OF THE ZBA REVIEW..

- S. HAUTZINGER, DESIGN PLANNER

Petition

NOW COMES the Petitioner Ihor Khudyk,

Being the owner of the property commonly known as :

124 N.Regency Dr. W, Arlington Heights IL 60004

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section _____, Chapter 28, of Arlington Heights Municipal Code, in order to:

elevate roof without shifting top part of the wall in depth; and to create additional parking spot.

I hereby state that the following hardship would exist if the variation were not granted:

Shifted roof would be structurally unsafe and subject to leaking; impeded transportation of the disabled.

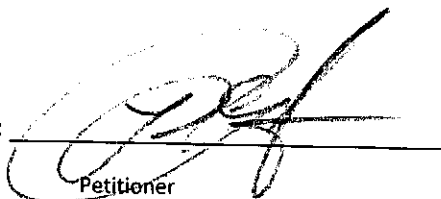
I hereby state that the following unique circumstances exist:

Southside wall was built closer to the margin; a child with permanent physical development disability.
(Use only wheelchair)

I hereby state that the variation, if granted, will not alter the essential character of the locality because:

We just change the angle of the roof; parking spot in a shady place will prevent of washing soil onto the street.

Signed:


Petitioner

Date:

01/27/15

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JAN 28 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

**Letter of Petition
to reconstruct a private house at the address of
124 N. Regency Drive W, Arlington Heights IL 60004**

Dear Department of Planning & Community Development...

Due to reconstruction of the house at 124 N. Regency Dr. W, Arlington Heights, IL 60004, we turn to you for a permission to resolve 2 issues:

1. We ask you to preserve the partial elevation of the existing side fronton in the same vertical lane with existing outside wall, in order to avoid doing the suggested relocation of the side fronton deep into the house for 1'6", to comply with regulated distance between the house and the margin of the plot, which consists in 10% of the width of the plot. Perhaps, our house was built before that regulation came into existence, because it is not the only one on Regency street in such a situation; nearby there are houses that have even lesser distance from the margins. Therefore, our request is conditioned by the following reasons:

- a. We do not intent to build onto the second floor, we just want to elevate existing roof. So, we don't change anything structurally, but just the change of the angle of the existing roof. (For example, the distance of 7.5' will be maintained in our suggested addition to the dining room, which is actually a totally new structural addition.)
- b. Keeping the side fronton in the same vertical plane with the existing wall will not only save on costs of the reconstruction, but it is also justified from structural point of view, and it will keep the house from safety issues in the future.
- c. The suggested increase of the area due to this reconstruction does not exceed the limitations, which is regulated by the overall area of the plot, and it does not exceed the current limitation of the height of the house.
- d. Because our house is the last one on the street, and is located on the north side from all of our neighbors, so those minor changes in the height will not affect any shading of houses or plots of our neighbors.
- e. Keeping the fronton of the side face with existing wall will maintain holistic architectural resolution of elevation of the roof of our house, and it will contribute to the visual perception of Regency street.

2. We seek your permission to let us create a parking spot – 10' by 20' at the side yard of our plot, between our house and a cemetery. We desperately need it due to the following reasons:

- a. We have four children, and our son has childhood disability, and he requires special garage.
- b. We have no possibility to park the third car on the street, like our neighbors, because our house is located at the end of the street, and there is a U-turn for transit vehicles, so we cannot park a car outside our house due to possible blocking traffic, especially for waste management trucks.
- c. By paving the spot at the side of the house, we will not exceed 50% limit of paving the plot, and at the same time we will maintain requirement for width of garage driveway – 21', the pavement extension will be only in front of the parking spot to allow vehicle to pull up.

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JAN 28 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

d. Due to the fact that requested spot is located in complete shade, it prevents any green plants to grow there. At the moment there is an open soil, which is washed onto the street during rains. So, if we pave that spot, it will prevent the soil to be washed onto the sidewalk and the street.

e. This request has aesthetic value; it will contribute to a better look of, not only our house, but of Regency street, as well.

Hopeful and Respectfully Yours,
Khudyk family.

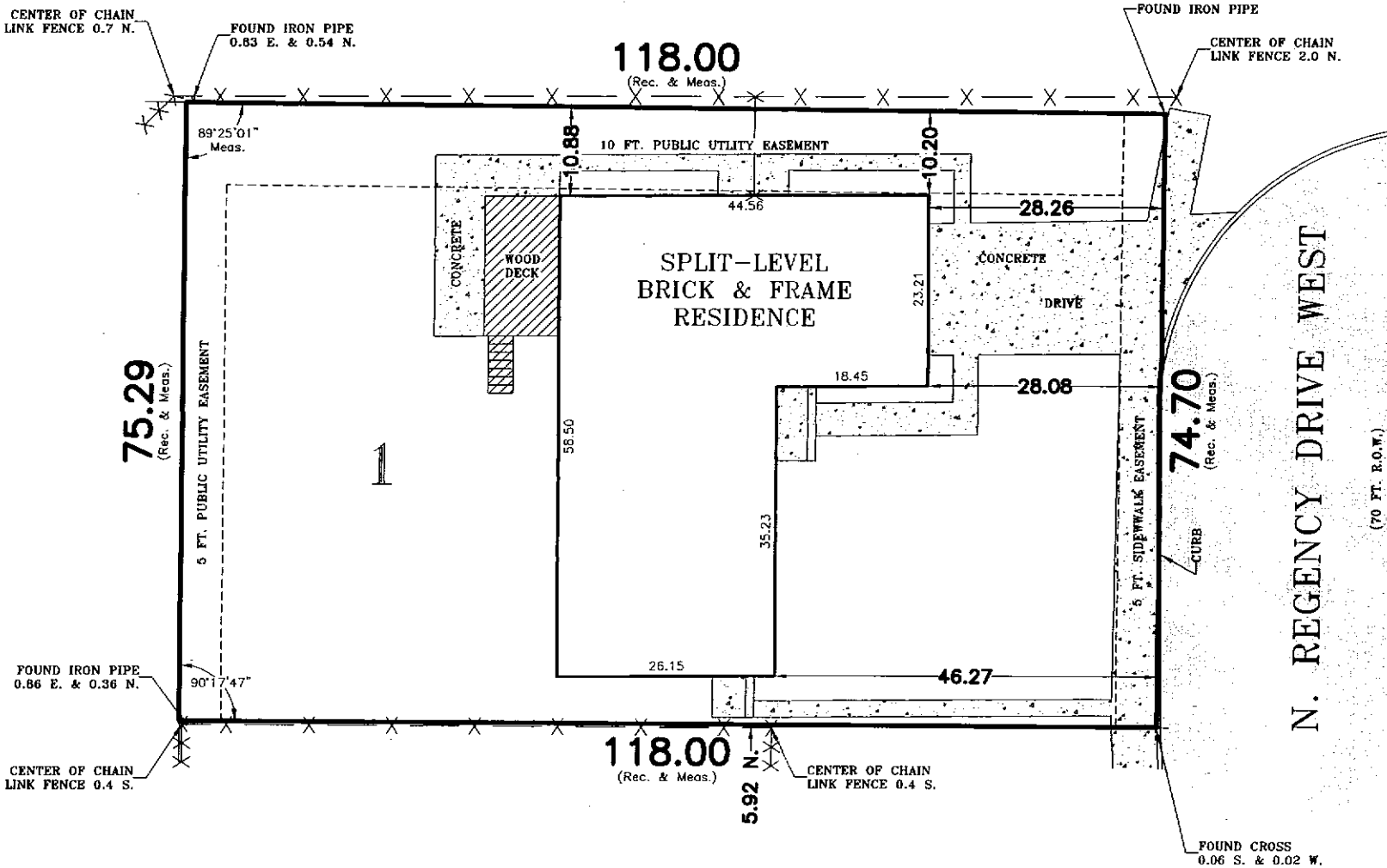
PLAT OF SURVEY
of

LOT 1 IN REGENT PARK UNIT 1, BEING A SUBDIVISION OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 28, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS ON JANUARY 16, 1964, AS DOCUMENT NUMBER 2131431, IN COOK COUNTY, ILLINOIS.

ADDRESS: 124 N. REGENCY DRIVE WEST, ARLINGTON HEIGHTS, ILLINOIS



SCALE: 1"=20'



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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

GENERAL NOTES:

- 1) THE LEGAL DESCRIPTION HAS BEEN PROVIDED BY THE CLIENT OR THEIR AGENT.
- 2) THIS SURVEY SHOWS THE BUILDING LINES AND EASEMENTS AS INDICATED BY THE RECORDED PLAT. THIS PLAT DOES NOT SHOW ANY RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES UNLESS SUPPLIED BY THE CLIENT.
- 3) BASIS OF BEARING FOR THIS SURVEY IS AS THE NORTH ARROW INDICATES, AND IS SHOWN TO INDICATE THE ANGULAR RELATIONSHIP OF THE BOUNDARY LINES.
- 4) MONUMENTS, IF SET, DURING THIS SURVEY, REPRESENT THE TRUE CORNERS OF THIS DESCRIPTION AS SURVEYED.
- 5) LOCATION OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY. NO INTERPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN HEREON.
- 6) ONLY COPIES WITH AN ORIGINAL SIGNATURE AND SEAL ARE OFFICIAL LEGAL DOCUMENTS. ALL SURVEYS ARE COPYRIGHTED MATERIALS WITH ALL RIGHTS RESERVED.

STATE OF ILLINOIS)
S.S.
COUNTY OF COOK)

SURVEY ORDERED BY: LYUDMYLA KHUDYK
I, JOSEPH P. MAIKISCH, AS AN EMPLOYEE OF PREFERRED SURVEY INC., DO HEREBY STATE THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARD FOR A BOUNDARY SURVEY. PROPERTY CORNERS HAVE BEEN SET OR NOT IN ACCORDANCE WITH CLIENT AGREEMENT. DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT.

GIVEN UNDER MY HAND AND SEAL THIS
7TH DAY OF OCTOBER

MY LICENSE EXPIRES ON 11/30/2014

P.S.I. No. 14105794



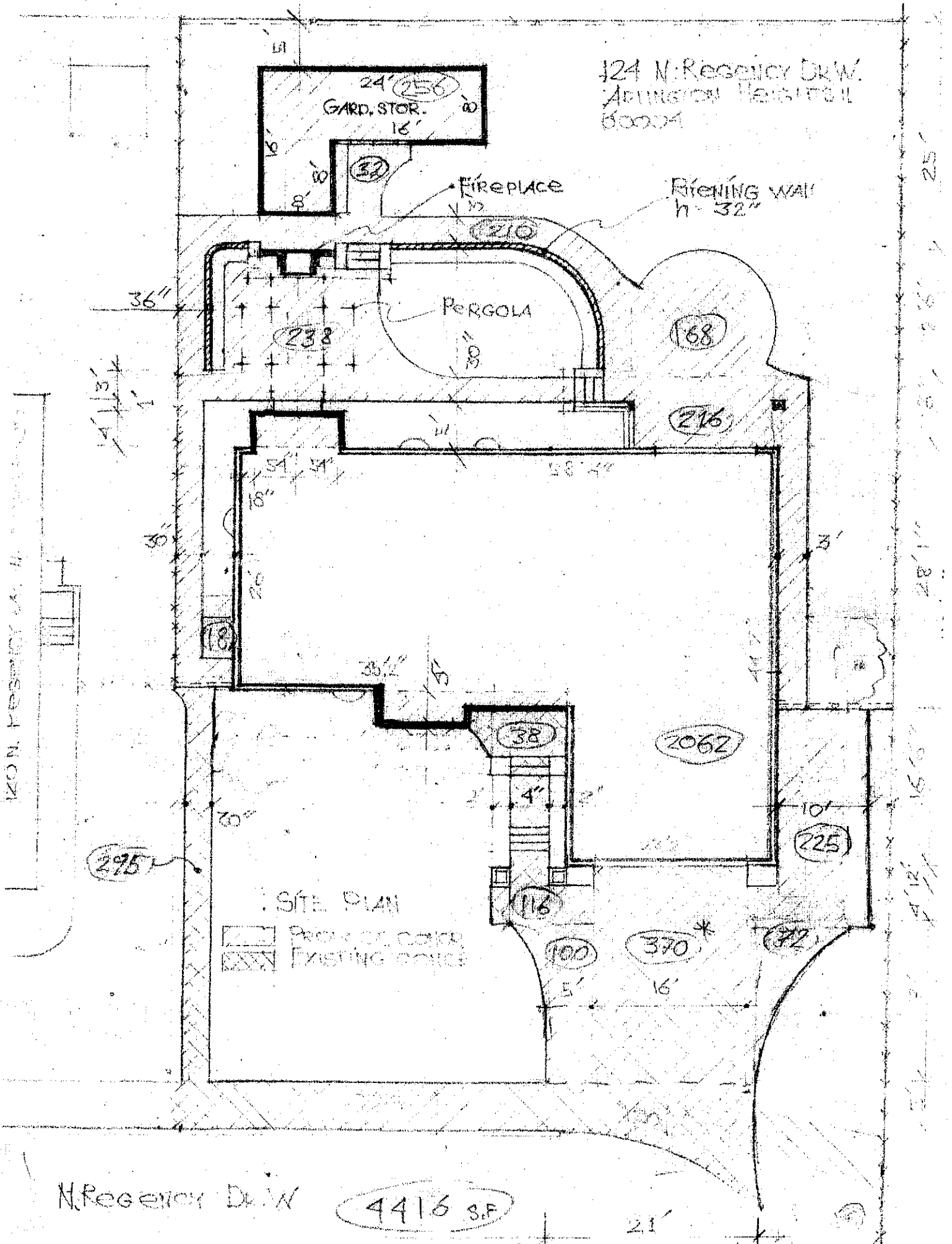
Professional Design Registration #184-002795

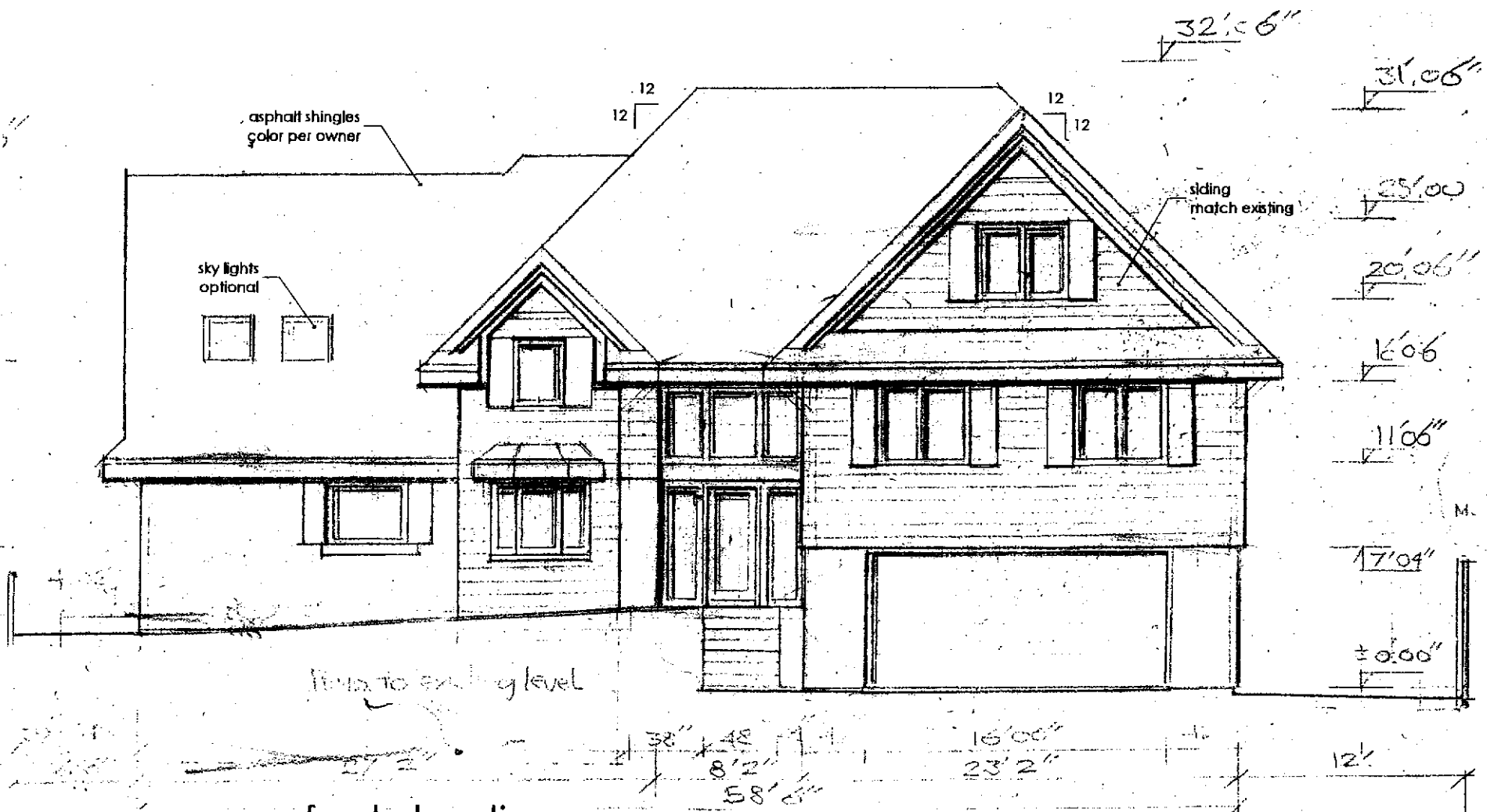
PREFERRED SURVEY, INC.

7845 W. 79TH STREET, BRIDGEVIEW, IL, 60455
Phone 708-458-7845 / Fax 708-458-7855
www.psisurvey.com

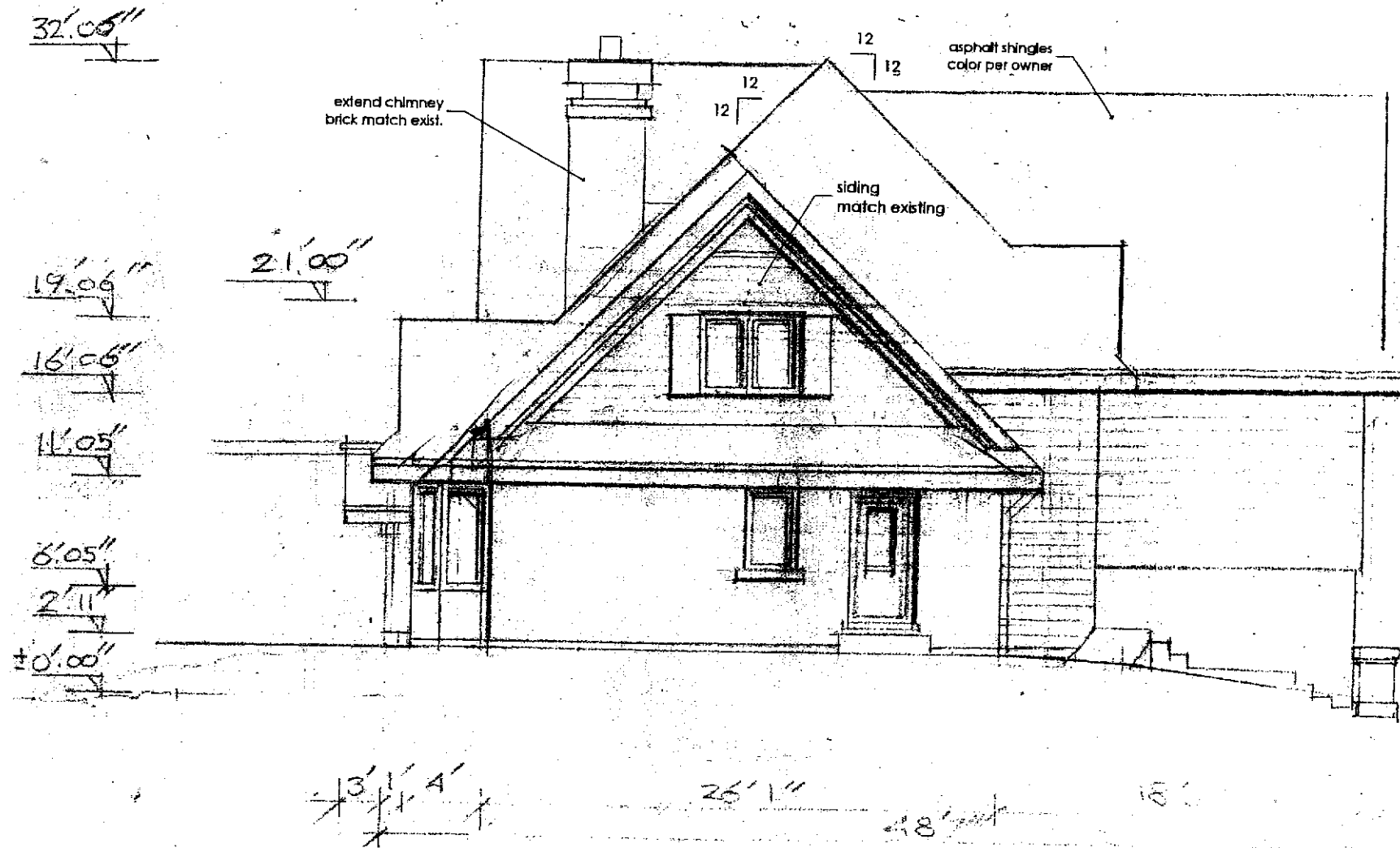
Field Work Completed	10/06/14	FLD CREW:	CD/GZ
Land Area Surveyed	8,849.1 Sq. Ft.	CAD:	EM
Drawing Revised			

124 N. Regency Dr.
ARLINGTON HEIGHTS, ILL.
60004



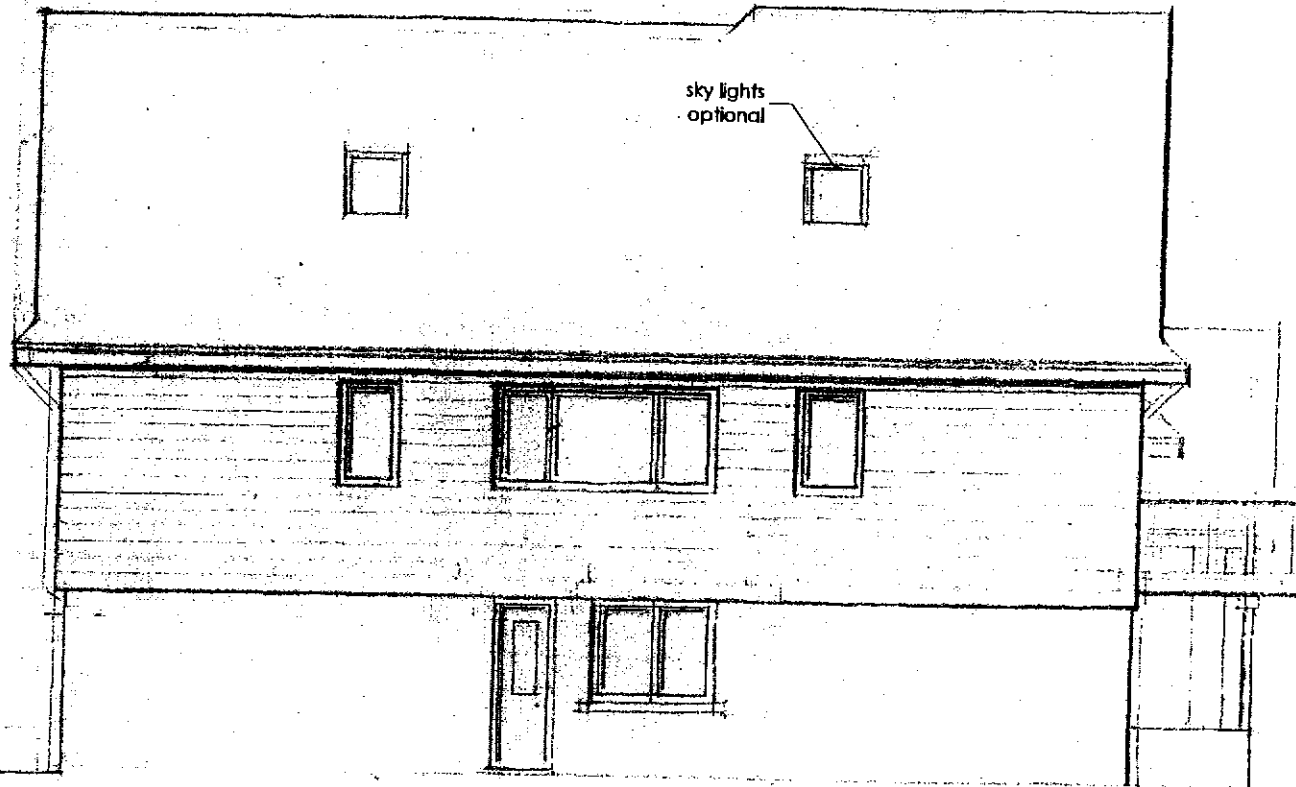


front elevation
scale: 3/16=1'-0"



left elevation
scale: 3/16=1'-0"

31'06"
25'06"
22'06"
16'06"
12'08"
7'04"
4'04"
10'05"



44'7"

right elevation
scale: 3/16=1'-0"





Item: Thomas Residence - 737 S. Chestnut Ave.

Department: Planning & Community Development

REQUEST

1. A 1.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a second story addition with a side yard setback of 4.0 feet from the north property line instead of the minimum 5.0 feet and an additional .8 feet for the eave.
2. A 7.8 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a 27.0 foot wide covered front porch with a front yard setback of 23.0 feet from the west property line instead of the minimum 30.8 feet and an additional 1.0 feet for the eave.

ATTACHMENTS:

Description	Type
Staff Report	Report
Department Comments	Correspondence
Supporting Documents & Drawings	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: March 9, 2015
Date Prepared: March 3, 2015
Project Title: Thomas Residence
Address: 737 S. Chestnut Ave.

Background Information

Petition Number: ZBA #15-002
Petitioner: Keith Ginnodo / Kingsley/Ginnodo Architects
Address: 33 N. Hickory Ave.
Arlington Heights, IL 60004
Existing Zoning: R-3, Single-Family

Requested Action/Background Information

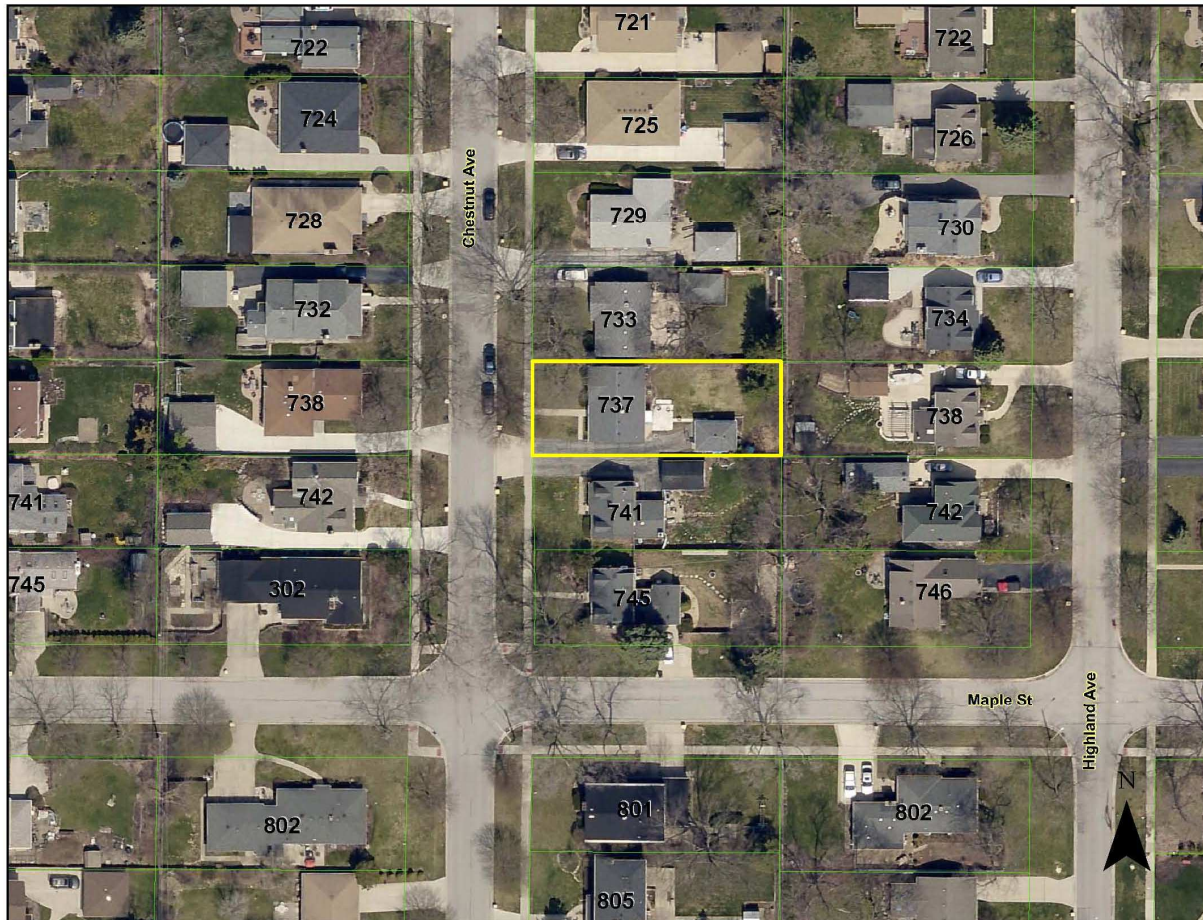
The petitioner proposes to construct a second story addition and a new front porch. The proposed addition will encroach 2.2 feet into the required side yard setback along the north property line and the front porch will encroach 8.3 feet into the required front yard setback. Therefore, the petitioner requests the following variations:

- A 2.2 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a second story addition with a side yard setback of 2.8 feet from the north property line instead of the minimum 5.0 feet and an additional 0.8 feet for the eave.
- A 8.3 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a 27.0 foot wide covered front porch with a front yard setback of 22.5 feet from the west property line instead of the minimum 30.8 feet and an additional 1.0 feet for the eave.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

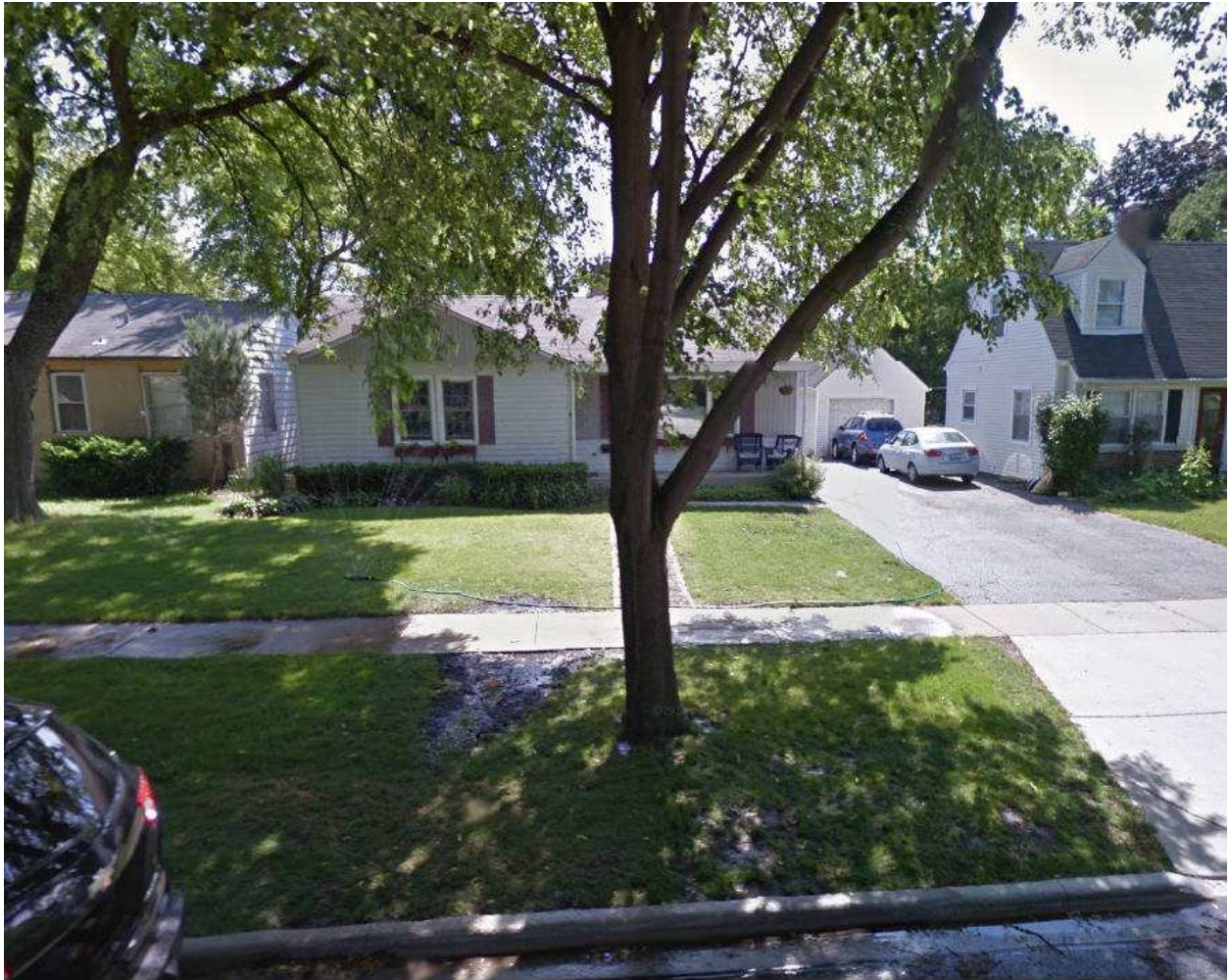
Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	2/20/15	
2. List of Property Owners Within 250 feet of Subject Property	✓	2/20/15	
3. Letter that was Mailed	✓	2/20/15	
4. Photographs of Sign on Property	✓	2/20/15	

Photograph of Existing Structure



PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Thomas Residence

Project Address: 737 S. Chestnut Ave.

ZBA #: 15-002

RECEIVED

FEB 17 2015

ZBA Hearing Date: March 9, 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: February 12, 2015

- A 1.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a second story addition with a side yard setback of 4.0 feet from the north property line instead of the minimum 5.0 feet and an additional .8 feet for the eave.
- A 7.8 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a 27.0 foot wide covered front porch with a front yard setback of 23.0 feet from the west property line instead of the minimum 30.8 feet and an additional 1.0 feet for the eave.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: NOTE THAT ALL BUILDING SECTIONS LESS THAN 5' TO
PROPERTY LINE MUST CONFORM TO 2009 I.B.C., SECTION

Please review, comment, and return to me no later than Friday, February 27, 2015.
R302 - REQUIRE FIRE RATED CONSTRUCTION.

ZBA# 15-002

737 S Chestnut Ave - ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering



Submitted: February 13, 2015

Completed – February 16, 2015

The proposed ZBA application indicates that the petitioner is seeking:

A 1 ft variance to allow a second story addition with a side yard setback of 4 ft from the north property line instead of the minimum 5 ft, and an additional 0.8 ft for the eave; and a 7.8 ft variance to allow a 27 ft wide covered front porch with a front yard setback of 23 ft instead of the minimum 30.8 ft, and an additional 1 ft for the eave.

The Engineering Department has NO OBJECTION to the proposed variances.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Thomas Residence

Project Address: 737 S. Chestnut Ave.

ZBA #: 15-002

ZBA Hearing Date: March 9, 2015

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: February 12, 2015

- A 1.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a second story addition with a side yard setback of 4.0 feet from the north property line instead of the minimum 5.0 feet and an additional .8 feet for the eave.
- A 7.8 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a 27.0 foot wide covered front porch with a front yard setback of 23.0 feet from the west property line instead of the minimum 30.8 feet and an additional 1.0 feet for the eave.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THIS PROJECT RECEIVED DESIGN COMMISSION APPROVAL
ON FEB. 24, 2015. - S. HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Friday, February 27, 2015.

January 30, 2015

PETITION

737 South Chestnut Avenue, Arlington Heights, Illinois 60005

NOW COMES the Petitioner Brad and Joannie Thomas being the owner of the property commonly known as: 737 South Chestnut Avenue, Arlington Heights, Illinois 60005 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variance from the Arlington Heights Municipal Code, Chapter 28 Zoning Regulations, Section 5.1-3.6 (Required Minimum Yards) in order to build a second floor addition with a side yard of 4'-0" and a covered front porch with a front yard setback of 23'-0".

I hereby state that the following hardship would exist if the variation were not granted: The second floor addition will line up with the existing first floor which is 4'-0" from the property line. In order to comply with the zoning ordinance the north wall of the second floor would need to step in 1'-0" resulting in difficult and more costly construction. The front porch is required to relieve a congested entry in the modest home and provide an architectural expression in balance with the second floor addition.

I hereby state that the following unique circumstances exist: The existing property is only 50' wide, while the house is a very modest 39' in width. Nevertheless, the existing south side yard is only 7' wide and the existing north side yard is only 4' wide. As a result of these constraints, utility of the interior spaces is compromised.

I hereby state that the variation, if granted, will not alter the essential character of the locality. The second floor addition lines up with the first floor and is more in keeping with common construction techniques. The front porch balances the design of the home, keeping the home in scale with other houses in the area.

Signed: (petitioner)

Joannie Thomas

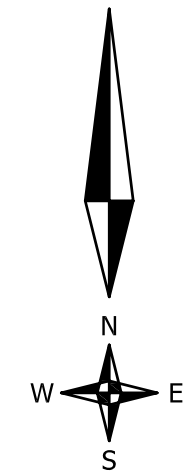
date:

1/30/15

RECEIVED

JAN 30 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



S. CHESTNUT AVENUE

ORDER NUMBER: 150023

SCALE: 1 INCH = 15 FEET

ORDERED BY: BRAD AND JOANIE THOMAS

PLAT OF SURVEY

BY

JOHN M. HENRIKSEN

576 E. NORTHWEST HIGHWAY DES PLAINES, ILLINOIS 60016
TEL. 847-795-0301 FAX. 847-795-0302
WWW.HENRIKSENSURVEY.COM

OF

LOT 17 IN H. ROY BERRY COMPANY'S LAUDYMONT TERRACE, BEING A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 31 AND PART OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS, ON APRIL 12, 1926 AS DOCUMENT NUMBER 298099, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 737 S. CHESTNUT AVENUE
ARLINGTON HEIGHTS, IL

FRACTIONAL INCH EQUIVALENTS OF HUNDREDTHS OF A FOOT

0.01=1/8"	0.25=3"
0.02=1/4"	0.33=4"
0.03=3/8"	0.37=4-1/2"
0.04=1/2"	0.38=4-1/2"
0.05=5/8"	0.42=5"
0.06=3/4"	0.50=6"
0.07=7/8"	0.58=7"
0.08=1"	0.62=7-1/2"
0.09=1-1/8"	0.63=7-1/2"
0.10=1-1/4"	0.67=8"
0.11=1-3/8"	0.75=9"
0.12=1-1/2"	0.83=10"
0.13=1-1/2"	0.87=10-1/2"
0.14=1-5/8"	0.88=10-1/2"
0.15=1-3/4"	0.92=11"
0.16=1-7/8"	1.00=12"
0.17=2"	

BUILDING LINES AND EASEMENTS, IF ANY, SHOWN HEREON ARE BUILDING LINES AND EASEMENTS AS SHOWN ON THE RECORDED SUBDIVISION PLAT. CONSULT LOCAL AUTHORITIES FOR BUILDING LINES ESTABLISHED BY LOCAL ORDINANCES.

PLEASE CHECK LEGAL DESCRIPTION WITH DEED.

COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY DISCREPANCY IMMEDIATELY.

DIMENSIONS ARE NOT TO BE ASSUMED FROM SCALING.

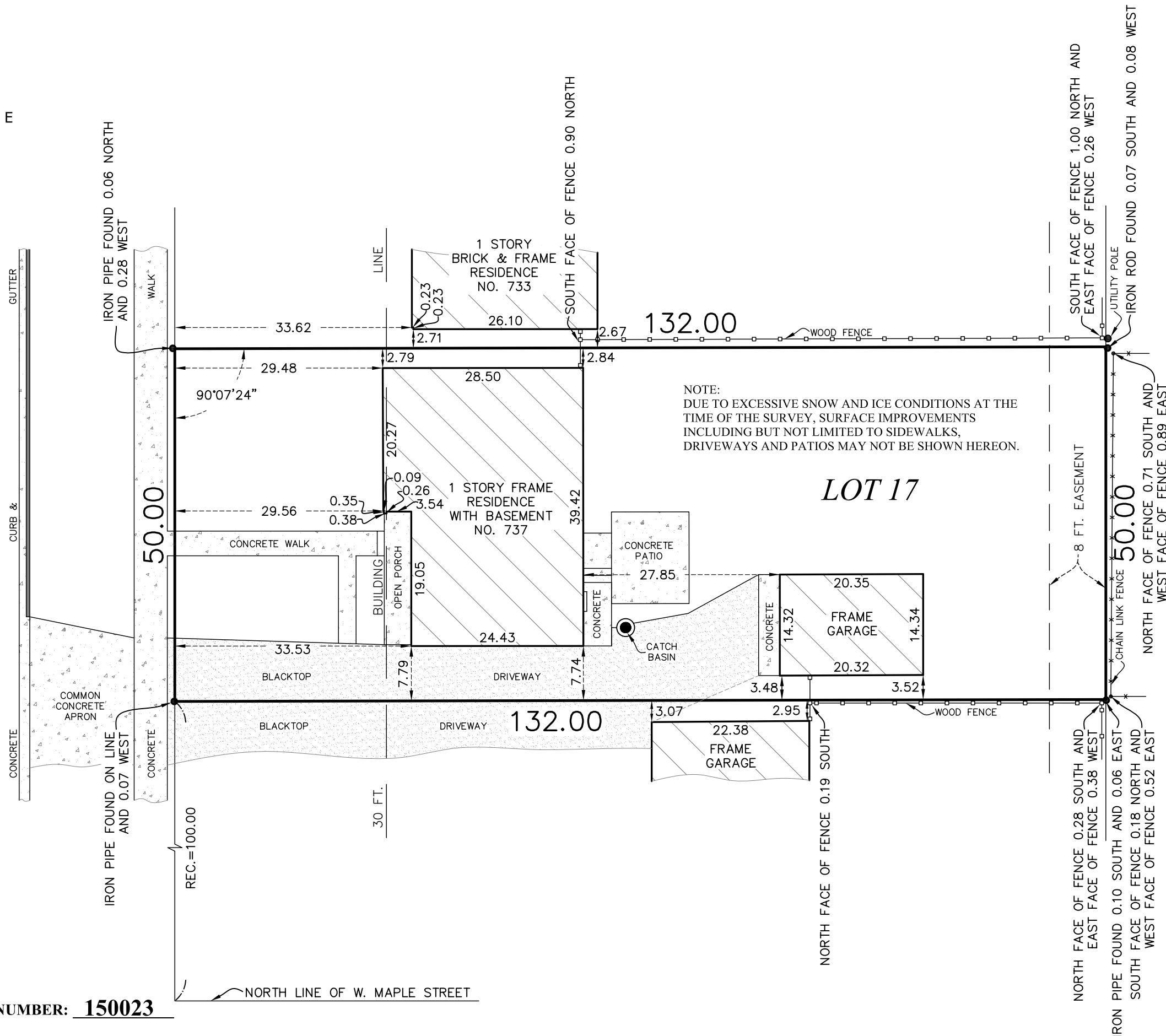
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

STATE OF ILLINOIS;
COUNTY OF COOK;

I, JOHN M. HENRIKSEN, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY. DIMENSIONS ARE SHOWN IN FEET DECIMAL PARTS THEREOF.

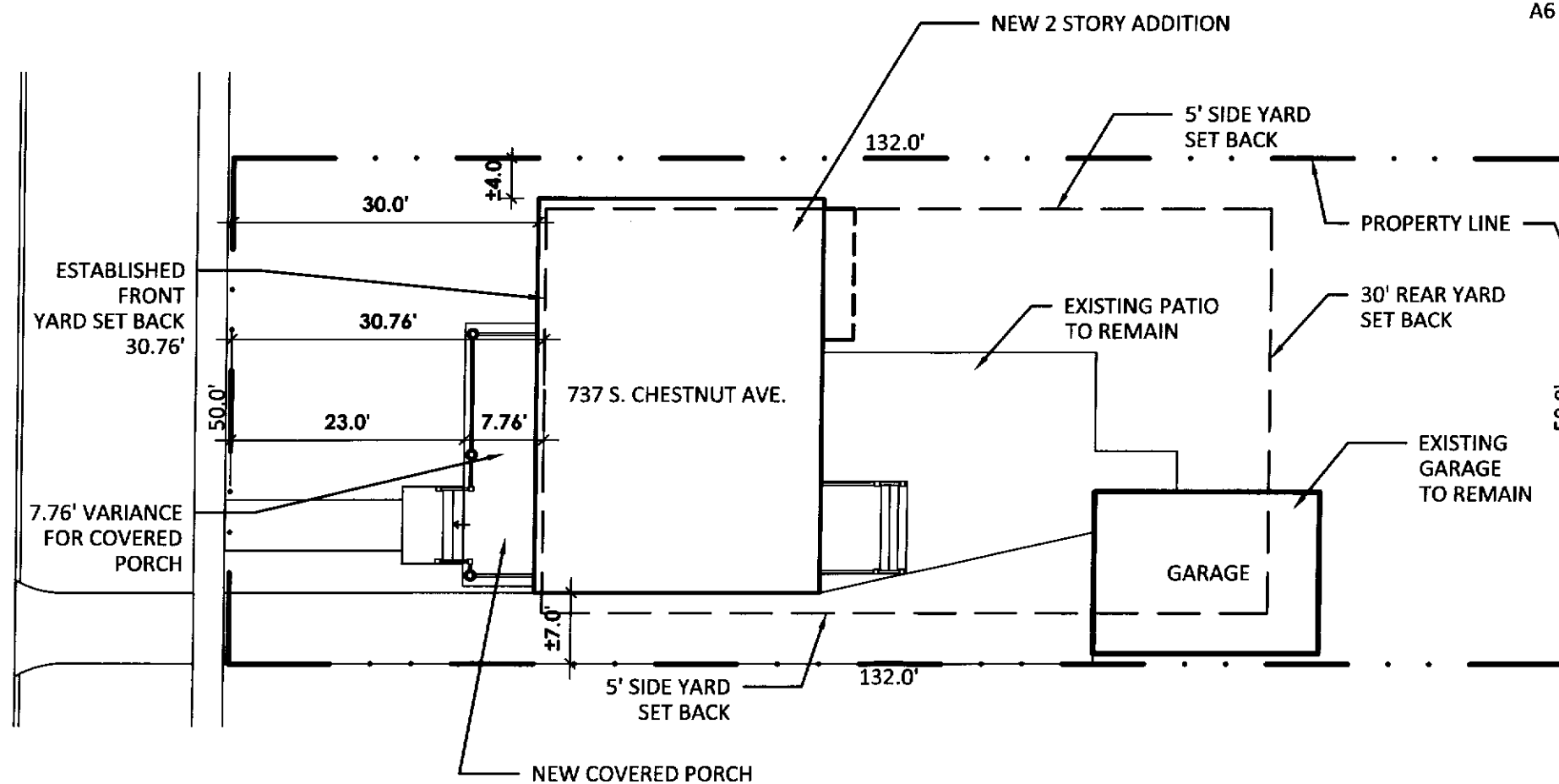
DES PLAINES, ILLINOIS FEBRUARY 16, 2015.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2668
LICENSE EXPIRES NOVEMBER 30, 2016.



DRAWING INDEX

A0	SITE PLAN
EX1	EXISTING BASEMENT PLAN
EX2	EXISTING FIRST FLOOR PLAN
EX3	EXISTING ROOF PLAN
EX4	EXISTING WEST ELEVATION
EX5	EXISTING SOUTH ELEVATION
EX6	EXISTING EAST ELEVATION
EX7	EXISTING NORTH ELEVATION
A1	BASEMENT PLAN
A2	FIRST FLOOR PLAN
A3	SECOND FLOOR PLAN
A4	ROOF PLAN
A5	WEST ELEVATION
A6	SOUTH ELEVATION
A7	EAST ELEVATION
A6	NORTH ELEVATION



1 SITE PLAN
1/16" = 1'-0"

BRAD AND JOANNIE THOMAS
737 SOUTH CHESTNUT AVENUE, ARLINGTON HEIGHTS, IL 60005

1 1/2 1/4



1 EXISTING WEST ELEVATION
1/4" = 1'-0"

BRAD AND JOANNIE THOMAS
737 SOUTH CHESTNUT AVENUE, ARLINGTON HEIGHTS, IL 60005



KINGSLEY + GINNODO ARCHITECTS

314 N PINE AV ARLINGTON HTS ILLINOIS 60004

EX4

7.7.13

1 1/2 1/4



1 EXISTING SOUTH ELEVATION
1/4" = 1'-0"

BRAD AND JOANNIE THOMAS
737 SOUTH CHESTNUT AVENUE, ARLINGTON HEIGHTS, IL 60005

GA

KINGSLEY + GINNODO ARCHITECTS
314 N PINE AV ARLINGTON HTS ILLINOIS 60004

EX5

7.7.13



1

EXISTING EAST ELEVATION

1/4" = 1'-0"

BRAD AND JOANNIE THOMAS
737 SOUTH CHESTNUT AVENUE, ARLINGTON HEIGHTS, IL 60005

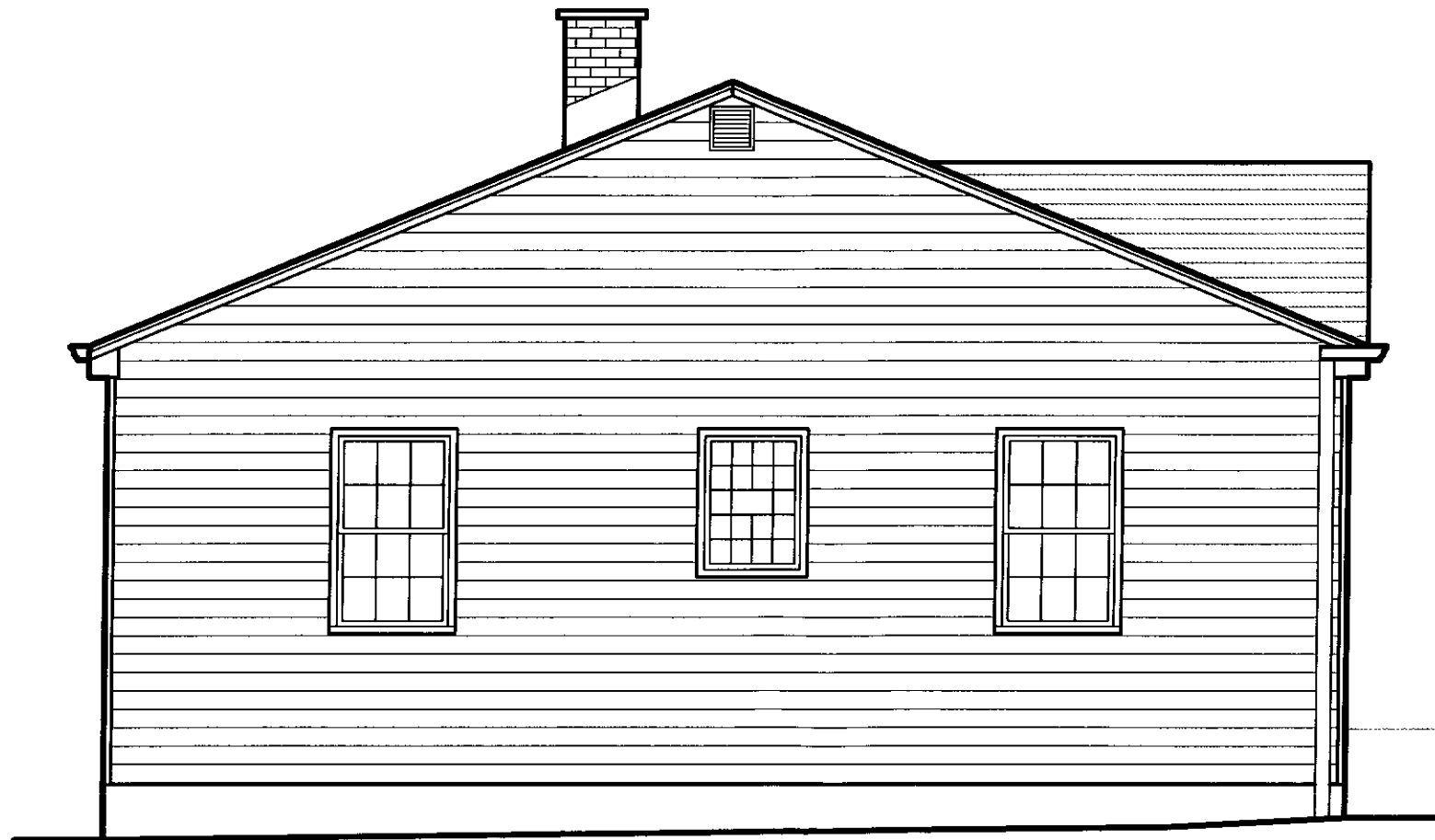


KINGSLEY + GINNODO ARCHITECTS
314 N PINE AV ARLINGTON HTS ILLINOIS 60004

EX6

7.7.13

1 1/2 1/4



1 EXISTING NORTH ELEVATION
1/4" = 1'-0"

BRAD AND JOANNIE THOMAS
737 SOUTH CHESTNUT AVENUE, ARLINGTON HEIGHTS, IL 60005



KINGSLEY + GINNODO ARCHITECTS
314 N PINE AV ARLINGTON HTS ILLINOIS 60004

EX7

7.7.13

± 1.0' SIDE YARD VARIANCE FOR SECOND FLOOR ADDITION

NEW 2 STORY ADDITION

5' SIDE YARD SET BACK

PROPERTY LINE

30' REAR YARD SET BACK

EXISTING GARAGE TO REMAIN

GARAGE

737 S. CHESTNUT AVE.

5' SIDE YARD SET BACK

NEW COVERED PORCH

ESTABLISHED FRONT YARD SET BACK 30.76'

7.76' VARIANCE FOR COVERED PORCH

PROPOSED SITE PLAN

1/16" = 1'-0"

FRONT YARD SETBACKS

ADDRESS	SETBACK
701 S. CHESTNUT AVE.	30.83'
705 S. CHESTNUT AVE.	30.63'
709 S. CHESTNUT AVE.	30.50'
713 S. CHESTNUT AVE.	30.50'
717 S. CHESTNUT AVE.	30.58'
721 S. CHESTNUT AVE.	30.25'
725 S. CHESTNUT AVE.	30.42'
729 S. CHESTNUT AVE.	30.67'
733 S. CHESTNUT AVE.	34.42'
737 S. CHESTNUT AVE.	30.00'
741 S. CHESTNUT AVE.	30.08'
745 S. CHESTNUT AVE.	30.25'
TOTAL:	369.13'

369.13'/12 HOUSES = 30.76'

ESTABLISHED FRONT YARD SET BACK = 30.76'

RECEIVED

JAN 30 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

KINGSLEY + GINNODO ARCHITECTS
314 N PINE AV ARLINGTON HTS ILLINOIS 60004



ZB0

1-30.15

BRAD AND JOANNIE THOMAS
737 SOUTH CHESTNUT AVENUE, ARLINGTON HEIGHTS, IL 60005

1 1/2 1/4

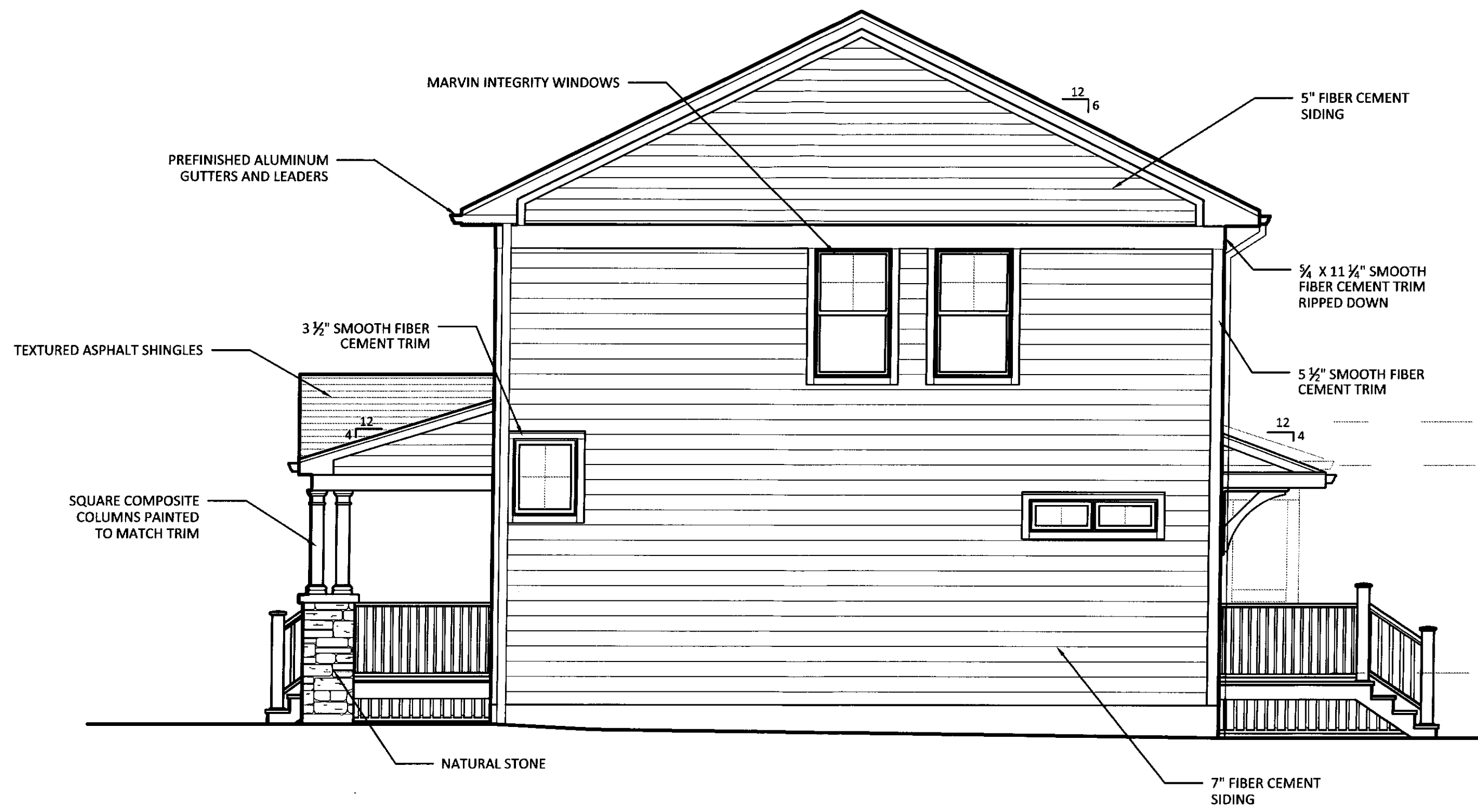


1 WEST ELEVATION
1/4" = 1'-0"



BRAD AND JOANNIE THOMAS
737 SOUTH CHESTNUT AVENUE, ARLINGTON HEIGHTS, IL 60005

1 1/2 1/4



1 SOUTH ELEVATION
1/4" = 1'-0"

1 1/2 1/4

PREFINISHED ALUMINUM
GUTTERS AND LEADERS

5/4 X 11 1/4" SMOOTH
FIBER CEMENT TRIM
RIPPED DOWN

3 1/2" SMOOTH FIBER
CEMENT TRIM

5 1/2" SMOOTH FIBER
CEMENT TRIM

TEXTURED ASPHALT
SHINGLES

7" FIBER CEMENT
SIDING

MARVIN INTEGRITY WINDOWS

1 EAST ELEVATION
1/4" = 1'-0"

KINGSLEY + GINNODO ARCHITECTS

314 N PINE AV ARLINGTON HTS ILLINOIS 60004



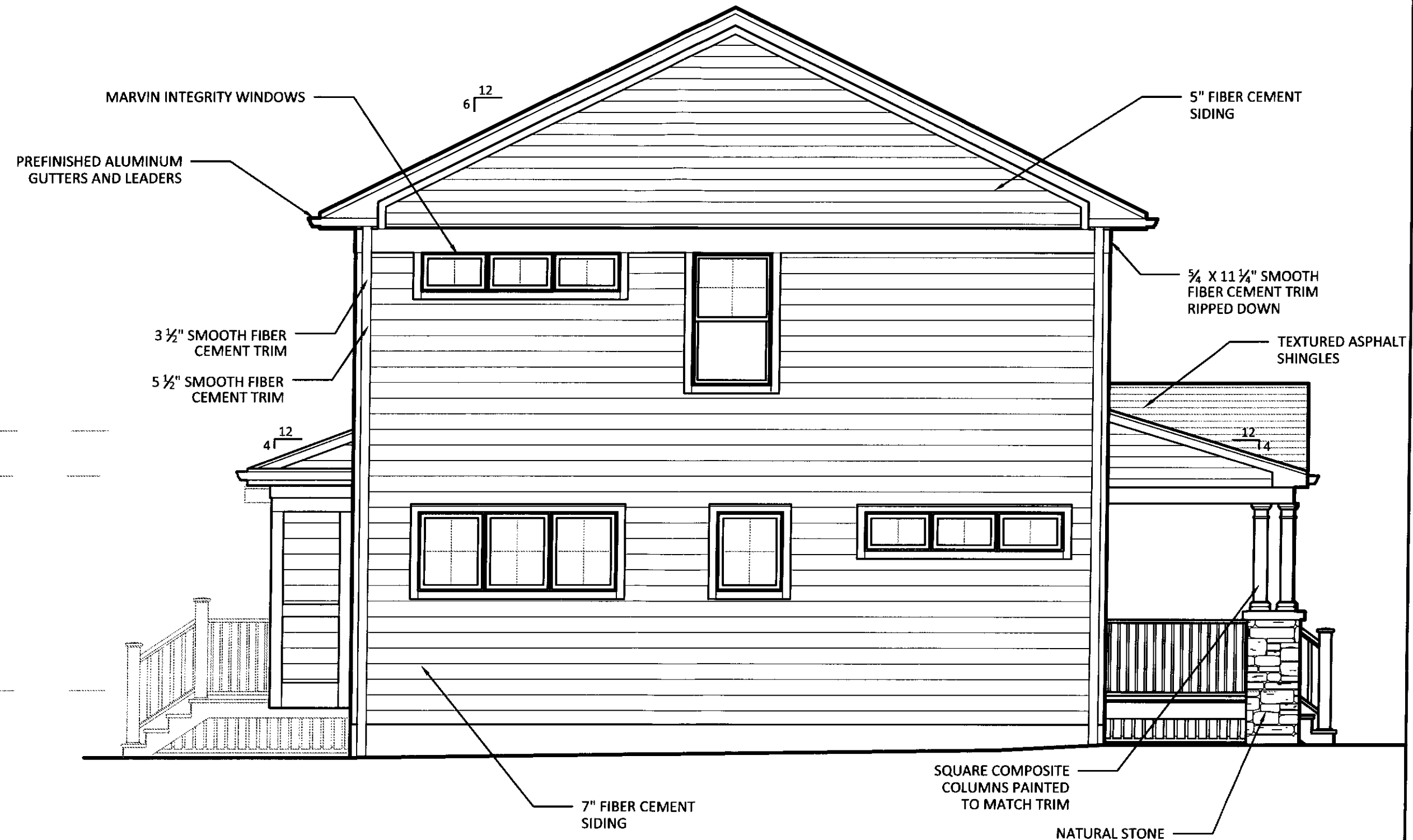
A7

1.30.15

BRAD AND JOANNIE THOMAS
737 SOUTH CHESTNUT AVENUE, ARLINGTON HEIGHTS, IL 60005



BRAD AND JOANNIE THOMAS
 737 SOUTH CHESTNUT AVENUE, ARLINGTON HEIGHTS, IL 60005



1 NORTH ELEVATION
 1/4" = 1'-0"



Item: Juracek Residence - 905 N. Fernandez Ave.

Department: Planning & Community Development

REQUEST

1. A 1.1 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new home on the existing foundation with a side yard setback of 3.9 feet from the south property line instead of the minimum 5.0 feet and an additional 0.5 feet for the eave.
2. A variance from Chapter 28, section 5.1-3.4 (Minimum Lot Size) to allow a 49.9-ft. wide, 6,696 sq. ft. lot to be buildable, where 70 feet wide, 8,750 sq. ft. is required.
3. A 0.3' foot variance from Chapter 28, section 11.2-11.1d for a driveway that is 8.7 feet wide where 9 feet is required.

ATTACHMENTS:

Description	Type
Staff Report	Report
Department Comments	Correspondence
Supporting Drawings & Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: March 9, 2015
Date Prepared: March 3, 2015
Project Title: Juracek Residence
Address: 905 N. Fernandez Ave.

Background Information

Petition Number: ZBA #15-004
Petitioner: Travis Juracek
Address: 1811 W. Cottonwood Trail
Hoffman Estates, IL 60192
Existing Zoning: R-3, Single-Family

Requested Action/Background Information

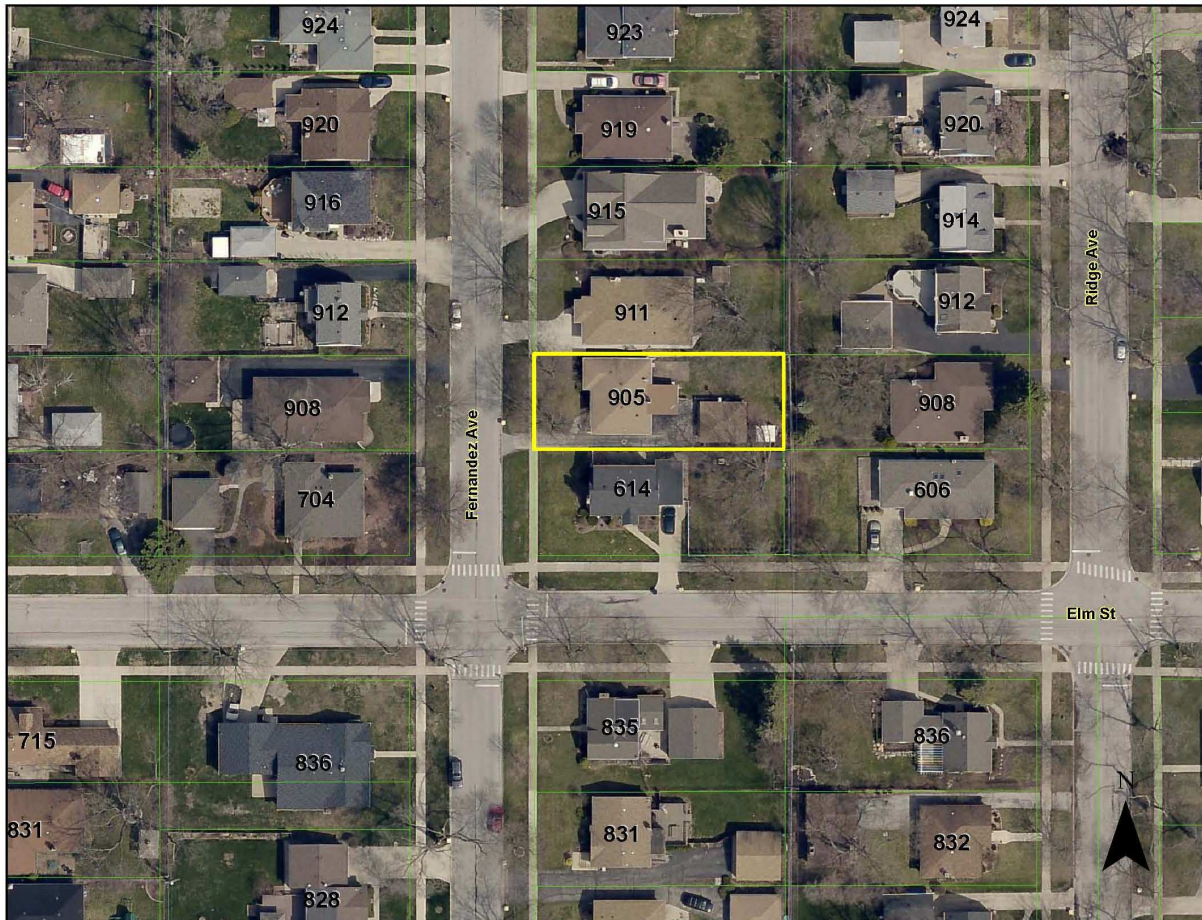
The petitioner is proposing to demolish an existing one story house to allow construction of a new two story residence. The petitioner intends to reuse the existing foundation and the existing detached garage will remain. Therefore, the petitioner requests the following variations:

- A 1.1 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new home on the existing foundation with a side yard setback of 3.9 feet from the north property line instead of the minimum 5.0 feet and an additional 0.5 feet for the eave.
- A variance from Chapter 28, section 5.1-3.4 (Minimum Lot Size) to allow a 49.9-ft. wide, 6,696 sq. ft. lot to be buildable, where 70 feet wide, 8,750 sq. ft. is required.
- A 0.3' foot variance from Chapter 28, section 11.2-11.1d for a driveway that is 8.7 feet wide where 9 feet is required.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	2/18/15	
2. List of Property Owners Within 250 feet of Subject Property	✓	2/18/15	
3. Letter that was Mailed	✓	2/18/15	
4. Photographs of Sign on Property	✓	2/20/15	

Photograph of Existing Structure



PROJECT REVIEW TRANSMITTAL

for Zoning Board of Appeals Review

Project Name: Juracek Residence

Project Address: 905 N. Fernandez Ave.

ZBA #: 15-004

ZBA Hearing Date: March 9, 2015

RECEIVED

FEB 17 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: February 12, 2015

- A 1.1 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new home on the existing foundation with a side yard setback of 3.9 feet from the south property line instead of the minimum 5.0 feet and an additional 0.5 feet for the eave.
- A variance from Chapter 28, section 5.1-3.4 (Minimum Lot Size) to allow a 49.9-ft. wide, 6,696 sq. ft. lot to be buildable, where 70 feet wide, 8,750 sq. ft. is required.
- A 0.3' foot variance from Chapter 28, section 11.2-11.1d for a driveway that is 8.7 feet wide where 9 feet is required.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: NOTE THAT ALL BUILDING SECTIONS LESS THAN 5' TO PROPERTY LINE MUST CONFORM TO 2009 I.R.C.

Please review, comment, and return to me no later than Friday, February 27, 2015.

SECTION R302 - REQUIRE FIRE RATED CONSTRUCTION

ZBA# 15-004

905 N Fernandez Ave - ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering

Submitted: February 13, 2015

Completed – February 16, 2015



The proposed ZBA application indicates that the petitioner is seeking:

A 1.1 ft variance to allow a new home on the existing foundation with a side yard setback of 3.9 ft from the south property line instead of the minimum 5 ft, and an additional 0.5 ft for the eave;

A variance to allow a 49.9 ft wide, 6,696 sq ft lot to be buildable, where 70 ft wide, 8,750 sq ft is required; and

A 0.3 ft variance for a driveway that is 8.7 ft wide where 9 ft is required.

NOTE: Drainage service request on record for 905 N Fernandez Ave, for water getting into the basement.

The Engineering Department has NO OBJECTION to the proposed variances, however; the above mentioned service request should be brought to their attention such that it could be addressed with the proposed site plan.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Juracek Residence

Project Address: 905 N. Fernandez Ave.

ZBA #: 15-004

ZBA Hearing Date: March 9, 2015

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: February 12, 2015

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- A variance from Chapter 28, section 5.1-3.4 (Minimum Lot Size) to allow a 49.9-ft. wide, 6,696 sq. ft. lot to be buildable, where 70 feet wide, 8,750 sq. ft. is required.
- A 0.3' foot variance from Chapter 28, section 11.2-11.1d for a driveway that is 8.7 feet wide where 9 feet is required.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THIS PROJECT RECEIVED DESIGN COMMISSION APPROVAL
ON 1-13-15, SEE ATTACHED MINUTES.

Please review, comment, and return to me no later than Friday, February 27, 2015.

- S. HAUTZINGER, DESIGN PLANNER

APPROVED

MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
JANUARY 13, 2015

Chair Eckhardt called the meeting to order at 6:30 p.m.

Members Present: Ted Eckhardt, Chair
John Fitzgerald
Anthony Fasolo

Members Absent: Alan Bombick
Jonathan Kubow

Also Present: Travis & Marissa Juracek, Owners of 905 N. Fernandez Ave.
Kelle Bruckbauer, Tinaglia Architects for *Northwest Metalcraft*
Dawn & Hall Selleck for *Northwest Metalcraft*
Steve Hautzinger, Staff Liaison

REVIEW OF MEETING MINUTES FROM DECEMBER 9, 2014

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO APPROVE THE MEETING MINUTES OF DECEMBER 9, 2014. ALL WERE IN FAVOR. THE MOTION CARRIED.

1. SINGLE-FAMILY TEARDOWN REVIEW

DC#14-137 – 905 N. Fernandez Ave.

Travis & Marissa Juracek, the homeowners, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing one story house to allow construction of a new two story residence. The petitioner intends to re-use the existing foundation and the existing detached garage will remain. This project does require zoning variations for the following: lot width (49.89 feet existing, where 50 foot minimum is required), side yard setback (3.89 feet proposed, where 5 feet is required), roof eave side yard encroachment (32 inch encroachment proposed, where only 12.5 inches is allowed), and driveway width (8.9 feet proposed, where 9 feet is required). These variations are primarily a result of the reuse of the existing foundation. However, it is recommended that the proposed 18" eave overhang be reduced to minimize the side yard encroachment. These issues will be reviewed by the Zoning Board of Appeals.

The design of the proposed new home is very modern in form, window composition and colors. The orthogonal massing is not in context with the existing traditional style neighborhood of pitched roof homes. The arrangement of windows and door openings appears random and is not in context with the neighborhood. The challenge is to insert such a modern design into the existing dense, traditional streetscape. It is recommended the design be revised to use a modern style in a more subtle way. It is suggested that a more traditional form with pitched roofs be used, but the windows, doors and exterior materials can still be very clean and modern. Images in the Staff Report represent examples of traditional forms with modern detailing. It is also recommended that the proposed bold colors be changed to a more neutral palette.

Chair Eckhardt asked if there was any public comment on the project and there was no response from the audience.

Mr. Juracek stated that the existing home was a bank-owned foreclosure he acquired for his family, with the original plan to salvage the existing brick, remove the existing roof, redesign the first-floor, add a second-floor, and create a 2-story home utilizing as much of the existing structure as possible. After inspection of the existing brick and insulation specifications, they decided to tear down the existing home to the first-floor deck and re-build an energy efficient home that they intend on staying in long term. Having an architectural background and being open to a large variety of designs, he worked with his wife on their likes and dislikes, which resulted in the design being shown tonight. Recognizing the proposed design is not a traditional vocabulary, he contacted Staff about the approval process, and Staff recommended a formal review with the commissioners, prior to a review with the Zoning Board of Appeals. **Mr. Juracek** also stated that efforts were made with the layout of rooms in the new home, taking into consideration the adjacent home to the north.

Chair Eckhardt acknowledged the arrival of a resident and asked if he had public comment on this project. The resident replied that he lived two doors away from the site and wanted to see what was being proposed.

Commissioner Fitzgerald felt this was a beautiful home. He liked the colors, the style, and the windows. However, he was unsure if he liked the home in this location; it was really different from anything, which did not give harmony to the neighborhood. He was concerned about the height of the home, which has been maxed out, and the north side of the home, which is already existing non-conforming and is proposed to be 2-stories straight up, which will directly affect the amount of light on the adjacent home to the north. He really liked the new home, but felt it should be located on the beach in California somewhere, mixed in with different types of architecture. He was concerned about it not fitting in in this neighborhood.

Commissioner Fasolo felt it was a nicely designed home; however, he agreed with Commissioner Fitzgerald that the new home was not really fitting in with the neighborhood, and it especially towered over the home to the north. He pointed out the slight angle on the roof towards to the rear of the home, and suggested adding a slope in the front of the home that slopes up from north to south. He reiterated that he liked the design, but it was not in the right neighborhood.

Chair Eckhardt asked the petitioner for clarification on the materials and colors being proposed. **Mr. Juracek** referred to the sketch-up model and pointed out that the blue areas will be Hardi-board horizontal 4-inch siding, the light grey square sections below the windows and the vertical section of the stairwell on the north elevation will be a rain screen panel system, the white sections for the fascia, gutters and downspouts will be aluminum, and the windows frames will be black.

Chair Eckhardt pointed out that in the past 20+ years, the Design Commission has approved only 1 modern home similar to the design being proposed tonight, although the home did not necessarily fit in. He reiterated that the Design Commission reviews compatibility, and there is no argument that the modern design of the new home is not compatible with the neighborhood. He felt the proposed design was not modern enough and he was concerned about the placement of elements. He did not care for the clerestory windows, he did not see a rhythm or theme with the windows, and he was concerned about the longevity of the crispness of the white edge on the home. He also questioned if there will be a handrail on the entry stoop, and the petitioner responded that it is not required by code. **Chair Eckhardt** was also concerned about the close proximity of the adjacent home to the north, and that the new home would tower over the other home. He asked the petitioner to respond to the concerns stated by the commissioners tonight.

With regards to the concerns about the height of the north elevation, **Mr. Juracek** explained that they made a conscious decision to not add any foundation to the existing structure, with cost being a factor. He has a background in architecture and is a construction manager for Habitat for Humanity, and plans on doing most of the work himself. He understood that the

design is being evaluated based on the exterior only, but he felt it was important to understand that the interior impacts the exterior, and a conscious effort was made in the placement of the windows, the material choices, and the massing and height of the home. He added that the first-floor deck is 2-feet off the ground, and the first-floor ceiling height is 8-foot. He acknowledged that the vocabulary of the proposed design did not meet the context of the neighborhood, however, there are elements in the design that were pulled from the neighborhood such as the siding. He also pointed out the bright red color of the home located on the southwest corner of Fernandez and Elm, and the modern homes with flat roofs in the neighborhood near Methodist Park. He felt that a homeowner should be allowed to design their home to their liking, as long it was not a direct hindrance on the surrounding neighborhood.

Commissioner Fasolo pointed out that the new home steps in at the sides on the front elevation, and he asked if the same could be done on the north side. **Mr. Juracek** replied that this would require pushing the stairwell over 2-feet, as well as taking space from the dining room and would disrupt the flow from the dining space to the bathroom; however, the suggestion could be explored. He added that they recently spoke with the adjacent neighbor to the north about the design of the new home and their efforts to keep the quiet side of their home on the north.

Commissioner Fasolo reiterated his previous suggestion to add a slope to the roof on the front of the home, sloping up from north to south. **Mr. Juracek** replied that this was previously considered; however, he wanted to leave the possibility of a higher ceiling at the front of the home for the master bedroom. **Commissioner Fitzgerald** felt that the horizontal lines on the front of the home needed to all be level and in the same plane.

PUBLIC COMMENT

Mr. Ken Simpson, 915 N. Fernandez, lives 2 homes north of the site for the past 6 years. His home was a teardown and a newer 2-story home with dormers on the front, which he felt helped the home fit in with the mostly ranch and Cape Cod style homes on the block. He pointed out that the block is changing with the home directly across the street recently adding a second-floor addition and another 2-story teardown on the other side of Elm Street currently under construction. He had no real concerns about another 2-story home going in on the block, and he liked different architecture, therefore the style did not concern him; however, he questioned the blue color shown in the renderings and said that he preferred a more subtle earth tone color. He was glad to see the somewhat neglected property being improved in any way. He also pointed out that there are significant drainage issues during heavy rains between the homes, due to the rise in elevation of Ridge Avenue, and he questioned the decision to pitch the entire roof to the back of the house, thereby directing all of the rainwater to the rear problem area.

Chair Eckhardt asked the commissioners to summarize their comments, and indicate whether or not the design is acceptable at this time, or if it needed modifications. **Commissioner Fasolo** reiterated his previous comment about changing the roof slope so that it sloped up from north

to south. He felt that the one story wall on the left side of the front elevation looked out of place without coping or trim at the top, and he reiterated his previous suggestion to step in the second floor of the north wall 2-feet at the laundry room and stairway.

Commissioner Fitzgerald reiterated that he really liked the home, and he liked the wall on the left side of the front elevation; how it breaks up the overhang and white band. He liked the petitioner's preference to try to put as much into the existing footprint of the home instead of adding space into the rear yard. His biggest concern was with the north side of the home and how close the edge of the roof is to the property line; he suggested pulling it in if possible, which **Mr. Juracek** replied was not a problem. **Commissioner Fitzgerald** also suggested a different trim color than the white being proposed; to tone down the brightness of the white.

Chair Eckhardt pointed out that the design renderings show a flat, hard edged detail for the roof, when in reality it would not be built that way without a flashing detail added. **Mr. Juracek** explained that a heat welded TPO product would be used for the flat transition at the roof edge. **Chair Eckhardt** agreed with Commissioner Fitzgerald's concerns about the brightness of the white trim color and his suggestion to tone down the brightness with a different color. **Mr. Juracek** felt that a darker color would help subdue the brightness of the white; a darker grey such as 'gun metal grey'. **Commissioner Fitzgerald** liked this direction, and pointed out that the trim edges need to be highlighted because they are a major architectural feature of the home.

In response to Commissioner Fasolo's suggestion to add a slope to the front roof, **Mr. Juracek** explained that he originally looked at two sloping angles for the roof; however, the details and structure would make the home more complex than he wanted because he was trying to get as low of a roofline as possible towards the north. He added that in talking to a few of the neighbors after purchasing the home, all of them expressed concerns with water flow during rains, which was another factor for them to try to keep the footprint of the existing home.

Commissioner Fitzgerald asked for clarification on the amount of space suggested to recess in the rear elevation at the laundry room. **Mr. Juracek** replied that it could be recessed 2-feet from the outside edge of the stairwell to align with the outside line of the bathroom wall.

Chair Eckhardt asked the commissioners if they were ready to make a motion, and if so, he was in favor of it.

Mr. Hautzinger reiterated Staff's concerns about the lack of context that the proposed house has with the existing neighborhood. He referred back to the examples of modern houses shown on Page 2 of the Staff report, specifically Image 1, which depicts a house designed with pitched roof forms, yet maintains a very modern appearance with a modern window arrangement, flat canopy detail, modern material application, but also has a more subtle earth tone color palette. He heard no discussion tonight about Staff's recommendation to consider revising the proposed design to have a low hipped roof, similar to the adjacent homes, which would address the commissioners' concerns about context as well as rain water flow issues. He explained that adding a hipped roof to the design does not have to compromise the modern

style of the proposed home, but it could help the massing of the home to better fit in the existing neighborhood. **Mr. Hautzinger** also reiterated Staff's recommendation to consider a more subtle color palette for the proposed home, stating that the design is already bold in appearance; does it also need to be bold in color? A color palette of tan matched with a cream color and dark brown window frames would maintain the proposed appearance, but in a more subtle way. Finally, **Mr. Hautzinger** pointed out the lack of organization on the front elevation of the home. The second floor windows were aligning nicely with each other, but the first floor windows and panel grid lines had no relationship to each other or the second floor windows. He reiterated Staff's recommendation that the design be further developed for re-review, and encouraged the design commissioners to consider Staff's concerns.

Chair Eckhardt said that he previously commented about the lack of window rhythm on the first-floor; however, the more he looked at the home, the more he understood the homeowner's intent. In terms of the colors, he felt that a massing model of the home would have been helpful because there was something lost between a flat elevation and the reality that the home is not designed as a flat elevation. He felt the petitioner's efforts are to homogenize what the design is, similar to the test energy home built at the Museum of Science & Industry.

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, TO APPROVE THE DESIGN OF THE PROPOSED NEW SINGLE-FAMILY HOME TO BE LOCATED AT 905 N. FERNANDEZ AVENUE. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE ARCHITECTURAL PLANS RECEIVED 12/18/14, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND RESOLUTION OF THE FOLLOWING:

- 1. A REQUIREMENT THAT THE SECOND-FLOOR LAUNDRY ROOM ON THE NORTH ELEVATION BE MOVED IN 2-FEET.**
- 2. A REQUIREMENT THAT THE EAVES ON THE NORTH ELEVATION BE REDUCED FROM 18-INCHES TO 6-INCHES.**
- 3. A REQUIREMENT TO CHANGE THE WHITE TRIM COLOR TO A DARKER COLOR SUCH AS "GUN METAL GRAY", TO BE REVIEWED BY STAFF.**

There was no second to the motion. **Commissioner Fasolo** asked that a recommendation be added to the motion regarding the roof slope on the front elevation.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE DESIGN OF THE PROPOSED NEW SINGLE-FAMILY HOME TO BE LOCATED AT 905 N. FERNANDEZ AVENUE. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE ARCHITECTURAL PLANS RECEIVED 12/18/14, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND RESOLUTION OF THE FOLLOWING:

1. A REQUIREMENT THAT THE SECOND-FLOOR LAUNDRY ROOM ON THE NORTH ELEVATION BE MOVED IN 2-FEET.
2. A REQUIREMENT THAT THE EAVES ON THE NORTH ELEVATION BE REDUCED FROM 18-INCHES TO 6-INCHES.
3. A REQUIREMENT TO CHANGE THE WHITE TRIM COLOR TO A DARKER COLOR SUCH AS "GUN METAL GRAY", TO BE REVIEWED BY STAFF.
4. A RECOMMENDATION THAT THE PETITIONER LOOK AT THE ROOFLINE ON THE FRONT ELEVATION AND CONSIDER PITCHING THE ROOF DOWN FROM SOUTH TO NORTH.
5. THIS REVIEW REPRESENTS DESIGN APPROVAL ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, SIGN CODE OR BUILDING OR ANY OTHER REVIEWS.
6. IT IS THE PETITIONER'S RESPONSIBILITY TO SUBMIT THE APPROPRIATE PERMIT APPLICATION(S) TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH ANY WORK. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

Chair Eckhardt asked for clarification on the suggestion to change the roof form on the front elevation to a sloped roof. **Commissioner Fasolo** explained that his preference for a sloped roof on the front elevation is to be similar to the sloped roof on the sides of the home. He also felt the sloped roof would better relate to other roof forms in the neighborhood. **Chair Eckhardt** understood and agreed, but expressed concern that the proposed TPO roof membrane is an unattractive roofing material.

**FITZGERALD, AYE; FASOLO, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. THE MOTION CARRIED.**

RECEIVED

FEB - 9 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PETITION

NOW COMES the Petitioner Travis and Marissa Juracek

being the owners of the property commonly known as: 905 N Fernandez Ave

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Sections 5.1-3.5, 5.1-3.6, 6.6-5.1, and 11.2-11.1.d, Chapter 28, of the Arlington Heights Municipal Code, in order to: construct a new two-story single family residence on the property, utilizing the existing foundation of the current structure.

I hereby state that the following hardship would exist if the variations were not granted:

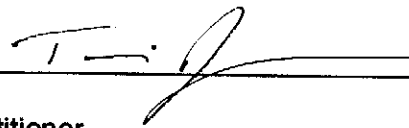
We the petitioners are planning to reuse the existing foundation in the construction of our new home. The condition of the existing foundation is in good structural shape, providing a good base for our future home. Moving the foundation to fit within the required setbacks and driveway width requirements would require an additional \$40-50K, with minimal reasonable returns beyond meeting the zoning requirements. The lot size can not be changed, and the width is slightly under the minimum lot width allowing the Building Department to issue a permit.

I hereby state that the following unique circumstances exist:

After careful consideration of the condition of the existing structure, we the Petitioners are planning on removing the existing structure down to the first floor deck and rebuild a two-story structure on the existing main footprint. The existing foundation on the north side of the property is 3.89 feet from the property line, or 1.11 feet over the side yard setback. Due to this, the roof eaves encroach more than the 12.5 inches allowed into the side yard setback. The location of the existing foundation on the south side of the property only allows for a driveway width of 8.9 feet to access the garage in the rear of the property. The survey measured the existing pin locations as 49.89 feet apart in the front yard. These can not be changed, thus a zoning appeal must be made for the building department to issue a building permit. The zoning review from DC #14-137 has been attached to this PETITION.

I hereby state that the variation, if granted, will not alter the the essential character of the locality because:

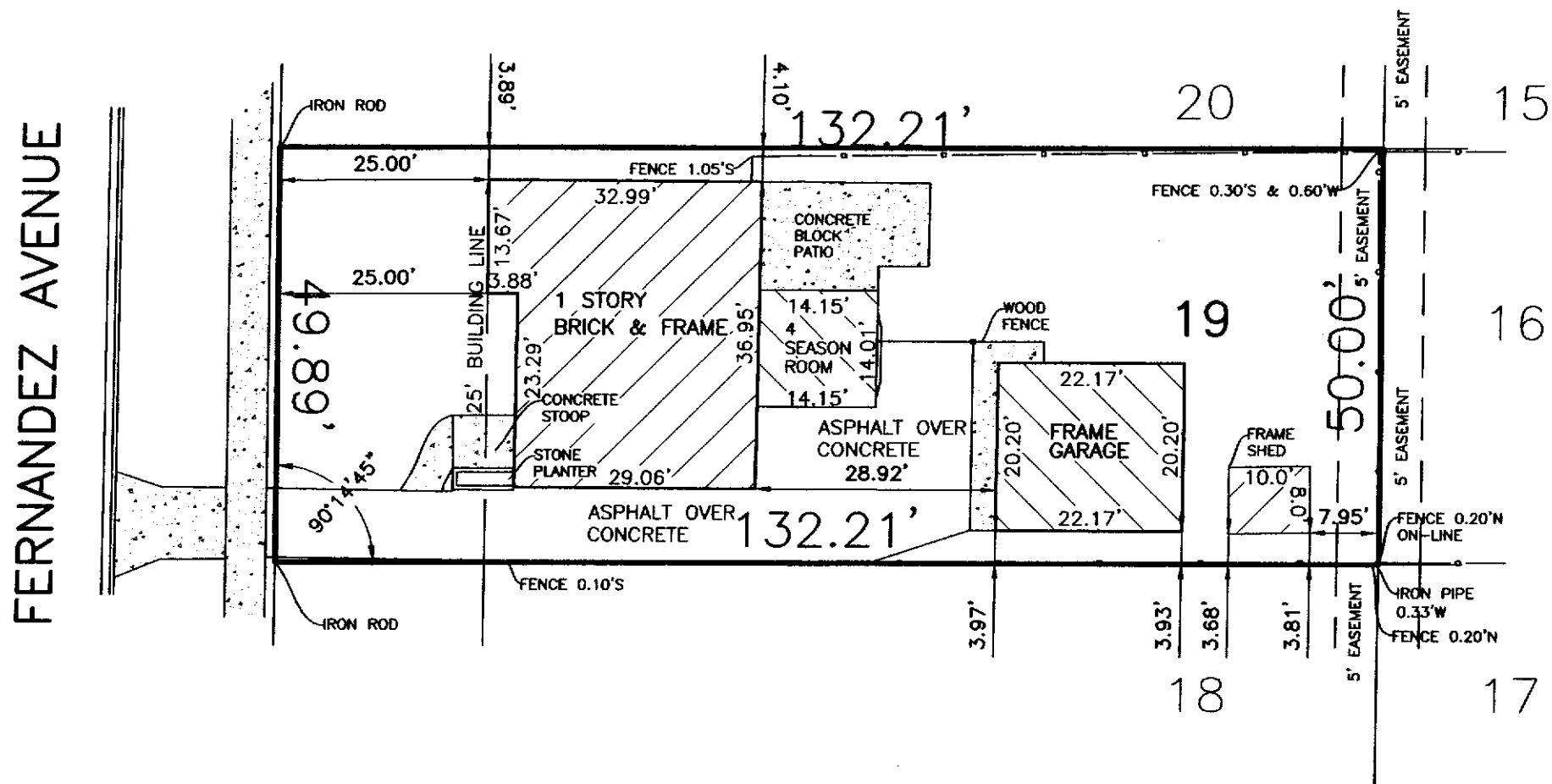
When designing the new structure, careful planning and consideration were given in respect to setbacks and the scale of the neighborhood. Other than at the location of the stairs, the north side of the house is setback 2 feet at the second floor. Adjustments have been made at the recommendation of the Design Commission to minimize the roof intrusions into required setbacks. The variations requested are due in part to the location of the existing foundation, and by rebuilding upon that foundation, we are maintaining the existing character as much as possible. The property's scale is well within the range of surrounding homes. This is helped by setbacks in the second floor, a reduction in the building footprint, not maximizing building F.A.R., and other various methods. All of these items help to maintain, if not augment, the essential character of the locality.

Signed: 
Petitioner

Date: 02-09-15

618 S. Broadway St.
Mchenry, Il. 60050

LOT 19 IN BLOCK 1 IN R.A. CEPEK'S ARLINGTON HEIGHTS RIDGE, BEING A SUBDIVISION OF THAT PART OF THE WEST $\frac{1}{2}$ (EXCEPT THE EAST 33 FEET THEREOF) OF THE NORTHEAST $\frac{1}{4}$ AND THE SOUTH $\frac{1}{2}$ OF THE NORTHWEST $\frac{1}{4}$ OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING NORTH OF THE NORTHEASTERLY LINE OF NORTHWEST HIGHWAY, SAID NORTHEASTERLY LINE OF HIGHWAY, BEING 66 FEET NORTHEASTERLY OF AND PARALLEL TO THE NORTHEASTERLY LINE OF C AND N.W. RAILWAY COMPANY RIGHT-OF-WAY, IN COOK COUNTY, ILLINOIS.



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DEVELOPMENT DEPARTMENT

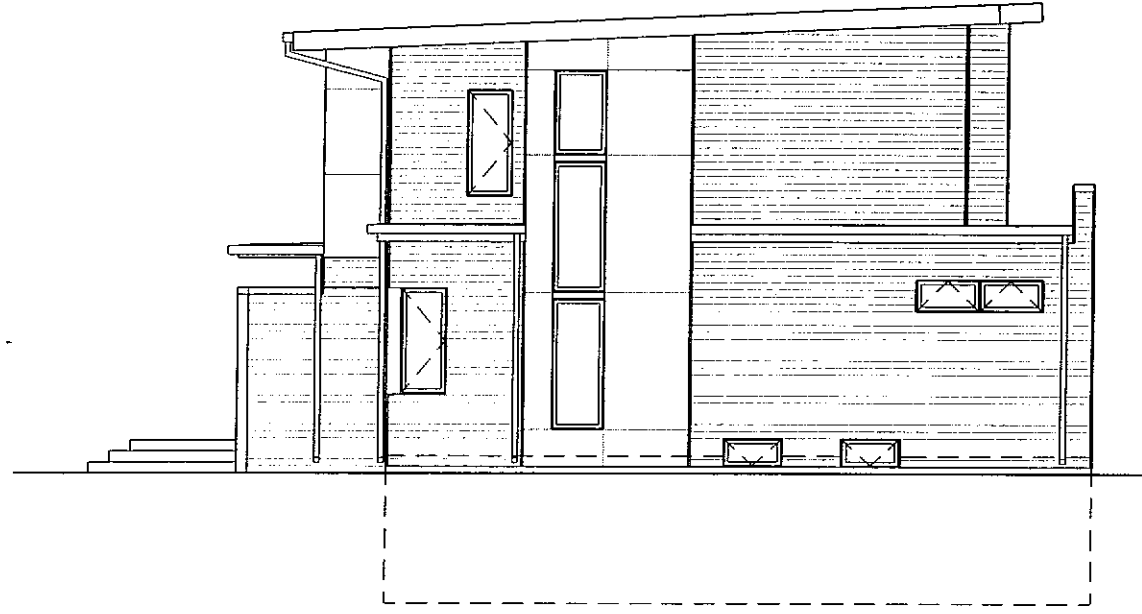
STATE OF ILLINOIS
COUNTY OF MCHENRY } SS
I, TOMMY W. ATKINS, ILLINOIS PROFESSIONAL LAND SURVEYOR, IN THE
STATE OF ILLINOIS, DO HEREBY STATE THAT I HAVE PREPARED THE PLAT
OF SURVEY DEPICTED HEREON. THIS PLAT REPRESENTS THE CONDITIONS
FOUND AT THE TIME OF SAID SURVEY. THIS PROFESSIONAL SERVICE
CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE
APPLICABLE TO BOUNDARY SURVEYS.
CERTIFIED AT MCHENRY, ILLINOIS THIS 15th DAY OF NOVEMBER, 2014

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3266
MY LICENSE EXPIRES NOVEMBER 30, 2016

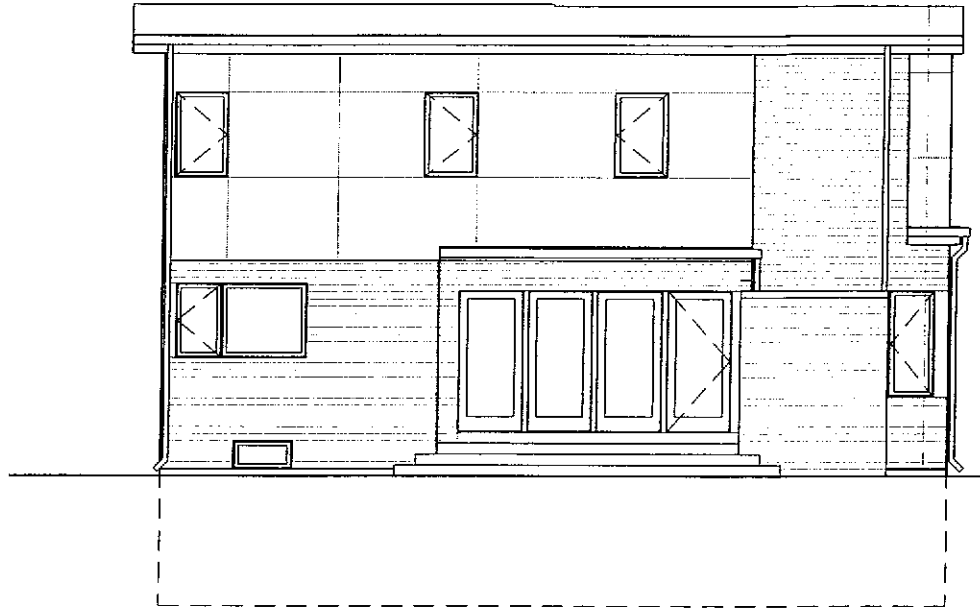
NOTE: ONLY THOSE BUILDING
LINE RESTRICTIONS OR
EASEMENTS SHOWN ON A
RECORDED SUBDIVISION PLAT
ARE SHOWN HEREON.

COMPARE YOUR DESCRIPTION
AND SITE MARKINGS WITH
THIS PLAT AND AT ONCE
REPORT ANY DISCREPANCIES
WHICH YOU MAY FIND.

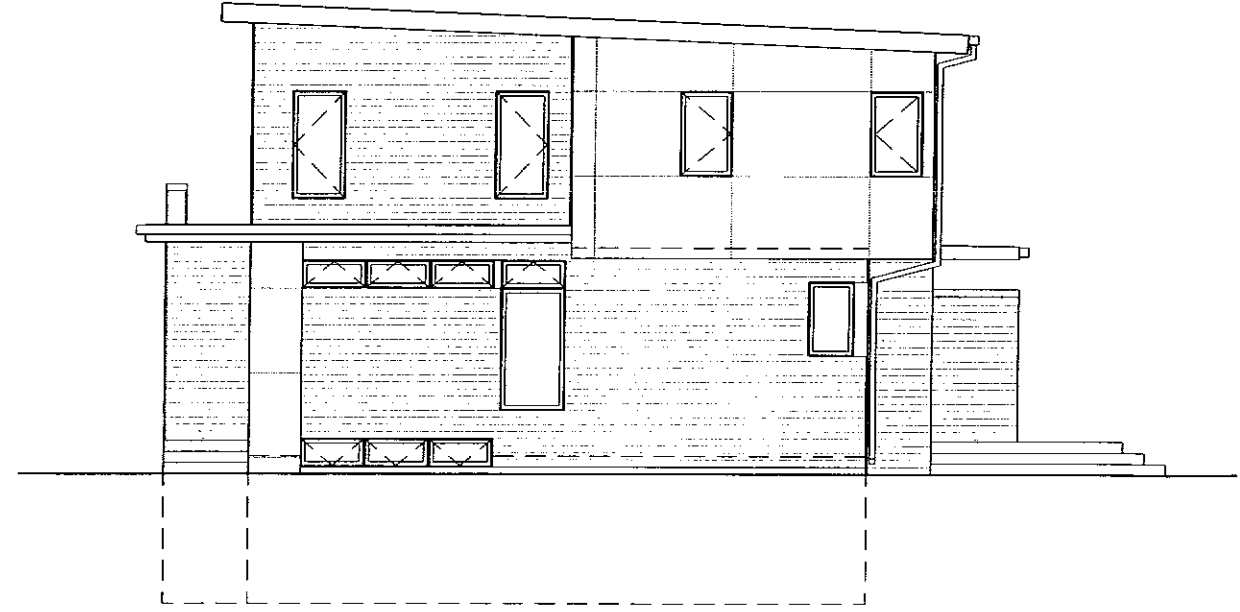
BL = BUILDING LINE
BSL = BUILDING SETBACK LINE
PUDE = PUBLIC UTILITY AND DRAINAGE EASEMENT
PUE = PUBLIC UTILITY EASEMENT



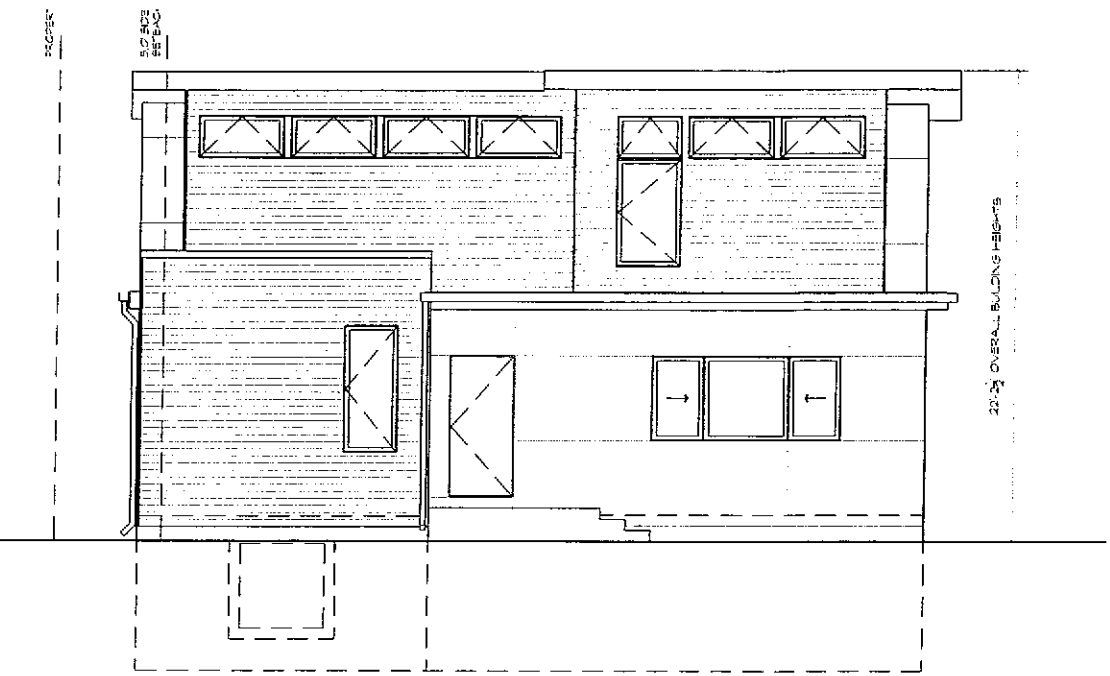
4 LEFT SIDE ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION
A2.0 SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS		REVISIONS	
PRIVATE RESIDENCE 905 N FERNANDEZ AVENUE ARLINGTON HEIGHTS, ILLINOIS 60004	DRAWN BY: TJ	NO:	DATE:
		REMARKS:	
		02-09-15 ISSUED FOR ZONING REVIEW	