



Agenda
Village of Arlington Heights
Design Commission
Community Room, 3rd Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
February 23, 2016
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Minutes 2/9/16

IV. REPORTS

V. OLD BUSINESS

- A. DC#16-004 - 831 N. Harvard Ave. - SF/Teardown
- B. DC#12-103 - Sign Code Modifications - Intent & Purpose
- C. DC#09-025 - Village-Wide Electronic Signs

VI. NEW BUSINESS

- A. DC#16-012 - 407 N. Gibbons Ave. - SF/New
- B. DC#15-156 - Sign Code Modifications - Drive-through Restaurant Signage
- C. DC#15-157 - Sign Code Modifications
Manual Change Bulletin Boards/Changeable Panel Signs
- D. DC#15-167 - Sign Code Modifications
Residential Ground Signs

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible

formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Minutes - 2/9/16

Department: Planning & Community Development

ATTACHMENTS:

Description

DC Minutes 2/9/16

Type

Minutes

DRAFT

**MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
FEBRUARY 9, 2016**

Acting Chair Bombick called the meeting to order at 6:30 p.m.

Members Present: Ted Eckhardt, Chair
Alan Bombick
John Fitzgerald
Jonathan Kubow

Members Absent: Anthony Fasolo

Also Present: Brian Hyde, Greenscape Homes for *831 N. Harvard Ave.*
Keith Neumann, Greenscape Homes for *831 N. Harvard Ave.*
Chris Baum, 5th Avenue Construction for *1806 N. Walnut Ave.*
Taso Siamantourat, Owner of *TNT's Snack Shop*
Lee Ford, Hunzinger Williams for *TNT's Snack Shop*
Josh Snodgrass, RJ Development for *Memory Care*
Steve Hautzinger, Staff Liaison

REVIEW OF MEETING MINUTES FROM JANUARY 26, 2016

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER BOMBICK, TO APPROVE THE MEETING MINUTES OF JANUARY 26, 2016. THE MOTION CARRIED.

ITEM 1. SINGLE-FAMILY TEARDOWN REVIEW**DC#16-004 – 831 N. Harvard Ave.**

Brian Hyde and **Keith Neumann**, representing *Greenscape Homes*, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing single story residence with a one car attached garage to allow construction of a new two story residence with an attached two car garage. The project does comply with all R-3 zoning requirements. The existing neighborhood consists of a variety of smaller scale single-story and two-story homes with a mix of detached and attached garages. However, the subject property is surrounded by a very consistent collection of two-story Georgian style brick homes with attached garages. These existing houses have a very consistent appearance and similar characteristics such as: flat facades, low-slope roofs, all brick exteriors, and front load garages that are slightly recessed from the front of the home.

Staff felt the proposed design did not fit with the context of the surrounding houses due to the following features: steep roof pitches, all siding exterior, and a garage that projects 8.5 feet in front of the house. It is recommended that the proposed design be revised to better fit with the surrounding context. This could be achieved by recessing the garage from the front wall of the house, omitting the steep roof above the garage, and revising the main roof pitch to a lower slope hipped design. Additionally, a brick exterior is recommended to match the surrounding homes. Staff recommended that the design be revised and re-reviewed. **Mr. Hautzinger** acknowledged that recessing the garage further back would require the floor plan to be revised.

Mr. Neumann acknowledged that many of the properties immediately south of the site have a Georgian style which they did not want to take away from. They are proposing a different design element that includes a siding type elevation. They took into consideration the single-story garages that exist in the neighborhood and are proposing the single-story gable that projects out over the garage, which they felt decreases the massing of the house. **Mr. Neumann** said they are not in favor of recessing the garage further back as suggested by Staff because they felt it would increase the massing and the 2-story feel of the home. As a result of Staff comments, a revised option more consistent with the neighborhood that brings the brick characteristics into the new home was presented. **Mr. Hyde** explained that the revised elevation includes pulling the front porch further out in front of the garage to draw more attention to the front door, downplaying the garage by hipping the garage roof with a small dormer, changing the siding to brick on the front elevation except for the gables, and more traditional detailing with porch columns and window shutters.

Commissioner Kubow asked if the garage was in the same location on the revised elevation and **Mr. Hyde** replied that it was. Although he appreciated that the porch was extended forward, **Commissioner Kubow** was concerned that the porch would now be slightly awkward, long and thin. In general, he liked the proposed design and felt that Staff did a good job with their recommendations, which he supported. He acknowledged that moving the garage back 3 to 5-feet would dramatically change the floor plan, and he was hesitant to make this a requirement; however, in terms of the roof massing, he said this was definitely the direction to go in. He felt there was a prominent Georgian style and consistent aesthetic on the street and he wanted to see the project go towards Staff's recommendations.

Commissioner Bombick pointed out that compatibility is the reason for Design Commission review. He felt the real pattern of the neighborhood are homes that are equal to or slightly in front of the garage,

which is the most important characteristic here. The eave height on the second-floor of the adjacent Georgian home is within 1 to 2-feet of what the petitioner is proposing; the real difference is the height of the roof, and the proposed new home is about the same mass as what is around it. He liked the elevation that was originally presented versus the revised elevation presented tonight, with a suggestion to push the gable back, hip the sides on the main roof, and push the garage further back to fit better with the character of the neighborhood.

Commissioner Fitzgerald appreciated the revised design which he was okay with knowing that the front porch is being brought forward and the garage roof appears to be less of a mass. He asked about the 43-inch caliper tree in the backyard. The petitioner stated that the site is still being engineered; however, the tree appears to be close to the foundation of the new home and may need to be removed. **Commissioner Fitzgerald** encouraged the petitioner to take precautions to try to save the tree during construction.

Chair Eckhardt asked if the revised elevation included brick on the sides of the home and the petitioner clarified that the revised elevation only proposes brick on the front, with a brick return of approximately 2-feet onto the side elevations. **Chair Eckhardt** was in favor of the change to the roof and the front porch being brought forward on the revised design, and felt that pushing the garage back would impact the floor plan and push the home into the backyard on this small lot. He was also okay with the original elevation submitted.

Commissioner Bombick asked why the home could not be brought forward to meet the front of the garage, getting the home out of the back yard. He felt the petitioner should be held responsible for proposing a design that is not compatible with the neighborhood, and the commissioners should stop letting developers tell them what to do with neighborhoods and worry more about the quality of life in Arlington Heights, which is livable walkable neighborhoods with eyes on the street and living spaces forward, and not end up with a town full of garages with homes attached to them. He could not support the design.

Chair Eckhardt asked if there was any public comment on the project and there was a response from the audience.

PUBLIC COMMENT

Nancy Johnson, 1115 W. Elm Street, lives directly north of the site in a ranch home on the corner. She was concerned that the new home did not fit the neighborhood that consists of ranch style and Georgian style homes. This would be the first teardown on the block and she felt it would overpower her home because there is nothing like it on the block, from Elm down to Northwest Highway. She asked about the placement of the new home in relation to her home because the homes are very close to the lot line. **Chair Eckhardt** said that the separation between the 2 homes would be 13-feet, which is slightly more than existing. Ms. Johnson also asked where to address any concerns she may have during the demolition of the home because of the close proximity of her home. **Chair Eckhardt** directed her to the Building Department for any concerns during construction. Ms. Johnson also commented about the large tree in the backyard that is damaging her car and outdoor furniture with sap, and she is concerned that the tree would fall at some point and crush her home. She would be extremely happy if the tree was removed.

Jack Costello, 826 N. Harvard Avenue, lives across the street from the site. He agreed with the comments made by the other neighbor and the comments made by the commissioner that the existing aesthetics

of the block are uniform with Georgians and ranch style homes, especially on this stretch of the block. He pointed out the aesthetic changes with newer homes further north to the 900 block, making that block feel more jarring and less organic than his block. He liked the revised elevation that was presented tonight, and the closer the design comes to fitting in and being less jarring on the block, the more it will be appreciated.

Chair Eckhardt asked the petitioner for their response to the concerns stated by the neighbors and the commissioners. The petitioner replied that pushing the garage further back would be a huge step forward; however, it would result in a huge change in the floor plan that would be a challenge on this small lot with the FAR requirements. **Commissioner Bombick** reiterated his previous suggestion to bring the home forward to meet the garage, not push the garage back. The petitioner explained that they looked at pulling the rest of the home on the left side forward and determined that it would greatly affect the floor plan.

Chair Eckhardt felt the petitioner made strides with the roofline. He said that one of the challenges in the design was the overall simplicity of a Georgian home and the difficulty in creating a design that looks like a Georgian home; however, he felt that it could be done, although the narrow lot made it difficult. He suggested the petitioner make more effort to revise the design to protect the integrity of the Georgian style of homes on the street, or they could move forward with a vote tonight.

Commissioner Fitzgerald liked the direction the design was going in, but preferred to see the project come back with a more simplified Georgian style if possible. He felt the added brick and revised rooflines help a great deal. **Commissioner Bombick** felt the revised design came a long way towards the Georgian style; however, he was concerned about the relative position of the garage, which was his biggest concern. Bring the home forward to meet the garage with the porch sticking out a bit, with a casual look. He felt the mass of the home was about the same as what is around it, with the eave line being very close.

Commissioner Kubow said that although he appreciated the revised elevation presented tonight, he liked the first elevation much more, and he liked the color and material palette as well. In general, he felt that what Staff recommended in their report is what really belongs in this neighborhood, and he could not support what is being proposed today.

Chair Eckhardt was undecided between the original design and the revised design. He felt the clipped roof in the revised elevation and lowering the slope was helpful. He was in favor of simplifying the front elevation and making it more flat, which would be more consistent with the Georgian style of the other homes on the block. With these changes, he could be supportive; however, he felt that both the original and the revised design needed work. He felt the project should come back for a second review and he encouraged the petitioner to table the project tonight and return with a revised design. **Mr. Hautzinger** advised the petitioner that the deadline for submitting revisions for the next meeting on February 23 is the end of this week, otherwise there is the option of the meeting after that on March 8. **Chair Eckhardt** encouraged the petitioner to come back in two weeks on February 23, even with a rough drawing of a revision.

A MOTION WAS MADE BY COMMISSIONER BOMBICK, SECONDED BY COMMISSIONER KUBOW, TO CONTINUE THE PROJECT FOR 831 N. HARVARD AVENUE (DC#16-004) TO THE NEXT DESIGN COMMISSION MEETING ON FEBRUARY 23, 2016.

**BOMBICK, AYE; KUBOW, AYE; FITZGERALD, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. THE MOTION CARRIED.**

Mr. Hautzinger asked for clarification that overall, the commissioners felt that the garage needed to be pushed back. The commissioners replied that the home could come forward to align the front of the home with the garage. **Commissioner Bombick** added that the left side of the home could easily slide forward in plan, and the floor plan re-arranged to stay within the FAR, while obtaining a flatter front elevation. **Chair Eckhardt** said that his primary goal is to get the front elevation to be more like a Georgian home; whether the garage is pushed back or not. **Commissioners Kubow** and **Bombick** agreed. **Chair Eckhardt** reiterated that this would be the first teardown on the block and two neighbors spoke tonight with concerns. **Commissioner Bombick** commented that some neighborhoods such as this one were built with a more consistent style of home, as opposed to other neighborhoods that are a mix of home styles.

ITEM 2. SINGLE-FAMILY TEARDOWN REVIEW

DC#16-006 – 1806 N. Walnut Ave.

Chris Baum, representing *5th Avenue Construction*, was present on behalf of the project.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing single story residence with a one car attached garage to allow construction of a new two story residence with an attached, three car tandem garage. The project does comply with all R-3 zoning requirements. The existing neighborhood consists of primarily single story homes with a mix of one car and two car attached garages. This project is appearing before the Design Commission due to past concerns in this neighborhood regarding teardown/new construction, and to evaluate the proposed architectural design with the context of the neighborhood. However, the Design Commission has previously approved numerous teardowns in this neighborhood, and there are three newer homes adjacent to the subject site. The proposed design has a two car garage door on the front of the house, with a third car tandem space. This arrangement is a nice way of incorporating a three car garage by limiting the amount of garage doors across the front of the home.

Overall, the proposed design is consistent with other newer homes approved in this neighborhood. However, one goal for new homes in this neighborhood should be to be sensitive to the scale of the adjacent single story homes. The following recommendations can help reduce the visual size of the proposed design:

1. The proposed two-story bay window on the front of the home is a nice feature, but it has a very tall appearance that is not in context with the adjacent single story homes. It is recommended that the two story bay window feature be reduced to a single story bay to better relate to the adjacent single story homes. Similarly, the two-story bay on the rear of the home should be reduced to a single story bay.
2. The second floor dormer on the front of the home has a tall appearance that looks too large for this neighborhood. It is recommended that the height of the dormer be reduced by omitting the transom windows.
3. It is recommended that the sides of the roof be hipped to reduce the overall height of the side walls.
4. For a more cohesive design, it is recommended that the stone base on the front of the garage be continued down the side of the garage.

Staff recommends approval of the proposed design with the revisions recommended in the Staff report.

Mr. Baum said that he fully understood the concerns in the Staff report and could work with the suggestions from Staff.

Commissioner Kubow said that the front elevation especially, was well designed and he agreed with Staff's recommendations that some of the features on the home make it look more vertical than it should. He did not mind the bay element on the front elevation; however, the dormer feature did not fit with the overall architectural aesthetic. He agreed with Staff to continue the stone band around to the right side elevation. He had no further comments. **Mr. Baum** explained that the staircase is located inside the two story bay on the front of the house, which is why the elevation was designed the way it is.

Commissioner Fitzgerald liked the idea of bringing the stone around to both sides of the home, one side around the garage and the other side approximately 3 to 5-feet. He was a little torn about the front elevation, although he felt the home was beautiful and he liked everything about it including the colors. He felt that the majority of the rooflines and gutter lines would mimic the adjacent home to the right, and he liked the 2-story element in the rear. **Mr. Baum** said that they built the adjacent home to the right and they did not want to mimic it; they want to add a different architectural look and feel to the neighborhood. **Commissioner Fitzgerald** liked the front elevation as submitted.

Commissioner Bombick said that the front elevation in general was nice, and he appreciated that the third car stall was hidden. His concern was with the left side elevation, and he suggested bringing the one-story feature across this elevation. He also felt the right side elevation was too plain compared to the front elevation and **Mr. Baum** suggested adding shake shingles.

Chair Eckhardt pointed out the very pronounced turret on the front elevation of the home located at 1818 N. Walnut. He felt this made the 2-story element on the front elevation being proposed look small, and he was less concerned about it. He liked Commissioner Bombick's suggestion to carry the one-story feature around to the left side elevation, and the petitioner's suggestion to add shake shingles to break up the mass. He agreed that the front elevation was more detailed than the sides and rear of the home, which he felt the petitioner could resolve.

Mr. Baum was not opposed to adding details to the right side elevation, and adding shake to the second-floor of the left side elevation with stone at the base. **Commissioner Bombick** suggested adding an eave return along the right side elevation, which **Mr. Baum** agreed with.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE ARCHITECTURAL DESIGN FOR THE PROPOSED NEW SINGLE-FAMILY HOME TO BE LOCATED AT 1806 N. WALNUT AVENUE. THIS APPROVAL IS BASED ON COMPLIANCE WITH THE ARCHITECTURAL PLANS RECEIVED ON 1/20/16, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. **A REQUIREMENT TO CONTINUE THE STONE BASE ONTO THE RIGHT SIDE ELEVATION ALL THE WAY TO THE LINE OF THE GARAGE ROOF.**
2. **A REQUIREMENT TO ADD SHAKE SHINGLES TO THE SECOND-FLOOR.**
3. **A REQUIREMENT TO CONTINUE THE STONE BASE AND THE FRONT PORCH ROOF EAVE ONTO THE LEFT SIDE ELEVATION THE SAME DISTANCE, AND WORK WITH STAFF TO DETERMINE THE APPROPRIATE DISTANCE.**
4. **THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.**
5. **COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.**

Chair Eckhardt asked if there was any public comment on the project and there was no response from the audience.

**FITZGERALD, AYE; KUBOW, AYE; BOMBICK, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.**

ITEM 3. COMMERCIAL REVIEW

DC#16-007 – TNT’s Snack Shop – 1706 W. Campbell St.

Mr. Lee Ford, representing *Hunzinger Williams*, and **Mr. Taso Siamantourat**, the owner of TNT’s Snack Shop, were present on behalf of the project.

Mr. Hautzinger presented Staff comments. TNT’s Snack Shop is an existing restaurant that is approximately 1,000 square feet, of which approximately 380 square feet is indoor seating area. The restaurant also has an existing outdoor dining patio facing the street that is approximately 688 square feet. The petitioner is proposing to add a metal canopy structure to the front of the building to cover the outdoor dining patio. The canopy structure will attach to and encompass an existing wood pergola structure, and will include fabric panels with clear vinyl windows that can be rolled down to partially enclose the patio during times of inclement weather.

This project received a preliminary Design Commission review on December 8, 2015. At that time, the petitioner presented a red fabric canopy design with roll down fabric enclosure panels and removable swinging door panels. Staff reported that a similar proposal by Mr. Beef restaurant on Arlington Heights Road was previously reviewed and not supported by the Design Commission.

Overall, the Design Commission was in support of the proposed canopy structure for TNT’s Snack Shop, with feedback as follows:

1. Two canopy design options were presented, with and without legs at the corners. The option with legs at the corners was preferred by the majority of the commissioners.
2. The proposed roll down fabric wall panels with clear vinyl window openings were supported by the commissioners, with the understanding that the panels will be rolled up most of the time.
3. Concern was expressed about the bright red color for the canopy, and it was encouraged that the canopy be changed to a burgundy color to match the existing trim on the building.
4. It was encouraged to relocate the existing ground sign to avoid conflict with the new canopy.

Mr. Hautzinger stated that since the preliminary review, this proposal has been shared with both the Building Department and the Fire Department for a preliminary building code review. He shared their comments and concerns as follows: a licensed Structural Engineer is required to design the structure, the open doorways shall remain open at all times, heaters are not allowed within the enclosure, the wall panels create visibility concerns along the sidewalks and driveways, and concerns regarding enclosure of the combustible wood pergola within the structure.

Mr. Hautzinger also reported that the petitioner has made changes since the preliminary review. Due to building code restrictions, the swinging door panels have been omitted from the design. The awning is now proposed to be constructed of standing seam metal, instead of fabric. The proposed color has been modified from a bright red color to a slightly darker red color.

Overall, Staff does not object to the appearance of the proposed open canopy design, however, a fabric material for the awning construction is preferred instead of the proposed standing seam metal. The fabric material has a milder appearance that is more appropriate for a covered outdoor dining patio. Additionally, Staff feels that the canopy color should be a darker burgundy color to match the existing building trim. However, Staff does have concerns regarding the proposed roll down panels including: aesthetics, obstruction to visibility, security, and precedent. Staff feels that the appearance of the

canopy is much nicer without the wall panels in place, and if approved with the panels, they will be down most of the time and throughout the winter months. As reported by the Building Department, the enclosed patio creates visibility concerns for pedestrians and vehicles entering and exiting the adjacent walks and driveways. If the panels were left down in the evening hours when the business is closed, it could attract security concerns as an inviting shelter. Finally, the Design Commission should consider the precedent that approving this type of enclosure may set for other businesses in Arlington Heights with outdoor dining patios.

If the Design Commission decides to approve the proposed canopy with the roll down wall panels included, then restrictions could be considered such as: requiring the wall panels to be rolled up and stored, concealed from view, at the end of each business day and whenever the restaurant is not open for business, and requiring the wall panels to be rolled up and stored, concealed from view, throughout the duration of the winter months, December through February. However, since these restrictions will be unenforceable, it is recommended that the wall panels be omitted from the design.

With regards to the existing ground sign located within the existing outdoor dining area, the proposed canopy conflicts with the sign support pole, so the proposed design has the sign pole passing through an opening in the canopy. Constructing an awning around the existing sign will have a poor appearance and essentially converts the existing ground sign to a sign that will be above the roof of the canopy. Signs which are placed upon or project above the roof of a building are not allowed by code. Therefore, it is required that the existing sign be removed or relocated to a code compliant location on the site.

Staff recommended that the Design Commission evaluate the proposed design with recommendations that the canopy material be fabric instead of metal, the color be burgundy to match the existing building trim, the roll down panels be omitted, and the existing ground sign be removed or relocated.

Chair Eckhardt asked if there was any public comment on the project and there was no response from the audience.

Chair Eckhardt asked for clarification that the panels being proposed would include clear plastic and **Mr. Siamantourat** said that they would.

Mr. Ford said that they are okay with Staff's suggestion to use a fabric roof in place of the metal roof. **Mr. Siamantourat** pointed out that the Walgreens across the street has the same metal material he is proposing, which he felt is more durable and popular than fabric. He would appreciate the commissioners allowing him to use metal instead of fabric, and the slightly darker red color. He also asked that the existing ground sign be allowed to remain with the new covered patio.

Mr. Hautzinger said that if the commissioners are okay with allowing the ground sign to remain and penetrate through the top of the proposed new canopy, the proposal would still need to be reviewed from a code standpoint as a prohibited roof mounted sign, and that decision will be made by the Director of Planning and Community Development. He added that the existing ground sign could be relocated adjacent to the proposed new canopy. **Mr. Ford** stated that the awning could be installed with or without the existing ground sign. **Mr. Hautzinger** reiterated that both the Building Department and Fire Department have expressed concerns about the proposal from a structural standpoint and that the pergola is combustible. He suggested the petitioner consider removing the wood pergola and design the new canopy to clear span the patio.

Chair Eckhardt clarified that the Design Commission would be reviewing only the aesthetics of the proposed new structure, and the other issues were under the purview of the Building Department.

Commissioner Bombick felt that somewhere inside the restaurant building lurked a very cool 50's diner that has been covered up and hidden with the things around it, and it probably should be on some historical preservation list. He pointed out that the context of the surrounding area is a collection of odds and ends, with none of it being terribly attractive, and he felt that adding the red fabric structure on the site would give focus to the building while taking focus away from the unattractive things around it. Although the proposed structure was not beautiful, it had a nice character to it, better than what is around it. He was concerned that when the panels are down they would appear very flat, and **Mr. Ford** replied that the panels would actually be recessed about 2-3 inches, which **Commissioner Bombick** was happy about. He felt it was the petitioner's choice between a metal or fabric roof, although fabric is lighter and would make the structure look more festive and fun; however, metal is more durable. Instead of moving the existing ground sign, **Commissioner Bombick** suggested moving the canopy structure over slightly, which would eliminate the issue of whether it was a roof mounted sign. He reiterated that he felt the proposed structure was better than what is around it in terms of taking your eyes away from the ugliness of this intersection.

Commissioner Fitzgerald said this was very similar to what was presented at the preliminary review, and he was fine with it. He did not have a problem between the metal roof, or a problem with the sign or the panels that roll down, which he felt would be up most of the time. His only concern was that the trim color on the building should match the red color of the new awning structure.

Commissioner Kubow liked the structure being proposed, which would help liven up the bland intersection. He was concerned about using two different materials because of how differently each material would age. He felt that all one material should be used for the entire structure, with fabric being his preference because it is softer and more welcoming. He was in favor of eliminating the wall panels for a simple and clean look, and he felt it was extremely important that the color of the canopy match the trim color on the building as close as possible. He felt the existing ground sign was fantastic and he did not want to require that the sign be moved; however, he felt the sign should stand on its own as a focal point instead of appear floating above the new canopy. Overall he felt the new canopy would look great.

Chair Eckhardt agreed with the comments made by Commissioner Bombick. He liked the existing ground sign and felt it should stay where it is. He was in favor of the roll down panels as proposed, especially if they are clear, because of their importance in weather conditions. He agreed with the commissioners' concerns that the awning and trim color match, and he was disappointed that the canopy door was eliminated.

Commissioner Bombick said the commissioners should come to a conclusion about whether or not the existing ground sign should remain, if the Village will allow it, or should the entire canopy structure move over to avoid the issue. **Mr. Siamantourat** replied that the canopy could not be moved over and he would take the sign down if the Village told him to.

With regards to the metal versus fabric for the awning, the commissioners were okay with either one, although the metal was probably more manageable in terms of maintenance. With regards to the existing ground sign, the commissioners unanimously approved of where the sign is currently located, and they were okay with the proposed awning color, as long as the building trim color matches it. With

regards to the canopy wall panels, the commissioners all felt the panels should be included for the usefulness of the structure.

Commissioner Bombick said there is a fairness issue here and he wanted to make sure that every business gets treated the same.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE PROPOSED DESIGN FOR A NEW CANOPY ADDITION TO THE *TNT'S SNACK SHOP* LOCATED AT 1706 W. CAMPBELL STREET. THIS APPROVAL IS SUBJECT TO COMPLIANCE WITH THE PLANS AND ELEVATIONS DATED 2/1/16 AND RECEIVED 2/3/16, PERSPECTIVE RENDERINGS DATED JAN. 2016 AND RECEIVED 1/21/16, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

- 1. A REQUIREMENT THAT THE EXISTING TRIM ON THE BUILDING BE PAINTED TO MATCH THE CANOPY COLOR OR BE AS CLOSE TO MATCHING AS POSSIBLE.**
- 2. THAT EITHER METAL OR FABRIC IS ACCEPTABLE FOR THE CANOPY.**
- 3. THAT THE ROLL DOWN PANELS WITH WINDOWS IN THE CANOPY ARE ACCEPTABLE.**
- 4. THAT THE LOCATION OF THE EXISTING GROUND SIGN IS ACCEPTABLE AS IS.**
- 5. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.**
- 6. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.**

**FITZGERALD, AYE; KUBOW, AYE; BOMBICK, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.**

ITEM 4. COMMERCIAL REVIEW

DC#15-158 – Arlington Heights Memory Care – 511 W. Rand Rd.

Josh Snodgrass, representing *RJ Development*, was present on behalf of the project.

Chair Eckhardt asked if there was any public comment on the project and there was no one in the audience.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to build a new single story, 38,685 square foot, 72 bed memory care facility. The development will also include two independent living duplex cottage buildings at 3,110 square feet each. The site is primarily vacant land with one small, bungalow style residential scale building and a detached garage existing on the site that will be demolished. The property is currently zoned R-1, and the project requires review by the Plan Commission and approval by the Village Board to obtain approval to rezone the property to an Institutional District, as well as approval as a Planned Unit Development.

Overall, the proposed architectural design is nicely done with rich materials and traditional detailing that will complement the surrounding residential properties. The proposed building is set back from the street on all sides which will provide a nice buffer from the surrounding properties, and the single story design will fit in well with the scale of the adjacent single-family homes. The proposed duplex residences fit in well with the development by sharing the same materials, forms, and detailing as the primary building. Staff offers just two minor comments regarding the architectural design:

1. The front entry door is small and understated. Consider enhancing the appearance of the main entrance door by centering it on the wall and adding sidelights and a transom.
2. The wall mounted light fixtures around the perimeter of the building are shown aligned with the top of the windows which looks quite high. Consider lowering them a few feet to be between the windows.

With regards to mechanical unit screening, Staff recommends that the rooftop equipment be moved to the courtyard side of the roof so that it will not be visible, and in place of the mechanical screen, provide two of the decorative triangular dormers on the east side of the roof to break up the expanse of roofing and to match the other sides of the building.

The trash dumpsters and loading area are proposed to be located on the south end of the site. The dumpsters will be screened with a continuous masonry wall to match the design of the building. In addition to the masonry enclosure, abundant evergreen trees and shrubs are proposed to screen this area from the adjacent residences. In addition to the landscaping shown on the plans, the petitioner has added two additional evergreen trees to this area to ensure a continuous landscape screen.

As part of the PUD process, Staff and the Plan Commission will perform a detailed review of the landscaping. Overall, the proposed landscaping is abundant and nicely designed. The petitioner is required to comply with the code requirements for 4" caliper shade trees in all parking islands, a continuous three foot high parking lot screening along the roadways, and a 6 foot high landscape screen along the west property line. To enhance the landscape design:

1. Consider providing specialty pavement in key areas such as the main building entrance and in front

of the duplex cottages.

2. Consider incorporating site furnishings such as benches, trash cans, decorative lighting, and planters.

With regards to signage, signage is not included in this review, and sign permits will be required for all signage. However, given the scale of the building, it is recommended that if a ground sign is proposed for this development, that it be required to be a monument style ground sign, no more than 6 feet in height, and not mounted on a post.

Staff recommends the commissioners consider the suggestions made by Staff and approve the design of the proposed new memory care facility.

Mr. Snodgrass replied to the comments in the Staff report. With regards to the front entry, he pointed out the Staff conference room/office located to the left of the entrance, and their intention to tone down the front door for a more residential look; however, they were not opposed to adding a couple 12-inch sidelights and small transom on the top of the door if necessary. The wall mounted light fixtures around the perimeter of the building were located higher to keep the lights from shining in the units and moving the mechanical equipment to the courtyard side of the roof would need to be evaluated by their mechanical engineer because of the location of the kitchen/dining room.

Chair Eckhardt asked if the rooftop mechanical screen material would match the color of the roof and **Mr. Snodgrass** replied that the screening would be a color to match the trim more than the roof. He added that the client considered adding brick up there to give it more of a chimney look. **Chair Eckhardt** said that he preferred that the screening blend in with the roof color.

Mr. Snodgrass felt that the suggestion to provide specialty pavement in key areas was a great idea. He said that stamped concrete is always used inside the courtyards and they can add it at the porte cochiere areas, as well as in the 20' x 25' pad in front of each duplex. Site furnishings such as benches could be added along the walk facing Rand Road, and additional trash cans were being added to the landscape plans. IN regards to decorative lighting, wall packs are not typically used because of spillage, instead a lighter soffit light is proposed around the entire building for a toned down light and added security. He added that they typically propose a 6-foot brick monument sign with brick columns and a metal panel in colors to match, with one sign planned to be located near the entrance and a second sign at the south end of the site. **Mr. Snodgrass** said that overall, Staff comments were reasonable and they look forward to working out the details with the commissioners.

Commissioner Fitzgerald said that it was a nice project and the materials were nice as well. He agreed with Staff comments; however, if the mechanical equipment stays where proposed, he wanted it to blend in and not be highlighted. He felt the landscape plan looked very nice, although he suggested the petitioner look at some of the species proposed to ensure their hardiness. He had no further comments.

Mr. Snodgrass said that they received a comment from a neighbor about wanting heavy vegetation on the south side of the building, which they took seriously and responded to by adding evergreens and beefing up the plantings on the south side of the building.

Commissioner Bombick had a concern that the building appeared to look top heavy and crushed under the huge roof. He questioned why there was not another foot of masonry above the windows; he felt this was very strange. In his opinion, taller masonry with less roof would be less expensive.

Commissioner Kubow said that in general, he felt Staff did a great job reviewing the proposal and the petitioner did a great job of responding to the comments tonight. He asked about the car that was shown on the drawings in the courtyard, and **Mr. Snodgrass** explained that their client purchases an old antique car for each of his buildings to locate on site for residents to enjoy and possibly trigger memories for them. **Commissioner Kubow** agreed with Commissioner Bombick's concerns about the roof, although he was unsure if pushing the plate up 1-foot was the answer. **Commissioner Bombick** felt that changing the roof pitch to 5-1/2 or whatever ends up adding another plate would solve most of the problem.

Chair Eckhardt felt the project looked fine. With regards to the screening for the mechanical equipment, he suggested camouflaging the equipment by building an eave end and extending it on both sides with siding, which would be similar to the rest of the architecture. He understood the petitioner's response about the higher height for the lights, which made sense for the residents; however, he felt that something should be done to center the front entry. He commented that in two-dimension the roof looked like a lot of roof; however, in three-dimension it will not appear quite as big, and a photograph of the prototype would be helpful. **Chair Eckhardt** also asked about the purpose of the proposed coach homes and **Mr. Snodgrass** replied that these homes were available to lease by the spouses of the residents. **Chair Eckhardt** felt that the stone base on the front porch of the duplex homes was too tall and out of proportion with the column, and he suggested less stone and more column.

Chair Eckhardt reviewed each comment in the Staff report and the petitioner's response, prior to the motion.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE PROPOSED DESIGN FOR ARLINGTON HEIGHTS MEMORY CARE TO BE LOCATED AT 511 W. RAND ROAD. THIS APPROVAL IS SUBJECT TO COMPLIANCE WITH THE PLANS RECEIVED 12/3/15, DUPLEX PLANS RECEIVED 1/19/16, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS, AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND THE FOLLOWING:

1. A RECOMMENDATION TO ENHANCE THE APPEARANCE OF THE MAIN ENTRY BY ADDING SIDELIGHTS.
2. A RECOMMENDATION TO TAKE A CLOSER LOOK AS TO HOW TO SCREEN THE ROOFTOP MECHANICAL EQUIPMENT, PERHAPS BY ADDING A FALSE GABLE.
3. A RECOMMENDATION TO ADD SPECIALTY PAVEMENT IN KEY AREAS.
4. A RECOMMENDATION TO ADD SITE FURNISHINGS SUCH AS BENCHES, TRASH CANS, DECORATIVE LIGHTING AND PLANTERS.
5. A RECOMMENDATION TO WORK WITH STAFF TO FURTHER STUDY THE ROOF AND COME UP WITH SOMETHING LESS IMPOSING.
6. A RECOMMENDATION TO FURTHER REVIEW THE LANDSCAPE PLAN FOR HARDINESS OF THE PLANTINGS.
7. A REQUIREMENT THAT THE GROUND SIGN BE A MONUMENT SIGN, NO MORE THAN 6-FEET IN HEIGHT AND NOT MOUNTED ON A POST.
8. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, BUILDING, SIGNAGE OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND ANY OTHER COMMISSION

OR BOARD APPROVAL CONDITIONS. IT IS THE PETITIONER'S RESPONSIBILITY TO INCORPORATE ALL REQUIREMENTS LISTED ON THE CERTIFICATE OF APPROPRIATENESS INTO THE PERMIT DRAWINGS, AND TO ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.

9. COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.

Chair Eckhardt wanted the petitioner to be required to take a closer look at the screening for the rooftop mechanical unit, as well as add stamped concrete in select areas.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER FITZGERALD TO AMEND THE MOTION AS FOLLOWS:

2. A REQUIREMENT TO TAKE A CLOSER LOOK AS TO HOW TO SCREEN THE ROOFTOP MECHANICAL EQUIPMENT, PERHAPS BY ADDING A FALSE GABLE.
3. A REQUIREMENT TO ADD STAMPED CONCRETE IN SELECT LOCATIONS.

Mr. Hautzinger questioned whether making it a requirement that the screening for the mechanical equipment be something more than just flat would just end up drawing more attention to it. **Commissioner Kubow** wanted to amend the motion to recommend that the petitioner study the screening of the rooftop mechanical equipment, and that it be agreed to with Staff.

A MOTION WAS MADE BY COMMISSIONER KUBOW, SECONDED BY COMMISSIONER FITZGERALD, TO AMEND THE MOTION AS FOLLOWS:

2. A RECOMMENDATION THAT THE PETITIONER STUDY HOW TO SCREEN THE ROOFTOP MECHANICAL EQUIPMENT AND THAT IT IS AGREED TO WITH STAFF.

FITZGERALD, AYE; KUBOW, AYE; BOMBICK, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. MOTION CARRIED.

ITEM 5. SIGN CODE MODIFICATIONS

DC#12-103 – Sign Code Modifications – Intent & Purpose

DC#15-156 – Sign Code Modifications – Drive-through Restaurant Signage

Chair Eckhardt said that in light of the late hour and that Commissioner Fasolo was not here tonight, he preferred to continue the discussion on sign code modifications to the next meeting

A MOTION WAS MADE BY COMMISSIONER BOMBICK, SECONDED BY COMMISSIONER KUBOW, TO CONTINUE THE SIGN CODE MODIFICATIONS TO THE NEXT MEETING.

**BOMBICK, AYE; FITZGERALD, AYE; KUBOW, AYE; ECKHARDT. AYE.
ALL WERE IN FAVOR. THE MOTION CARRIED.**

ITEM 5. GENERAL MEETING

**A MOTION WAS MADE BY COMMISSIONER BOMBICK, SECONDED BY COMMISSIONER KUBOW, TO
ADJOURN THE MEETING AT 8:45 P.M.**

**BOMBICK, AYE; FITZGERALD, AYE; KUBOW, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. THE MOTION CARRIED.**



Item: DC#12-103 - Sign Code Modifications - Intent & Purpose

Department: Planning & Community Development

BACKGROUND

In August 2012, Staff reported to the Design Commission that sign code regulations are required to have an 'Intent and Purpose' section, similar to a zoning code, which the Village's sign code is currently lacking. At that time, Staff presented a proposed code amendment to add Section 30-100, Intent and Purpose, to the sign code, and it was unanimously supported by the Design Commission. At that time, the intent was that this section would be presented along with other sign code changes. However, due to staffing changes and workload, the proposed code amendment has not been codified.

Due to the fact that we now have several other code changes for consideration, Staff is requesting that the Design Commission re-review the proposed Intent and Purpose code section to revalidate support of this proposed amendment.

RECOMMENDATION

Staff recommends that the Design Commission recommend approval to the Village Board in support of the proposed code modification to add Section 30-100, Intent and Purpose, as outlined on the attached MEMO dated August 23, 2012.

ATTACHMENTS:

Description	Type
Staff Memo 1/26/16	Memorandum
Staff Memo 8/23/12	Memorandum
DC Minutes 8/28/12	Minutes

MEMO

DATE: January 26, 2016
TO: Design Commission:
Chairman Eckhardt
Commissioner Bombick
Commissioner Fitzgerald
Commissioner Fasolo
Commissioner Kubow
FROM: Steve Hautzinger, Design Planner
RE: **Chapter 30, Intent & Purpose**

BACKGROUND

In August 2012, Staff reported to the Design Commission that sign code regulations are required to have an 'Intent and Purpose' section, similar to a zoning code, which the Village's sign code is currently lacking. At that time, Staff presented a proposed code amendment to add Section 30-100, Intent and Purpose, to the sign code, and it was unanimously supported by the Design Commission. At that time, the intent was that this section would be presented along with other sign code changes. However, due to staffing changes and workload, the proposed code amendment has not been codified.

Due to the fact that we now have several other code changes for consideration, Staff is requesting that the Design Commission re-review the proposed Intent and Purpose code section to revalidate support of this proposed amendment.

RESEARCH & PROPOSED AMENDMENT

Please refer to the attached MEMO dated August 23, 2012 for a summary of Staff research and the proposed new section, 30-100, Intent and Purpose.

RECOMMENDATION

Staff recommends that the Design Commission recommend approval to the Village Board in support of the proposed code modification to add Section 30-100, Intent and Purpose, as outlined on the attached MEMO dated August 23, 2012.

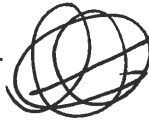
MEMO

DATE: August 23, 2012

TO: Chairman Bombick
Commissioner Palmer O'Neill
Commissioner Eckhardt
Commissioner Tinaglia
Commissioner Fitzgerald

FROM: Afshan Hamid, Design Planner

RE: Intent & Purpose of Sign Code



BACKGROUND: Staff has attended Sign Code Regulations sessions through the Municipal Design Review Network. One of the requirements of a sign code is to have an Intent and Purpose, similar to a Zoning Code.

RESEARCH: Staff has reviewed recent codes for Intent & Purpose of the following communities: Oak Park, Evanston, Riverwoods, Naperville, Mt. Prospect. All the cited communities have this as the first section in their Sign Code.

PROPOSED AMENDMENT:

ADD: Section 30-100, Article A Intent & Purpose

The purpose of this Chapter is to create the framework for a comprehensive balanced system of signage, to promote communication between people and their environment and to avoid the usual clutter that is potentially harmful to traffic and pedestrian safety, property values, business opportunities, and community appearance. This Chapter is adopted for the following purposes:

1. To preserve, protect and promote public health, safety, and welfare.
2. To preserve the value of private property by assuring the compatibility of signs with surrounding land uses.
3. To enhance the physical appearance of the Village by preserving the scenic and natural beauty of the area.
4. To enhance the overall improvement of corridors through well designed signage.
5. To enhance the Village's economy, business and industry by promoting the reasonable, orderly and effective display of signs, and encouraging better communication between an activity and the public it seeks with its message.
6. To create an equitable, consistent and fairly applied set of standards to all businesses and establishments.
7. To protect the general public from damage and injury, which may be caused by the faulty and uncontrolled construction and use of signs within the Village.

8. To protect pedestrians and motorists within the Village from injury caused by distractions, obstructions, and hazards created by certain signs.
9. To protect the public investment in streets and highways by reducing distraction which may increase the number and severity of traffic accidents.
10. To encourage sound practices and lessen the objectionable effects of competition with respect to size and placement of signs.
12. To authorize the use of signs which specifically:
 - a. Are compatible with their surroundings.
 - b. Are appropriate for the activity of displaying the sign.
 - c. Express the identity of individual activities and the community as a whole.
 - d. Are legible in the circumstances in which they are seen.

C: C. Witherington-Perkins
R. Ward
N. Boyer
DC File

APPROVED

**MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
AUGUST 28, 2012**

Chairman Bombick called the meeting to order at 6:31 p.m.

Members Present: Alan Bombick, Chairman
Ted Eckhardt
Linnea O'Neill
John Fitzgerald
Jim Tinaglia

Members Absent: None

Also Present: Jim Rodgers, Church Building Consultants for *Arlington Countryside Church*
Charles Muir, Church Building Consultants for *Arlington Countryside Church*
Dave Corlew, Senior Pastor for *Arlington Countryside Church*
Jim Young, Director of Operations for *Arlington Countryside Church*
Randy Kane, 2401 Inc. for *Transitional Care Management*
George Prosiliakos, Prosi Design for *Burger King*
Afshan Hamid, Staff Liaison

Ms. Hamid said that per the Legal Department, meeting minutes can be approved at the next meeting even if the commissioners present were not at the meeting minutes being approved.

REVIEW OF MEETING MINUTES FROM JULY 10, 2012 & JULY 24, 2012

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER O'NEILL, TO APPROVE THE MEETING MINUTES OF JULY 10, 2012 & JULY 24, 2012. ALL WERE IN FAVOR. THE MOTION CARRIED.

ITEM 7. SIGN CODE MODIFICATIONS**DC#12-103 – Intent & Purpose Sign Code**

Ms. Hamid said that Staff has attended Sign Code Regulations sessions throughout the Municipal Design Review Network. One of the requirements of a sign code is to have an Intent and Purpose, similar to a Zoning Code. Staff reviewed recent codes for Intent & Purpose for similar communities such as Oak Park, Evanston, Riverwoods, Naperville and Mt. Prospect, all of which have an Intent and Purpose for the overall Sign Code.

As a result, Staff is proposing an amendment to add a chapter to the Sign Code, to create the framework for a comprehensive balanced system of signage, to promote communication between people and their environment, and to avoid the usual clutter that is potentially harmful to traffic, pedestrian safety, property values, business opportunities, and community appearance. This chapter is adopted for the following purposes:

1. To preserve, protect and promote public health, safety and welfare.
2. To preserve the value of private property by assuring the compatibility of signs with surrounding land uses.
3. To enhance the physical appearance of the Village by preserving the scenic and natural beauty of the area.
4. To enhance the overall improvement of corridors through well designed signage.
5. To enhance the Village's economy, business and industry by promoting the reasonable, orderly and effective display of signs, and encourage better communication between an activity and the public it seeks with its message.
6. To create an equitable, consistent and fairly applied set of standards to all businesses and establishments.
7. To protect the general public from damage and injury, which may be caused by the faulty and uncontrolled construction and use of signs within the Village.
8. To protect pedestrians and motorists within the Village from injury caused by distractions, obstructions and hazards created by certain signs.
9. To protect the public investment in streets and highways by reducing distraction, which may increase the number and severity of traffic accidents.
10. To encourage sound practices and lessen the objectionable effects of competition with respect to size and placement of signs.
11. To authorize the use of signs which specifically:
 - a. Are compatible with their surroundings.
 - b. Are appropriate for the activity of displaying the signs.
 - c. Express the identity of individual activities and the community as a whole.
 - d. Are legible in the circumstances in which they are seen.

A MOTION WAS MADE BY COMMISSIONER TINAGLIA TO APPROVE THE INTENT & PURPOSE OF THE SIGN CODE AS PRESENTED BY STAFF.

Commissioner Eckhardt asked where it stated that business owners would be assisted in establishing a clear and communicating sign to help make their business a success. He was referred to both Item #6 and Item #1 as a reference. **Commissioner Eckhardt** also asked where the signable area in the Sign Code could be re-evaluated. **Ms. Hamid** replied that signable area was a separate code item within the Sign Code, and the discussion tonight pertains to the Intent & Purpose only. **Commissioner O'Neill** pointed out that the word 'fairly' was used in Item #6; however, she felt it was fine the way it was.

COMMISSIONER ECKHARDT SECONDED THE MOTION. ALL WERE IN FAVOR. THE MOTION CARRIED.



Item: DC#09-025 - Village-Wide Electronic Signs

Department: Planning & Community Development

BACKGROUND

In 2009, the issue of electronic message board signage was studied in detail by the Planning and Community Development Department and presented to the Design Commission. Issues such as visual impact, driver distraction, and code enforcement were discussed. The conclusion of the 2009 study was a decision by the Design Commission to continue to not allow electronic LED signs, but to revisit this topic in the future.

In 2012, a visual preference survey was conducted by the Planning and Community Development Department with the objective to evaluate signs of different types throughout Arlington Heights, including electronic LED signage. Overall, residents did not prefer electronic LED signage. The results were reviewed by the Design Commission, and they agreed that electronic LED signage should continue to not be allowed.

Recently, in 2015, School District 25 submitted a sign variation request for an electronic changeable LED sign. After a brief re-review of Village-wide electronic signs, the Design Commission decided to not support the School sign variation until such time that a detailed Village-wide re-review of electronic LED signs is undertaken.

At this time, Staff is seeking the feedback from the Design Commission regarding the process to move forward in regards to the topic of electronic LED signs.

ATTACHMENTS:

Description	Type
Staff Memo to DC	Memorandum
Electronic Signage Restrictions Memo 2-17-16	Memorandum

MEMO

DATE: January 26, 2016
Updated, February 23, 2016

TO: Design Commission:
Chairman Eckhardt
Commissioner Bombick
Commissioner Fitzgerald
Commissioner Fasolo
Commissioner Kubow

FROM: Steve Hautzinger, Design Planner

RE: **Village-wide Electronic Signs**

BACKGROUND:

In 2007, sign variation requests for electronic LED signs were denied for Bob Rohrman Auto Mall, Walgreens, and Tanita Corporation.

In 2009, the issue of electronic message board signage was studied in detail by the Planning and Community Development Department and presented to the Design Commission. Issues such as visual impact, driver distraction, and code enforcement were discussed. The conclusion of the 2009 study was a decision by the Design Commission to continue to not allow electronic LED signs, but to revisit this topic in the future.

In 2012, a visual preference survey was conducted by the Planning and Community Development Department with the objective to evaluate signs of different types throughout Arlington Heights, including electronic LED signage. Overall, residents did not prefer electronic LED signage. The results were reviewed by the Design Commission, and they agreed that electronic LED signage should continue to not be allowed.

Recently, in 2015, School District 25 submitted a sign variation request for an electronic changeable LED sign at Patton Elementary School. After a brief re-review of Village-wide electronic signs, the Design Commission decided to not support the Patton School sign variation until such time that a detailed Village-wide re-review of electronic LED signs is undertaken.

The detailed electronic sign reports previously prepared have not been re-reviewed at this time as the purpose of this memo is to determine if the Design Commission wants to re-discuss this issue, and if as part of that review, a site tour to field view some electronic sign examples is desirable.

PROCESS:

At this time, Staff is seeking the feedback from the Design Commission regarding the process to move forward in regards to the topic of electronic LED signs:

- 1) Does the Design Commission still want to review the topic of electronic signs?
- 2) Would the Design Commission like to go on a tour to view electronic signs in other communities?
- 3) What type of additional research would the Design Commission like to see?

UPDATE, February 23, 2016:

Please refer to the attached Memo titled **Electronic Signage Restrictions** dated February 17, 2016 which is being provided for discussion purposes. The referenced attachment materials are not included at this time.

MEMORANDUM

TO: Randy Recklaus, Village Manager

FROM: Charles Witherington-Perkins, AICP 
Director of Planning and Community Development

DATE: February 17, 2016

SUBJECT: Electronic Signage Restrictions

Mayor Hayes has requested that a packet of materials relating to Electronic Signage be distributed to the Village Board for general input over the next week. In the past few months this issue has been raised by various entities (although no plans have been submitted) within the community including the Metropolis Theater, the Arlington Heights Memorial Library, Arlington Downs, Arlington International Racecourse, and a potential business. All of these entities have expressed an interest in utilizing some kind of electronic signage. Currently, such signage is not permitted in Arlington Heights, but some area communities are beginning to permit them in certain circumstances while others do not. Staff is in the process of updating the Community Survey, which will be completed within the next two weeks. This topic has been discussed at the staff and Design Commission level. Most recently this matter was scheduled on the Design Commission agenda of January 2016 where it was continued and will be placed on the agenda for February 23rd. Mayor Hayes will be requesting the Design Commission to discuss the matter of Village-wide electronic signage and come back with some general input for Board consideration prior to proceeding to attempt to draft any specific language, should the Design Commission so recommend. In the meantime, the attached materials are being distributed to the Village Board for their review and general input.

Background

The Design Commission first discussed this matter in 2007 relative to several specific sign variation requests, all of which were recommended for denial by Staff and the Design Commission and one request denied by the Village Board. After detailed research by Staff, the Design Commission discussed the matter again in 2008 at a kick-off meeting and then in detail in 2009 where the Design Commission concluded not to allow electronic LED signs. Since then the Design Commission has discussed this matter in 2012 relative to the Visual Preference Survey undertaken, 2015 regarding Patton School request, and most recently placed on the agenda for reconsideration in January 2016. Also on the January agenda were Staff research and proposed changes to allow businesses additional signage options such as digital menu boards for drive-through restaurants and changeable bulletin boards.

The following portion of this memorandum is a brief summary of some of the attached materials.

Types of Signs

Generally, the following is a summary of the types of electronic signs:

1. **Electronic Changeable Signs:** Used by businesses to replace manual changeable signs. The sign is capable of limited animation such as a character walking across the screen, and multiple color options. The text has the ability to scroll, and has simple images.
2. **Electronic Graphic Display Sign:** An example is the Sears Center electronic sign on the I-90 expressway. The electronic images are presented in a series of static displays similar to a power point presentation, which may be high definition; however, no animation is involved.
3. **Video Display Sign:** Similar to a large jumbotron with a high definition image. The effect is that of watching moving images on a television or a theater.
4. **Multi-Vision or Tri-Vision Sign:** Allows pre-set images and text to change by mechanically rotating a printed image. The number of images on a board is limited to three.

Alternatives to Electronic LED signs

Staff has researched 2 alternative options to LED signs as part of the 2015 re-review.

- Flip Disk Signs which is old technology.
- Electronic Ink Signage is an interesting new technology, and is currently commonly used in products such as Kindle readers. Electronic Ink Signs have a substantially improved appearance with the functionality of an electronically changeable sign. Power consumption is extremely low and the display does not emit any light, which completely eliminates the concern of glare. Internal or external illumination can be added to allow visibility in the evening, similar to a traditional sign, but illumination is not required in the daytime. The display is commonly black & white; however, recent development has added full color capability. For these reasons, Electronic Ink Signage has great potential as an aesthetically pleasing alternative to existing manual change bulletin boards, without the negative visual impact of an LED electronic sign. However, it is Staff's understanding that current electronic ink technology cannot properly function in freezing temperatures, but this issue is under development and Staff has continued to monitor this technology with various manufacturers.

Summary of Issues

The following is a summary of some of the issues to be considered.

- Visual impacts
 - Aesthetic impact of multiple electronic signs on a corridor.
 - Glare
- Distraction to drivers.
- Electronic signs adjacent to or within residential neighborhoods.
- Proportions and scale of electronic signs.
- Enforcement. Certain standards if developed dealing with message sequencing and timing may be difficult to enforce.
- Fairness/Level playing field. Issues of signage relative to similar use in different zoning or similar zoning and different uses would need to be considered.
- Other considerations include energy consumption and Religious Land Use and Institutionalized Persons Act. (RLUIPA)

General Overriding Questions

The following are some general overriding questions for consideration:

1. Is electronic signage something that the Design Commission should continue to explore?
2. Is electronic signage something that should be pursued only on a limited basis?
3. Should electronic signage be allowed in residential districts for schools and churches across from residential homes?
4. Should electronic signage be allowed in business or manufacturing districts with restrictions for all uses, regardless of size, location or number of potential electronic signs?
5. Should electronic signage be allowed for specific use groups such as major tourism venues such as Arlington International Racecourse, Metropolis Theater, Star Cinema Grill, and major developments over a certain size such as Arlington Downs?
6. Should electronic signage be allowed in specific locations or corridors such as I-90 or the Rand Road corridor with restrictions?
7. Should electronic signage be allowed in some of the scenarios above as of right or through an additional discretionary review process?
8. Should electronic signage continue to be deferred until more energy efficient and aesthetic technology has been developed such as electronic ink signs?
9. What is the image the Village wants for its corridors?
10. What information relating to this issue would the Board like to have before making a final decision on this issue?

As a side note, current ground signs are typically internally illuminated providing for nighttime visibility. Electronic signage often referred to as LED or light emitting diode, actually projects the light or image forward creating much brighter light transmission and glare throughout day and night, drawing greater attention which may be acceptable in some locations but not all.

Preliminary Analysis

Although the functionality of changeable electronic signage is appealing to some businesses, the majority of residents during the Visual Preference Survey in 2012 did not support electronic signage. The most recent review of electronic LED signage requests by Patton School received neighbor objection. Electronic LED signage in, adjacent to, or across from residential homes and neighborhoods would not be appropriate. A primary concern that needs to be carefully considered is the aesthetic impacts that electronic signage could have on the character of Arlington Heights if they were allowed throughout the community. Dozens of electronic signs along Arlington Heights corridors promoting products ranging from milk to hot dogs may not present a positive image. Control of message content is legally limited. The bright, glaring, changing display of electronic LED signs has the potential to create a nuisance for properties adjacent to this type of signage. Additionally, electronic signs do draw and hold the attention of drivers, especially when messages are changing, and this distraction to drivers is a legitimate and serious concern.

The electronic ink signage technology is intriguing and could be a positive solution to the electronic LED conundrum. As electronic ink signage technology continues to develop, it could be considered as an aesthetically pleasing means of incorporating the functionality of electronic signage in place of manual change bulletin boards. While permitting electronic LED signage wholesale throughout the community may have negative impacts on the community, limited application of electronic LED signage for major tourism venues such as Arlington International Racecourse could provide an effective way to communicate information to a major tourism venue. Additionally, electronic signage along the I-90 corridor may also be considered as a means to attract commerce to the Village and may have limited impact on the character of the community.

These preliminary thoughts along with more detailed review will allow the issue of electronic LED signage to be discussed in further detail with the Design Commission and the Village Board.

Board Feedback

As noted above, Mayor Hayes has requested some general input from the Board over the next week or so regarding this matter.

Next Steps

As noted above, this matter is scheduled again on the Design Commission agenda for February 23 for a preliminary discussion. The Mayor will be requesting the Design Commission to discuss this matter and explore it further over the next few months and respond back to the Village Board for a more detailed discussion at a future meeting. The Design Commission will be asked to determine whether this is something to pursue at all, whether it is something to pursue on limited basis or with certain restrictions?

Attachments:

1. Summary memo to Design Commission January 2016
2. 2015 Village-Wide Re-Review
3. 2015 Design Commission Discussion – Patton School Request
4. Electronic Signs – Comprehensive Report & DC Minutes 2009
5. Visual Preference Survey Summary

c: Design Commission
Steve Hautzinger, Design Planner

CW-P/pd



Item: DC#16-012 - 407 N. Gibbons Ave. - SF/New

Department: Planning & Community Development

Requested Action

Approval of the proposed architectural design for a new single-family residence.

Recommendation

It is recommended that the Design Commission require revisions and approve the proposed new single-family residence to be located at 407 N. Gibbons Avenue. This recommendation is subject to compliance with the architectural plans dated 2/4/16 and received 2/5/16, and the following:

1. Consider adding decorative dormers on the roof above the garage.
2. Consider recessing the third garage stall an additional two feet.
3. Continue the stone base to the back corner of the garage.
4. Add a window in the side of the garage with decorative window shutters to match the front elevation.
5. Continue the stone base to the back corner of the house on the right side elevation.
6. Add at least one window with decorative window shutters in each of the main rooms on the right side elevation (Living Room, Study, Bedroom 3, and Bedroom 4).
7. Provide decorative window grilles in all windows on the side and rear elevations to match the front of the house.
8. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design

Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

9. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report

Drawings & Documents

Type

Board or Commission Report

Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: Grimaudo Residence
Project Address: 407 N. Gibbons Ave.
Prepared By: Steve Hautzinger

Date Prepared: February 16, 2016

PETITION INFORMATION:

DC Number: 16-012
Petitioner Name: Rob Thornton
Petitioner Address: Overstreet Builders
4327 Winterberry Avenue
Naperville, IL 60654
Meeting Date: February 23, 2016

Requested Action(s): Approval of the proposed architectural design for a new single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to build a new two story residence with a three car attached garage on an existing vacant lot. The proposed home will be the second home built as part of the eight single family lot, 1st United Methodist Church Subdivision, which was approved in 2009. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 10,000 square feet and the proposed residence will have 4,200 square feet. The project does comply with all R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 25.9 feet Side: 8 feet Side: 8 feet Rear: 30 feet	Front: 26.12 feet Side: 8.25 feet Side: 8.25 feet Rear: 46.75 feet
Building Height	25 feet to the midpoint	24.3 feet to the midpoint
FAR	4,438 SF	4,200 SF
Building Lot Coverage	3,500 SF	2,645 SF
Impervious Surface Coverage Total	5,000 SF	3,474 SF



Subject Property

Aerial of Property

This project is appearing before the Design Commission as a requirement of the subdivision approval, and to evaluate the proposed architectural design with the context of the neighborhood. The existing neighborhood is primarily split level homes with detached garages built in the late 1950's, but it is anticipated that the six new single family lots along Gibbons Avenue will be developed with larger two story homes that will create a cohesive appearance on the east side of the street.

The overall style and character of the proposed home will fit in very well with the existing adjacent newer home at 401 N. Gibbons. The front wall of the house and porch are in front of the garage which keeps the design emphasis on the main part of the house instead of on the garage. However, the three car garage is wide, and the roof area above the garage is large and a bit dominating. Additionally, the lack of detail on both side elevations should be improved.

The following are recommended revisions to improve the design:

1. Front Elevation:
 - a. Consider adding decorative dormers on the roof above the garage to break up the large expanse of roofing (refer to sketch below).
 - b. Consider recessing the third garage stall an additional two feet to break up the wide appearance of the three car garage.
2. Left (side) Elevation:
 - a. It is recommended to continue the stone base to the back corner of the garage, and add a window in the side of the garage with decorative window shutters to match the front elevation.
3. Right (side) Elevation:
 - a. It is recommended to continue the stone base to the back corner of the house, and add at least one window with decorative window shutters in each of the main rooms (Living Room, Study, Bedroom 3, and Bedroom 4) to match the character of the front elevation.
4. General:
 - a. Provide decorative window grilles in all windows on the side and rear elevations to match the front of the house.



As submitted.



Possible revision (dormers above garage)

RECOMMENDATION:

It is recommended that the Design Commission **require revisions and approve** the proposed new single-family residence to be located at 407 N. Gibbons Avenue. This recommendation is subject to compliance with the architectural plans dated 2/4/16 and received 2/5/16, and the following:

1. Consider adding decorative dormers on the roof above the garage.
2. Consider recessing the third garage stall an additional two feet.
3. Continue the stone base to the back corner of the garage.
4. Add a window in the side of the garage with decorative window shutters to match the front elevation.
5. Continue the stone base to the back corner of the house on the right side elevation.
6. Add at least one window with decorative window shutters in each of the main rooms on the right side elevation (Living Room, Study, Bedroom 3, and Bedroom 4).
7. Provide decorative window grilles in all windows on the side and rear elevations to match the front of the house.

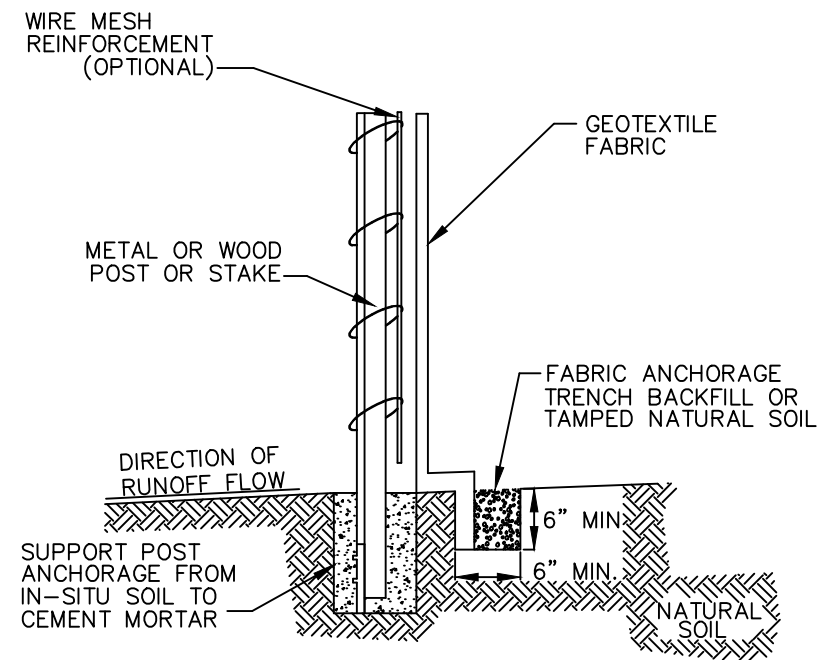
8. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
9. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

February 23, 2016

Steve Hautzinger AIA, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington Perkins, Director of Planning and Community Development, Petitioner, DC File 16-012

TYPICAL DETAILS FOR
SILT FENCE CONSTRUCTION



NOTE:
DEPENDING UPON CONFIGURATION, ATTACH FABRIC TO WIRE MESH w/HOG RINGS, STEEL POSTS w/TIE WIRES, WOOD POSTS w/NAILS.

GIBBONS AVENUE

(66' R.O.W.)

EXISTING 3" PARKWAY TREE TO BE MOVED OR REPLACED

FOUND IRON 0.2' N. & ON LINE

EXISTING CONDITIONS PLAN

OF

LOT 2 OF THE FINAL 1ST UNITED METHODIST CHURCH
SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 28,
TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD
PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF
RECORDED NOVEMBER 30, 2009, AS DOCUMENT NUMBER
0933445067, IN COOK COUNTY, ILLINOIS.

Public Utility & Drainage
Easement Line (Typ.)

Building Line (Typ.)

Site Benchmark
FOUND 5/8" IRON PIPE

125.00' (R&M)

2

VACANT LOT
NO BUILDINGS

125.00' (R&M)

Fence Corner
0.3' S.

2 Story
Frame
Residence

Catch Basin
Rim=97.89
Inv.=93.39

Fence Corner
0.2' S. & 0.4' W.

Catch Basin
Rim=97.84
Inv.=93.44

Asphalt Corner
1.3' E.

CONCRETE MONUMENT
0.2' S. & ON LINE

LEGEND

- 689 EXISTING GRADE
- 689 PROPOSED GRADE
- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- 734 26 EXISTING SPOT GRADE
- 689.0 PROPOSED SPOT GRADE
- SILT /CONSTRUCTION FENCE
- DS DOWNSPOUT
- STORM SEWER MANHOLE
- INLET
- SANITARY SEWER MANHOLE
- ELECTRIC METER
- GAS METER
- FIRE HYDRANT
- UTILITY POLE
- CONIFEROUS TREE
- DECIDUOUS TREE
- WATER VALVE
- CORRUGATED METAL PIPE
- UTILITY POLE
- B-BOX
- LIGHT ON GROUND OR WALL
- WOOD FENCE

REMOVE AND REPLACE ANY SIDEWALK
DAMAGED DURING CONSTRUCTION.
(MATCH EXISTING PLAN AND PROFILE)

ALL CONSTRUCTION TRAFFIC TO USE
THE CONSTRUCTION ENTRANCE. IF
SIDEWALK IS DAMAGED DURING
CONSTRUCTION IT IS TO BE REPLACED
PER THE VILLAGE STANDARDS.

DISCONNECT GAS METER PER UTILITY
COMPANY REQUIREMENTS

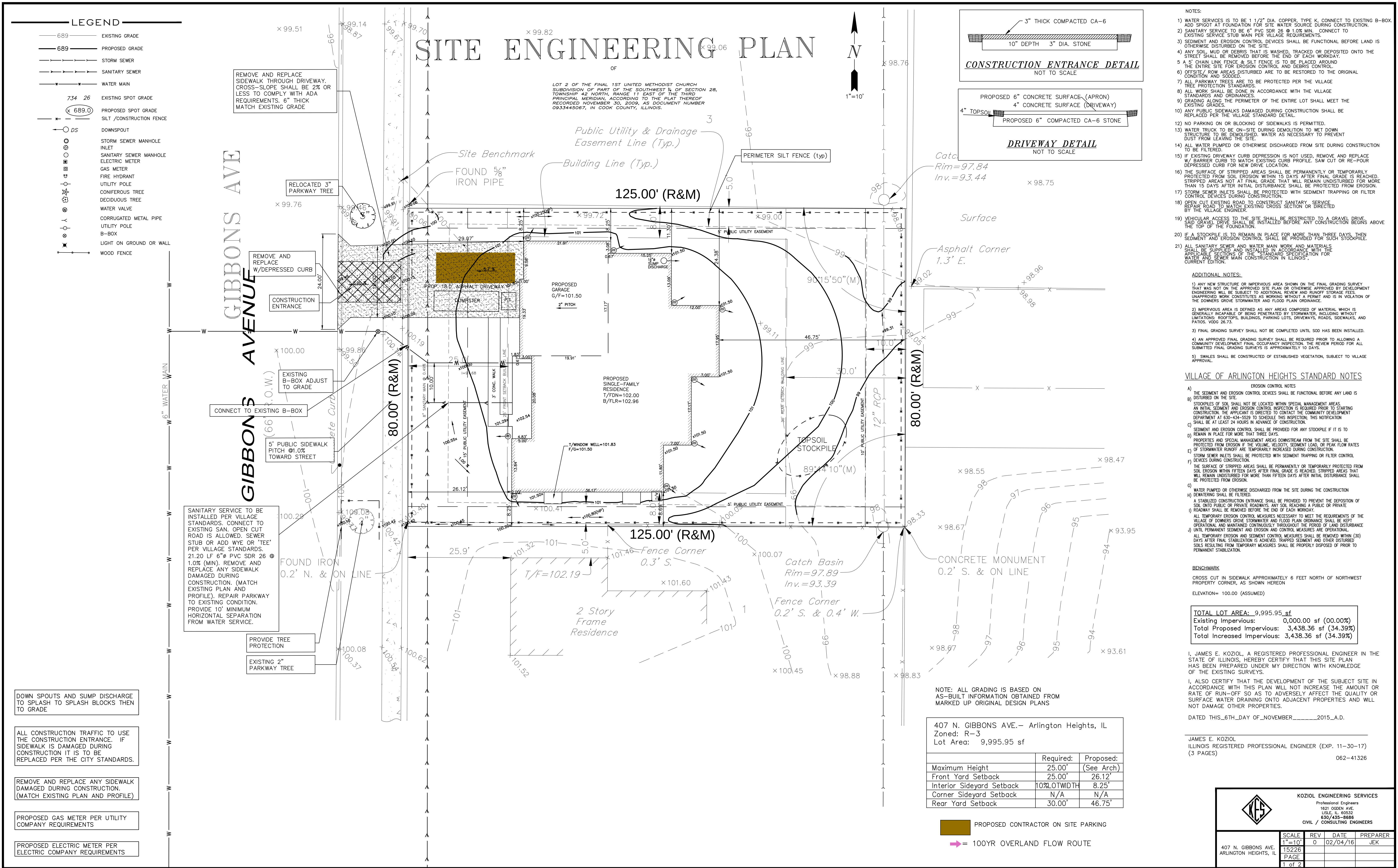
DISCONNECT ELECTRIC METER PER
ELECTRIC COMPANY REQUIREMENTS

- PROPOSED CONTRACTOR ON SITE PARKING
- PROPOSED MATERIAL LAY DOWN AREA
- DEMOLISHED AND REMOVED
- X TREES TO BE REMOVED



KOZIOL ENGINEERING SERVICES
Professional Engineers
1621 OGDEN AVE.
Lisle, IL 60532
630/435-8686
CIVIL / CONSULTING ENGINEERS

SCALE	REV	DATE	PREPARER
1"=10'	0	01/05/16	JEK
15226			
PAGE			
2 of 2			



EAST



502 N. GIBBONS



421 N. GIBBONS



415 N. GIBBONS



407 N. GIBBONS



401 N. GIBBONS



216 S. PRAIRIE



216 S. PRAIRIE

NORTH GIBBONS



416 N. GIBBONS



410 N. GIBBONS



404 N. GIBBONS



ST. JAMES ST.

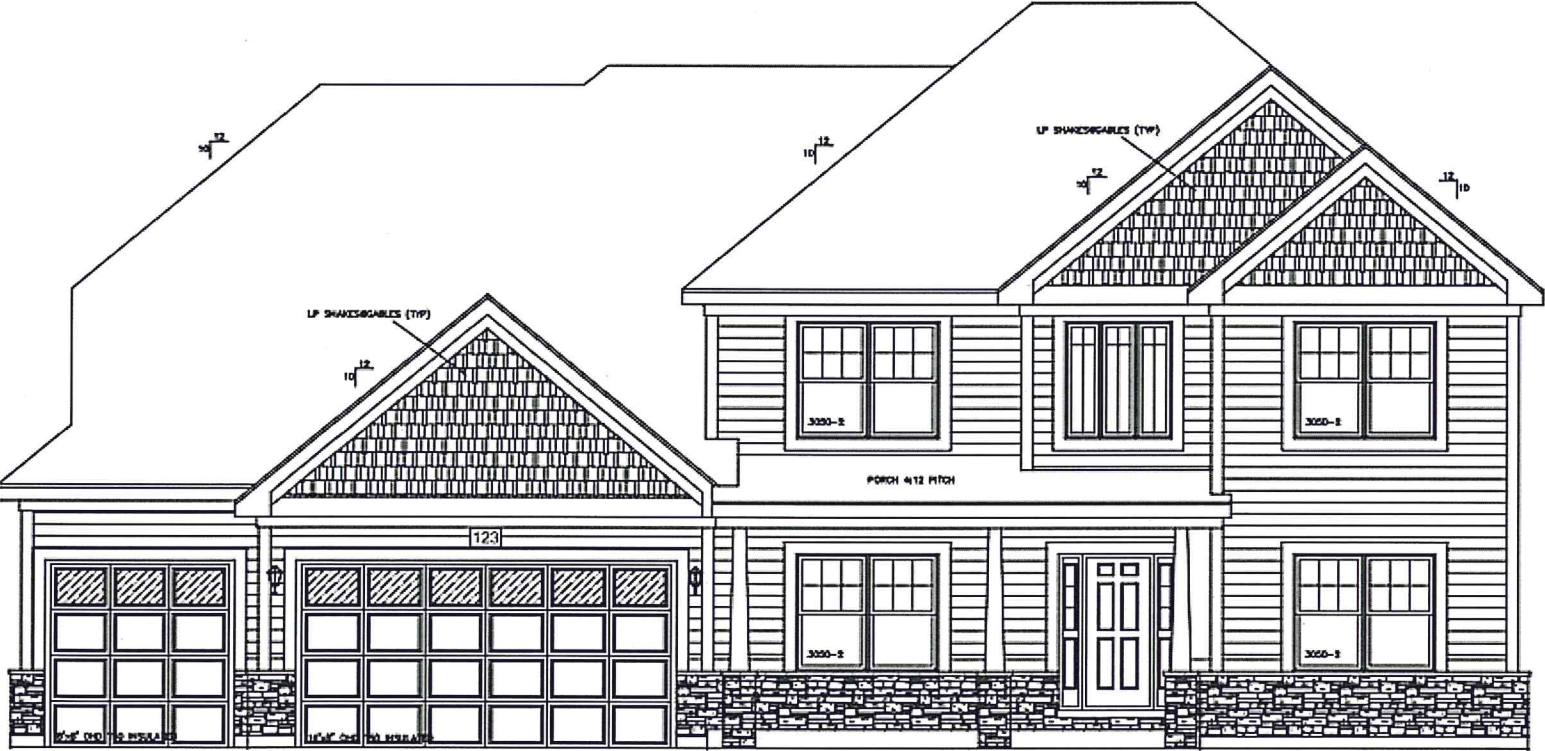


VACANT LOT

407 N.GIBBONS
VACANT LOT

401 N. GIBBONS

EXISTING CONTEXT ELEVATION 1/8"=1'0"



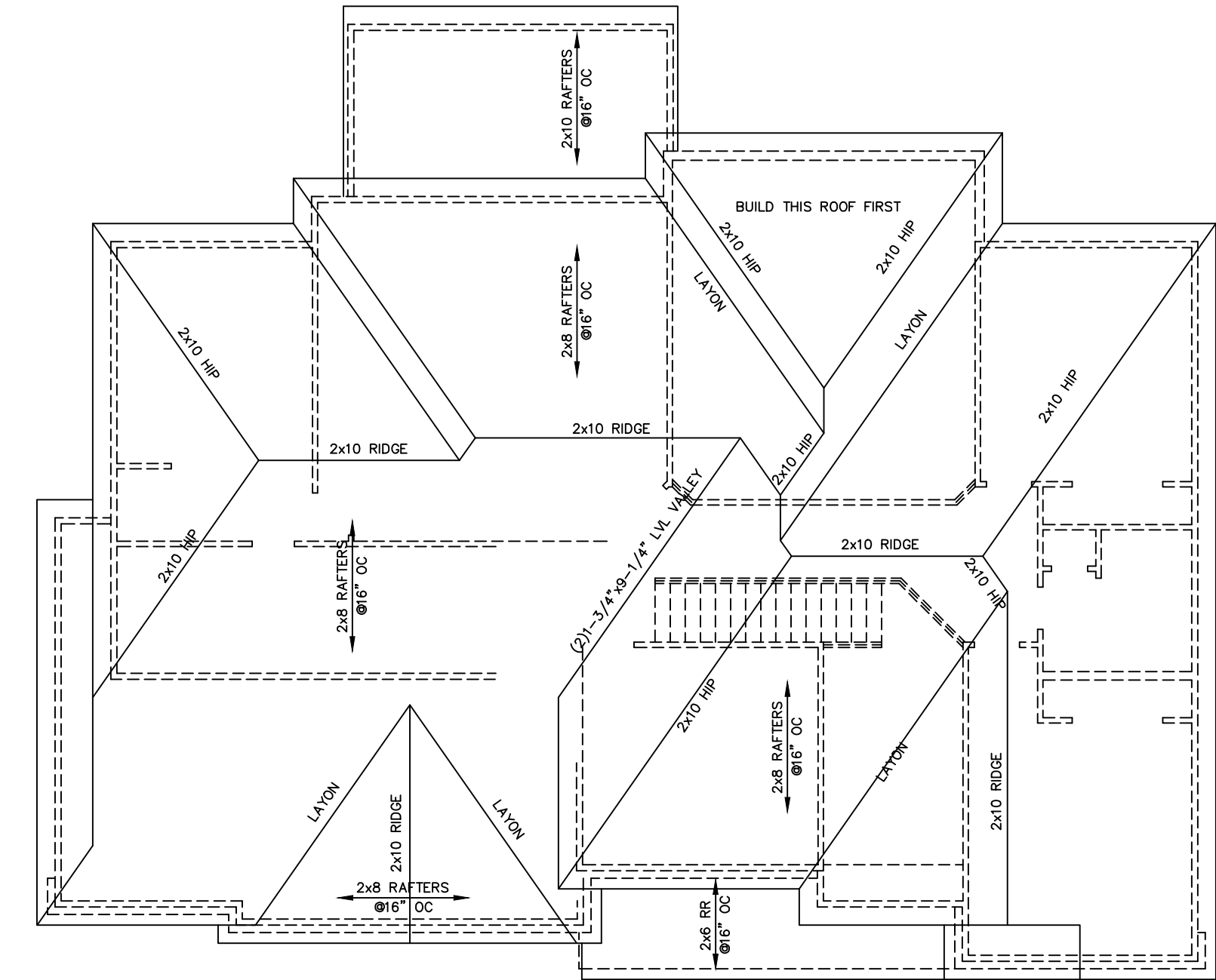
407 N. GIBBONS

401 N. GIBBONS

PROPOSED CONTEXT ELEVATION 1/8"=1'0"

Energy Conservation Notes	
UA TRADE-OFF METHOD	
CEILING R-VALUE	19
WOOD FRAME WALL R-VALUE	15+3 or 21
FLOOR R-VALUE	10
BASEMENT WALL R-VALUE	10
INSULATION U-FACTOR	0.15
SKYLIGHT U-FACTOR	0.15
GLAZED FENESTRATION SHGC	0.60
ADDITIONALLY:	
> ALL GAS FIRED FURNACES SHALL BE 90% AFUE MINIMUM	
> ALL AIR CONDITIONING UNITS SHALL BE 13 SEER RATE MINIMUM	
> PROGRAMMABLE THERMOSTATS SHALL BE INSTALLED FOR EACH SEPARATE HEATING AND COOLING SYSTEM	
> A MINIMUM OF 75% OF THE PERMANENTLY INSTALLED LAMPS SHALL BE HIGH-EFFICIENCY LAMPS	
> WOOD BURNING HEATLAPACES ARE REQUIRED TO HAVE GASKETED DOORS AND DRAW COMBUSTION AIR FROM THE EXTERIOR	
> BUILDING AIR TIGHTNESS MUST BE DEMONSTRATED BY A BLOWER DOOR TEST OR A COMPONENT-BY-COMPONENT INSPECTION PER IECC TABLE 402.4.2.	

Village of Arlington Heights Building Codes	
• 2009 INTERNATIONAL RESIDENTIAL CODE – IRC	
• 2014 ILLINOIS PLUMBING CODE – IPC	
• 2009 INTERNATIONAL MECHANICAL CODE –IMC	
• 2005 NATIONAL ELECTRICAL CODE – NEC	
• 2009 INTERNATIONAL FIRE CODE – IFC	
• 2012 INTERNATIONAL ENERGY CONSERVATION CODE – IECC	
• 2009 INTERNATIONAL BUILDING CODE – IBC	
• 2009 INTERNATIONAL FUEL GAS CODE	
• 2009 INTERNATIONAL PROPERTY MAINTENANCE CODE – IPMC	
• VILLAGE OF ARLINGTON HEIGHTS MUNICIPAL CODE	



ROOF PLAN C
 SCALE 1/8"=1'-0"

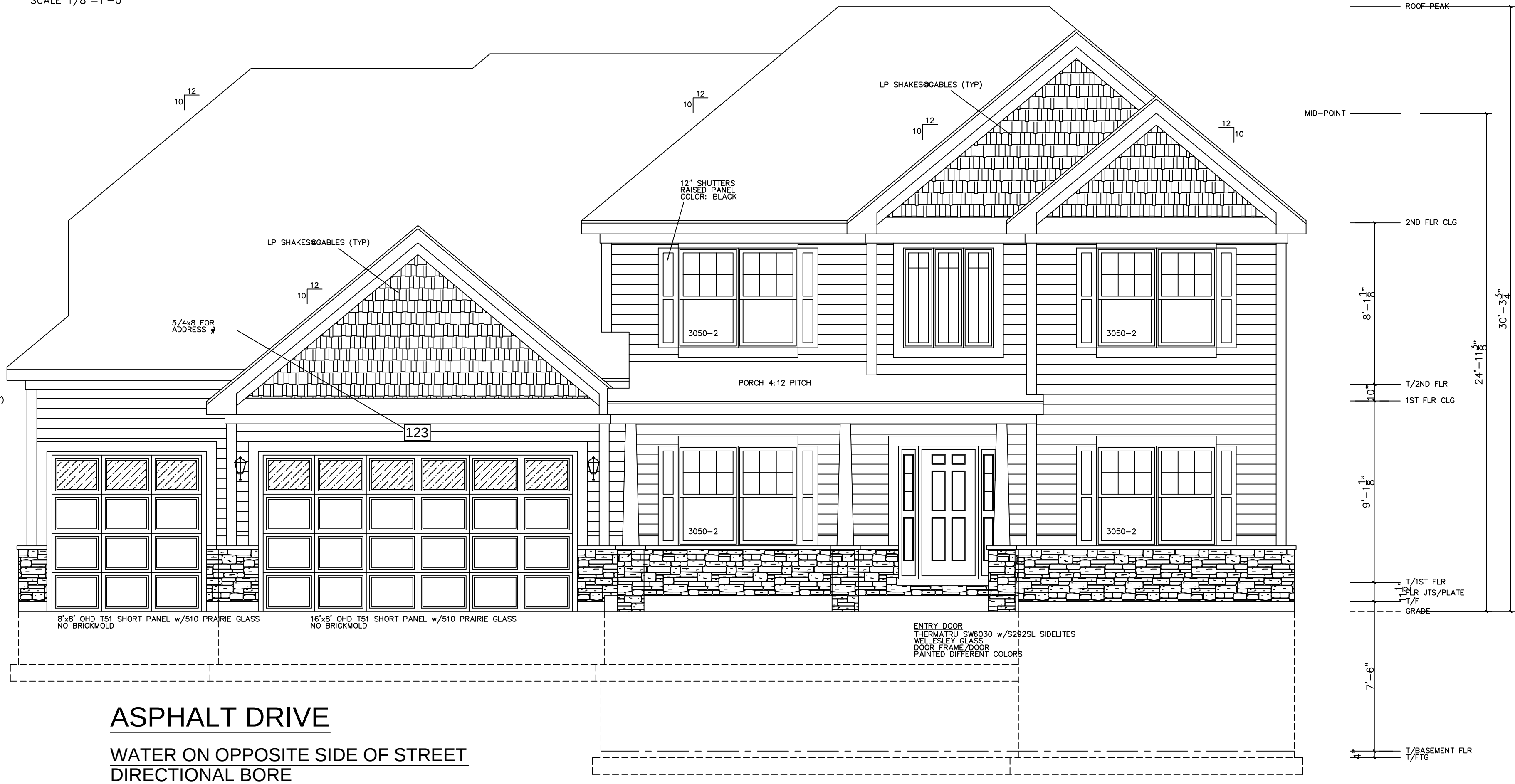
ROOF VENT SCHEDULE	
2352 SQUARE FEET x 1/300 = 7.84 SQ.FT. VENTILATION REQUIRED	
(13) 8" DIA. ROOF VENTS (35 SQ.FT. EA.)	= 4.6 SQ.FT.
(40) SOFFIT VENTS (28 SQ.FT. EA.)	= 11.2 SQ.FT.
ACTUAL VENTILATION PROVIDED	= 15.8 SQ.FT.

ALL RIDGES, HIP'S, VALLEYS
POSTED W/2WAY BRACES
ONE EACH WAY (TYP)

WINDOW NOTES
 PELLA / ENCOMPASS / WHITE / GRILLS FRONT ONLY



REAR ELEVATION
 SCALE 1/8"=1'-0"



ASPHALT DRIVE
 WATER ON OPPOSITE SIDE OF STREET
 DIRECTIONAL BORE

SPECIAL NOTES FOR THIS PROJECT	
• 5/8" OSB ROOF SHEATHING	
• 1/2" OSB WALL SHEATHING	
• 5/8" DRYWALL ON ALL EXTERIOR WALLS	
• 5/8" DRYWALL ON 2ND FLOOR CEILING	
• 1/2" DRYWALL INTERIOR WALLS	

FRONT ELEVATION C
 SCALE 1/4"=1'-0"

Rev	Date
0	11.19.15
1	12.15.15
2	02.04.16

Preparer	DCS
By:	CLD

Scale
 1/4"=1'-0"

Square Footage	
Main Floor	1943 Sq.Ft.
Upper Floor	1561 Sq.Ft.
Total	3504 Sq.Ft.

407 N. GIBBONS
 ARLINGTON
 HEIGHTS, IL
 RICHMOND "C"

JOB NO
 18-695

- * ALL CONTRACTORS SHOULD ADHERE TO O.S.H.A. APPROVED SAFETY STANDARDS, STAIR OPENINGS, SCAFFOLDING, ETC.
- * DESIGNERS AND ARCHITECTS ARE NOT RESPONSIBLE FOR ANY O.S.H.A. VIOLATIONS OR REQUIREMENTS.

A. THESE NOTES SHALL APPLY WHERE NOT OTHERWISE INDICATED
ON DRAWINGS OR IN SPECIFICATIONS

- B. A DETAIL SHOWN FOR ONE CONDITION SHALL APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS OTHERWISE NOTED ON DRAWINGS.
- C. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND TO BE AWARE OF ALL GOVERNING REGULATIONS, CODES, ORDINANCES, AND CURRENT STANDARDS OF PRACTICE.
- D. ALL WORK SHALL BE PERFORMED BY QUALIFIED CONTRACTORS FAMILIAR WITH THESE DRAWINGS.
- E. WHILE EVERY ATTEMPT HAS BEEN MADE TO AVOID ERRORS IN THE PREPARATION OF THESE DRAWINGS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OMISSION, ERROR, THE CONTRACTOR & HIS SUBCONTRACTORS, ON THE JOB, MUST CHECK ALL DIMENSIONS & DETAILS OF ALL WORK.
- F. APPROPRIATE SUBCONTRACTORS SHALL BE RESPONSIBLE FOR LAYOUT OF PLUMB, FURNISHING & ERECTING SYSTEMS. SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS, COORDINATE WITH OTHERS, AND BE RESPONSIBLE FOR ANY OMISSION, ERROR, THE CONTRACTOR & HIS SUBCONTRACTORS, ON THE JOB, MUST CHECK ALL DIMENSIONS & DETAILS OF ALL WORK.
- G. SYSTEMS BE SUBSTANDARD TO REQUIREMENTS OF GOVERNING REGULATIONS, CODES, ORDINANCES, & CURRENT STANDARDS OF PRACTICE.
- H. INTERIOR & EXTERIOR WALL DIMENSIONS ARE NOMINAL ROUGH TO ROUGH.

A. SOIL BEARING CAPACITY IS ASSUMED TO BE 2000 PSF.
B. MINIMUM FILL DEPTH SHALL BE 12 INCHES. MINIMUM FILL DEPTH, PER LOCAL CODE,
C. SHALL BE 18 INCHES. IF NOT CAPABLE OF BEARING 2000 PSF, FOOTINGS SHALL BE
D. DESIGNED TO BEAR ON UNDISTURBED SOIL.
E. MINIMUM COVER SHALL BE 12 INCHES. 28 DAYS SHALL BE AS FOLLOWS:
F. MINIMUM COVER SHALL BE 3000 PSI. BASEMENT SHALL BE 2500 PSI
G. MINIMUM OF 5 BAGS OF PORTLAND CEMENT PER CYC. SHALL BE USED IN THE CONCRETE
H. MINIMUM SPECIFIED CEMENT SHALL BE 5% OF TOTAL WEIGHT OF CONCRETE.
I. MINIMUM VAPOR BARRIER ON MIN. 4" COMPACTED GRANULAR FILL ON SOIL BEARING
J. CAPABILITY SHALL BE 2000 PSF. MINIMUM VAPOR BARRIER SHALL BE 15 MIL.
K. REINFORCING BARS SHALL BE 1/2" DIA. TO ASTM A-618. LONGER THAN 18" SMALLER
L. THAN 18" SHALL BE 1/4" DIA. TO ASTM A-618. ALL BARS SHALL BE 1/4" DIA. TO
M. ASTM A-618. ALL BARS SHALL BE 1/4" DIA. TO ASTM A-618. ALL BARS SHALL BE
N. 1/4" DIA. TO ASTM A-618. ALL BARS SHALL BE 1/4" DIA. TO ASTM A-618. ALL
O. BARS SHALL BE 1/4" DIA. TO ASTM A-618. ALL BARS SHALL BE 1/4" DIA. TO
P. ASTM A-618. ALL BARS SHALL BE 1/4" DIA. TO ASTM A-618. ALL BARS SHALL
Q. BE 1/4" DIA. TO ASTM A-618. ALL BARS SHALL BE 1/4" DIA. TO ASTM A-618.
R. ALL BARS SHALL BE 1/4" DIA. TO ASTM A-618. ALL BARS SHALL BE 1/4" DIA. TO
S. ASTM A-618. ALL BARS SHALL BE 1/4" DIA. TO ASTM A-618. ALL BARS SHALL
T. BE 1/4" DIA. TO ASTM A-618. ALL BARS SHALL BE 1/4" DIA. TO ASTM A-618.
U. ALL BARS SHALL BE 1/4" DIA. TO ASTM A-618. ALL BARS SHALL BE 1/4" DIA. TO
V. ASTM A-618. ALL BARS SHALL BE 1/4" DIA. TO ASTM A-618. ALL BARS SHALL
W. BE 1/4" DIA. TO ASTM A-618. ALL BARS SHALL BE 1/4" DIA. TO ASTM A-618.
X. ALL BARS SHALL BE 1/4" DIA. TO ASTM A-618. ALL BARS SHALL BE 1/4" DIA. TO
Y. ASTM A-618. ALL BARS SHALL BE 1/4" DIA. TO ASTM A-618. ALL BARS SHALL
Z. BE 1/4" DIA. TO ASTM A-618. ALL BARS SHALL BE 1/4" DIA. TO ASTM A-618.

A. STRUCTURAL STEEL DETAILING, FABRICATION & ERECTION SHALL BE IN ACCORDANCE WITH THE 1989 EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION, 3RD EDITION, AMERICAN INSTITUTE OF STEEL CONSTRUCTION.

B. ALL STEEL CONNECTIONS SHALL BE WELDED. ALL JOINTS SHALL BE FULLY FORMED, WELDED & SEAMLESS. CARBON STEEL STRUCTURAL SHAPES IN RIGIDS & SHAPES SHALL CONFORM TO ASTM A-500.

C. ALL WELDS SHALL BE EXAMINED USING ROUTED OR PROBE DRAWINGS AS WELDED. ALL JOINTS SHALL BE EXAMINED USING ROUTED OR PROBE DRAWINGS AS WELDED.

D. ENFORCED STEEL BEAMS NOT BEARING ON CONCRETE FOUNDATION WALLS SHALL BE ENFORCED ON ONE OR BOTH SIDES OF THE BEAM. ALL ENFORCED STEEL BEAMS SHALL BE ENFORCED ON ONE OR BOTH SIDES OF THE BEAM. WHEN COLUMN SHALL NOT BEAR ON CONCRETE FOUNDATION WALLS, ENFORCED STEEL BEAMS SHALL BE ENFORCED ON ONE OR BOTH SIDES OF THE BEAM. WHEN COLUMN SHALL NOT BEAR ON CONCRETE FOUNDATION WALLS, ENFORCED STEEL BEAMS SHALL BE ENFORCED ON ONE OR BOTH SIDES OF THE BEAM.

E. 1. SCHEDULE IS AS FOLLOWS:

	SPAN	6' OR LESS	L	4'-3 1/2" / 2'
1ST FLOOR	SPAN	10' OR 16'	L	6'x41'
	SPAN	10' OR 16'	L	4'-3 1/2" / 2'
2ND FLOOR	SPAN	10' OR 16'	L	6'x41'

A. UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS, ALL FRAMING LUMBER SHALL BE
B. #2 SOUTHERN PINE OR EQUIVALENT. ROOF BOARDS SHALL BE 2x6 ONE SIZE LARGER THAN THE RAFTERS.
C. W/12 VALLEY RAFTERS, 2x6 ROOF BOARDS SHALL BE 2x6 ONE SIZE LARGER THAN THE RAFTERS.
D. W/12 VALLEY RAFTERS, 2x6 ROOF BOARDS SHALL BE 2x6 ONE SIZE LARGER THAN THE RAFTERS.
E. W/12 VALLEY RAFTERS, 2x6 ROOF BOARDS SHALL BE 2x6 ONE SIZE LARGER THAN THE RAFTERS.
F. W/12 VALLEY RAFTERS, 2x6 ROOF BOARDS SHALL BE 2x6 ONE SIZE LARGER THAN THE RAFTERS.
G. W/12 VALLEY RAFTERS, 2x6 ROOF BOARDS SHALL BE 2x6 ONE SIZE LARGER THAN THE RAFTERS.
H. W/12 VALLEY RAFTERS, 2x6 ROOF BOARDS SHALL BE 2x6 ONE SIZE LARGER THAN THE RAFTERS.
I. W/12 VALLEY RAFTERS, 2x6 ROOF BOARDS SHALL BE 2x6 ONE SIZE LARGER THAN THE RAFTERS.
J. W/12 VALLEY RAFTERS, 2x6 ROOF BOARDS SHALL BE 2x6 ONE SIZE LARGER THAN THE RAFTERS.
K. W/12 VALLEY RAFTERS, 2x6 ROOF BOARDS SHALL BE 2x6 ONE SIZE LARGER THAN THE RAFTERS.
L. W/12 VALLEY RAFTERS, 2x6 ROOF BOARDS SHALL BE 2x6 ONE SIZE LARGER THAN THE RAFTERS.
M. W/12 VALLEY RAFTERS, 2x6 ROOF BOARDS SHALL BE 2x6 ONE SIZE LARGER THAN THE RAFTERS.
N. W/12 VALLEY RAFTERS, 2x6 ROOF BOARDS SHALL BE 2x6 ONE SIZE LARGER THAN THE RAFTERS.

A. PROVIDE FIBERGLASS INSULATION WITH INTEGRAL VAPOR BARRIER IN WALLS & CEILINGS & ELSEWHERE AS INDICATED ON THE DRAWINGS. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PROPER INSTALLATION.

B. MINIMUM 1-1/2" WALLS & CEILING.

B. INSTALL APPROVED FLASHING AT ALL EXTERIOR PENETRATIONS, ROOF VALLEYS, SADDLES, ROOF TOP INTERSECTIONS, & OTHER INDICATED ON DRAWINGS. FLASHING SHALL BE PAINTED 2" WIDE GALVANIZED STEEL OR GALV. VALUED OF 24" WITH PITCH OF 12 OR LOWER, & ON ALL SHAKE ROOFS, FLASHING SHALL BE 24" WIDE ON ROOFS WITH PITCH OVER 12, & 48" FLASHING SHALL BE 16" WIDE. ALL FLASHING SHALL HAVE A SPLASH RAY HIGH FOR EXTERIOR ROOFS 3/4" HIGH FOR OTHER TYPES OF FLASHING.

C. ALL EXTERIOR WINDOWS/DOORS SHALL BE FLASHED @ HEADS, & PROPERLY WEATHERSTRIPPED.

A. PROVIDE REED 110 VOLT SMOKE DETECTORS IN ALL BEDROOMS & ON EACH FLOOR
B. CONNECTED. INSTALLATION OF TRUSS JOISTS & MICROLUMS TO BE IN ACCORDANCE WITH THE
C. PROVIDE FIRE PROTECTION AS REQUIRED AT THE FOLLOWING LOCATIONS: ALL BASEMENT,
D. ATTIC & CRAWL SPACE LIGHTING FIXTURES MUST BE CONTROLLED BY A SWITCH
E. 20 AMP CIRCUITS MUST HAVE 20 AMP RECEPTACLES
F. ALL LIGHTS TO BE CONTROLLED BY A SWITCH
G. OUTLETS IN AND OUTDOORS MUST EVERY 4'0" O.C. & MAX. 12' BELOW TOP.
H. L. OUTLETS & SWITCHES WITHIN 6' OF SINKS MUST BE NOTED BY THE FIREWORK CODE
I. ALL UNDERGROUND TO BE PER LOCAL CODES. WHIPPING TYPE 1/2" CLOSER
J. K. STAIRS & CLEAR WITH 24" MIN. CLEAR HEIGHT. MAY BE SLANTING UP. A.F.F.
L. HANDRAIL CLEARANCE 42" TIGHT BALUSTERS 36" MIN. OF TREAD. INSIDE OF
M. ALL DIAPHRAGMS 2" TIGHT BALUSTERS 36" MIN. OF TREAD. INSIDE OF
N. O. THROUGH 2" TIGHT BALUSTERS 36" MIN. OF TREAD. INSIDE OF
P. PROVIDE SPARK ARRESTOR ON EXHAUST SYSTEMS. MANUFACTURERS REQS.
Q. PROVIDE SPARK ARRESTOR ON EXHAUST SYSTEMS. MANUFACTURERS REQS.
R. PROVIDE SPARK ARRESTOR ON EXHAUST SYSTEMS. MANUFACTURERS REQS.
S. PROVIDE SPARK ARRESTOR ON EXHAUST SYSTEMS. MANUFACTURERS REQS.
T. PROVIDE SPARK ARRESTOR ON EXHAUST SYSTEMS. MANUFACTURERS REQS.
V. PROVIDE SPARK ARRESTOR ON EXHAUST SYSTEMS. MANUFACTURERS REQS.
W. PROVIDE SPARK ARRESTOR ON EXHAUST SYSTEMS. MANUFACTURERS REQS.

FLOOR	40# LL 10# DL	ALL AREAS
WALL	60# PLF OR ACTUAL LOAD	
CEILING	20# LL 10# DL	ROOF SLOPES OVER 3 IN 12
ROOF	30# LL 10# DL	
CATHEDRAL	30# LL 15# DL	ALL SLOPES
EXT. DECK	40# LL 10# DL	
BALCONY	60# LL 10# DL	EXTERIOR

FLOOR JOISTS, CEILING JOISTS, HEADERS, AND RAFTERS		
IN-GRADE BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)		
GRADE # 2	SPECIES HEM-FIR	AMERICAN BASE Fb = 875
SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM PRODUCT WITH-		
THE CURRENT SIZE, Fb AND E VALUES PER MANUFACTURER		
MANUFACTURER TRUSS JOIST MacMILLAN	PRODUCT LVL	
1-3/4 = Fb 2600 PSI	E = 1.9	



SCALE 1/8"=1'-0"



SCALE 1/8"=1'-0"



Rev	Date
0	11.19.15
1	12.15.15
2	02.04.16

By: CLD

Scale
1/4"=1'-0"

Square Footage
Main Floor 1943 Sq.Ft.
Upper Floor 1561 Sq.Ft.
Total 3504 Sq.Ft.

407 N. GIBBONS
ARLINGTON
HEIGHTS, IL
RICHMOND "C"

JOB NO
18-695

A-2

ADDRESS: 407 N. GIBBONS

MATERIAL SCHEDULE

ITEM	MATERIAL	MANUFACTURER	COLOR
STONE	NATURAL STONE	BUECHEL	FON DU LAC COUNTRY SQUIRE
ROOF	ARCHITECTURAL ASPHALT SHINGLES	CERTAINTED LANDMARK	MOIRE BLACK
GUTTERS	ALUMINUM	BESTLINE	WHITE #280
SOFFIT/FASCIA	ALUMINUM	BESTLINE	WHITE #280
SIDING	FIBERCEMENT	LP SMARTSIDE	PEWTER
SHAKE SIDING	FIBERCEMENT	LP SMARTSIDE	SEACOAST GRAY
SIDING TRIM	FIBERCEMENT	LP SMARTSIDE	ULTRA WHITE
WINDOWS	SINGLE HUNG VINYL	PELLA	WHITE
GARAGE DOOR	STEEL/INSULATED	CLOPAY	WHITE
ENTRY DOOR	FIBERGLASS/ GLASS UPPER	THERMATRU	SW6258 TRICORN BLACK



Item: DC#15-156 - Sign Code Modifications - Drive-Through Restaurant Signage

Department: Planning & Community Development

BACKGROUND

Recently, the Village received a request for a digital order screen with video capability for an existing drive-through restaurant. A digital order screen is basically a video screen that allows person to person interaction between the customer and the employee of the establishment, as well as to display the customer's order information. In response to this request, Staff conducted a study to evaluate the current Village regulations associated with restaurant drive-through signage, including possibly allowing digital order screens.

Electronic signage is not allowed in the Village per the Municipal Code, Chapter 30 - Signs. Furthermore, the Village does not currently regulate drive-through restaurant signage.

RECOMMENDATION

It is recommended that the Design Commission recommend approval of the proposed sign code revisions as follows:

1. Modify the current code as outlined in Option 2: Modify the Sign code to allow Digital Order Screens and to establish regulations for all restaurant drive-through signage.

ATTACHMENTS:

Description	Type
Staff Report	Board or Commission Report
Attachment 1 - Proposed Chapter 30 Text Amendments	Exhibits
Attachment II - Planning Advisory Inquiry Response - Electronic Menu Board Signs	Exhibits
Attachment III - Research of Other Communities	Exhibits
Attachment IV - Sample of Existing Drive-through Restaurant Signage in Arlington Heights	Exhibits

DRIVE-THROUGH RESTAURANT SIGNAGE

DC 15-156, January 26, 2016

Department of Planning and Community Development

Prepared by: Charmain Later

STAFF REPORT

- A. Background
- B. Possible Options
- C. Conclusions
- D. Recommendations

ATTACHMENTS

- I. **Proposed Chapter 30 Text Amendments**, dated January 26, 2016
 - II. **Planning Advisory Inquiry Response - Electronic Menu Board Signs**, dated January 26, 2016
 - III. **Staff Summary - Research of Other Communities**, dated January 26, 2016
 - IV. **Staff Research – Sample of Existing Drive-through Restaurant Signage in Arlington Heights**, dated January 26, 2016
 - V. **Photos of Existing Drive-through Restaurant Signage in Arlington Heights**, dated January 26, 2016
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A. BACKGROUND:

Recently, the Village received a request for a digital order screen with video capability for an existing drive-through restaurant. A digital order screen is basically a video screen that allows person to person interaction between the customer and the employee of the establishment, as well as to display the customer's order information. In response to this request, Staff conducted a study to evaluate the current Village regulations associated with restaurant drive-through signage, including possibly allowing digital order screens.

ISSUES: Electronic signage is not allowed in the Village per the Municipal Code, Chapter 30 - Signs. Furthermore, the Village does not currently regulate drive-through restaurant signage, except for the Special Use zoning review which is required for all new drive-through restaurants.

RESEARCH: Staff requested the American Planning Association's Planning Advisory Inquiry-Answer Service (PAS) to provide information as to how Illinois suburbs similar in size to Arlington Heights regulate electronic menu signs for a restaurant drive-through. In total, eleven communities' sign codes were reviewed for comparison. Typically, the number and size of the menu boards were regulated, as well as height and placement. The results of the PAS research and a staff summary are included as Attachments II and III of this report.

Of the eleven (11) communities surveyed:

- Six (6) of the communities do not include regulations specific to electronic menu boards or digital screens.
- Five (5) of the communities do regulate drive-through restaurant video screens or digital displays.

Staff also conducted a survey of the existing drive-through facilities operating in Arlington Heights. Of the total 32 drive-through facilities in service in Arlington Heights, 14 are associated with restaurants. Of these 14, only three were visible from the street, with the Starbucks at 1808 S. Arlington Heights Road being the only relatively recent drive-through with a menu board that is potentially

readable from the public right-of-way. A review of aerial photos of all of the drive-through facilities operating in the Village showed that almost all of the restaurants located their drive-through facilities towards the rear of their buildings. Although most of the restaurant drive-through facilities are not readily visible from the public right-of-way, over half were adjacent to residential property.

A sample of eight restaurants in Arlington Heights that operate drive-through service was also identified, and the size and number of signs that are part of each drive-through have been researched and documented, both in the field and through a review of the permit files. Below is a summary of the average size of the drive-through signs sampled.

Sample Size of Existing Restaurant Drive-through Signage

	Menu Boards	Pre-sell Menu Boards	Clearance Bar/Canopy	Speaker Bollard
Average Size	48 sf	18 sf	10 feet high	5 sf (front face)

Using this information in conjunction with the PAS research collected, Staff was able to formulate applicable recommendations for drive-through signage.

B. POSSIBLE OPTIONS:

Based on staff research on how other communities regulate digital order screens and restaurant drive-through facilities, a review of the Village of Arlington Heights current zoning and sign codes, research of the dimensions and location of existing restaurant drive-through signage in the Village, and feedback from Planning and Community Development Department staff, the following options for possible revisions to the Sign Code are offered.

Option 1: Make no change to the current code.

- Digital order screens would continue to not be allowed, and drive-through restaurant signage will continue to be allowed without specific regulations in association with approved drive-through restaurants.

Option 2: Modify the Sign Code to allow Digital Order Screens and regulate other restaurant drive-through signage.

- Add “Section 30-208 Drive-through Restaurant Signage” to the Sign Code to allow digital order screens and to provide more direction as to the types, number and placement of signage and other structures associated with a restaurant drive-through facility.
- Amend “Section 30-101 Definitions” of the Sign Code to include digital order screens and other fixtures associated with restaurant drive-through facilities that are currently not defined in the Municipal Code.

C. CONCLUSIONS:

It is prudent for the Village to be aware of, and prepared for, future requests for types of drive-through restaurant signage that may become more common such as digital order screens. As with any code amendment, the Village will need to monitor the outcome for any unforeseen issues. If undesirable issues were to arise, then recommendations will be made to address them.

D. RECOMMENDATIONS:

It is recommended that the Design Commission recommend approval of the proposed sign code revisions as follows:

1. Modify the current code as outlined in Option 2 above. See Attachment I, Proposed Chapter 30 Text Amendments.

**PROPOSED DRIVE-THROUGH RESTAURANT SIGNAGE
ATTACHMENT I**

DC 15-156, January 26, 2016

**PROPOSED CHAPTER 30
TEXT AMENDMENTS**

Section 30-101 Definitions. (New definitions to be added)

Drive-through Digital Order Screen. A sign associated with a drive-through restaurant that uses electronic means such as combinations of LED's, fiber optics, light bulbs, or other illumination devices to display order information for the customer and/or person to person ordering.

Drive-through Menu Board. A sign display associated with a restaurant drive-through, either located on a wall or as a ground sign, which displays the varieties of food and drink available to the customer at that restaurant location only.

Drive-through Pre-sell Menu Board. Generally, a smaller version of the drive-through menu board which is located in proximity to but in advance of the drive-through menu board and displays the food and drink options available to the customer at that restaurant location only.

Drive-through Clearance Bar. A stand-alone structure that alerts a vehicle operator of any height restrictions they may encounter on the site.

Section 30-208 – Drive-through Restaurant Signage. (New section to be added in its entirety)

1. General Provisions.

- a. Dimensions. No drive-through sign shall exceed seven feet in overall height.
- b. Message. Drive-through signs may only feature products sold on the premises.
- c. Advertising. No additional advertising or attachments shall be permitted on the digital order screen, drive-through menu boards and pre-sell menu boards, speaker bollard, canopies, clearance bar, or exterior of the structure.
- d. Location.
 - i. All drive-through signage may only be located along approved and operating drive-through lanes.
 - ii. Speaker bollards, menu boards, pre-sell menu boards, and digital order screens shall be located 15 feet minimum from any residential property line.
 - iii. Drive-through menu boards, pre-sell menu boards, and digital order screens shall be located in the side or rear yards, away from the primary street frontage.
 - iv. Drive-through menu boards, pre-sell boards, and digital order screens shall not be oriented towards the public right-of-way.
 - v. All directional signage located within the drive-through facility shall comply with Chapter 30, Article III, Section 30-302 b.
- e. Illumination. Signs may be internally or externally lit but the light shall be contained to the drive-through lane only, and in accordance with Sections 30-117 and 30-118 of this Code.
- f. Landscaping. All free standing signs shall be located within a landscaped area, separated from and protected from vehicular circulation or parking areas.

2. Drive-through Menu Boards.
 - a. Number. One drive-through menu board is allowed per drive-through lane.
 - b. Dimensions. Drive-through menu boards shall not exceed 49 square feet in size.
 - c. Digital Order Screens. Drive-through menu boards may include a digital order screen that complies with the regulations outlined in Section 30-208.4 of this Code.
3. Drive-through Pre-sell Menu Boards.
 - a. Number. One drive-through pre-sell menu board is allowed per drive-through lane.
 - b. Dimensions. Drive-through pre-sell menu boards shall not exceed 24 square feet in size.
 - c. Location. Drive-through pre-sell menu boards should be located in close proximity to the drive-through menu board.
4. Drive-through Digital Order Screens.
 - a. Number. One digital order screen display is allowed per drive-through lane.
 - b. Dimensions. Digital order screens shall not exceed two square feet in size.
 - c. Display. When not engaged, the digital order screen shall have a non-glare, unobtrusive static display.
5. Other allowed drive-through structures.
 - a. Speaker Bollard: One speaker bollard is allowed per drive-through lane. The speaker bollard may include a digital order screen. No business or product signage shall be permitted on the speaker exterior.
 - b. Clearance Bar: One clearance bar structure is allowed per drive-through lane. A clearance bar shall not include business or product signage and shall be of a simple design that complements the building design and signage.
 - c. Canopy: One canopy is allowed per drive-through lane and shall not display business or product signage or additional advertising. Canopies shall be of a simple design that complements the building design and signage.

Summary Chart of Allowable Restaurant Drive-Through Signage and Fixtures

	Number	Dimensions	Illumination	Location
Drive - through Menu Board	One per drive-through lane.	Not to exceed 49 square feet.	Per Section 30-117 and 30-118 of the Municipal Code. May include a digital order screen.	Shall be positioned away from the primary street frontage. Must be located 15 feet from residential property line.
Drive - through Pre-sell Menu Board	One per drive-through lane.	Not to exceed 24 square feet.	Per Section 30-117 and 30-118 of the Municipal Code.	Shall be positioned away from the primary street frontage, and in close proximity to the Drive-through Menu Board. Must be located 15 feet from residential property line.
Drive - through Digital Order Screen	One per drive-through lane.	Not to exceed two (2) square feet.	Per Section 30-117 and 30-118 of the Municipal Code. When not in use, an unobtrusive static display must be shown.	Shall be positioned away from the primary street frontage. Must be located 15 feet from residential property line.
Speaker bollard	One per drive-through lane.	NA	If the speaker bollard has a digital order screen, no advertising may be displayed.	Shall be positioned away from the primary street frontage. Must be located 15 feet from residential property line.
Clearance Bar and Canopy	One per drive-through lane.	NA	NA	NA

**PROPOSED DRIVE-THROUGH RESTAURANT SIGNAGE
ATTACHMENT II**

DC 15-156, January 26, 2016

**PLANNING ADVISORY INQUIRY RESPONSE –
ELECTRONIC MENU BOARD SIGNS**

Later, Charmain

From: Ann Dillemath
Sent: Thursday, September 10, 2015 9:51 AM
To: Later, Charmain
Subject: PAS Inquiry Response - Electronic Menu Board Signs

Charmain,

Regarding your request for information as to how Illinois suburbs similar in size to Arlington Heights regulate electronic menu signs for restaurant drive-throughs:

The short answer is that most communities do not directly address electronic menu boards for drive-through restaurants (and quite a few do not specifically regulate menu boards for drive-through restaurants at all). My colleague Mary Donoghue and I searched a wide range of Illinois local codes and did not find any examples of communities similar in size to Arlington Heights that regulated electronic menu boards. Two codes that did were from smaller communities. Buffalo Grove exempts electronic menu boards from EMC regulations elsewhere in the code, and Sterling allows one electronic message menu sign per business with no additional regulations.

I've provided links to those codes below, as well as to other drive-through menu board sign regulations from several Illinois communities large and smaller just to give you an idea of how sign codes address this signage type. Typically, number and size are regulated; some codes also specify standards for height and placement. Three of the examples below — Carpentersville, Mundelein, and Streamwood — address electronic/video display screens on menu boards, but this application appears limited to customer order information or a small part of the sign (e.g., a maximum of 2 square feet), so this does not seem to be addressing a completely electronic menu board. Streamwood does include a provision that menu boards and associated speaker video displays may not include additional advertising, which echoes Buffalo Grove's stipulation that menu boards may only advertise products sold at that place of business.

In case it is of interest, I also did a national search for electronic or digital drive-through menu board signs, and only found a handful of communities that regulate these. The codes that I found exempted electronic/digital menu board signs from electronic message center regulations or definitions.

I hope you find this material helpful! Thank you for using the PAS Inquiry Answer Service, and please let us know if we can be of further assistance. **Please return the Outlook read receipt attached to this message or otherwise let us know that you have received this Inquiry Response.**

Electronic Menu Sign Regulations, Illinois:

Buffalo Grove (Illinois), Village of. 2015. *Code of Ordinances*. Title 14: Sign Code, Chapter 14.20, Special Signs, Section 14.20.070, Electronic Message Signs. Chapter 14.16: Location and Placement, Section 14.16.030: Business Districts.

Available at

https://www.municode.com/library/il/buffalo_grove/codes/code_of_ordinances?nodeId=TIT14SICO_CH14_16LOPL_14.16.030BUDI.

- Drive-through signs are exempt from the general electronic message board regulations; may only feature products sold at the place of business.
- 14.20.070 - Electronic message signs.
 - A. Electronic menu boards used at drive-through lanes shall comply with the requirements set forth in Section 14.16.030.F.
- 14.16.030.F. Each outlot in a Business zoned district may be permitted one menu board per drive thru for food establishments. The menu board may be changed at any time provided that the copy only features products sold at the place of business. The size of the menu board shall be limited to fifty square feet, including all attachments. Electronic screens to display point of sale information are exempt from electronic message board requirements as set forth in Section 14.20.070.

Sterling (Illinois), Village of. 2015. *Code of Ordinances*. Chapter 102, Zoning; Article VI, Signs; Section 102-269, Changeable Copy Signs and Electronic Message Signs. Available at

https://www.municode.com/library/IL/sterling/codes/code_of_ordinances?nodeId=CICO_CH102ZO_ARTVI_SI_S102-269CHCOSIELMESI .

- Electronic message menu signs limited to one in number; video displays on menu signs of less than 3 SF are not included.
- Sec. 102-269. - Changeable copy signs and electronic message signs.
(b) Number. . . . Video displays for electronic message menu signs that apply to ordering systems for drive-thru restaurants that do not exceed three square feet in size shall not be included. Electronic message menu signs shall be limited to one in number for each occupant.

Menu Sign Regulations—Suburbs of similar size to Arlington Heights (50,000-100,000 pop)
Cicero (Illinois), Town of. 2015. *Code of Ordinances*. Appendix A: Zoning, Appendix II: Roosevelt Road Corridor, Section 10.12.1: Signs. Available at

https://www.municode.com/library/il/cicero/codes/code_of_ordinances?nodeId=PTIICOOR_APXAZO_APXIIROROCO.

- Specific regulations for drive-through signage in the Roosevelt Road Corridor; does not address electronic display.
- 10.12.1.1 One ground sign is permitted per street front and may be permitted as a monument or pole sign. However, drive-through establishments are permitted an additional menu board sign whether constructed on a pole or as a monument provided the menu board is no more than 40 square feet in area and is not more than 6 feet in height.

Evanston (Illinois), City of. 2015. *Code of Ordinances*. Title 4: Building Regulations, Chapter 10 Sign Regulations, Section 4-10-6: Exempt Signs. Available at

https://www.municode.com/library/il/evanston/codes/code_of_ordinances?nodeId=TIT4BURE_CH10SIRE_4-10-6EXSI.

- Regulates the number and size of menu signs, not electronic display.
- Menu board signs. One (1) menu board sign for a drive-in or drive-through facility, provided that the sign does not exceed twenty-five (25) square feet or eight (8) feet in height.

Mount Prospect (Illinois), Village of. 2015. *Village Code*. Chapter 7: Sign Regulations, Article III: General Provisions, Section 7.325: Special Signs. Available at

http://www.sterlingcodifiers.com/codebook/index.php?book_id=802.

- Regulates the number and size of menu signs; also requires light from the sign to be contained to the drive-through lane only.
- C. Menu Board: One menu board for a drive-in or drive-through restaurant shall be permitted in addition to other signs permitted under these regulations, provided such sign does not exceed thirty two (32) square feet in area or eight feet (8') in height from finished grade, and light from the menu board is contained to the drive-through lane only.

Schaumburg (Illinois), Village of. 2015. *Code of Ordinances*. Title 15: Land Usage, Chapter 155: Signs, Commercial Uses, Section 155.95: Commercial Use Signs. Available at

https://www.municode.com/library/il/schaumburg/codes/code_of_ordinances?nodeId=TIT15LAUS_CH155SI_COUS_S155.95COUSSI.

- Regulates number, area, location, and height of menu signs, but does not address electronic display.
- (B)Ground Signs:
 - (1)Number:
 - (a)There shall not be more than one (1) ground sign for each building.
 - (b)There shall not be more than one (1) menu board, a sign display for a type C restaurant, which displays the varieties of food and drink available to the customer, for each restaurant drive-through facility.
 - (2)Area:
 - (a)The gross surface area of a ground sign shall not exceed one hundred (100) square feet for each exposed face, nor exceed an aggregate gross surface area of two hundred (200) square feet.
 - (b)The gross surface area of a menu board sign shall not exceed thirty (30) square feet of gross surface area.
 - (3)Location:
 - (a)A ground sign may be located in any required yard but shall not extend over any lot line.
 - (b)A menu board sign may only be located along a drive-through lane, but shall not extend over any lot line.
 - (4)Height:
 - (a)A ground sign shall not project higher than fifteen feet (15'), as measured from base of sign.
 - (b)A menu board sign shall not project higher than seven feet (7'), as measured from base of sign.
 - (5)Design: Ground signs shall be limited to monument style signs having the poles enclosed by an architectural design compatible with the primary structure with regards to style, colors and materials.

Menu Sign Regulations—Suburbs Smaller than Arlington Heights (30,000-50,000 pop)

Carpentersville (Illinois), Village of. 2015. *Code of Ordinances*. Title 16: Zoning, Chapter 16.40: Signs, Section 16.40.110: Special Signs. Available at https://www.municode.com/library/il/carpentersville/codes/code_of_ordinances?nodeId=TIT16ZO_CH16.40SI_16.40.110SPSI.

- Allows for two drive-through signs, and one may contain an ordering display screen limited to 2 SF.
- G. Drive-through Restaurants.
 1. Number. In addition to the signs otherwise allowed by this chapter, a drive-through restaurant shall be allowed not more than two additional signs to be located adjacent to each separate legally authorized drive through lane.
 2. Height. Such sign shall not exceed six feet in height.
 3. Sign Area. The sign area of the first sign to be installed along a drive-through lane shall not exceed fifty (50) square feet. If a second sign is installed on the same drive-through lane it shall not exceed thirty-two (32) square feet.
 4. One of the two signs installed along a drive-through lane may include an illuminated ordering display screen which does not exceed two square feet in area.
 5. Illumination. The signs may be illuminated subject to the standards in Section 16.40.050.E.
 6. Projection. No wall-mounted sign shall project more than twelve (12) inches from the wall to which it is attached.
 7. Setback. The sign shall not encroach upon the required building setbacks on a lot.
 8. Sign Landscaping. All freestanding signs shall be located within a landscaped area separated and protected from vehicular circulation and parking areas. The plantings within these areas shall include a combination of shrubs, perennials and groundcovers.
 9. Decorative Sign Base. All freestanding signs shall be designed and constructed with an integral decorative base constructed of wood, metal, masonry, or ornamental stone to conceal the sign's support structure(s) and to visually compliment the building materials used on the principal building(s) on the lot. The area of the decorative sign base shall not be computed as part of the sign area.

Mundelein (Illinois), Village of. 2015. *Code of Ordinances*. Title 21: Sign Regulations, Chapter 21.24: Sign Permit Required: Permanent and Temporary Signs, Section 21.24.100: Menuboard. Available at https://www.municode.com/library/il/mundelein/codes/code_of_ordinances?nodeId=TIT21SIRE_CH21.24SIPEREPETESI_21.24.100ME.

- Allows for electronic screen displaying customer order information to be included in menu boards.
- 21.24.100 Menuboard
 - A. Menuboard are permitted for all drive-through facilities.
 - B. Menuboard are limited to a maximum of one per drive-through lane.
 - C. Menuboard are limited to seventy-five square feet in sign area and eight feet in height. The menuboard may be designed as separate freestanding signs grouped together and may include the use of preview boards designed as separate freestanding signs installed a distance earlier in the drive-through lane, however the total area of all signs must not exceed seventy-five square feet.
 - D. Menuboard are permitted an additional ten square feet of sign area for temporary signs attached to the top or sides of the menuboard.
 - E. Menuboard must be located a minimum of fifteen feet from any residential district lot line. This is measured from sign face to lot line, including any public right-of-way.
 - F. Menuboard may be internally illuminated. Menuboard may also contain an electronic screen that displays order information for each customer.
- Ordinance also contains an illustration of an acceptable menuboard, but electronic screen not indicated.

Streamwood (Illinois), Village of. 2015. *Code of Ordinances*. Title 11, Zoning; Chapter 10, Signs; Section 11-10-3-2, Commercial Districts; part F, Menu Boards And Outdoor Speakers Accessory To Drive-Through Facilities. Available at http://www.sterlingcodifiers.com/codebook/index.php?book_id=392.

- Menu boards are limited to 32 SF in size, and may include a video display, but no additional advertising on the display or structure is allowed.
- F. Menu Boards And Outdoor Speakers Accessory To Drive-Through Facilities: Only one menu board for an approved drive-through facility shall be permitted; such menu board shall not exceed thirty two (32) square feet in size, and shall not be encumbered with attachments or additional advertising. Speakers incidental to the use of the menu board shall, where feasible, be incorporated therein. If a separate speaker, with video display is provided, no additional advertising on the display or exterior of the structure shall be permitted. The speaker must match the menu board in color, material and design. (Ord. 2009-34, 12-3-2009, eff. 1-1-2010)

West Chicago (Illinois), City of. 2015. *Code of Ordinances*. Appendix A: Zoning, Article XII: Signs, Section 12.8.3: Drive-Through Restaurant Signs. Available at https://www.municode.com/library/il/west_chicago/codes/code_of_ordinances?nodeId=COOR_APXAZO_ARTXIIISI_12.8-3_DRIVE-THROUGH_RESTAURANT_SIGNS.

- Regulates number, size, height, placement of menu boards, but does not address electronic display.
- In addition to the signs permitted by other sections of this article, drive-through restaurants shall be permitted to have menu display signs for drive-through customers. All menu display signs shall comply with the following regulations:
 - (A) Menu display signs shall be freestanding or flush-mounted.
 - (B) Each drive-through restaurant shall be permitted to have a maximum of two (2) menu display signs.

- (C)The area of an individual sign shall not exceed thirty-two (32) square feet.
- (D)The maximum sign height shall not exceed eight (8) feet.
- (E)The sign(s) shall be located in the side or rear yard only and shall be placed so as not to be readable from the public right-of-way.
- (F)Shall be located at least fifty (50) feet from any residential district property line.

Wheeling (Illinois), Village of. 2015. *Code of Ordinances*. Title 21: Signs, Chapter 21.07: Special Use Signs, Section 21.07.020: Signs for Specific Special Uses. Available at https://www.municode.com/library/il/wheeling/codes/code_of_ordinances?nodeId=TIT21SI_CH21.07SPUSSI_21.07.020SISPSPUS.

- Regulates number, size of menu boards, but does not address electronic display.
- (b)Drive-Thru Signs. Any use necessitating a drive-thru function will be permitted to have wall signs and freestanding signs as regulated in this code depending on use district. In addition, the property will be allowed additional signage relating to the function of the drive-thru:
 - (1)Menu board shall be limited to two signs per property (not including the speaker if unattached). The menu board is limited to sixty square feet and can be internally or externally illuminated.

How'd we do? Please [share your feedback](#).

Ann Dillemath, AICP
American Planning Association
Research Associate | Planning Advisory Service

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Making Great Communities Happen

**PROPOSED DRIVE-THROUGH RESTAURANT SIGNAGE
ATTACHMENT III**

DC 15-156, January 26, 2016

**STAFF SUMMARY - RESEARCH OF
OTHER COMMUNITIES**

Summary of PAS Research - Digital Menu Boards

Community	Regulates electronic signs?	Menu Board Size	Menu Board Number	Other code requirements
Buffalo Grove	Exempts from electronic message board requirements	50 sf	1/drive thru	Display to feature only products sold at the place of business.
Sterling	Video displays of < 3 sf. are not included in number of sign limitations	Not specified	1	One electronic message menu sign per occupant.
Cicero	no	40 sf; 6' H	up to 2	none
Evanston	no	25 sf; 8' H	1	none
Mt. Prospect	no	32 sf; 8' H	1	Light must be contained in drive thru
Schaumburg	no	30 sf; 7' H	1	
Carpentersville	May contain an ordering screen display of 2 sf	50 sf for first, 30 sf for second; 6' H	2	Must be landscaped
Mundelein	May include an electronic screen that displays order information	75 sf; 8' H	1	Allows an additional 10' for temporary signs attached to menu boards. Allows groups and preview boards but total area can not exceed 75 sf. Must be located 15 feet from residential property.
Streamwood	May include video display but not encumbered with attachments or other advertising	32 sf; no H specified	1	If a speaker with a video display is provided, no additional advertising on the display or structure is allowed.
West Chicago	no	32 sf; 8' H	2	Cannot be readable from public ROW and set back 50ft from residential property
Wheeling	no	60 sf; no H specified	2	Allowed additional advertising and signage related to the function of the drive-through.

**PROPOSED DRIVE-THROUGH RESTAURANT SIGNAGE
ATTACHMENT IV**

DC 15-156, January 26, 2016

**STAFF RESEARCH – SAMPLE OF EXISTING
DRIVE-THROUGH RESTAURANT SIGNAGE
IN ARLINGTON HEIGHTS**

Sample of Arlington Heights Existing Drive-through Restaurant Signage

	Culver's <i>2060 E. Northwest Hwy</i>	McDonald's <i>15 E. Dundee</i>	McDonald's <i>1920 N. A. H.</i>	Dunkin Donuts <i>1818 W. Northwest Hwy</i>
Type of Sign	<i>(HxW of sign face)</i> <i>sf</i>	<i>(HxW of sign face)</i> <i>sf</i>	<i>(HxW of sign face)</i> <i>sf</i>	<i>(HxW of sign face)</i> <i>sf</i>
Pre sell menu board	5'-2" x 4'-7" 23.7 OAH = 6'-2"	none	none	none
Menu Board	5'-2" x 8'-10" 45.7 OAH = 6'-2"	8'-7" x 4'-9" 40.8 OAH = 6'-5"	5'-3" x 9' 47.6 OAH = 6'-8"	5'-4" x 9'-3" 49 OAH = 7'-3"
Order Confirmation	1'-9" x 4'-8" 8.4 OAH = 4'-8"	9'-4" x 11'-3" speaker on canopy sign	stand alone speaker	none
cardboard attached to menu boards	no	yes	yes	yes
cardboard yard sign	yes	yes	yes	no
Clearance bar height	none	10'-2" x 18' (double lanes)	11' x 10'	8'-11" x 6'-5" speaker attached

<i>(Size of sign face)</i>	Starbuck's <i>2964 W. Euclid</i>	Starbuck's <i>1808 S. A H. Road</i>	Taco Bell <i>1530 W. Algonquin</i>	Pete's Coffee <i>1017 W. Dundee</i>
Type of Sign	<i>(HxW)</i> <i>sf</i>	<i>(HxW)</i> <i>sf</i>	<i>(HxW)</i> <i>sf</i>	<i>(HxW)</i> <i>sf</i>
Pre sell menu board	none	4' x 3' 12 OAH = 6'	none	none
Menu Board	4'-1" x 8'-1" 33 OAH = 6'-1"	4'-1" x 8'-1" 33 OAH = 6'	5'-1" x 4'-6" 22.8 no OAH	Size not in files. Changed sign from Caribou to Pete's - permit NA?
Order Confirmation	none in file speaker bollard	4'-1" x 10" speaker bollard	speaker bollard	speaker bollard
cardboard attached to menu boards	no	no	no	no
cardboard yard sign	no	no	temp. menu sign	no
Clearance bar height	no	no dimensions in file		



Item: DC#15-157 - Sign Code Modifications - Manual Change Bulletin Boards/Changeable Panel Signs

Department: Planning & Community Development

BACKGROUND

Recently, the Village received an inquiry about installing a ground sign that would include both a permanent business identification sign panel and a printed, changeable product advertisement sign panel. In 2010, the Sign Code was amended to add a definition for Manual Change Bulletin Boards and to establish design considerations for manual change bulletin boards. At that time, the type of manual change bulletin board envisioned was the traditional type of manual change bulletin board that involves the changing of individual letters affixed to a background. Printed, changeable product advertisement sign panels were not envisioned.

Additionally, the Sign Code does not currently regulate the maximum sizes or the proportions of manual change bulletin boards incorporated into ground, monument or wall signs in the Business (B), Manufacturing (M), and Institutional (I) districts.

RECOMMENDATION

It is recommended that the Design Commission recommend approval of the proposed sign code revisions as follows:

1. Modify the current code as outlined in Option 3: Modify the Sign Code to allow ground signs and wall signs with manual change bulletin boards that utilize either changeable text or changeable printed product advertisement sign panels. Modify the Sign Code to establish a maximum size for manual change bulletin boards.

ATTACHMENTS:

Description	Type
Staff Report	Board or Commission Report
Attachment I - Proposed Chapter 30 Text Amendments	Exhibits
Attachment II - Examples of Changeable Panel Signs	Exhibits

MANUAL CHANGE BULLETIN BOARDS / CHANGEABLE PANEL SIGNS

DC 15-157, January 26, 2016

Department of Planning and Community Development

Prepared by: Nora Boyer

STAFF REPORT

- A. Background
- B. Possible Options
- C. Recommendations

ATTACHMENTS

- I. Proposed Chapter 30 Text Amendments, dated January 26, 2016
 - II. Examples of Changeable Panel Signs, dated January 26, 2016
-

A. BACKGROUND:

Recently, the Village received an inquiry from the owner of Elle Gant Home Design (1002 W. Dundee) and the LED Craft sign company about installing a ground sign at the Elle Gant Home Design business location that would include both a permanent business identification sign panel and a printed, changeable product advertisement sign panel. The proposed ground sign is 6 feet tall with a total sign area of 27 square feet (54" (h) x 72" (w)). The proposed sign face is composed of:

- An upper, business identification sign panel that is 1/3 of the sign area (18" (h) x 72" (w) or 9 square feet). ; and
- A lower printed, changeable, product advertisement panel that is 2/3 of the sign area (36" (h) x 72" (w) or 18 square feet).

The LED Craft sign company provided 5 examples of printed, changeable, product advertisement panels.

ISSUES: Staff has the following concerns with respect to the proposed sign:

- 1) In 2010, the Sign Code was amended (Ordinance 10-001) to add a definition of Manual Change Bulletin Board and design considerations for manual change bulletin boards. The Sign Code states that manual change bulletin boards may be incorporated into permitted ground, monument, and wall signs in the Business (B), Manufacturing (M), and Institutional (I) districts as the lower portion of the overall signs. The type of manual change bulletin board envisioned when the Sign Code was amended was the traditional type of manual change bulletin board that involves the changing of letters affixed to a background. Printed, changeable product advertisement sign panels were not envisioned.
- 2) The Village does not require sign permits when the letters are changed on a traditional manual change bulletin board but does require sign permits when sign panels are changed. Under this policy, a business would be required to obtain a sign permit every time a printed, changeable sign panel is changed.

- 3) There is concern regarding the proposed proportions of the permanent business identification panel relative to the changeable product advertisement panel. On the proposed sign, 1/3 of the sign area is composed of the business identification panel and 2/3 of the sign area is composed of the changeable product advertisement panel. The Sign Code does not regulate the maximum sizes or the proportions of manual change bulletin boards incorporated into ground, monument or wall signs in the Business (B), Manufacturing (M), and Institutional (I) districts. However, signs where the majority of the sign area would be changeable product advertisement panels are contrary to the Village's intent that product messaging be subordinate to business identification.
- 4) If done right, this may be an aesthetically nice concept. However, allowing printed, changeable product advertisement panels would circumvent current permit requirements unless permits are obtained every time the panels are changed. Additionally, the majority of the sign areas of signs should be permanent.

RESEARCH:

Manual Change Bulletin Boards

In 2010, the Sign Code was amended by adding a definition and design considerations for manual change bulletin boards. These amendments to the Sign Code were recommended by the Design Commission and approved by the Village Board as Ordinance 10-001.

The definition of Manual Change Bulletin Board is "a portion of a ground sign or wall sign used to advertise a sale, event or a product utilizing manual change copy." It appears from the discussion in the minutes of the Design Commission meetings that the type of manual change bulletin board discussed was the traditional type with changeable letters affixed to a background.

The amendments to the Sign Code made by Ordinance 10-001 also added Sections 30-305 Manual Change Bulletin Boards to Article III of the Sign Code (concerning ground signs) and Section 30-405 Manual Change Bulletin Boards to Article IV of the Sign Code (concerning wall signs). These new sections of the Code state that manual change bulletin boards shall be incorporated into ground, monument, and wall signs as the lower portion of the overall sign. It is believed that the intent behind requiring that the manual change bulletin board be the lower part of the sign is that the changing message be subordinate to the portion of the sign that identifies the business.

Further, Section 30-305 and 30-405 added the following design considerations for manual change bulletin boards to the Sign Code: "high quality sign that is attractive and contributes to the sign and overall character of the corridor; overall legibility of text and cohesiveness to the overall sign should be considered; consider using one consistent font color and types that creates a high contrast against the background or field area; the font should create a legible message; and it is preferred that the text be balanced, either centered, or right or left justified."

Existing Changeable Panel Signs

There is one printed, changeable panel sign existing in Arlington Heights. It is the ground sign for the Southminster Presbyterian Church located at 916 E Central Road. The church originally requested to install a ground sign with an electronic message board and requested variations for the height and sign area of the ground sign. During the Design Commission review process, the church decided to change their proposal to a ground sign which is composed of an identification panel and a printed, changeable panel.

B. POSSIBLE OPTIONS:

Option 1: Make no change in the current code.

- Continue to allow traditional manual change bulletin boards that involve changing letters on a background. Changeable panel signs would continue to not be allowed.

Option 2: Modify the Sign Code, but do not change current policy.

- Amend the definition of Manual Change Bulletin Boards describing them as a portion of a ground sign or wall sign used to advertise a sale, event or a product utilizing manual change ~~copy~~ text.
- Continue to allow traditional manual change bulletin boards that involve changing letters on a background. Changeable panel signs would continue to not be allowed.

Option 3: Modify the Sign Code to allow ground signs and wall signs with manual change bulletin boards that utilize either changeable text or changeable printed product advertisement sign panels.

- Amend the definition of Manual Change Bulletin Boards to permit manual change bulletin boards with either changeable text or changeable printed product advertisement sign panels.
- Amend Sections 30-305 Manual Change Bulletin Boards under the Code provisions concerning ground signs and Section 30-405 Manual Change Bulletin Boards under Code provisions concerning wall signs to add the following regulations:
 - The maximum size of manual change bulletin boards with changeable letters or changeable, printed product advertisement panels shall not exceed 50% of the total allowed sign area or 30 square feet, whichever is less.
 - Messages on manual change bulletin boards and changeable printed panels shall be limited to pertinent information related to the business operation, products produced or sold or service rendered on-site. No off premise advertising is permitted.

C. RECOMMENDATIONS:

It is recommended that the Design Commission recommend approval of the proposed sign code revisions as follows:

1. Modify the current code as outlined in Option 3 above. See Attachment I, Proposed Chapter 30 Text Amendments.

**MANUAL CHANGE BULLETIN BOARDS / CHANGEABLE PANEL SIGNS
ATTACHMENT I**

DC 15-157, January 26, 2016

**PROPOSED CHAPTER 30
TEXT AMENDMENTS**

Section 30-101 Definitions

22. Manual Change Bulletin Board. A portion of a ground sign or wall sign used to advertise a sale, event or a project utilizing manual change ~~copy~~ text affixed to a background or manual change printed sign panels.

Section 30-305 Manual Change Bulletin Boards (ground signs)

- a. The manual change bulletin board shall be incorporated into a ground sign or monument sign as the lower portion of the overall sign. In no instance shall the manual change bulletin board portion of the sign comprise more than 50 percent of the sign area, or exceed a maximum of 30 square feet, whichever is less. Messages on manual change bulletin boards and changeable printed panels shall be limited to information related to the business operation, products produced or sold or service rendered on-site. No off premise advertising is permitted.
- b. The following are design considerations for these signs: high quality sign that is attractive and contributes to the sign and overall character of the corridor; overall legibility of text and cohesiveness to the overall sign should be considered; consider using one consistent font color and type that creates a high contrast against the background or field area; the font should create a legible message; and it is preferred that the text be balanced, either centered, or right or left justified.

Section 30-405 Manual Change Bulletin Boards (wall signs)

- a. The manual change bulletin board shall be incorporated into a wall sign as a portion of the overall wall sign. In no instance shall the manual change bulletin board portion of the sign comprise more than 50 percent of the sign area, or exceed a maximum of 30 square feet, whichever is less. Messages on manual change bulletin boards and changeable printed panels shall be limited to information related to the business operation, products produced or sold or service rendered on-site. No off premise advertising is permitted.
- b. The following are design considerations for these signs: high quality sign that is attractive and contributes to the sign and overall character of the corridor; overall legibility of text and cohesiveness to the overall sign should be considered; consider using one consistent font color and type that creates a high contrast against the background or field area; the font should create a legible message; and it is preferred that the text be balanced, either centered, or right or left justified.

**MANUAL CHANGE BULLETIN BOARDS / CHANGEABLE PANEL SIGNS
ATTACHMENT II**

DC 15-157, January 26, 2016

**EXAMPLES OF CHANGEABLE PANEL SIGNS -
FOR REFERENCE ONLY**

Southminster Presbyterian Church, 916 E. Central Road





SAMPLE SIGN FACE DESIGNS



LED CRAFT
ledcraftinc.com



ETL LISTED
CONFORMS TO
UL STD 48
UL STD 1433

Drawing Date	10/23/2015		
Drawing Name	EHD.PDF		
Company	ELLEGANT HOME DESIGN		
Address	1002 W DUNDEE RD		
City	ARLINGTON HEIGHTS	IL	Zip: 60004

NOTE: This initial concept is for visual presentation only. Final design, dimensions and customization is subject to customer approval prior to production.

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Item: DC#15-167 - Sign Code Modifications - Residential Ground Signs

Department: Planning & Community Development

BACKGROUND

The Zoning Code allows certain non-residential uses (ex. places of worship and schools) to be located in residential zoning districts. Signage for such uses is regulated under Sign Code Section 30-203 Residential (R) Districts Signage Provisions. However, the current requirements are confusing, with differing requirements for ground signs and manual change bulletin boards. Additionally, code requires public notification and review for certain sizes of this type of signage that may be overly burdensome. Finally, the current size restrictions for this type of signage may be too restrictive and do not take into consideration the location of signs along major roads versus residential streets.

RECOMMENDATION

It is recommended that the Design Commission recommend approval of the proposed sign code revisions as follows:

Modify the current code as outlined in Option 3: Omit the current public notification requirements for code compliant signs. Increase the maximum allowed sign size along major roads. Increase the maximum manual change bulletin board size. Include design criteria.

ATTACHMENTS:

Description

Staff Report
Chapter 30 Text Amendments
Summary of Church Ground Sign
Variations

Type

Board or Commission Report
Exhibits
Exhibits

RESIDENTIAL GROUND SIGNS

DC 15-167, January 26, 2016

Department of Planning and Community Development

Prepared by: Nora Boyer and Steve Hautzinger

STAFF REPORT

- A. Background
- B. Possible Options
- C. Recommendations

ATTACHMENTS

- I. Proposed Chapter 30 Text Amendments, dated January 26, 2016
 - II. Summary of Church Ground Sign Variations, dated January 26, 2016
-

A. BACKGROUND:

The Zoning Code allows certain non-residential uses (ex. places of worship and schools) in residential zoning districts. Signage for such uses is regulated under Sign Code Section 30-203 Residential (R) Districts Signage Provisions, which states that only the following signs are permitted in residential districts:

Section 30-203 (b) states:

“Manual change bulletin boards, not over 12 square feet in area for public, charitable, educational or religious institutions when located on the premises of said institutions. Any sign more than 12 square feet in area must be reviewed by the Design Commission and approved by the Village Board of Trustees. The application for such approval must comply with the notification requirements for sign variation.”

Section 30-203 (h) states:

“Ground signs accessory to a permitted non-residential use, provided that the height of such sign shall not exceed six feet and the surface area of such sign shall not exceed 25 square feet. Proposed signs, which are greater than 12 square feet, must comply with the notification requirements of this Section.”

Table 1. Summary of Residential Ground Sign Requirements:

	Permitted with Administrative Approval	Requires DC Review	Notification Required for Design Commission Review	Requires Village Board Review
Manual Change Bulletin Board	12 sf and under	If over 12 sf	Same as for a variation (posting of sign and mailing)	Village Board approval required if over 12 sf up to 25 sf. Variation required if over 25 sf.
Ground Sign	12 sf and under	If over 12 sf up to 25 sf	Same as for a variation (posting of sign and mailing)	Variation required if over 25 sf.

ISSUES: Staff has the following concerns with respect to the current residential ground sign requirements:

- 1) Code Clarity. The current sign code requirements are confusing, with differing requirements for ground signs and manual change bulletin boards.
- 2) Levels of Review and Notification Requirements. There is no incentive for an applicant to comply with code when a code compliant sign requires the same public review process as a sign variation. Additionally, there is a lack of cohesive policy with respect to the review requirements for manual change bulletin boards and ground signs in residential districts. Both types of signs must follow the Sign Code's notification requirements for sign variations as outlined in Section 30-804. However, bulletin boards in excess of 12 square feet require both Design Commission review and Village Board approval, while ground signs in excess of 12 square feet up to 25 square feet require only Design Commission review. Staff feels that the levels of review and notification requirements are overly burdensome and should be omitted.
- 3) Sign Size. Based on previous sign variation requests from numerous churches, Staff feels that the sizes of manual change bulletin boards and ground signs in residential areas may be too restrictive.

RESEARCH: Since 1995, there have been ten sign reviews for religious institutions in residential districts proposing signs in excess of 12 square feet. One of the applications (for a 44 square foot sign) was approved by the Design Commission but was withdrawn prior to reaching the Village Board. All nine of the other applications were approved.

The following is a summary of the nine approved signs:

- Four were at or below 25 square feet. The majority of which are located on secondary arterial, collector, and local streets.
- Five ranged from 30 to 50 square feet. The majority of which are located on major arterial streets.

Section 30-203 addresses the maximum size of signage in residential districts, and Article III "Ground Signs" of the Sign Code addresses the number of permitted ground signs. Section 30-302 allows no more than one ground sign per street frontage. If the building has more than one street frontage, an additional ground sign is permitted, provided that there is a minimum of 800 feet of separation between the ground signs as measured along the right-of-way. Research reveals that only one non-residential use located in a residential zoning district that has more than one ground sign. These signs do not meet the 800 foot separation requirement, and therefore, required a variation. Since the vast majority of non-residential uses in residential districts have just one ground sign, the manual change bulletin boards (if present) are incorporated into the ground sign.

B. POSSIBLE OPTIONS :

Option 1: Make no change to the current code.

- Continue to permit manual change bulletin boards not in excess of 12 square feet and ground signs not in excess of 12 square feet without review by the Design Commission or approval by the Village Board.
- Continue to require review by the Design Commission and approval by the Village Board for manual change bulletin boards in excess of 12 square feet.
- Continue to require Design Commission review of ground signs over 12 square feet up to 25 square feet.
- Continue to require public notification, as required for sign variations, for manual change bulletin boards in excess of 12 square feet and ground signs over 12 square feet up to 25 square feet.

Option 2: Clarify the existing code requirements. Omit the notification requirements.

- Combine the code sections for residential ground signs, and clarify that manual change bulletin boards are allowed as part of the ground sign, not as separate signs.
- Allow residential ground signs up to 25 sf without Design Commission review, and omit the requirements for public notification.
- The maximum size for manual change bulletin boards would remain as 12 square feet.
- Any signs exceeding the permitted sizes shall require sign variations.

Option 3: Omit the notification requirements. Increase the maximum allowed sign size along major roads. Increase the maximum manual change bulletin board size. Include design criteria.

- Combine the code sections for residential ground signs, and clarify that manual change bulletin boards are allowed as part of the ground sign, not as separate signs.
- Allow residential ground signs up to 25 sf without Design Commission review, and omit the requirements for public notification.
- Allow residential ground signs up to 48 sf when located along major roads, with speed limit of 40 mph or greater. This size is consistent with the requirement for ground signs in the O-T (Office Transitional) Zoning District.
- Increase the maximum size for manual change bulletin boards to 75% of the permitted ground sign area or 30 sf, whichever is less. Non-residential uses, such as churches and schools, often use the majority of their sign area for displaying community messages.
- Add design criteria for sign to be compatible with the architecture of the building.
- Any signs exceeding the permitted sizes would require sign variations.

C. RECOMMENDATION:

It is recommended that the Design Commission recommend approval of the proposed sign code revisions as follows:

1. Modify the current code as outlined in **Option 3** above. See Attachment I, Proposed Chapter 30 Text Amendments.

**RESIDENTIAL GROUND SIGNS
ATTACHMENT I**

DC 15-167, January 26, 2016

**PROPOSED CHAPTER 30
TEXT AMENDMENTS**

Date: 1-26-16

Section 30-203 Residential (R) Districts Signage Provisions. Only the following signs are permitted in Residential Districts. All requirements and restrictions outlined in this Section pertain only to those properties zoned Residential.

~~b. Manual change bulletin boards, not over 12 square feet in area for public, charitable, educational or religious institutions when located on the premises of said institutions. Any sign more than 12 square feet in area must be reviewed by the Design Commission and approved by the Village Board of Trustees. The application for such approval must comply with the notification requirements for sign variations.~~

h. **b.** Ground signs accessory to a permitted non-residential use, provided that the height of such sign shall not exceed six feet and the surface area of such sign shall not exceed 25 square feet. **Signs located on a roadway with a speed limit of 40 miles per hour or greater may be up to 48 square feet in area. Proposed signs, which are greater than 12 square feet, must comply with the notification requirements of this section. A manual change bulletin board may be incorporated as part of the ground sign, but the bulletin board may not exceed 75 percent of the permitted sign size or 30 square feet, whichever is less. The area of the manual change bulletin board shall not increase the overall permitted sign size. All signs must be designed to be compatible with the architectural style of the development. Refer to Article III of this Chapter for additional requirements for ground signs.**

**RESIDENTIAL GROUND SIGNS
ATTACHMENT II**

DC 15-167, January 26, 2016

**SUMMARY OF CHURCH
GROUND SIGN VARIATIONS**

Summary of Church Ground Sign Variations

	Overall Sign Area	Bulletin Board Sign area	Reviewed/Approved by	Comments
Living Christ Church DC95-007 625 E Dundee - Major arterial	48 square feet	26 square feet	DC and Village Board approval	Variation for 48 SF sign where 25 sf is permitted.. Sign includes a bulletin board over 12 sf
Arlington Countryside Church DC96-023 916 E Hintz - Major arterial	24 square feet	None	DC and Village Board approval	Approval of a 24 sf sign where 12 sf is permitted.
Northwest Covenant Church DC96-025 511 W Rand - Major arterial	30 square feet	None	DC and Village Board approval	Variation for a 30 sf sign where 25 sf is permitted, allow 35' separation of signs where 800' is required, allow advertisement of off premises services.
First Presbyterian Church DC97-022 302 N Dunton - Local Street	25 square feet	None	DC approval and Village Board approval	Village Board approval was required for 6' set-back where 15' is required, variation and review was required for a ground sign over 12 sf
St. Simon's Church DC97-036 717 Kirchoff – Sec. arterial	24 square feet	None	DC approval and Village Board approval	Review of ground sign of 24 sf where 12 sf is permitted
Cross and Crown Community Church DC98-023 1122 W Rand - Major Arterial	50 square feet	30 square feet	DC and Village Board approval	Variation for: 50 sf sign where 25 sf is permitted. Allow 9'2" tall sign where 6' is permitted. Bulletin board is over 12 sf. Set back of 3 ft where 15 ft is required
Lutheran Church of Cross DC01-016 2025 S Goebbert - Collector	40 square feet	20 square feet	DC and Village Board approval	Variation granted for 40 sf sign where 25 sf is permitted, 20 sf bulletin bd where 12 sf is permitted, & 3' setback where 15 ft is required
Southminster Presbyterian Church	48 square feet	16 square feet (panel)	DC and Village Board approval	Variation granted for 48 sf sign where 25 sf is permitted and 7' height where 6' is permitted

DC07-008 916 E Central - Major arterial				
Our Lady of the Wayside DC07-149 434 W Park - Local Street	24 square feet	17 square feet	DC and Village Board approval	Variations granted included set-back of 12 feet where 15 ft is required, second ground sign within 252 ft where 800 feet is required. Approval of bulletin board with 4 rows of 6 in. letters.

Summary of Church Ground Sign Variations arranged by Street Size

	Overall Sign Area	Bulletin Board Sign area
Major Arterial		
Living Christ Church, 625 E Dundee (DC95-007)	48 square feet	26 square feet
Arlington Countryside Church, 916 E Hintz (DC96-023)	24 square feet	None
Northwest Covenant Church, 511 W Rand (DC96-025)	30 square feet	None
Cross and Crown Comm. Church, 1122 W Rand (DC98-023)	50 square feet	30 square feet
Southminster Presbyterian Church, 916 E Central (DC07-008)	48 square feet	16 square feet (panel)
	Average: 40	
Secondary Arterial		
St. Simon's Church, 717 Kirchoff (DC97-036)	24 square feet	None
Collector		
Lutheran Church of Cross, 2025 S Goebbert (DC01-016)	40 square feet	20 square feet
Local Street		
First Presbyterian, 302 N Dunton (97-022)	25 square feet	None
Our Lady of the Wayside, 434 W Park (DC07-149)	24 square feet	17 square feet