



Agenda
Village of Arlington Heights
Zoning Board of Appeals
Buechner Room, 1st Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
January 11, 2016
7:00 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. 603 E. Euclid Ave. - 12/14/15

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. Rogers Residence - 930 N. Highland Ave.
- B. Schudel Residence - 1310 W. Sunset Terrace
- C. 1504 N. Howard Ct. - Lot 1
- D. 1000 W. Northwest Highway
- E. Kautz Residence - 735 N. Pine Ave.
- F. Pappas Residence - 619 N. Hickory Ave.

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Schmelzer Residence - 12/14/15

Department: Planning & Community Development

Approval of minutes and findings from 12/14/15 hearing

ATTACHMENTS:

Description	Type
Minutes 12/14/15 - Schmelzer	Minutes
Findings 12/14/15 - Schmelzer	Minutes

DRAFT

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: SCHMELZER RESIDENCE - 603 E. Euclid Avenue

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the
Arlington Heights Village Hall, 33 South Arlington Heights
Road, 1st Floor Buechner Room, Arlington Heights, Illinois
on the 14th day of December, 2015, at the hour of 7:00 p.m.

MEMBERS PRESENT:

TONY PETRILLO, Chairman
DAVID DIVITO
TOM DRAKE
JOSEPH GEISEL
JOSEPH SELBKA

ALSO PRESENT:

DEREK MACH, Landscape Planner

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CHAIRMAN PETRILLO: Good evening, everyone, if you haven't had a chance to sign in and intend to present any testimony tonight on behalf on your Petition, would you make sure that you sign in. And what a, I think there's the information regarding your address and telephone number maybe on that sign in log. So if you would just complete the information related to yourself. We will call the meeting of the, December 14th, meeting of the Zoning Board of Appeals, to order. First order of business, Derek, is roll call.

MR. MACH: Chairman Petrillo?

COMMISSIONER PETRILLO: Here.

MR. MACH: Mr. Divito?

COMMISSIONER DIVITO: Here.

MR. MACH: Mr. Drake?

COMMISSIONER DRAKE: Here.

MR. MACH: Mr. Geisel?

COMMISSIONER GEISEL: Here.

MR. MACH: Mr. Schwingbeck?

(No response.)

MR. MACH: Mr. Selbka?

COMMISSIONER SELBKA: Here.

MR. MACH: Mr. Siavelis?

(No response.)

CHAIRMAN PETRILLO: Okay, next order of business is the Pledge of Allegiance. Would you please rise and join us in reciting the Pledge of Allegiance.

(Pledge of Allegiance recited.)

CHAIRMAN PETRILLO: I think, let's see, is it old business? Or approval of the minutes from the previous Board meeting which was, was it November 13th, Derek?

MR. MACH: November 9th.

CHAIRMAN PETRILLO: November 9th, Zoning Board of Appeals meeting. Has everyone had a chance to review the minutes? Any changes, clarifications?

(No response.)

CHAIRMAN PETRILLO: None being heard, is there a motion to approve?

COMMISSIONER DIVITO: Motion to approve.

CHAIRMAN PETRILLO: All those in favor? Or a second, I'm sorry.

MR. MACH: Second.

CHAIRMAN PETRILLO: There's a second. All those in favor say aye?

(Chorus of ayes.)

CHAIRMAN PETRILLO: Opposed say nay.

(No response.)

CHAIRMAN PETRILLO: The motion passes. The next item, there

DRAFT

is no old business, I think we have one item on our agenda this evening. And that is the Carol Wisniak?

MS. WISNIEWSKI: For the Schmelzer residence?

CHAIRMAN PETRILLO: Schmelzer residence. Well what am I getting here. Oh, Schnauzer residence.

COMMISSIONER GEISEL: Schmelzer.

CHAIRMAN PETRILLO: Schmelzer residence. Schmelzer residence? Okay. And there's actually three, three variances, correct? As part of this Petition? 6.2' variance for a side-yard setback, 359 square foot variance from the floor area ratio, correct Derek?

MR. MACH: Correct.

CHAIRMAN PETRILLO: And a 2' variance to allow an accessory structure with a separation of 8' of the principle structure where 10' is required. Okay, that one was missing off of that, right?

MR. MACH: Correct.

CHAIRMAN PETRILLO: Okay. So this evening, whomever will address this Petition this evening, if you would focus on three criteria that we will use to weigh your Petition. The first is that if we apply the strict use of the code that you will not be able to yield a reasonable return on your investment and will pose a hardship on you. The plight of the owner, is due to it's unique circumstances and the variance, if granted, will not alter the character of the neighborhood.

Okay? Are there any questions on that?

(No response.)

CHAIRMAN PETRILLO: Okay, if the Petitioner would step forward, I will get, is just, there going to be one person providing testimony this evening?

MR. SCHMELZER: I'm Pete Schmelzer, this is my wife Donna, and Carole is the architect from JRC.

CHAIRMAN PETRILLO: Okay, would you state your address for the record?

MR. SCHMELZER: 603 East Euclid, Arlington Heights, 60004.

CHAIRMAN PETRILLO: Ma'am, in case you would want to testify?

MRS. SCHMELZER: Yes, I'm Donna Schmelzer, I live at 603 East Euclid, Arlington Heights, Illinois.

MS. WISNIEWSKI: And I'm Carole Wisniewski, I'm with JRC Design/Build at 1275 East Davis.

CHAIRMAN PETRILLO: Okay, I'll swear you in the, if you would raise your right hand?

(Witnesses sworn.)

CHAIRMAN PETRILLO: Thank you, all being, seeing all are sworn in, whoever would like to address those three criteria first, please step forward.

MR. SCHMELZER: We thank you for working late tonight. We've lived there for 16 and-a-half years and we hope to live there for

DRAFT

another 16 and-a-half years or more. And we, the home needs a lot of, the existing home needs lots of improvements. But we decided to add on these additions on, because we wanted to expand the kitchen and the family room and most of all a screened-in porch. So Carole designed the layout within the floor area ratio, and then with that it just wasn't functional, it's not something that we thought that we would want to invest in. There's a long, narrow room and the screened-in porch will separate that. So we asked to design something that would allow for the variance, and what you're seeing here tonight.

And we believe that the, what was presented here tonight would make it functional for us, move the screened-in porch that's on the west wall further west, but no further than the garage that's existing there now. So it would not negatively impact the sight line of the neighbor to the south of us.

CHAIRMAN PETRILLO: Do you happen to have a copy of the plans with you because the information that I have that's available, I'm having trouble referencing --

MS. WISNIEWSKI: I don't have a print out of it, do you have it?

MRS. SCHMELZER: Yes.

CHAIRMAN PETRILLO: The floor plan that you're presenting. If you could just help me, walk me through that again?

MS. WISNIEWSKI: Yes, here's the screened porch.

CHAIRMAN PETRILLO: Okay.

MS. WISNIEWSKI: And right, currently now there's a screened porch right off of this here. And they wanted to trim, as well as the screened porch in this, to somewhat align with the garage that's there now.

CHAIRMAN PETRILLO: Okay.

COMMISSIONER DIVITO: This is Euclid here? This is Douglas?

MS. WISNIEWSKI: Right.

CHAIRMAN PETRILLO: And where does the, oops, mine keeps changing. The setback, well first of all, so that's, this then exceeds the floor area ratio by getting this with this screened porch and that's about 360 square feet? What would this look like without the 360 square feet, or is that included with the second floor addition in the calculation?

MS. WISNIEWSKI: Yes.

CHAIRMAN PETRILLO: Okay.

MR. SCHMELZER: The setback here, is the average setback of the block. The existing garage and home right now are currently within that setback. So we're not exceeding, we're just, you know, we're asking to be within, as far as the square footage, Mr. Schmelzer was indicating that we tried to reduce it to meet that square footage. And it became a really long, narrow addition and the shape of it just, and proportions just weren't working out for them. So we moved it back to

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the dimensions that they were looking for in their space and that's how we came upon those numbers.

CHAIRMAN PETRILLO: Okay, does any of the Board members need to see this? Or does everyone have a clear view of the floor plans? Okay. And the, 6.2' variance, let me see, that's from the west, okay.

MS. WISNIEWSKI: It's on, it's right here, this dimension.

CHAIRMAN PETRILLO: Yes, right there. Okay.

MS. WISNIEWSKI: And then here's the setback, the current setback.

CHAIRMAN PETRILLO: Okay. And the house currently, what's this, this is 14, so this is?

MS. WISNIEWSKI: That's the where the current house sits on the property.

CHAIRMAN PETRILLO: The current house sits at that. And why is the variance needed here, Derek, at the 6'? Because of the new construction?

MR. MACH: Yes.

CHAIRMAN PETRILLO: Okay.

MR. MACH: It's encroaching into the rear interior --

CHAIRMAN PETRILLO: Okay, this doesn't give it a grand fathered setback then --

COMMISSIONER GEISEL: When you look at the existing other homes on the house, it's skewed because they're on the corner.

CHAIRMAN PETRILLO: Oh yes, okay.

COMMISSIONER GEISEL: And they're set back in. So, it --

CHAIRMAN PETRILLO: Oh they've got the, they're the corner lot, it's right here.

COMMISSIONER GEISEL: Right. So it artificially alters their, right.

CHAIRMAN PETRILLO: Okay. Perfect.

COMMISSIONER GEISEL: Does that help?

CHAIRMAN PETRILLO: Yes, perfect. Okay

COMMISSIONER GEISEL: All right.

CHAIRMAN PETRILLO: Okay. Does anybody have any questions over the setback requirements?

(No response.)

CHAIRMAN PETRILLO: I'm sorry, I'm doing this, we've got this electronically and I apologize, I'm a little disconnected from this.

MRS. SCHMELZER: That's okay.

CHAIRMAN PETRILLO: The 360 square feet, why is that needed? Why can't you stay within the floor area, our required floor area ratio?

MS. WISNIEWSKI: Well, we've gone through, we've gone through like six --

DRAFT

MR. SCHMELZER: We saw that design and we just felt it was just way too narrow and long and this screened-in porch where we want to relax and sit was going to be pulled way back and it just wasn't, and it really tightened up the kitchen in a way it wasn't functional at all.

CHAIRMAN PETRILLO: It doesn't allow you to take it from other areas of the house?

MR. SCHMELZER: No.

CHAIRMAN PETRILLO: Let's say in here, that would then affect your second floor, what would, correct? If let's say you were to take it off?

MS. WISNIEWSKI: Yes, it impacts, I mean it, just taking it back, I mean we have, we've gone through like six different floor plans.

MRS. SCHMELZER: We gone through like A through G, didn't we?

MS. WISNIEWSKI: A through G, yeah.

CHAIRMAN PETRILLO: And with some of those floor plans, what are some of the detrimental aspects of those floor plans?

MS. WISNIEWSKI: Well, here's one of them, with the, I think the width that they were looking for in the kitchen, the layout just wasn't working out to their needs and the space that they wanted to, would like to have.

CHAIRMAN PETRILLO: So, and I understand going up, you said this is going over, directly over this? That's less expensive than cantilever or whatever else it might be. But if you're going to take it off, let's say this would be the south side? If you take it off the south side, you're going to have to take something off the top on the south side. So what does that do? You'd lose your master bedroom? How many people reside in the home?

MR. SCHMELZER: It's us right now, but we have four grandchildren and hopefully more will be coming and --

MRS. SCHMELZER: Make this --

CHAIRMAN PETRILLO: Okay, so you have a workout room, so you don't have any plans for bedrooms on the first floor. And you have your existing bedrooms, so you're just adding a master bedroom and a washroom, it looks like, oh, two, one-and-a-half baths upstairs, and some storage. And a kitchenette?

MS. WISNIEWSKI: They just wanted an area for a coffee bar up there, right? Just not really a kitchen.

MRS. SCHMELZER: Yeah.

MS. WISNIEWSKI: We called it a kitchen for the sake of, yeah.

CHAIRMAN PETRILLO: Okay. Does any member of the Board have any questions, I'd like to take these one at a time. Anybody have any questions over the floor area ratio?

COMMISSIONER SELBKA: What year was that house built?

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MS. WISNIEWSKI: It's old.

COMMISSIONER SELBKA: It's old, yes, I know.

MRS. SCHMELZER: It was actually on Hickory, and then moved and that's why it's all out of --

MR. SCHMELZER: Is it 1950 or something like that?

MRS. SCHMELZER: Before that.

COMMISSIONER SELBKA: It looks about a 1920, it's right on my jogging route, I always --

MS. WISNIEWSKI: So we're looking to do considerable updating of the siding, and all the windows. So, I mean they want a fresh, new look and you know, we, I think one of the main things is that the entrance that's driving this, is the entrance being over by the garage.

Because nobody uses the Euclid entry because there's no parking on Euclid and all their guests come in off the side. So it's kind of causing us to make a somewhat porch and, you know, another vestibule area which is taking up some of the square footage that, you know, we could get rid of, but then we don't have somewhat of a side entry with --

MRS. SCHMELZER: We also did not have a sidewalk on our whole block, on Douglas, on that side. So that is pretty much our entrance.

The front of the house is beautiful, we want to keep it beautiful and have it be the front, but it would be extremely difficult to walk all the way around.

MS. WISNIEWSKI: All the way around.

MRS. SCHMELZER: Right.

CHAIRMAN PETRILLO: Have you talked to your neighbors about the addition?

MRS. SCHMELZER: Uh-huh, and they're all for it.

CHAIRMAN PETRILLO: Okay. The 2', from the accessory building, so that's from the garage, correct? Why is that 2' needed, when I look at that, I think okay, why can't we just shave off --

MS. WISNIEWSKI: It's the overhangs that we're, we weren't accounting for. So the garage overhang and the overhang of the roof on this side which is at a second-floor level. So, you know, we added up the space between the garage and the house at 10' and was unaware that the, to account for the overhangs on that.

MR. SCHMELZER: The space between the garage and the, what we hope would be the house really is wasted space, there's just barely grass in there and some plants. And so it's, if it's wider, it's just more wider wasted space in my opinion.

CHAIRMAN PETRILLO: Uh-huh, and at least in my documents, I'm reading electronically here, there is no comment from the Engineering Department or from the, any department here, regarding this request --

MR. SCHMELZER: Correct.

CHAIRMAN PETRILLO: Or the 8' instead of the 10'?

MR. SCHMELZER: Right.

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CHAIRMAN PETRILLO: Okay. And why is that, Derek, do you know?

MR. MACH: I misunderstood, I think you meant --

COMMISSIONER GEISEL: I think typically what we would see is the comment or the requirement to put in the 5/8ths drywall for the fire because of the lack of 10' between, right?

MR. MACH: Right, they will have to comply with all building requirements--

COMMISSIONER GEISEL: My point is that's the usual comment when it's within that distance?

MR. MACH: Yes, that is correct. The variation for the separation of accessory structure was brought to my attention after these were reviewed. The Petitioner, if the variation is approved, will have to comply with building code. It was a little unclear on the site plan where the eave is and there is a separation of 10', however, we do include the eaves.

CHAIRMAN PETRILLO: Eaves there? Okay.

MR. MACH: So, with that said, they will again have to comply with building code.

CHAIRMAN PETRILLO: And I just want to reiterate what, the testimony that we heard, the eave is on the second floor of the primary structure, correct? And then estimated from that eave, the distance from that eave to the eave on the garage would be approximately 15' feet?

MS. WISNIEWSKI: Probably 10', 10-15', let me see the foundation.

CHAIRMAN PETRILLO: The garage is in here, so it does have a little bit on the first floor. Just a slight pitch.

MS. WISNIEWSKI: Right, just that, where the porch is.

CHAIRMAN PETRILLO: Yes. And then the next closest, where does the garage sit in the relative distance to the --

MS. WISNIEWSKI: It's about the same as --

CHAIRMAN PETRILLO: So that would still be the closest point? Okay. Is there any questions from any other member of the Board?

(No response.)

CHAIRMAN PETRILLO: Coming into this Petition, after reviewing the information that was presented to us in our packets, the one question or concern that I had was over the square footage. And after hearing the testimony, for the floor area ratio and after hearing the testimony this evening, I appreciate the Petitioners work they did to kind of massage in that, that I think you did six or eight different variations in presenting this in order to accommodate the needs of the building and the structure that they have outlined for us. So that, in my mind, has been overcome. I didn't have any issues with the 6.2' setback, as the existing structure already encroaches on that and I understand the variance even provided that the requirements are met for

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the fire code. I don't have any issue with the 2' variance for the accessory structure, the separation of 8' instead of 10'.

COMMISSIONER DIVITO: I know you mentioned that you talked with all of the neighbors, have you talked to the one, due east of you? That probably, I don't know exactly what that structure is that they have in their backyard? But it looks like you're going be blocking their --

MS. WISNIEWSKI: Are you talking about --

MR. SCHMELZER: It will take up, the Petition has maybe one window that they rarely ever use. There's one window that would, might be blocking their view, but they didn't have any issue with that.

MRS. SCHMELZER: Right, we're friends with them, we talk to them all the time so they were good with it. We explained it to them, and they got their letter.

MS. WISNIEWSKI: And the people on the south side, it won't change their vision at all.

CHAIRMAN PETRILLO: Any other questions or comments from any member of the Board?

COMMISSIONER DRAKE: I think it will be a nice addition in the neighborhood. I always feel like Euclid is such a high traffic part of the Village and it's sort of the gateway when people are coming into the Village and homes that are improved along that area I think speak well to the community. So, I think it's a nice project.

MRS. SCHMELZER: Thank you.

CHAIRMAN PETRILLO: I think it fits in nice also with the, it's well designed, if you go to the house that's either on Pine or the next street over, it's kind of the green-ish and brownish house that sits on the corner, it has a very similar type feel to it. I think that if you're looking at these, so, I don't think it will detract from the character of the neighborhood.

COMMISSIONER GEISEL: I was concerned about the floor area issue as well, but one thing I started looking at was the width of the lot, it's only 66, so that, from a proportionate standpoint, if you have a small lot you're going to easily get to your ratio in terms of building.

COMMISSIONER GEISEL: And I think the fact that it is on Euclid, I can understand why the Schmelters would not want to have access on Euclid. Because that is a very busy street especially there at that, in that portion of Euclid. So I can totally understand why, at least for guests and whatnot, you'd want them to come in from Douglas, which is much more of a side street.

CHAIRMAN PETRILLO: Any other thoughts or comments or a motion?

COMMISSIONER SELBKA: Motion to approve all variances.

CHAIRMAN PETRILLO: We have a motion. Is there a second?

MR. MACH: I'll second.

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CHAIRMAN PETRILLO: We have a second roll call vote?
MR. MACH: Mr. Divito?
COMMISSIONER DIVITO: Yes.
MR. MACH: Mr. Drake?
COMMISSIONER DRAKE: Yes.
MR. MACH: Mr. Geisel?
COMMISSIONER GEISEL: Yes.
MR. MACH: Mr. Selbka?
COMMISSIONER SELBKA: Yes.
MR. MACH: Chairman Petrillo?
CHAIRMAN PETRILLO: Yes. Congratulations.
MRS. SCHMELZER: Thank you so much.
MR. SCHMELZER: Thank you very much.
CHAIRMAN PETRILLO: Merry Christmas, Happy Holidays.
MR. SCHMELZER: That's great.
CHAIRMAN PETRILLO: Carole, were those, those were Derek's?
MS. WISNIEWSKI: Oh, yeah.
CHAIRMAN PETRILLO: All right, is there, do we need a motion
to adjourn?
MR. MACH: Sure.
CHAIRMAN PETRILLO: Seeing as there is no other business, is
there a motion to adjourn?
COMMISSIONER SELBKA: Motion to adjourn.
CHAIRMAN PETRILLO: Second?
COMMISSIONER DIVITO: Second, yes.
CHAIRMAN PETRILLO: There is a second.
MRS. SCHMELZER: Thank you so much.
CHAIRMAN PETRILLO: You're welcome. All those in favor say
aye.
(Chorus of ayes.)
CHAIRMAN PETRILLO: All those opposed say nay.
(No response.)
CHAIRMAN PETRILLO: Thank you.
(Whereupon, the meeting was adjourned at
7:24 p.m.)

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STATE OF ILLINOIS)
) SS.
COUNTY OF C O O K)

I, ROBERT LUTZOW, depose and
say that I am a direct record court reporter
doing business in the State of Illinois; that
I reported verbatim the foregoing proceedings
and that the foregoing is a true and correct
transcript to the best of my knowledge and
ability.

ROBERT LUTZOW

SUBSCRIBED AND SWORN TO
BEFORE ME THIS _____ DAY OF
_____, A.D. 2015

NOTARY PUBLIC

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS

December 14, 2015

PETITIONER: Schmelzer Residence
ADDRESS OF PROPERTY: 603 E. Euclid Ave.
VARIATION: 5.1-3.6, 5.4, 5.1-3.7, 5.3-3.2, 5.3-2

A 6.2-foot variance to allow an addition with an exterior side yard setback of 21.5-feet from the west property line instead of the minimum 27.7-feet and an additional 1.0-feet for the eave; A 359 square foot variance to allow a Floor Area Ratio (FAR) of 4,292 square feet instead of the maximum allowed 3,933 square feet; A 2 foot variance from Chapter 28, Section 6.5-7 to allow an accessory structure (detached garage) with a separation of 8 feet from the principal structure where 10 feet is required.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner testified that they are proposing an addition in order to expand the kitchen, family room, screened porch and the master suite. The petitioner testified that the proposed addition is encroaching into the required exterior side yard setback. The petitioner explained that several code compliant options were explored but that plans did not work or meet their needs. The petitioner testified that there is a ten foot separation between the existing detached garage and the proposed addition; however, the eaves are encroaching into the required separation.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Selbka and seconded by Mr. Drake. Thereafter, the Board voted 5-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 5-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Anthony Petrillo, Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: ZBA#15-028 - Rogers Residence - 930 N. Highland Ave.

Department: Planning & Community Development

REQUEST

1. A 223 square foot variance from Section 5.1-3.7 (Maximum Floor Area Calculation for Single Family Lots in R-3 Zoning District), Section 5.3-3.2 & Section 5.3-2 (Floor Area Ratio, Building Coverage, Height) to allow a Floor Area Ratio (FAR) of 3,036 square feet instead of the maximum allowed 2,813 square feet.

ATTACHMENTS:

Description

Staff Report
Department Comments
Supporting Documents & Drawings

Type

Board or Commission Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: January 11, 2016
Date Prepared: January 4, 2016
Project Title: Rogers Residence
Address: 930 N. Highland Ave.

Background Information

Petition Number: ZBA #15-028
Petitioner: Robert Rogers
Address: 930 N. Highland Ave.
Arlington Heights IL 60004
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

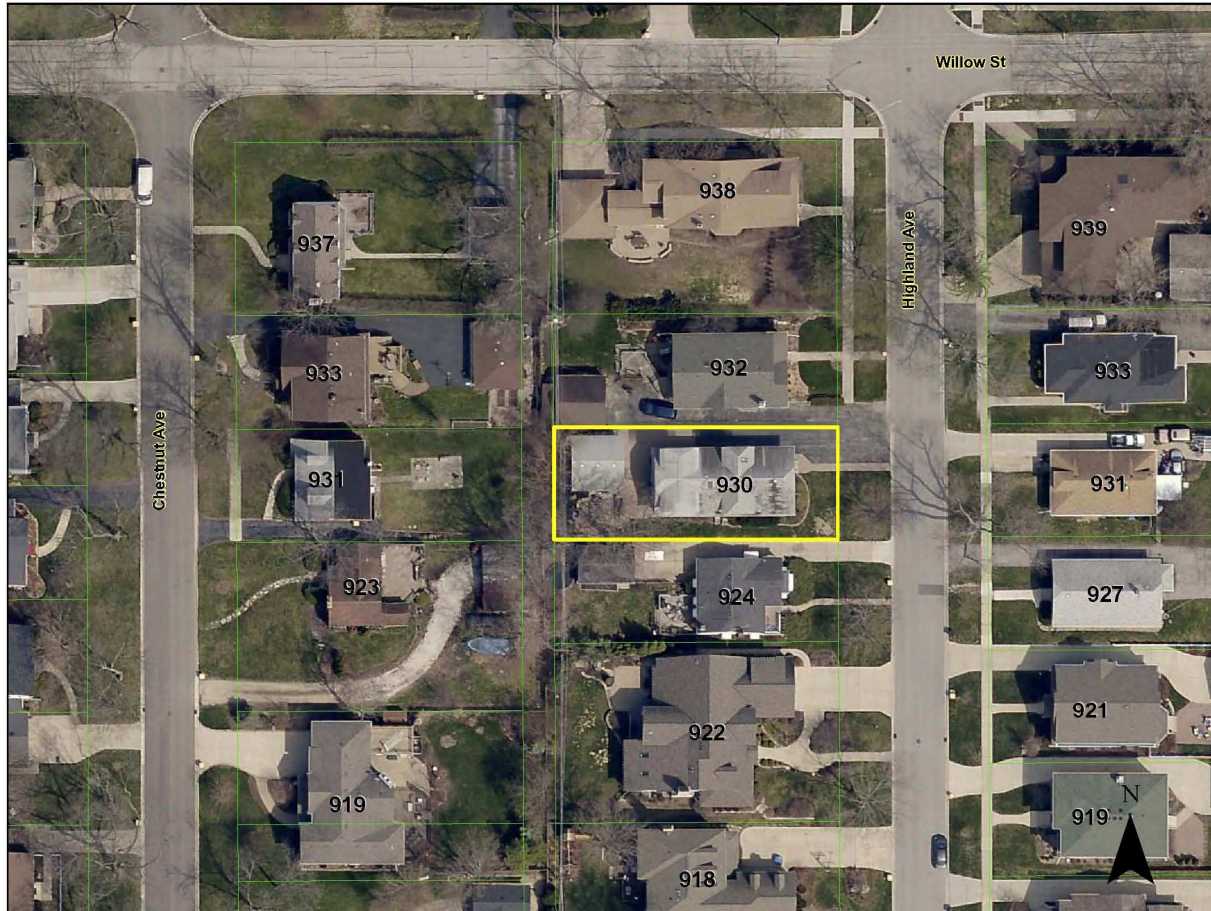
The petitioner is proposing to construct a second story addition to the existing two story home. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 6,250 square feet and a lot width of 50 feet. The proposed residence will have approximately 2,892 square feet. The proposed addition exceeds the allowable floor area ratio. Therefore the petitioner requests the following variation:

- A 223 square foot variance from Section 5.1-3.7 (Maximum Floor Area Calculation for Single Family Lots in R-3 Zoning District), Section 5.3-3.2 & Section 5.3-2 (Floor Area Ratio, Building Coverage, Height) to allow a Floor Area Ratio (FAR) of 3,036 square feet instead of the maximum allowed 2,813 square feet.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	12/23/15	
2. List of Property Owners Within 250 feet of Subject Property	✓	12/23/15	
3. Letter that was Mailed	✓	12/23/15	
4. Photographs of Sign on Property	✓	12/23/15	

Photograph of Existing Structure



ZBA# 15-028

930 N Highland Ave- ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering

qa 11

Submitted: December 30, 2015

Completed: December 30, 2015

The proposed ZBA application indicates that the petitioner is seeking:

A 223 sq ft variance to allow a Floor Area Ratio (FAR) of 3,036 sq ft instead of the maximum allowed 2,813 sq ft.

The proposed addition is for the second floor and front entryway and will not greatly alter the existing footprint of the home. It does not appear that the overall lot coverage will be altered. The Engineering Department has no objection to the proposed variance.

RECEIVED

JAN 06 2016

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

January 4, 2016

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building Services

RE: ZBA #15-028 - 930 N Highland Ave

Building Department Comment(s):

No objection to the variance.

RECEIVED
JAN 04 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Rogers Residence

Project Address: 930 N. Highland Ave.

ZBA #: 15-028

ZBA Hearing Date: January 11, 2016

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: December 29, 2015

- A 223 square foot variance from Section 5.1-3.7 (Maximum Floor Area Calculation for Single Family Lots in R-3 Zoning District), Section 5.3-3.2 & Section 5.3-2 (Floor Area Ratio, Building Coverage, Height) to allow a Floor Area Ratio (FAR) of 3,036 square feet instead of the maximum allowed 2,813 square feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THE PROPOSED ADDITION IS FAVORABLE FOR AN

ADMINISTRATIVE DESIGN APPROVAL, PENDING THE OUTCOME OF

Please review, comment, and return to me no later than Tuesday, January 5th.

THE ZBA REVIEW.

-STEVE HAUTZINGER, DESIGN PLANNER

Petition

NOW COMES the Petitioner Robert Rogers being the owner of the property commonly known as: 930 N Highland Arlington Heights IL 60004 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.7, Chapter 28, of the Arlington Heights Municipal Code, in order to: increase the Floor Area Ratio from 45% to 46.27% to allow for the addition of a bedroom, laundry room, etc.. on the existing second level of the home.

I hereby state that the following hardship would exist if the variation were not granted: We purchased the home on a construction loan that required these additions for the loan approval. When applying for the loan and through the design process we were unaware of the variation. We discovered this after the design was completed and submitted to underwriting, when the architect calculated the ratios and discovered a slight variation. If the construction is not completed we would default on the loan and be unable to sell the home for the loan price, possibly leading to a foreclosure. The appraised value was calculated by the bank based on the proposed construction and all worked is required by underwriting and to meet the minimum appraised value requirement to not have negative equity.

I hereby state that the following unique circumstances exist: We would not have a bedroom for each of our three children on the second level. Our daughter suffers from and is treated for depression and anxiety. She fears sleeping on the ground level and we need the bedroom for her on the second level. Additionally my wife is disabled with chronic asthma and needs the main level bedroom as an office to work from home. She also needs the second level laundry room due to her inability to carry laundry from the basement to the second level in its existing format. When we purchased this home, it was with the full intent to make these improvements to accommodate our family size and health concerns.

I hereby state the variation, if granted, will not alter the essential character of the locality because: we purchased the home with the appreciation of the historic nature of the Village and have designed around maintaining the look and style of the existing bungalow. The additions will be in line fully with the styles and features that already exist in the neighborhood and street. Improving the appearance of the home, while maintaining its character and architectural features will improve the appearance of the street and help with values.

Signed: _____

Petitioner

Date: 12/2/15

RECEIVED

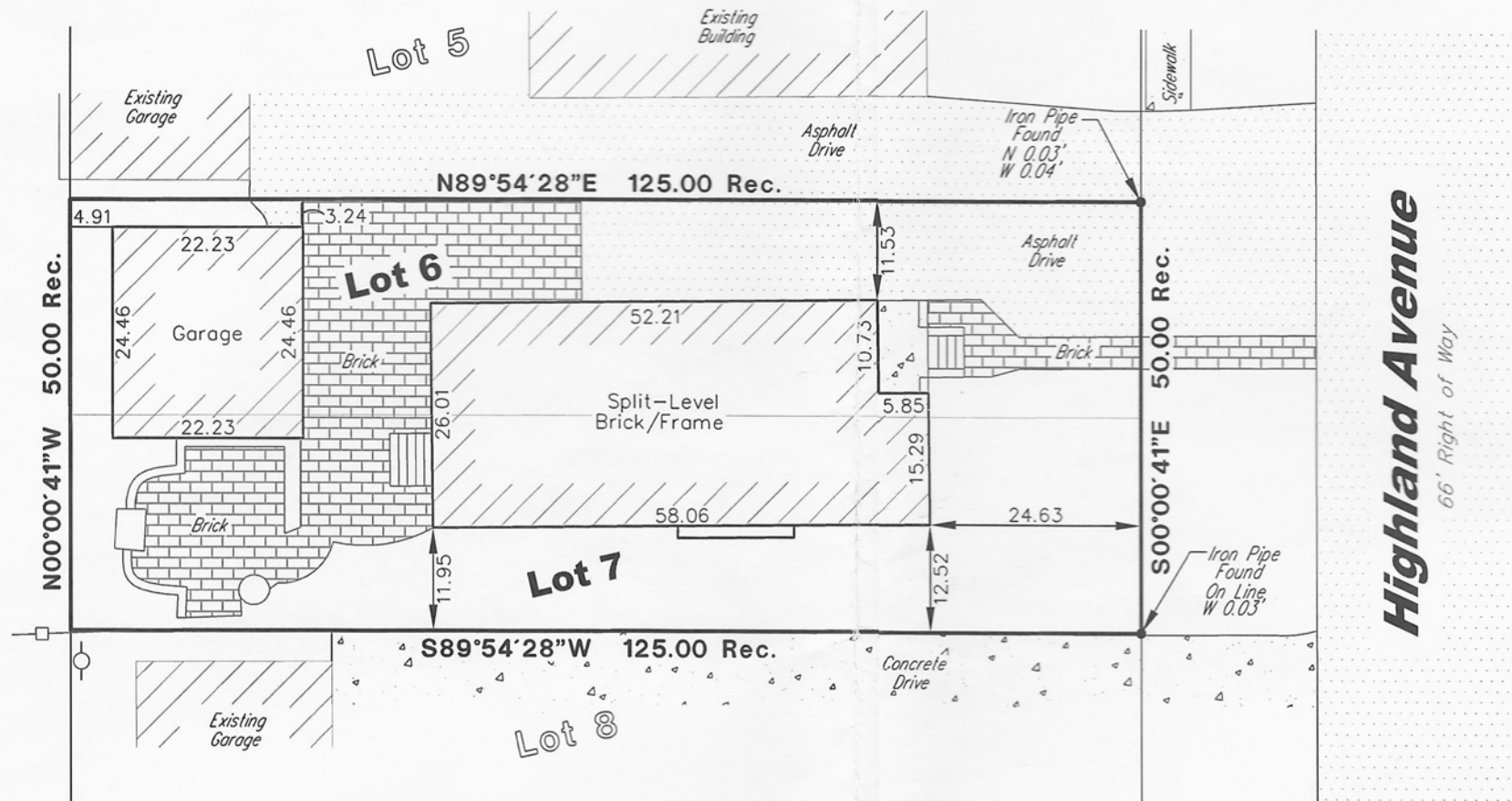
DEC 02 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



PLAT OF SURVEY

LOT 6 AND 7 IN BLOCK 5 IN MITCHELL'S ADDITION TO ARLINGTON HEIGHTS, BEING A SUBDIVISION OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



Legend:

- Set 1/2" Iron Pipe
- Found Iron Pipe
- X-Found Cross

Surveyor Notes:

- Field Work Completed on 08-05-15
- Prepared for Wifler Law Group, P.C., for real estate transaction.
- Site Address: 930 N. Highland Avenue, Arlington Heights, IL
- Pin No.: 03-30-211-014
- The easements shown hereon are provided from the current title and the use of the recorded subdivision plat. No search of the records for easements or encumbrances was made as part of this survey.
- Compare deed description and site conditions with the data given on this plat and report any discrepancies to the surveyor at once.
- No boundary corners were set at time of field survey of the subject property by client agreement.
- Auto Cad Files will not be released under this contract.

State of Illinois) SS)
County of Cook)

We, Land Surveying Services, Inc. do hereby state that we have surveyed the above described property and that this is the Plat that represents the conditions found at the time of said survey.

Given under my hand and seal this 06th day of August, A.D. 2015 in the State of Illinois.

Gloria Jean Koter, as agent for Land Surveying Services, Inc.

Illinois Professional Land Surveyor Number 3323
License Expiration Date 11-30-16

This professional service conforms to the current Illinois minimum standards for a boundary survey.



Drawn By:	KD	Checked By:	GJK
Drawing Revisions			
REVISION	Date	Drawn	Checked

Field Work Completed:	08-05-15
Scale:	1" = 20'
Date:	08-06-15
Site Address:	
930 N. Highland Avenue	
Arlington Heights, Illinois	

Land Surveying Services, Inc.
574 W. Cullfax Street
Palo Alto, Illinois 60067
Ph. (847)991-7700
Fax. (847)991-7700
Professional Design Firm License No. 184-003632

Job Number
LS150512

Sheet Name
PLAT OF SURVEY

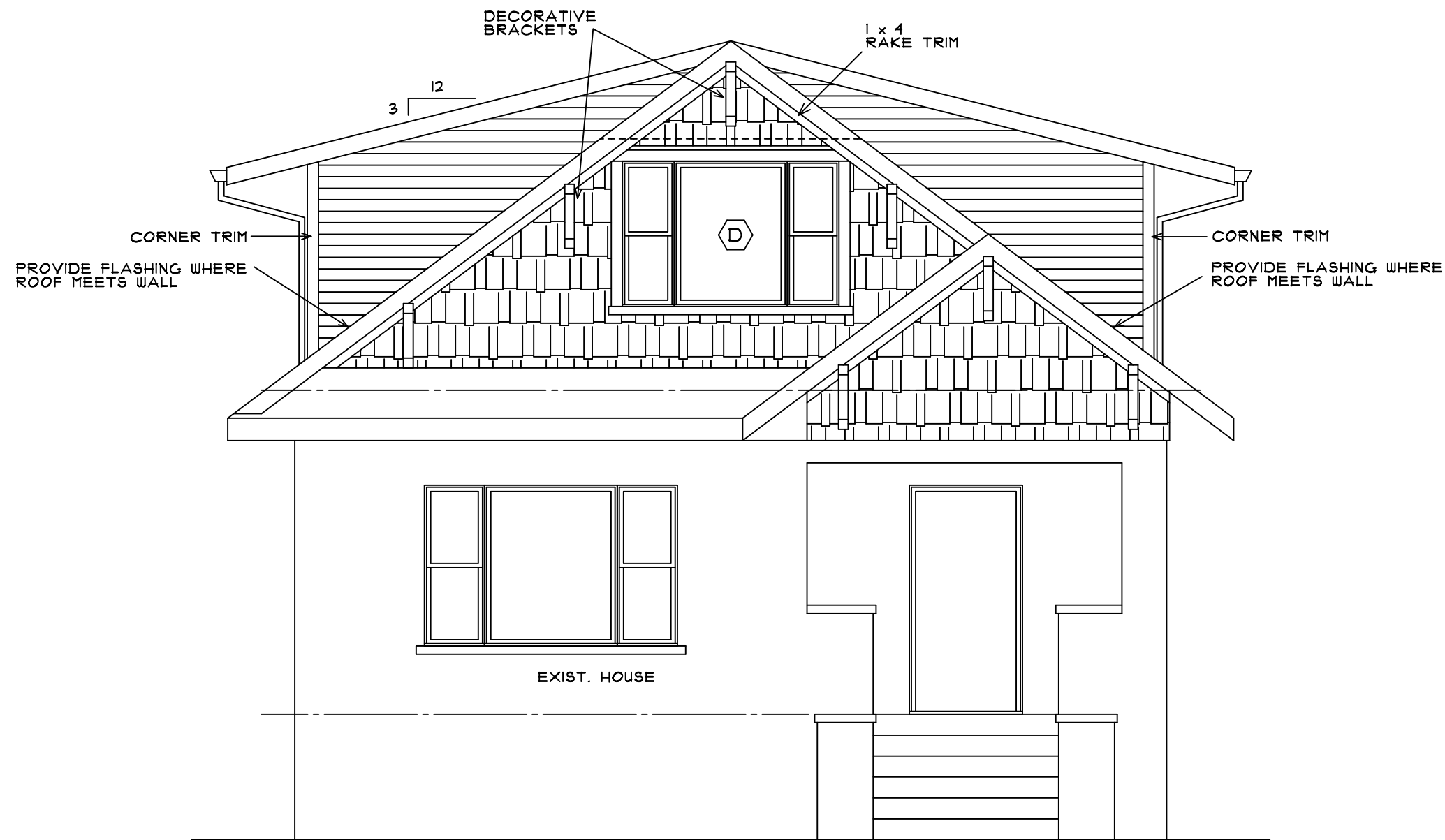
Sheet Number
SURVEY

ARLINGTON HEIGHTS, ILLINOIS

1. CONSTRUCTION DEBRIS AND REFUSE CONTAINMENT SHALL BE REQUIRED FOR ALL JOB SITES. CONTAINMENT SHALL OCCUR ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT. IT SHALL BE WITHIN A DUMPSTER, STRUCTURE, OR CONTAINER THAT CAN BE COVERED TO PREVENT WINDBLOWN DEBRIS. ALL SUCH DUMPSTERS, STRUCTURES, OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.
2. ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH NEW SOD ON 4" OF TOPSOIL. ALL SOD SHALL BE WATERED AS REQ'D TO SUSTAIN GROWTH.
3. ALL PARKWAY TREES SHALL HAVE A SNOW FENCE THAT EXTENDS TO THE DRIP LINE. NO TRAFFIC SHALL GO OVER THE ROOT SYSTEM.
4. SURFACE DRAINAGE TO BE DIVERTED FROM STRUCTURE SO AS NOT TO CREATE A HAZARD ON THIS OR ADJACENT PROPERTY. GRADE FROM FOUNDATION TO DROP A MINIMUM OF 1" IN 10'. PROVIDE SWALES OR DRAINS TO ENSURE DRAINAGE FROM STRUCTURE AND ADJACENT PROPERTY.
5. TOILET FACILITIES SHALL BE PROVIDED AT ALL JOB SITES PER ILLINOIS PLUMBING CODE. THIS WILL BE A CONDITION OF THE PERMIT.
6. PROVIDE AND MAINTAIN A 4'-0" HIGH FENCE ALONG THE FULL LENGTH OF INTERIOR SIDE YARDS UNTIL EXTERIOR CONSTRUCTION IS COMPLETE.
7. PROVIDE AND MAINTAIN A 4'-0" HIGH CONSTRUCTION FENCE DURING NON-WORKING HOURS THAT WILL ENCLOSE ALL OPEN EXCAVATIONS UNTIL FOUNDATION IS BACK-FILLED & FIRST FLOOR DECK IS COMPLETED.

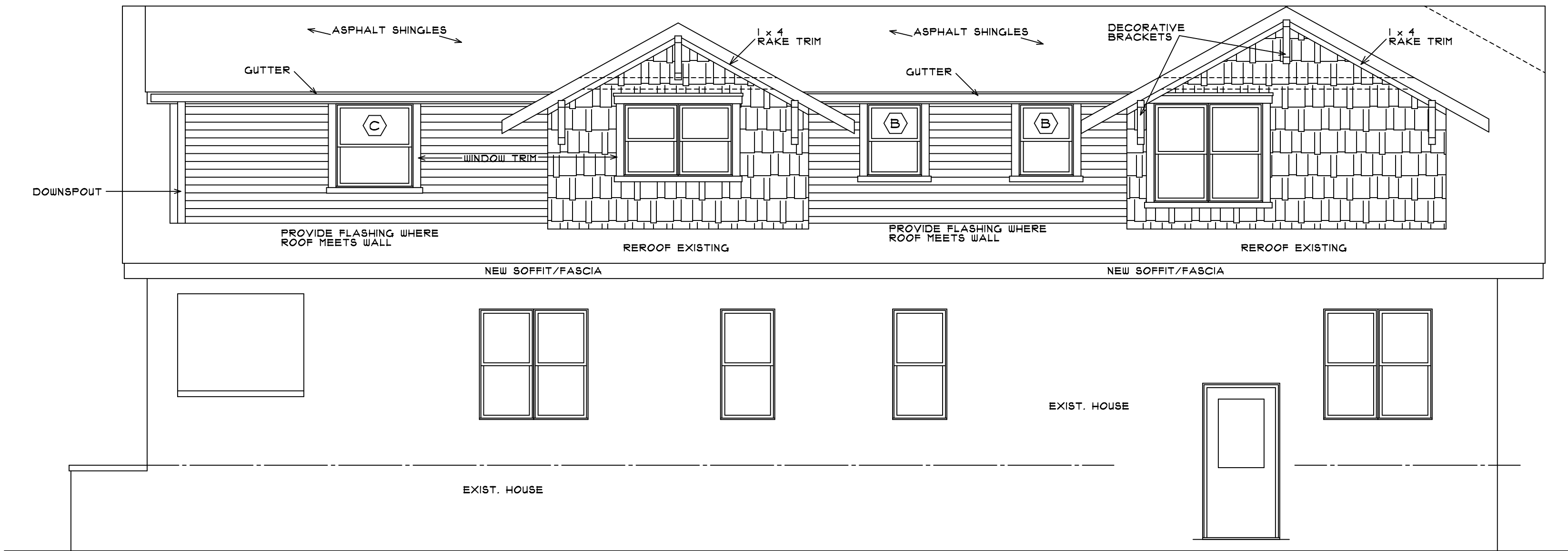
1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK AND ANY DISCREPANCIES IN FIELD CONDITIONS IS TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.
2. PLEASE NOTIFY ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.

PROPOSED 2ND FLR ROOM ADDITION	11-19-15 RELEASED FOR BUILDING PERMIT SUBMITTAL	ROGERS RESIDENCE
THOMAS BUCKLEY ARCHITECT	ARCHITECT'S CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECTORIAL CONTROL AND TO THE BEST OF MY KNOWLEDGE COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.	930 N. HIGHLAND AVE ARLINGTON HTS. IL
P.O. BOX 95424 HOFFMAN ESTATES, IL 60195 TEL. 847-310-9530 e-mail: tom@thomasbuckleyarchitect.com	CERT. NO. 0000000121 EXP. 1-30-16 DATE	2015-0719 JF G - 1 11-16-15 OF FOUR



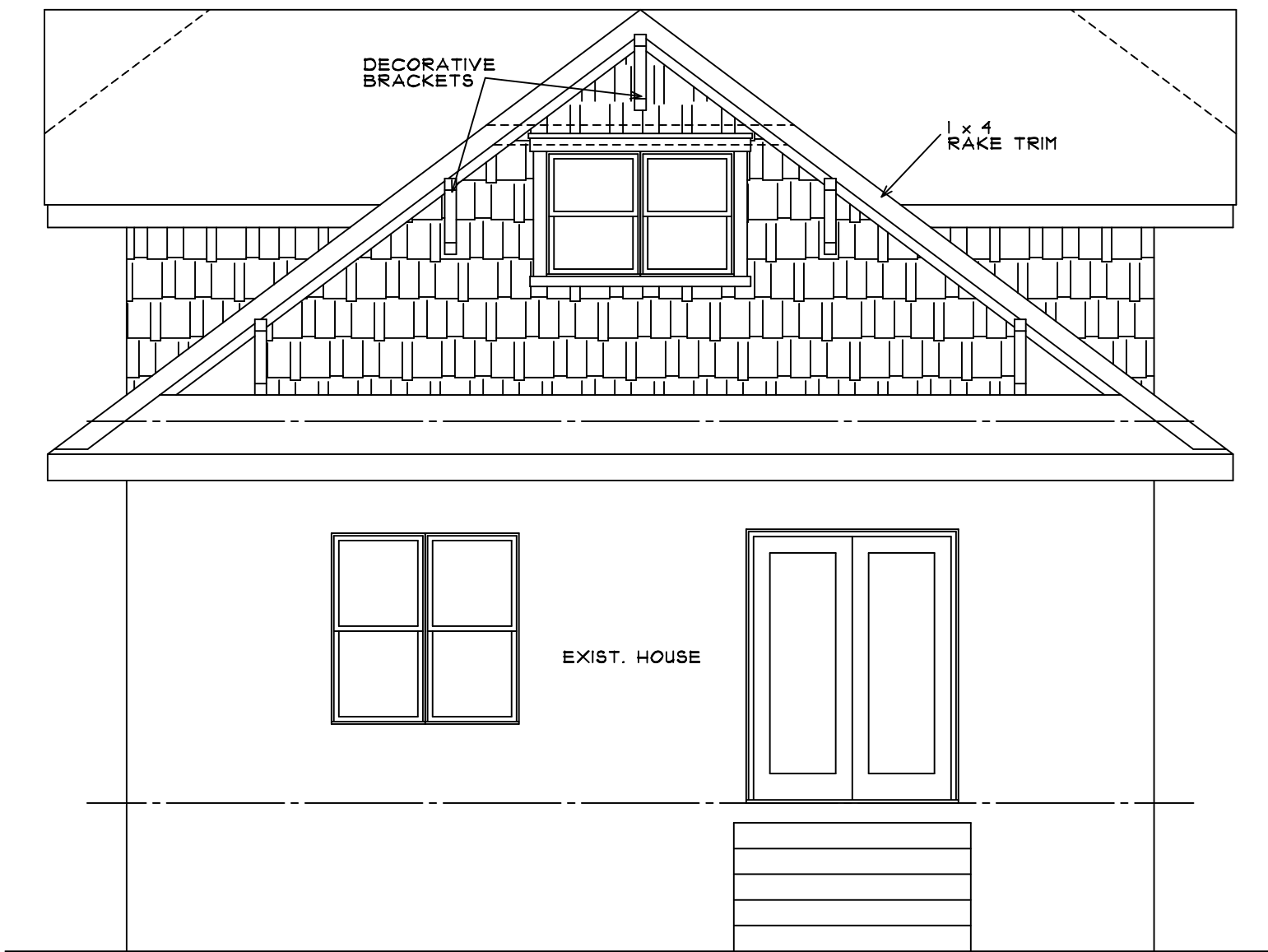
EAST ELEVATION

SCALE 1/4" = 1'-0"



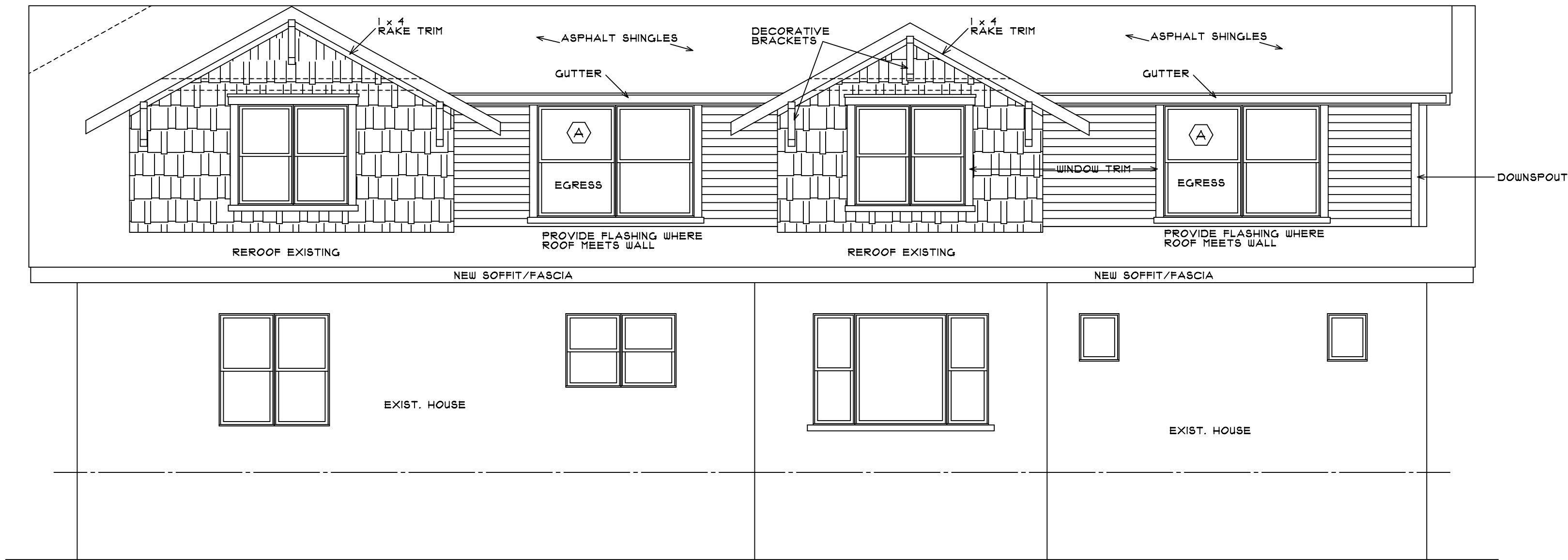
NORTH ELEVATION

SCALE 1/4" = 1'-0"



WEST ELEVATION

SCALE 1/4" = 1'-0"



SOUTH ELEVATION

SCALE 1/4" = 1'-0"

WINDOW SCHEDULE [VERIFY WINDOW ROUGH OPENINGS WITH MANUFACTURER]						
#	WINDOW TYPE	U-VALUE	ROUGH OPENING	GLASS OPNG.	VENT OPNG.	REMARKS
A	DOUBLE-HUNG	0.32 (MIN.)	1'-0 3/4" X 5'-1 1/2"	24.0	13.0	MDL 3424 (EGRESS RATED)
B	DOUBLE-HUNG	0.32 (MIN.)	2'-6 3/8" X 3'-5 1/2"	5.3	2.1	MDL 2414
C	DOUBLE-HUNG	0.32 (MIN.)	3'-6 3/8" X 3'-9 1/2"	9.0	4.5	MDL 3418
D	DH/PX/DH PICTURE WINDOW	0.32 (MIN.)	---	21.3	4.1	MDL 1424 + 3448
NOTES						
1. VERIFY WINDOW ROUGH OPENINGS WITH MANUFACTURER						
2. BATHROOM WINDOWS MUST BE FROSTED AND TEMPERED GLASS, UNLESS SPECIFIED DIFFERENT.						

ELEVATION NOTES:

- WINDOW SIZES BASED ON GLASS SIZES; ROUGH OPENINGS TO BE VERIFIED W/ CHOSEN WINDOW MANUF. & CONTRACTOR PRIOR TO CONSTRUCTION
 - GLASS SIZES TO BE FOLLOWED AS CLOSE AS POSSIBLE PER DIFFERENT MANUF.
 - BEDROOM WINDOWS TO HAVE EGRESS HARDWARE & FOLLOW EGRESS REQ'MNTS AS LABELED ON ELEVATIONS.
 - WINDOWS IN WHICH THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" ABOVE THE TOP OF THE FLOOR ARE REQUIRED TO BE TEMPERED.
 - EXISTING WINDOWS WHICH ARE TO BE REMOVED & REPLACED SHALL BE VERIFIED IN THE FIELD FOR SIZES.
 - FIELD VERIFY EMERGENCY ESCAPE & RESCUE OPENINGS IN SLEEPING ROOMS
- EGRESS WINDOW REQUIREMENTS
- PROVIDE A NET CLEAR OPENING OF 5.7 SF OR GREATER, ACHIEVED BY SIMPLY OPENING THE WINDOW
- A MINIMUM CLEAR WIDTH OF 20"
- A MINIMUM CLEAR HEIGHT OF 24"
- A SILL HEIGHT OF LESS THAN 44" AFF

ELEVATION MATERIALS	
HATCH	DESCRIPTION
	HORIZONTAL CLAPBOARD SIDING 4" REVEAL (COLOR BY OWNER)
	HAND-SPLIT CEDAR SHAKES (COLOR BY OWNER)

PROPOSED 2ND FLR ROOM ADDITION

THOMAS BUCKLEY ARCHITECT
P.O. BOX 9524
HOFFMAN ESTATES, IL 60195
TEL. 847-310-9530 e-mail: tom@thomasbuckleyarchitect.com

11-19-15 RELEASED FOR BUILDING PERMIT SUBMITTAL

ROGERS RESIDENCE

930 N. HIGHLAND AVE
ARLINGTON HTS, IL

2015-019
JF

11-16-15

A-2
OF FOUR



Item: ZBA#15-029 - Schudel Residence - 1310 W. Sunset Terrace

Department: Planning & Community Development

REQUEST

A 12 foot variation from Chapter 28, Section 5.1-3.6 for the expansion of an existing addition that is setback 18 feet from the rear property line where 30 feet is required.

ATTACHMENTS:

Description

Staff Report

Department Comments

Supporting Documents & Drawings

Type

Board or Commission Report

Correspondence

Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: January 11, 2016
Date Prepared: January 4, 2016
Project Title: 1310 W. Sunset Terrace
Address: 1310 W. Sunset Terrace

Background Information

Petition Number: ZBA #15-029
Petitioner: Kevin Schudel
Address: 1051 W. Golf Rd.
Hoffman Estates, IL 60169
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

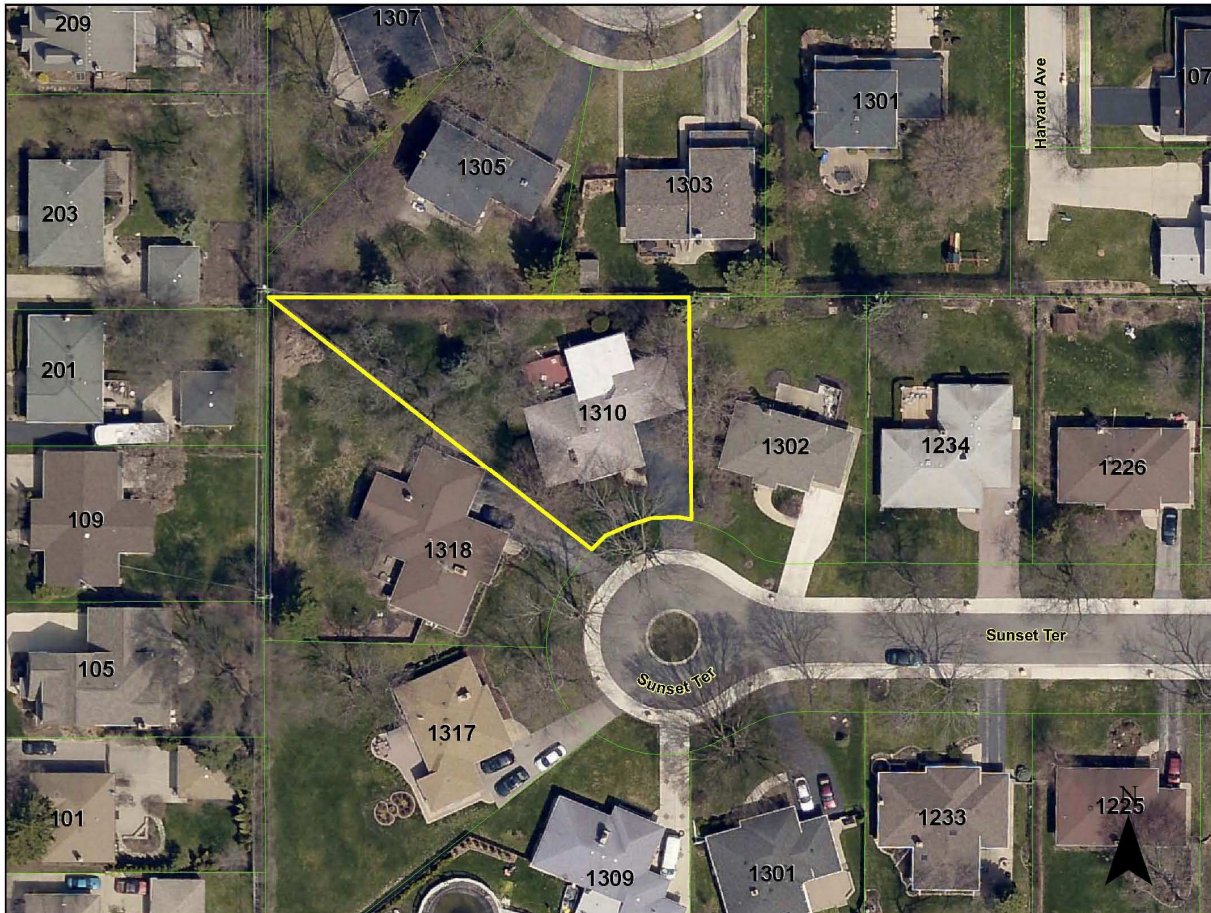
In 1965, a variation was granted for 1310 W. Sunset for a room addition in the rear of the home that is encroaching into the required rear yard setback. The petitioner is proposing to reconstruct the roof of the existing addition and expand the footprint (cantilever) by two feet. Therefore the petitioner requests the following variation:

- A 12 foot variation from Chapter 28, Section 5.1-3.6 for the expansion of an existing addition that is setback 18 feet from the rear property line where 30 feet is required.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	12/16/15	
2. List of Property Owners Within 250 feet of Subject Property	✓	12/22/15	
3. Letter that was Mailed	✓	12/21/15	
4. Photographs of Sign on Property	✓	12/18/15	

Photograph of Existing Structure



ZBA# 15-029

1310 W Sunset Terrace- ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering

9A1

Submitted: December 30, 2015

Completed: December 30, 2015

The proposed ZBA application indicates that the petitioner is seeking:

A variation to allow for the expansion of an existing additional that is encroaching into the required rear yard.

The plan submitted is for an interior remodel, with a change from a flat roof to a pitched roof for a small area on the rear of the existing home. The only modification to the existing footprint appears to be a short section of a 2 ft eave to alleviate an existing drainage concern for the home.

Engineering Department has no objection to the proposed variance.

RECEIVED

JAN 06 2016

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

January 4, 2016

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building Services

RE: ZBA #15-029 – 1310 W Sunset Terrace

Building Department Comment(s):

No objection to the variance.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Schudel Residence

Project Address: 1310 W. Sunset Terrace

ZBA #: 15-029

ZBA Hearing Date: January 11, 2016

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: December 29, 2015

- A variation from Chapter 28, Section 5.1-3.6 for the expansion of an existing addition that is encroaching into the required rear yard.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THE PROPOSED ADDITION FITS WELL WITH THE EXISTING
HOUSE AND IS FAVORABLE FOR AN ADMINISTRATIVE DESIGN

Please review, comment, and return to me no later than Tuesday, January 5th.

APPROVAL, PENDING THE OUTCOME OF THE ZBA REVIEW.

-STEVE HAUZINGER, DESIGN PLANNER

RECEIVED

DEC 15 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Petition

Now comes the petitioner Kevin Schudel being the owner of the property commonly known as 1310 W Sunset Ter Arlington Heights IL 60005 AND APPEALS TO BE THE Zoning Board of Appeals of the village of Arlington Heights for a variation from section 12 of chapter of the Arlington Heights Municipal code, in order to Replace a flat roof that currently leaks and is producing mold and replace it with a new roof that ties in to existing roof. This type of roof will increase values and be more appealing to the area. We also need extra 2 foot overhang on existing foundation. The extra 2 feet will allow us to install a small master bedroom & master bath, closet, and expand the kitchen to a normal size. My architect tried to get the addition to work without the 2 foot but it leave the bedroom to small and not functional. I'm keeping the current foundation foot print. The 2 feet over hang will not be seen by any neighbors do to land scraping etc.

I hereby state that the following hardship would exist if the variation were not granted. Flat roofs are not cosmetically or as functional as the new roof we are proposing. Flat roofs are more likely to leak and water leakage causes mold and mold is a health risk. The 2 foot over hang is needed to add the sqf needed to accommodate the new lay out and make home functional by adding a small master bedroom & master bath, closet, and expand the kitchen to a normal size. Without these variations it will hurt the functionality and not be the highest and best use of this home and property.

I hereby state that the following unique circumstances exist roof leaks based on a poor design for a SFR that causes mold and inadequate space to use the home best function ability. The current addition layout is useless it hurts the value and functionality of this home. This home currently has a 3 bedroom and 1 bath to service all 3 bedroom. I need the extra 2 feet so we can turn this addition into a master bedroom with a master bath and increase the size of the kitchen.

I hereby state that the variation, if granted, will not alter the essential character of the locality because this helps the design & appeal and overall functionality of this property and this is not the closest part of existing building to lot lines and cannot even be seen by homes in area.

Signed: _____



Petitioner

Date: _____

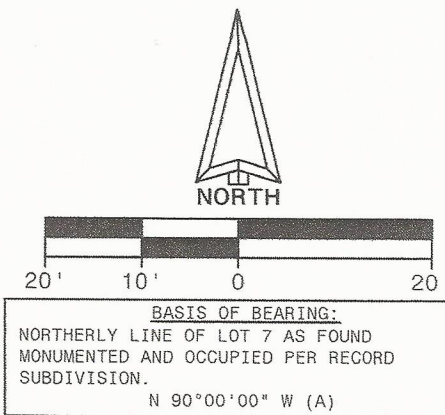
12-6-15

LEGEND	
A = ASSUMED	NW = NORTHWEST
BL = BUILDING SETBACK LINE	P.O.B. = POINT OF BEGINNING
C = CALCULATED	P.O.C. = POINT OF COMMENCEMENT
C.E. = CITY EASEMENT	P.U.E. = PUBLIC UTILITY EASEMENT
CH = CHORD	P.U. & D.E. = PUBLIC UTILITY & DRAINAGE EASEMENT
CL = CENTERLINE	R = RECORD
D = DEED	RAD = RADIUS
D.E. = DRAINAGE EASEMENT	R.O.W. = RIGHT OF WAY
E = EAST	S = SOUTH
F.I.P. = FOUND IRON PIPE	S.I.P. = SET IRON PIPE
F.I.R. = FOUND IRON ROD	S.I.R. = SET IRON ROD
FT. = FEET/FOOT	SE = SOUTHEAST
L = ARC LENGTH	SW = SOUTHWEST
M = MEASURED	V.E. = VILLAGE EASEMENT
N = NORTH	W = WEST
NE = NORTHEAST	
---	--- = FENCE
---	--- = EASEMENT LINE
---	--- = SETBACK LINE
---	--- = INTERIOR LOT LINE

MORRIS
ENGINEERING, INC.

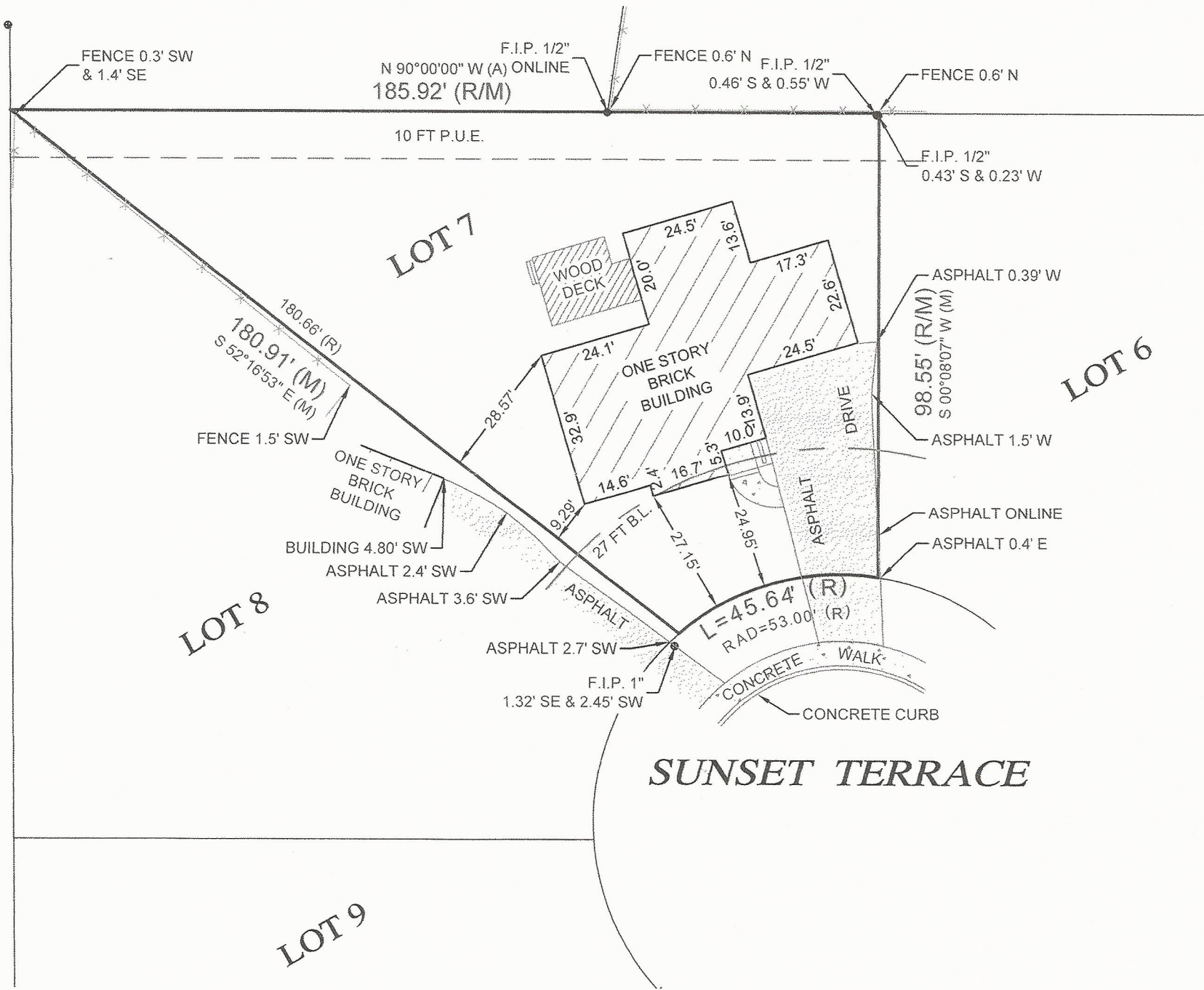
515 WARRENVILLE ROAD, LISLE, ILLINOIS 60532
MAIN PHONE: (630)271-0770 SURVEY DEPT. PHONE (630)271-0599
EMAIL: SURVEY@ECIVIL.COM WEBSITE: ECIVIL.COM

PLAT OF SURVEY
OF



LOT 7 IN MARCY'S ARLINGTON PARK VISTA, BEING A RESUBDIVISION OF LOT 6 IN BLOCK 2 IN HOELZ'S ADDITION TO ARLINGTON HEIGHTS, BEING A PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 21, 1907 AS DOCUMENT 4055893, ALSO THAT PART OF DWYER STREET LYING EAST OF THE EAST OF THE EAST LINE OF LOT 6 AFORESAID AND WEST OF CENTER LINE OF DWYER STREET AS PER PLAT OF DEDICATION RECORDED DECEMBER 19, 1930, AS DOCUMENT 10813021 IN COOK COUNTY, ILLINOIS.

AREA OF SURVEY:
"CONTAINING 12239 SQ. FT. OR 0.28 ACRES MORE OR LESS"



STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT "THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY," AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

DATED, THIS 22ND DAY OF SEPTEMBER, A.D., 2015, AT LISLE, ILLINOIS.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2952
LICENSE EXPIRATION DATE NOVEMBER 30, 2016
ILLINOIS BUSINESS REGISTRATION NO. 184-001245



NOTE:

1. ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.
2. ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
3. COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
4. NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

ADDRESS COMMONLY KNOWN AS 1310 WEST SUNSET TERRACE
ARLINGTON HEIGHTS, ILLINOIS

CLIENT DROST KIVLAHAN McMAHON & O'CONNOR LLC

JOB NO. 15-08-0267

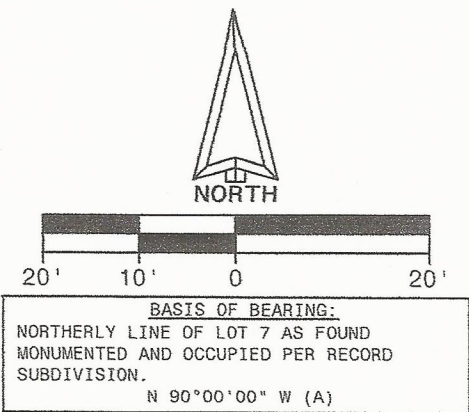
FIELDWORK DATE/CREW CHIEF 9/21/15 (MD/WM)

DRAWN BY NG REVISED

LEGEND	
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MORRIS
ENGINEERING, INC.

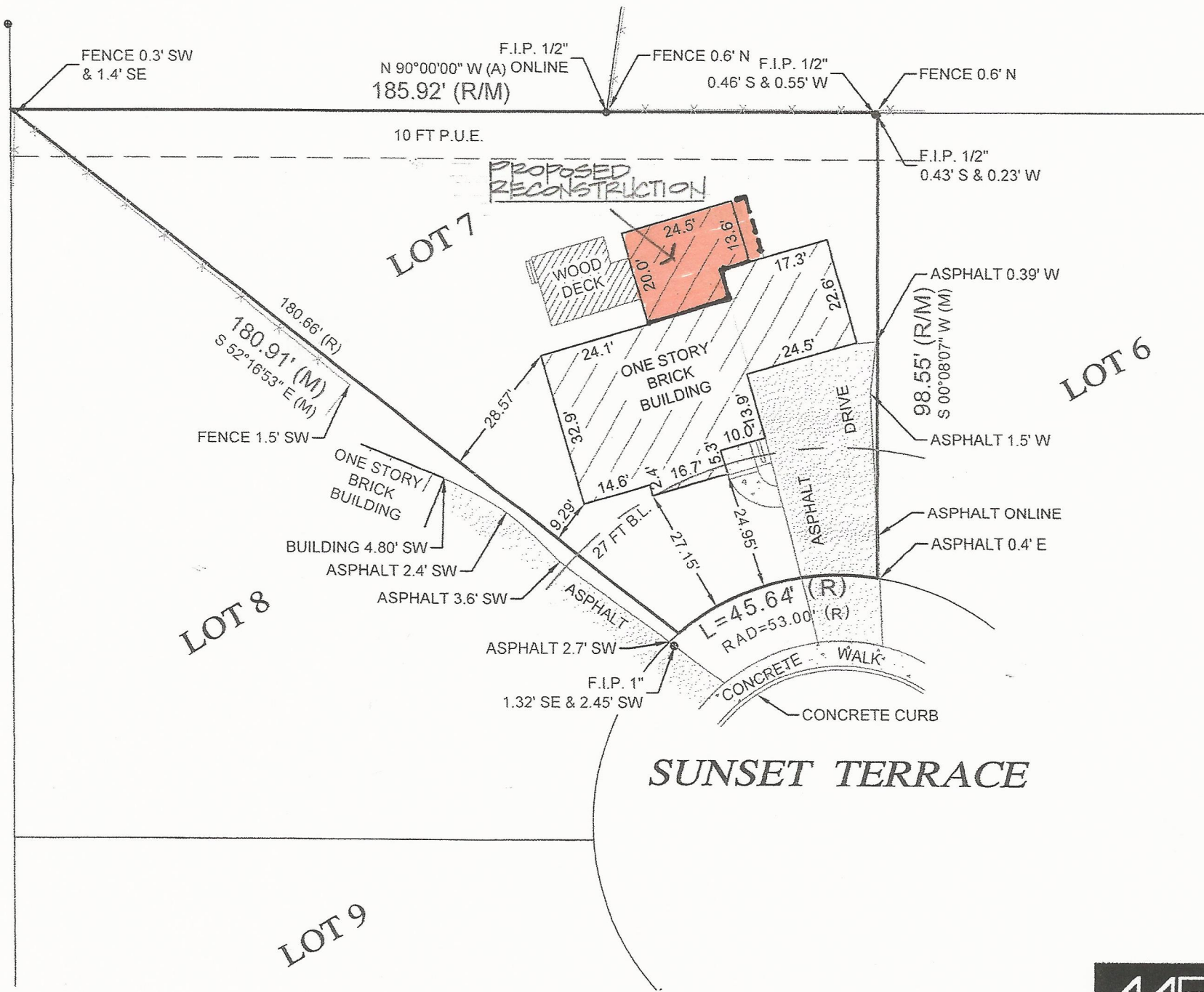
515 WARRENVILLE ROAD, LISLE, ILLINOIS 60532
MAIN PHONE: (630)271-0770 SURVEY DEPT. PHONE (630)271-0599
EMAIL: SURVEY@ECIVIL.COM WEBSITE: ECIVIL.COM



PLAT OF SURVEY OF

LOT 7 IN MARCY'S ARLINGTON PARK VISTA, BEING A RESUBDIVISION OF LOT 6 IN BLOCK 2 IN HOELZ'S ADDITION TO ARLINGTON HEIGHTS, BEING A PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 21, 1907 AS DOCUMENT 4055893, ALSO THAT PART OF DWYER STREET LYING EAST OF THE EAST OF THE EAST LINE OF LOT 6 AFORESAID AND WEST OF CENTER LINE OF DWYER STREET AS PER PLAT OF DEDICATION RECORDED DECEMBER 19, 1930, AS DOCUMENT 10813021 IN COOK COUNTY, ILLINOIS.

AREA OF SURVEY:
"CONTAINING 12239 SQ. FT. OR 0.28 ACRES MORE OR LESS"



Proj. No. 2015.018
10.27.2015 - ISSUED FOR PERMIT

STATE OF ILLINOIS }
COUNTY OF DUPAGE }SS

I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT "THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY," AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.
DATED, THIS 22ND DAY OF SEPTEMBER, A.D., 2015, AT LISLE, ILLINOIS.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2952
LICENSE EXPIRATION DATE NOVEMBER 30, 2016
ILLINOIS BUSINESS REGISTRATION NO. 184-001245



- NOTE:
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 - ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
 - COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
 - NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

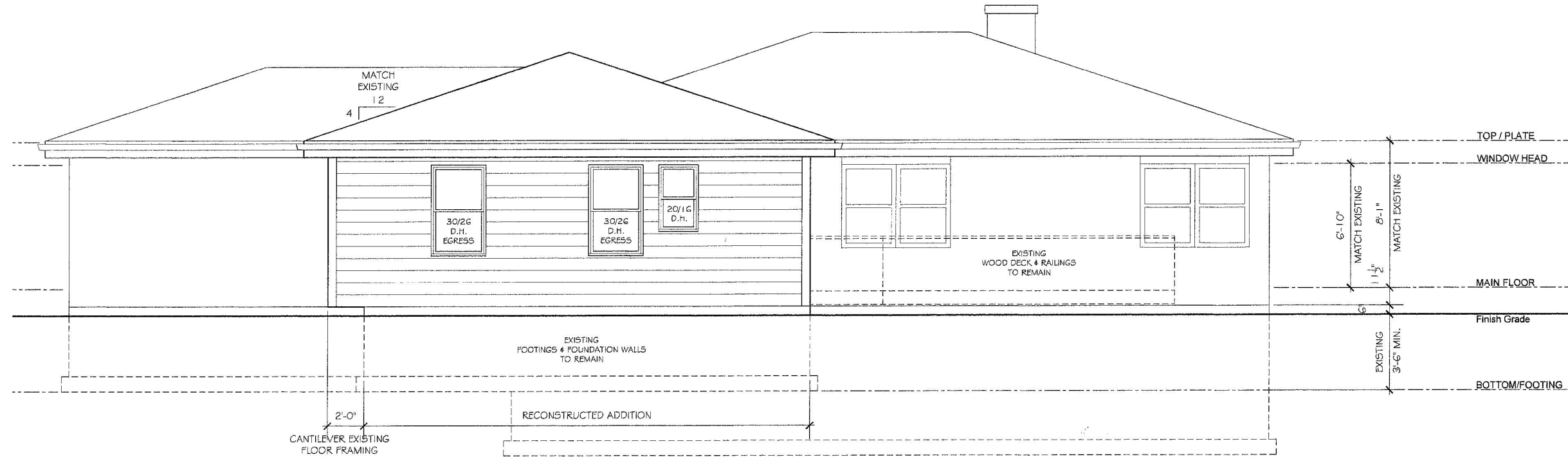
ADDRESS COMMONLY KNOWN AS 1310 WEST SUNSET TERRACE
ARLINGTON HEIGHTS, ILLINOIS

CLIENT DROST KIVLAHAN McMAHON & O'CONNOR LLC

JOB NO. 15-08-0267

FIELDWORK DATE/CREW CHIEF 9/21/15 (MD/WM)

DRAWN BY: NO. REVISED:



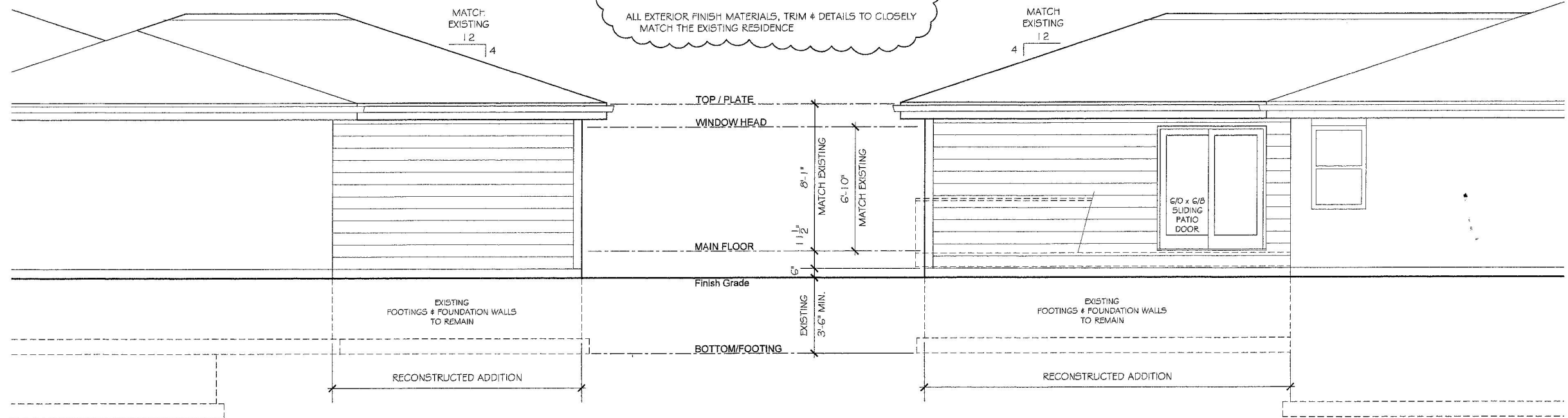
NORTH ELEVATION

EXTERIOR FINISH MATERIALS

235# (MIN.) SELF-SEALING CLASS C or BETTER ASPHALT SHINGLES WITH CONTINUOUS SHINGLE-OVER RIDGE VENT PREFINISHED ALUMINUM FLASHINGS AS REQUIRED PREFINISHED ALUMINUM GUTTERS & DOWNSPOUTS

HORIZONTAL FIBER CEMENT LAP SIDING - 8" EXPOSURE WITH FIBER CEMENT CORNER & TRIM BOARDS ALUMINUM-CLAD 1x10 FASCIA & VENTED ALUMINUM SOFFIT CLAD WOOD WINDOWS WITH TRIM

ALL EXTERIOR FINISH MATERIALS, TRIM & DETAILS TO CLOSELY MATCH THE EXISTING RESIDENCE



EAST ELEVATION

WEST ELEVATION

GLAZING NOTES

ALL GLAZING SHALL CONFORM TO THE REQUIREMENTS OF SECTION R 308 OF THE 2009 INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS.

FENESTRATION U-FACTOR SHALL BE 0.32 (MAXIMUM)

A.5

Proposed Construction

EXTERIOR ELEVATIONS

Scale 1/4" = 1'-0"

Proposed Remodeling to the Residence at
1310 SUNSET TERRACE
Arlington Heights, Illinois

MFA
ARCHITECTS

11.20.2015 - REVISED for Permit Project No. 2015.018



Item: ZBA#15-030 - 1504 N. Howard Ct. - Lot 1

Department: Planning & Community Development

REQUEST

1. A 1.5 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new house with a side yard setback of 7.5 feet from the north property line instead of the minimum 9.0 feet and an additional 1.0 feet for the eave.

ATTACHMENTS:

Description

Staff Report
Department Comments
Supporting Documents & Drawings

Type

Board or Commission Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: January 11, 2016
Date Prepared: January 4, 2016
Project Title: 1504 N. Howard Ct. - Lot 1
Address: 1504 N. Howard Ct.- Lot1

Background Information

Petition Number: ZBA #15-030
Petitioner: Craig Anderson / Brentwood Development
Address: PO Box 1775
Arlington Heights IL 60006
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

The petitioner is proposing to construct a new two story home. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 11,412 square feet and a lot width of 90 feet. The proposed residence will have approximately 4,464 square feet. The proposed home is encroaching into the required side yard setback. Therefore the petitioner requests the following variation:

- **A 1.5 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new house with a side yard setback of 7.5 feet from the north property line instead of the minimum 9.0 feet and an additional 1.0 feet for the eave.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	12/23/15	
2. List of Property Owners Within 250 feet of Subject Property	✓	12/23/15	
3. Letter that was Mailed	✓	12/23/15	
4. Photographs of Sign on Property	✓	12/23/15	

Photograph of Existing Structure



ZBA# 15-030

1504 N Howard Ct Lot 1- ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering *qa1*

Submitted: December 30, 2015

Completed: December 30, 2015

The proposed ZBA application indicates that the petitioner is seeking:

A 1.5 ft variance to allow a new house with a side yard setback of 7.5 ft from the north property line instead of the minimum 9 ft and an additional 1 ft for the eave.

The Engineering Department is NOT IN FAVOR of this variance due to concerns of side yard drainage swales and reoccurring issues throughout the Village with window wells and drainage between homes. The proposed window wells are also located within the existing utility easement and are not shown on the plat of survey.

RECEIVED

JAN 06 2016

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

January 4, 2016

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building Services

RE: ZBA #15-030 – 1504 N Howard Ct.

Building Department Comment(s):

No objection to the variance.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: 1504 N. Howard Ct. – Lot 1

Project Address: 1504 N. Howard Ct. – Lot 1

ZBA #: 15-030

ZBA Hearing Date: January 11, 2016

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: December 29, 2015

- A 1.5 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new house with a side yard setback of 7.5 feet from the north property line instead of the minimum 9.0 feet and an additional 1.0 feet for the eave.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THE PROPOSED NEW HOUSE IS FAVORABLE FOR AN ADMINISTRATIVE DESIGN APPROVAL, PENDING THE OUTCOME OF THE ZBA REVIEW.

Please review, comment, and return to me no later than Tuesday, January 5th.

-STEVE HAUTZINGER, DESIGN PLANNER

PETITION

NOW COMES the Petitioner Craig Anderson, President of Brentwood Development, Inc. being the owner of the property commonly known as: Lot 1, 1504 N. Howard Court and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.6, Chapter 28, of the Arlington Heights Municipal Code, in order to:

To allow the reduction of the interior side yard setback (North) by 12"-18" in order to construct a new single family residence 57' wide. If the variation is granted this would result in 7.5' -8' interior side yard setback instead of a 9' setback.

I hereby state that the following hardship would exist if the variation were not granted:

- 1) Limits the ability to build the proposed 57' wide custom single family residence.
- 2) The final architectural drawings and engineering are completed.

I hereby state that the following unique circumstances exist:

The proposed new residence is a "build to suit" custom home under contract with existing Arlington Heights residents. Close to a year has gone in to planning and designing their "dream home". We have completed final architectural drawings and engineering for a 57' wide home. Upon receipt of the Plan Review Corrections Report (Building Permit) we were made aware that the interior side yard setback was 9' versus the 7.5' side yard setback that is showing on the Howard's Way Plat of Subdivision.

I hereby state that the variation, if granted, will not alter the essential character of the locality because:

- 1) Due to the cul-de-sac configuration of the subdivision and custom home designs/elevations the distance between the five homes will all be different (see attached Howard's Way Plat of Subdivision and Lot 2 and 5 Plat of Survey).
- 2) This is a corner lot with an exterior side yard setback of 25' and an additional 20' of ROW on Thomas Street.
- 3) The existing home located directly to the north, Lot 2, 1508 N. Howard Court is situated at an angle therefore the distance between the proposed home and 1508 N. Howard Court will have a combined side yard setback of 15.26' at the front corner, 21.18' at midpoint and 33' at the rear corner of the proposed home (see attached Plat of Survey).
- 4) The proposed home will blend in with the overall look and character of the subdivision.

Signed: _____

Craig Anderson, President
Brentwood Development, Inc.

Date: _____

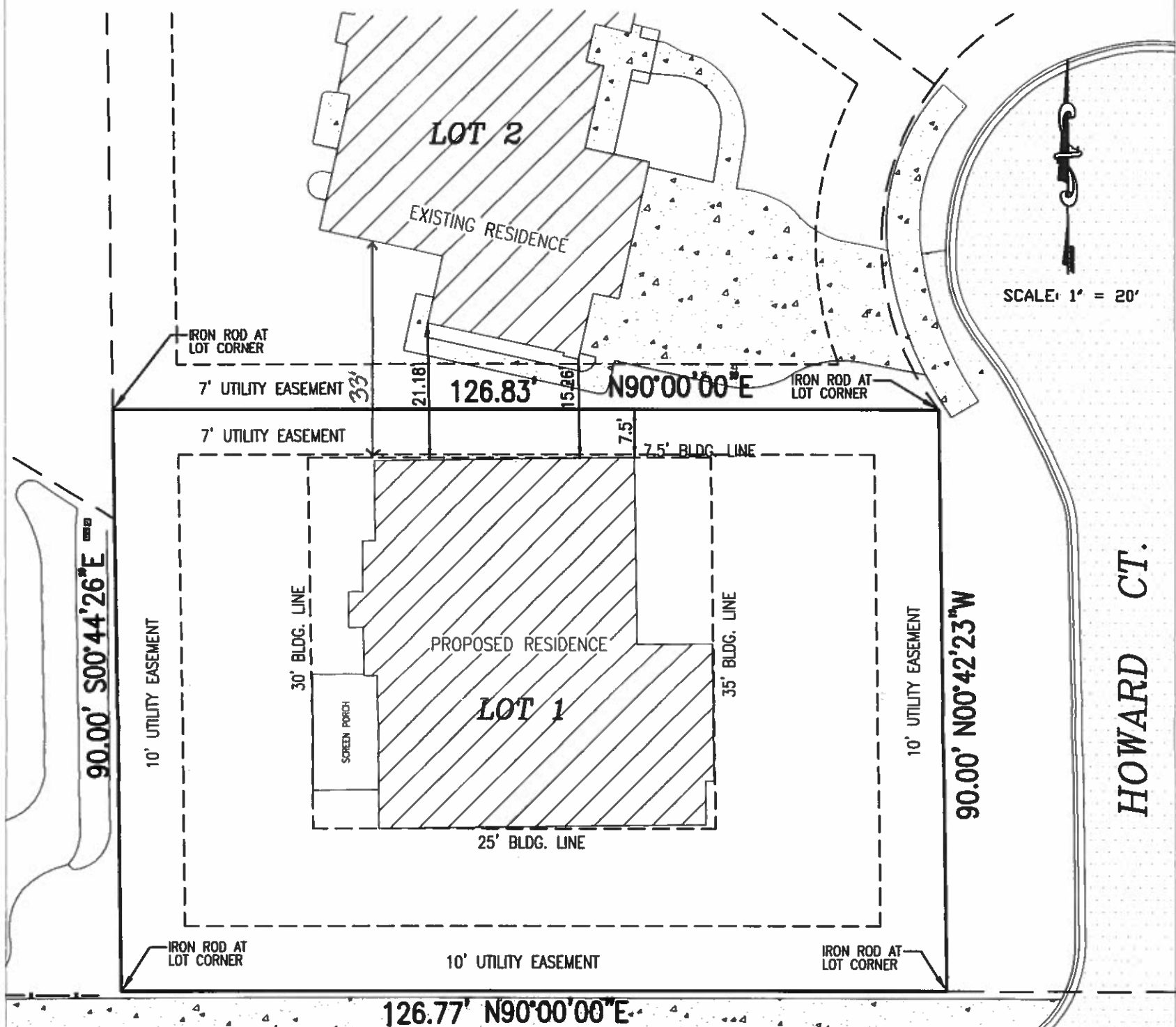
12/10/15

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DEC 14 2015
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PLAT OF SURVEY

-OF-

LOT 1 IN HOWARD'S WAY SUBDIVISION, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 21, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



COMPARE YOUR POINTS BEFORE BUILDING BY THE SAME AND REPORT ANY DIFFERENCES IMMEDIATELY.

CHECK LEGAL DESCRIPTION WITH DEED AND REPORT ANY DISCREPANCY IMMEDIATELY. REFER TO TITLE POLICY FOR POSSIBLE ADDITIONAL EASEMENTS OR BUILDING LINES NOT SHOWN HEREON.

DOLAND ENGINEERING, LLC
-CIVIL ENGINEERING ~ LAND SURVEYING ~ LAND PLANNING-
334 EAST COLFAX STREET, SUITE C
PALATINE, ILLINOIS 60067
(847) 991-5088
(847) 934-3427 FAX

STATE OF ILLINOIS
COUNTY OF COOK

I, JASON R. DOLAND, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED, UNDER MY SUPERVISION, IN THE MANNER REPRESENTED ON THE PLAT HEREON DRAWN.

DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

DATED AT PALATINE, ILLINOIS 10/29/15

ILLINOIS PROFESSIONAL LAND SURVEYOR



GRADING PLAN

-AT-

LOT 1 IN HOWARDS WAY SUBDIVISION
1504 N. HOWARD COURT
ARLINGTON HTS, ILLINOIS

10/29/15
12/09/15

-NOTES-

- 1) ALL GROUND SLOPES SHALL NOT EXCEED 5:1
- 2) ALL FLOOR DRAINS ARE TO DISCHARGE INTO THE SANITARY SEWER.
- 3) ALL DOWNSPOUTS ARE TO DISCHARGE ON GRADE AND DIRECTED TOWARD THE FRONT OR REAR YARD ONLY. NO DOWNSPOUT MAY BE DIRECTED TOWARD THE SIDEYARDS.
- 4) SUMP DISCHARGE LINE MUST BE SPLASH ON GRADE.
- 5) PROVIDE SALT FENCE ALONG ALL PERIMETERS OF GRADING AND ALONG ALL DISTURBED AREAS SUBJECT TO EROSION.
- 6) NEED 10' SEPARATION BETWEEN WATER AND SANITARY SERVICES
- 7) CONNECT PROPOSED 6" P.V.C. SANITARY SERVICE TO EXISTING SANITARY SVC. STUB.
- 8) CONNECT PROPOSED WATER SERVICE TO EXISTING WATER SVC. STUB.

-LEGEND-

- EXISTING SANITARY SEWER
- PROPOSED SANITARY SERVICE
55 L.F. OF 6" PVC SDR-26 @ 1.0% MIN.
- EXISTING WATER MAIN
- PROPOSED WATER SERVICE
50 L.F. 1 1/2" TYPE "K" COPPER W/ B-BOX
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED DRAINAGE FLOW

-EROSION CONTROL-

TEMPORARY EROSION CONTROL MEASURES

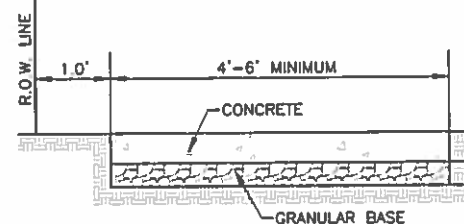
- PROPOSED SALT FENCE
TO REMAIN UNTIL PERMANENT EROSION
CONTROL MEASURES ARE ESTABLISHED.

PERMANENT EROSION CONTROL MEASURES

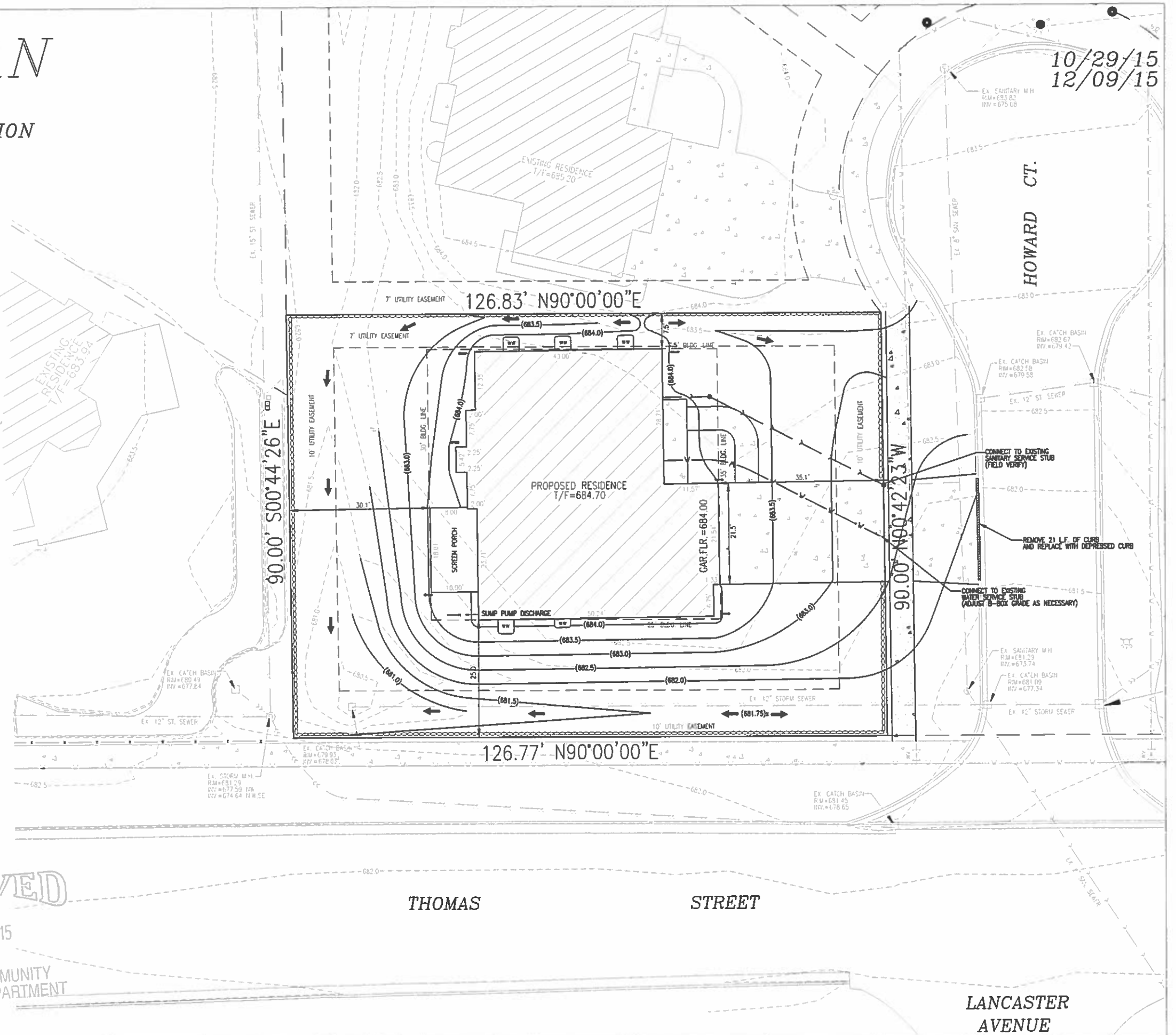
ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE SEEDED,
SOODED, MULCHED OR BE TREATED WITH ADEQUATE
GROUND COVER.

-SIDEWALK DETAIL-

6" THICK AT DRIVEWAY - 5" THICK AT PEDESTRIAN ONLY AREA.



SCALE: 1" = 10'



THOMAS

STREET

LANCASTER
AVENUE

DOLAND ENGINEERING, LLC
CIVIL ENGINEERING - LAND SURVEYING - LAND PLANNING
LICENSED IN ILLINOIS & WISCONSIN
334 EAST COLFAX STREET, SUITE C
PALATINE, ILLINOIS 60067
(847) 991-5088
(847) 934-3427 FAX

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

GENERAL INFORMATION

- Contractors shall carry workmen's liability and property damage insurance, and shall include in their bids all federal, state and local taxes.
- Contractors shall procure all local and state permits and must comply with all governing ordinances together with the local building codes. Owner shall reimburse permit fees to the contractors.
- Contractors shall verify all dimensions on the job and shall be responsible for same. Report any and all discrepancies to the architect before proceeding with work of any nature.
- Each contractor shall remove all his own rubbish at once before it accumulates and shall leave premises broom clean upon completion of work.
- Contractors shall provide all necessary protection and adhere to safety precautions during the construction period. All work shall be installed in strict accordance with manufacturer's specifications and recommendations.
- Any additional diagrams, layouts, information, etc. pertaining to plumbing, HVAC, and electrical necessary for obtaining permits shall be submitted by the respective contractors.
- When applicable, contractors shall shop drawings to architect for final approval before proceeding with fabrication of work. All work started and/or completed before said final approval shall be at the respective contractor's risk and expense. Failure of contractors to provide shop drawings shall render said contractor liable for all detrimental occurrences caused by discrepancies between actual construction and the intent of the architect's drawings. Their shall be no backcharges.
- All information found in these notes, is intended for general use. Utilization of applicable notes is required by all contractors.

EXCAVATION AND BACKFILL:

- Excavate as required to install all foundations and footings. Extend excavation a minimum of 6" into virgin or compacted soil, having the required bearing capacity. All soil and fill under slabs, under and around inside of foundation walls shall be compacted by approved methods in 6" layers so that the compacted soil has a density of 95% of the optimum when tested. Maintain minimum soil pressure of 3000# per sq.ft. under slabs and foundation walls.
- All fill and topsoil shall be removed under slabs and pavements. Excess topsoil material shall be used for landscaping. Excess excavation and spoils shall be hauled away.
- Provide all shoring and sheathing and bracing necessary to prevent cave-in of excavation or damage to existing structures or adjoining site. When appropriate, issue any notices to owners of adjoining property which may be required. Furnish copies of such notices to owner and architect.
- Do not backfill against wall longer than 10' until first floor is in place.

CONCRETE

- Concrete materials, aggregates and reinforcing shall conform to the latest edition of the A.C.I. code. Concrete shall have a minimum compressive strength of 3000 psi @ 28 days. Reinforcing shall have covering as follows: Concrete deposited against soil: 3" ; concrete exposed to weather: 2" ; concrete in other places: 1 1/2" .
- Footings and foundations shall be poured on dry soil free from frost and shall be protected from frost.
- All interior concrete slabs to have trowel finish with a maximum tolerance of 1/4" in 8'-0". All exterior slabs shall have broom finish.
- Welded wire fabric, as shown on the plans, shall be placed 2" from top of slabs and lapped 6" at the edges and 12" at the end of strips.
- Provide openings and sleeves in foundation walls as required for mechanical and plumbing. Verify size and location with respective contractors.
- Contractor shall take all precautions to protect the concrete from freezing during cold weather.

CARPENTRY:

- All wardrobe, entry, dressing and walk-in closets, as indicated on floor plans, shall have a minimum of one shelf and one rod (support at mid or third points as required).
- All lumber shall be kiln-dried having a moisture content of 15% maximum.
- All doors and frames may be pre-hung. Style: _____ Finish: _____
- Provide double studs at both sides of any opening exceeding 2'-6" in a bearing wall. Provide 4x posts as noted on floor plans.
- All wall thickness dimensions shown are actual size of structural elements only except for masonry dimensions which are nominal.
- Carpenter shall verify all rough openings with specific manufacturers selected prior to actual framing for openings.
Windows: _____ Glass: _____ Screens: ☒ Grilles: _____
Header specifications: E=1,700,000 min. psi. Fb=1350 psi. min. (bearing walls) Fw=75 psi. min. (Hemlock-fir or equal)
- All headers at exterior walls to be (2) 2x12's unless otherwise noted and (2) 2x10's at interior walls unless otherwise noted.
- Joist and rafter specifications: E=1,400,000 min. psi. Fb=1150 psi. min. Fw=75 psi. min. Hemlock-fir or equal
- All interior non-bearing walls to have 2x4's at 16" o.c.
- Firestop all draft spaces with 2x blocking or mud-in or thermalfiber.
- TrusJoists shall be furnished and installed in strict accordance with manufacturer's specifications and hole cutting requirements.
- All joists bearing onto flush headers shall be supported by joist hangers.
- Carpenter shall do all necessary cutting, patching, framing and headering in lumber for other trades.
- Carpenter shall install all windows, doors (either wood or metal), cabinets and all hardware items.
- Seal tight around all openings in exterior walls with insulating foam and caulk or approved equal.
- Sluds may be pre-drilled with 1" hole approximately 14" from stud bottom.
- Use corrosion resistant fastener at exterior siding and trim.
- Provide spring metal weatherstripping around doors and windows if not furnished as part of the unit.
- All finish interior trim to be: _____ Exterior trim: _____

DRYWALL & INSULATION

- Provide drywall & insulation shown in "Typical Construction Assemblies"
- Provide all corner beads, trim, attachments, anchors, etc.
- All drywall to be placed horizontally and double nail or screw at edges.
- Provide vapor barrier under drywall at all exterior walls and ceilings on warm side if insulation is not Kraft or foil-faced.
- Tape and smooth drywall joints and nails in 3 coats for paint-ready surface

PAINTING

Drywall surfaces to be painted shall receive a minimum of one coat primer and one coat flat white or latex enamel for rooms prone to wetness. Point all exposed steel inside and outside of building with two coats of rust-inhibitive paint.

ELECTRICAL:

- Electrical contractor shall do his work in accordance with the rules and regulations of the governing electrical code and the requirements of the electrical company.
- Electrical contractor shall coordinate his work with all other related work and trades in terms of final connections of motors, switches, pumps, etc.
- Provide wire from water meter to remote reader at exterior.
- All duplex receptacles shall be groundable type.
- Provide and hook-up all exhaust fans. Ductwork by heating contractor.
- Electrical contractor shall review mechanical contractor's drawings for items to be included in their bid.
- Verify location of all ceiling fixtures with owner prior to installation.
- Provide ground-fault circuit protection for outlets in bathrooms, entire kitchen and at exterior, all exterior boxes shall have covers.
- Arc fault circuiting required for all bedrooms and their closets
- All closet lighting to have lens covers
- Separate GFI circuits for whirlpool w/ bond #8 solid and pump access skirt
- Three way switching to be at all stairs
- (2) 20 amp kitchen appliance circuits required. 20 amp receptacle circuit and 15 amp lighting circuits.
- Provide dishwasher disconnect switch
- Island receptacles with no overhang above and within 12' of top
- All room ceiling boxes shall be reinforced boxes.

REFER TO SHEET A-2 FOR ADDITIONAL ELECTRICAL NOTES

MECHANICAL HVAC

- Size, furnish and install complete HVAC system capable of maintaining 70 degrees F. heat when outside temperature is (-) 10 degrees F. and cool to 15 degree temperature difference when outside temperature is 95 degrees F.
- Insulate all ductwork in attic and crawlspace.
- Provide all sheet metal, louvers, grilles, diffusers, wall vents, exhaust fans, flues, freestops, caps, screens, cleanouts, accessories, etc.

PLUMBING

- All plumbing work shall comply with all applicable codes. Provide water-saving devices and fixtures.
- All waste and soil lines above grade to be PVC where permitted by code.
- All interior water supply lines shall be type "L" copper (1/2"-1 1/4").
- Plumbing contractor shall provide frost proof sill cocks where shown.
- All plumbing vents shall terminate 12" above roof surface.
- Plumber to wrap water lines with fiberglass blankets with foil face in all exterior walls and unheated spaces.
- Stuff around piping through walls and floors with insulating foam after piping is installed.
- Plumbing contractor shall provide and install condensate drain lines from heating/air conditioning units.
- Plumbing contractor shall review mechanical drawings for items to be included in their bids.
- On gas piping, each gas appliance to have gas cocks for isolation. Furnish and install flexible gas pipe from stub out to each gas appliance and make final connection to each appliance.
- Provide check valve(s) at sump pump(s).
- Valve all fixtures, appliances and equipment.
- Provide 12" air chambers at all fixtures and 24" air chambers at risers.

STRUCTURAL STEEL:

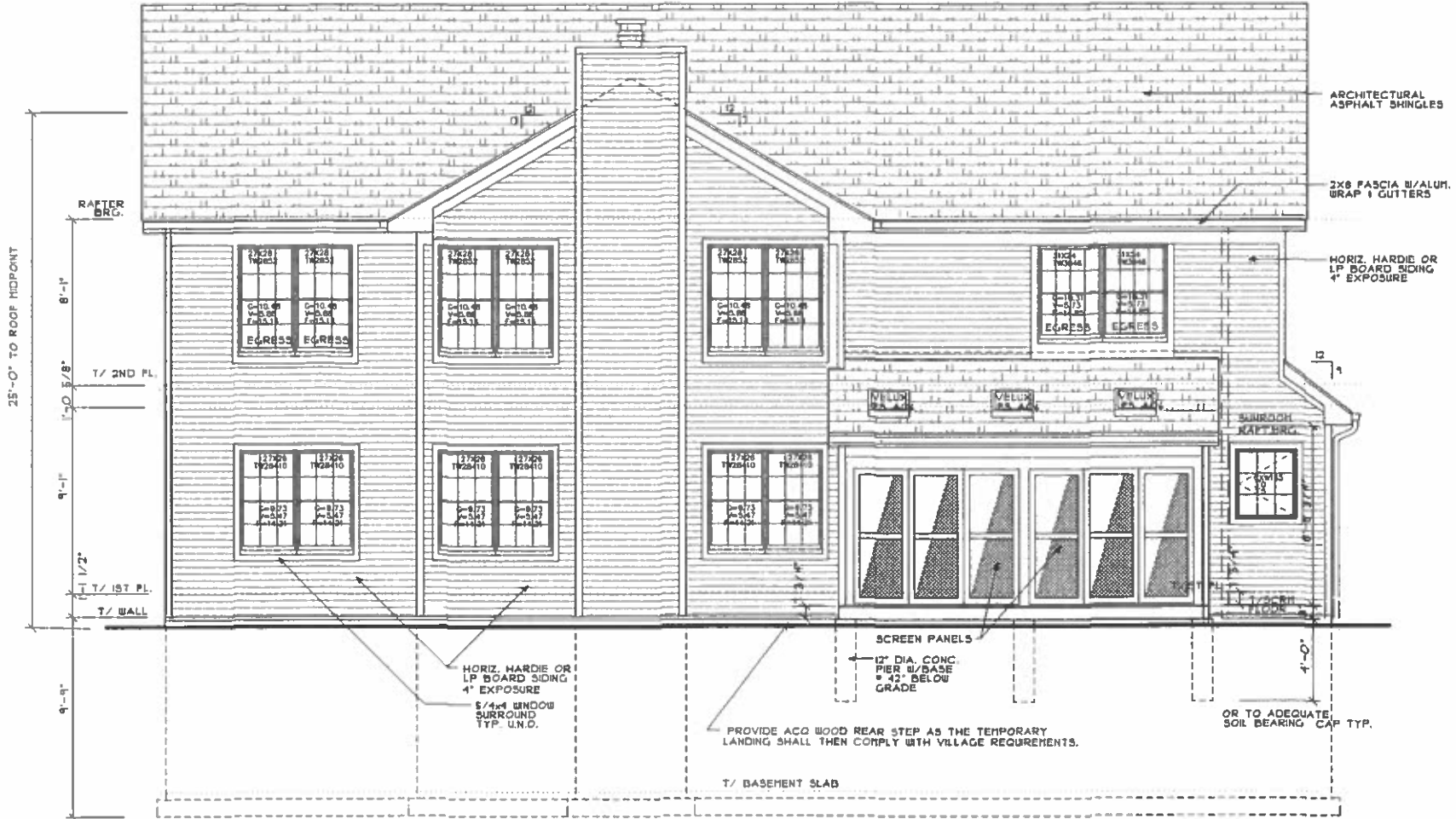
- Anchor bolts, angles and bearing plates and other items anchored in masonry and concrete shall be furnished as a part of the structural steel contract. The location of the anchors shall be checked by the contractor's steel erector before starting erection and report any discrepancies to architect. Cutting and altering of structural steel members in the field caused by errors in shop work or any other cause shall not be corrected until the method has been approved by the architect.
- All structural steel shall receive a shop coat of Detroit Graphite, Inemac or equal which shall be applied to all surfaces except those which will be welded in the field. After the steel is erected and field welds are completed, touch-up remaining uncoated areas.
- All structural steel shall be A-36 steel.
- All beams shall have a minimum of 4" bearing.

ROOFING & FLASHING

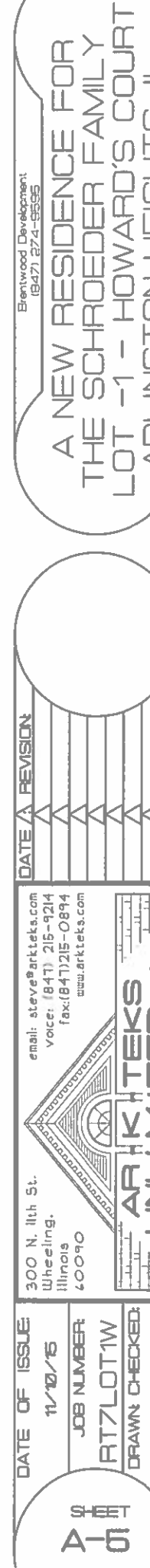
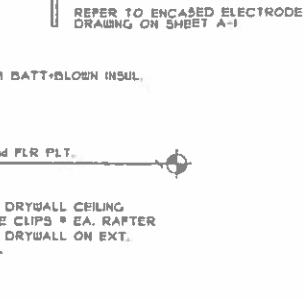
- Provide flashing under shingles and siding at roof and exterior wall intersections. Flashing shall be 26 gauge minimum galvanized sheet metal and shall extend 12" minimum each side of centerline.
- Asphalt shingles to project minimum 1 1/2" beyond edge of roof sheathing.
- Provide ice & water shield from eave and up, extend ice & water shield from up past 24" past inside face of exterior wall.
- See "Typical Construction Assemblies" for type of roofing.

MODEL DETAILS

- Provide galv. grates over all area wells.
- Provide 26 gauge galvanized flashing at heads of all openings in exterior walls (unless protected by eave overhang), under window openings (where masonry veneer is used) and at the intersection of changes of exterior finish materials.
- Provide flashing over top of foundation wall up sheathing and under threshold at door openings with concrete sloop abutting siding.
- Surface mount light fixtures at top floor ceiling unless otherwise instructed by owner or general contractor.
- Walls around tub and shower shall have smooth hard non-absorbing surface up to 6'-0" above finished floor and installed over water-resistant gyp. bd.
- The following items shall be furnished complete, by the appropriate trades: Prefinished gutters and downspouts, grading as shown on engineering drawings, basement escape windows and wells, smoke detectors, telephone and television prewiring, consultants, etc.
- Owner is responsible for all tree removal, trimming, seeding, sod, bushes and shrubs.
- Provide low voltage conduits from doorbell, thermostat and etc. to accessible spaces.



ALL EXTERIOR OUTLETS & GARAGE SHALL BE ON SEPARATE GFI					
1	BASEMENT GFI	20 AMP	5 AMP	KITCHEN LIGHTS	2
3	BASEMENT LIGHTS	15 AMP	20 AMP	DINING ROOM	4
5	SUM PUMP	15 AMP	5 AMP	HALL FIRST FLOOR	6
7	INJECTION PUMP	15 AMP	20 AMP	LAUNDRY	8
9	FURNACE	15 AMP	5 AMP	FAMILY ROOM	10
11	FURNACE	15 AMP	20 AMP	HALL BATH GFI	12
13	SMOKE DETECTOR	5 AMP	20 AMP	MASTER BATHROOM	14
15	FRONT GFI	20 AMP	5 AMP	MASTER BEDROOM LIGHT	16
17	BACK GFI	20 AMP	5 AMP	BEDROOM FIRST FL.	18
19	GARAGE GFI	20 AMP	15 AMP	BEDROOM 2, 3	20
21	KITCHEN GFI	20 AMP	15 AMP	OUTSIDE LIGHTS	22
23	KITCHEN GFI	20 AMP	15 AMP	HALL SECOND FLOOR	24
25	DISHWASHER	20 AMP	20 AMP	MICROWAVE	26
27	GARBAGE DISPOSAL	20 AMP	30 AMP	OVEN	28
29		30 AMP	30 AMP	A/C	30
31					32
33					34
35					36
37					38
39					40
41					42





Item: ZBA#15-032 - 1000 W. Northwest Highway

Department: Planning & Community Development

REQUEST

1. A variation from Chapter 28, Section 5.1-11.2a, to allow a reduction to the minimum separation between an amusement device arcade and a residentially zoned property from 200 feet to 95 feet.

ATTACHMENTS:

Description

Staff Report

Department Comments

Supporting Documents & Drawings

Type

Board or Commission Report

Correspondence

Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: January 11, 2016
Date Prepared: January 4, 2016
Project Title: 1000 W. Northwest Highway
Address: 1000 W. Northwest Highway

Background Information

Petition Number: ZBA #15-032
Petitioner: Adam Dlatt / Eric Voelz; Windy City RC Hobbies and Racing, Inc.
Address: 1000 W. Northwest Highway
Arlington Heights IL 60005
Existing Zoning: B-2, General Business District, R-3 One Famil Dwelling District

Requested Action/Background Information

The subject site is 1.07 acres (46,644 square feet) and there is an existing one-story commercial building that is 12,000 square feet and was previously occupied by Plass Appliances. The subject site is zoned B-2, General Business District and the parking area to the north is zoned R-3, One Family Dwelling. The existing parking lot has 65 parking stalls that are accessible via two driveways along Northwest Highway and one driveway along Kennicott Avenue. In 2012, a daycare was approved for the subject site; however, the project never moved forward.

Windy City RC Hobbies and Racing, Inc. would like to occupy the space and operate a track that would accommodate remote control car racing. Along with the racing, a small hobby shop would be included within the space. The hobby shop component would sell parts to support the remote control cars. The proposed action, if approved would allow Windy City RC Hobbies and Racing, Inc. to operate an amusement device within 200 feet of a residential district. The racing component is classified as an Arcade, Amusement Large. Pursuant to Chapter 28, Section 5.1-11.2a., "No person shall operate any amusement device arcade on any premises within 200-lineal feet of any church, public park, hospital, building operated exclusively as an elementary or high school, or residential zoning district as measured from the public entrance of an arcade to the lot line of said church, public park, hospital, school, or residential zoning district, unless such premise were licensed as an amusement device arcade before the establishment of the church, public park, hospital, school, or zoning district". Based on a review, the front door of the proposed hobby and racing store is approximately 95 feet from the residential district immediately to the north (the parking area that is zoned R-3). The closest residentially developed property is 125 lineal feet. Therefore, the petitioner requests a variation for the separation requirement. The Petitioner anticipates 2 to 3 employees at any given time, and approximately 15-20 people racing at any given time. The hours of operation are expected to be daily from 10:00 AM to 9:00 PM.

- **A variation from Chapter 28, Section 5.1-11.2a, to allow a reduction to the minimum separation between an amusement device arcade and a residentially zoned property from 200 feet to 95 feet.**

Site Related Issues

Pursuant to Chapter 28, Section 6.15-1.2a, "All paved service areas abutting a residential district or street or off-street parking areas containing more than four parking spaces, shall be effectively screened on each side adjoining or fronting on any property situated in a residence district or any institutional premises or adjoining any public way by a well-maintained wall, fence, densely planted compact hedge designed to provide year round opacity or berm and hedge. Such screening shall be three-feet high on the frontage of a public way, except that in the interests of safety, so the line of sight will not be obstructed, the minimum height shall be lowered at street intersections and driveways to not less than 18-inches as determined by the Director of Planning and Community Development or designee."

Currently there is no screening and the petitioner has agreed to provide the code required landscaping along Northwest Highway and Kennicott Avenue. In addition, a 6 foot screen is required along the north property line adjacent to the residential district. Pursuant to Chapter 28, Section 6.15-2.2, Landscaping between zoning districts shall be a total of six feet in height at time of installation and consist of a solid wood fence or landscaping. A portion of the shared property line is not screened and the petitioner has agreed to provide the required screen adjacent to the residential district. The petitioner or property owner would be required to provide landscape islands and four inch caliper shade trees at the ends of all parking rows when the lot is resurfaced. Pursuant to Chapter 28, Section 1.2b “Landscaped islands equal in area to at least one parking space, protected by durable materials, and containing at least one live shade tree at a minimum of four inches in diameter shall be located at the end of every twenty parking spaces or beneath every light pole, whichever results in the greater amount of planted islands. In addition, these islands shall be located at each end of all rows of car stalls.” The petitioner and property owner has been informed of this requirement.

If the Zoning Board of Appeals is supportive of the variation request, it is recommended that the approval be subject to the following conditions:

- 1) The three foot high code required screen be provided.
- 2) The code required six foot high screen be provided adjacent to the residential district.
- 3) That the required parking islands be installed when the parking lot is reconstruction at a future date.

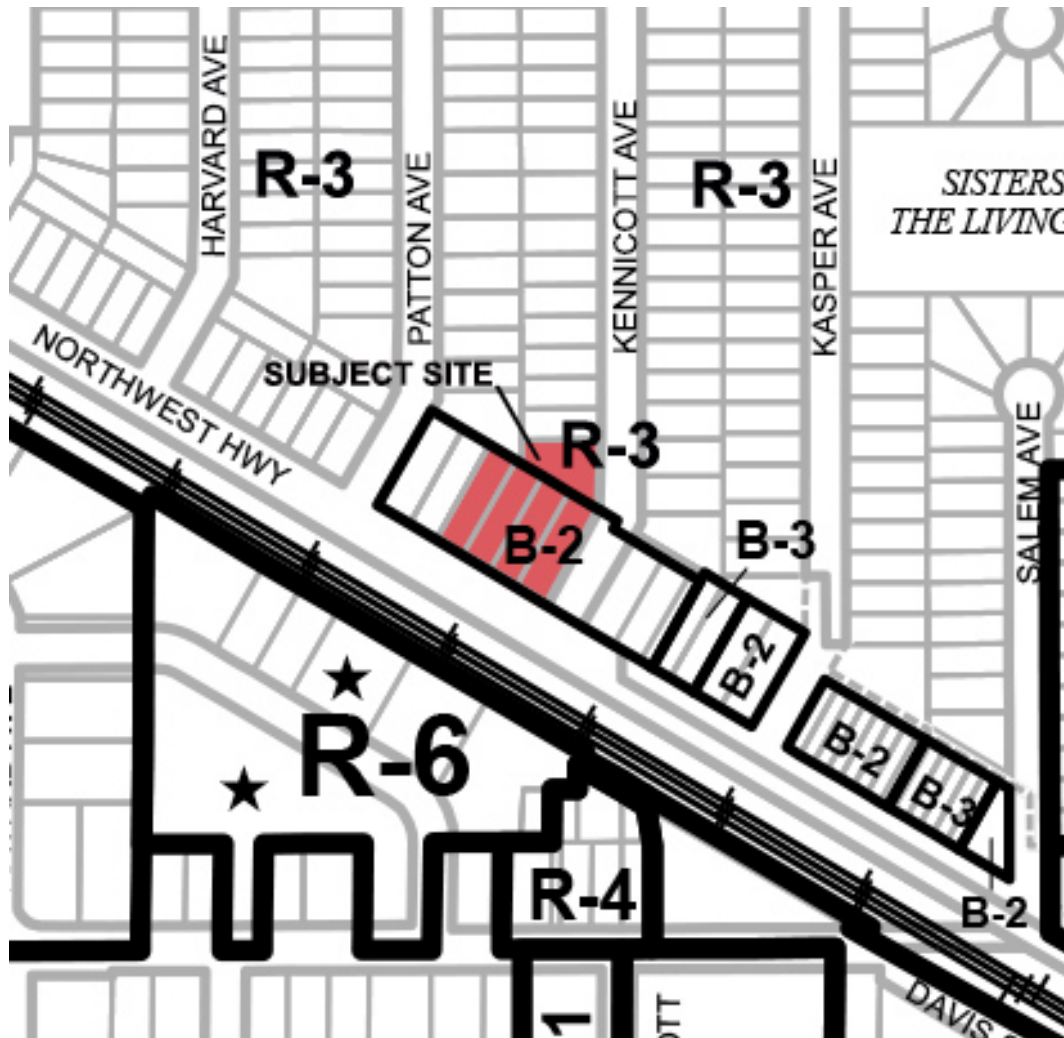
Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Zoning Map



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	12/17/15	
2. List of Property Owners Within 250 feet of Subject Property	✓	12/17/15	
3. Letter that was Mailed	✓	12/17/15	
4. Photographs of Sign on Property	✓	12/17/15	

Photograph of Existing Structure



ZBA# 15-032

1000 W Northwest Highway- ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering *JJM*

Submitted: December 30, 2015

Completed: December 30, 2015

The proposed ZBA application indicates that the petitioner is seeking:

A variation to allow a reduction to the minimum separation between an amusement device arcade and a residentially zoned property from 200 ft to 125 ft.

The proposed business plan would operate in the existing vacant building at the corner of Northwest Highway and Kennicott Ave, and no changes are proposed to the existing site. The Engineering Department has NO COMMENT on the proposed variance.

RECEIVED

JAN 06 2016

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

January 4, 2016

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building Services

RE: ZBA #15-032 – 1000 W Northwest Hwy

Building Department Comment(s):

No objection to the variance.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: 1000 W. Northwest Highway

Project Address: 1000 W. Northwest Highway

ZBA #: 15-032

ZBA Hearing Date: January 11, 2016

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: December 29, 2015

- A variation from Chapter 28, Section 5.1-11.2a, to allow a reduction to the minimum separation between an amusement device arcade and a residentially zoned property from 200 feet to 125 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

No COMMENTS. STEVE HAUZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Tuesday, January 5th.

PETITION

NOW COMES the Petitioner Eric Voelz and Adam Dlatt Lessees (Al Weber Owner)

being the owner of the property Commonly known as: 1000 W. Northwest Hwy Arlington Heights, IL 60005

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-11.2a., Chapter 28, of Arlington Heights Municipal Code, in order to: allow a reduction to the minimum separation between an amusement device arcade and residentially zoned property from 200 to 125 feet.

I hereby state that the following hardship would exist if the variation were not granted:

We the Lessees would not be able to operate a tax revenue generating local family run business within said property.

I hereby state that the following circumstances exist: Under current code the operation of a hobby shop and indoor RC car Track is allowed within the village. All activities involved with the business will be conducted within the structure under normal operating business hours. The primary business focuses on families with children of all ages and hobbyists whom wish to utilize a safe, secure, and friendly environment in which to learn about and hone their RC car driving skills along with sharing knowledge about the hobby. On most business days we foresee 15-20 people at the venue at any given time with the exception of special functions. Functions of the business will include birthday parties, corporate outings, local league racing, camp/youth groups, and fund raising activities.

I hereby state that the variation, if granted, will not alter the essential character of the locality because: no structural changes are being made to the location. We are looking to preserve a piece of Arlington Heights history by repurposing the home of The Triangle Roller Rink into a new family friendly year round destination for RC Car fans and hobbyists.

Signed: Adam Dlatt

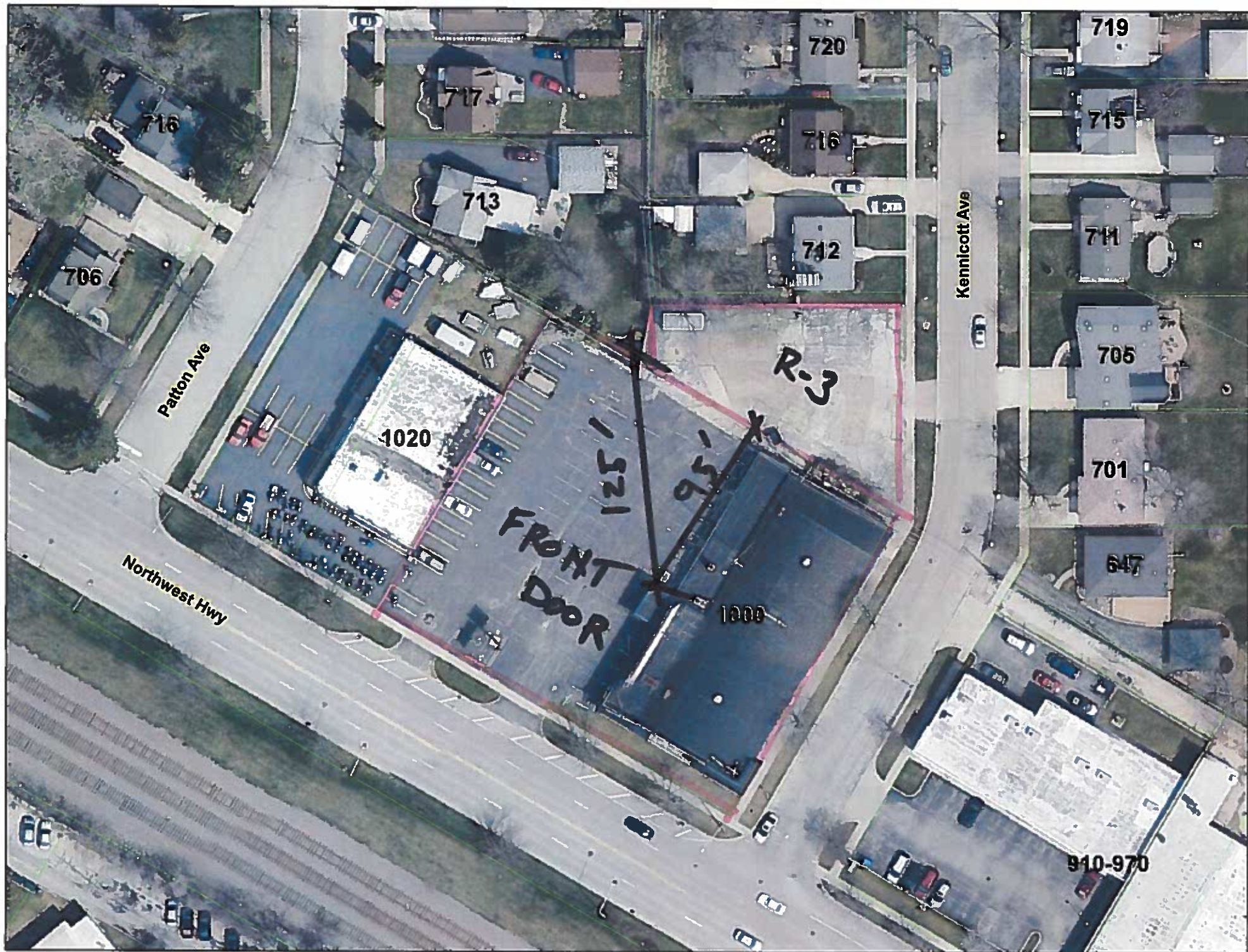
Date: 12/14/15

Petitioner

RECEIVED

DEC 14 2015

PLANNING & DEVELOPMENT
DEVELOPMENT DEPARTMENT



Northwest Hwy

Patton Ave

Kennicott Ave

R-3

FRONT DOOR

1020

1000

125'

95'

719

715

711

705

701

647

910-970

720

716

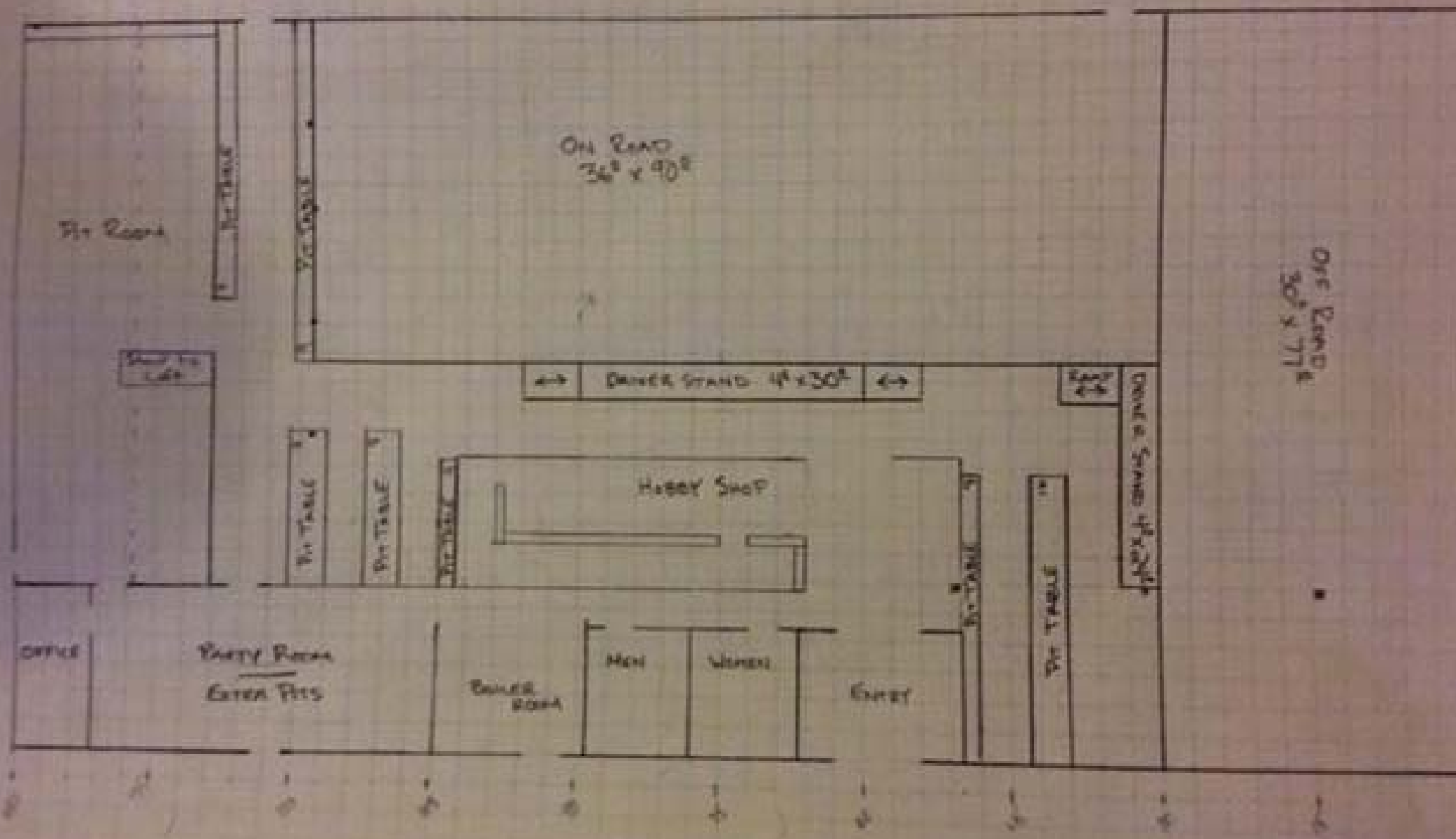
712

717

713

706

716





Item: ZBA#15-033 - Kautz Residence - 735 N. Pine Ave.

Department: Planning & Community Development

REQUEST

1. A 4.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a covered front porch with a front yard setback of 25.5 feet and an additional 1 foot for the eave from the west property line instead of the minimum 29.5 feet.

ATTACHMENTS:

Description

Staff Report
Department Comments
Supporting Documents & Drawings

Type

Board or Commission Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: January 11, 2016
Date Prepared: January 4, 2016
Project Title: Kautz Residence
Address: 735 N. Pine Ave.

Background Information

Petition Number: ZBA #15-033
Petitioner: Nick Kautz
Address: 735 N. Pine Ave.
Arlington Heights IL 60004
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

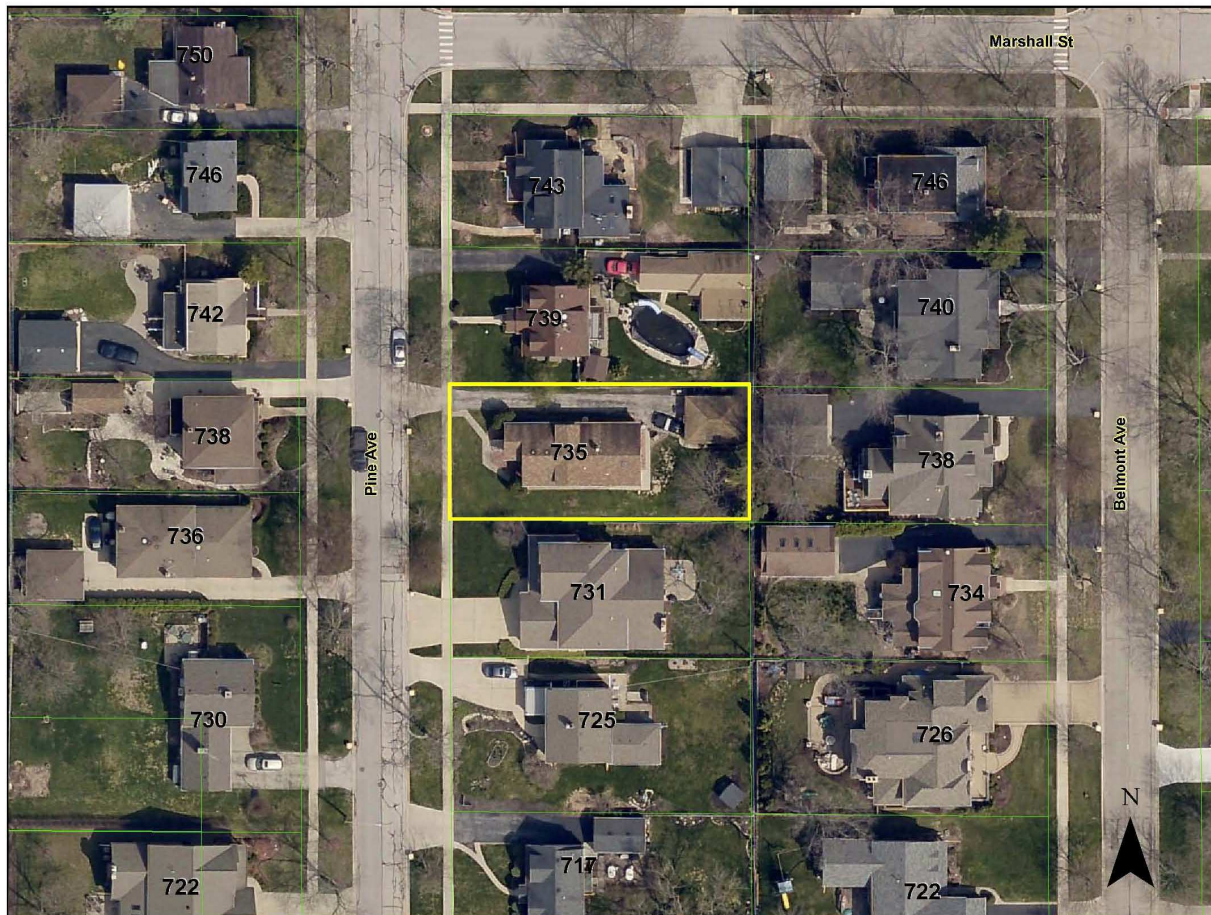
The petitioner is proposing a front porch that is setback 25.5 feet where the required front yard setback is 29.5 feet. The proposed porch is 6'-0" wide and spans across the front elevation. Therefore, the petitioner requests the following variation:

- **A 4.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a covered front porch with a front yard setback of 25.5 feet and an additional 1 foot for the eave from the west property line instead of the minimum 29.5 feet.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	12/23/15	
2. List of Property Owners Within 250 feet of Subject Property	✓	12/23/15	
3. Letter that was Mailed	✓	12/23/15	
4. Photographs of Sign on Property	✓	12/23/15	

Photograph of Existing Structure



ZBA# 15-033

735 N Pine Ave- ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering *JJM*

Submitted: December 30, 2015

Completed: December 30, 2015

The proposed ZBA application indicates that the petitioner is seeking:

A 4 ft variance to allow a covered front porch with a front yard setback of 25.5 ft from the west property line instead of the minimum 29.5 ft.

The Engineering Department has no objection to the proposed variance.

RECEIVED

JAN 06 2016

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

January 4, 2016

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building Services

RE: ZBA #15-033 – 735 N Pine Ave

Building Department Comment(s):

No objection to the variance.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Kautz Residence

Project Address: 735 N. Pine Ave.

ZBA #: 15-033

ZBA Hearing Date: January 11, 2016

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: December 29, 2015

- A 4.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a covered front porch with a front yard setback of 25.5 feet from the west property line instead of the minimum 29.5 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THE PROPOSED FRONT PORCH IS NICELY DESIGNED AND
FITS THE CHARACTER OF THE NEIGHBORHOOD.

Please review, comment, and return to me no later than Tuesday, January 5th.

-STEVE HAUTZINGER, DESIGN PLANNER

Petition

NOW COMES the Petitioners, Nick Kautz and Erin Berg being the owners of the property commonly known as: 735 N Pine Arlington Heights, IL 60004 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 3, chapter 28, of the Arlington Heights Municipal Code, in order to: build our front porch to the design portrayed in our proposed blueprints.

I hereby state that the following hardship would exist if the variation were not granted:

Our hardship is that the house has already been built. The amount of money, time and constriction to move the house back would be impossible for us. The only way to add the front porch would be directly in front of the house.

I hereby state that the following unique circumstances exist:

Our unique circumstance is that our house is already built at the setback that it currently is. We are unable to move the house backwards deeper into the lot.

I hereby state that the variation, if granted, will not alter the essential character of the locality because:

The main house is remaining where it is. The front porch that is currently attached to the home is the most front part of the house will be decreased and will actually accommodate closer to the requirements of the village of Arlington Heights.

Signed: _____

Nick Kautz
Petitioner

Date: _____

12/14/15

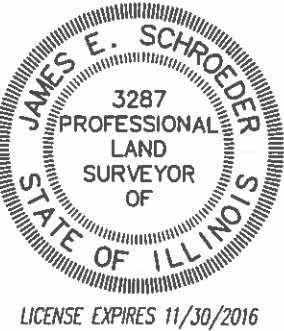
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DEC 14 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PLAT OF SURVEY

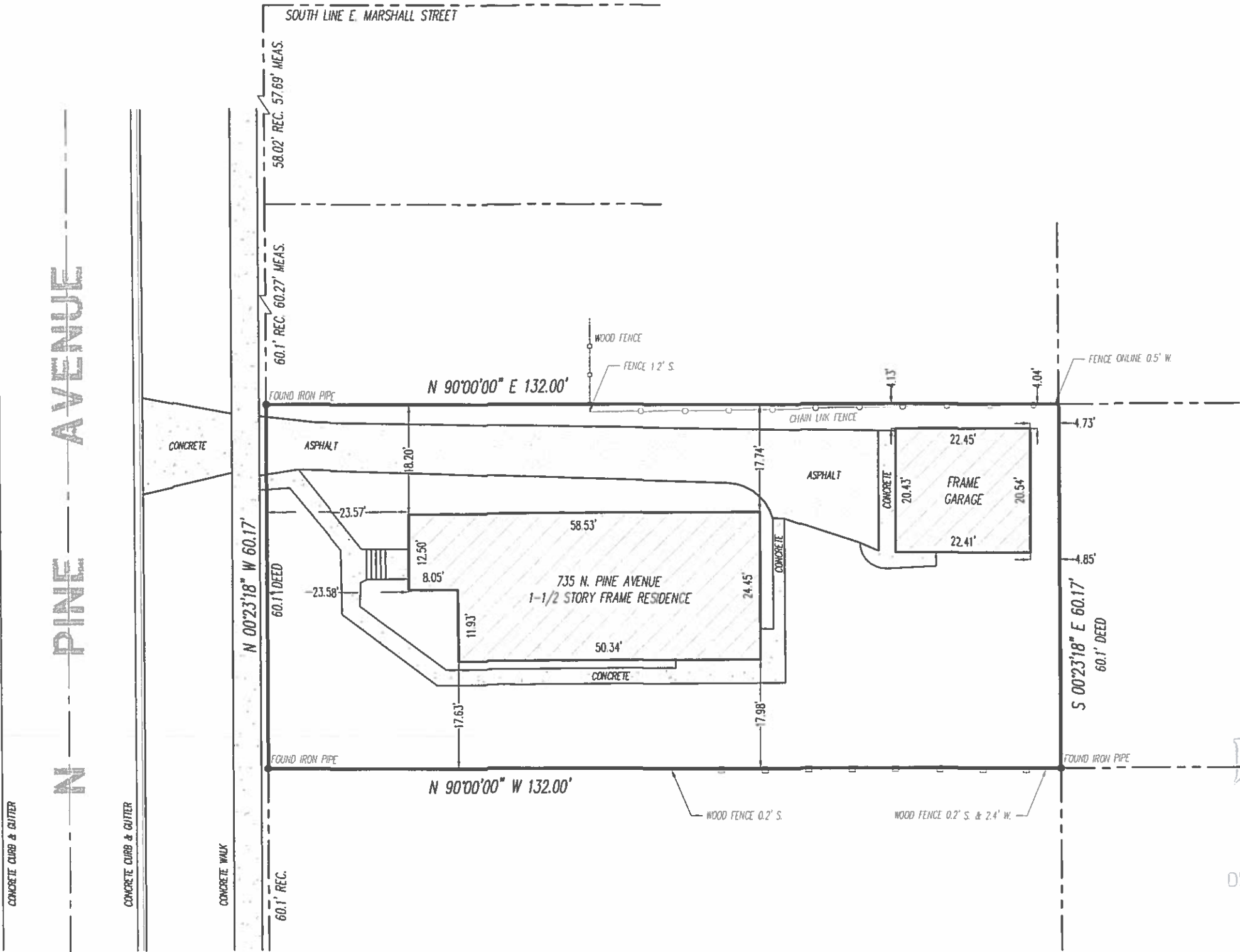
THE NORTH 60.1 FEET OF THE SOUTH 120.2 FEET OF THE WEST 1/2 OF THE NORTH 2/5 OF BLOCK 7 IN D.W. MILLER'S ARLINGTON HEIGHTS ACRES ADDITION TO THE EAST 1/2 OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.
COMMONLY KNOW AS: 735 N. PINE AVENUE, ARLINGTON HEIGHTS, IL.
P.I.N.: 03-29-117-003.



STATE OF ILLINOIS)
COUNTY OF McHENRY) S.S.

I, JAMES E. SCHROEDER, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. DIMENSION ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3287 NOVEMBER 4, 2015

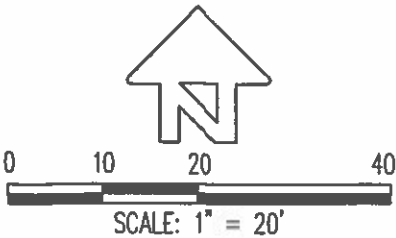


FILE

RECEIVED

DEC 01 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



SCHROEDER & ASSOCIATES

1000 OAK VALLEY DRIVE - CARY, ILLINOIS 60013
TEL. 847-639-1415 CELL 847-650-1416 JSCHRO8956@AOL.COM

CLIENT: NICHOLAS KAUTZ

FIELD WORK COMPLETED: 11/04/15

JOB NO. 15110

DATE: NOVEMBER 4, 2015

VENTILATION SCHEDULE							
USE OF SPACE	FLOOR AREA SQ. FT.	CODE REQ'D LIGHT AND VENTILATION		ACTUAL LIGHT AND VENTILATION		MECHANICAL VENTILATION	
		SQ. FT. GLASS AREA	SQ. FT. VENT AREA	SQ. FT. GLASS AREA	SQ. FT. VENT AREA	C.F.M. AIR CODE	C.F.M. AIR ACTUAL
LIVING ROOM	160	13.0	6.5	34.0	19.0	--	--
BATH 3	52	--	--	--	--	42	75
FAMILY ROOM	222	18.0	9.0	19.0	11.0	--	--
OFFICE	95	8.0	4.5	8.0	5.0	--	--
M. BEDROOM	207	17.0	8.5	33.0	14.0	--	--
M. BATH TLT	15	--	--	--	--	12	50
BATH 2	47	--	--	--	--	38	75
BEDROOM 2	113	9.0	4.5	21.0	12.0	--	--
BEDROOM 3	110	9.0	4.5	21.0	12.0	--	--
BEDROOM 4	142	11.0	5.5	21.0	12.0	--	--



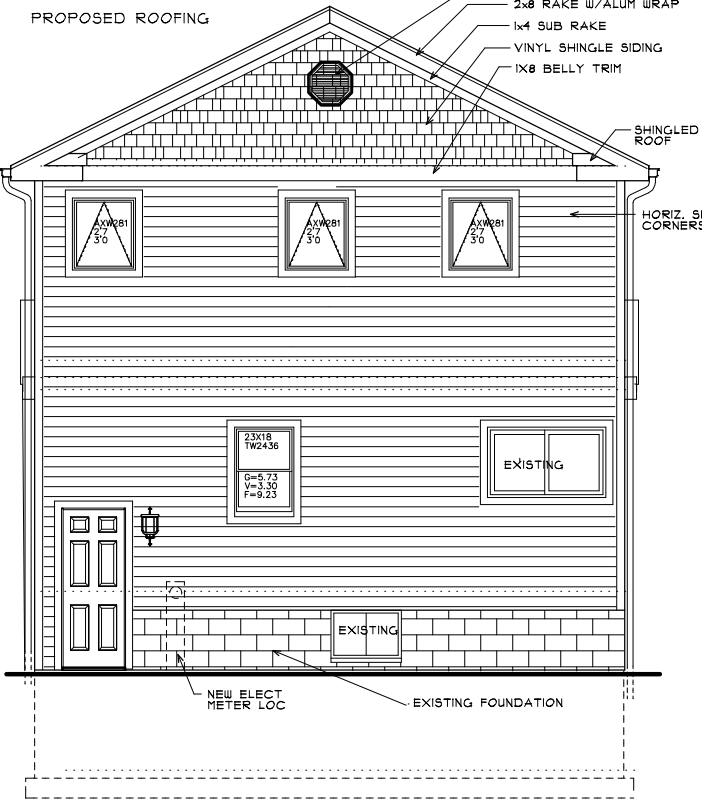
PHOTOS OF EXISTING EXTERIOR

PROPOSED MATERIAL LIST:
SIDING: 4" EXP. HORIZONTAL & SHINGLE VINYL SIDING
ROOFING: TIMBERLAND WEATHERED WOOD DIMENSIONAL ASPHALT
HARDIE TRIM: ARCTIC WHITE



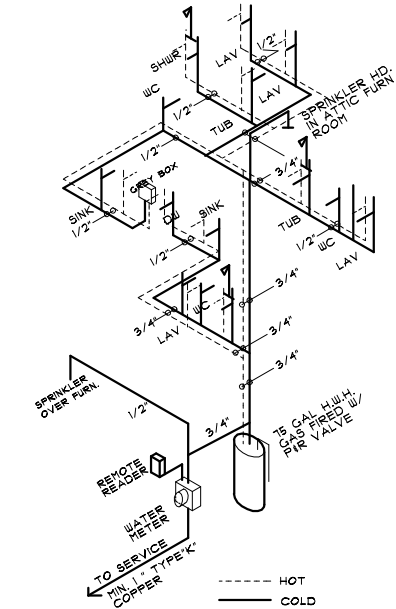
PROPOSED SIDING COLOR

- FYPON OCT. LOUVER
- 2x8 RAKE W/ALUM WRAP
- 1x4 SUB RAKE
- VINYL SHINGLE SIDING
- 1X8 BELLY TRIM

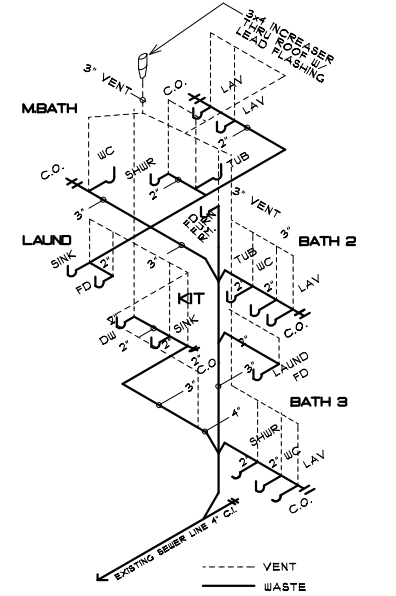


EAST ELEVATION

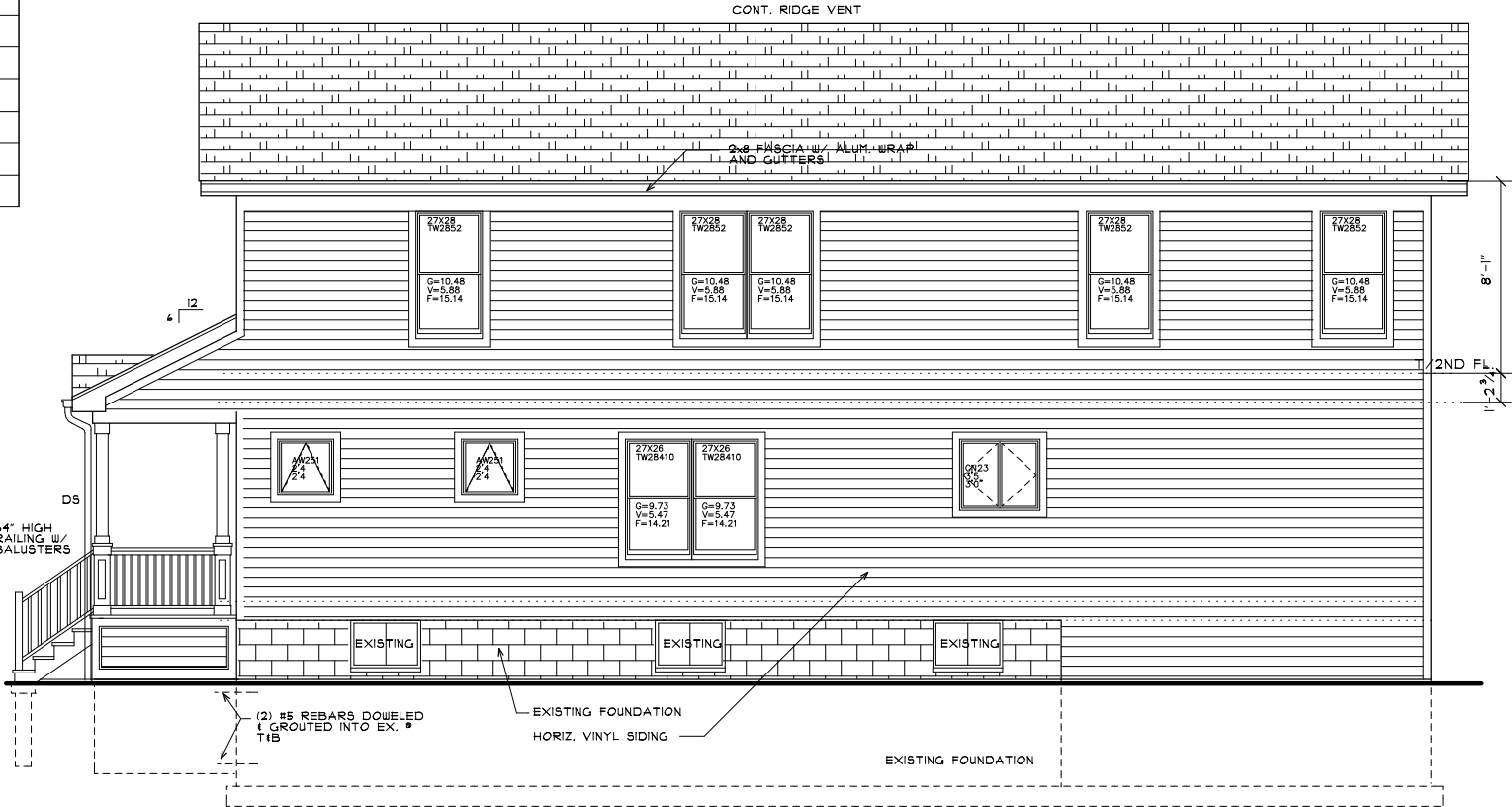
SCALE 1/4" = 1'-0"



WATER RISER DIAGRAM
NO SCALE

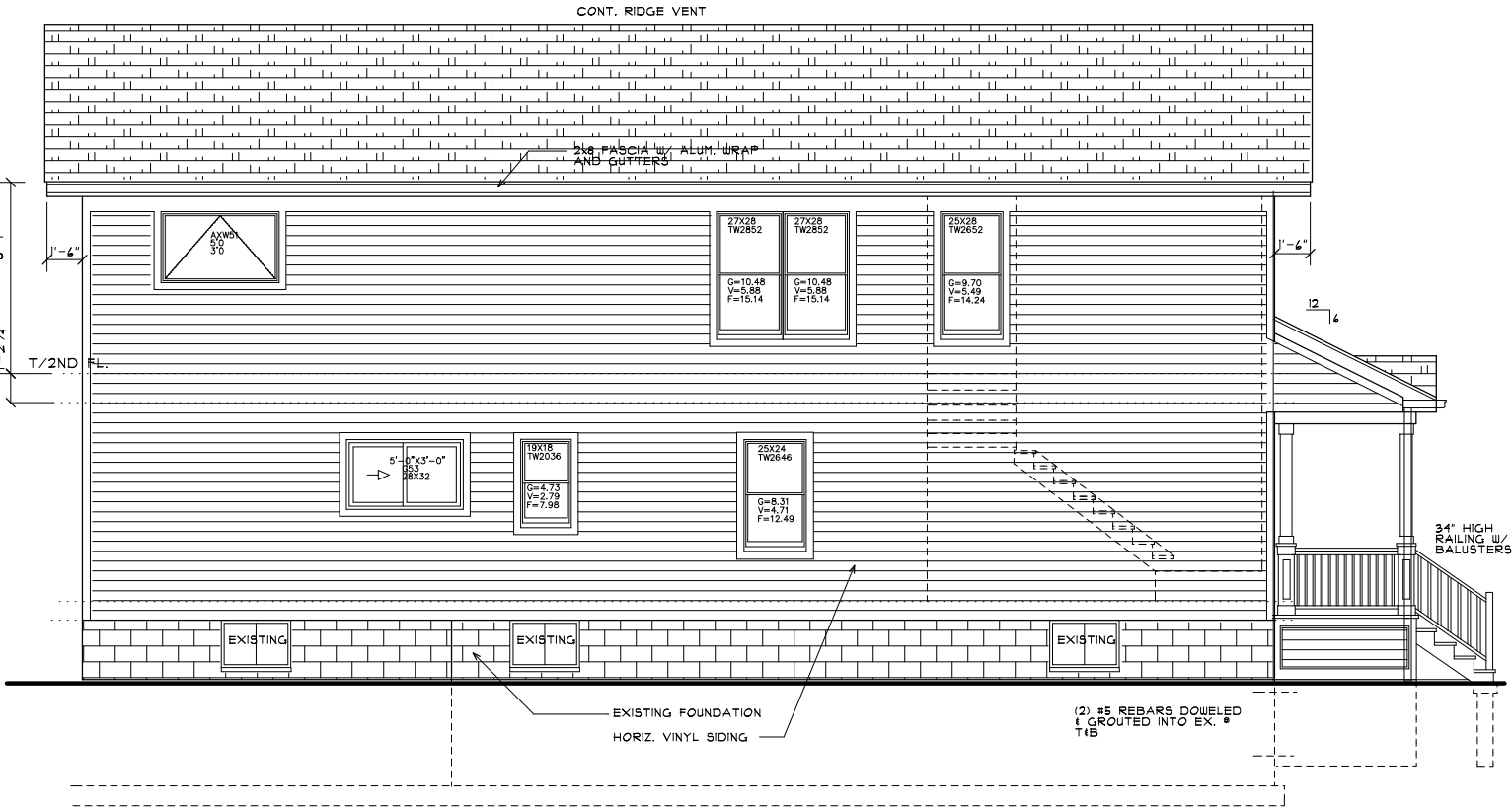


WASTE RISER DIAGRAM
NO SCALE

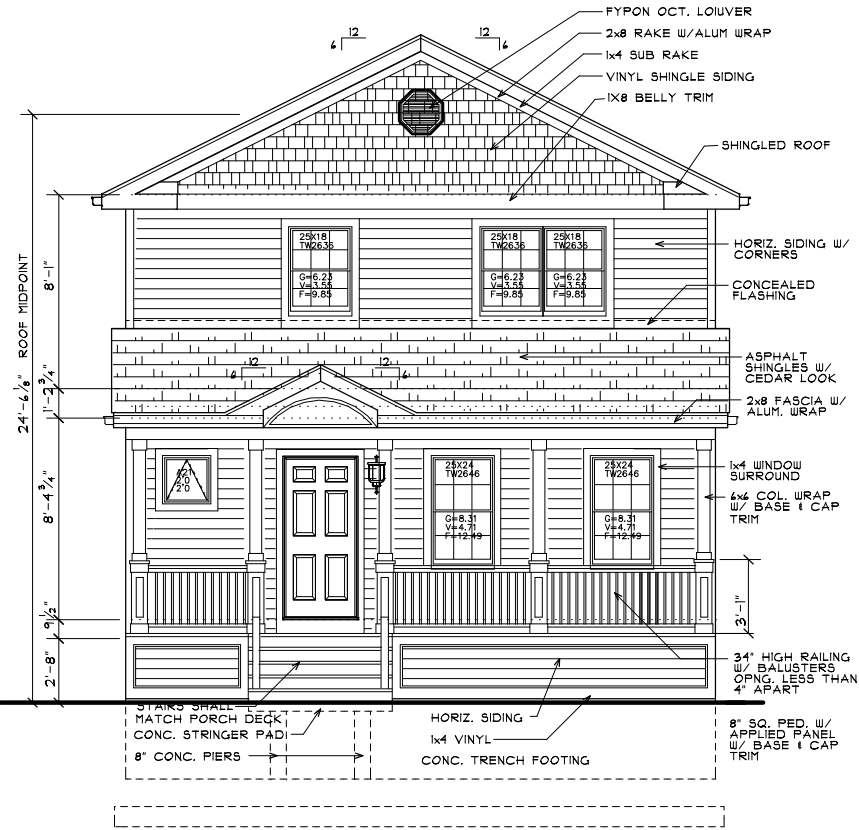


SOUTH ELEVATION

SCALE 1/4" = 1'-0"



NORTH ELEVATION



WEST ELEVATION

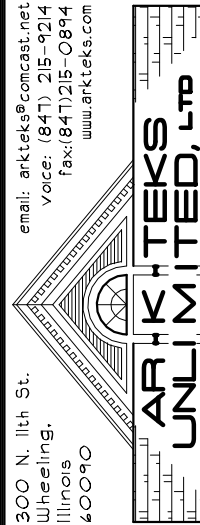
DATE: 12-14-15
REVISION: 12-14-15
SUBMITTAL: ZBA

email: arkteks@comcast.net
voice: (847) 215-9214
fax: (847) 215-0894
www.arkteks.com

300 N. 11th St.
Wheeling,
Illinois 60090

DATE OF ISSUE: 11/24/16
JOB NUMBER: RF7KAUTZ
DRAWN CHECKED: TFM : SPK

AN ADDITION TO THE
KAUTZ RESIDENCE
735 N. PINE AVE.
ARLINGTON HEIGHTS, IL.





Item: ZBA#15-034 - Pappas Residence - 619 N. Hickory Ave.

Department: Planning & Community Development

REQUEST

1. A variance from Chapter 28, Section 5.1-3.4 (Minimum Lot Size) to allow a 48-ft. wide lot to be buildable.
2. A 0.4 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a side yard setback of 4.6 feet from the north property line instead of the minimum 5.0 feet and an additional 0.5 feet for the eave.

ATTACHMENTS:

Description

Staff Report
Department Comments
Supporting Documents & Drawings

Type

Board or Commission Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: January 11, 2016
Date Prepared: January 4, 2016
Project Title: Pappas Residence
Address: 619 N. Hickory Ave.

Background Information

Petition Number: ZBA #15-034
Petitioner: John Pappas
Address: 3400 W. Stonegate Blvd. #611
Arlington Heights IL 60005
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

The petitioner is proposing an addition to an existing one story home. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 10,270 square feet and a lot width of 48 feet. The proposed residence will have approximately 3,461 square feet.

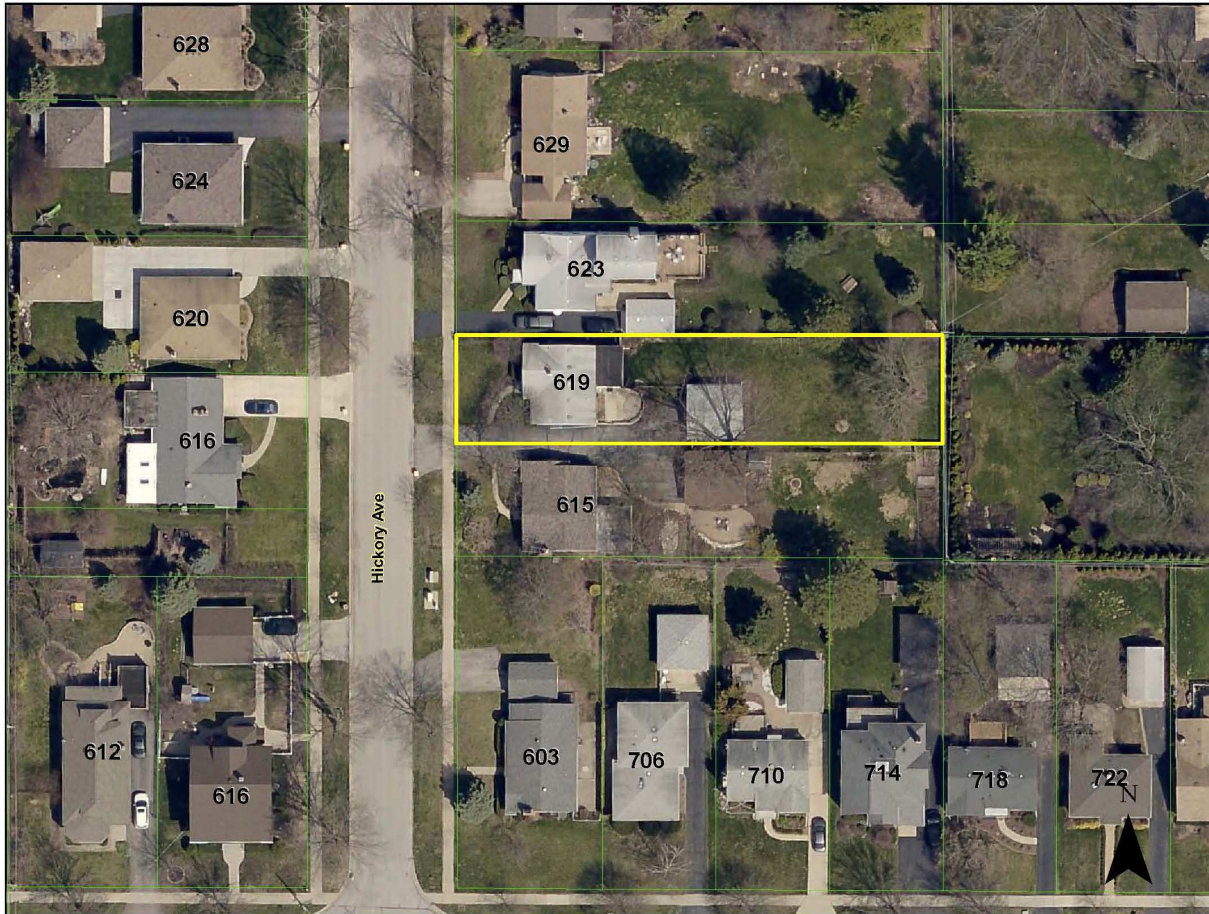
The proposal is before the Zoning Board of Appeals because of the substandard lot width. Sections 5.1-3.4 and 5.1-3.5 of the Zoning Code set forth minimum lot size and width requirements for the R-3 District which is 70 feet in width and 8,750 square feet in area. As part of 5.1-3.4, the Director of Building is authorized to issue permits for structures on lots that are less than the minimum area and width requirements if the majority of the frontage on which the property is located is developed with lots that are below the minimum district requirements; provided that no permit shall be issued for any parcel containing less than 6,250 SF and a lot width of 50 feet. The petitioner's property is 48.0 feet wide and 10,270 SF, which does not meet the absolute minimum lot width of 50 feet. In addition, the proposed addition requires zoning variations to allow a side yard setback of 4.6 feet side setback, where 5.0 feet is required. Therefore, the petitioner requires the following variations:

- **A variance from Chapter 28, Section 5.1-3.4 (Minimum Lot Size) to allow a 48-ft. wide lot to be buildable.**
- **A 0.4 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a side yard setback of 4.6 feet from the north property line instead of the minimum 5.0 feet and an additional 0.5 feet for the eave.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

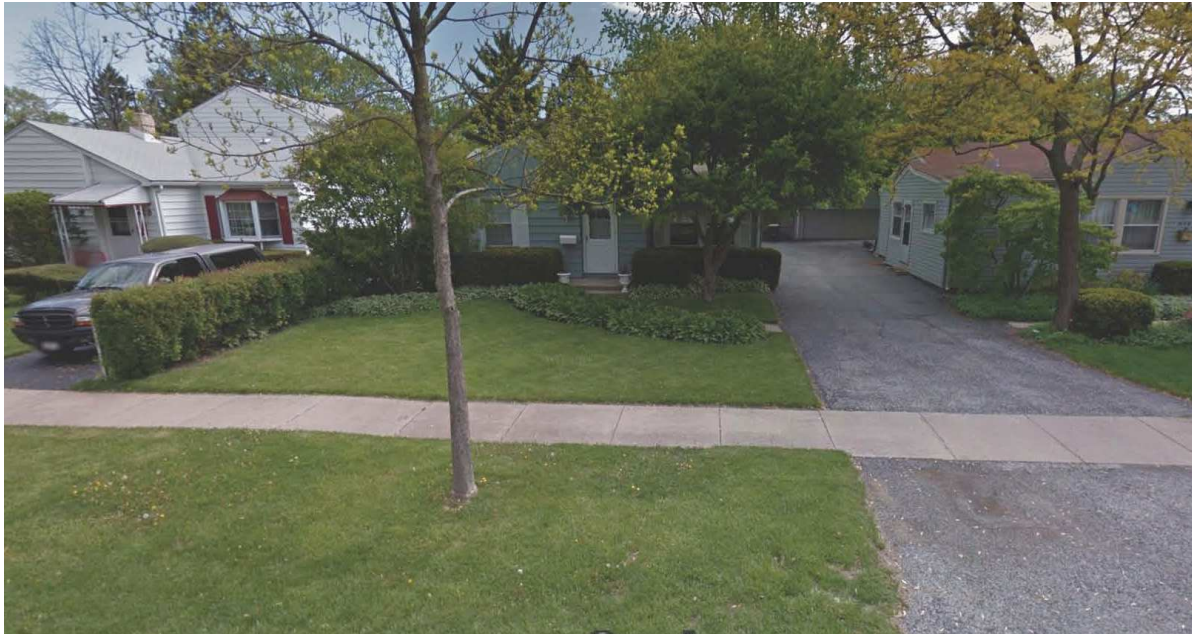
Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	12/22/15	
2. List of Property Owners Within 250 feet of Subject Property	✓	12/22/15	
3. Letter that was Mailed	✓	12/22/15	
4. Photographs of Sign on Property	✓	12/22/15	

Photograph of Existing Structure



ZBA# 15-034
619 N Hickory- ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering

Submitted: December 30, 2015
Completed: December 30, 2015

9A1

The proposed ZBA application indicates that the petitioner is seeking:

A variance to allow a 48 ft wide lot buildable, and a 0.4 ft variance to allow an addition with a side yard setback of 4.6 ft from the north property line instead of the minimum 5 ft and an additional 0.5 ft for the eave.

The existing home is non-compliant, and the proposed addition in the rear of the existing home does not increase the non-conformity. The Engineering Department has no objection to the proposed variance.

RECEIVED
JAN 08 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

January 4, 2016

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building Services

RE: ZBA #15-034 – 619 N Hickory Ave

Building Department Comment(s):

No objection to the variance.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Pappas Residence

Project Address: 619 N. Hickory Ave.

ZBA #: 15-034

ZBA Hearing Date: January 11, 2016

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: December 29, 2015

- A variance from Chapter 28, Section 5.1-3.4 (Minimum Lot Size) to allow a 48-ft. wide lot to be buildable.
- A 0.4 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a side yard setback of 4.6 feet from the north property line instead of the minimum 5.0 feet and an additional 0.5 feet for the eave.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THE PROPOSED DESIGN IS FAVORABLE FOR AN ADMINISTRATIVE APPROVAL, PENDING THE OUTCOME OF THE ZBA REVIEW.

Please review, comment, and return to me no later than Tuesday, January 5th.

-STEVE HAUZINGER, DESIGN PLANNER

PETITION

The following petition form shall be followed when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner John & Joanne Pappas
being the owner of the property commonly known as: 619 N. Hickory Ave
and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section
S.1-3.4, Chapter 28, of the Arlington Heights Municipal Code, in order to: Allow
a 48 Ft Lot to be buildable

I hereby state that the following hardship would exist if the variation were not granted:

Would have to sell property as existing structure is
only 2 bedroom, 1 bath only 1100SF not sufficient for family of 4

I hereby state that the following unique circumstances exist: Existing home is
built on 48 ft wide lot with only 10% side
setback — both needing variations

I hereby state that the variation, if granted, will not alter the essential character of the locality
because: Existing home is run down and two adjacent
properties with same lot dimensions have been
improved with additions.

Signed: _____

John Pappas
Petitioner

Date: 12-15-15

PLAT OF SURVEY

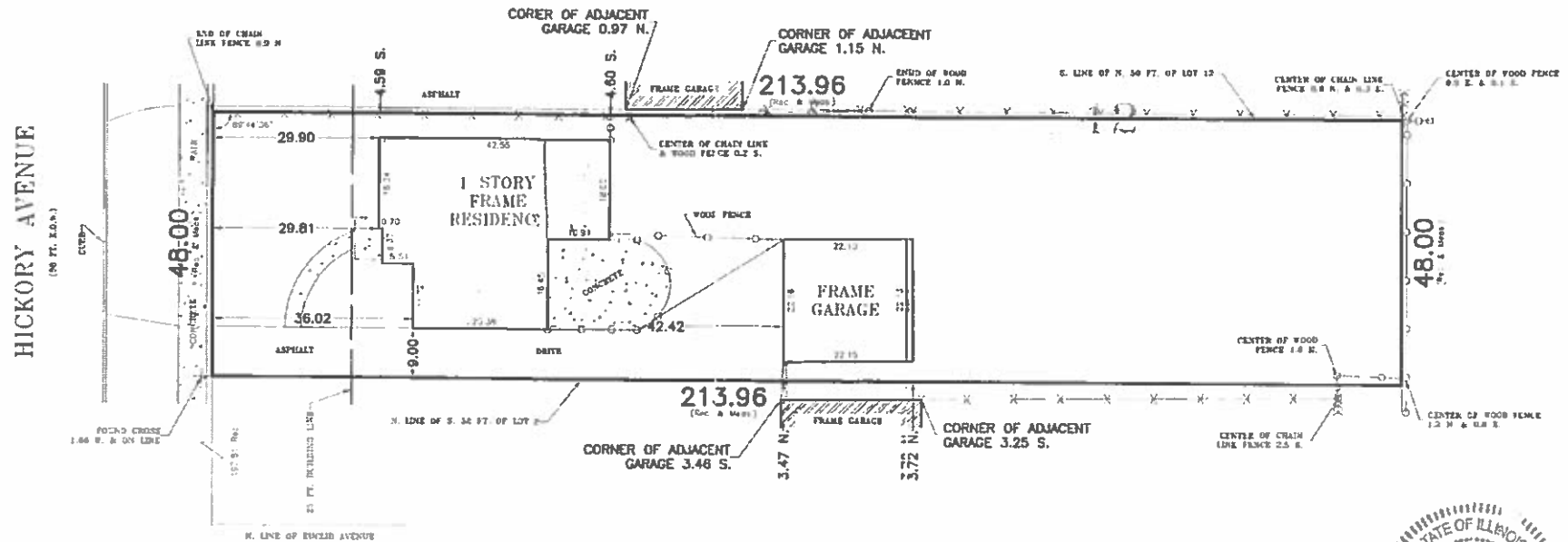
of

LOT 12 (EXCEPT THE SOUTH 58 FEET THEREOF AND EXCEPT THE NORTH 50 FEET THEREOF) IN BLOCK 8 IN ARLINGTON FARMS, A SUBDIVISION OF THE EAST 60 ACRES OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

ADDRESS: 619 N. HICKORY AVENUE, ARLINGTON HEIGHTS, ILLINOIS



SCALE: 1"=20'



GENERAL NOTES:

- 1) THE LEGAL DESCRIPTION HAS BEEN PROVIDED BY THE CLIENT OR THEIR AGENT.
- 2) THIS SURVEY SHOWS THE BUILDING LINES AND EASEMENTS AS INDICATED BY THE RECORDED PLAT. THIS PLAT DOES NOT SHOW ANY RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES UNLESS SUPPLIED BY THE CLIENT.
- 3) BASIS OF BEARING FOR THIS SURVEY IS AS THE NORTH ARROW INDICATES, AND IS SHOWN TO INDICATE THE ANGULAR RELATIONSHIP OF THE BOUNDARY LINES.
- 4) MONUMENTS, IF SET DURING THIS SURVEY, REPRESENT THE TRUE CORNERS OF THIS DESCRIPTION AS SURVEYED.
- 5) LOCATION OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY. NO INTERPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN HEREON.
- 6) ONLY COPIES WITH AN ORIGINAL SIGNATURE AND SEAL ARE OFFICIAL LEGAL DOCUMENTS. ALL SURVEYS ARE COPYRIGHTED MATERIALS WITH ALL RIGHTS RESERVED.



STATE OF ILLINOIS)
COUNTY OF COOK)

SURVEY ORDERED BY JEFFREY S. PANG

I, MICHAEL J. LOPEZ, AS AN EMPLOYEE OF PREFERRED SURVEY, INC., DO HEREBY STATE THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARD FOR A BOUNDARY SURVEY. PROPERTY CORNERS HAVE BEEN SET OR NOT IN ACCORDANCE WITH CLIENT AGREEMENT. DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT.

GIVEN UNDER MY HAND AND SEAL THIS
17th DAY OF JULY, A.D. 2015

MY LICENSE EXPIRES ON 11/30/16

PROF. NO. 108521

Professional Design Registration #184-602795



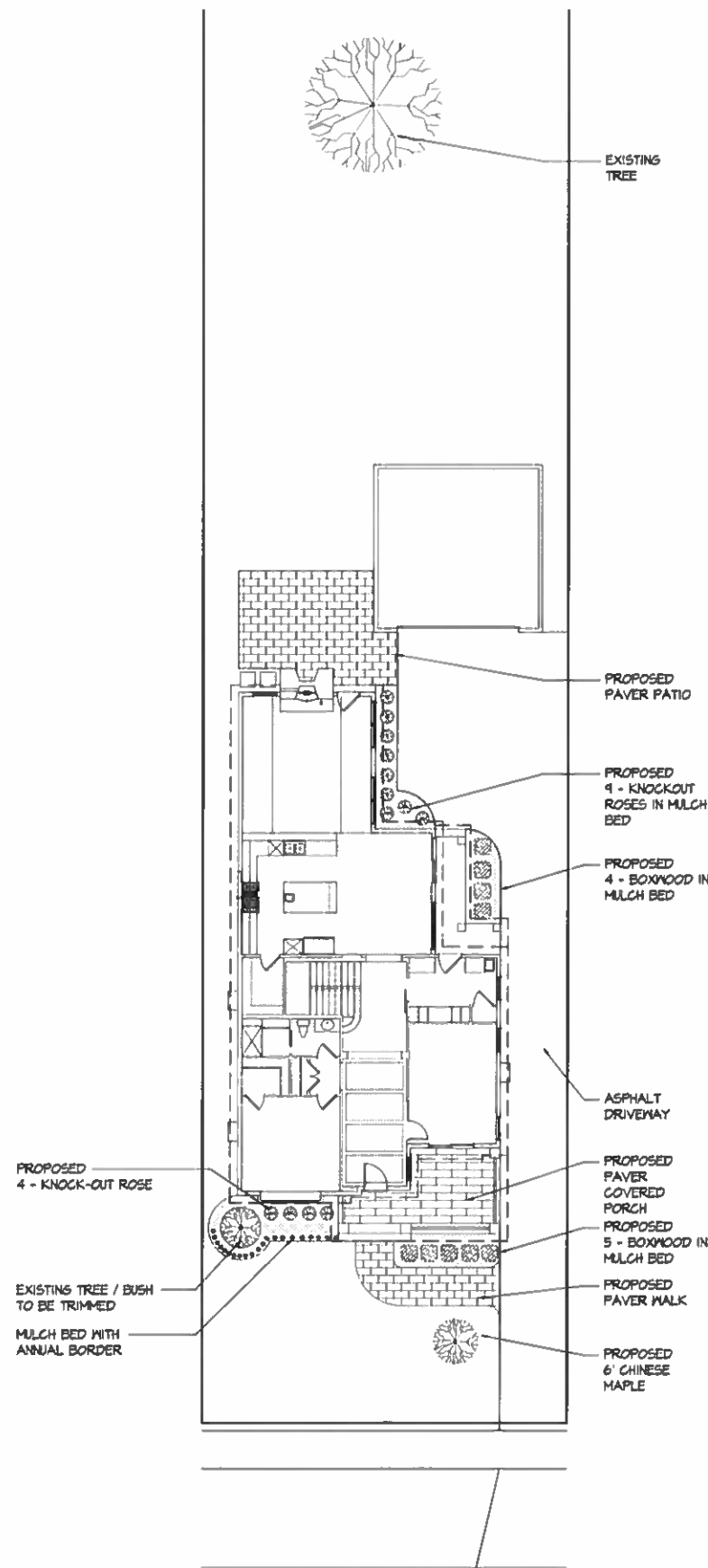
PREFERRED SURVEY, INC.

7845 W. 70TH STREET, BRIDGEVIEW, IL 60455

Phone 708-458-7845 / Fax 708-458-7855

www.psisurvey.com

Field Work Completed	06/17/15	110 CHS.	00/71
Land Area Surveyed	10,200.0 Sq. Ft.	0.23	PM
Drawing Revised	1/1/16	180	14140



(A) PROPOSED LANDSCAPE PLAN
SCALE 1" = 10'-0"



(K) ZONING WORKSHEET

PRINCIPAL STRUCTURE FLOOR AREA CALCULATIONS			
TOTAL ALLOWED	4546.0	SQUARE FEET	
PROPOSED			
FIRST FLOOR AREA	1714.5	SQUARE FEET	
SECOND FLOOR AREA	1444.3	SQUARE FEET	
DETACHED GARAGE AREA	0.0	SQUARE FEET	
TOTAL PROPOSED	3210.0	SQUARE FEET	

BUILDING LOT COVERAGE CALCULATIONS			
TOTAL ALLOWED	3544.5	SQUARE FEET	
PROPOSED			
FIRST FLOOR AREA	1714.5	SQUARE FEET	
GARAGE AREA	489.1	SQUARE FEET	
TOTAL PROPOSED	2264.2	SQUARE FEET	

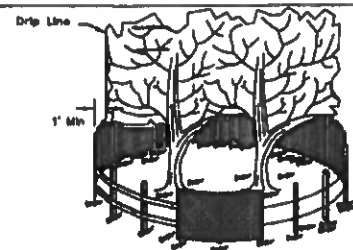
BUILDING HEIGHT	
PROPOSED BUILDING HEIGHT	24'-3 7/16"
(25' TO MIDPOINT OF GABLE)	

ACCESSORY BUILDING INFORMATION	
GARAGE TYPE	DETACHED
TOTAL AREA	489.1 SQUARE FEET
GARAGE HEIGHT	EXISTING TO REMAIN

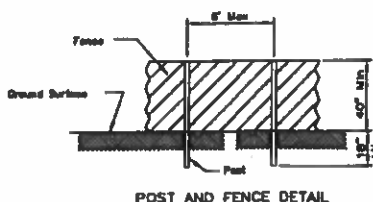
IMPERVIOUS COVERAGE CALCULATIONS			
TOTAL ALLOWED	5155.0	SQUARE FEET	
FIRST FLOOR AREA	1714.5	SQUARE FEET	
GARAGE SQUARE FOOTAGE	489.1	SQUARE FEET	
OTHER IMPERVIOUS COVERAGE	2441.3	SQUARE FEET	
TOTAL PROPOSED	4705.3	SQUARE FEET	

FRONT YARD ONLY	
TOTAL PROPOSED	1455.2 * 0.50 = 717.6 SQUARE FEET
	486.3 SQUARE FEET

(A) TREE PROTECTION - FENCING

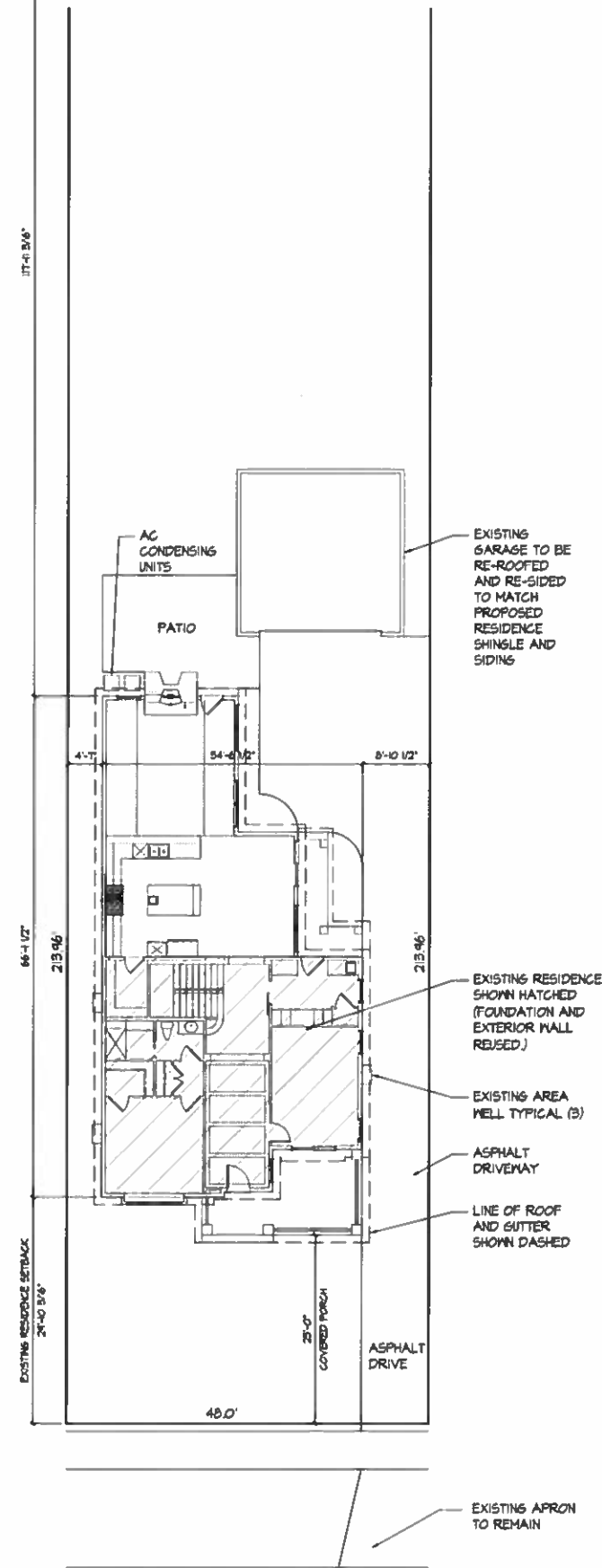


SIDE VIEW



POST AND FENCE DETAIL

- NOTES:**
1. The fence shall be located a minimum of 1 foot outside the drip line of the tree to be saved and in no case closer than 8 feet to the trunk of any tree.
 2. Fence posts shall be either standard steel posts or wood posts with a minimum cross-sectional area of 3.0 sq. in.
 3. The fence may be either 40" high white fence, 40" plastic web fencing or any other material as approved by the engineer/inspector.



(A) PROPOSED SITE PLAN
SCALE 1" = 10'-0"



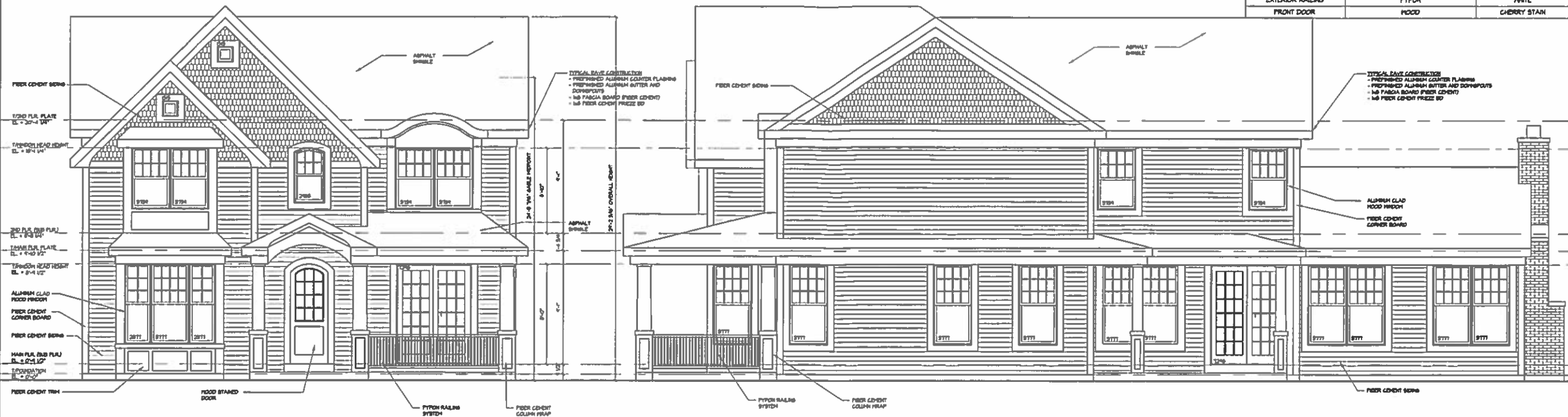
REVISIONS	BY

RESIDENCE FOR MR. AND MRS. JOHN PAPPAS
619 N HICKORY AVENUE, ARLINGTON HEIGHTS, ILLINOIS
KEN F. BRANDEIS ARCHITECTS / A & A DESIGN GROUP, LTD.
17 SPRING CREEK DRIVE S. BARRINGTON IL 60010 847-426-1233

DRAWN	PFZ
CHECKED	KFB
DATE	NOVEMBER 30, 2009
SCALE	AS NOTED
JOB NO.	
SHEET	A-1
OF	SHEETS

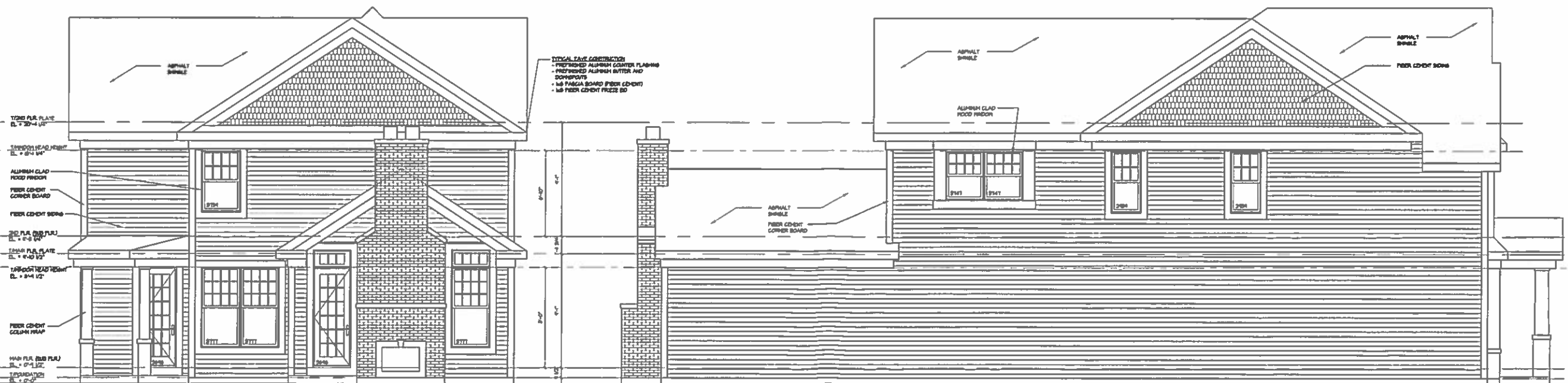
H MATERIAL SCHEDULE		
MATERIAL	MANUFACTURER	COLOR
ROOF	THEIRLINE ASPHALT SHINGLE	QUARRY GREY
SIDING	JAMES HARDI	IRON GREY
TRIM, FASCIA, SOFFITS, COLUMN WRAPS	JAMES HARDI	ARCTIC WHITE
ALUMINUM BUTTERS, DS	ROLLEX	WHITE
WINDOWS	PELLA ALUMINUM CLAD PROLINE SERIES	WHITE
EXTERIOR RAILING	PYPON	WHITE
FRONT DOOR	HOOD	CHERRY STAIN

REVISIONS	BY



© FRONT ELEVATION
SCALE 1/4" = 1'-0"

© LEFT ELEVATION
SCALE 1/4" = 1'-0"



© REAR ELEVATION
SCALE 1/4" = 1'-0"

© RIGHT ELEVATION
SCALE 1/4" = 1'-0"

RESIDENCE FOR MR. AND MRS. JOHN PAPPAS
619 N HICKORY AVENUE, ARLINGTON HEIGHTS, ILLINOIS
KEN F. BRANDEIS ARCHITECTS / A & A DESIGN GROUP, LTD.
17 SPRING CREEK DRIVE S. BARRINGTON IL 60010 847-426-7233

DRAWN	PFZ
CHECKED	KFB
DATE	NOVEMBER 30, 2009
SCALE	AS NOTED
JOB NO.	
SHEET	A-2
OF	SHEETS

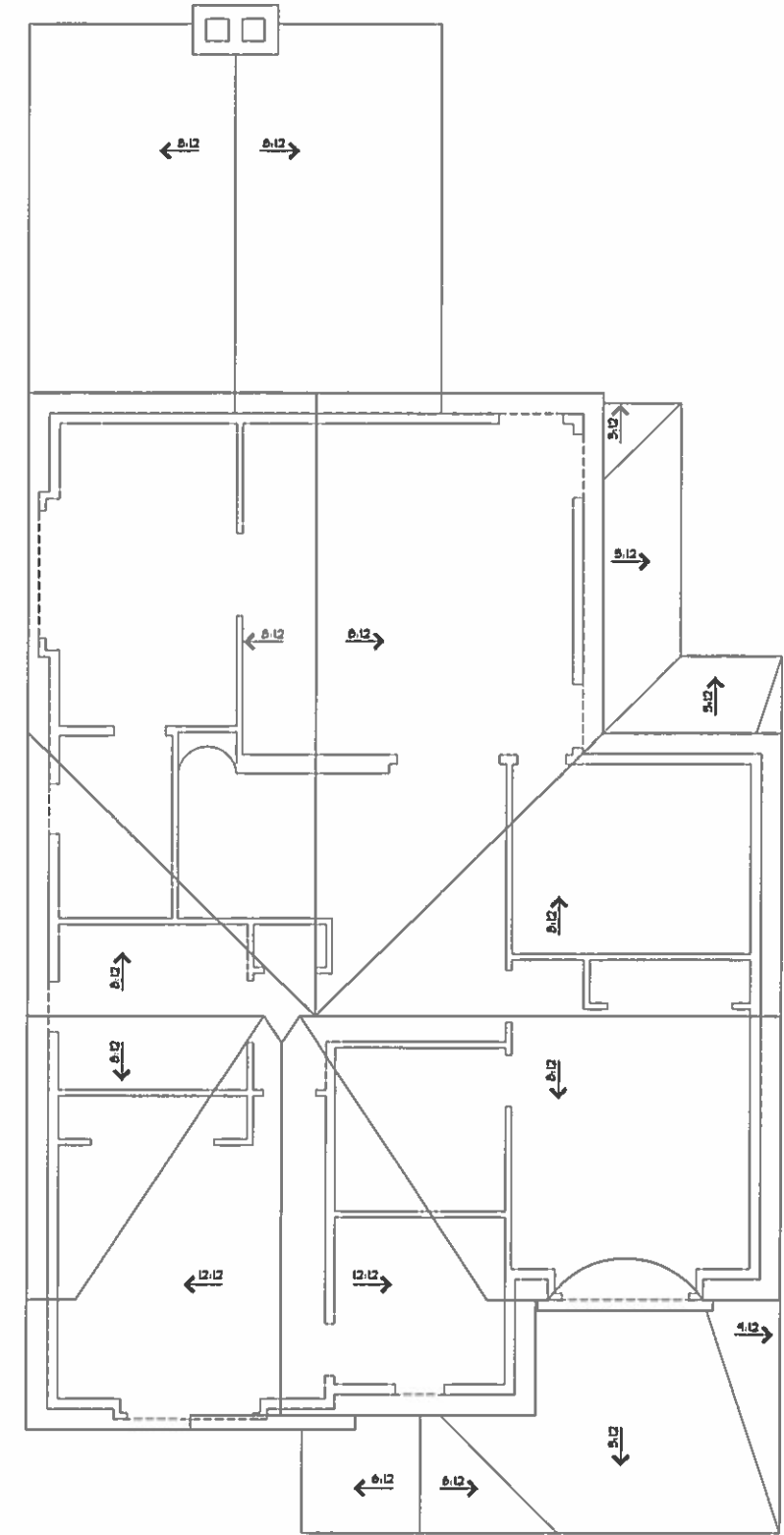
REVISIONS	BY

RESIDENCE FOR MR. AND MRS. JOHN PAPPAS
 619 N HICKORY AVENUE, ARLINGTON HEIGHTS, ILLINOIS
 KEN F. BRANDEIS ARCHITECTS / A & A DESIGN GROUP, LTD.
 17 SPRING CREEK DRIVE S. BARRINGTON IL 60010 847-426-1233

DRAWN	PPZ
CHECKED	KFB
DATE	NOVEMBER 30, 2013
SCALE	AS NOTED
JOB NO.	
SHEET	A-4
OF	SHEETS



⑥ PROPOSED STREET-SCAPE
 SCALE 1/8" = 1'-0"



⑥ ROOF PLAN
 SCALE 1/4" = 1'-0"





PROPERTY TO LEFT 3
633 N HICKORY



PROPERTY TO LEFT 2
629 N HICKORY



PROPERTY TO LEFT 1
623 N HICKORY



SUBJECT PROPERTY
619 N HICKORY



PROPERTY TO RIGHT 1
615 N HICKORY



PROPERTY TO RIGHT 2
603 N HICKORY

© HICKORY AVENUE



PROPERTY ACROSS 1
628 N HICKORY



PROPERTY ACROSS 2
624 N HICKORY



PROPERTY ACROSS 3
620 N HICKORY



PROPERTY ACROSS 4
616 N HICKORY

RESIDENCE FOR MR. AND MRS. JOHN PAPPAS
619 N HICKORY AVENUE, ARLINGTON HEIGHTS, ILLINOIS

KEN F. BRANDEIS ARCHITECTS / A & A DESIGN GROUP, LTD.
17 SPRING CREEK DRIVE S. BARRINGTON IL 60010 847-426-1233

DATE
NOV 30, 2015

DRAWN
PFZ

SHEET

A-5