



Agenda
Village of Arlington Heights
Design Commission
Community Room, 3rd Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
December 9, 2014
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. DC Minutes 11/25/14

IV. REPORTS

V. OLD BUSINESS

- A. DC#14-120 - 428 S. Evanston Ave. (continued from 11/25/14)

VI. NEW BUSINESS

- A. DC#14-093 - 214 S. Stratford Rd. - SF/Teardown
- B. DC#14-121 - 1528 N. Fernandez Pl. - SF/Teardown
- C. DC#14-122 - 634 S. Mitchell Ave. - SF/Teardown

VII. OTHER BUSINESS

- A. Budget FY2015

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Minutes 11/25/14

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Minutes 11/25/14	Minutes

DRAFT

MINUTES OF
THE VILLAGE OF ARLINGTON HEIGHTS
DESIGN COMMISSION MEETING
HELD AT THE ARLINGTON HEIGHTS MUNICIPAL BUILDING
33 S. ARLINGTON HEIGHTS RD.
NOVEMBER 25, 2014

Chair Eckhardt called the meeting to order at 6:30 p.m.

Members Present: Ted Eckhardt, Chair
John Fitzgerald
Anthony Fasolo

Members Absent: Alan Bombick
Jonathan Kubow

Also Present: Anthony Izzo, Anthony James Builders for *617 N. Douglas Ave.*
Joe Sohn, Sohn Architects for *428 S. Evanston Ave.*
Douglas Espinal, Owner of *428 S. Evanston Ave.*
Steve Hautzinger, Staff Liaison

REVIEW OF MEETING MINUTES FROM OCTOBER 28, 2014

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO APPROVE THE MEETING MINUTES OF OCTOBER 28, 2014. ALL WERE IN FAVOR. THE MOTION CARRIED.

1. SINGLE-FAMILY TEARDOWN REVIEW

DC#14-114 – 617 N. Douglas Ave.

Mr. Anthony Izzo, representing *Anthony James Builders* and owner of the home, was present on behalf of the project.

Chair Eckhardt asked if there was any public comment and there was no response from the audience.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to demolish an existing single-story home and detached garage to allow construction of a new two story home, with an attached two car garage. The front yard setback is required to be slightly revised to comply with code, but otherwise the house complies with the R-3 zoning requirements as summarized in the Staff Report. In general, Staff feels the new home is nicely designed with traditional details, varying roof forms, and nice materials. The new home is large compared to the smaller adjacent existing homes on the block, but there is one similar scale newer home across the street and other larger homes at the ends of the block. The front loading garage is somewhat prominent on the proposed house, where many homes in the neighborhood have detached garages. **Mr. Hautzinger** also made a suggestion that the petitioner consider centering the front door below the second-story window above it. Staff supports the project with a recommendation that the Design Commission evaluate the design for appropriate context in this neighborhood.

Mr. Izzo said that the new home was designed to blend in with the neighborhood, and he pointed out the home directly across the street that was similar in design, with a 2-car attached garage. He said that he previously considered centering the front entry as well as increasing the size of the door, and he pointed out that there are a couple of large homes at each end of the block.

Commissioner Fitzgerald felt it was a nicely designed home, and the materials and colors were beautiful. He especially liked that the details are being proposed on the sides and back of the home as well as the front, which will help the home fit in beautifully. He was concerned about the small window next to the front door, which he suggested adding a transom to, similar to the window on the other side of the front door. He had no further comments.

Commissioner Fasolo felt it was a nicely designed home, and he also liked the materials and how the details wrap around all the elevations. He agreed with the suggestion to add a transom above the window next to the front door, and he had no concerns with the offset of the entry door.

Chair Eckhardt agreed with the comments made by the other commissioners. He was okay with the offset of the front door as proposed, and he agreed with the petitioner's efforts to detail all side of the home. He had no concerns about the new home.

He asked again if there was any public comment on the project and there was a response from the audience.

PUBLIC COMMENT

Dan & Heidi Rooney, 610 N. Douglas Avenue, said they live across the street from the site in a new home that was completed about a year ago. They were interested in seeing what is being proposed across the street from them since they will be looking directly at it. The petitioner also reviewed the colors and materials being proposed. **Ms. Rooney** asked if something could be done about the ugly light post on the site that is unlike any other on the street and oddly placed. **Mr. Izzo** replied that this is a street light that is located in the public parkway. **Chair Eckhardt** referred the resident to the Engineering Department.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO APPROVE THE DESIGN OF THE PROPOSED NEW SINGLE-FAMILY HOME TO BE LOCATED AT 617 N. DOUGLAS AVENUE. THIS RECOMMENDATION IS SUBJECT TO COMPLIANCE WITH THE ARCHITECTURAL PLANS RECEIVED 10/22/14 AND RECEIVED 10/28/14, DESIGN COMMISSION RECOMMENDATIONS, COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND VILLAGE CODES, REGULATIONS AND POLICIES, THE ISSUANCE OF ALL REQUIRED PERMITS, AND RESOLUTION OF THE FOLLOWING:

- 1. THIS REVIEW DEALS WITH ARCHITECTURAL DESIGN ONLY AND SHOULD NOT BE CONSTRUED TO BE AN APPROVAL OF, OR TO HAVE ANY OTHER IMPACT ON, ANY OTHER ZONING AND/OR LAND USE ISSUES OR DECISIONS THAT STEM FROM ZONING, SIGN CODE OR BUILDING OR ANY OTHER REVIEWS. IN ADDITION TO THE NORMAL TECHNICAL REVIEW, PERMIT DRAWINGS WILL BE REVIEWED FOR CONSISTENCY WITH THE DESIGN COMMISSION AND OTHER COMMISSION OR BOARD APPROVAL CONDITIONS. IT IS THE ARCHITECT/HOMEOWNER/BUILDER'S RESPONSIBILITY TO COMPLY WITH THE DESIGN COMMISSION APPROVAL AND ENSURE THAT BUILDING PERMIT PLANS AND SIGN PERMIT PLANS COMPLY WITH ALL ZONING CODE, BUILDING CODE AND SIGN CODE REQUIREMENTS.**
- 2. THE PETITIONER SHALL COMPLY WITH ALL FEDERAL, STATE AND VILLAGE CODES, REGULATIONS AND POLICIES.**

Commissioner Fitzgerald wanted the motion to include a change to a taller front door, a shorter window, or a window with a transom, so at least the top of the two windows and the front door align.

A MOTION WAS MADE BY COMMISSIONER FASOLO, SECONDED BY COMMISSIONER FITZGERALD, TO AMEND THE MOTION AND ADD THE FOLLOWING:

- 3. A REQUIREMENT TO INCREASE THE HEIGHT OF THE FRONT DOOR TO MATCH THE HEIGHT OF THE ADJACENT WINDOWHEAD, OR ADD A TRANSOM OVER THE FRONT DOOR TO MATCH THE WINDOW HEIGHT.**

**FITZGERALD, AYE; FASOLO, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. THE MOTION CARRIED.**

ITEM 2. SINGLE-FAMILY ADDITION REVIEW**DC#14-120 – 428 S. Evanston Ave.**

Mr. Joe Sohn, representing *Sohn Architects*, and **Mr. Douglas Espinal**, the contractor and owner, were present on behalf of the project.

Chair Eckhardt asked if there was any public comment and there was a response from the audience.

Mr. Hautzinger presented Staff comments. The petitioner is proposing to add a new second floor addition to an existing single story home, as well as add a new two story addition on the rear of the home. The project complies with the R-3 zoning requirements, with the exception of the new basement window wells on the south, which encroach within three feet of the south property line and will need to be revised.

The proposed addition and renovation of the existing single story home includes a complete makeover of the front of the house. The new front elevation has a bold geometric composition and materials that do not fit in with the context of the neighborhood. The design of the new front entry lacks a residential feel and has more of a contemporary commercial building appearance. The massing of the proposed addition is large and bulky and does not fit with the context of the predominately low, split-level homes in the neighborhood. The side and rear elevations are large walls of horizontal siding which lack detail, and have no relationship to the brick and stone front elevation. There is about two feet of wall space between the second floor windows and the roof eaves, which accentuates the height of the wall and the lack of detail around the windows.

Staff recommends the proposed design be completely revised to include varied roof lines and forms that complement the context of the neighborhood. The composition of materials should also be revised to better fit in to the residential neighborhood. Images shown on Page 2 and 3 of the Staff Report represent good examples of how a new two story home can blend in nicely into an existing neighborhood. **Mr. Hautzinger** said that the petitioner provided Staff with revised drawings yesterday, which are not included in the Staff report.

Mr. Sohn presented revised drawings that were different from the revisions submitted to Staff yesterday. He explained the notable difference between the two designs is the roof shape, which now better corresponds with the adjacent homes. **Mr. Hautzinger** felt that the revision received yesterday was headed more in the right direction; it included a new roof form on the front elevation, brick at the first-story on all four sides of the home, and siding at the second-story. He pointed out the changes presented tonight include going back to all brick on the front elevation, adding details to the brick above all the windows, changes in some window proportions, and further development of the front entry including increasing the size of the front porch. The petitioner clarified that the proposed brick will match the color of the existing brick on the home, with the sample brick being more accurate in color than the color rendering.

Mr. Hautzinger encouraged the petitioner to consider the color palette shown in the examples labeled Image 2 and Image 3 in the Staff report.

Chair Eckhardt asked the petitioner about the design intent of the original design submitted, which separately includes very majestic and monumental elements, but did not come together in a particular style, although he is not completely adverse to what was originally intended. **Mr. Espinal** explained that he is a general contractor and this home is for his family. His wife is in love with the original design and although she can live with the revised design, she is not in love with it. He explained that he tries to make a statement with the homes he builds, while not being completely different than other homes on the block. He currently lives in a similar home at 611 W. Rand Road in Mt. Prospect that he built, which he presented photos of.

Commissioner Fitzgerald liked and appreciated the details being proposed on the sides and rear of the revised design. He felt the revised design was a combination of Georgian and Mission style. His concern with the original design was with the roof and the massing of the ends. He preferred the revised design with siding on the second-story front elevation instead of all brick. He liked the revised design due to the hipped roof and revised materials. He suggested centering the front door or a door with two sidelights below the second floor window.

Commissioner Fasolo referred to the original design and pointed out that the brick wall areas on each side of the center stone wall are basically all in the same plane. **Commissioner Fasolo** felt it would help if the end bays and entry element projected out a few feet, but he acknowledged that there was no room to project out without a setback variation, which the petitioner confirmed. He suggested increasing the roof pitches to be greater than 5/12, and consider a hipped roof instead of a round roof at the entry element. He was in favor of the brick soldier course detail above the windows on the revised design, as well as the more traditional details that would fit better in the neighborhood. **Mr. Hautzinger** added that he was concerned about the accuracy of how the eaves were shown on the front elevation and felt there was a lack of coordination between the front and side elevations, and the floor plans.

Chair Eckhardt felt the mix of hipped roofs and the round entry element on the original design looked odd, as well as the fact that they are different sizes and different pitches; there was too much vocabulary going on on the front elevation. He pointed out that if this were a historic home with a monumental two-story entry element, the rest of the home would be stucco not brick. He encouraged the petitioner not to give up on the original design and to continue working on it to make it a recognizable style. He suggested adding more stone details around the front entry door, as well as continue the material and details around to the rear of the home.

Commissioner Fasolo suggested adding sidelights to the front door to line up with the window above, as well as to bring the limestone base up to the bottom of the first floor window sills. **Chair Eckhardt** added a suggestion to recess the front door and add a deep return.

Commissioner Fitzgerald questioned where stucco would be located if it were used instead of

brick, and **Chair Eckhardt** replied that typically the entire home would be stucco. **Commissioner Fitzgerald** agreed that the original design has potential, but with incorporating some of the features from the revised design presented tonight. He was in support of eliminating the two gables on the front of the home and hipping the main roof. He insisted that the roof behind the arched element remain arched all the way back to the main roof, and the front door or sidelights being as wide as the window above. He was concerned about the colors; although he was in favor of the proposed roof color and brick color, he did not want to see the entire home a beige color; he felt a more contemporary color was appropriate. He also commented that if the two-story entry element is limestone and the brick remains, it would not stand out as much as it appears in the drawings, which he felt was a good thing.

Mr. Espinal said that he was not opposed to adding stucco on the home. He pointed out that most of the homes in the neighborhood are the same brick color, and he asked for feedback about changing the color of the brick on the sides of the home. The commissioners felt the brick should match on all sides of the home. **Commissioner Fitzgerald** suggested painting the brick, which **Mr. Espinal** was not opposed to. **Commissioner Fitzgerald** concluded that he liked that more windows and more details were added on the sides and rear of the home on the revised design. **Commissioner Fasolo** generally agreed with most of the other comments. He liked the brick and siding combination on the sides and rear of the home, and he was unsure about using stucco on the home.

Chair Eckhardt asked if there was any public comment on the project and there was a response from the audience.

PUBLIC COMMENT

Matt Wagner, 424 S. Evanston, said that he lived directly north of the home. He had prepared comments based on the original design, but he felt that the revised design presented tonight is more attractive and a better fit for the neighborhood than the original design. He asked the petitioner to clarify if he will be living in this home or if he is just building it to sell. He felt there was a big difference if the home was being marketed for sale, as opposed to the contractor living in it; however, if the home was being marketed for sale, he felt the original design did not blend with the context of the neighborhood and may create an eyesore in the neighborhood. He pointed out that on all of Evanston Avenue between the block north of Kensington down to Gregory Avenue, there is only one teardown and one remodeled home; all the other homes are original. He wants to make sure the home blends with the neighborhood and does not detract from the value of the homes in the neighborhood.

Chair Eckhardt suggested the project be continued until the next meeting in two weeks, which would eliminate the sign posting requirement. The petitioner can revise the design based on the comments made tonight. **Mr. Hautzinger** clarified that revised drawings would be required to be submitted to Staff no later than Tuesday, December 2nd to allow adequate time to review the revisions and prepare Staff comments. The commissioners did not want to delay the project and encouraged the petitioner to submit revisions to Staff as soon as possible.

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO CONTINUE THE PROJECT (DC#14-120) TO THE NEXT DESIGN COMMISSION MEETING ON DECEMBER 9, 2014.

FITZGERALD, AYE; FASOLO, AYE; ECKHARDT, AYE.
ALL WERE IN FAVOR. THE MOTION CARRIED.

Commissioner Fitzgerald wanted to see material samples presented at the next meeting as well. **Mr. Hautzinger** said that a new color rendering would also be very helpful, and he encouraged the petitioner to coordinate the inconsistencies between the plans.

ITEM 3. GENERAL MEETING

A MOTION WAS MADE BY COMMISSIONER FITZGERALD, SECONDED BY COMMISSIONER FASOLO, TO ADJOURN THE MEETING AT 7:35 P.M. ALL WERE IN FAVOR. THE MOTION CARRIED.



Item: DC#14-120 - 428 S. Evanston Ave. (continued from 11/25/14)

Department: Planning & Community Development

REQUEST

Approval of the proposed architectural design for an addition to an existing single-family residence.

RECOMMENDATION

It is recommended that the Design Commission evaluate the proposed addition to the single-family residence located at 428 S. Evanston Avenue. This recommendation is based on the revised architectural plans dated 12/2/14 and received 12/3/14, and the following:

1. A recommendation to revise the overall massing to have varied roof lines and forms to better complement the existing neighborhood.
2. Recommendations to:
 - a. Omit the center stone gable.
 - b. Change the hipped roof forms flanking the center entry to be gables.
 - c. Omit the notches in the eave above the windows to form a continuous roof line.
 - d. Reduce the center stone wall to align with the stone trim band.
 - e. Omit the stone quoins.
 - f. Raise the entry portico to align with the stone trim band.
 - g. Revise the entry portico roof slope to match the main roof slope.
 - h. Enhance the portico columns with larger base and cap trim.
 - i. Change the second floor windows flanking the entry from single to double windows.
 - j. Change the siding on the first floor of the rear addition to brick.
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description	Type
Staff Report_Re-Review	Report
Drawings & Documents	Exhibits

STAFF DESIGN COMMISSION REPORT RE-REVIEW

PROJECT INFORMATION:

Project Name: Espinal Residence
Project Address: 428 S. Evanston Ave.
Prepared By: Steve Hautzinger

Date Prepared: December 2, 2014

PETITION INFORMATION:

DC Number: 14-120
Petitioner Name: Joosung "Joe" Sohn
Petitioner Address: Sohn Architects
1122 N. Clark St. #2407
Chicago, IL 60610
Meeting Date: December 9, 2014

Requested Action(s): Approval of the proposed architectural design for an addition to an existing single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to add a new second floor addition to an existing single story residence, as well as add a new two story addition on the rear of the home. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 8,977 square feet and the proposed residence will have 3,579 square feet. The project complies with the R-3 zoning requirements, with the exception of the new basement window wells on the south which encroach within three feet of the south property line.

	ALLOWED	PROPOSED
Setbacks	Front: 25 feet Side: 6.8 feet Side: 6.8 feet Rear: 30 feet	Front: 25.09 feet Side: 6.8 feet Side: 6.8 feet Rear: 57.41 feet
Building Height	25 feet to the midpoint	23.6 feet to the midpoint
FAR	4,028 SF	3,579 SF
Building Lot Coverage	3,142 SF	1,952 SF
Impervious Surface Coverage Total	4,489 SF	2,521 SF

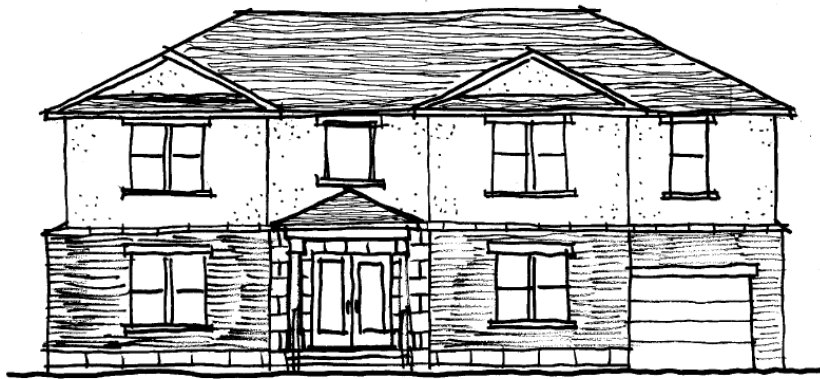
This project was reviewed by the Design Commission on 11/25/14, at which time numerous concerns about the design were raised by the Commissioners. The petitioner was encouraged to revise the design and return for a re-review. Highlights of the Commissioners comments are as follows:

1. The proposed design does not fit in the context of the neighborhood.
2. The design should be more cohesive, and should represent a specific, recognizable style. A more traditional style would fit better in the neighborhood.
3. The front entry doors should be centered and widened, and the details of the entry should be further developed.
4. A hipped main roof was encouraged.
5. Stucco was suggested as an alternate to the proposed horizontal siding.
6. It was recommended to develop the level of detail on the sides and rear of the home to better match the front elevation.
7. There was concern about the proposed all beige color scheme. Actual material samples were requested for review at the next meeting.
8. More windows should be added to the side elevations.
9. The Design Commission encouraged development of the submitted design, rather than pursuing a different design scheme.

Based on the feedback received from the Design Commission, the petitioner has submitted revisions to the original design for further review. The revised design is a significant improvement from the original design, but the following revisions are recommended to further refine the design to better fit in the existing neighborhood:

1. Omit the center stone gable.
2. Change the hipped roof forms flanking the center entry to be gables.
3. Omit the notches in the eave above the windows to form a continuous roof line.
4. Change the second floor windows flanking the entry from single to double windows.
5. Reduce the stone height on the center wall to align with the stone trim band.
6. Omit the stone quoins at the corners of the house.
7. Raise the entry portico roof to align with the stone trim band.
8. Revise the entry portico roof slope to match the main roof slope.
9. Enhance the entry portico columns with larger base and cap trim.
10. Change the siding on the first floor of the rear addition to brick to match the rest of the house.

The sketch below illustrates some possible revisions:



The overall massing of the proposed design is still somewhat large and boxy. It is still encouraged to improve the overall massing of the proposed second floor addition with varied roof forms that better complement the context of the neighborhood, similar to the examples shown below.



Image 1, 519 S. Donald Avenue. The hipped roof forms, single story elements, and neutral color palette help this larger scale home to blend into the neighborhood.



Image 2, 1303 W. Watling Street. This home is a wonderful example of a second story addition to an existing single story house. The gable roof forms and front porch keep the scale of the expanded home within the context of the neighborhood.



Image 3, 5 W. Fairview Street. This home is another nice example of a second story addition to an existing single story house. The gable roof forms and dormers keep the scale of the expanded home within the context of the neighborhood.

RECOMMENDATION:

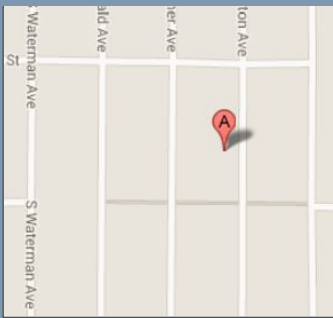
It is recommended that the Design Commission **evaluate** the proposed addition to the single-family residence located at 428 S. Evanston Avenue. This recommendation is based on the revised architectural plans dated 12/2/14 and received 12/3/14, and the following:

1. A recommendation to revise the overall massing to have varied roof lines and forms to better complement the existing neighborhood.
2. Recommendations to:
 - a. Omit the center stone gable.
 - b. Change the hipped roof forms flanking the center entry to be gables.
 - c. Omit the notches in the eave above the windows to form a continuous roof line.
 - d. Reduce the center stone wall to align with the stone trim band.
 - e. Omit the stone quoins.
 - f. Raise the entry portico to align with the stone trim band.
 - g. Revise the entry portico roof slope to match the main roof slope.
 - h. Enhance the portico columns with larger base and cap trim.
 - i. Change the second floor windows flanking the entry from single to double windows.
 - j. Change the siding on the first floor of the rear addition to brick.
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

December 3, 2014

Steve Hautzinger, Design Planner
Department of Planning and Community Development

Cc: Charles Witherington-Perkins, Director of Planning and Community Development, Petitioner, DC File 14-120



PROPERTY ADDRESS: 428 S EVANSTON AVENUE ARLINGTON HEIGHTS, ILLINOIS 60004

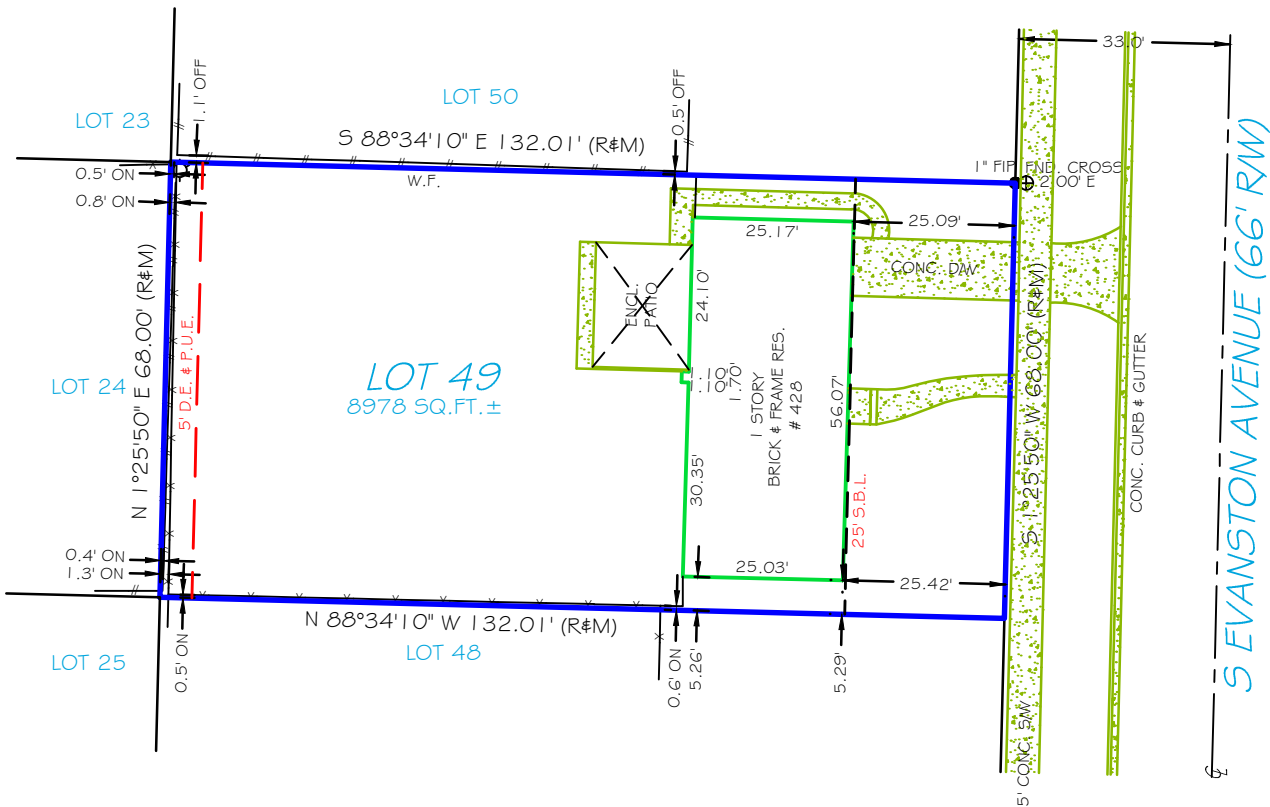
SURVEY NUMBER: 1409.3660

FIELD WORK DATE: 10/9/2014 REVISION DATE(S): (REV.0 10/10/2014)

1409.3660

BOUNDARY SURVEY
COOK COUNTY

LOT FORTY-NINE (49) IN STOLZNER'S GREENVIEW ESTATES ADDITION, BEING A SUBDIVISION OF PART OF THE WEST HALF (1/2) OF THE NORTHEAST QUARTER (1/4) OF SECTION 33, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS, ON MAY 28, 1958 AS DOCUMENT NUMBER 1798320.

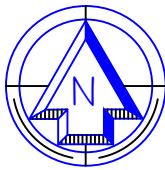
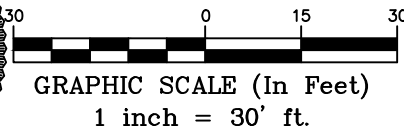


STATE OF ILLINOIS } SS
COUNTY OF GRUNDY

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS 9th DAY OF OCTOBER, 2014 AT 316 E. JACKSON STREET IN MORRIS, IL 60450.

Kenneth Kennedy

ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3403
LICENSE EXPIRES 11/30/2014
EXACTA LAND SURVEYORS LB# 5763



THE ABOVE SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE NUMBER IN THE BOTTOM RIGHT CORNER.

CLIENT NUMBER:

DATE: 10/10/2014

BUYER:

SELLER:

CERTIFIED TO: NATIONAL TITLE SOLUTIONS

This is page 1 of 2 and is not valid without all pages.

POINTS OF INTEREST
NONE VISIBLE

Exacta Illinois Surveyors, Inc. is a full service, bonded land survey firm registered with the state of Illinois.





PROPERTY TO LEFT 3
440 S. EVANSTON AVE.



PROPERTY TO LEFT 2
436 S. EVANSTON AVE.



PROPERTY TO LEFT 1
432 S. EVANSTON AVE.



SUBJECT PROPERTY
428 S. EVANSTON AVE.



PROPERTY TO RIGHT 1
424 S. EVANSTON AVE.



PROPERTY TO RIGHT 1
420 S. EVANSTON AVE.



PROPERTY TO RIGHT 1
416 S. EVANSTON AVE.

S. EVANSTON AVE.



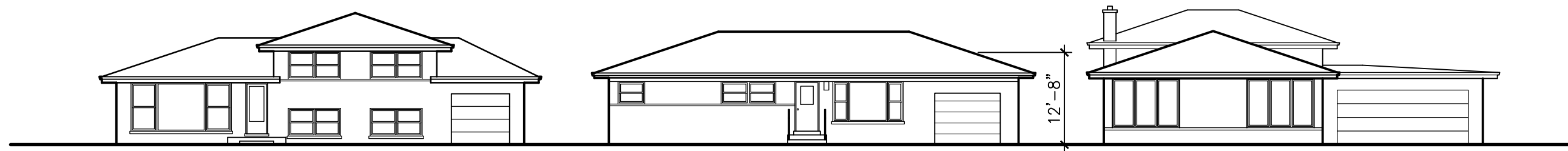
PROPERTY ACROSS 1
423 S. EVANSTON AVE.



PROPERTY ACROSS 2
427 S. EVANSTON AVE.



PROPERTY ACROSS 3
431 S. EVANSTON AVE.



1 EXISTING CONTEXT ELEVATION
SCALE: 1/16" = 1'-0"



2 PROPOSED CONTEXT ELEVATION
SCALE: 1/16" = 1'-0"



FRONT ELEVATION



PROPOSED
EAST ELEVATION
1
SCALE: 1/4" = 1'-0"

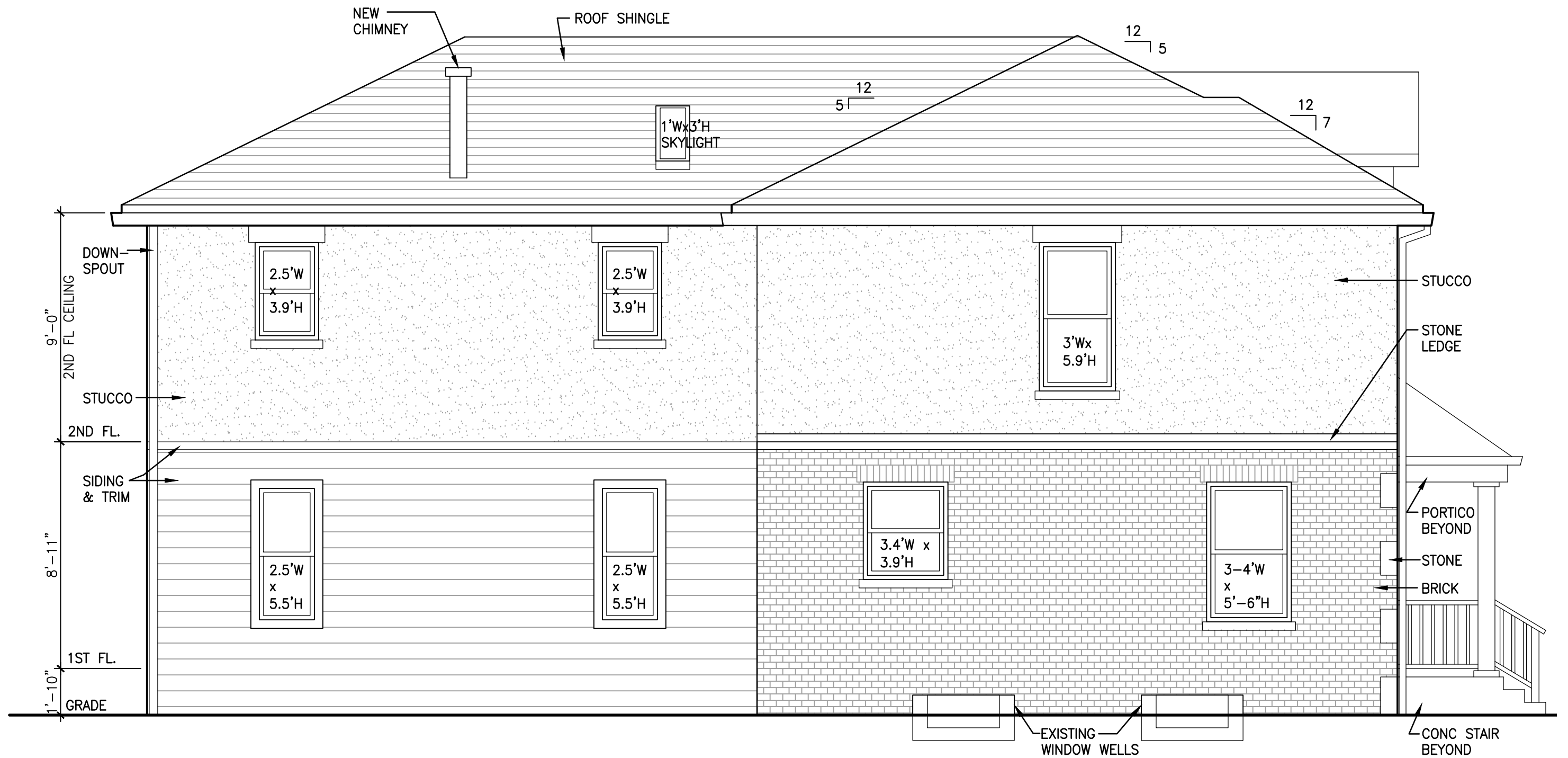
© COPYRIGHT 2014 BY SOHN ARCHITECTS, LTD.



PROJECT:
428 S. EVANSTON AVE. ARLINGTON HEIGHTS, IL 60004

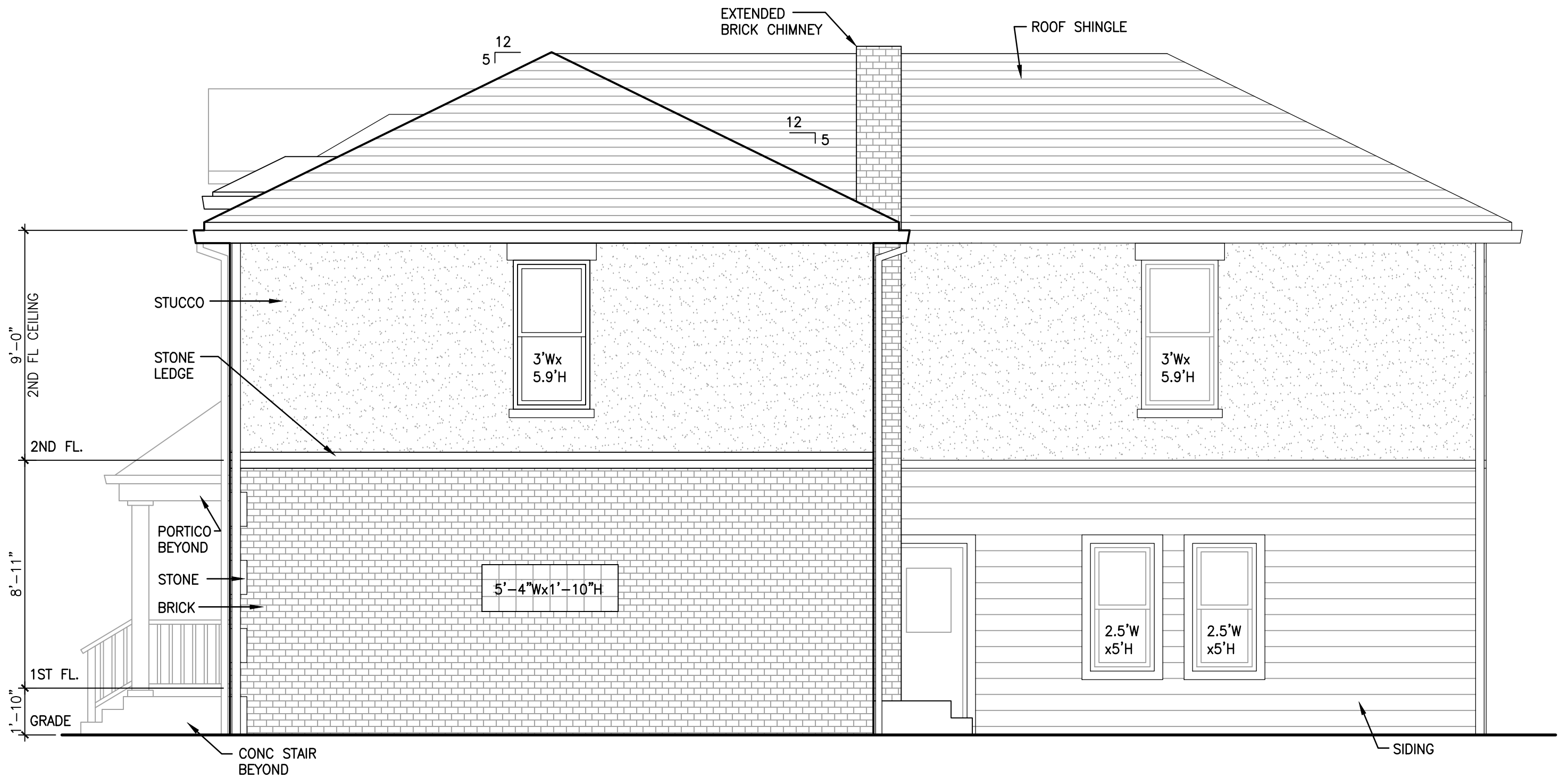
1	ISSUED FOR DESIGN REVIEW, NOVEMBER 05, 2014
2	ISSUED FOR DESIGN COMMISSION REVIEW, NOVEMBER 25, 2014
3	ISSUED FOR DESIGN COMMISSION REVIEW, DECEMBER 02, 2014

A2.5



PROPOSED
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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PROPOSED
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT:
428 S. EVANSTON AVE. ARLINGTON HEIGHTS, IL 60004

1	ISSUED FOR DESIGN REVIEW, NOVEMBER 05, 2014
2	ISSUED FOR DESIGN COMMISSION REVIEW, NOVEMBER 25, 2014
3	ISSUED FOR DESIGN COMMISSION REVIEW, DECEMBER 02, 2014

A2.7



PROPOSED
WEST ELEVATION
1
SCALE: 1/4" = 1'-0"

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PROJECT:
428 S. EVANSTON AVE. ARLINGTON HEIGHTS, IL 60004

1	ISSUED FOR DESIGN REVIEW, NOVEMBER 05, 2014
2	ISSUED FOR DESIGN COMMISSION REVIEW, NOVEMBER 25, 2014
3	ISSUED FOR DESIGN COMMISSION REVIEW, DECEMBER 02, 2014

A2.8

MATERIAL SAMPLE IMAGES



BRICK: GLEN-GERY BRICK, BEIGE



SIDING & TRIM: JAMESHARDIE, BEIGE



STUCCO: OMEGA PRODUCT INT., PRAIRIE DOG



STONE: INDIANA LIMESTONE, GRAY



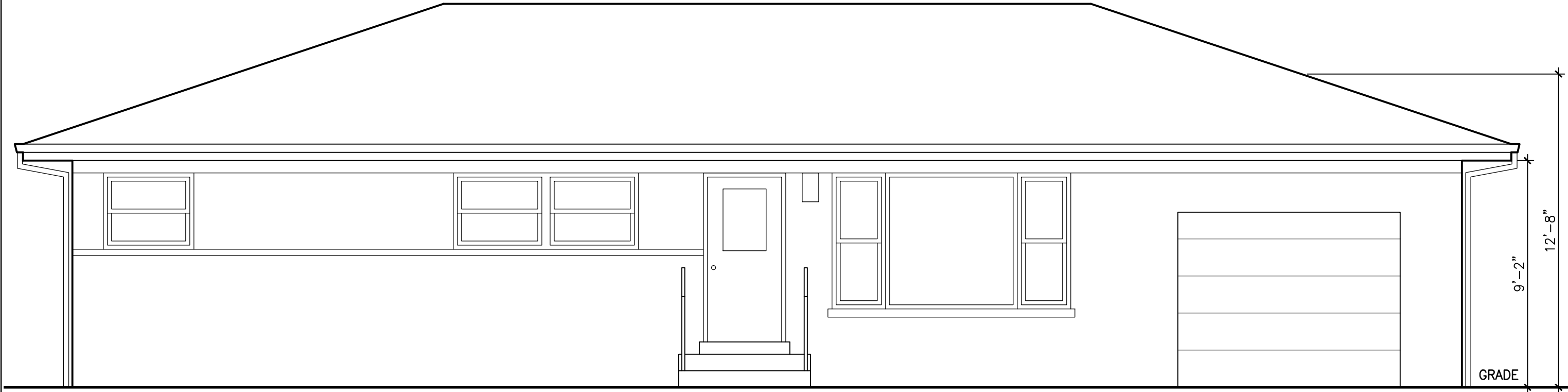
MATERIAL SCHEDULE

MATERIAL TYPE	MANUFACTURER	COLOR
BRICK	GLEN-GERY BRICK	BEIGE
STONE	INDIANA LIMESTONE	GRAY
SIDING	JAMESHARDIE	CHESTNUT BROWN
STUCCO	OMEGA PRODUCTS INT.	PRAIRIE DOG
GUTTER / TRIM / FASCIA	JAMESHARDIE	ARCTIC WHITE
ROOF SHINGLE	GAF – ROYAL SOVEREIGN	CHARCOAL
WINDOWS	ANDERSON	WHITE FRAME





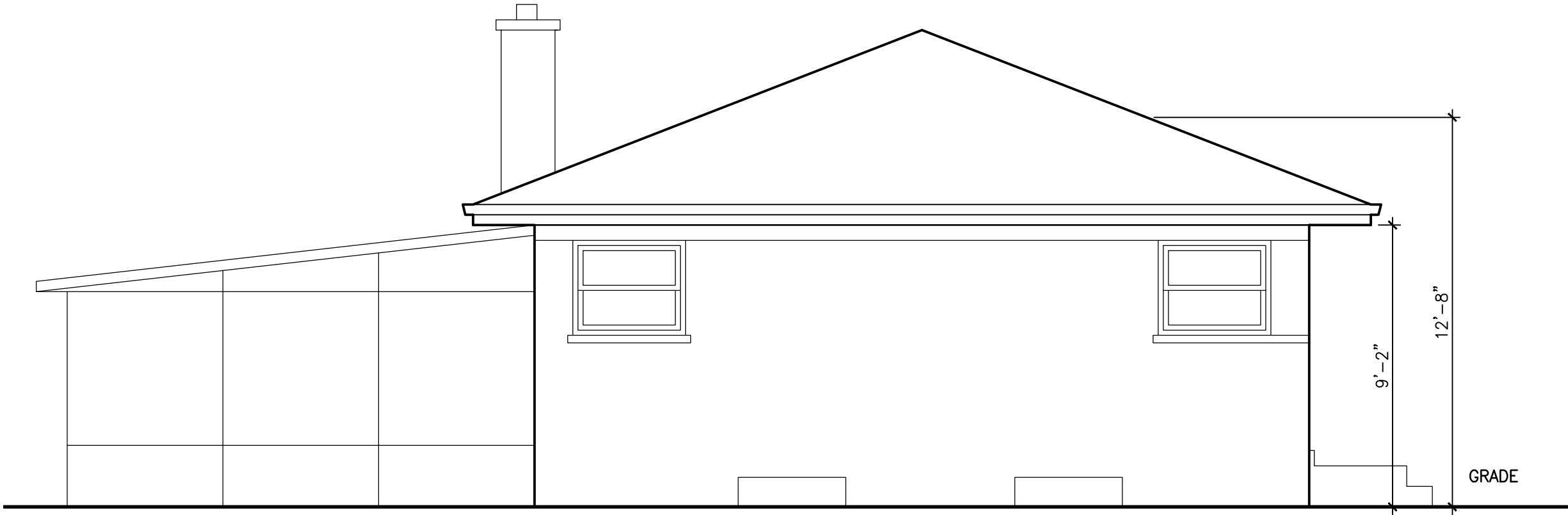
EAST VIEW



EXISTING
EAST ELEVATION
1
SCALE: 1/4" = 1'-0"



SOUTH VIEW

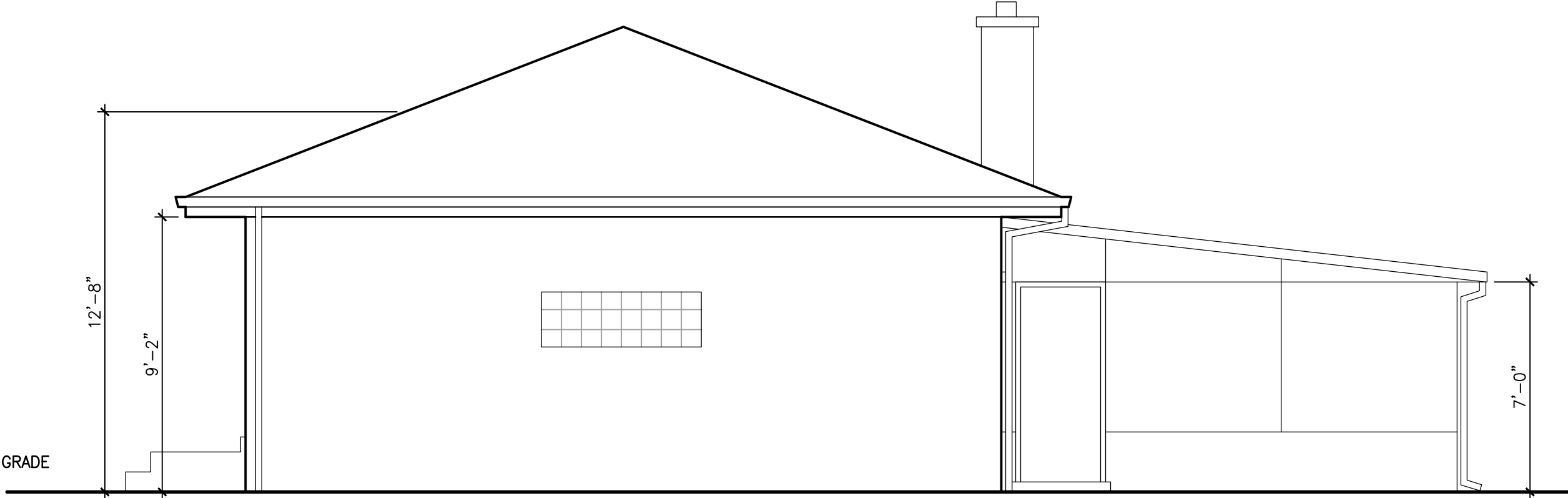


EXISTING
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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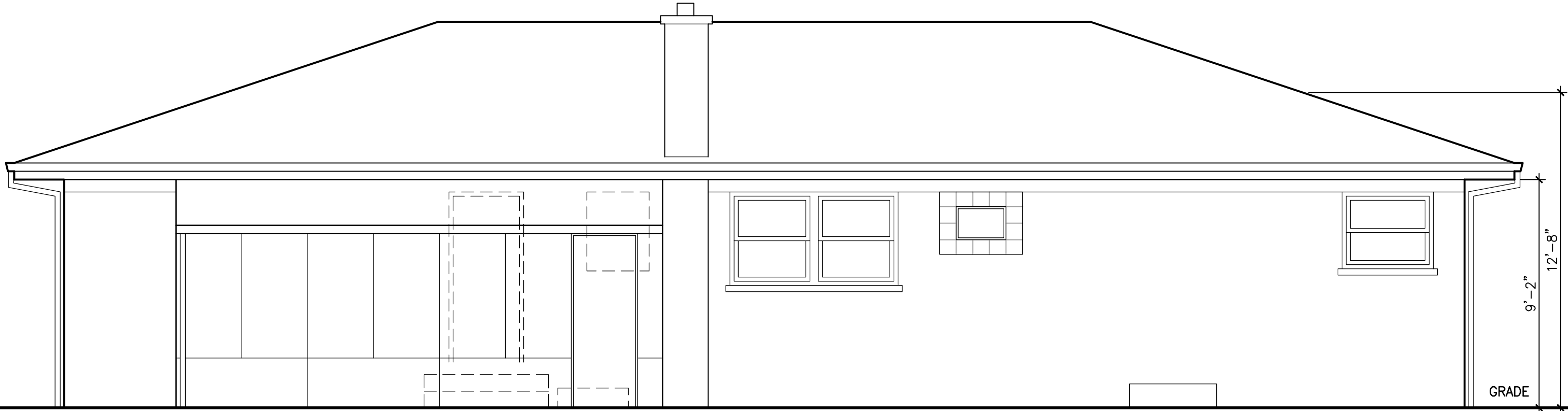
NORTH VIEW



EXISTING
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST VIEW



1 EXISTING
WEST ELEVATION
SCALE: 1/4" = 1'-0"



Item: DC#14-093 - 214 S. Stratford Rd. - SF/Teardown

Department: Planning & Community Development

REQUEST

Approval of the proposed architectural design for a new (teardown) single-family residence.

RECOMMENDATION

It is recommended that the Design Commission approve the proposed new single-family residence to be located at 214 S. Stratford Road. This recommendation is subject to compliance with the site plan dated 11/14/14 and architectural plans dated 11/10/14 and received on 11/14/14, and the following:

1. Consider breaking up the long flat south wall with further detailing or jogs in the wall.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description	Type
Staff Report	Report
Drawings & Documents	Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 214 S. Stratford Rd.
Project Address: 214 S. Stratford Rd.
Prepared By: Steve Hautzinger

Date Prepared: December 2, 2014

PETITION INFORMATION:

DC Number: 14-093
Petitioner Name: Tony Van Dijk
Petitioner Address: DHR Cambridge Homes
800 S. Milwaukee Ave.
Libertyville, IL 60048
Meeting Date: December 9, 2014

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to demolish an existing two story home with an attached one car garage to allow the construction of a new two story residence with an attached two car garage. The subject site is zoned R-3, One Family Dwelling District. The Zoning Board of Appeals granted a zoning variation for this project on 11/10/14 to allow a 50.1 foot wide lot with 6,087 sf lot area to be buildable, where a minimum of 70 feet wide and 8,750 sf lot area is required. Otherwise, the project complies with the R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 28 feet Side: 5 feet Side: 5 feet Rear: 30 feet	Front: 26 feet Side: 5.8 feet Side: 5.8 feet Rear: 32 feet
Building Height	25 feet to the midpoint	24.9 feet to the midpoint
FAR	2,739 SF	2,732 SF
Building Lot Coverage	2,130 SF	2,003 SF
Impervious Surface Coverage Total	3,043 SF	2,738 SF

The front elevation of the proposed home is a nice composition of massing and materials, and the scale fits in very well with the existing homes on the block. Although the proposed two car garage is on the front of the house, it has a low profile roof that does not dominate the design, and the front porch projects in front of the garage wall. The south wall, however, is somewhat long and flat and it could benefit from some additional detailing or jogs in the wall. This project is appearing before the Design Commission due to past concerns in this neighborhood regarding teardown/new construction, and to evaluate the proposed architectural design with the context of the neighborhood.

RECOMMENDATION:

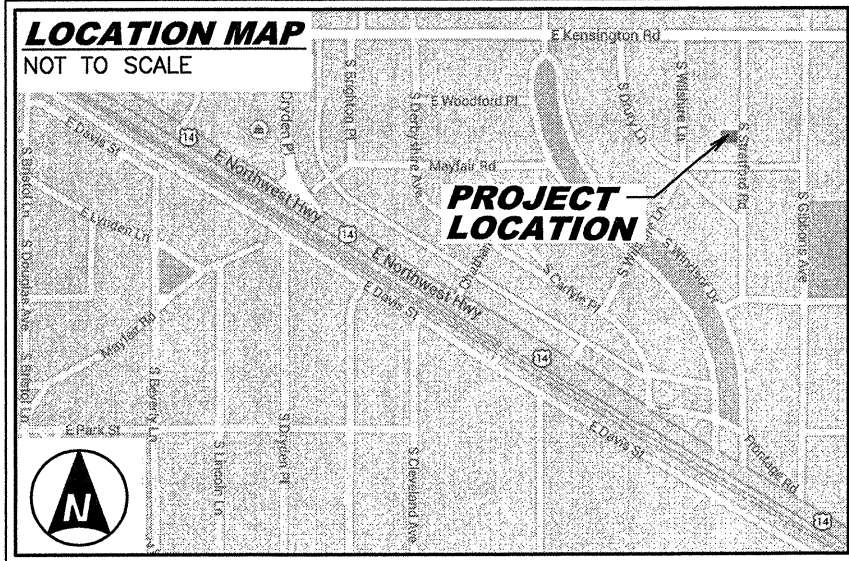
It is recommended that the Design Commission **approve** the proposed new single-family residence to be located at 214 S. Stratford Road. This recommendation is subject to compliance with the site plan dated 11/14/14 and architectural plans dated 11/10/14 and received on 11/14/14, and the following:

1. Consider breaking up the long flat south wall with further detailing or jogs in the wall.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
3. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

December 2, 2014

Steve Hautzinger, Design Planner
Department of Planning and Community Development

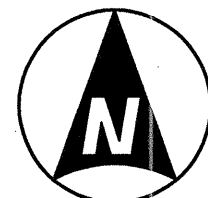
Cc: Charles Witherington-Perkins, Director of Planning and Community Development, Petitioner, DC File 14-093



PLAT OF SURVEY

PROPERTY DESCRIPTION:

LOT 103 IN STONEGATE, BEING A RESUBDIVISION OF H. ROY BERRY CO'S EAST MORELAND, BEING A SUBDIVISION OF THAT PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 33 AND THAT PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 32, LYING NORTHEASTERLY OF THE CHICAGO AND NORTHWESTERN RAILROAD COMPANY, ALL IN TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



20 10 0 20
SCALE: 1" = 20'

P.I.N.:

03-33-102-020-0000

AREA:

PROPERTY CONTAINS 6,086 SQUARE FEET OR 0.140 ACRES MORE OR LESS

BENCHMARKS:

SOURCE BENCHMARK: ARLINGTON HEIGHTS MONUMENT NUMBER 61. 1" BRASS DISK ON THE SOUTHEASTERLY SIDE OF A CONCRETE BASE OF A LIGHT POLE, +/- 36 FEET SOUTHWESTERLY OF THE CENTERLINE OF NORTHWEST HIGHWAY AND THE CENTERLINE OF WINDSOR BOULEVARD EXTENDED.
ELEVATION = 679.34 (NAVD 1988)

SITE BENCHMARK #1: CUT CROSS ON THE WESTERLY CURBLINE OF SOUTH STRATFORD ROAD, BETWEEN 214 SOUTH STRATFORD ROAD AND 1516 MAYFAIR ROAD.
ELEVATION = 673.78

SITE BENCHMARK #2: TOP BOLT OF FIRE HYDRANT, WEST OF THE CENTERLINE OF SOUTH STRATFORD ROAD IN THE MIDDLE OF 210 SOUTH STRATFORD ROAD.
ELEVATION = 676.15

LEGEND:

	SANITARY SEWER		DECIDUOUS TREE (SIZE IN INCHES)
	STORM SEWER		CONIFEROUS TREE (SIZE IN INCHES)
	COMBINED SEWER		BUSH
	WATER MAIN		CONTOUR LINE
	FORCE MAIN		SPOT ELEVATION
	UNDERDRAIN		PAVEMENT ELEVATION
	CABLE TV LINE		TOP OF CURB ELEVATION
	ELECTRIC LINE		TOP OF DEPRESSED CURB ELEVATION
	FIBER OPTIC LINE		WALK ELEVATION
	GAS LINE		AIR CONDITIONER UNIT
	TELEPHONE LINE		BOTTOM OF WALL
	OVERHEAD WIRE		DEED
	FENCE		DUCTILE IRON PIPE
	GUARDRAIL		ELECTRIC METER
	BUSH LINE		FINISHED FLOOR
	TREE LINE		GARAGE FLOOR
	RAILROAD		GRADE AT FOUNDATION
	EDGE OF WATER		GAS METER
	MANHOLE (STMH/SAMH)		INVERT
	CATCH BASIN (CB)		MEASURED
	INLET (INL)		POLYVINYL CHLORIDE PIPE
	FLARED END SECTION (FES)		RECORD
	VALVE VAULT (VV)		REINFORCED CONCRETE PIPE
	VALVE BOX (VB)		RETAINING WALL
	BUFFALO BOX (BB)		SANITARY
	FIRE HYDRANT (FH)		STORM
	AUXILIARY VALVE (AV)		TOP OF FOUNDATION
	CLEANOUT (CO)		TOP OF PIPE
	BOLLARD (BOL)		TOP OF WALL
	GAS VALVE (GV)		TRANSFORMER
	ELECTRIC MANHOLE (EMH)		CONCRETE (CONC)
	TELEPHONE MANHOLE (TMH)		GRAVEL
	HANDHOLE (HH)		HOT MIX ASPHALT (HMA)
	TRAFFIC SIGNAL BOX (TSB)		BUILDING
	TRAFFIC SIGNAL (TS)		BARRIER CURB
	LIGHT (LHT)		B 6.12 CURB & GUTTER
	GROUND LIGHT (GLHT)		B 6.24 CURB & GUTTER
	POWER POLE (PP)		DEPRESSED CURB
	GUY WIRE (GW)		
	CABLE PEDESTAL (PEDC)		
	ELECTRIC PEDESTAL (PEDE)		
	TELEPHONE PEDESTAL (PEDT)		
	SIGN		
	MAILBOX (MB)		

LOT 109

LOT 102

LOT 108

LOT 103

LOT 107

LOT 104

SURVEYOR'S NOTES:

1. THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
2. BUILDING DIMENSIONS AND TIES SHOWN HEREON ARE MEASURED FROM THE OUTSIDE FACE OF CONCRETE FOUNDATION.
3. SURVEY IS BASED ON FIELD WORK COMPLETED 09-05-14.
4. BEARINGS BASED ON ILLINOIS EAST STATE PLANE COORDINATE SYSTEM.

GENERAL NOTES:

1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
2. ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISIONS ARE SHOWN HERE ON. REFER TO THE DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS.
3. COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT AND DISCREPANCIES TO THE SURVEYOR AT ONCE.
4. NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENTS.
5. CERTIFIED COPIES OF THIS SURVEY BEAR AN IMPRESSED SEAL.

CLIENT:

EMERALD HOMES

2330 HAMMOND DRIVE
SCHAUMBURG, ILLINOIS, 60173



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847)696-1400
www.mackieconsult.com

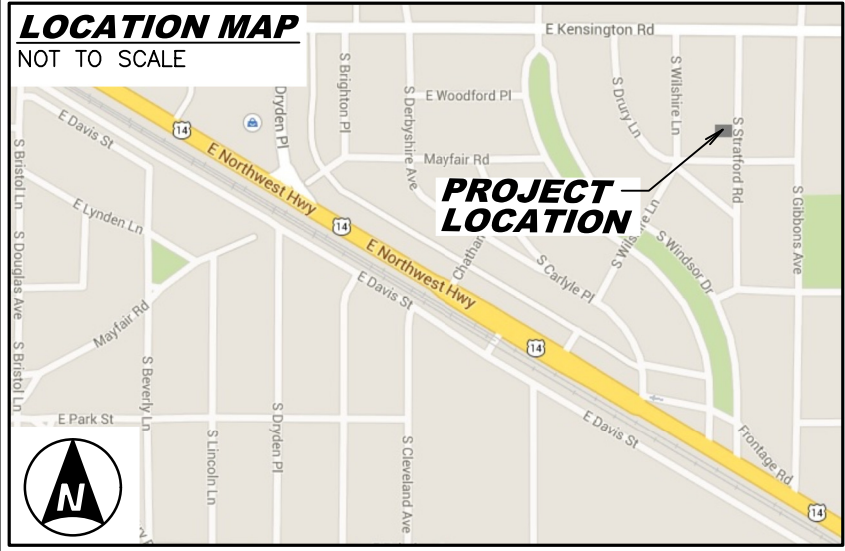
DESIGNED	KJM
DRAWN	SMP
APPROVED	BSB
DATE	09-08-14
SCALE	1" = 20'

PLAT OF SURVEY
214 SOUTH STRATFORD ROAD
ARLINGTON HEIGHTS, ILLINOIS

SHEET

1 OF 1

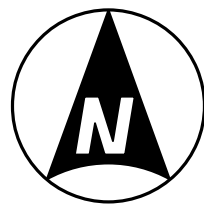
PROJECT NUMBER: 2529
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ILLINOIS FIRM LICENSE 184-002694



SITE DEVELOPMENT PLAN

PROPERTY DESCRIPTION:

LOT 103 IN STONEGATE, BEING A RESUBDIVISION OF H. ROY BERRY CO'S EAST MORELAND, BEING A SUBDIVISION OF THAT PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 33 AND THAT PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 32, LYING NORTHEASTERLY OF THE CHICAGO AND NORTHWESTERN RAILROAD COMPANY, ALL IN TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



20 10 0 20
SCALE: 1" = 20'

P.I.N.:

03-33-102-020-0000

AREA:

PROPERTY CONTAINS 6,086 SQUARE FEET OR 0.140 ACRES MORE OR LESS

BENCHMARKS:

SOURCE BENCHMARK: ARLINGTON HEIGHTS MONUMENT NUMBER 61 1" BRASS DISK ON THE SOUTHEASTERLY SIDE OF A CONCRETE BASE OF A LIGHT POLE, +/- 36 FEET SOUTHWESTERLY OF THE CENTERLINE OF NORTHWEST HIGHWAY AND THE CENTERLINE OF WINDSOR BOULEVARD EXTENDED. ELEVATION = 679.34 (NAVD 1988)

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SITE BENCHMARK #2: TOP BOLT OF FIRE HYDRANT, WEST OF THE CENTERLINE OF SOUTH STRATFORD ROAD IN THE MIDDLE OF 210 SOUTH STRATFORD ROAD. ELEVATION = 676.15

IMPERVIOUS TABLE:

LOT AREA = 6,086 SF

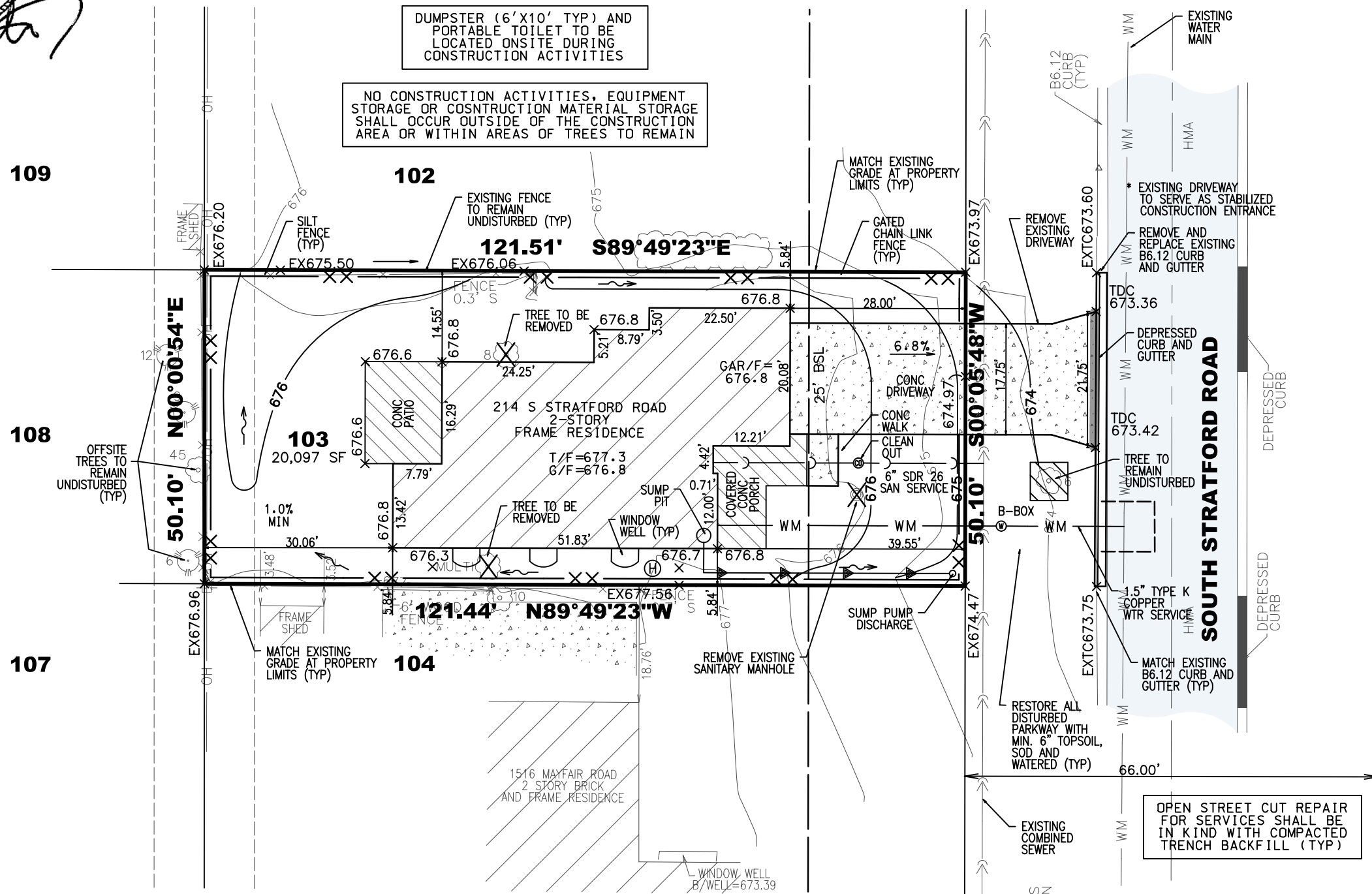
PROPOSED CONDITIONS:	EXISTING CONDITIONS:	
HOME STRUCTURE = 1,804.4 SF	HOME STRUCTURE = 1,040.3 SF	
GARAGE STRUCTURE = 0 SF	GARAGE STRUCTURE = 0 SF	
PORCH/PATIO = 376.4 SF	PORCH/PATIO = 176.3 SF	
DRIVEWAY = 846.6 SF	DRIVEWAY = 600.3 SF	
SIDEWALK = 41.3 SF	SIDEWALK = 71.6 SF	

TOTAL = 3,068.7 SF	TOTAL = 1,888.5 SF
50.4%	31.0%

ADDITIONAL IMPERVIOUS AREA = 1,180.2 SF

EROSION CONTROL NOTES:

- SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON THE SITE.
- VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO A GRAVEL DRIVE. SAID GRAVEL DRIVE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS ABOVE THE TOP OF FOUNDATION.
- ANY SOIL, MUD OR DEBRIS THAT IS WASHED, TRACKED, OR DEPOSITED ONTO THE STREET SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
- THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS NOT AT FINAL GRADE THAT WILL REMAIN UNDISTURBED FOR MORE THAN 15 DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION.
- IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL SHALL BE PROVIDED FOR SUCH STOCKPILE.
- STORM SEWER INLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER CONTROL DEVICES DURING CONSTRUCTION.
- WATER PUMPED OR OTHERWISE DISCHARGED FOR THE SITE DURING CONSTRUCTION DEWATERING SHALL BE FILTERED.



LEGEND

- | | |
|-------------|------------------------------------|
| BSL | BUILDING SETBACK LINE |
| P.U. & D.E. | PUBLIC UTILITY & DRAINAGE EASEMENT |
| N.A.S. | NO-ACCESS STRIP |
| L.R. | LANDSCAPE RESTRICTION |
| B/W | BOTTOM OF WALL |
| CB | CATCH BASIN |
| FES | FIRED END SECTION |
| FH | FIRE HYDRANT |
| G/F | GRADE AT FOUNDATION |
| GAR/F | GARAGE FLOOR |
| INL | INLET |
| MH | MANHOLE |
| TDC | TOP OF DEPRESSED CURB |
| TC | TOP OF CURB |
| T/F | TOP OF FOUNDATION |
| THC | TOP OF HANDICAP |
| T/S | TOP OF STAIR |
| T/W | TOP OF WALL |
| VV | VALVE VAULT |
| → | OVERLAND FLOOD ROUTE |
| → | STORMWATER FLOW DIRECTION |
| → | STORM SEWER LINE |
| → | SANITARY SEWER LINE |
| — WM — | WATER LINE |
| ⊕ | B-BOX |
| ⊙ | CLEAN OUT |
| — XX — | SILT FENCE |
| ● | BUILDING BOX OFFSET |

UTILITY NOTES:

- A 1 1/2" TYPE "K" COPPER WATER SERVICE IS REQUIRED ALL THE WAY TO THE EXISTING B-BOX. THE OLD SERVICE SHALL BE DISCONNECTED AT THE MAIN.
- SANITARY SERVICE TO BE 6" SDR 26 PVC AT 1.0% MINIMUM SLOPE. REUSE EXISTING SERVICE IF POSSIBLE.
- A SANITARY SEWER CLEANOUT WITH WATERTIGHT SCREW-DOWN CAP SHALL BE PROVIDED 10'-FEET OUTSIDE THE FACE OF BUILDING FOUNDATION.
- UNLESS IT CAN BE DEMONSTRATED THAT THE EXISTING SERVICE LINE IS OF SUFFICIENT CAPACITY, INTEGRITY, AND CONSTRUCTION TO MEET THE REASONABLE STANDARDS OF THE CITY, IT SHALL BE REMOVED AND DISCONNECTED AT THE MAIN/SEWER AND A NEW SERVICE SHALL BE INSTALLED.
- ALL SANITARY SEWER AND WATER MAIN WORK AND MATERIALS SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "STANDARD SPECIFICATION FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", CURRENT EDITION.
- ALL DOWNSPOUTS AND SUMP PUMP DISCHARGES SHALL SPLASH AT GRADE OR POP-UP.
- NO OPEN CUTTING OF ROADWAYS FOR UTILITY CONNECTIONS SHALL OCCUR WITHOUT AUTHORIZATION BY THE VILLAGE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.

GENERAL NOTES:

- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
- ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISIONS ARE SHOWN HERE ON. REFER TO THE DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS.
- COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT AND DISCREPANCIES TO THE SURVEYOR AT ONCE.
- NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENTS.
- CERTIFIED COPIES OF THIS SURVEY BEAR AN IMPRESSED SEAL.
- EXISTING WATER AND SANITARY SERVICES SHALL BE FIELD LOCATED AND PROPERLY REMOVED.
- INSTALL CHAIN LINK CONSTRUCTION FENCE, TREE PROTECTION FENCE AND EROSION CONTROL MEASURES PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- ALL TREE AND BRUSH REMOVAL TO BE DONE BY HAND WITH ALL STUMPS TO BE GROUND OUT, NOT BULDOZED.
- ALL DISTURBED AREAS TO BE RESTORED WITH MIN 6" TOPSOIL AND SOD OR PLANTED WITH APPROVED GROUND COVER WITHIN 30 DAYS OF SUBSTANTIAL COMPLETION OF STRUCTURE EXTERIOR.

SURVEYOR'S NOTES:

- THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
- BUILDING DIMENSIONS AND TIES SHOWN HEREON ARE MEASURED FROM THE OUTSIDE FACE OF CONCRETE FOUNDATION.
- ARCHITECTURAL PLANS DATED 08/15/2014.
- SURVEY IS BASED ON FIELD WORK COMPLETED 09/05/2014.
- BEARINGS BASED ON ILLINOIS EAST STATE PLANE COORDINATE SYSTEM.

DRAINAGE CERTIFICATION

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SAID IMPROVEMENTS OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREA, OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICE SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY AS A RESULT OF THE CONSTRUCTION OF THE IMPROVEMENTS.

ENGINEER'S SIGNATURE



CLIENT:

EMERALD HOMES

2330 HAMMOND DRIVE
SCHAUMBURG, ILLINOIS, 60173



Mackie Consultants, LLC
9575 W. Higgins Road, Suite 500
Rosemont, IL 60018
(847)696-1400
www.mackieconsult.com

			DESIGNED	KJM
			DRAWN	KJM
			APPROVED	MTB
11-14-14	REVISED FOR ADDITIONAL DETAILS & NOTES	KJM	DATE	09-12-14
10-07-14	REVISED GARAGE SIDE & HOME LOCATION	KJM	SCALE	1" = 20'
DATE	DESCRIPTION OF REVISION	BY		

SITE DEVELOPMENT PLAN
214 SOUTH STRATFORD ROAD
ARLINGTON HEIGHTS, ILLINOIS

SHEET	
1 OF 2	
PROJECT NUMBER:	2529
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ILLINOIS FIRM LICENSE 184-002694	

Mayfair Rd.



Subject Property



1516 Mayfair



214 Stratford



210 Stratford



202 Stratford



114 Stratford

S. Stratford Ave



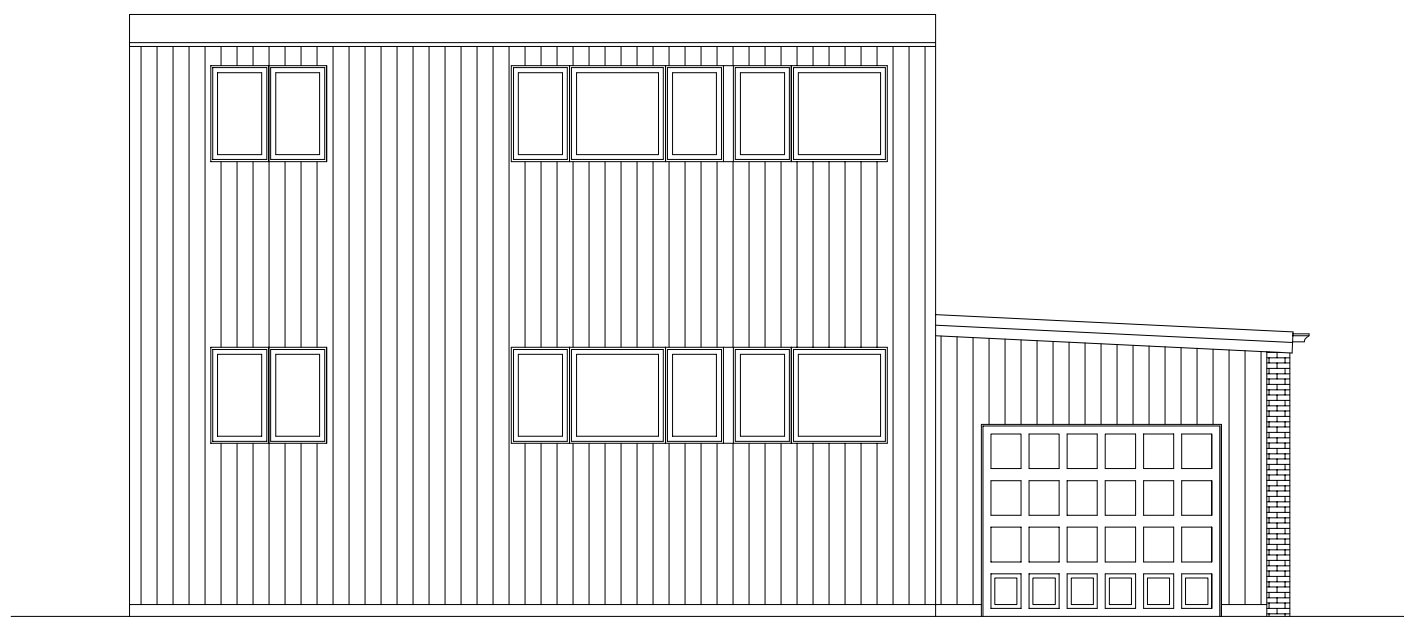
217 Stratford



215 Stratford



213 Stratford



3C
A202

EXISTING ELEVATION CONTEXT

1/8"=1'-0"



3D
A202

PROPOSED ELEVATION CONTEXT

1/8"=1'-0"

DESIGN STAGE		1	2	3	4	5
CONCEPTUAL DESIGN		8-15-14 CAS	8-27-14 CAS			
PRELIMINARY DESIGN		10-7-14 CAS				
DESIGN DEVELOPMENT		10-7-14 CAS				
FINAL REVIEW		10-7-14 CAS				
RELEASE FOR PERMIT		10-7-14 CAS				
REVISION		10-7-14 CAS				

DR. HORTON, INC.
214 SOUTH STRATFORD
ARLINGTON HEIGHTS, IL.

EXISTING ELEVATION CONTEXT
PROPOSED ELEVATION CONTEXT

Architects & Planners, Inc.
2600 Belton Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax 815-788-9201

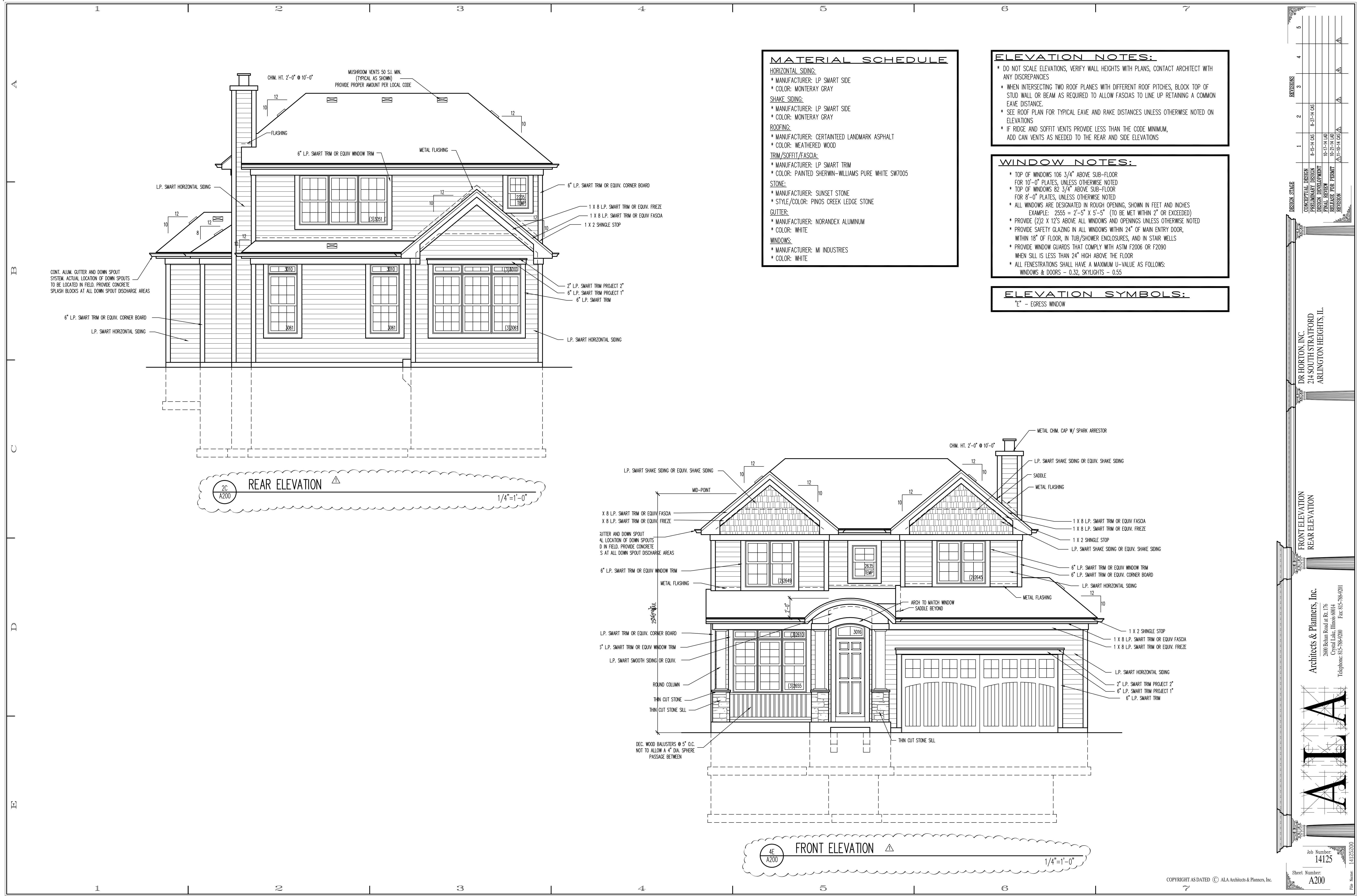
ALA

Job Number:
14125

Sheet Number:
A202

File Name: 14125002

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DESIGN STAGE

CONCEPTUAL DESIGN	8-15-14 CAS
PRELIMINARY DESIGN	8-27-14 CAS
DESIGN DEVELOPMENT	10-17-14 CAS
FINAL REVIEW	10-17-14 CAS
REVISIONS FOR PERMIT	10-17-14 CAS
REVISION	10-17-14 CAS

REVISIONS

12345

DR. HORTON, INC.

214 SOUTH STRATFORD

ARLINGTON HEIGHTS, IL.

FRONT ELEVATION

REAR ELEVATION

ALA

Architects & Planners, Inc.

2600 Belton Road at Rt. 176

Crystal Lake, Illinois 60014

Telephone: 815-788-9210 Fax 815-788-9211

Job Number:

14125

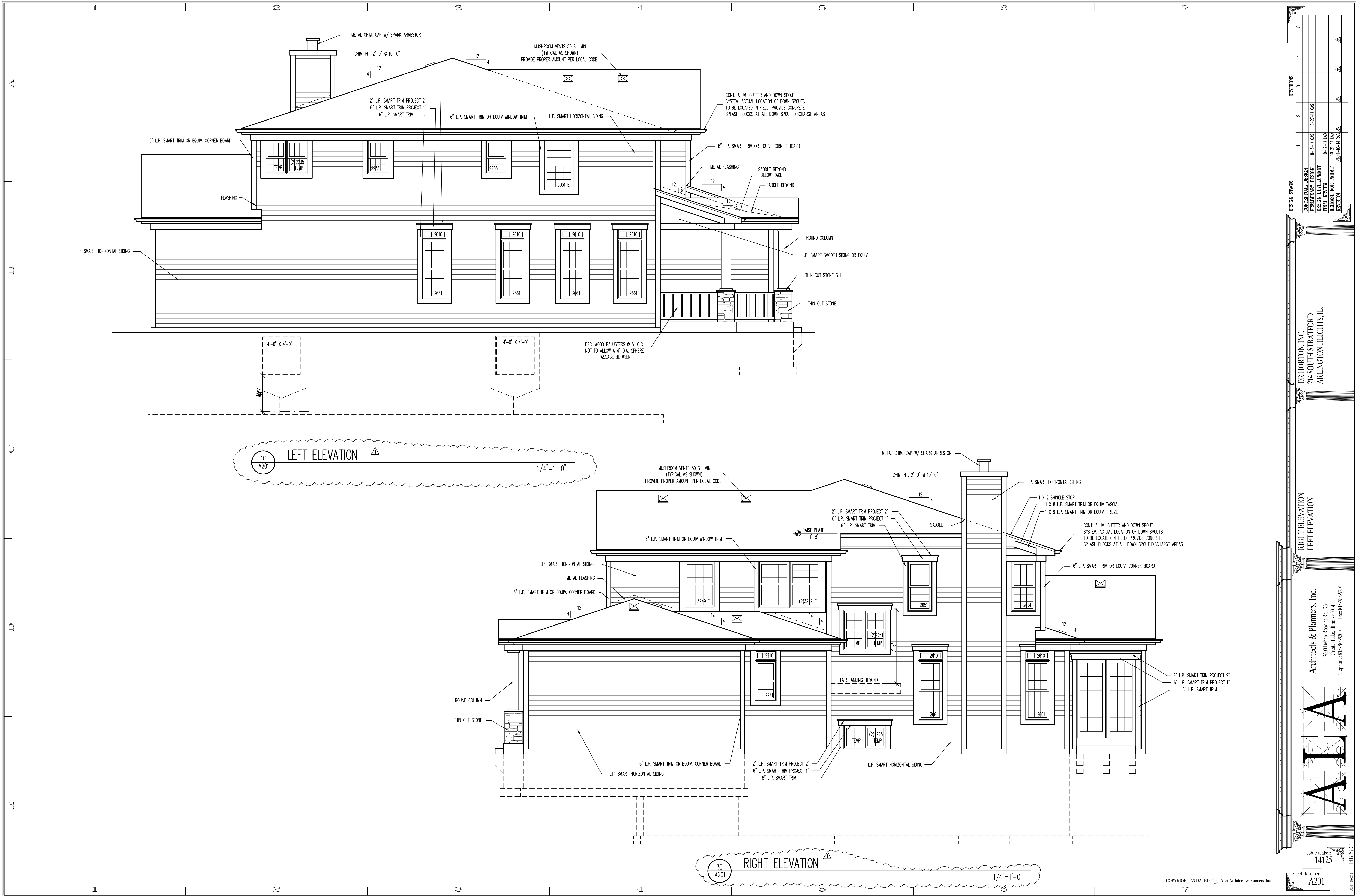
Sheet Number:

A200

File Name:

14125200

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1C
A201
LEFT ELEVATION
1/4"=1'-0"

3E
A201
RIGHT ELEVATION
1/4"=1'-0"

DESIGN STAGE		1	2	3	4	5
CONCEPTUAL DESIGN	8-15-14 CAS					
PRELIMINARY DESIGN	8-27-14 CAS					
DESIGN DEVELOPMENT	10-7-14 CAS					
FINAL REVIEW	10-15-14 CAS					
RELEASE FOR PERMIT	10-15-14 CAS					
REVISION						

DR. HORTON, INC.
214 SOUTH STRATFORD
ARLINGTON HEIGHTS, IL.

RIGHT ELEVATION
LEFT ELEVATION

Architects & Planners, Inc.
2600 Belton Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax 815-788-9201

ALA

Job Number: 14125
Sheet Number: A201
File Name: 14125201

Material Schedule

214 S Stratford Rd, Arlington Heights

Horizontal Siding – Manufacturer: LP Smart Side Color: Monterey Gray

Shake Siding - Manufacturer: LP Smart Side Color: Monterey Gray

Roofing – Manufacturer: Certainteed Landmark Asphalt Color: Weathered Wood

Stone - Manufacturer: Sunset Stone Style / Color: Pinos Creek Ledge Stone

Trim/Soffit/Facia – Manufacturer: LP Smart Trim Color: Painted Sherwin-Williams Pure White SW7005

Gutters – Manufacturer: Norandex Aluminum Color: White

Windows - Manufacturer: MI Industries Color: White



Item: DC#14-121 - 1528 N. Fernandez Pl. - SF/Teardown

Department: Planning & Community Development

REQUEST

Approval of the proposed architectural design for a new (teardown) single-family residence.

RECOMMENDATION

It is recommended that the Design Commission approve the design with the suggested revisions for the proposed new single-family residence to be located at 1528 N. Fernandez Place. This recommendation is subject to compliance with the architectural plans received on 11/06/14, and the following:

1. A recommendation to omit the raised eave on the right side elevation to reduce the wall height.
2. A recommendation to continue the stone wainscot down the side wall of the garage to the side door
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description	Type
Staff Report	Report
Drawings & Documents	Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 1528 N. Fernandez Pl.,
Project Address: 1528 N. Fernandez Pl.
Prepared By: Steve Hautzinger

Date Prepared: December 2, 2014

PETITION INFORMATION:

DC Number: 14-121
Petitioner Name: Tony Van Dijk
Petitioner Address: DR Horton Homes
800 S. Milwaukee Ave.
Libertyville, IL 60048
Meeting Date: December 9, 2014

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

The petitioner is proposing to demolish an existing one story home with a one car attached garage to allow the construction of a new two story residence with an attached two car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 12,228 square feet and the proposed residence will have 4,256 square feet. The project does comply with all R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 32 feet Side: 6.7 feet Side: 6.7 feet Rear: 30 feet	Front: 32.5 feet Side: 7.5 feet Side: 14 feet Rear: 30.6 feet
Building Height	25 feet to the midpoint	24.7 feet to the midpoint
FAR	5,329 SF	4,256 SF
Building Lot Coverage	4,280 SF	2,592 SF
Impervious Surface Coverage Total	6,114 SF	3,668 SF

The proposed house is located on a cul de sac in an existing neighborhood of primarily single story homes. This project is appearing before the Design Commission due to past concerns in this neighborhood regarding teardown/new construction, and to evaluate the proposed architectural design with the context of the neighborhood. The proposed home fits comfortably on the large cul de sac lot. Overall, the design of the home is nicely articulated with varied roof forms and materials, and a single story front porch. The hipped main roof form helps to diminish the mass of the home, but it is recommended to omit the raised eave on the right side elevation to reduce the wall height. Also, since the garage projects forward, it is recommended to continue the stone wainscot down the side wall of the garage to the side door.

RECOMMENDATION:

It is recommended that the Design Commission **approve the design with the suggested revisions** for the proposed new single-family residence to be located at 1528 N. Fernandez Place. This recommendation is subject to compliance with the architectural plans received on 11/06/14, and the following:

1. A recommendation to omit the raised eave on the right side elevation to reduce the wall height.
2. A recommendation to continue the stone wainscot down the side wall of the garage to the side door
3. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design

Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.

4. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

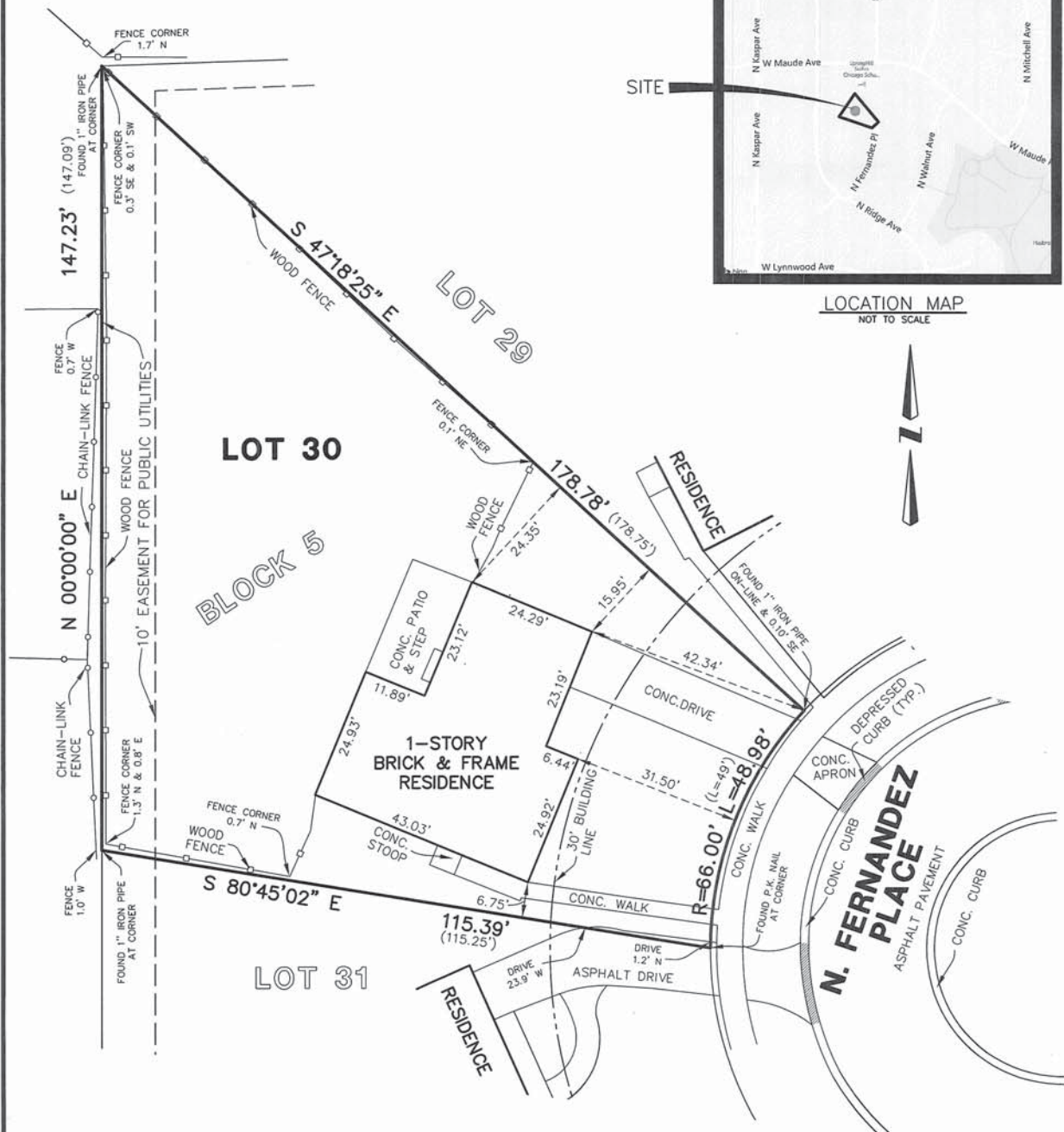
_____, December 2, 2014

Steve Hautzinger, Design Planner
Department of Planning and Community Development

c: Charles Witherington Perkins, Director of Planning and Community Development, James McCalister, Director Building & Health Services, Charley Craig, Building Services, Petitioner,
DC File 14-121

PLAT OF SURVEY

LOT 30 IN BLOCK 5 IN HASBROOK SUBDIVISION UNIT NO. 3 OF PART OF THE NORTHWEST 1/4 OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS



AREA

12,228 Sq. Ft. OR 0.28 ACRES (MORE OR LESS)

SURVEYORS NOTES:

- THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
- () DENOTES RECORD DIMENSION.
- BEARINGS HEREON SHOWN ARE ON AN ASSUMED BASIS.
- ORIGINAL CLIENT - D.R. HORTON
- ORIGINAL FIELD WORK COMPLETED - 10-22-14

GENERAL NOTES:

- DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF.
- NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
- ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISION ARE SHOWN HEREON. THERE MAY BE ADDITIONAL TERMS, POWERS, PROVISIONS AND LIMITATIONS CONTAINED IN AN ABSTRACT DEED, LOCAL ORDINANCES, DEEDS, TRUSTS, COVENANTS OR OTHER INSTRUMENTS OF RECORD.
- COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.



STATE OF ILLINOIS } SS
COUNTY OF LAKE }

WE, GREENGARD INC., DO HEREBY STATE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 24TH DAY OF OCTOBER, A.D., 2014

GREENGARD, INC.
111 BARCLAY BOULEVARD, SUITE 310
LINCOLNSHIRE, ILLINOIS 60069

JOSEPH R. SADOSKI
ILLINOIS
PROFESSIONAL LAND SURVEYOR NO. 3316
MY RENEWABLE LICENSE EXPIRES 11/30/14.

DATE	REVISIONS	BY
XX-XX-XX	XXXXX	HH



GREENGARD INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-2906
847/634-3883 E-MAIL: 231@greengardinc.com FAX: 847/634-0687

SCALE:	1"=20'
DRAWING NO.	60220
SHEET	1 OF 1

1528 N. FERNANDEZ - ARLINGTON HTS., ILLINOIS

PLAT OF SURVEY

LOT 30 IN BLOCK 5 IN HASBROOK SUBDIVISION UNIT NO. 3 OF PART OF THE NORTHWEST 1/4 OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS



A horizontal scale bar with a black line. Below the line, the text "SCALE IN FEET" is centered. Above the line, there are tick marks and numbers at 0, 10, 20, 30, and 40.

SOLE PROPERTY OF GREENGARD, INC. AND NO REPRODUCTION OR USE
IN WHOLE OR PART WITHOUT WRITTEN PERMISSION OF GREENGARD, INC.

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8478

1

6048048

DESIGNED BY:	DATE:
MS	10-24-14
CHECKED BY:	DATE:
DRF	10-24-14
APPROVED BY:	DATE:
DRF	10-24-14

GREENGARD, INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3600
PHONE: 847-634-3883
FAX: 847-634-0687
E-MAIL: 231@GREENGARDINC.COM
ILL. REGISTRATION NO. 184-0000

SCALE:	1"=10'
DRAWING No.	60220
SHEET	1 of 2

1528 N. FERNANDEZ PLACE – ARLINGTON HEIGHTS, ILL

EXISTING TOPOGRAPHY

LEGEND

- CONTOUR**
- SPOT ELEVATION
 - DECIDUOUS TREE W/DIA.
 - CONIFEROUS TREE W/DIA.
 - SANITARY MANHOLE
 - STORM MANHOLE
 - CATCH BASIN
 - INLET
 - WATER SERVICE BOX
 - VALVE & VAULT
 - FIRE HYDRANT
 - UTILITY POLE
 - LIGHT STANDARD
 - STORM CULVERT
 - SANITARY SEWER
 - STORM SEWER
 - WATER MAIN
 - DITCH
 - SWALE
 - DIRECTION SURFACE DRAINAGE
 - FENCE
 - DOWNHILL

LEGAL DESCRIPTION

LOT 30 IN BLOCK 5 IN HASBROOK SUBDIVISION UNIT NO. 3 OF PART OF THE NORTHWEST 1/4 OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS

LOT COVERAGE TABLE

LOT AREA	12,228 S.F.
EXISTING	
HOUSE	1,637 S.F.
DRIVE	458 S.F.
WALK	175 S.F.
PATIO	273 S.F.
TOTAL	2,543 S.F. = 20.8%
PROPOSED	
HOUSE/PORCH	2,504 S.F.
WALK/STOOP	99 S.F.
DRIVE	608 S.F.
PORCH (OPTION)	160 S.F.
TOTAL	3,369 S.F. = 27.6%

Tree Preservation Survey					DR Horton 1528 N Fernandez Arlington Heights IL	
TAG #	SIZE	SPECIES	CONDITION (1=BEST - 6=DEAD)	Form	NOTES / LOCATION	
76	12	Silver Maple	4	NA	Parkway	
77	22	Silver Maple	3	NA		
78	15	Ash	6	NA		
79	17	Siberian Elm	4	NA		
80	15	Ash	6	NA		
Lou Leggett Certified Arborist #177 Cell Phone: (847) 581-7061						

0 10 20 30 40
SCALE IN FEET

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DESIGNED BY:

DATE:

REVISIONS

DESIGNED BY:

DATE:

REVISIONS

DESIGNED BY:

DATE:

REVISIONS

DESIGNED BY:

DATE:

REVISIONS

DESIGNED BY:

DATE:

REVISIONS

DESIGNED BY:

DATE:

REVISIONS



GREENGARD, INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3623
PHONE: 847-634-3883 FAX: 847-634-0887
E-MAIL: 231@GREENGARDINC.COM
ILL. REGISTRATION NO. 184-000895

SCALE:

1"=10'

DRAWING NO.

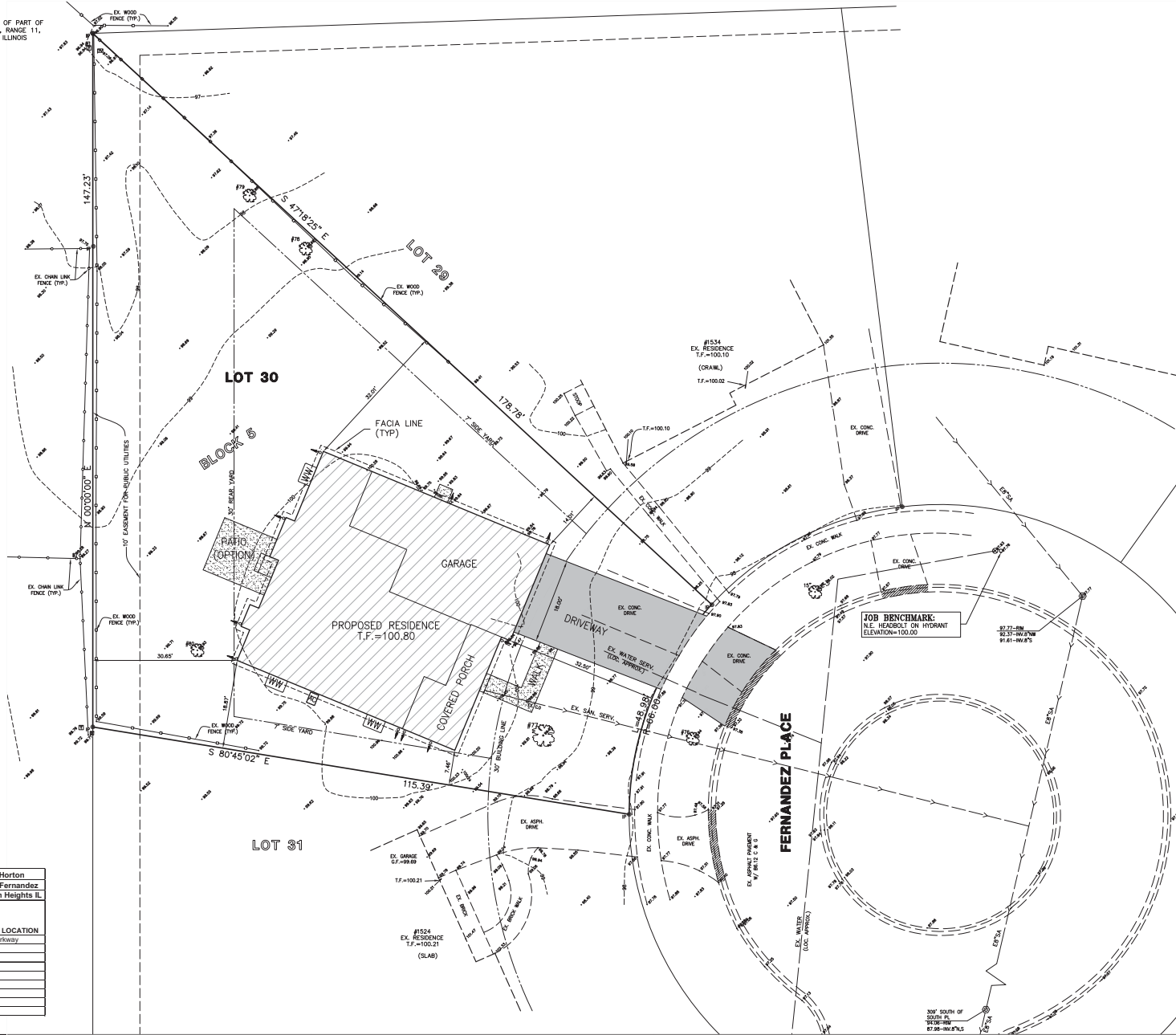
60220

SHEET

2 of 2

1528 N. FERNANDEZ PLACE - ARLINGTON HEIGHTS, ILL.

SITE PLAN



1516



1520



1524



1528

Subject Property



1534



North Fernandez Place

1537

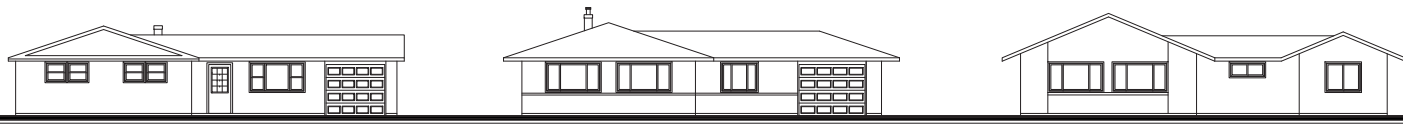


1527



1533





Existing Context Elevations

scale: 1/8" = 1'-0"



Proposed Context Elevations

scale: 1/8" = 1'-0"

1528 N. Fernandez Place - Arlington Heights, Illinois

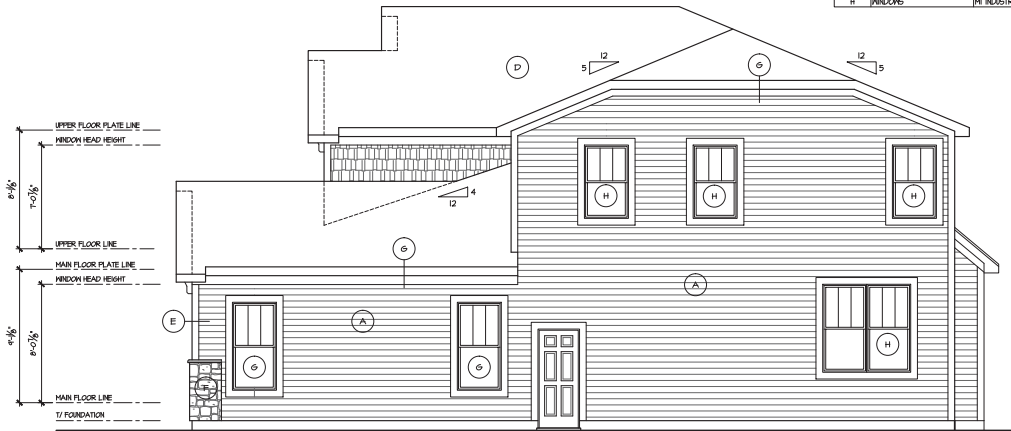
bsbdesign.com

The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.)

10-29-2014
© 2014 BSB Design, Inc.



KEY NOTE	MATERIAL	MANUFACTURER	COLOR
A	HORIZONTAL SIDING	LP SHAWT SIDE	ANTIQUE SILVER
B	SHINGLE SIDING	LP SHAWT SIDE	ANTIQUE SILVER
C	VERTICAL SIDING	LP SHAWT SIDE	SHERRIN HILLIAMS SYRTOOS
D	ROOFING	CERTANTITEE LANDMARK	SHIPWOOD
E	TRIM / SOFFIT / FACIA	LP SHAWT TRIM	SHERRIN HILLIAMS SYRTOOS
F	STONE	ENVIRONMENTAL STONEWORKS	STONE MOUNTAIN HACKETT
G	GUTTERS	NORANDEX ALUMINUM	WHITE
H	WINDOWS	HI INDUSTRIES	WHITE



Craftsman
Right Elevation
SCALE: 1/4"=1'-0"



ISSUE DATE:	10-20-2014
REVISIONS	



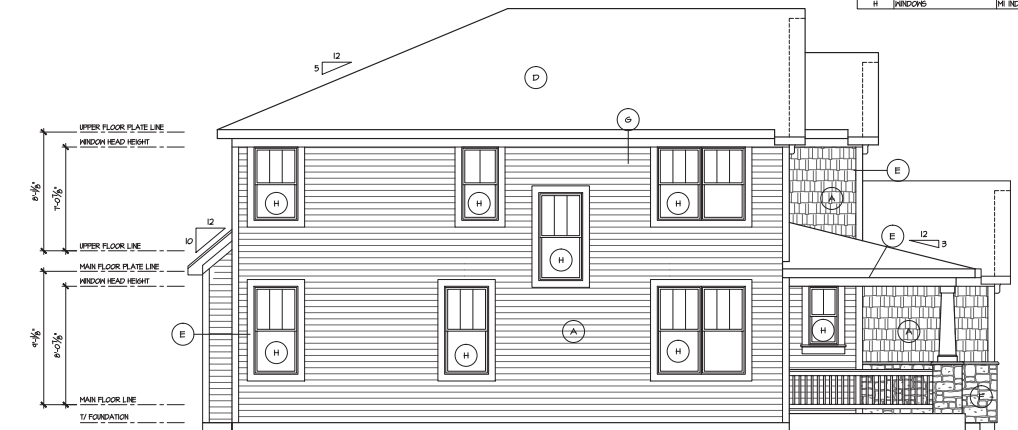
SF - Custom Residence
1528 N. Fernandez Place
Arlington Heights, IL 60004



JOB NO. 00212331 PRELIM. DR. EXTERIOR ELEVATIONS - FRONT AND RIGHT SIDE MATERIAL SCHEDULE ELEVATION NOTES

CRAFTSMAN
A3.1

KEY NOTE	MATERIAL	MANUFACTURER	COLOR
A	HORIZONTAL SIDING	LP SHART SIDE	ANTIQUE SILVER
B	SHINGLE SIDING	LP SHART SIDE	ANTIQUE SILVER
C	VERTICAL SIDING	LP SHART SIDE	SHERRIN HILLIAMS SYTOOS
D	ROOFING	CERTANTITEE LANDMARK	SHIPWOOD
E	TRIM / SOFFIT / FACIA	LP SHART TRIM	SHERRIN HILLIAMS SYTOOS
F	STONE	ENVIRONMENTAL STONEWORKS	STONE MOUNTAIN RACKETT
G	GUTTERS	NORANDEX ALUMINUM	WHITE
H	WINDOWS	HI INDUSTRIES	WHITE



**Craftsman
Left Elevation**
SCALE: 1/4"=1'-0"



**Craftsman
Rear Elevation**
SCALE: 1/4"=1'-0"

ISSUE DATE: 10-20-2014
REVISIONS

D.R. HORTON
ARCHITECT
P.C.
America's Builder

SF - Custom Residence
1528 N. Fernandez Place
Arlington Heights, IL 60004

BSB DESIGN
www.bsbdesign.com
1540 Dundas Road
Pleasanton, Illinois 60074
847.705.2200

JOB NO. 00212331 PRELIMINARY
DRAWN BY: JWH/DAK CHECKED BY: JWH/DAK
EXTERIOR ELEVATIONS -
REAR AND LEFT SIDE
MATERIAL SCHEDULE
ELEVATION NOTES

CRAFTSMAN
A3.2

Material Schedule

1528 N Fernandez Place , Arlington Heights

Horizontal Siding – Manufacturer: LP Smart Side Color: Antique Silver

Shingle Siding - Manufacturer: LP Smart Side Color: Antique Silver

Vertical Siding - Manufacturer: LP Smart Side Color: Painted Sherwin-Williams Pure White SW7005

Roofing – Manufacturer: Certaineed Landmark Asphalt Color: Driftwood

Trim/Soffit/Facia – Manufacturer: LP Smart Trim Color: Painted Sherwin-Williams Pure White SW7005

Stone - Manufacturer: Environmental Stoneworks Color: Stone Mountain Hackett Cut Stone

Gutters – Manufacturer: Norandex Aluminum Color: White

Windows - Manufacturer: MI Industries Color: White



Item: DC#14-122 - 634 S. Mitchell Ave. - SF/Teardown

Department: Planning & Community Development

REQUEST

Approval of the proposed architectural design for a new (teardown) single-family residence.

RECOMMENDATION

It is recommended that the Design Commission approve the design with the suggested revision for the proposed new single-family residence to be located at 634 S. Mitchell Avenue.

This recommendation is subject to compliance with the architectural plans received 11/06/14, and the following:

1. Omit the gable roof above the garage and provide a small dormer on the wall above the garage.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
3. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

ATTACHMENTS:

Description

Staff Report
Drawings & Documents

Type

Report
Exhibits

STAFF DESIGN COMMISSION REPORT

PROJECT INFORMATION:

Project Name: 634 S. Mitchell Ave.
Project Address: 634 S. Mitchell Ave.
Prepared By: Steve Hautzinger

Date Prepared: December 2, 2014

PETITION INFORMATION:

DC Number: 14-122
Petitioner Name: Tony Van Dijk
Petitioner Address: DR Horton Homes
800 S. Milwaukee Ave.
Libertyville, IL 60048
Meeting Date: December 9, 2014

Requested Action(s): Approval of the proposed architectural design for a new (teardown) single-family residence.

ANALYSIS:

Summary

The proposed design is being forwarded to the Design Commission for review to determine if it meets the standards, requirements, and intent of the Village of Arlington Heights Single-Family Design Guidelines, and Chapter 28 (Zoning Ordinance) of the Village of Arlington Heights Municipal Code.

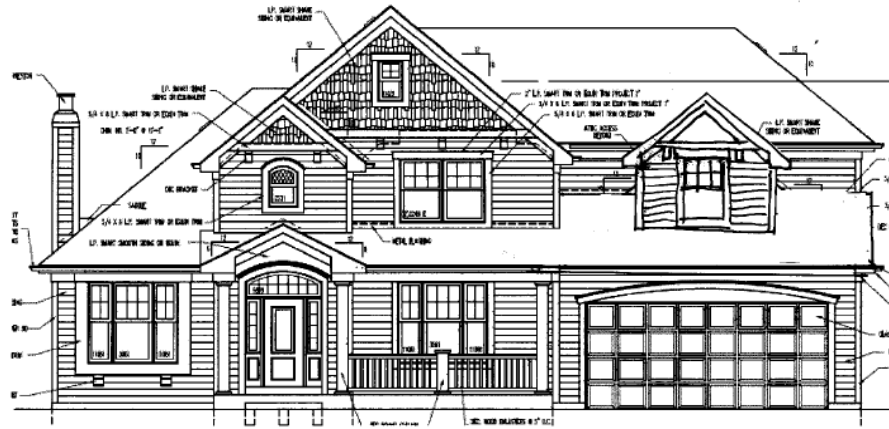
The petitioner is proposing to demolish an existing one story home with an attached one car garage to allow the construction of a new two story residence with an attached two car garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 9,917 square feet and the proposed residence will have 3,305 square feet. The project does comply with all R-3 zoning requirements as summarized below.

	ALLOWED	PROPOSED
Setbacks	Front: 27 feet Side: 7.5 feet Side: 7.5 feet Rear: 30 feet	Front: 28 feet Side: 7.54 feet Side: 7.5 feet Rear: 57.2 feet
Building Height	25 feet to the midpoint	25 feet to the midpoint
FAR	4,405 SF	3,305 SF
Building Lot Coverage	3,471 SF	2,470 SF
Impervious Surface Coverage Total	4,959 SF	3,286 SF

The proposed house is generally nicely designed with traditional details, varying roof forms, and a nice composition of materials. However, there is concern about the scale of the proposed house as it relates to the existing neighborhood which consists primarily of smaller scale one and two story homes. This concern is compounded because the subject site is elevated above the sidewalk level by approximately three feet. The proposed hipped roof does help to reduce the mass and ease the transition to the adjacent homes.

In regards to the proposed two car garage, there has been a trend recently for new homes with attached front loading garages to place large attic roofs above the garage which makes the garage the most prominent feature on the front of the house. The existing neighborhood has a mix of attached and detached garages, with the vast majority of attached garages being only one car. The proposed two car garage with gable roof will appear large and out of context on the streetscape, so it is recommended to omit the large gable roof and instead provide a small dormer on the wall above the garage. This change will diminish the mass of the garage and shift the focus of the design to the main part of the house.

The sketch below illustrates the suggested revision.



Suggested garage roof revision.

RECOMMENDATION:

It is recommended that the Design Commission **approve the design with the suggested revision** for the proposed new single-family residence to be located at 634 S. Mitchell Avenue. This recommendation is subject to compliance with the architectural plans received 11/06/14, and the following:

1. Omit the gable roof above the garage and provide a small dormer on the wall above the garage.
2. This review deals with architectural design only and should not be construed to be an approval of, or to have any other impact on, any other zoning and/or land use issues or decisions that stem from zoning, building, signage or any other reviews. In addition to the normal technical review, permit drawings will be reviewed for consistency with the Design Commission and any other Commission or Board approval conditions. It is the architect/homeowner/builder's responsibility to comply with the Design Commission approval and ensure that building permit plans comply with all zoning code, building permit and signage requirements.
3. Compliance with all applicable Federal, State, and Village codes, regulations and policies.

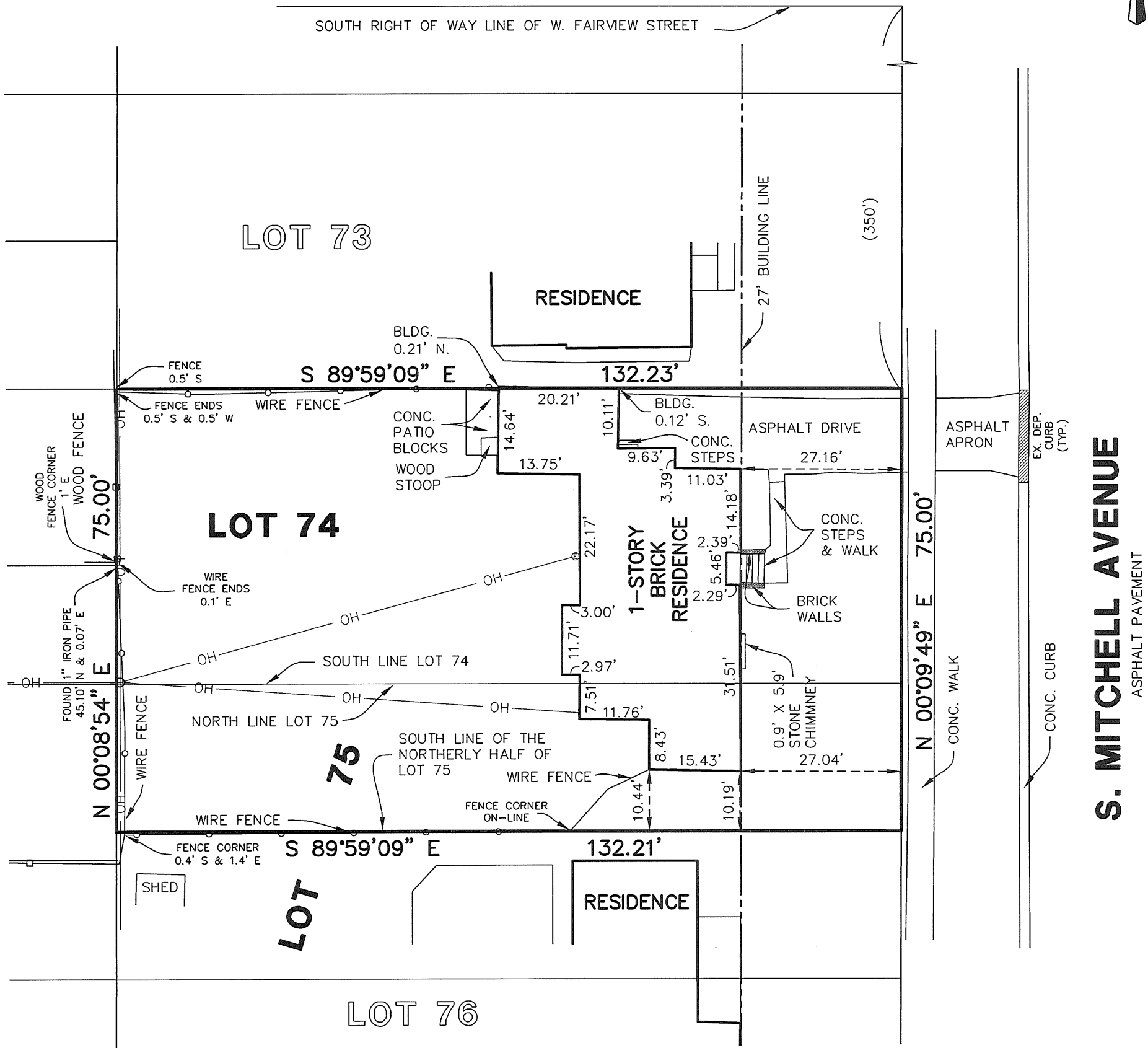
December 2, 2014

Steve Hautzinger, Design Planner
Department of Planning and Community Development

C: Charles Witherington Perkins, Director of Planning and Community Development, James McCalister, Director Building & Health Services, Charley Craig, Building Services, Petitioner, DC File 14-122

PLAT OF SURVEY

ALL OF LOT SEVENTY FOUR (74) AND THE NORTH ONE HALF (1/2) OF LOT SEVENTY FIVE (75) IN FAIRVIEW, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER (1/4) OF SECTION 31, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



LEGEND

- POWER POLE
- OVERHEAD LINES

SURVEYORS NOTES:

- THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
- () DENOTES RECORD DIMENSION.
- BEARINGS HEREON SHOWN ARE ON AN ASSUMED BASIS.
- ORIGINAL CLIENT- D.R. HORTON
- ORIGINAL FIELD WORK COMPLETED- 10-21-14

GENERAL NOTES:

- DISTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF.
- NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
- ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISION ARE SHOWN HEREON. THERE MAY BE ADDITIONAL TERMS, POWERS, PROVISIONS AND LIMITATIONS CONTAINED IN AN ABSTRACT DEED, LOCAL ORDINANCES, DEEDS, TRUSTS, COVENANTS OR OTHER INSTRUMENTS OF RECORD.
- COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.



AREA

9,917 Sq. Ft. OR 0.23 ACRES (MORE OR LESS)

STATE OF ILLINOIS }
COUNTY OF LAKE } SS

WE, GREENGARD INC., DO HEREBY STATE THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 28TH DAY OF OCTOBER, A.D. 2014

GREENGARD, INC.
111 BARCLAY BOULEVARD, SUITE 310
LINCOLNSHIRE, ILLINOIS 60069

JOSEPH R. SADOSKI
ILLINOIS
PROFESSIONAL LAND SURVEYOR NO. 3316
MY RENEWABLE LICENSE EXPIRES 11/30/14.

XX-XX-XX	XXXXX	HH
DATE	REVISIONS	BY

GREENGARD INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-2906
847/634-3883 E-MAIL: 231@greengardinc.com FAX: 847/634-0687

SCALE: 1"=20'

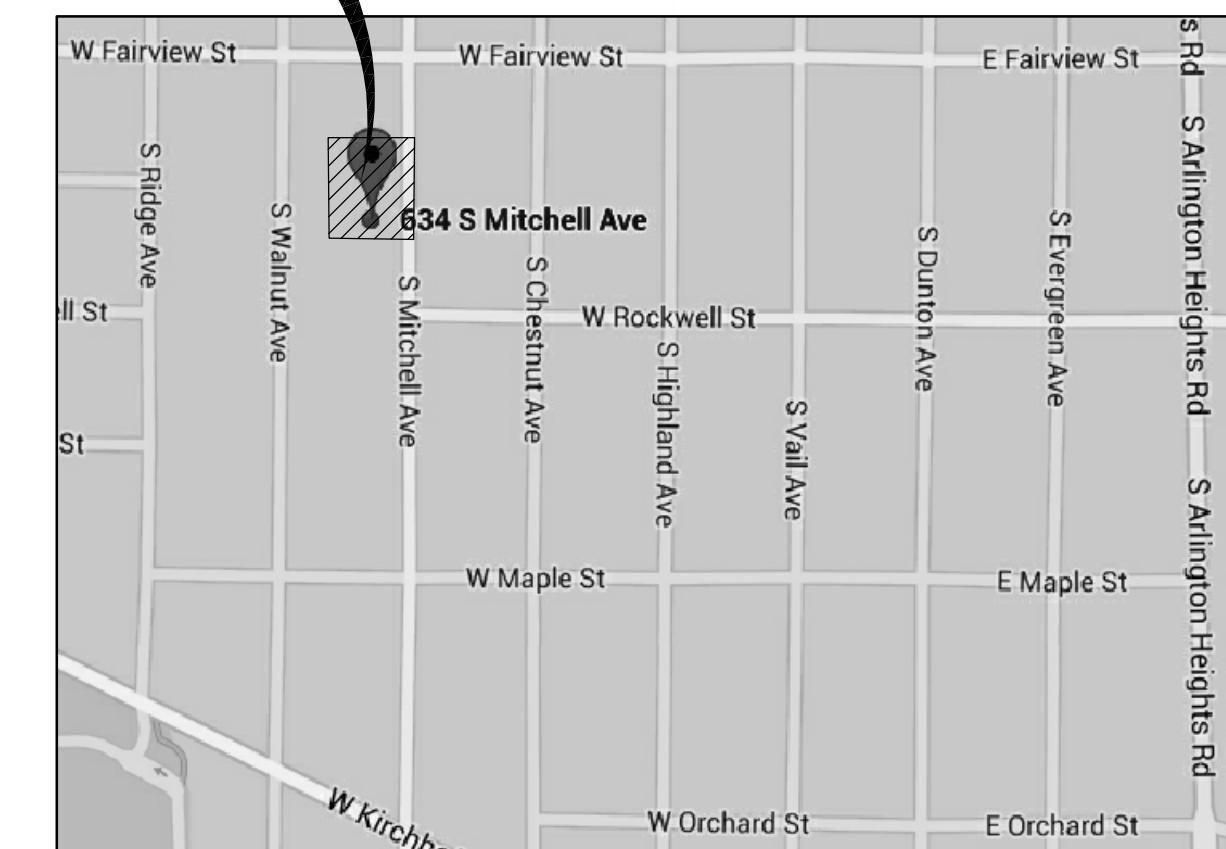
DRAWING No. 60221

SHEET 1 OF 1

634 S. MITCHELL AVE. - ARLINGTON HTS., ILLINOIS

PLAT OF SURVEY

ALL OF LOT SEVENTY FOUR (74) AND THE NORTH ONE HALF (1/2) OF LOT SEVENTY FIVE (75) IN FAIRVIEW, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER (1/4) OF SECTION 31, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



LOCATION MAP

SOURCE BENCHMARK:
VILLAGE OF ARLINGTON HEIGHTS
MONUMENT #66
ELEVATION=698.06

--- 104 ---	CONTOUR
X 105.08	SPOT ELEVATION
107°	DECIDUOUS TREE W/DIA.
12°	CONIFEROUS TREE W/DIA.
	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	INLET
	WATER SERVICE BOX
	VALVE & VAULT
	FIRE HYDRANT
	UTILITY POLE
	LIGHT STANDARD
	STORM CULVERT
— E8°SA —>	SANITARY SEWER
— E12°ST —>	STORM SEWER
— E6°W —>	WATER MAIN
	DITCH
	SWALE
	DIRECTION SURFACE DRAINAGE
	FENCE
	DOWNSPOUT

Tree Preservation Survey					DR Horton 634 S Mitchell Arlington Heights IL	
TAG #	SIZE	SPECIES	CONDITION 1 - 6 (1=BEST - 6= DEAD)	Form	NOTES / LOCATION	
81	17	Norway Maple	3	NA	Parkway	
82	9	Hackberry	3	NA		
83	6	American Elm	3	NA		
84	6	American Elm	3	NA		
85	14	Buckhorn	5	NA		
86	12	Buckhorn	4	NA		
87	8	Buckhorn	6	NA		
88	16	Buckhorn	5	NA		
89	9	Buckhorn	5	NA		
90	6	Buckhorn	5	NA		
Lou Leggett Certified Arborist #177 Cell Phone: (847) 561-7061						



SOLE PROPERTY OF GREENGARD, INC. AND NO REPRODUCTION OR USE

DRAWN BY: DATE:

REVISIONS

DRAWN BY: DATE:

REVISIONS

DESIGNED BY: MS	DATE: 10-23-14
CHECKED BY: DRF	DATE: 10-23-14
APPROVED BY: DRF	DATE: 10-23-14



GREENGARD, INC.
Engineers • Surveyors • Planners
111 Barclay Blvd., Suite 310, Lincolnshire, Illinois 60069-3623
PHONE: 847-634-3883 E-MAIL: 231@GREENGARDINC.COM
FAX: 847-634-0687 ILL. REGISTRATION NO. 184-00099

SCALE:	1"=10'
DRAWING No.	60221
SHEET	1 OF 2

634 S. MITCHELL AVENUE, ARLINGTON HEIGHTS, ILL.

EXISTING TOPOGRAPHY



646



642



636



634



626



622



618

Subject Property

S Mitchell Ave



633



631



625



A
B
C
D
E

1 2 3 4 5 6 7

1 2 3 4 5 6 7

REVISIONS

5	
4	10-14-14.00
3	9-25-14.00
2	9-17-14.00
1	9-16-14.00

DESIGN STAGE

CONCEPTUAL DESIGN	9-16-14.00
PRELIMINARY DESIGN	9-25-14.00
DESIGN DEVELOPMENT	11-2-14.00
FINAL REVIEW	10-29-14.00
REQUEST FOR PERMIT	11-4-14.00
REVISION	

OSTERHUES RESIDENCE

634 S. MITCHELL AVE.

ARLINGTON HEIGHTS, IL.

DR. HORTON, INC.

EXISTING ELEVATION CONTEXT

PROPOSED ELEVATION CONTEXT

ALA

Architects & Planners, Inc.

2600 Belton Road at Rt. 176

Crystal Lake, Illinois 60014

Telephone: 815-789-9200 Fax 815-789-9201

Job Number:

14174

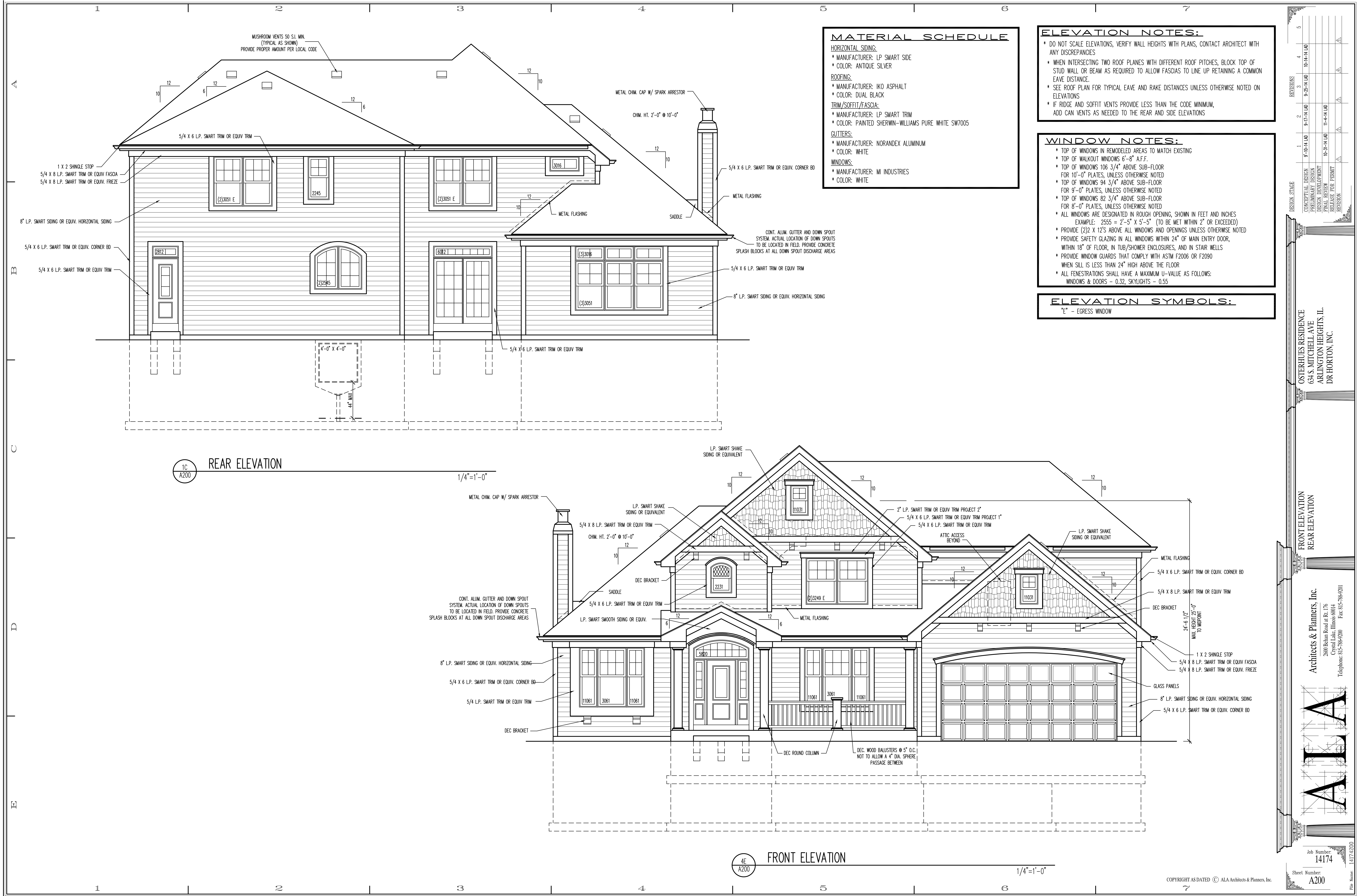
Sheet Number:

A202

File Name:

14174502

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MATERIAL SCHEDULE	
HORIZONTAL SIDING:	
* MANUFACTURER:	LP SMART SIDE
* COLOR:	ANTIQUE SILVER
ROOFING:	
* MANUFACTURER:	IKO ASPHALT
* COLOR:	DUAL BLACK
TRIM/SOFFIT/FASCIA:	
* MANUFACTURER:	LP SMART TRIM
* COLOR:	PAINTED SHERWIN-WILLIAMS PURE WHITE SW7005
GUTTERS:	
* MANUFACTURER:	NORANDEX ALUMINUM
* COLOR:	WHITE
WINDOWS:	
* MANUFACTURER:	MI INDUSTRIES
* COLOR:	WHITE

- ELEVATION NOTES:**
- * DO NOT SCALE ELEVATIONS, VERIFY WALL HEIGHTS WITH PLANS, CONTACT ARCHITECT WITH ANY DISCREPANCIES
 - * WHEN INTERSECTING TWO ROOF PLANES WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALL OR BEAM AS REQUIRED TO ALLOW FASCIAS TO LINE UP RETAINING A COMMON EAVE DISTANCE.
 - * SEE ROOF PLAN FOR TYPICAL EAVE AND RAKE DISTANCES UNLESS OTHERWISE NOTED ON ELEVATIONS
 - * IF RIDGE AND SOFFIT VENTS PROVIDE LESS THAN THE CODE MINIMUM, ADD CAN VENTS AS NEEDED TO THE REAR AND SIDE ELEVATIONS

- WINDOW NOTES:**
- * TOP OF WINDOWS IN REMODELED AREAS TO MATCH EXISTING
 - * TOP OF WALKOUT WINDOWS 6'-8" A.F.F.
 - * TOP OF WINDOWS 106 3/4" ABOVE SUB-FLOOR FOR 10'-0" PLATES, UNLESS OTHERWISE NOTED
 - * TOP OF WINDOWS 94 3/4" ABOVE SUB-FLOOR FOR 9'-0" PLATES, UNLESS OTHERWISE NOTED
 - * TOP OF WINDOWS 82 3/4" ABOVE SUB-FLOOR FOR 8'-0" PLATES, UNLESS OTHERWISE NOTED
 - * ALL WINDOWS ARE DESIGNATED IN ROUGH OPENING, SHOWN IN FEET AND INCHES
EXAMPLE: 2555 = 2'-5" X 5'-5" (TO BE MET WITHIN 2" OR EXCEEDED)
 - * PROVIDE (2)2 X 12'S ABOVE ALL WINDOWS AND OPENINGS UNLESS OTHERWISE NOTED
 - * PROVIDE SAFETY GLAZING IN ALL WINDOWS WITHIN 24" OF MAIN ENTRY DOOR, WITHIN 18" OF FLOOR, IN TUB/SHOWER ENCLOSURES, AND IN STAIR WELLS
 - * PROVIDE WINDOW GUARDS THAT COMPLY WITH ASTM F2006 OR F2090 WHEN SILL IS LESS THAN 24" HIGH ABOVE THE FLOOR
 - * ALL PENETRATIONS SHALL HAVE A MAXIMUM U-VALUE AS FOLLOWS:
WINDOWS & DOORS - 0.32, SKYLIGHTS - 0.55

ELEVATION SYMBOLS:

"E" - EGRESS WINDOW

DESIGN STAGE
CONCEPTUAL DESIGN
PRELIMINARY DESIGN
DESIGN DEVELOPMENT
FINAL REVIEW
REQUEST FOR PERMIT
REVISION

OSTERHUES RESIDENCE
634 S. MITCHELL AVE
ARLINGTON HEIGHTS, IL
DR HORTON, INC.

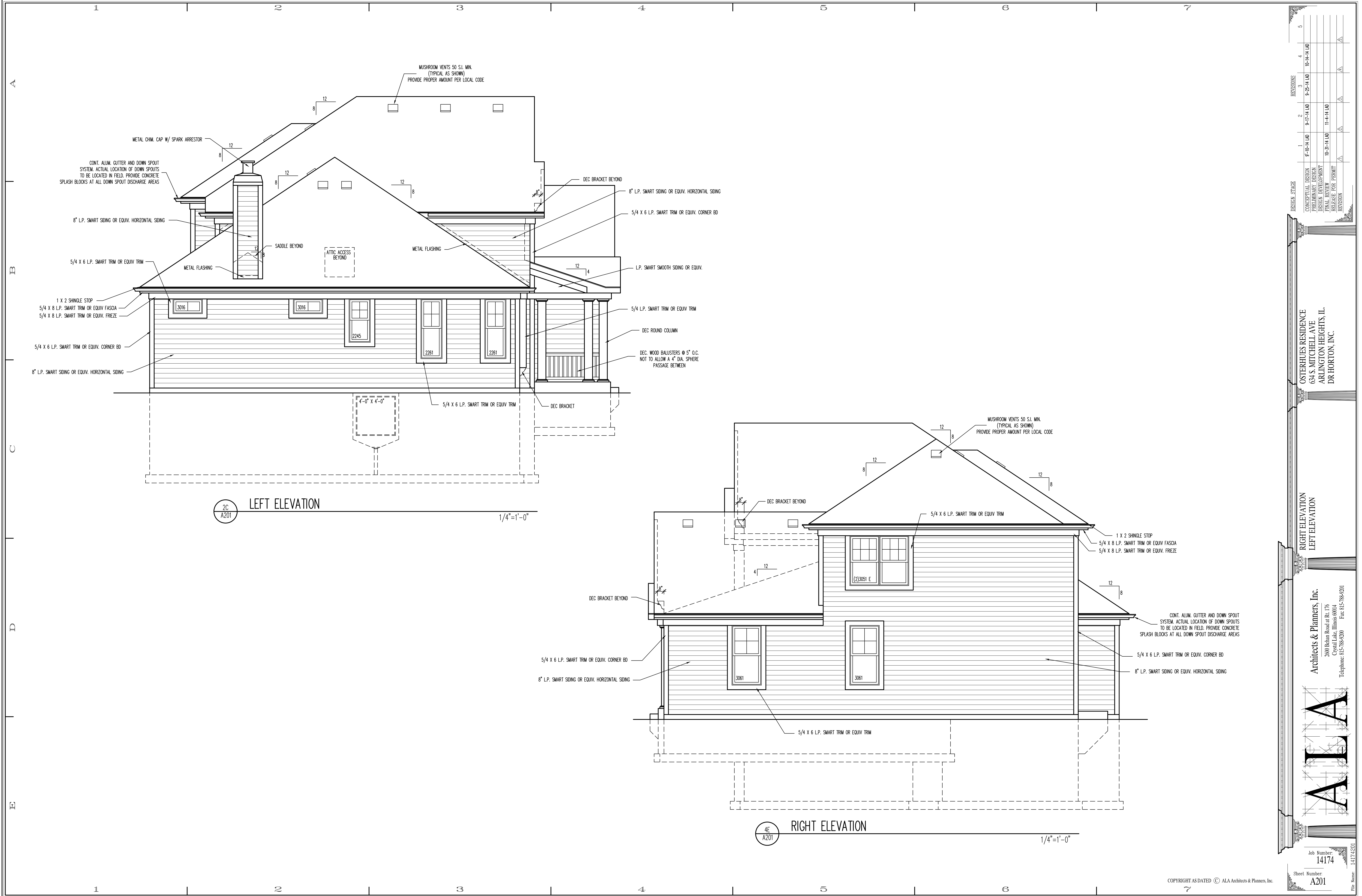
Architects & Planners, Inc.
2600 Belton Road at Rt. 176
Crystal Lake, Illinois 60014
Telephone: 815-788-9200 Fax 815-788-9201

ALA

Job Number:
14174

Sheet Number:
A200

File Name:
14174200



DESIGN STAGE	
CONCEPTUAL DESIGN	9-10-14 LAD
PRELIMINARY DESIGN	9-17-14 LAD
DESIGN DEVELOPMENT	9-25-14 LAD
FINAL REVIEW	10-3-14 LAD
RELEASE FOR PERMIT	11-4-14 LAD
REVISION	

OSTERHUES RESIDENCE
634 S. MITCHELL AVE
ARLINGTON HEIGHTS, IL
DR HORTON, INC.

RIGHT ELEVATION
LEFT ELEVATION

Architects & Planners, Inc.
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ALA

Job Number: 14174
Sheet Number: A201
File Name: 14174201

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Material Schedule

634 S Mitchell Ave, Arlington Heights

Horizontal Siding – Manufacturer: LP Smart Side Color: Antique Silver

Roofing – Manufacturer: IKO Asphalt Color: Dual Black

Trim/Soffit/Facia – Manufacturer: LP Smart Trim Color: Painted Sherwin-Williams Pure White SW7005

Gutters – Manufacturer: Norandex Aluminum Color: White

Windows - Manufacturer: MI Industries Color: White



Item: Budget FY2015
Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Budget FY2015	Exhibits

Name of Board or Commission: DESIGN COMMISSION
Chair: TED ECKHARDT

Name of Board or Commission: DESIGN COMMISSION
Chair: TED ECKHARDT