



Agenda
Village of Arlington Heights
Zoning Board of Appeals
Buechner Room, 1st Floor
Arlington Heights Village Hall, 33 S. Arlington Heights Rd.
October 16, 2023
7:00 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. 815 W. Sigwalt St. - 9/11/23
- B. 813 N. Hickory Ave. - 9/11/23
- C. 907 W. Braeside Dr. - 9/11/23
- D. 831 S. Dryden Pl. - 9/11/23
- E. 31 N. Wilshire Ln. - 9/11/23
- F. 2606 E. Warwick Ct. - 9/11/23

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. 919 S. Vail Ave. - ZBA#23-031
- B. 636 S. McKinley Ave. - ZBA#23-035
- C. 13 S. Ridge Ave. - ZBA#23-036
- D. 121 S. Dunton Ave. - ZBA#23-037

VII. OTHER BUSINESS

- A. Public Comment

VIII. PUBLIC COMMENT

IX. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Erin Mercado, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, emercado@vah.com or (847)368-5793.



Zoning Board of Appeals 10/16/2023

Item: 815 W. Sigwalt St. - 9/11/23

Department: Planning & Community Development Department

ATTACHMENTS:

Description	Type
815 W Sigwalt St - 9/11/23 Findings	Exhibits
815 W Sigwalt St - 9/11/23 Minutes	Minutes

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS SEPTEMBER 11, 2023

PETITIONER: Mundt Residence
ADDRESS OF PROPERTY: 815 W. Sigwalt St.
VARIATION: 10.2-11.1b (Parking in Yards – Driveway Width)

A 4.8' variation to allow a driveway with a width of 26.8' where a maximum width of 22' is permitted.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner testified that they have data from the Arlington Heights Engineering Department regarding traffic counts along Sigwalt Street. The petitioner explained that the volume of traffic on Sigwalt on June 2nd at 3:00 p.m. was 202 cars passing in front of the subject property. The petitioner testified that parking on the street is a safety concern. The petitioner further testified that Kasper Street, adjacent to the subject property, narrows which makes it difficult to park on the street.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Drake and seconded by Mr. Lanaghan. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Benjamin Jaffe, Acting Chair
Zoning Board of Appeals
Village of Arlington Heights

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 815 WEST SIGWALT STREET - ZBA #23-026

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 11th day of March, 2022 at the hour of
7:00 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Acting Chairperson
TOM DRAKE
JEFFREY LANAGHAN
JOSEPH GEISEL
JOSEPH SELBKA
FRANK PORTERA

ALSO PRESENT:

DEREK MACH, Development Planner

ACTING CHAIRPERSON JAFFE: Okay, I'd like to call this meeting of the Zoning Board of Appeals to order. Let's begin with roll call, please.

MR. MACH: Chairperson Siavelis.

(No response.)

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Here.

MR. MACH: Mr. Geisel.

COMMISSIONER GEISEL: Here.

MR. MACH: Mr. Jaffe.

ACTING CHAIRPERSON JAFFE: Here.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Here.

MR. MACH: Mr. Selbka.

COMMISSIONER SELBKA: Here.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Here.

ACTING CHAIRPERSON JAFFE: Let's recite the Pledge of Allegiance.

(Pledge of Allegiance recited.)

ACTING CHAIRPERSON JAFFE: All right, next up, we need to approve the minutes from last month's meeting.

Has everyone had an opportunity to review the minutes, and are there any changes needed?

(No response.)

ACTING CHAIRPERSON JAFFE: Hearing none, is there a motion to approve?

COMMISSIONER LANAGHAN: So moved.

ACTING CHAIRPERSON JAFFE: Is there a second?

COMMISSIONER DRAKE: Second.

ACTING CHAIRPERSON JAFFE: All in favor?

(Chorus of ayes.)

ACTING CHAIRPERSON JAFFE: All opposed?

(No response.)

ACTING CHAIRPERSON JAFFE: Okay, so now we're going to talk about the procedures which guide this hearing. So, first, if less than six members are present, the petitioner has the option to continue the meeting. It takes four affirmative votes to approve a variance regardless of the number of Board members in attendance. If denied, a petitioner cannot reapply for a whole year. So, tonight we have six members, so you would need to go four for six.

Second, there will be a Staff presentation which will be led by Derek. He'll provide an overview of the project and will describe the variances that are being requested.

At that point, the petitioner will need to explain the four elements necessary to establish in order for this Board to be able to grant the variance. These four elements are as follows:

1. That the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property;
2. That the plight of the owner is due to unique circumstances which may include the

length of time the subject property has been vacant as zoned;

3. That the proposed variation is in harmony with the spirit and intent of this chapter; and
4. That the variance requested is the minimum variance necessary to allow reasonable use of the property.

A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated. So, these are the four key pieces that were on the form that you completed. Again, we would ask that you be proactive and forthright in covering all four, but we will still have questions.

As far as the sequence of events, we will swear in the petitioner. The petitioner will have the opportunity to present those four pieces or four elements. There will be questions from this Board, and then we will allow any comments from the audience. If there are comments from the audience, the petitioner will have the right to respond to those comments, at which point we will close down the discussion for Board deliberation and will call for a motion and vote if approved.

With that, we can start with new business agenda item A, 815 West Sigwalt, Zoning Board of Appeals Case #23-026.

Can you state your name and address for the record, please?

MR. MUNDT: Yes. My name is Walt Mundt.

MRS. MUNDT: Cheryl Mundt.

MR. MUNDT: And we are the owners of 815 Sigwalt Street.

(Witnesses sworn.)

ACTING CHAIRPERSON JAFFE: Staff report?

MR. MACH: Thank you.

The Petitioner is proposing to increase the width of the driveway. The proposed expansion results in a driveway with a width of 26.8 feet where the maximum width allowed is 22 feet.

Therefore, they're requesting a 4.8-foot variation from Chapter 28, Section 10.2-11.1b to allow a driveway with a width of 26.8 feet where a maximum width of 22 feet is permitted. Thank you.

MR. MUNDT: So, with that, the reason for our variance is a safety issue. Our current driveway is approximately 25 feet long by 16 feet wide which doesn't allow us to park more than two cars on the driveway without overhanging on the sidewalk. For pedestrians, that's straight downtown, so we have a lot of walkers heading downtown.

As our elderly mother-in-law is currently residing with us, she's requiring some home health provider. So, in turn, we have currently more than four cars in or around our house on any given day.

Our driveway, since it resides on Sigwalt, is currently one of the smallest driveways in the neighborhood, and it places us in a unique situation whereby we're only able to park two cars, as I mentioned, in the driveway at one point in time. Sigwalt narrows significantly in front of our house, so we don't park a car in the front. The expansion will allow us to park an additional car in the driveway and wouldn't pose any concern since our nearest neighbor has no objection and we're not encroaching on the setback line.

I do have some additional data that was provided me by the Arlington Heights Engineering Department if you'd like, but that's the justification. Before there's any questions, I just want to make sure, if you want me to go forward, I do have some significant data that will further justify our position.

ACTING CHAIRPERSON JAFFE: Tom, you have lead.

COMMISSIONER DRAKE: Yes, I'd like to hear that. I'm sure we all would.

MR. MUNDT: Yes. So, I'd like to present the facts and additional information provided me by the Arlington Heights Engineering Department to support this request. So, as I stated, this is a significant safety concern, not only for our family but our friends and guests.

We're unable to park a car in front of our house. So, if you look, and I did see you had the Geo Earth up there, but our house is located on the southeast corner of Kaspar and Sigwalt. If you look at the northwest corner directly about 45 yards from our house, the street is 32 feet. It narrows six feet from the northwest corner to the southeast corner. So, that's approximately one-car width in terms of width overall. So, this means that if a car is parked in front of our home, you cannot proceed in both directions and this has led to a near miss in front of our house which was registered with the Arlington Heights Police Department.

I also presented this information to the Arlington Heights Engineering team and found out the following information. The volume of traffic on Sigwalt posted by the Arlington Heights Engineering Department on June 2nd at 3:00 p.m. was 202 cars passing in front of our house. So, the minimum, I requested to see if we could get a stop sign, the minimum is 300. If you compare that to some of the side streets which is literally one-fifth of the amount of traffic, it's significant. Then when you compound that with the speed on Sigwalt, the cars are traveling anywhere from 30 to 35 miles. There's a traffic study that's currently underway by the Village to validate the estimate because they are concerned about the speed also at that point in time.

So, if you look at the narrowing from 32 feet to 24 and it goes for two blocks, the average driveway in those two blocks is over 900 feet. So, our variance is significantly less than the remainder. If you look at the corresponding street on Campbell, that's 18 feet wider than where it's at at our house.

So, again, I'm just asking for a variance to where we can safely park our car on our property. Thank you.

COMMISSIONER DRAKE: Thanks for sharing that information, we appreciate it. Just a couple of other questions. How many drivers are there in your home? You mentioned four cars?

MR. MUNDT: There are three drivers in our house, and then we have a home healthcare provider that comes in.

COMMISSIONER DRAKE: Okay, and you mentioned the neighbor that would be nearest to where you want to add onto the driveway has no objection?

MR. MUNDT: No objections.

COMMISSIONER DRAKE: Any other neighbor feedback?

MR. MUNDT: Actually, I've gotten positive neighbor feedback because of the fact that they know this is a safety issue. So, anybody on Sigwalt I've communicated this and they have no objections. The houses on Salem, all within the PINs that I surveyed, the average driveway on Salem is over 800 square feet. The average driveway on Kaspar is over 700 square feet. So, it's still within the remaining character of the neighborhood to my request.

COMMISSIONER DRAKE: Okay, and how long have you been in the residence?

MR. MUNDT: 2020 was when we bought the house.

COMMISSIONER DRAKE: That's all I have.

ACTING CHAIRPERSON JAFFE: I had one question and it was actually on this page. So, the dimensions of the existing driveway as listed are 26 feet by 16 feet, is that correct?

MR. MUNDT: Correct.

ACTING CHAIRPERSON JAFFE: So, then below that, it says you're extending the east side of the drive eight feet nine inches, is that correct? Because if I add that together, then it would be a total width of 24 feet 10 inches, and I think you're requesting, what, 26.9?

MR. MUNDT: We're requesting 26, but I know this was revised based upon the request. So, it is 26 feet, I just don't know what the inches are.

COMMISSIONER DRAKE: 26.8 is what our papers say.

MR. MUNDT: So, 26.8 would be the request.

COMMISSIONER GEISEL: But they're also extending to the other side of it.

ACTING CHAIRPERSON JAFFE: Okay, oh, I see what you mean.

COMMISSIONER GEISEL: So, you've got 10-foot-nine that you're adding to the 16 feet, so you're --

COMMISSIONER LANAGHAN: A little bit on each side.

MR. MUNDT: I do have one drawing, but it's similar to that, but again, I had made this request with some adjustments based upon the fact that I now had to go back to the Zoning Board.

ACTING CHAIRPERSON JAFFE: Okay, yes. Mr. Geisel pointed it out, the other two feet, so thank you.

COMMISSIONER LANAGHAN: And my question was along the same line. So, at one point we're asking for a 4.8-foot variance to go to 26.8 feet, and there is another spot in here where we're asking for nine to go to 31?

MR. MUNDT: No, it's not 31.

COMMISSIONER LANAGHAN: You were going 4.8 to 36.8, or 26.8, excuse me.

MR. MUNDT: So, it's going to be, because we're widening on both sides as you see from the color. Two feet on that side and then six feet, approximately four feet on that side for the total of six. Let me make sure I'm clear on that.

MR. MACH: It's, according to the plan, two feet on the west side and eight feet nine inches on the east side.

MR. MUNDT: Yes, which would coincide with the side. Yes.

COMMISSIONER LANAGHAN: Yes.

ACTING CHAIRPERSON JAFFE: I noticed that, too. Was your original plan to make it even wider?

MR. MUNDT: No. I mean, I came with, this is the third version of the plan. My original plan was to go with a wider driver, then I brought it back down. Then when I found out that I was going to have to go either way for a variance, I decided, knowing that if it was 24, I then went back to 26.8. So, it's the third iteration is why I'm having a little difficulty remembering.

COMMISSIONER DRAKE: And this is the third drawing?

MR. MUNDT: This, that is the third, actually I have the third drawing in front of

me. I don't know if that's what you have.

MR. MACH: Yes, I mean as far as I know this is the latest version. But it's 26.8 feet, it's got two feet on the west side --

MR. MUNDT: But yes, the dimensions are accurate, yes. Any other questions?

(No response.)

ACTING CHAIRPERSON JAFFE: Okay, thank you.

MR. MUNDT: Thank you.

ACTING CHAIRPERSON JAFFE: We're now going to see if there are any comments from the public. Is there anybody in the audience who wishes to comment on this petition?

(No response.)

ACTING CHAIRPERSON JAFFE: Okay, hearing none, we'll close it down for Board deliberation. Tom, do you want to take lead?

COMMISSIONER DRAKE: Yes, sure. I think the Petitioner has made a good case for the variance. There are not any Staff objections that we saw. I think he satisfied all four of our requirements. It's a reasonable request and I'm supportive.

ACTING CHAIRPERSON JAFFE: Any other comments?

(No response.)

ACTING CHAIRPERSON JAFFE: Is there a motion?

COMMISSIONER DRAKE: I'd move approval of this petition as presented.

ACTING CHAIRPERSON JAFFE: Is there a second?

COMMISSIONER LANAGHAN: Second.

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Geisel.

COMMISSIONER GEISEL: Yes.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. MACH: Acting Chair Jaffe.

ACTING CHAIRPERSON JAFFE: Yes.

Congratulations, your variance has been approved.

MR. MUNDT: Thank you.

ACTING CHAIRPERSON JAFFE: You're free to stay, but you're also welcome to leave.

MRS. MUNDT: Thanks so much.

MR. MUNDT: Thank you.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:13 p.m.)



**Zoning Board of Appeals
10/16/2023**

Item: 813 N. Hickory Ave. - 9/11/23

Department: Planning & Community Development Department

ATTACHMENTS:

Description	Type
813 N Hickory Ave - 9/11/23 Findings	Exhibits
813 N Hickory Ave - 9/11/23 Minutes	Minutes

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS SEPTEMBER 11, 2023

PETITIONER: Sommer Residence
ADDRESS OF PROPERTY: 813 N. Hickory Ave.
VARIATION: 5.1-3.3a, 5.1-3.3b (Required Minimum Yards)

A 5.0' variation to allow a front porch with front yard setback of 20.0' instead of the required 25.0' and an additional 1.0' for the eave; A 1.1-foot variation to allow a front porch with a side yard setback of 3.9 feet instead of the required 5.0 feet and an additional 1.0 feet for the eave.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they are proposing an open front porch. The petitioner testified that the proposed porch is in character with the neighborhood. The petitioner explained that there are homes nearby that have porches similar to what is proposed. The petitioner explained that the existing portico does not provide adequate protection from the elements.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Geisel and seconded by Mr. Selbka. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Benjamin Jaffe, Acting Chair
Zoning Board of Appeals
Village of Arlington Heights

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 813 NORTH HICKORY AVENUE - ZBA #23-028

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 11th day of March, 2022 at the hour of
7:13 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Acting Chairperson
TOM DRAKE
JEFFREY LANAGHAN
JOSEPH GEISEL
JOSEPH SELBKA
FRANK PORTERA

ALSO PRESENT:

DEREK MACH, Development Planner

ACTING CHAIRPERSON JAFFE: So, next agenda item B is 813 North Hickory Avenue, Zoning Board of Appeals Case #23-028.

Have you both signed in?

MRS. SOMMER: I have, you can. I'm Lonnie Sommer, he's Shawn, my husband. I kind of feel a little thrown with the wolves because we were working with the building company and they just sent us here.

ACTING CHAIRPERSON JAFFE: Please, when he's done signing in, I've got to swear you in.

MRS. SOMMER: Okay.

ACTING CHAIRPERSON JAFFE: And then Derek will cover the report.

MRS. SOMMER: Okay.

ACTING CHAIRPERSON JAFFE: So, again, for the record, both of your names are?

MRS. SOMMER: Lonnie Sommer.

MR. SOMMER: Shawn Sommer.

ACTING CHAIRPERSON JAFFE: And your address is?

MRS. SOMMER: 813 North Hickory Avenue.

(Witnesses sworn.)

ACTING CHAIRPERSON JAFFE: Okay.

MR. MACH: The Petitioner is proposing to add a front porch addition to the existing home. The proposed front porch is five feet deep by 19.3 feet in width, and the proposed front yard setback is 20 feet; however, per code, a front yard setback of 25 feet is required. In addition, the proposed front porch is encroaching 1.1 feet into the required side yard setback.

Therefore, they're requesting a five-foot variation from Chapter 28, Section 5.1-3.3a to allow a front porch with a front yard setback of 20 feet instead of the required 25 feet, and an additional one foot for the eave; as well as a 1.1-foot variation from Chapter 28, Section 5.1-3.3b to allow a front porch with a side yard setback of 3.9 feet instead of the required five feet, and an additional one foot for the eave. Thank you.

MRS. SOMMER: I don't recall the four things that we have to meet.

ACTING CHAIRPERSON JAFFE: So, they are, and Derek, maybe if you can pull up the document they completed? So, as a reminder, the four items are that the proposed use will not alter the essential character of the locality and will be compatible with the existing uses and zoning of nearby property. So, why don't we do one at a time?

MRS. SOMMER: Yes.

ACTING CHAIRPERSON JAFFE: So, why don't we speak to this one first?

MRS. SOMMER: We live in Hickory Avenue. There's been a lot of different builds. I have different iterations from the original homes from Arlington Farms. It's just a Cape Cod. We're requesting an open porch and we feel it's in character with where the neighborhood is moving. Most homes on the block have now porches. The exact same homes around the corner have the exact same porch that we're requesting.

Like I said, it's an open porch. We just wanted a more aesthetically pleasing and neighborly way to kind of connect with our neighbors. So, is that --

ACTING CHAIRPERSON JAFFE: That is number one, okay.

MRS. SOMMER: That's number one, great, all right.

ACTING CHAIRPERSON JAFFE: You're one for one.

MRS. SOMMER: One for one.

ACTING CHAIRPERSON JAFFE: Two, that the plight of the owner is due to unique circumstances which may include the length of time the subject property has been vacant as zoned.

MRS. SOMMER: We've lived in the house for 17, 18 years? Eighteen years now, has not been vacant. I'm not sure how that applies.

ACTING CHAIRPERSON JAFFE: Unique circumstances. So, is there anything unique about your property which creates a bit of a hardship.

MR. SOMMER: I mean I don't know if it's a hardship but, you know, a lot of these houses are getting torn down. We've lived there for a while, plan on staying, and are looking to just make some changes that keep us in the house for quite a while longer. So, yes, a lot of, you know, two houses, two or three houses within a house or two from us have, you know, similar have been torn down. We're looking to kind of keep our house but make some changes to it.

MRS. SOMMER: Yes. As the original character, obviously it was built before this law was created. So, the variance really is a couple of feet because our portico was three feet originally. So, we're asking for a little bit more, mostly because when you open the door for trick-or-treaters, you have to back them off the porch, you know. It's not practical.

ACTING CHAIRPERSON JAFFE: Okay, number three, that the proposed variation is in harmony with the spirit and intent of this chapter.

MRS. SOMMER: Absolutely. Porches are friendly, we read friendly, and this is an open one that anyone could just walk on to. That's what we're hoping for actually.

ACTING CHAIRPERSON JAFFE: And then finally, that the variance requested is the minimum variance necessary to allow reasonable use of the property.

MRS. SOMMER: Yes, I believe that it is the minimum because it allows for a door to swing open and for someone to remain on the porch before you invite them in.

COMMISSIONER GEISEL: A couple of questions if I could? Derek, right there, if you might just go to that, excuse me, the petition?

MR. MACH: Yes.

COMMISSIONER GEISEL: That petition is for the portico in the backyard? I'm struggling to make sense of the submittal.

MRS. SOMMER: A portico in the backyard?

COMMISSIONER GEISEL: Yes.

ACTING CHAIRPERSON JAFFE: Did you sign that document or your builder?

MRS. SOMMER: That's the builder I believe, yes.

COMMISSIONER GEISEL: Go to the top of the page there, Derek.

MRS. SOMMER: Right up, Erdmann Exteriors.

COMMISSIONER GEISEL: First it said building a pergola, then it says portico in their backyard.

MRS. SOMMER: Well, that's absolutely incorrect.

COMMISSIONER GEISEL: Okay, well, that's what I wanted to verify.

MRS. SOMMER: Yes.

COMMISSIONER GEISEL: As that does not support your request.

MRS. SOMMER: Absolutely, yes.

COMMISSIONER GEISEL: Further, I mean we certainly get the sense of what

you're trying to accomplish here, you've explained it. The elevations explain it. Yet, there is no dimension in the site plan that shows your current site and where the porch is going to end up relative to the size of your --

MRS. SOMMER: So, the dimensions?

COMMISSIONER GEISEL: It shows the size of the porch itself.

MRS. SOMMER: Yes.

COMMISSIONER GEISEL: It does not show the variances that you're asking for. So, that's where the, the clutter here was a little difficult to parse through. I think you've explained what you're trying to do readily, and I guess the bottom line is that to the south elevation, you're staying even with the existing home?

MRS. SOMMER: Exactly.

COMMISSIONER GEISEL: The existing porch comes out three feet, you're looking to do five.

MRS. SOMMER: Yes.

COMMISSIONER GEISEL: And go over to that side, okay.

MRS. SOMMER: Yes.

COMMISSIONER GEISEL: I think what you're looking for is understood at this point. I just wanted to verify some of those details.

MRS. SOMMER: Sure. I do also have a few letters from neighbors that would like to support with us.

COMMISSIONER GEISEL: You've got there, okay.

MRS. SOMMER: Yes.

COMMISSIONER GEISEL: So, go ahead if you would and tell us about that.

ACTING CHAIRPERSON JAFFE: Does that have to get entered in the record, does Derek have to read them?

MR. MACH: I can.

ACTING CHAIRPERSON JAFFE: Yes, and then those have to be entered as part of the case, so you won't get them back.

MRS. SOMMER: That's fine. That's fine.

ACTING CHAIRPERSON JAFFE: Okay, so why don't you hand them over to Derek and he can read them?

MRS. SOMMER: Sure.

MR. MACH: And certainly if you want copies, I can, you know --

MRS. SOMMER: Yes, I think they --

MR. MACH: To whom it may concern, I'm writing to support the variance requested by Lonnie Sommer, owner of the property at 813 North Hickory Avenue in Arlington Heights. I live across the street from the Sommers at 804 North Hickory Avenue. The Sommers are requesting a variance to replace an existing portico with a new front porch which will not meet Arlington Heights' minimum setback standard of 25 feet. I support the new porch/portico as it will blend with the newer home constructions up and down Hickory Avenue. The new porch is a neighborly feature which enhances familiarity with the neighbors and increases the attractiveness of the street. Sincerely, Linda Wyatt.

Dear Building Code Variance Director, we fully support the plans for a new porch and such facade at the above address. We believe it will be a nice improvement to the home at that address and to the neighborhood look and feel. Please approve the requested variance. Respectfully, Patrick Morani and Nancy Morani.

To whom it may concern, I'm writing in support of a porch addition for 813 North Hickory Avenue in Arlington Heights. The Sommers take care and pride in their home. It is a well thought out project. I believe a porch will add to the aesthetics of the house and be a welcome addition to our neighborhood. Thank you for your time. Laura Holman, 739 North Hickory.

COMMISSIONER GEISEL: Thank you. At this point, Derek, based upon, unless there's something I've missed, I would assume what I believe is the failure to capture those dimensions would be included in all the construction documents or the documents that would be required for the permit?

MR. MACH: They would be required as part of the permit. We do not -- I apologize, I'm not sure what was extracted here from this document. It possibly could be the information you're looking for which I suspect is part of the permit. Of course, they would be required to do, you know, proper diligence.

COMMISSIONER GEISEL: I would assume so. So, okay, with that, I think that's the end of my questions unless somebody else has some.

COMMISSIONER DRAKE: I just have, from a procedural standpoint, the fact that the petition in writing talks about the backyard versus something in the front, would they have to amend and resubmit that? Does that get handled downstream if we approve this, or what's the official way this is handled?

MR. MACH: It's really up to the Zoning Board. The Petitioner has addressed it as part of this hearing, but the Zoning Board can proceed however they would, you know, feel as best.

MRS. SOMMER: Also, if it's all right, we did have a previous permit for the concrete to be poured which has been done in the dimensions of the porch. So, it's possible they're not in here but, yes, that was approved by the Village before and after, the concrete has been poured.

COMMISSIONER SELBKA: I have one question.

MRS. SOMMER: Yes?

COMMISSIONER SELBKA: If you go to the petition? Derek, can you go to the petition?

For the unique circumstances, it says the setbacks as they currently stand make it impossible to put up a portico anywhere on the yard; is that accurate?

MRS. SOMMER: None of that is accurate. This is news to me. I have not seen this document.

COMMISSIONER SELBKA: So, isn't the hardship in your lot is that the portico that you're asking for is the one that will allow you to use the front yard as opposed to what was said in the written petition?

MRS. SOMMER: Yes. Yes.

COMMISSIONER SELBKA: Okay.

COMMISSIONER GEISEL: That's what I was trying to address in my initial questions.

COMMISSIONER SELBKA: Yes, I know.

COMMISSIONER GEISEL: A portico is not what's being constructed, it's a porch.

COMMISSIONER SELBKA: Right, so that was the other thing.

COMMISSIONER GEISEL: The entirety of that submittal is incorrect.

COMMISSIONER SELBKA: Okay.

COMMISSIONER GEISEL: Okay. All right, we have that addressed.

ACTING CHAIRPERSON JAFFE: Any other questions from the Board?

(No response.)

ACTING CHAIRPERSON JAFFE: Okay, why don't you have a seat and we'll see if there's any comments from the audience?

MRS. SOMMER: Okay, thanks.

ACTING CHAIRPERSON JAFFE: Thank you.

Is anyone present who wishes to speak to this petition?

(No response.)

ACTING CHAIRPERSON JAFFE: Okay, we can close it down for Board deliberation. Do you want to start?

COMMISSIONER GEISEL: Based on numerous previous requests for front porches, this is fairly minimal. I believe that it will serve the home well. Engineering has no objections and I see Design has suggested that it's appropriately designed. I'm in support of this.

COMMISSIONER SELBKA: I would be willing to agree with Member Geisel. The only thing is I think that they should submit at least a written petition where it sets forth the actual, what they're actually asking for just so that it's clearer down the road. I think it could even be done today if they wanted to, I mean just, you know, if we get a form, they could put in what they wanted and amend the petition.

ACTING CHAIRPERSON JAFFE: I think the Staff analysis is correct.

COMMISSIONER SELBKA: I think it is, yes. Yes, that's true. That's true, it just seems like, I worry about the validity of the variance if the written petition doesn't match what we're going to approve. So, that's my only real concern here. I almost prefer that they write up an amended petition which they could submit now and make part of the record just so we know, and it's very clear if anybody else looks at it, what we're voting on. I guess you could look at the transcript, you know, but the variances they're requesting I'm in favor of. I just don't know if the paperwork is a hang-up.

COMMISSIONER GEISEL: If, Joe, to your point, we were to condition approval based upon, for example, the project review transmittal as well as the Staff analysis document which is the first document here, I think these are properly defined, if we condition it based on this, I believe that would address your concern if you agree to that.

COMMISSIONER SELBKA: Yes. Derek, would that be, do you think, clear enough for the Village moving forward, that they understand the nature of the variance that's being provided?

MR. MACH: In my opinion, yes, and the variances have been read into the record.

COMMISSIONER SELBKA: All right, then I think that that's okay. My concerns have been addressed here.

ACTING CHAIRPERSON JAFFE: Folks, can you come back up to the podium? I want to ask a question and make sure you're safely heard. So, do you understand what's being said here?

MRS. SOMMER: I believe so, yes.

ACTING CHAIRPERSON JAFFE: Okay, so if we approve these two variances, we're going to ask that you resubmit a complete and accurate document as part of

the package. Are you good with that?

MRS. SOMMER: I'm fine with that. Yes.

ACTING CHAIRPERSON JAFFE: Okay, you can have a seat, thank you.

Any other comments?

(No response.)

ACTING CHAIRPERSON JAFFE: Is there a motion?

COMMISSIONER GEISEL: I'd move approval of the petition as noted on the Staff analysis page subject to the Petitioner making a corrected submittal to the actual petition.

COMMISSIONER SELBKA: Second.

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Geisel.

COMMISSIONER GEISEL: Yes.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. MACH: Acting Chair Jaffe.

ACTING CHAIRPERSON JAFFE: Yes.

Congratulations, your variances are approved.

MRS. SOMMER: Thank you.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:29 p.m.)



**Zoning Board of Appeals
10/16/2023**

Item: 907 W. Braeside Dr. - 9/11/23

Department: Planning & Community Development Department

ATTACHMENTS:

Description	Type
907 W Braeside Dr - 9/11/23 Findings	Exhibits
907 W Braeside Dr - 9/11/23 Minutes	Minutes

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS SEPTEMBER 11, 2023

PETITIONER: Brennan Residence
ADDRESS OF PROPERTY: 907 W. Braeside Dr.
VARIATION: 6.13-3 (Location of Fences) & 6.13-3a (Location of Fences-Front Yard)

A 3' variation to allow a 6' tall solid fence in the front yard (Kennicott Avenue), where code allows a 3' tall fence of open design.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that their front door and driveway face towards Braeside, but as zoned, the front yard is technically considered the Kennicott frontage. The petitioner explained that the front yard as defined by the zoning code functions as a side yard. The petitioner explained that landscaping will be provided on the streetside of the fence.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Lanaghan and seconded by Mr. Drake. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Benjamin Jaffe, Acting Chair
Zoning Board of Appeals
Village of Arlington Heights

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 907 WEST BRAESIDE DRIVE - ZBA #23-029

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 11th day of March, 2022 at the hour of
7:29 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Acting Chairperson
TOM DRAKE
JEFFREY LANAGHAN
JOSEPH GEISEL
JOSEPH SELBKA
FRANK PORTERA

ALSO PRESENT:

DEREK MACH, Development Planner

ACTING CHAIRPERSON JAFFE: Okay, next item is agenda item C, 907 West Braeside Drive, Zoning Board of Appeals Case #23-029.

MR. BRENNAN: I signed in, but she has to sign in as well.

ACTING CHAIRPERSON JAFFE: Sure. Okay, can you both state your names?

MR. BRENNAN: Yes, my name is Sean Brennan.

MS. GERZEVSKI: Crista Gerzevski.

ACTING CHAIRPERSON JAFFE: And your address?

MR. BRENNAN: 907 West Braeside Drive in Arlington Heights.

ACTING CHAIRPERSON JAFFE: Is it the same for you?

MS. GERZEVSKI: Yes.

(Witnesses sworn.)

ACTING CHAIRPERSON JAFFE: Derek?

MR. MACH: Thank you.

The Petitioner is proposing a six-foot tall solid fence in the front yard where code limits the height of fences to an open three-foot high fence. The fence is set back from the property line along Kennicott, and if the Zoning Board is supportive of the variance request, it is recommended that landscaping be provided on the street side of the fence.

The Petitioner is requesting a three-foot variation from Chapter 28, Section 6.13-3 and Chapter 28, Section 6.13-3a to allow a six-foot tall solid fence in the front yard where code allows a three-foot tall fence of open design. Thank you.

MR. BRENNAN: So, thanks for giving us the opportunity to explain the plans for the fence. First, I don't think that, I guess I should start off by saying that as zoned, our front door and our driveway face towards Braeside, but as zoned, our front yard is technically considered the Kennicott side. So, this fence would be on what we consider to be our side yard and what is apparently our side yard. So, first, I don't think that the fence will change the character of the neighborhood. We have some photos of other houses in the neighborhood that also have privacy fences on their side yard with landscaping in front of them.

Second, I think our situation is unique because our front door and our driveway face towards Braeside. Like I said, we consider that to be our front yard. We also would like to put up this fence because we do have a couple of concerns about vandalism as our house has already been vandalized twice, both related to Pride decorations. We'd like to enclose our path on our side yard with the fence that has our garbage and recycling bins on it. In addition, Kennicott sees a lot of traffic, especially from the Amazon warehouse down the street and with commuters. So, a fence will be helpful to reduce road noise.

So, then third, if I could just read Section 16.3c, it says for exterior side yards, let's see, fences shall be allowed in exterior side yards with the following limitations, a solid or open fence not exceeding the height of six feet, no closer than five feet to the perimeter lot, with landscaping a minimum of three feet high spaced a maximum of 48 inches on center, which is what we've planned to do for our fence here. Since our house faces Braeside, the fence would just be on the side yard. After asking our neighbors, most of them also, actually everyone I've asked also considers this to be our side yard.

So, last, while code for side yard states that a setback of five feet is required, we have set back our proposal 10 feet which will just allow us to surround our path and a mature tree with a rather significant root system. Then we also, as pictured here, plan

to, this is our concept picture, we plan to install landscaping in front of the fence, between the fence and the sidewalk.

Oh, and then, yes, I do have a letter from our immediate backyard neighbor you can see directly behind us in this photo here.

MR. MACH: To whom it may concern, my wife Cheryl and I live at 2715 North Kennicott Avenue which is next to Sean Brennan and Crista Gerzevski. We are aware of the plans to erect a fence on their property and support them building a fence on the Kennicott side of their house. Best regards, Dave Lovelock.

MR. BRENNAN: I also have some photos of other houses in the neighborhood. They're in black and white, but do you want these as well? I can --

ACTING CHAIRPERSON JAFFE: Unless you have a copy or any copy, you would be turning them in --

MR. BRENNAN: Yes, of course. Yes, sure.

ACTING CHAIRPERSON JAFFE: Thank you.

MR. BRENNAN: And then in addition to the one letter from the neighbor, we've also spoken to the neighbor on the other side of us on Braeside and across the street and a few other neighbors as well. The direct neighbors all approve, although we did get the written note from the one behind us, and all other neighbors seem to be in approval as well.

ACTING CHAIRPERSON JAFFE: So, I just have a few questions and we'll see what the other Board members have. So, how long have you lived in the property?

MR. BRENNAN: We bought the house in 2020; we've lived there since.

ACTING CHAIRPERSON JAFFE: How many people live in the house?

MR. BRENNAN: Just Crista and myself.

ACTING CHAIRPERSON JAFFE: Okay, I was going to ask about neighbors. It sounds like you've talked to most of them. All, it sounds like, are in support. Any neighbors raise any concerns?

MR. BRENNAN: No.

ACTING CHAIRPERSON JAFFE: All right, that's all I have.

Any other questions from the Board?

(No response.)

ACTING CHAIRPERSON JAFFE: None, okay. Thank you.

MR. BRENNAN: Thank you.

ACTING CHAIRPERSON JAFFE: Is there anybody present in the audience who wishes to comment on this petition?

(No response.)

ACTING CHAIRPERSON JAFFE: Okay, none being heard, we'll close it down for Board deliberation. I believe it's a reasonable request given the physical location of this property. All four of the elements were spoken to. Without any neighbor concern or comments that would negatively affect this proposal, I'd be inclined to support it as presented.

COMMISSIONER LANAGHAN: Yes, I tend to agree with you. I think corner side yards are always kind of difficult in that respect, and I completely understand that you would consider that to be your side yard even though it's technically your front yard. So, I think it's a reasonable request.

ACTING CHAIRPERSON JAFFE: Is there a motion?

COMMISSIONER LANAGHAN: I move to approve the variance as presented.

COMMISSIONER DRAKE: Second.

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Geisel.

COMMISSIONER GEISEL: Yes.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. MACH: Acting Chair Jaffe.

ACTING CHAIRPERSON JAFFE: Yes.

Congratulations, your variance is approved.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:37 p.m.)



**Zoning Board of Appeals
10/16/2023**

Item: 831 S. Dryden Pl. - 9/11/23

Department: Planning & Community Development Department

ATTACHMENTS:

Description	Type
831 S Dryden Pl - 9/11/23 Findings	Exhibits
831 S Dryden Pl - 9/11/23 Minutes	Minutes

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS SEPTEMBER 11, 2023

PETITIONER: Victor Residence

ADDRESS OF PROPERTY: 831 S. Dryden Pl.

VARIATION: 5.1-3.4 (Maximum Floor Area), 5.1-3.5a (Maximum Building Lot Coverage),
5.1-3.3b (Required Minimum Yards)

A 369 square foot variance to allow a Floor Area Ratio (FAR) of 3,804 square feet instead of the maximum allowed 3,435 square feet; A 209 square-foot variation to allow building lot coverage of 2,881 square-feet where 2,672 is the maximum allowed by code; A3.0' variation to allow an addition with a side yard setback of 2.8' instead of the required 5.8' and an additional 1.0' for the eave.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that the addition includes an expansion to the existing attached garage. The petitioner further explained that the lower level is included in the floor area ratio calculations since the basement is more than fifty percent above grade. The petitioner also explained that the neighbor to the south has a substantial side yard setback from their property line.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Lanaghan and seconded by Mr. Geisel. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Benjamin Jaffe, Acting Chair
Zoning Board of Appeals
Village of Arlington Heights

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 831 SOUTH DRYDEN PLACE - ZBA #23-030

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 11th day of March, 2022 at the hour of
7:37 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Acting Chairperson
TOM DRAKE
JEFFREY LANAGHAN
JOSEPH GEISEL
JOSEPH SELBKA
FRANK PORTERA

ALSO PRESENT:

DEREK MACH, Development Planner

ACTING CHAIRPERSON JAFFE: Next agenda item is D, it is 831 South Dryden Place, Zoning Board of Appeals Petition #23-030. Hello.

MR. FLUBACKER: How are you doing?

ACTING CHAIRPERSON JAFFE: Good, how are you?

MR. FLUBACKER: Good.

ACTING CHAIRPERSON JAFFE: State your name and address for the record.

MR. FLUBACKER: Robert Flubacker of Robert Flubacker Architects. Our address is 1895 Rohlwing Road in Rolling Meadows.

(Witness sworn.)

ACTING CHAIRPERSON JAFFE: We're going to let Derek go first.

MR. MACH: Thank you.

The Petitioner is proposing an addition to the existing split-level residence. The Petitioner is requesting a 369 square-foot variation for floor area ratio. In addition, they're requesting a 209 square-foot variance for the building lot coverage. Along the south property line, the proposed addition encroaches three feet into the required side yard setback.

Therefore, they're requesting: a 369 square-foot variance from Chapter 28, Section 5.1-3.4 to allow a floor area ratio of 3,804 square feet instead of the maximum allowed 3,435 square feet; in addition, a 209 square-foot variation from Chapter 28, Section 5.1-3.5a to allow building lot coverage of 2,881 square feet where 2,672 square feet is the maximum allowed per code; as well as a three-foot variance from Chapter 28, Section 5.1-3.3b to allow an addition with a side yard setback of 2.8 feet instead of the required 5.8 feet, and an additional one foot for the eave. Thank you.

MR. FLUBACKER: It's a unique circumstance where I get to do a second addition on a home. A couple of decades ago, we did a significant addition. My client is the current owner of the project and wants to do some expansion to create a better dining area at the main level, and also to get at least a quasi two-car garage. So, the addition includes a 10-foot wide by, I believe it's 20-foot deep one-car garage slot behind the existing one-car garage; hence, the request of the addition going to three-foot from the side lot line.

Another very unique aspect to this project is that it has a fully finished lower level which does not meet the basement criteria for being more than 50 percent below grade. If the basement floor were another foot lower, none of the basement space would be counted towards FAR, and that's a little over 1,100 square feet of space that gets calculated.

On our first addition, we added some basement space at the back of the house that was at that lower level and was not counted. In this addition, we're also adding a little bit of additional basement space that also is at that one-foot below the floor level and is not counted.

So, I guess I'd put it in front of the Board that that 1,100 square feet of lower level space does not have the same impact as 1,100 square feet of space that would be aboveground. In fact, if that basement were a foot lower, we would not be here at all. We'd be 600-700 feet under the FAR, and the exterior of the building would not be any different than what you see in front of you now.

As far as the side yard setback, there's a unique circumstance there that the neighbor to the south has a pretty substantial setback from their property line. So, when the garage is constructed at that three-foot line, the separation between that garage and the

adjacent homeowner will still be more than the accumulative setbacks of the two lots combined. Additionally, our front facade of the building, excuse me, the front facade of the building, when totaled across the front, is roughly the same as what the distance is between the two setbacks. So, we're not asking for a longer facade than would normally be allowed for the setbacks.

Rather than make a statement that this is in harmony with the intent of the Zoning Ordinance, I'm going to say it in the negative, that I don't see anything we're doing in this project that's different than the intent of the Zoning Ordinance. Setbacks, size, things like that are all within. The one kind of exception to that is the lot coverage. We're asking for a couple of hundred feet of additional lot coverage.

This is one of the codes that I'd love to see changed in Arlington Heights. There's a 30 percent lot coverage which penalizes people who go for more single-family living. This particular house has a main level master bedroom, and as a result has a much larger footprint than if it had a second level bedroom.

Let me give a for instance. If you had a 10,000 square-foot lot, using the 30-foot coverage, subtracting a 400-foot garage, you'd be able to build a 2,600 square-foot ranch. With the FAR at roughly 45 percent, you'd be able to build a 4,500 square-foot house if it was two stories. So, if that homeowner wants to build more on one level, which is becoming more and more prevalent in the houses we're doing, he's penalized by that lot coverage number of 30 percent.

So, with that, I'd be happy to answer any questions you might have.

COMMISSIONER LANAGHAN: All right, thanks, Bob. A couple of quick questions. How many people are living here at this point in time?

MR. FLUBACKER: You have two kids?

MR. VICTOR: Yes, two kids.

MR. FLUBACKER: Yes, four.

COMMISSIONER LANAGHAN: Four, and you've lived here approximately how long?

MR. VICTOR: Since 2020.

COMMISSIONER LANAGHAN: Got you. In general, I don't know that I have a ton of other questions. I mean, it's done very nicely. I do have concerns with some of the coverages. You've addressed your thoughts on that. I'm not, you know, the good news is Engineering is basically backing you on this one. They don't have an issue with the coverage that you're requesting, so that is one that I'm always very conscious of.

Now, I'm assuming you saw the Engineering report that requires, or is looking for fire rating and what have you because you are --

MR. FLUBACKER: The building, yes, yes.

COMMISSIONER LANAGHAN: Yes, so there's no issues with that in your mind?

MR. FLUBACKER: No, none at all.

COMMISSIONER LANAGHAN: Okay, that you're going to need a grading plan so that you see how close you're getting. In general, I think it's a well-done house. So, I don't really have any questions or concerns on this one.

ACTING CHAIRPERSON JAFFE: Any other comments from the Board?

(No response.)

ACTING CHAIRPERSON JAFFE: Thanks, you can have a seat. Is there

anybody present who wishes to comment on this petition? Go ahead.

MR. FLUBACKER: My client also spoke with the neighbor directly to the south. Apparently, he talked to them right as they were getting ready to go on a cruise, so they didn't have a chance to write a letter, but they're in support of the project.

ACTING CHAIRPERSON JAFFE: Okay, thank you.

Is there anybody in the audience who wishes to comment on this petition?

(No response.)

ACTING CHAIRPERSON JAFFE: Hearing none -- oh, I'm sorry, go ahead.

MR. MACH: Actually, I did receive one comment from a neighbor. To the Zoning Board of Appeals regarding the variance to the above address, I'm concerned about drainage. The last petition included a basement dug out, it was put around the enlarged house. The property was on higher grade with rain and snow all draining into my yard and water damage to my property that the Village needed to address. Jean Warskow, 827 South Dryden Place.

ACTING CHAIRPERSON JAFFE: So, that's the house to the north. Bob, can you, just a comment or respond to that?

MR. FLUBACKER: I think there has been a contentious relationship with both the previous homeowner and the current homeowner with this property. We'll be happy to look at it when we've got excavation equipment out there and they can easily, you know, resculpture the land to potentially get a better swale or better drainage out of that side of the house.

ACTING CHAIRPERSON JAFFE: Okay.

COMMISSIONER GEISEL: I'm confirming that the work that's proposed is on the south side of the home?

MR. FLUBACKER: Yes. There's nothing --

COMMISSIONER GEISEL: So, it's opposite this person who has written the letter?

MR. FLUBACKER: Right. There's nothing we're doing on the north side of the house at all.

ACTING CHAIRPERSON JAFFE: All right, so we're now closing it down for Board deliberation. Would you like to begin, Jeff?

COMMISSIONER LANAGHAN: Yes. Again, I think it's a well-done addition. I think, you know, Mr. Flubacker made some good points about the basement. That is kind of an interesting kind of quirk to the code. The fact that Engineering has no concerns with it also gives me comfort with this project. I'm in support.

COMMISSIONER GEISEL: I would agree. The distinction of the home being a split and the height of the basement level being counted --

COMMISSIONER LANAGHAN: I never knew that quite frankly until I was reading this the other day.

COMMISSIONER GEISEL: It directly has impact on this that has satisfied my concerns.

COMMISSIONER LANAGHAN: I agree.

ACTING CHAIRPERSON JAFFE: Okay, is there a motion?

COMMISSIONER LANAGHAN: I move to approve as presented.

COMMISSIONER GEISEL: Second.

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Geisel.

COMMISSIONER GEISEL: Yes.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. MACH: Acting Chair Jaffe.

ACTING CHAIRPERSON JAFFE: Yes.

Congratulations, your variance is approved.

MR. FLUBACKER: Thank you, all.

MR. VICTOR: Thank you.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:47 p.m.)



**Zoning Board of Appeals
10/16/2023**

Item: 31 N. Wilshire Ln. - 9/11/23

Department: Planning & Community Development Department

ATTACHMENTS:

Description	Type
31 N Wilshire Ln - 9/11/23 Findings	Exhibits
31 N Wilshire Ln - 9/11/23 Minutes	Minutes

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS SEPTEMBER 11, 2023

PETITIONER: Schreck Residence
ADDRESS OF PROPERTY: 31 N. Wilshire Ln.
VARIATION: 5.1-3.3a (Required Minimum Yards)

A 4.6' variation to allow a front porch with front yard setback of 24.8' instead of the required 29.4' and an additional 1.0' for the eave.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that the homeowners recently purchased the home and are proposing a new front porch. The petitioner testified that the variance is necessary due to the placement of the existing home. The petitioner explained that the porch would extend beyond the attached garage by approximately two feet.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Selbka and seconded by Mr. Lanaghan. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Benjamin Jaffe, Acting Chair
Zoning Board of Appeals
Village of Arlington Heights

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 31 NORTH WILSHIRE LANE - ZBA #23-032

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 11th day of March, 2022 at the hour of
7:47 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Acting Chairperson
TOM DRAKE
JEFFREY LANAGHAN
JOSEPH GEISEL
JOSEPH SELBKA
FRANK PORTERA

ALSO PRESENT:

DEREK MACH, Development Planner

ACTING CHAIRPERSON JAFFE: Next up, agenda item E, 31 North Wilshire Lane, Zoning Board of Appeals Case #23-032. Hi.

MR. LIRA: Hi.

ACTING CHAIRPERSON JAFFE: Would you both state your names?

MR. LIRA: Gary Lira, Lira & Associates.

MR. SCHRECK: Charlie Schreck.

ACTING CHAIRPERSON JAFFE: And your addresses?

MR. LIRA: 2015 South Arlington Heights Road, Suite 118C.

MR. SCHRECK: 31 North Wilshire Lane, Arlington Heights.

(Witnesses sworn.)

ACTING CHAIRPERSON JAFFE: Derek?

MR. MACH: Thank you.

The Petitioner is proposing to add a front porch addition to the existing home. The proposed front porch is seven feet deep by 27.8 feet in width, and the proposed front yard setback is 24.8 feet; however, per code, the required front yard setback is 29.4 feet.

Therefore, they're requesting a 4.6-foot variation from Chapter 28, Section 5.1-3.3a to allow a front porch with a front yard setback of 24.8 feet instead of the required 29.4 feet, and an additional one-foot for the eave. Thank you.

MR. LIRA: Hi. So, Charlie and his wife Kathy just recently purchased the home. The new porch will actually add to the character of the neighborhood and the locality as it will fit in very nicely with it.

We're dealing with the existing structure, that is our hardship. The house was built in the 1960's. So, in order to put a front porch on there, they are now downsizing. Just like the previous petition said, a lot of these homes, you know, residents now are going into one-story living. They are now downsizing into what will be their forever home and they want to make it that way and get more personal with the neighborhood. So, that's the need for this front porch that we're adding on here.

The front porch actually extends beyond the existing garage by like two feet three inches approximately, plus or minus. So, when it says that we're at seven feet, that's seven feet from the house, not the most front projection portion of the house. That's only about two-foot three inches. We think it's going to be a really nice addition to the neighborhood.

COMMISSIONER SELBKA: Yes, I have just a few questions. Derek, could you turn to the petition please?

When we go to the plight of the owner, the unique circumstances, I'm sorry, I couldn't hear your handwriting. The porch is?

MR. LIRA: Oh, it's utilizing the existing structure.

COMMISSIONER SELBKA: Oh, okay.

MR. LIRA: Sorry about that.

COMMISSIONER SELBKA: No, that's okay, that's okay.

MR. LIRA: You're not the only one who can't read it. My kids yell at me all the time.

COMMISSIONER SELBKA: Have you heard any objections from any neighbors about this?

MR. SCHRECK: We have not. In fact, the families on both sides and across

the street have shown support.

COMMISSIONER SELBKA: Okay. All right, that's the only questions I had.

ACTING CHAIRPERSON JAFFE: Any questions from the Board?

COMMISSIONER LANAGHAN: I guess my only question is you're putting a seven-foot porch on which is extending, you know, obviously into the front yard. I recognize that your garage is already kind of closer than most. What's the magic of a seven-foot porch?

MR. LIRA: Well, there's two reasons. When we look at front porches, the goal that we try to obtain is an eight-foot front porch. That's really ideal. When you start to get anything below six or smaller, for the amount of money that they're investing in this porch, it really just becomes decoration and not really usable.

COMMISSIONER LANAGHAN: So, in layman, explain to me why eight-foot is the standard and why seven is you're squeezing?

MR. LIRA: Because I was squeezing. Eight-foot is the standard for furniture placement and just usability of the porch. That's what we try to achieve, so I squeezed it down an extra foot because I --

COMMISSIONER LANAGHAN: So, seven-foot works reasonably well and --

MR. LIRA: Correct, it's not as ideal as eight.

COMMISSIONER LANAGHAN: Right.

MR. LIRA: But that's the reason why we went with seven-foot.

COMMISSIONER LANAGHAN: Okay, any other questions from the Board?

(No response.)

ACTING CHAIRPERSON JAFFE: Okay, you may have a seat please.

Anybody present who wishes to comment on this petition?

(No response.)

ACTING CHAIRPERSON JAFFE: Good, then we'll close it down for Board deliberation.

COMMISSIONER SELBKA: I'd be in favor of this. I think it's a relatively small request. The garage does sort of poke around as well over most of the length of this porch, and I did think it's a nice design. So, I would be in favor of this.

ACTING CHAIRPERSON JAFFE: Is there a motion?

COMMISSIONER SELBKA: Motion to approve.

COMMISSIONER LANAGHAN: Second.

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Geisel.

COMMISSIONER GEISEL: Yes.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. MACH: Acting Chair Jaffe.

ACTING CHAIRPERSON JAFFE: Yes.

Congratulations.

MR. LIRA: Thank you.

ACTING CHAIRPERSON JAFFE: Your variance is approved.

MR. LIRA: Have a good night.

ACTING CHAIRPERSON JAFFE: You, too. Take care.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:53 p.m.)



**Zoning Board of Appeals
10/16/2023**

Item: 2606 E. Warwick Ct. - 9/11/23

Department: Planning & Community Development Department

ATTACHMENTS:

Description	Type
2606 E Warwick Ct - 9/11/23 Findings	Exhibits
2606 E Warwick Ct - 9/11/23 Minutes	Minutes

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS SEPTEMBER 11, 2023

PETITIONER: Cielak Residence
ADDRESS OF PROPERTY: 2606 E. Warwick Ct.
VARIATION: 6.6-5.1 (Table of Permitted Obstructions)

A 7.0' variation to allow a deck with a rear yard setback of 8.0' from the north property line instead of the minimum required 15.0' feet.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that the lot is irregular in shape and that they are proposing to replace and expand the deck in the rear of the home. The petitioner testified that the deck is encroaching into the required 15-foot setback. The petitioner further testified that the existing deck is non-conforming.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Portera and seconded by Mr. Selbka. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

Benjamin Jaffe, Acting Chair
Zoning Board of Appeals
Village of Arlington Heights

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 2606 EAST WARWICK COURT - ZBA #23-033

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 11th day of March, 2022 at the hour of
7:53 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Acting Chairperson
TOM DRAKE
JEFFREY LANAGHAN
JOSEPH GEISEL
JOSEPH SELBKA
FRANK PORTERA

ALSO PRESENT:

DEREK MACH, Development Planner

ACTING CHAIRPERSON JAFFE: Okay, final agenda item of new business, item F, 2606 East Warwick Court, Zoning Board of Appeals Case #23-033. Hi.

MR. CIELAK: Hello, I'm Karl Cielak, homeowner of 2606 East Warwick Court.
(Witness sworn.)

ACTING CHAIRPERSON JAFFE: Derek?

MR. MACH: Thank you.

The Petitioner is proposing to replace their existing deck. Per code, decks must be a minimum of 15 feet from the rear property line. The proposed deck is eight feet from the rear property line.

Therefore, they're requesting a seven-foot variation from Chapter 28, Section 6.6-5.1 to allow a deck with a rear yard setback of eight feet from the north property line instead of the minimum required 15 feet. Thank you.

MR. CIELAK: Okay, I live in the neighborhood called the Courts of Russetwood. That's what they are, they're courts. Everything is in a cul-de-sac. So, there is no square property lot, they're all pie-shaped. When it was built, all the houses were tucked back to one corner of the property.

If I were to build a deck with the 15-foot required, the deck would be unusable. I believe majority of the properties in the neighborhood have the same issue. You just can't, the lots are too close together the way they're all packed, like shoe-horned there.

So, my existing deck which was there when I purchased the home in 2011 does not have the 15-foot as is. So, right off the bat it's not to code. But after, you know, the deck was there when I purchased the home, it's been 12 years. It's pretty much unsafe at this point, it needs to come out.

I'd like to replace it with only making a couple of minor changes to the size of it. I would actually extend it toward the middle of the lot another five feet. Then if you see the back left corner there, right now it kind of comes up parallel to the house, I would keep it parallel to the property line a little longer just to give myself a little bit more room there for entertainment purposes.

Again, many, many homes in the neighborhood have decks that must have variances as well because you can't stay 15 feet from your rear property line and build a usable deck. I've spoken with all my neighbors and they're all okay with it. Really, it would only impact my neighbor directly behind me, but he's okay with it. Actually, he has a wall of arborvitae trees that pretty much block our two properties, so he's fine with it.

COMMISSIONER PORTERA: Just a couple of quick questions.

MR. CIELAK: Sure.

COMMISSIONER PORTERA: You've answered most of my questions that I had prepared, but how many people live in the house?

MR. CIELAK: Four.

COMMISSIONER PORTERA: Okay, and you spoke to all the neighbors or the neighbor most impacted and he was okay with it?

MR. CIELAK: Yes.

COMMISSIONER PORTERA: You have an existing non-conforming deck and you said you are just going to expand it a little bit from the same footprint?

MR. CIELAK: Correct.

COMMISSIONER PORTERA: All right, that's everything I've got unless anyone has any questions.

ACTING CHAIRPERSON JAFFE: Any other questions from the Board?

COMMISSIONER LANAGHAN: I just have one real quick one, I think. You're expanding it somewhat. How much are you expanding it by?

MR. CIELAK: So --

COMMISSIONER LANAGHAN: It's kind of hard to tell from the plan.

MR. CIELAK: Actually, if you would back up, Derek?

So, you see my center chimney? Right now, it goes to the chimney, from beginning of the chimney, I would take it all the way to the end of the chimney toward the middle, so that's seven feet. Then the current one where the very corner is, it just goes straight across, and I'm going to actually follow the property line a little bit longer ahead.

COMMISSIONER LANAGHAN: So, at where the angle starts to run now?

MR. CIELAK: Actually, I'm sorry, that angle is still there.

COMMISSIONER LANAGHAN: Okay.

MR. CIELAK: But where the 7.7 is, that's where it shoots up straight.

COMMISSIONER LANAGHAN: Oh, I got you, I got you.

MR. CIELAK: So, a little bit farther there and the seven feet toward the middle of the property line.

COMMISSIONER LANAGHAN: Okay.

ACTING CHAIRPERSON JAFFE: Okay, thank you.

Any other questions?

(No response.)

ACTING CHAIRPERSON JAFFE: Okay, is there anybody in the audience who wishes to comment on this petition?

(No response.)

ACTING CHAIRPERSON JAFFE: We'll close it down for Board deliberation.

You want to start, Frank?

COMMISSIONER PORTERA: Yes, this is a little bit of a strange lot lines that we have here. He's in a court so he's made his case as to, you know, to be able to use the space and to do his project. He's got an existing non-conforming use. So, I'm in favor of this. There's been no neighbor feedback that is negative to our knowledge.

ACTING CHAIRPERSON JAFFE: Any other comments?

(No response.)

ACTING CHAIRPERSON JAFFE: Is there a motion?

COMMISSIONER PORTERA: I move to approve this variance as presented.

COMMISSIONER SELBKA: Second.

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Geisel.

COMMISSIONER GEISEL: Yes.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. MACH: Acting Chair Jaffe.

ACTING CHAIRPERSON JAFFE: Yes.

Congratulations, your variance is approved.

MR. CIELAK: Thank you.

ACTING CHAIRPERSON JAFFE: Moving on, other business, just general public comment.

Is anybody present who wishes to publicly comment?

MR. CIELAK: I think you guys are doing a fantastic job.

ACTING CHAIRPERSON JAFFE: Thank you.

So, I have a comment to make before we move to adjournment. I would like to thank Zoning Board member Joe Geisel for 10 years of loyal, exemplary, educational service, and we're going to miss you. We're not going to be able to fill these big shoes easily. So, thank you for your service.

COMMISSIONER GEISEL: It's been a pleasure serving with you all.

(Applause.)

ACTING CHAIRPERSON JAFFE: Okay, is there a motion to adjourn?

MR. MACH: Just one quick comment.

ACTING CHAIRPERSON JAFFE: Sure.

MR. MACH: Next Zoning Board meeting will be October 16th. It's a Monday because the 9th is a holiday, just a reminder. I know Pat will send an e-mail confirming probably tomorrow.

ACTING CHAIRPERSON JAFFE: What does the dance card look like?

MR. MACH: We have five, maybe six right now. It's been busy.

ACTING CHAIRPERSON JAFFE: Yes, all right. Is there anything else, Derek?

MR. MACH: That's it, thank you.

ACTING CHAIRPERSON JAFFE: Motion to adjourn?

COMMISSIONER LANAGHAN: So moved.

COMMISSIONER GEISEL: Second.

ACTING CHAIRPERSON JAFFE: All in favor?

(Chorus of ayes.)

ACTING CHAIRPERSON JAFFE: All opposed?

(No response.)

ACTING CHAIRPERSON JAFFE: This meeting is now adjourned. Good night.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 8:00 p.m.)



Zoning Board of Appeals 10/16/2023

Item: 919 S. Vail Ave. - ZBA#23-031

Department: Planning & Community Development Department

REQUEST

- A 4.0-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback of 3.0 feet instead of the required 7.0 feet and an additional 1.0 feet for the eave.
- A 2.5-foot variation from Chapter 28, Section 5.1-3.3a (Required Minimum Yards) to allow a front porch with front yard setback of 27.5 feet instead of the required 30.0 feet and an additional 1.0 feet for the eave.
- A variance from Chapter 28, Section 6.6-5 (Permitted Obstructions) to allow two air conditioning units in the required side yard setback along the north property line.
- A 64 square-foot variation from Chapter 28, Section 5.1-3.5 (Maximum Building Lot Coverage) to allow building lot coverage of 3,300 square-feet where 3,236 is the maximum allowed by code.

ATTACHMENTS:

Description

Supporting Documents
Public Comment

Type

Exhibits
Correspondence

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: October 16, 2023
Date Prepared: October 10, 2023
Project Title: Featherstone Residence
Address: 919 S. Vail Ave.

Background Information

Petition Number: ZBA #23-031
Petitioner: Robert Flubacker / Robert Flubacker Architects
Address: 1895 Rohlwing Rd, Suite B
Rolling Meadows, IL 60008

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

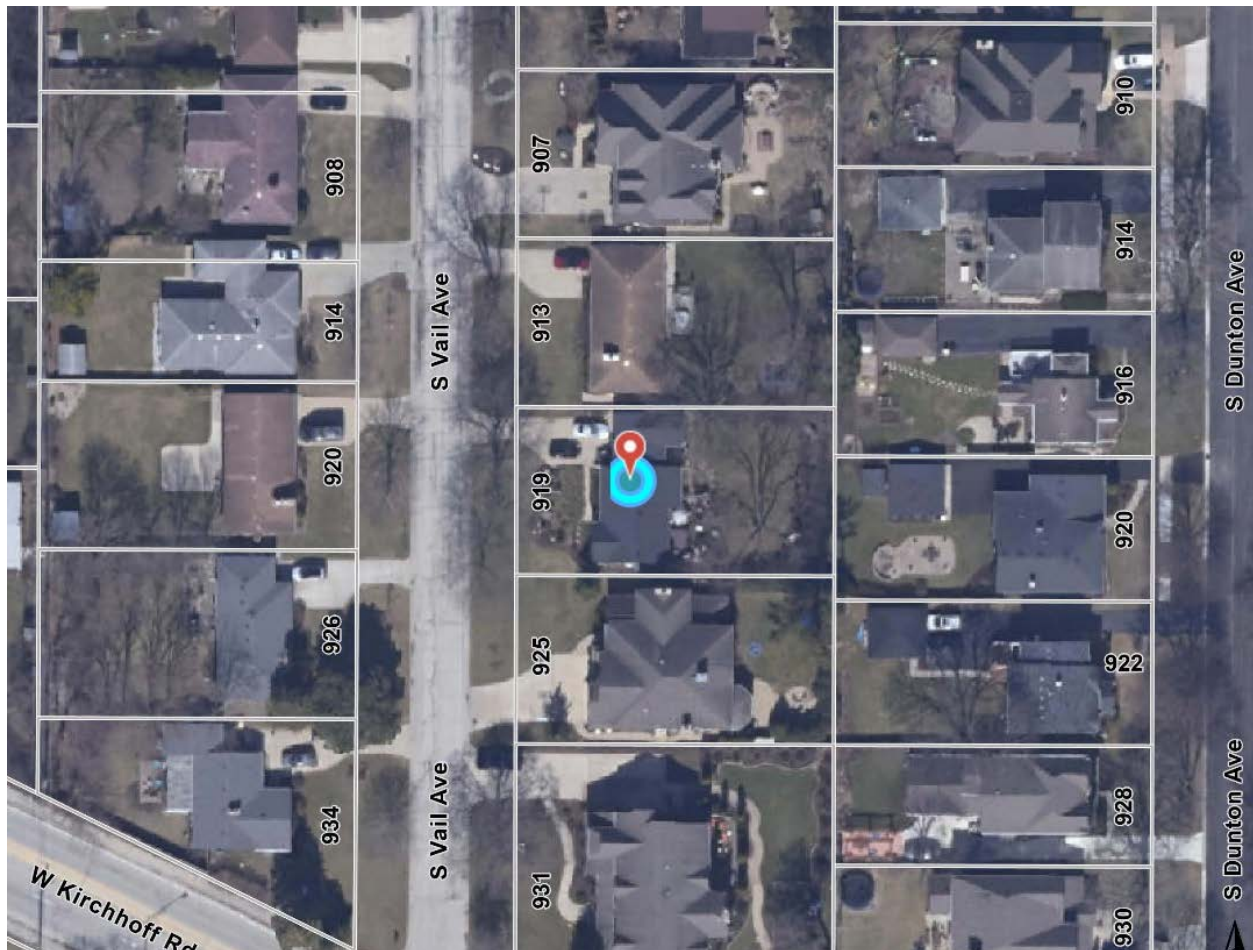
The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 9,244 square feet and the proposed residence with the addition will be approximately 2,672 square feet. The petitioner is proposing to construct two separate additions to the existing single story home. The front addition, includes an expansion to the attached garage and is encroaching 4.0 feet into the required side yard setback. The petitioner is also proposing a front porch that is encroaching into the required front yard setback. In addition, the two air conditioning units are encroaching into the required side yard setback and the petitioner is requesting a variance for building lot coverage. Therefore, the petitioner is requesting the following variations:

- A 4.0-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback of 3.0 feet instead of the required 7.0 feet and an additional 1.0 feet for the eave.
- A 2.5-foot variation from Chapter 28, Section 5.1-3.3a (Required Minimum Yards) to allow a front porch with front yard setback of 27.5 feet instead of the required 30.0 feet and an additional 1.0 feet for the eave.
- A variance from Chapter 28, Section 6.6-5 (Permitted Obstructions) to allow two air conditioning units in the required side yard setback along the north property line.
- A 64 square-foot variation from Chapter 28, Section 5.1-3.5 (Maximum Building Lot Coverage) to allow building lot coverage of 3,300 square-feet where 3,236 is the maximum allowed by code.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	9/28/23	
2. List of Property Owners Within 250 feet of Subject Property	✓	9/28/23	
3. Letter that was Mailed	✓	9/28/23	
4. Photographs of Sign on Property	✓	9/28/23	

Photographs of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Nusrat Jahan, Building & Life Safety Department

Project Name: Featherstone Residence

Project Address: 919 S. Vail Avenue

ZBA #: 23-031

Date: October 09, 2023

Derek:

We have reviewed the request for the following variance:

- **A 4.0-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback of 3.0 feet instead of the required 7.0 feet and an additional 1.0 feet for the eave.**
- **A 2.5-foot variation from Chapter 28, Section 5.1-3.3a (Required Minimum Yards) to allow a front porch with front yard setback of 27.5 feet instead of the required 30.0 feet and an additional 1.0 feet for the eave.**
- **A variance from Chapter 28, Section 6.6-5 (Permitted Obstructions) to allow two air conditioning units in the required side yard setback along the north property line.**
- **A 64 square-foot variation from Chapter 28, Section 5.1-3.5 (Maximum Building Lot Coverage) to allow building lot coverage of 3,000 square-feet where 3,236 is the maximum allowed by code.**

and have the following comments:

1. The north wall of the proposed addition shall have a minimum 1-hour fire-resistance rating.

2. The eave projection over the north wall of the addition cannot be less than 2 feet from the lot line.
3. The soffit on the north wall shall have a 1-hour fire-resistance rating or solid blocking between the top plate and the roof sheathing.
4. The maximum allowed openings on the north wall are limited to a total of 25% or the total wall area on the south side.

We don't have any comments on the air conditioning compressor units and Lot Coverage.

From: [Schwab, Briget](#)
To: [Mach, Derek](#); [DiMatteo, Pat](#)
Cc: [Pagones, Mike](#)
Subject: RE: ZBA hearing 10/16/23 - For Department Review
Date: Thursday, September 28, 2023 1:10:08 PM

Derek –

Please see Engineering's comments below.

919 S Vail Ave –

1. Engineering is NOT IN FAVOR of the request for a 4.0-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback of 3.0 feet instead of the required 7.0 feet and an additional 1.0 feet for the eave. Existing grade along the north side of the house is pitched towards the adjacent property (913 S Vail). Allowing the addition to encroach limits the ability to regrade the area for positive drainage away from adjacent property. If the variation is allowed, the existing sidewalk should be removed and not allowed to be replaced in the future. In addition, if approved, **petitioner should note that an existing and proposed grading plan will be required when submitting for a permit. The proposed grading plan must include cross sections along the north property line. A stepped foundation may be required.**
2. Engineering has NO COMMENT to the request for a 2.5-foot variation from Chapter 28, Section 5.1-3.3a (Required Minimum Yards) to allow a front porch with front yard setback of 27.5 feet instead of the required 30.0 feet and an additional 1.0 feet for the eave.
3. Engineering has NO COMMENT to the request for a variance from Chapter 28, Section 6.6-5 (Permitted Obstructions) to allow two air conditioning units in the required side yard setback along the north property line.
4. Engineering has NO COMMENT on a 64 square-foot variation from Chapter 28, Section 5.1-3.5 (Maximum Building Lot Coverage) to allow building lot coverage of 3,000 square-feet where 3,236 is the maximum allowed by code.

Kind Regards,

Briget F. Schwab, P.E.

Village of Arlington Heights Public Works Department
Engineering Division
33 South Arlington Heights Road
Arlington Heights, IL 60005

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Featherstone Residence

Project Address: 919 S. Vail Avenue

ZBA #: 23-031

ZBA Hearing Date: October 16, 2023

To: Mike Pagones, Village Engineer
Jorge Torres, Director of Building and Life Safety

C: Michael Lysicatos, Assistant Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Landscape Planner

Transmitted On: September 20, 2023

- A 4.0-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback of 3.0 feet instead of the required 7.0 feet and an additional 1.0 feet for the eave.
- A 2.5-foot variation from Chapter 28, Section 5.1-3.3a (Required Minimum Yards) to allow a front porch with front yard setback of 27.5 feet instead of the required 30.0 feet and an additional 1.0 feet for the eave.
- A variance from Chapter 28, Section 6.6-5 (Permitted Obstructions) to allow two air conditioning units in the required side yard setback along the north property line.
- A 64 square-foot variation from Chapter 28, Section 5.1-3.5 (Maximum Building Lot Coverage) to allow building lot coverage of 3,000 square-feet where 3,236 is the maximum allowed by code.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments:

A complete Design Commission application is required to be submitted for review, but the proposed design appears to be a nice enhancement to the existing house.

Steve Hautzinger, Design Planner

PETITION

NOW COMES the Petitioner, **Robert Flubacker**, being the petitioner of the property commonly known as: **919 S. Vail Ave.**, and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a variation from, **Section 5.1-3.3 a,b Required Minimum Yards and Table 6.6-5.1 Table of Permitted Obstructions**, Chapter 28, of the Arlington Heights Municipal Code, in order to:

Construct a one-story room addition and garage addition, which:

1. The front porch encroaches 2.5 feet into the required 30.00 foot front yard setback
2. The garage encroaches 4.00 feet into the required 7.00 foot side yard setback
3. The A.C. units are located within the required 7.00 foot side yard setback

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variations were granted:

The use of the existing house is not changing and the surrounding neighborhood has single-family homes of a widely varied mix of sizes and shapes. The propose addition enhances the existing architectural character of the home and maintains it's compatibility with the neighborhood.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned:

The existing garage and shed currently encroaches generally the same amount (addition has a 3 foot longer encroachment) as the requested design. This encroachment has existed since the house was constructed. The established front setback is at the existing front wall of the house allowing no room for a porch addition.

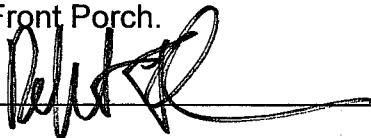
I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter:

With the exception of the variations requested, the project falls well below the other zoning requirements. The project maintains the character of the neighborhood, while providing the desired expansion of the home the owner needs.

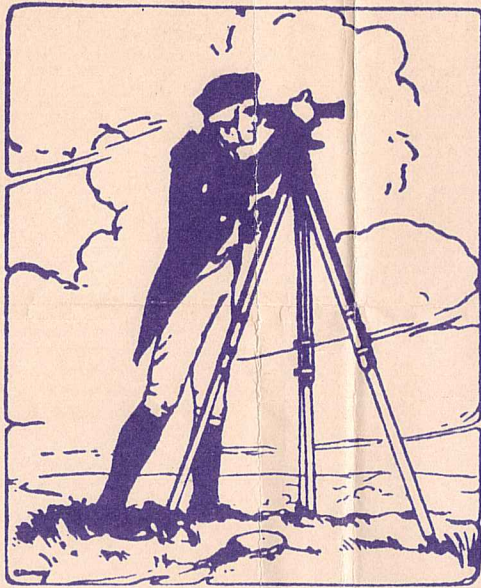
I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property:

The proposed Garage is below village width requirement for a two car Garage but is design to maintain 3 feet clear to the lot line. The size of the Front Porch encroachment (larger then the 5' x 10' that allowed) is to provide a proportionally appropriate Front Porch.

Signed: _____
Petitioner



Date: 7.25.23



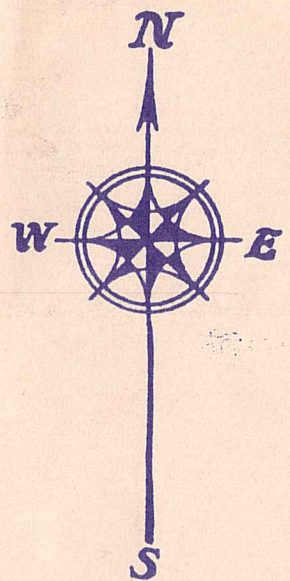
MURRY AND MOODY, LTD.

Land Surveyors

933 S. Plum Grove Road
Suite 101
Palatine, Illinois 60067

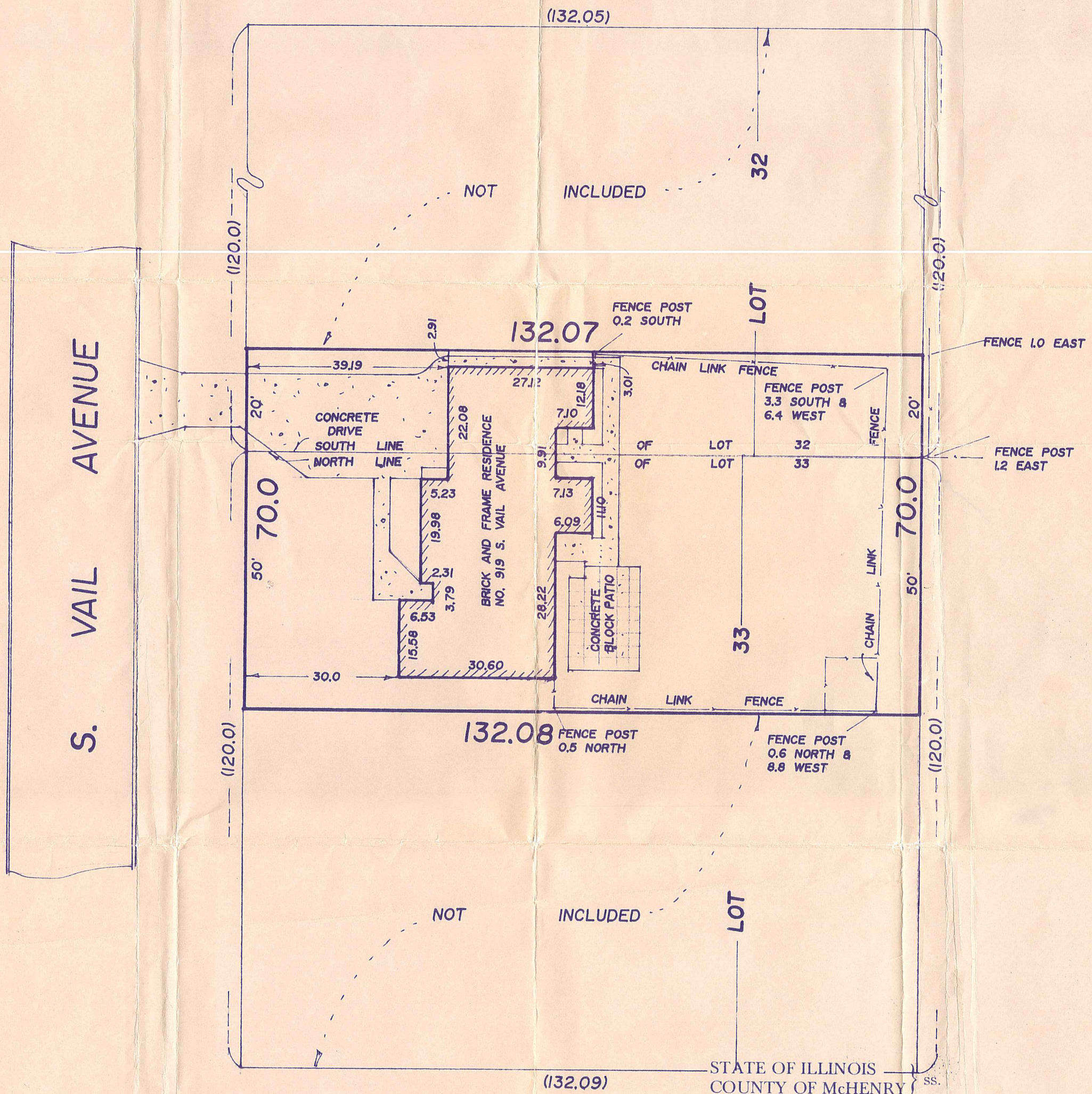
P.O. Box 608
Huntley, Illinois 60142

Phone: (847) 358-5960



PLAT OF SURVEY OF

THE SOUTH TWENTY (20) FEET OF LOT THIRTY TWO (32) THE NORTH FIFTY (50) FEET OF LOT THIRTY THREE (33) IN R. A. CEPEK'S ARLINGTON HIGHLANDS, A SUBDIVISION OF PARTS OF SECTIONS 4 AND 9, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, AND PARTS OF SECTIONS 31 AND 32, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



NOTE: THERE ARE NO EASEMENTS SHOWN ON THE RECORDED PLAT OF SUBDIVISION.

Dimensions shown thus: 50.25 are feet and decimal parts thereof.
Dimensions shown thus: 50'-3" are feet and inches.

Check legal description, building lines and easements with Title Policy or
Torrens Certificate and report any discrepancies immediately.

I, Thomas M. Sheets an Illinois Professional Land Surveyor do
hereby certify that I have surveyed the above described property,
and that the above plat is a correct representation of said survey.

SEPTEMBER 9, 1997

Huntley, Illinois

Thomas M. Sheets

Illinois Professional Land Surveyor

ORDER No. 97-1694

150L15

SURVEY MADE FOR

JOHN S. SALETTA, ATTORNEY

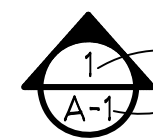
SCALE 1" = 20'

ALTERATIONS AND ADDITIONS FOR

THE FEATHERSTONE RESIDENCE

919 S. VAIL AVE.
ARLINGTON HEIGHTS, ILLINOIS

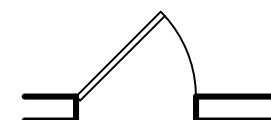
SYMBOLS



DETAIL NUMBER (TYP.)
SHEET NUMBER (TYP.)
ELEVATION KEY



EXISTING PARTITION TO REMAIN

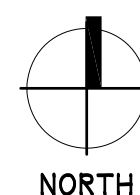
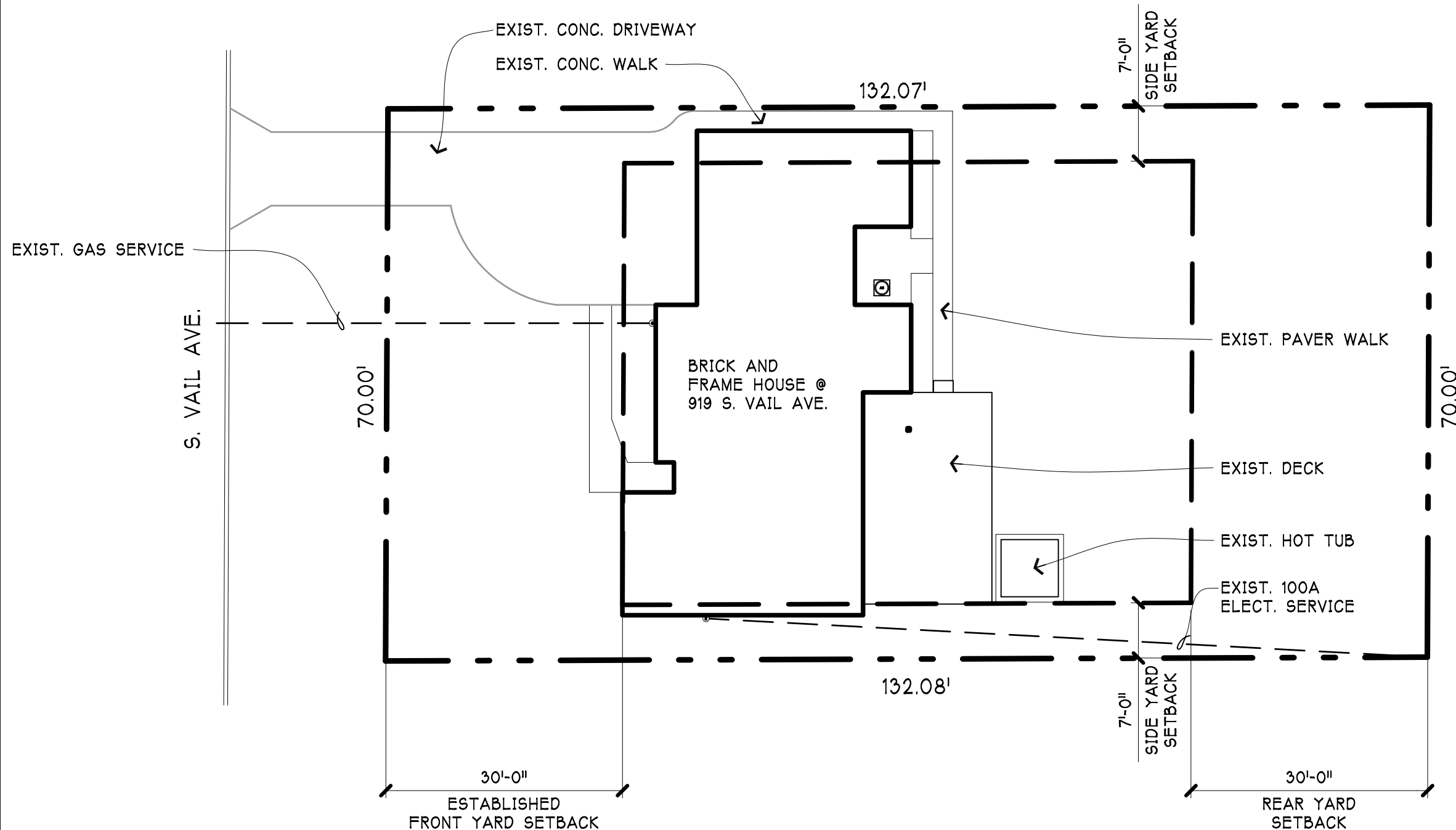


EXISTING DOOR TO REMAIN

LIST OF DRAWINGS

EX-0 TITLE SHEET / SITE PLAN
EX-1 EXISTING FIRST FLOOR PLAN

SITE PLAN



SITE PLAN

1" = 10'-0"

SITE PLAN LEGEND:



EXIST. CONSTRUCTION
TO REMAIN



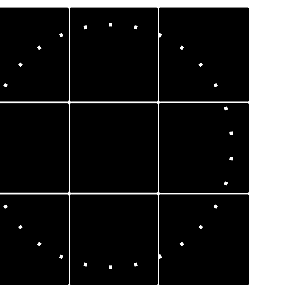
PROPERTY LINE



SETBACK LINE

CODE REVIEW

ZONING	R-3	
LOT AREA	9,244 SQ.FT.	
BUILDING AREAS	EXISTING	ALLOWED
FIRST FLOOR	1,357 SQ.FT.	
ATTACHED GARAGE	245 SQ.FT.	
ACCESSORY STRUCTURES	85 SQ.FT.	
FLOOR AREA RATIO (FAR)	1,357 SQ.FT.	4,135 SQ.FT.
BUILDING LOT COVERAGE	1,687 SQ.FT.	3,235 SQ.FT.
IMPERVIOUS SURFACE COVER.	2,753 SQ.FT.	4,622 SQ.FT.
BUILDING HEIGHT	-- FT.	25 FT.



ARCHITECTS
LIMITED

IL Design Firm
#184.001489
Expire: 4/30/2025

ATHERSTONE RES
919 S. VAIL AVE.
ARLINGTON HEIGHTS, ILLINOIS

© 2023 R.F.A. LTD.

EX-2

SITE PLAN

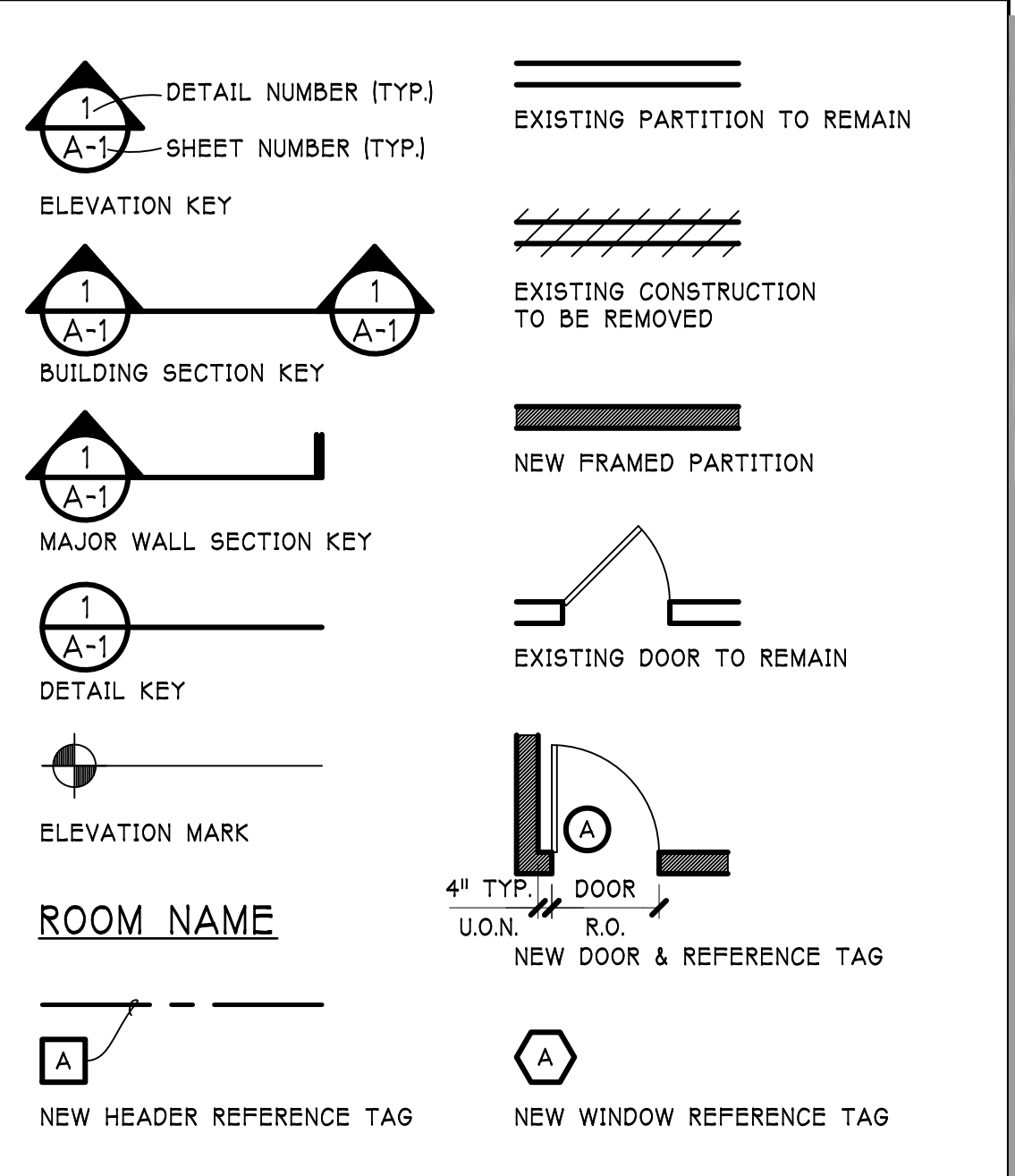
SITE PLAN GENERAL NOTES:

1. INFORMATION SHOWN ON THIS DRAWING IS ACCUMULATED FROM EXISTING RECORDS, FIELD SURVEY AND RECONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND OTHER BUILDING SERVICES PRIOR TO CONSTRUCTION.
2. VERIFY LOCATIONS OF ALL UTILITIES AND OTHER BUILDING SERVICES PRIOR TO EXCAVATION.
3. PROVIDE REQUIRED WORK TO ACCOMMODATE EXISTING UTILITIES OR OTHER BUILDING SERVICES.
4. PROTECT EXISTING LANDSCAPING DURING CONSTRUCTION.
5. PROVIDE TEMPORARY EROSION CONTROL, SECURITY FENCING AROUND ALL OPEN EXCAVATIONS, HEIGHT AS REQ'D BY LOCAL CODES.
6. VERIFY LOCATIONS OF ALL MATERIAL STOCKPILES AND DUMPSTERS WITH OWNER.

ABBREVIATIONS

9	AT	EXP.	EXPANSION	PLAM	PLASTIC LAMINATE
<	ANGLE	F.D.	FLOOR DRAIN	PLYWD.	PLYWOOD
55	FIVE SHELVES	F.F.	FINISH FLOOR	P.S.F.	POUNDS PER SQUARE FOOT
A.C.	AIR CONDITIONING	FIN	FINISH	P.S.I.	POUNDS PER SQUARE INCH
ADJ.	ADJUSTABLE	F.F.T.	FIXTURE	PSL	PARALLEL STRAND LUMBER
A.F.F.	AFTER FINISH FLOOR	FND.	FOUNDATION	PVC.	POLYVINYL CHLORIDE
ALT.	ALTERNATE	F.O.C.	FACE OF CONCRETE	R	RADIUS
ALUM.	ALUMINUM	F.O.S.	FACE OF STUD	R.O.	ROOF RAFTERS
APPROX.	APPROXIMATE	FRZ.	FREEZER	R.R.	ROD & SHELF
ARCH.	ARCHITECTURAL	F.S.	FOOTING SUMP	R&S	REINFORCING BAR
B.O.	BOTTOM OF	FTG.	FOOTING	REBAR.	REBAR
B.I.	BUILT-IN	FURN.	FURNACE	REF.	REFRIGERATOR
B.D.	BUILDING	G.	GAUGE	REG.	REGULAR
B.D.G.	BY DESIGN	GALV.	GALVANIZED	REINF.	REINFORCE
B.O.	BY OWNER	GLU-LAM.	GLUE LAMINATED BEAM	RM.	ROOM
BRG.	BEARING	GYP.BD.	GYPSUM BOARD	R.O.	ROUGH OPENING
C.	CARPET	HGT.	HEIGHT	S.C.	SOLID CORE
CAB.	CABINET	H.M.	HOLLOW METAL	SECT.	SECTION
C.I.	CAST IRON	HORIZ.	HORIZONTAL	S.H.	SINGLE-HUNG CLOSET ROD
C.J.	CONSTRUCTION JOINTS	HTG.	HEATING	SIM	SIMILAR
CL	CENTER LINE	H.V.A.C.	HEATING, VENTILATION,	S.P.	SUMP PIT
C.L.G.	CEILING	H.W.	AIR CONDITIONING	SPEC.	SPECIFICATION
C.M.U.	CONCRETE MASONRY UNIT	H.W.	HOT WATER	SQ.	SQUARE
C.O.	CASED OPENING/ CLEAN OUT	I.	INSULATION	STD.	STANDARD
COL.	COLUMN	INT.	INTERIOR	STL.	STEEL
CONC.	CONCRETE	L.	LINEN	STOR.	STORAGE
CONSTR.	CONSTRUCTION	LAM.	LAMINATE	STRUCT.	STRUCTURAL
CONT.	CONTINUOUS	LAV.	LAVATORY	SUSP.	SUSPENDED
C.T.	CERAMIC TILE	LVL.	LONG LEG VERTICAL	T.	TOP
C.W.	COLD WATER	LXV.	LAMINATED VENEER LUMBER	T.B.	TOP & BOTTOM
D.	DRYER	MAX.	MAXIMUM	T&G.	TONGUE & GROOVE
DEMO.	DEMOLITION	M.C.	MEDICINE CABINET	TEL.	TELEPHONE
D.H.	DOUBLE-HUNG CLOSET RODS	M.ECH.	MECHANICAL	T.M.	TO MATCH EXIST.
DIA.	DIAMETER	MED.	MEDIUM	T.O.F.	TOP OF FLAT
DIM.	DIMENSION	MICRO.	MICROWAVE	TV.	TELEVISION
DISP.	DISPOSAL	MIN.	MINIMUM	TYP.	TYPICAL
DIV.	DIVISION	MISC.	MISCELLANEOUS	UN.	UNLESS OTHERWISE NOTED
D.N.	DOWN	M.S.	MASONRY OPENING	V.C.T.	VINYL COMPOSITION TILE
D.S.	DOWN SPOUT	MTL.	METAL	VERT.	VERTICAL
D.W.	DISHWASHER	N.F.B.	NON-FREEZE HOSE BIBB	V.T.R.	VENT THRU ROOF
EA.	EACH	N.C.	NOT IN CONTRACT	W/	WITH
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	N.O.	NO NUMBER	W.	WASHER
		NOM.	NOMINAL	W.C.	WATER CLOSET
ELECT.	ELECTRICAL	N.T.S.	NOT TO SCALE	WOOD.	WOOD
ELEV.	ELEVATION	O.A.	OVER ALL	WDW.	WINDOW
EP	EJECTOR PIT/SUMP	O.C.	ON CENTER	WH.	WATER HEATER
EQ.	EQUAL	O.H.	OVERHANG	W.I.C.	WALK-IN CLOSET
EQUIP.	EQUIPMENT	O.P.	OPPOSITE	W/O	WITHOUT
EQUIV.	EQUIVALENT	O.V.	OVEN	WT.	WEIGHT
E.W.	EACH WAY	P.	PERFECT	W.W.F.	WELDED WIRE FABRIC
EXIST.	EXISTING	PL.	PLATE		

SYMBOLS

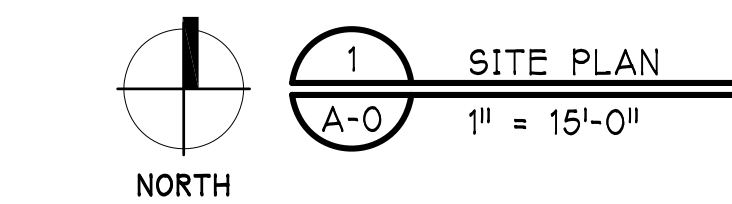


CODE DATA

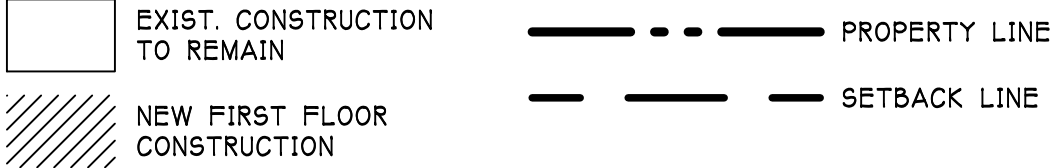
- ALL CONSTRUCTION SHALL CONFORM WITH THE FOLLOWING:
 - 2018 INTERNATIONAL CODE COUNCIL SERIES:
 - INTERNATIONAL RESIDENTIAL CODE (IRC)
 - INTERNATIONAL BUILDING CODE (IBC)
 - INTERNATIONAL EXISTING BUILDING CODE (IEBC)
 - INTERNATIONAL FIRE CODE (IFC)
 - INTERNATIONAL FUEL GAS CODE (IFGC)
 - INTERNATIONAL MECHANICAL CODE (IMC)
 - INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC)
 - INTERNATIONAL SWIMMING POOL AND SPA CODE
 - 2017 NATIONAL ELECTRICAL CODE (NFPA 70)
 - 2014 ILLINOIS STATE PLUMBING CODE
 - 2016 ILLINOIS STATE ENERGY CONSERVATION CODE w/ STATE AMENDMENTS
 - 2018 ILLINOIS ACCESSIBILITY CODE
 - INCLUDING ALL APPROVED LOCAL AMENDMENTS TO THE ABOVE REFERENCED CODES

LIST OF DRAWINGS

A-0 TITLE SHEET / SITE PLAN
A-1 FOUNDATION PLAN
A-2 FIRST FLOOR PLAN
A-3 EXTERIOR ELEVATIONS
A-4 EXTERIOR ELEVATIONS



SITE PLAN LEGEND:



<u>ZONING</u>	R-3		
<u>LOT AREA</u>	9,244 SQ.FT.		
<u>BUILDING AREA</u>	EXISTING	ALLOWED	PROPOSED
FIRST FLOOR	1,357 SQ.FT.		2,672 SQ.FT.
ATTACHED GARAGE	245 SQ.FT.		559 SQ.FT.
ACCESSORY STRUCTURES	85 SQ.FT.		0
<u>FLOOR AREA RATIO (FAR)</u>	1,367 SQ.FT.	4,135 SQ.FT.	2,831 SQ.FT.
<u>BUILDING LOT COVERAGE</u>	1,687 SQ.FT.	3,235 SQ.FT.	3,231 SQ.FT.
<u>IMPERVIOUS SURFACE COVER.</u>	2,753 SQ.FT.	4,622 SQ.FT.	4,069 SQ.FT.
<u>BUILDING HEIGHT</u>	13.33 FT.	25 FT.	13.33 FT.

RFA
ROBERT
FLUBACKER
ARCHITECTS
LIMITED

1895-B Rohlwing Rd.
Rolling Meadows,
Illinois 60008
847-704-3200

IL Design Firm
#184.001489
Expire: 4/30/2025

THE FEATHERSTONE RESIDENCE
ALTERATIONS AND ADDITION FOR
919 S. VAIL AVE.
ARLINGTON HEIGHTS, ILLINOIS

[illegible]

Project Number
23027

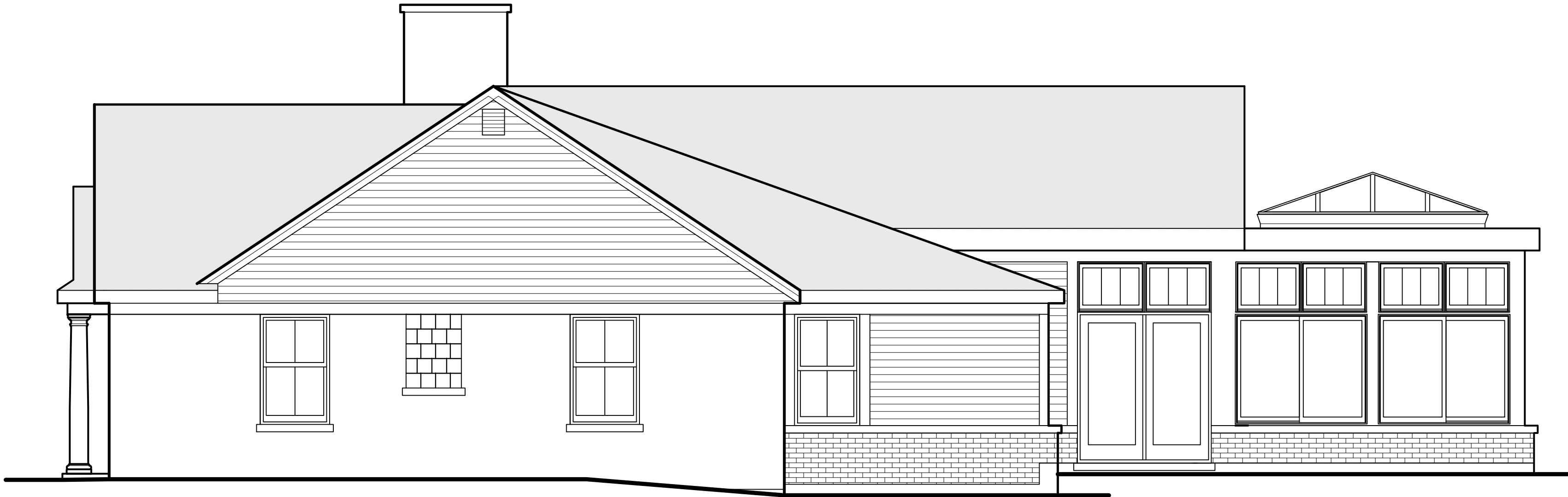
A-0



Date	Description
9/8/23	ZBA



1 NORTH ELEVATION
A-4 1/4" = 1'-0"



2 SOUTH ELEVATION OPTION 'A'
A-4 1/4" = 1'-0"

Date	Description
9/8/23	ZBA

The Harris Family
913 S Vail Ave
Arlington Heights, IL 60005

The Village of Arlington Heights
33 S Arlington Heights Rd
Arlington Heights, IL 60005

September 6, 2023

RE: THE FEATHERSTONE RESIDENCE, 919 S VAIL

DEAR VAH Official,

I am the neighbor immediately to the north of Sherry Featherstone, 919 S Vail.

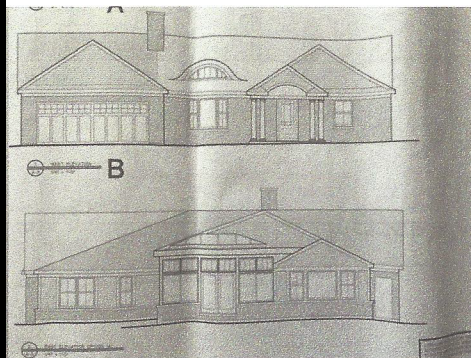
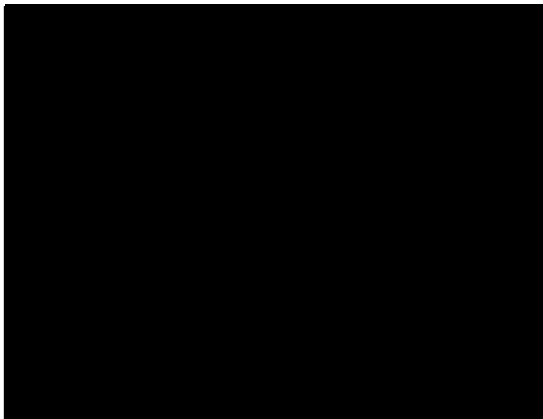
Ms. Featherstone has shared her intent for a house addition/remodel. I've reviewed and discussed her plans with her, and enthusiastically endorse her project.

We look forward to seeing how this project turns out and adds to the feel and value of the neighborhood.

Best Regards,

D. Court Harris

D. Court Harris
913 S. Vail Ave.





Zoning Board of Appeals 10/16/2023

Item: 636 S. McKinley Ave. - ZBA#23-035

Department: Planning & Community Development Department

REQUEST

- A 1.5-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a front yard setback of 23.5 feet instead of the required 25.0 feet.

ATTACHMENTS:

Description	Type
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: October 16, 2023
Date Prepared: October 10, 2023
Project Title: McKenna Residence
Address: 636 S. McKinley Ave.

Background Information

Petition Number: ZBA #23-035
Petitioner: Keith Ginnodo – Kingsley/Ginnodo Architects
Address: 33 N. Hickory Ave.
Arlington Heights IL 60004

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

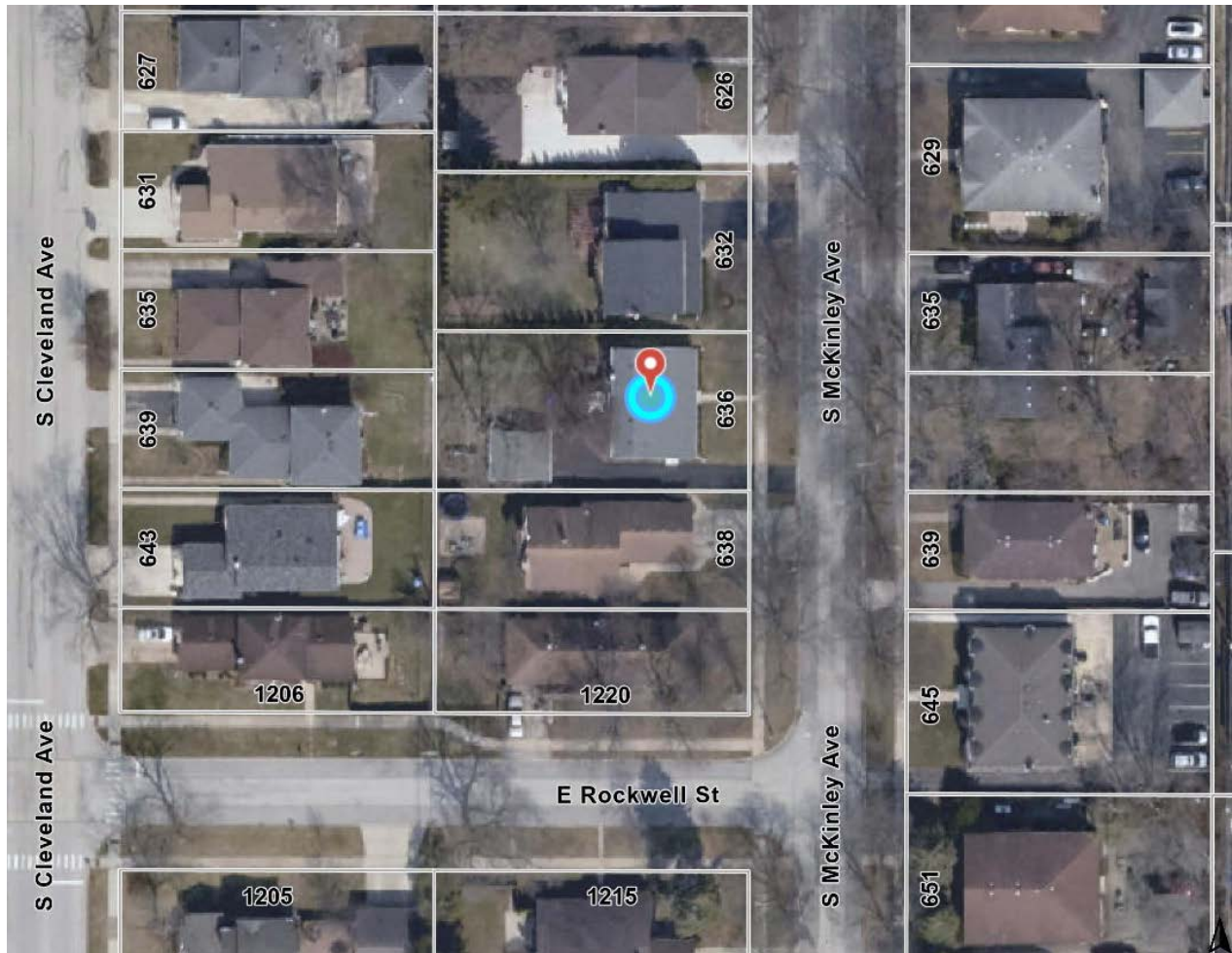
The petitioner is proposing an addition to the existing one-story residence. The proposed addition includes a second-story expansion above the existing one story residence. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of approximately 8,798 square feet and the proposed residence with the addition will be approximately 2,415 square feet. Along the east property line, the proposed addition encroaches 1.5 feet into the required front yard setback; therefore, the petitioner is requesting the following variation:

- A 1.5-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a front yard setback of 23.5 feet instead of the required 25.0 feet.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	9/23/23	
2. List of Property Owners Within 250 feet of Subject Property	✓	9/23/23	
3. Letter that was Mailed	✓	9/23/23	
4. Photographs of Sign on Property	✓	9/23/23	

Photographs of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Nusrat Jahan, Building & Life Safety Department

Project Name: McKenna Residence

Project Address: 636 S. McKinley Avenue

ZBA #: 23-035

Date: October 09, 2023

Derek:

We have reviewed the request for the following variance:

- **A 1.5-foot variation from Chapter 28, Section 5.1-3.3 (Required Minimum Yards) to allow an addition with a front yard setback of 23.5 feet instead of the required 25.0 feet.**

and do not have any objection to the request.

From: [Schwab, Briget](#)
To: [Mach, Derek](#); [DiMatteo, Pat](#)
Cc: [Pagones, Mike](#)
Subject: RE: ZBA hearing 10/16/23 - For Department Review
Date: Thursday, September 28, 2023 1:10:08 PM

Derek –
Please see Engineering's comments below.

636 S McKinley Ave –

1. Engineering has NO COMMENT on a 1.5-foot variation from Chapter 28, Section 5.1-3.3 (Required Minimum Yards) to allow an addition with a front yard setback of 23.5 feet instead of the required 25.0 feet.

Kind Regards,

Briget F. Schwab, P.E.

Village of Arlington Heights Public Works Department
Engineering Division
33 South Arlington Heights Road
Arlington Heights, IL 60005

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: McKenna Residence

Project Address: 636 S. McKinley Avenue

ZBA #: 23-035

ZBA Hearing Date: October 16, 2023

To: Mike Pagones, Village Engineer
Jorge Torres, Director of Building and Life Safety

C: Michael Lysicatos, Assistant Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Landscape Planner

Transmitted On: September 20, 2023

- A 1.5-foot variation from Chapter 28, Section 5.1-3.3 (Required Minimum Yards) to allow an addition with a front yard setback of 23.5 feet instead of the required 25.0 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments:

Overall, the proposed design is nicely done. Staff intends to administratively approve the design, pending the outcome of the ZBA review.

Steve Hautzinger, Design Planner

August 24, 2023

PETITION

Patrick and Kara McKenna Residence – 636 South McKinley Avenue, Arlington Heights, Illinois 60005

NOW COMES the Petitioner Patrick and Kara McKenna being the owners of the property commonly known as: 636 South McKinley Avenue, Arlington Heights, Illinois 60005 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variance from the Arlington Heights Municipal Code, Chapter 28 Zoning Regulations, Section 5.1-3.3 (Required Minimum Yards) in order: to build a second-floor bay that projects into the front yard 18"; and any other variations which may be required by the Zoning Board of Appeals.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with the existing uses and zoning of nearby property if the variations were granted: The proposed new second-floor addition is enhanced by the projecting bay.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned: The proposed wider bay provides the desired aesthetic when compared to the smaller window-bay projection that code allows.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter: The proposed addition and projecting bay will add to the character of the street and is in keeping with the scale of the other homes on the street.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property: The proposed addition and projecting bay provides an added value both aesthetically as well as functionally, whereas a smaller box bay would not.

Signed: (petitioner)

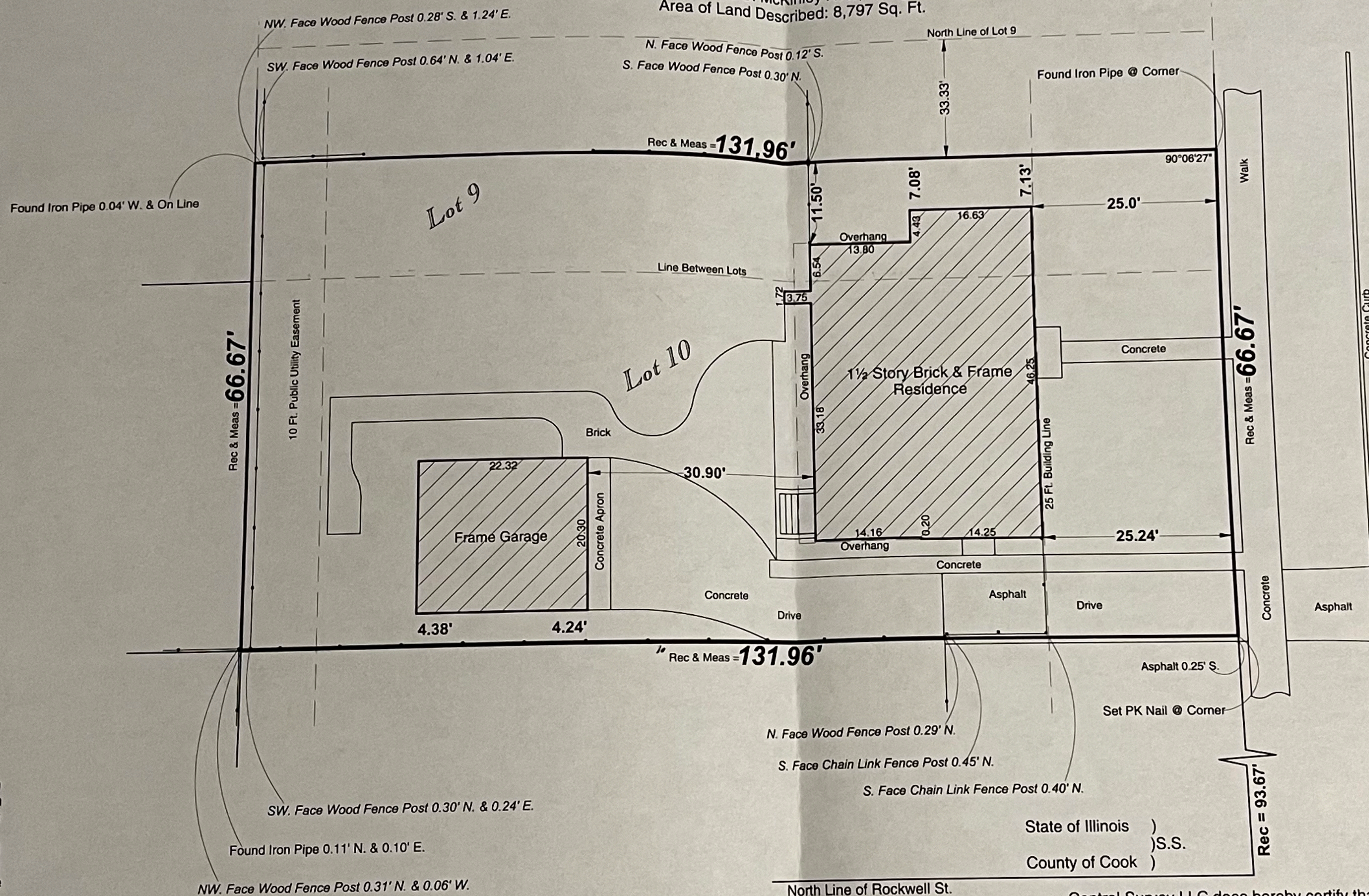
Type text here


date: 8/24/2023

Legal Description

Area of Land Described: 8.797 Sq. Ft.

Phone (773) 631-5285
Fax (773) 775-2071
www.Centralsurvey.com



McKinley Avenue



This professional service conforms to current Illinois minimum standards for a boundary survey.

N.	=	North
S.	=	South
E.	=	East
W.	=	West
(TYP)	=	Typical
Rec	=	Record
Meas	=	Measure
St.	=	Street
Ave.	=	Avenue

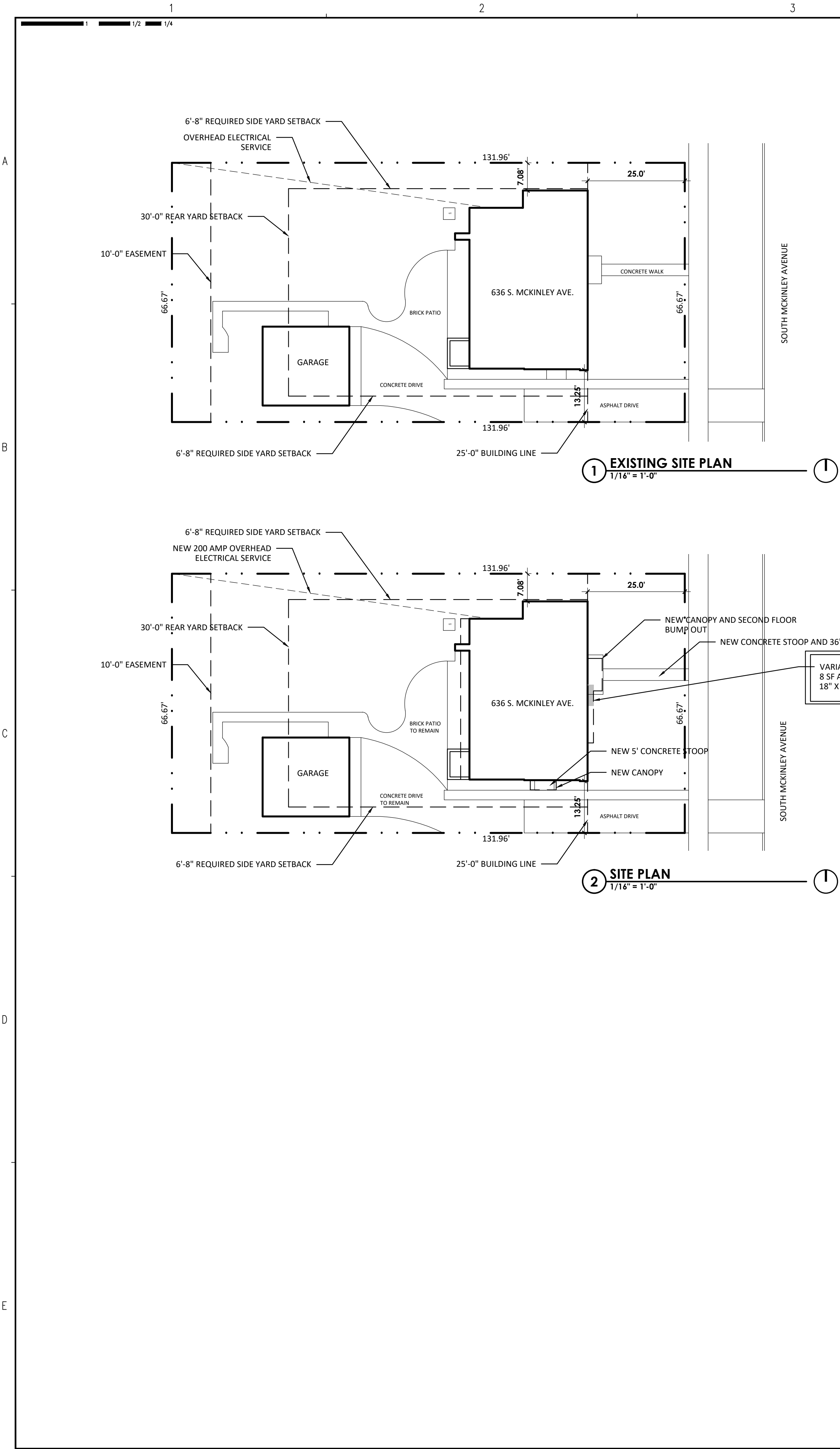
Assume no dimension from scaling upon this plat. Compare all points before building and report any difference at once. For building restrictions refer to your abstract, deed, contract and local ordinances.

Decimal/Inch Conversions		
0.01' = 1/8"	0.08' = 1"	0.58' = 7"
0.02' = 1/4"	0.17' = 2"	0.67' = 8"
0.03' = 3/8"	0.25' = 3"	0.75' = 9"
0.04' = 1/2"	0.33' = 4"	0.83' = 10"
0.05' = 5/8"	0.42' = 5"	0.92' = 11"
0.06' = 3/4"	0.50' = 6"	1.00' = 12"
0.07' = 7/8"		

State of Illinois)
)S.S.
County of Cook)

Central Survey LLC does hereby certify that an on the ground survey per record description of the land shown hereon was performed on December 18, 2014 and that the map or plat hereon is a correct representation of said survey. When bearings are shown the bearing base is assumed to be true. Dimensions are shown in feet and hundredths and are correct at a temperature of 68° Fahrenheit.

Dated this 18th day of December 2014 *William R. Webb*
William R. Webb P.L.S. #2190 (exp.11/30/2016) Professional Design Firm Land Surveying LLC (#184-004)



NOTES:

PLUMBING

- EXISTING WATER SERVICE IS 3/4" Ø COPPER - V.I.F.
- PROVIDE NEW 1 1/2" Ø TYPE K COPPER TUBING WATER SERVICE
- RE-USE EXISTING WATER DISTRIBUTION AND WASTE PIPING. MODIFY AS NECESSARY.
- PROVIDE NEW COPPER WATER DISTRIBUTION AND PVC WASTE PIPING. SALVAGE EXISTING HOME CAST IRON SEWER AS PRACTICABLE. MODIFY AS NECESSARY.
- MINIMUM PIPE SIZE FOR SANITARY WASTE LINES ABOVE GROUND IS 2"
- TUBS/SHOWERS REQUIRE 2" P-TRAPS
- HAND HELD SHOWERS REQUIRE VACUUM BREAKERS
- TUB/SHOWER VALVES REQUIRE INTEGRAL STOPS
- 2" CLEAN OUT REQUIRED UNDER KITCHEN SINK
- PULL OUT FAUCETS REQUIRE DUAL CHECK VALVES
- REUSE EXISTING SANITARY SEWER
- PROVIDE A HOT WATER RE-CIRCULATING SYSTEM PER LOCAL REQUIREMENTS
- NEW PLUMBING WALLS THAT WILL HAVE HORIZONTAL DRAIN, WASTE, AND/OR VENT PIPING SHALL BE FRAMED WITH 2X6 STUD

HVAC

- PROVIDE DUCTED HI/LO OPERABLE RETURN-AIR GRILLES
- ALL SUPPLY AND RETURN DUCTS SHALL BE PROPERLY SEALED WITH UL 181 LISTED TAPE OR MASTIC
- ANY SUPPLY DUCTS LOCATED IN THE ATTIC SHALL HAVE A MINIMUM INSULATION OF R-8 AND ALL OTHER DUCTS SHALL HAVE R-6 UNLESS LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE
- NEW FURNACE AND AC TO SUPPLY ALL NEW AND EXISTING SPACES
- ELECTRONIC ZONE DAMPERING FOR ZONE 1: FIRST FLOOR & BASEMENT, ZONE 2: SECOND FLOOR & THIRD FLOOR
- WHEN EXHAUST HOOD AT KITCHEN IS 400 CFM OR GREATER, THEN PROVIDE MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH SYSTEM SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH EXHAUST SYSTEM
- BATH FANS AND KITCHEN EXHAUST DUCTS SHALL BE INSTALLED WITH BACK-DRAFT DAMPERS AT THE TERMINATION POINT
- MINIMUM OF 10 FEET OF SEPARATION BETWEEN THE WATER HEATER FLUE DISCHARGE AND ANY AIR INTAKE INCLUDING THE COMBUSTION AIR INTAKE FOR THE FURNACE.
- MINIMUM OF 12 FEET SEPARATION BETWEEN THE COMBUSTION AIR INTAKE AND THE PLUMBING VENT STACK.
- RETURN AIR SHALL NOT BE TAKEN FROM THE KITCHEN, LAUNDRY OR BATHROOMS.

ELECTRICAL

- NEW 200 AMP ABOVE GROUND SERVICE WITH NEW 200 AMP, 54 CIRCUIT PANEL
- THERE SHALL NOT BE MORE THAN 10 OPENINGS (DEVICES) ON ANY ONE CIRCUIT WITH A MAXIMUM AMPERAGE OF 15 AMPS.
- DEDICATED CIRCUITS SHALL BE PROVIDED FOR: FURNACE, AIR CONDITIONER, WATER HEATER, DISPOSAL, MICROWAVE, AND DISHWASHER.
- FURNACE, AIR CONDITIONER, WATER HEATER, AND DISHWASHER SHALL EACH HAVE SEPARATE DISCONNECT SWITCH AND HAVE PROPER WORKING CLEARANCE.
- AFCI DEVICES IN ALL HABITABLE ROOMS.
- THE LOCATION OF THE ELECTRICAL METER SHALL BE WITHIN 5 FEET OF THE ELECTRICAL PANEL
- PROVIDE 1/2 INCH PLYWOOD BEHIND THE ELECTRICAL PANEL.

WINDOWS/DOORS/GLAZING

- ALL NEW WINDOWS AND PATIO DOORS SHALL HAVE A MAXIMUM U-FACTOR OF 0.30
- WINDOW FALL PROTECTION SHALL BE PROVIDED PER IRC 312.2 WHERE WINDOW SILLS ARE LESS THAN 24" ABOVE INTERIOR FINISHED FLOOR AND GREATER THAN 72" ABOVE EXTERIOR HORIZONTAL SURFACE BELOW.
- ENTRY DOORS WITH GLAZING AND GLAZED SHOWER DOORS SHALL BE SAFETY GLAZING, PERMANENTLY ETCHED, AND THE ETCHING SHALL BE VISIBLE AFTER INSTALLATION TO VERIFY COMPLIANCE

OTHER

- WINDOW HEAD HEIGHT SHALL BE 80" U.N.O.
- PROVIDE HURRICANE TIE AT EACH RAFTER/WALL INTERSECTION (SIMPSON H SERIES HURRICANE TIE OR EQUAL) @ NEW CONSTRUCTION
- LISTED CONNECTORS SHALL BE INSTALLED AT ALL POST TO PIER CONNECTIONS AND POST TO BEAM CONNECTIONS AS APPLICABLE
- HANDRAILS SHALL BE INSTALLED ON ALL STAIRS, RUN THE FULL LENGTH OF THE STAIRS, BE GRASPABLE AND RETURN TO THE WALL AT THE TOP AND BOTTOM OF THE RUN.
- AN ENERGY CERTIFICATE SHALL BE POSTED IN OR ON THE ELECTRICAL PANEL INDICATING THE R-VALUES, U-FACTORS, ETC. OF THE BUILDING COMPONENTS
- THE ATTIC ACCESS PANEL(S) SHALL BE GASKETED, INSULATED AND HAVE METAL BRACKETS FOR SUPPORT
- DISCHARGE ALL NEW OR ALTERED DOWNSPOUTS TO FRONT OR REAR YARD
- NEW WORK DOES NOT ALTER EXISTING GRADE
- NEW ROOFING SHALL BE A MINIMUM CLASS "C"
- ADDRESS NUMBERS SHALL BE AT LEAST 6 INCHES IN HEIGHT, BE A CONTRASTING COLOR FROM THE BACKGROUND, AND BE INSTALLED ON OR OVER THE PRIMARY ENTRANCE TO THE DWELLING.
- ALL DOWNSPOUTS AND SUMP DISCHARGE PIPES MUST HAVE AN AIR GAP PRIOR TO CONNECTION WITH SUBSURFACE DRAINAGE SYSTEM.
- ROOF SLOPES BETWEEN 2:12 AND 4:12 SHALL HAVE 2 LAYERS OF FELT UNDERLAYMENT
- STEP CONSTRUCTION, MAXIMUM 7 1/2" RISER HEIGHT, MINIMUM 10" TREAD DEPTH, AND MAXIMUM HEIGHT DIFFERENCE BETWEEN THE GREATEST AND THE SMALLEST RISER WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED 8"

KINGSLEY + GINNODO ARCHITECTS
33 N Hickory Ave, Arlington Heights, IL 60004
Professional Design Firm - Architect
Exp: 4.30.25 # 184.005449

DRAWING LIST

T100	TITLE SHEET AND SITE PLAN
EX100	EXISTING PLANS AND ELEVATIONS
A100	FLOOR PLANS
A200	EXTERIOR ELEVATIONS

APPLICABLE BUILDING CODES

International Residential Code (IRC)
2018 Edition (with amendments)

National Electric Code
2017 Edition (with amendments)

State of Illinois Plumbing Code
2014 Edition (with amendments)

2018 Illinois Energy Conservation Code (IECC)
with State amendments



KINGSLEY + GINNODO ARCHITECTS

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NOT FOR CONSTRUCTION

PATRICK/KARA
MCKENNA

636 S MCKINLEY AVENUE
ARLINGTON HTS, IL 60005

MCKENNA
RESIDENCE

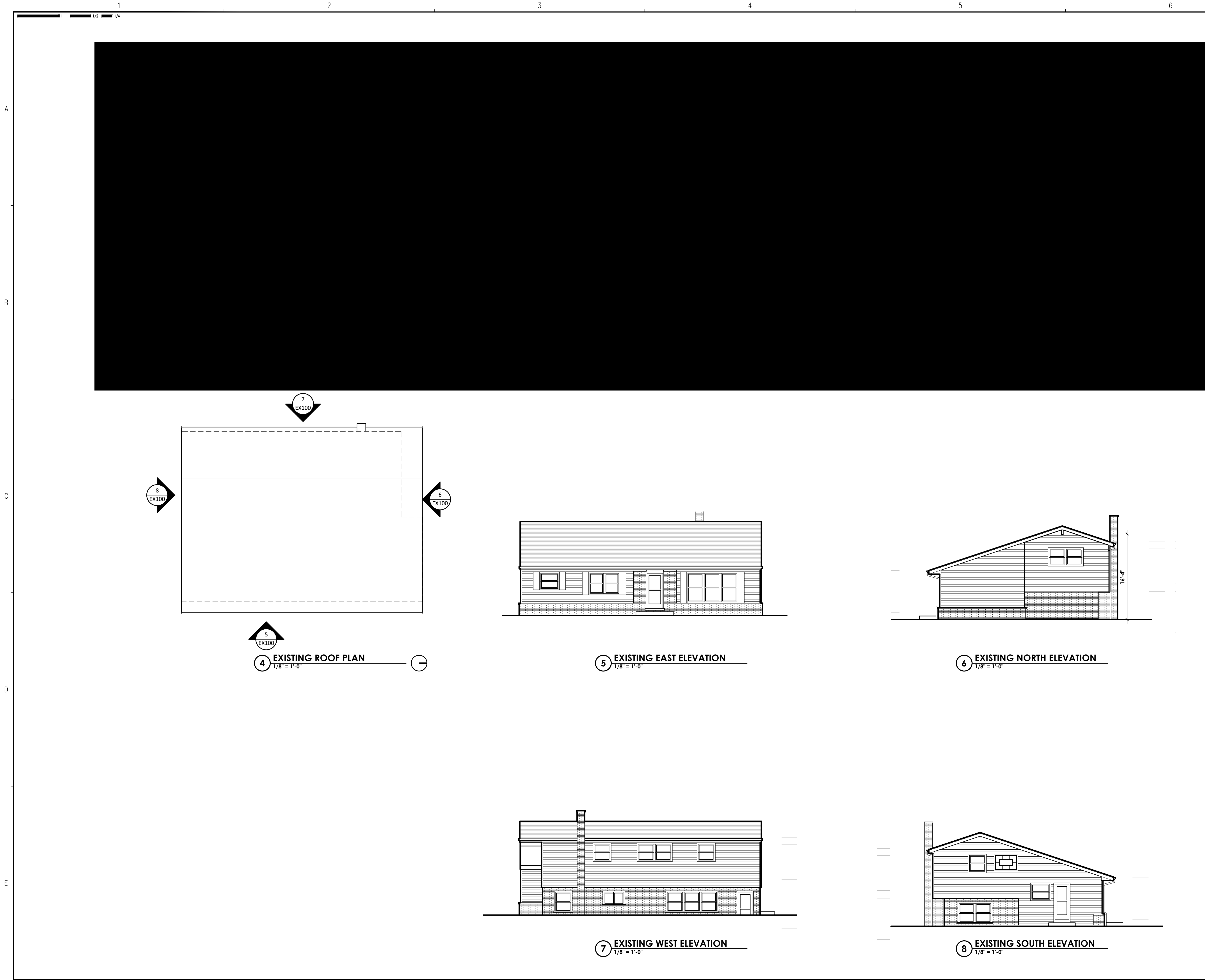
no.	revision	init.	date
	ZBA SUBMITTAL		8/24/23

TITLE SHEET AND SITE
PLAN

date	drawn by	checked by
------	----------	------------

Job No.
MCKENNA

Sheet No.
T100



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PATRICK/KARA MCKENNA
636 S MCKINLEY AVENUE
ARLINGTON HTS, IL 60005

MCKENNA RESIDENCE

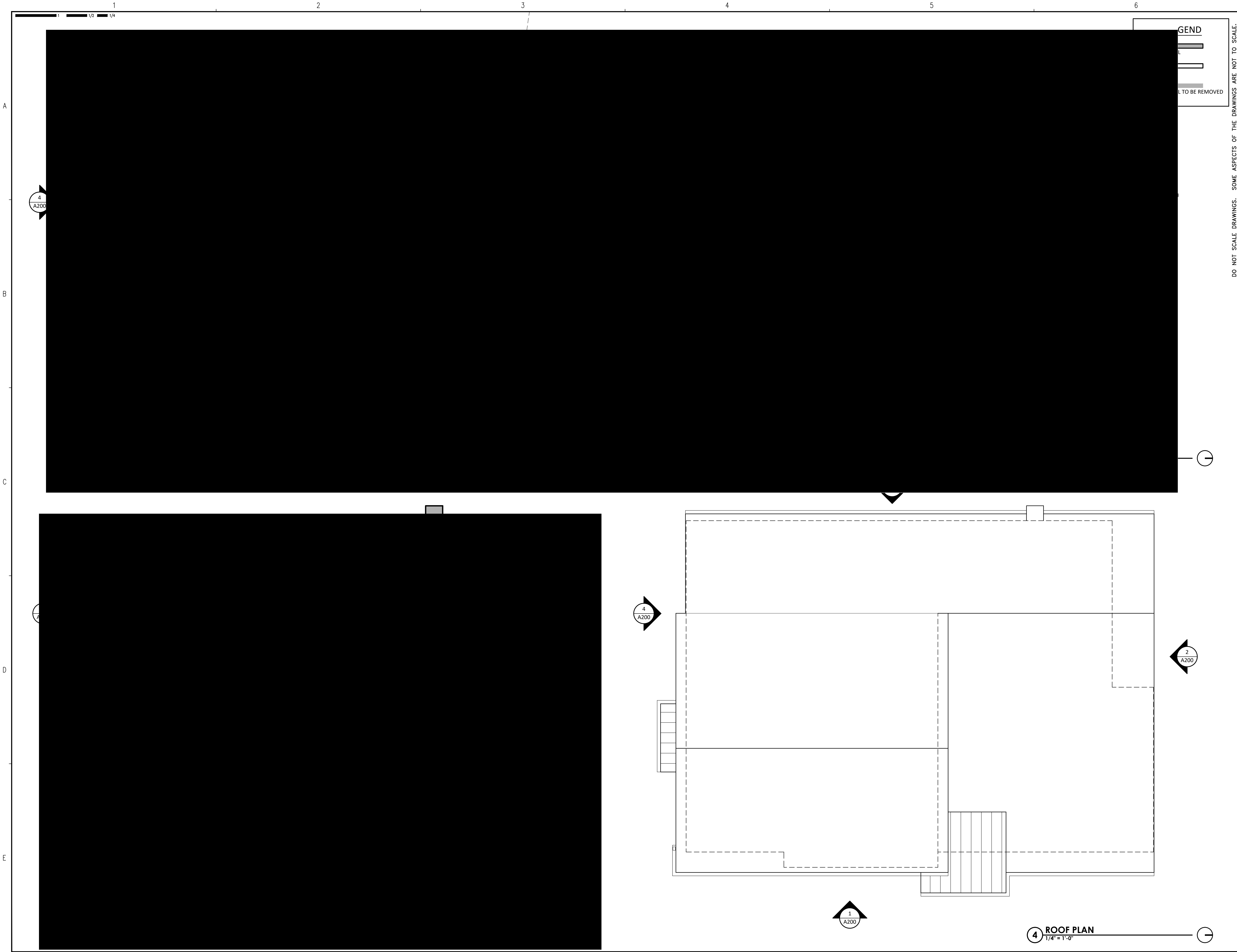
no.	revision	init.	date
	ZBA SUBMITTAL		8/24/23

TITLE SHEET AND SITE PLAN

date	drawn by	checked by

Job No. **MCKENNA**

Sheet No. **EX100**



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ARCHITECTS

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DO NOT SCALE DRAWINGS. SOME ASPECTS OF THE DRAWINGS ARE NOT TO SCALE.

NOT FOR CONSTRUCTION

PATRICK/KARA MCKENNA

636 S MCKINLEY AVENUE
ARLINGTON HTS, IL 60005

MCKENNA RESIDENCE

no.	revision	init.	date
	ZBA SUBMITTAL		8/24/23

FLOOR PLANS

date	drawn by	checked by

Job No.

MCKENNA

Sheet No.

A100

A
B
C
D
E



MATERIAL LIST	
SIDING:	"ARCTIC WHITE" - 6" AND 8" EXPOSURE JAMES HARDIE LAP SIDING
TRIM:	"ARCTIC WHITE" - SMOOTH HARDIE TRIM
WINDOWS:	"STONE WHITE", ESSENTIAL WINDOWS BY MARVIN
METAL ROOFING:	"MATTE BLACK" - ALUMINUM STANDING SEAM BY PAC-CLAD
GUTTERS/LEADERS:	PREFINISHED ALUMINUM, WHITE TO MATCH SIDING
ROOF SHINGLES:	"CHARCOAL" - TO MATCH EXISTING, TEXTURED ASPHALT SHINGLES BY GAF
BRICK:	EXISTING TO REMAIN

WINDOW NOTES:	
(E)	EGRESS WINDOW
(EX)	EXISTING WINDOW TO REMAIN
(T)	TEMPERED GLASS
(F)	FALL PROTECTION DEVICE



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DO NOT SCALE DRAWINGS. SOME ASPECTS OF THE DRAWINGS ARE NOT TO SCALE.

NOT FOR CONSTRUCTION

PATRICK/KARA MCKENNA
636 S MCKINLEY AVENUE
ARLINGTON HTS, IL 60005

MCKENNA RESIDENCE

no.	revision	init.	date
	ZBA SUBMITTAL		8/24/23

FLOOR PLANS

date	drawn by	checked by
Job No.		MCKENNA
Sheet No.		A200



Zoning Board of Appeals 10/16/2023

Item: 13 S. Ridge Ave. - ZBA#23-036

Department: Planning & Community Development Department

REQUEST

- A 0.7-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback of 4.3 feet instead of the required 5.0 feet and an additional 1.0 feet for the eave.
- A variance from Chapter 28, Section 6.6-5 (Permitted Obstructions) to allow two air conditioning compressor units in the required side yard setback along the south property line.

ATTACHMENTS:

Description

Supporting Documents

Type

Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: October 16, 2023
Date Prepared: October 11, 2023
Project Title: Ennis Residence
Address: 13 S. Ridge Ave.

Background Information

Petition Number: ZBA #23-036
Petitioner: Stephanie & Mark Ennis
Address: 13 S. Ridge Ave.
Arlington Heights IL 60005

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

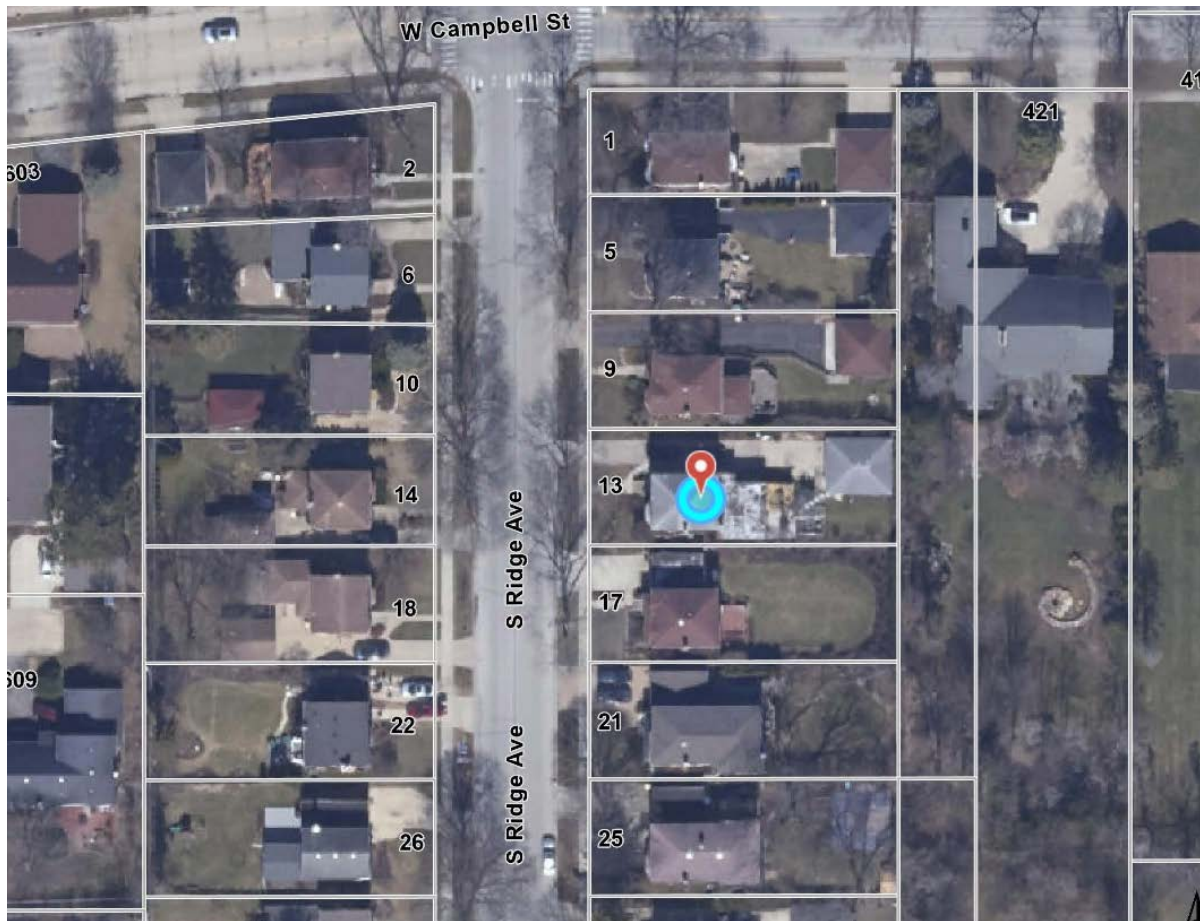
The petitioner is proposing an addition to the existing two-story residence. The proposed addition is in the rear of the home above a single story portion of the home. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of approximately 6,600 square feet and the proposed residence with the addition will be approximately 2,412 square feet. Along the south property line, the proposed addition encroaches 0.7 feet into the required side yard setback. In addition, the air conditioning compressors are encroaching into the required side yard setback. Therefore, the petitioner is requesting the following variations:

- A 0.7-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback of 4.3 feet instead of the required 5.0 feet and an additional 1.0 feet for the eave.
- A variance from Chapter 28, Section 6.6-5 (Permitted Obstructions) to allow two air conditioning compressor units in the required side yard setback along the south property line.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	9/29/23	
2. List of Property Owners Within 250 feet of Subject Property	✓	9/29/23	
3. Letter that was Mailed	✓	9/29/23	
4. Photographs of Sign on Property	✓	9/29/23	

Photographs of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Nusrat Jahan, Building & Life Safety Department

Project Name: Ennis Residence

Project Address: 13 S. Ridge Avenue

ZBA #: 23-036

Date: October 09, 2023

Derek:

We have reviewed the request for the following variance:

- **A 0.7-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback of 4.3 feet instead of the required 5.0 feet and an additional 1.0 feet for the eave.**
- **A variance from Chapter 28, Section 6.6-5 (Permitted Obstructions) to allow two air conditioning compressor units in the required side yard setback along the south property line.**

and have the following comments:

1. The south wall of the proposed addition shall have a minimum 1-hour fire-resistance rating.
2. The eave projection over the north wall of the addition cannot be less than 2 feet from the lot line.
3. The soffit on the north wall shall have a 1-hour fire-resistance rating or solid blocking between the top plate and the roof sheathing.
4. The maximum allowed openings on the south wall are limited to a total of 25% or the total wall area on the south side.

We don't have any comments on the air conditioning compressor units.

From: [Schwab, Briget](#)
To: [Mach, Derek](#); [DiMatteo, Pat](#)
Cc: [Pagones, Mike](#)
Subject: RE: ZBA hearing 10/16/23 - For Department Review
Date: Thursday, September 28, 2023 1:10:08 PM

Derek –
Please see Engineering's comments below.

13S Ridge Ave –

1. Engineering has NO OBJECTION to a 0.7-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback of 4.3 feet instead of the required 5.0 feet and an additional 1.0 feet for the eave.
2. Engineering has NO COMMENT on a variance from Chapter 28, Section 6.6-5 (Permitted Obstructions) to allow two air conditioning compressor units in the required side yard setback

along the south property line.

Kind Regards,

Briget F. Schwab, P.E.

Village of Arlington Heights Public Works Department
Engineering Division
33 South Arlington Heights Road
Arlington Heights, IL 60005

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Ennis Residence

Project Address: 13 S. Ridge Avenue

ZBA #: 23-036

ZBA Hearing Date: October 16, 2023

To: Mike Pagones, Village Engineer
Jorge Torres, Director of Building and Life Safety

C: Michael Lysicatos, Assistant Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Landscape Planner

Transmitted On: September 20, 2023

- A 0.7-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback of 4.3 feet instead of the required 5.0 feet and an additional 1.0 feet for the eave.
- A variance from Chapter 28, Section 6.6-5 (Permitted Obstructions) to allow two air conditioning compressor units in the required side yard setback along the south property line.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments:

Overall, the proposed design is nicely done. Staff intends to administratively approve the design, pending the outcome of the ZBA review.

Steve Hautzinger, Design Planner

August 24, 2023

PETITION

Stephanie and Mark Ennis Residence – 13 South Ridge Avenue, Arlington Heights, Illinois 60005

NOW COMES the Petitioner Stephanie and Mark Ennis being the owners of the property commonly known as: 13 South Ridge Avenue, Arlington Heights, Illinois 60005 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variance from the Arlington Heights Municipal Code, Chapter 28 Zoning Regulations, Section 5.1-3.3 (Required Minimum Yards) in order: to build a second-floor addition that has a side yard 4'-4" instead of the required 5'-0".

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with the existing uses and zoning of nearby property if the variations were granted: The proposed new second-floor addition aligns with the existing first floor and the new air conditioning unit will be located in a similar location as the existing air conditioning unit.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned: The south wall of the home is existing non-conforming. The new addition will align with the first floor and have the same setback. The existing air conditioning unit encroaches over the required side yard. The new air conditioning will encroach the same amount and will be located closer to the rear of the yard.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter: The proposed addition and air conditioning unit maintains the same existing conditions.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property: The proposed addition is the best aesthetic and cost-effective solution. The proposed location of the air conditioning unit allows the owners to continue to use the existing patio and not encroach in front of the patio doors.

Signed: (petitioner)

Stephanie Ennis

date:

8/24/23

LEGEND

A = ASSUMED
C = CALCULATED
CH = CHORD
CL = CENTERLINE
D = DEED
E = EAST
F.I.P. = FOUND IRON PIPE
F.I.R. = FOUND IRON ROD
FT. = FEET/FOOT
L = ARC LENGTH
M = MEASURED
N = NORTH
NE = NORTHEAST

NW = NORTHWEST
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
R = RECORD
RAD = RADIUS
R.O.W. = RIGHT OF WAY
S = SOUTH
S.I.P. = SET IRON PIPE
S.I.R. = SET IRON ROD
SE = SOUTHEAST
SW = SOUTHWEST
W = WEST

CHAIN LINK FENCE
WOOD FENCE
METAL FENCE
VINYL FENCE
EASEMENT LINE
SETBACK LINE
INTERIOR LOT LINE

PLAT OF SURVEY OF

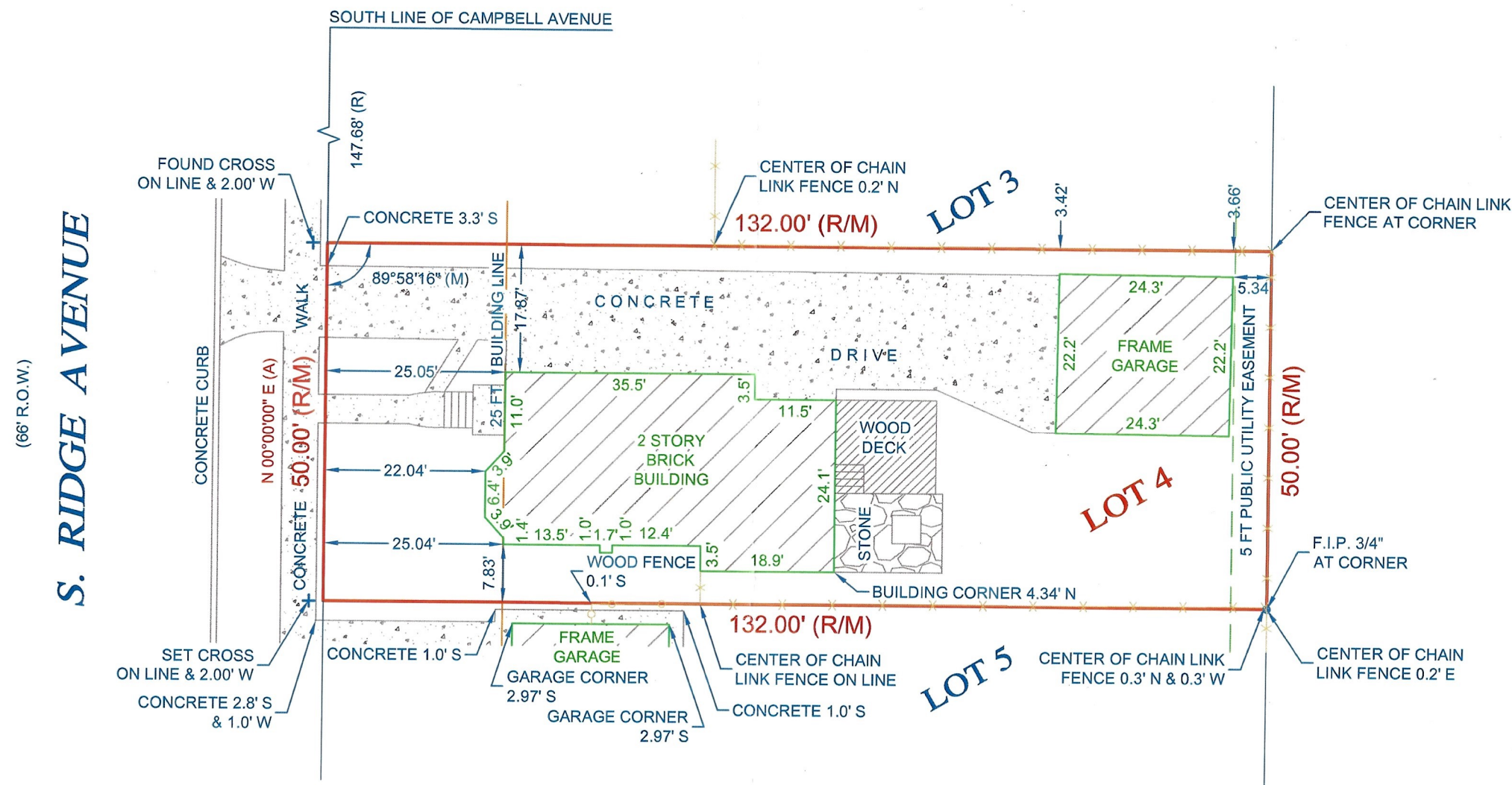
LOT 4 IN RIDGELAWN, BEING A SUBDIVISION OF THAT PART LYING SOUTH OF THE CENTER LINE OF CAMPBELL STREET OF THE EAST 157 FEET OF THE WEST 1/2 OF THE SOUTHEAST 1/4 AND THE WEST 198 FEET OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

AREA OF SURVEY:

"CONTAINING 6,600 SQ. FT. OR 0.15 ACRES MORE OR LESS"



BASIS OF BEARING:
EAST LINE OF S. RIDGE AVENUE AS FOUND
MONUMENTED AND OCCUPIED PER RECORD
SUBDIVISION.
N 00°00'00" E (A)



STATE OF ILLINOIS }
COUNTY OF DUPAGE }

I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT "THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY," AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

DATED, THIS 8TH DAY OF JUNE, A.D., 2022,
AT Lisle, ILLINOIS.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-3253
LICENSE EXPIRATION DATE NOVEMBER 30, 2022
ILLINOIS BUSINESS REGISTRATION NO. 184-001245



NOTE:

- ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.
- ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
- COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
- NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

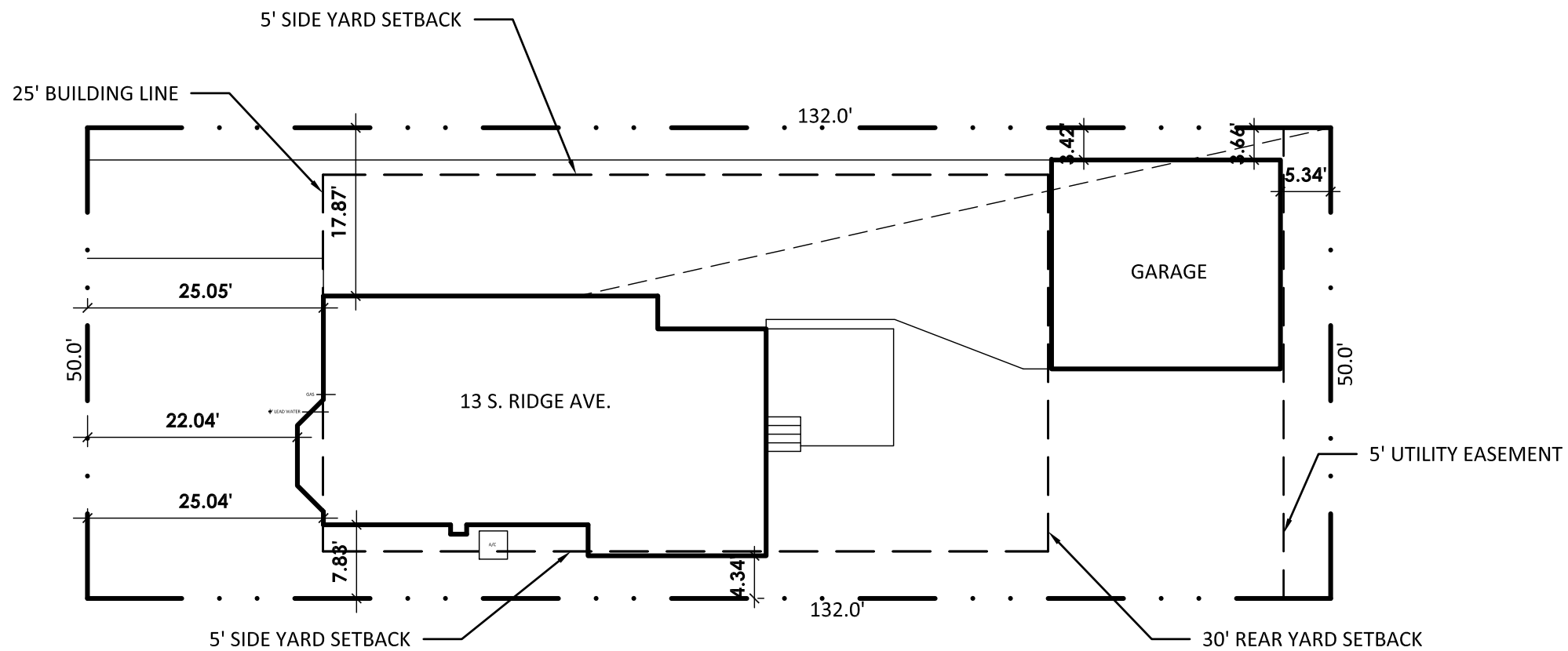
ADDRESS COMMONLY KNOWN AS 13 S. RIDGE AVENUE
ARLINGTON HEIGHTS, ILLINOIS

CLIENT COLLEEN A. CLARE P.C.

FIELDWORK DATE (CREW) 06/08/2022 (MM/DA)

DRAWN BY: R.S. REVISED: JOB NO. 22-05-0398

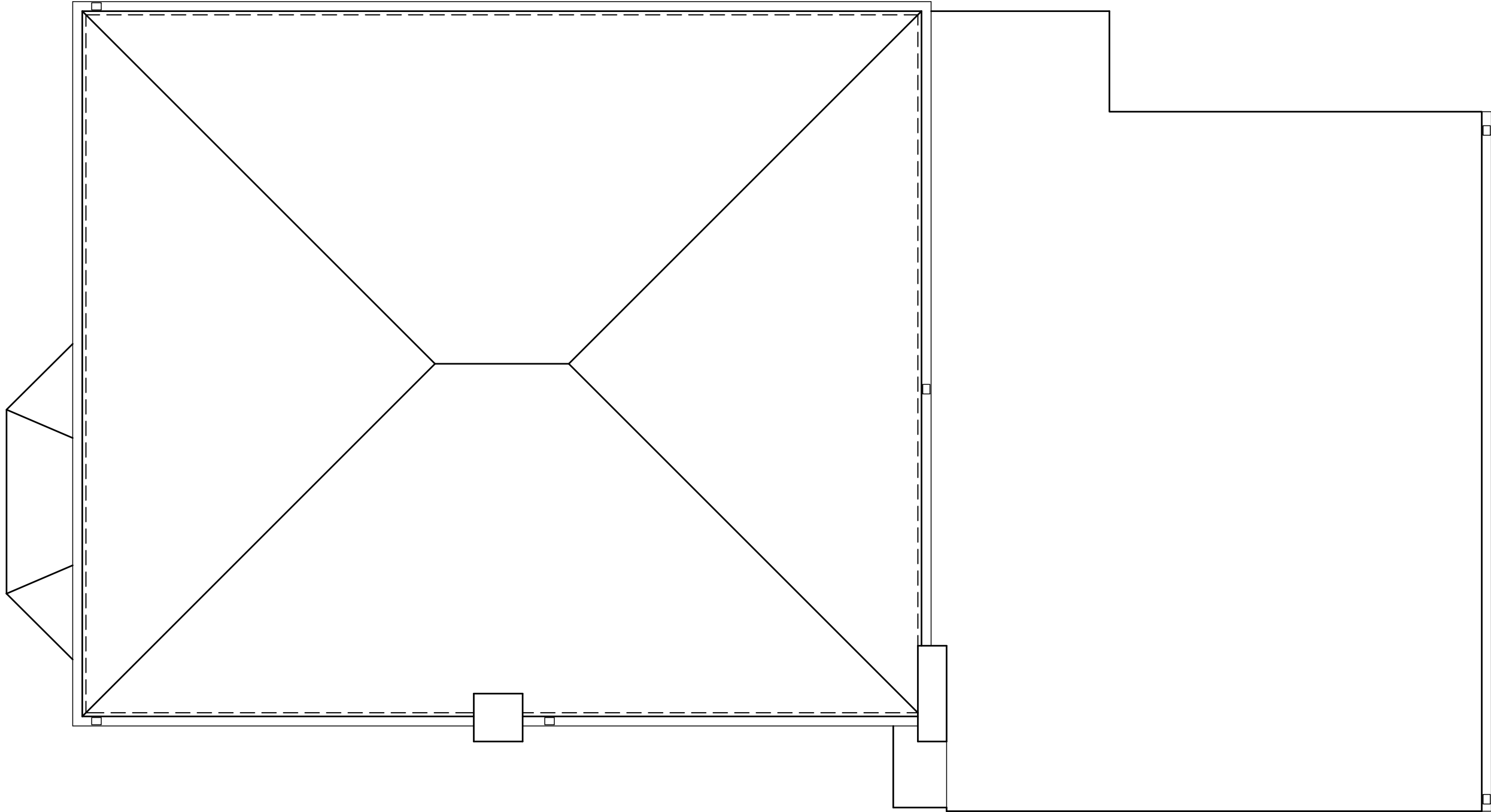
Morris Engineering, Inc.
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-0770
FAX: (630) 271-0774
WEBSITE: WWW.ECIVIL.COM



1 EXISTING SITE PLAN
1/16" = 1'-0"

STEPHANIE AND MARK ENNIS
13 S RIDGE AVE, ARLINGTON HTS, IL 60004





1 EXISTING ROOF PLAN 1
1/4" = 1'-0"

STEPHANIE AND MARK ENNIS
13 S RIDGE AVE, ARLINGTON HTS, IL 60004



KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV. ARLINGTON HTS. IL 60004

EX4

4.11.23

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1 EXISTING WEST ELEVATION
1/4" = 1'-0"

STEPHANIE AND MARK ENNIS
13 S RIDGE AVE, ARLINGTON HTS, IL 60004



1 1/2 1/4



1 EXISTING NORTH ELEVATION
1/4" = 1'-0"

STEPHANIE AND MARK ENNIS
13 S RIDGE AVE, ARLINGTON HTS, IL 60004



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33 N HICKORY AV. ARLINGTON HTS. IL 60004
4.11.23
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EX6



1 EXISTING EAST ELEVATION
1/4" = 1'-0"

STEPHANIE AND MARK ENNIS
13 S RIDGE AVE, ARLINGTON HTS, IL 60004



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4.11.23

EX7

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1 1/2 1/4



1 EXISTING SOUTH ELEVATION
1/4" = 1'-0"

STEPHANIE AND MARK ENNIS
13 S RIDGE AVE, ARLINGTON HTS, IL 60004



KINGSLEY + GINNODO ARCHITECTS
333 N HICKORY AV. ARLINGTON HTS. IL 60004

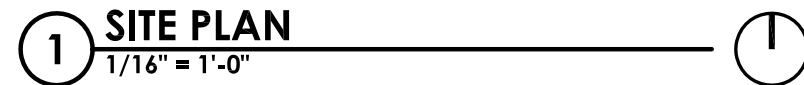
EX8

4.11.23

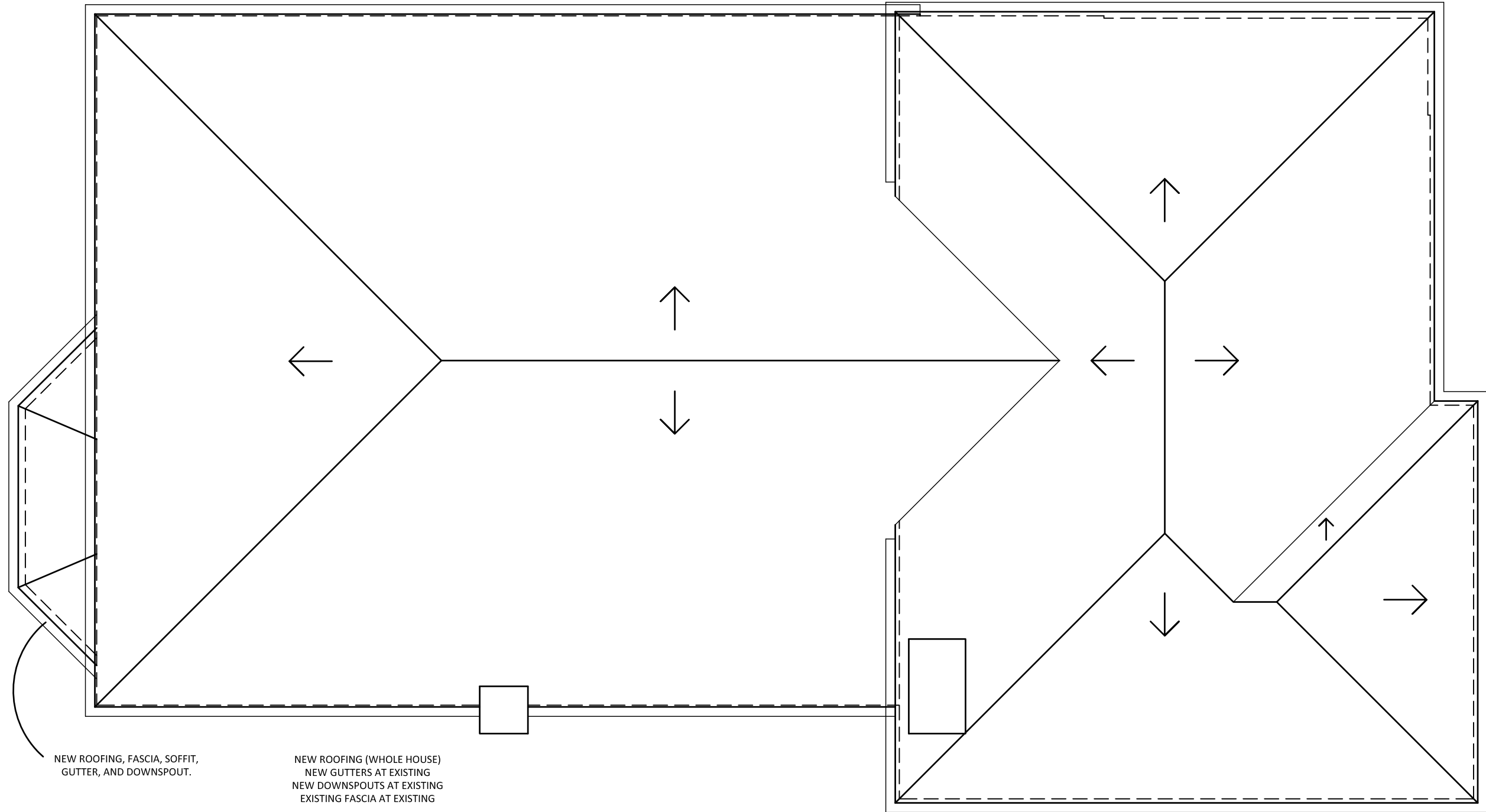
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13 S RIDGE AVE, ARLINGTON HTS, IL 60005



1 1/2 1/4



NEW ROOFING, FASCIA, SOFFIT,
GUTTER, AND DOWNSPOUT.

NEW ROOFING (WHOLE HOUSE)
NEW GUTTERS AT EXISTING
NEW DOWNSPOUTS AT EXISTING
EXISTING FASCIA AT EXISTING

1 ROOF PLAN 1/4" = 1'-0" 1

STEPHANIE AND MARK ENNIS
13 S RIDGE AVE, ARLINGTON HTS, IL 60005



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33 N HICKORY AV. ARLINGTON HTS. IL 60004
8.24.23
A4
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MATERIAL LIST

BOARD AND BATTEN	"ARTIC WHITE" -SMOOTH HARDIE TRIM BOARD AND BATTENS JAMES HARDIE FIBER CEMENT
TRIM	"ARCTIC WHITE" - -SMOOTH HARDIE TRIM JAMES HARDIE FIBER CEMENT
WINDOWS	"STONE WHITE", ELEVATE WINDOWS BY MARVIN
GUTTERS/LEADERS	PREFINISHED ALUMINUM, WHITE TO MATCH TRIM
ROOF SHINGLES	"SLATE" - TIMBERLINE HD TEXTURED ASPHALT SHINGLES BY GAF
BRICK	NEW BRICK ON EAST ELEVATION TO MATCH EXISTING



1 WEST ELEVATION
1/4" = 1'-0"

STEPHANIE AND MARK ENNIS
13 S RIDGE AVE, ARLINGTON HTS, IL 60005





1 NORTH ELEVATION
1/4" = 1'-0"

STEPHANIE AND MARK ENNIS
13 S RIDGE AVE, ARLINGTON HTS, IL 60005



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33 N HICKORY AV. ARLINGTON HTS. IL 60004

8.24.23

A6

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MATERIAL LIST

BOARD AND BATTEN	"ARTIC WHITE" -SMOOTH HARDIE TRIM BOARD AND BATTENS
	JAMES HARDIE FIBER CEMENT
TRIM	"ARCTIC WHITE" - -SMOOTH HARDIE TRIM
	JAMES HARDIE FIBER CEMENT
WINDOWS	"STONE WHITE", ELEVATE WINDOWS BY MARVIN
GUTTERS/LEADERS	PREFINISHED ALUMINUM, WHITE TO MATCH TRIM
ROOF SHINGLES	"SLATE" - TIMBERLINE HD TEXTURED ASPHALT SHINGLES BY GAF
BRICK	NEW BRICK ON EAST ELEVATION TO MATCH EXISTING



1 EAST ELEVATION
1/4" = 1'-0"

STEPHANIE AND MARK ENNIS
13 S RIDGE AVE, ARLINGTON HTS, IL 60005



1 1/2 1/4



1 SOUTH ELEVATION
1/4" = 1'-0"

STEPHANIE AND MARK ENNIS
13 S RIDGE AVE, ARLINGTON HTS, IL 60005



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33 N HICKORY AV. ARLINGTON HTS. IL 60004

8.24.23

A8

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**Zoning Board of Appeals
10/16/2023**

Item: 121 S. Dunton Ave. - ZBA#23-037

Department: Planning & Community Development Department

REQUEST

- A variation from Chapter 28, Section 5.1-6.2 (Minimum Lot Size), to allow a lot with an area of 6,371 square feet to be buildable where 8,750 square feet is required.
- A variation from Chapter 28, Section 5.1-6.2 (Minimum Lot Width) to allow a lot with a width of 50 feet to be buildable where 70 feet is required.

ATTACHMENTS:

Description

Supporting Documents

Type

Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: October 16, 2023
Date Prepared: October 11, 2023
Project Title: Nielsen Residence
Address: 121 S. Dunton Avenue

Background Information

Petition Number: ZBA #23-037
Petitioner: Kevin Purdom
Address: 1275 E. Davis Street
Arlington Heights IL 60005

Existing Zoning: R-6 – Residential Single-Family District

Requested Action/Background Information

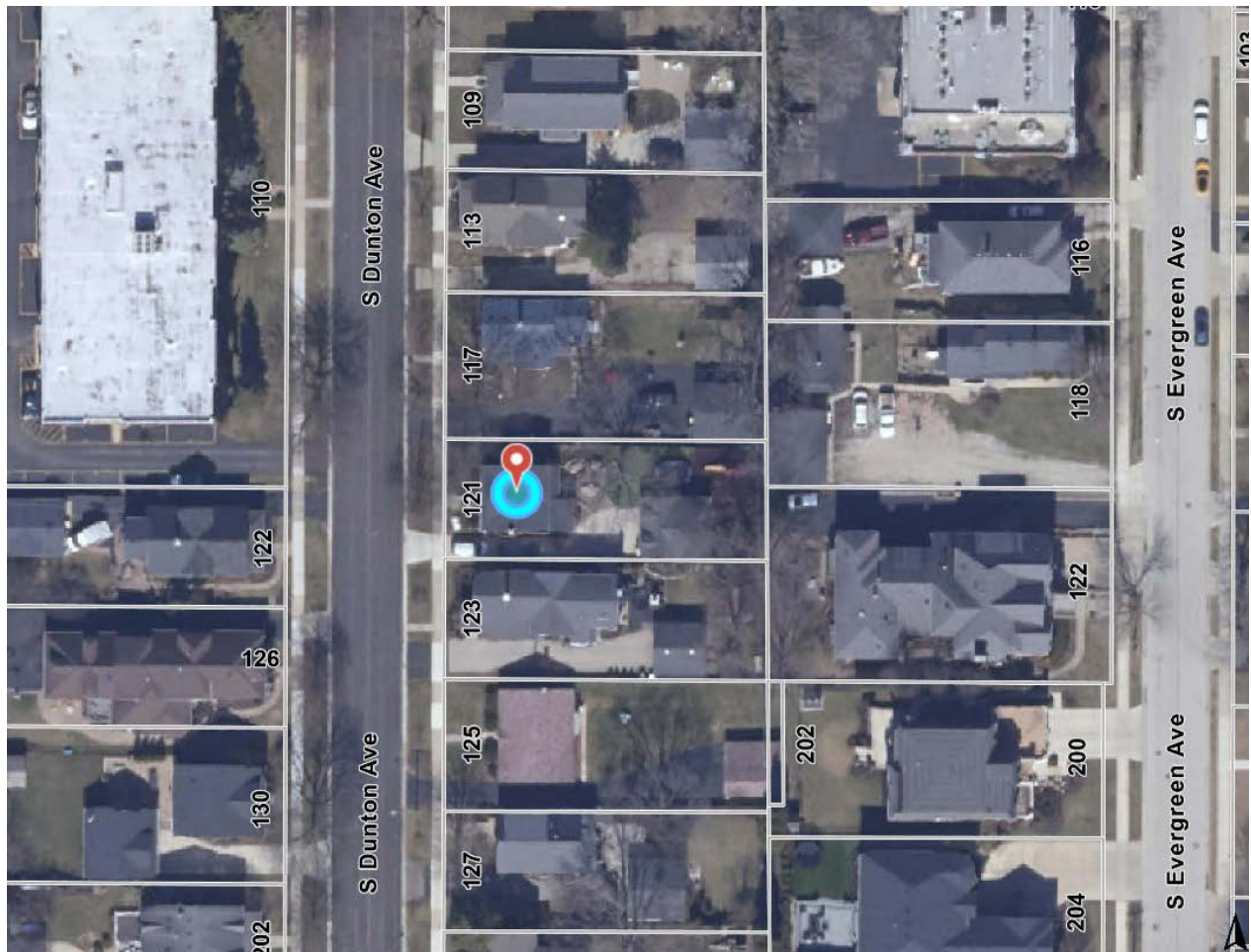
The petitioner is proposing an addition to the existing two-story residence. The subject site is zoned R-6, Two Family Dwelling District. The property has a total land area of 6,371 square feet and the proposed residence will have approximately 1,800 square feet. The project does require approval by the Zoning Board of Appeals for a variation in lot width and size due to the existing 50' wide lot with 6,371 square feet not meeting the minimum required 70 foot width and 8,750 square feet. The project design does comply with all other zoning requirements. The petitioner is requesting the following variations:

- A variation from Chapter 28, Section 5.1-6.2 (Minimum Lot Size), to allow a lot with an area of 6,371 square feet to be buildable where 8,750 square feet is required.
- A variation from Chapter 28, Section 5.1-6.2 (Minimum Lot Width) to allow a lot with a width of 50 feet to be buildable where 70 feet is required.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

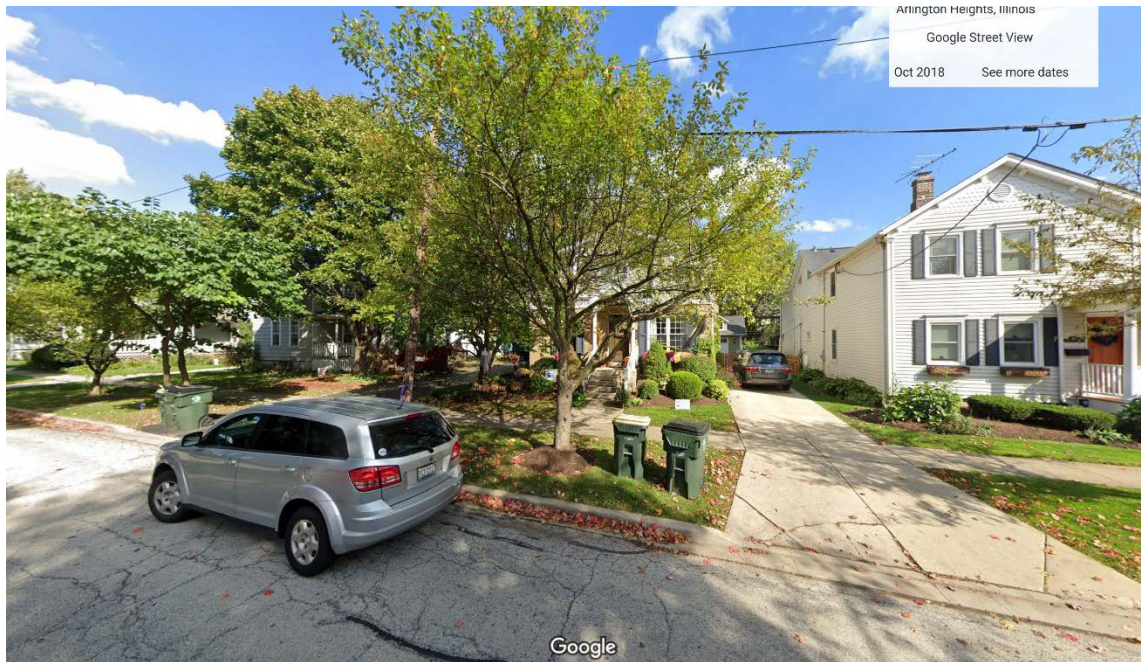
Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	9/18/23	
2. List of Property Owners Within 250 feet of Subject Property	✓	9/18/23	
3. Letter that was Mailed	✓	9/18/23	
4. Photographs of Sign on Property	✓	9/18/23	

Photographs of Existing Structure





Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Nusrat Jahan, Building & Life Safety Department

Project Name: Nielsen Residence

Project Address: 121 S. Dunton Avenue

ZBA #: 23-037

Date: October 09, 2023

Derek:

We have reviewed the request for the following variance:

- **A variation from Chapter 28, Section 5.1-6.2 (Minimum Lot Size), to allow a lot with an area of 6,371 square feet to be buildable where 8,750 square feet is required.**
- **A variation from Chapter 28, Section 5.1-6.2 (Minimum Lot Width) to allow a lot with a width of 50 feet to be buildable where 70 feet is required.**

and have no objections or comments.

From: [Schwab, Briget](#)
To: [Mach, Derek](#); [DiMatteo, Pat](#)
Cc: [Pagones, Mike](#)
Subject: RE: ZBA hearing 10/16/23 - For Department Review
Date: Thursday, September 28, 2023 1:10:08 PM

Derek –

Please see Engineering's comments below.

121 S Dunton Ave -

1. Engineering has NO OBJECTION to variation from Chapter 28, Section 5.1-6.2 (Minimum Lot Size), to allow a lot with an area of 6,371 square feet to be buildable where 8,750 square feet is required. NOTE: Existing conditions of lot
2. Engineering has NO OBJECTION to variation from Chapter 28, Section 5.1-6.2 (Minimum Lot Width) to allow a lot with a width of 50 feet to be buildable where 70 feet is required. NOTE: Existing conditions of lot

Kind Regards,

Briget F. Schwab, P.E.

Village of Arlington Heights Public Works Department
Engineering Division
33 South Arlington Heights Road
Arlington Heights, IL 60005

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Nielsen Residence

Project Address: 121 S. Dunton Avenue

ZBA #: 23-037

ZBA Hearing Date: October 16, 2023

To: Mike Pagones, Village Engineer
Jorge Torres, Director of Building and Life Safety

C: Michael Lysicatos, Assistant Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Landscape Planner

Transmitted On: September 20, 2023

- A variation from Chapter 28, Section 5.1-6.2 (Minimum Lot Size), to allow a lot with an area of 6,371 square feet to be buildable where 8,750 square feet is required.
- A variation from Chapter 28, Section 5.1-6.2 (Minimum Lot Width) to allow a lot with a width of 50 feet to be buildable where 70 feet is required.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments:

The proposed addition is nicely designed. This project has received an Administrative (Staff) design approval, pending ZBA approval.

- Steve Hautzinger, Design Planner

PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner Kevin Purdom (JRC Design Build)

being the owner of the property commonly known as: 121 S Dunton Ave

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-6.2

Chapter 28, of the Arlington Heights Municipal Code, in order to: build a stair case addition in an existing nonconforming house zoned R-6.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): All zoning and code requirements are met for R-6 zoning and addition will not alter the use or character of the house.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): The existing lot is nonconforming to the zoning requirements. any work to be done would require a variance in order for approval.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): All design and zoning criteria are being met by the proposal.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): This is the minimum variance available as the existing is nonconforming.
No other zoning regulations are infringed.

Signed: _____

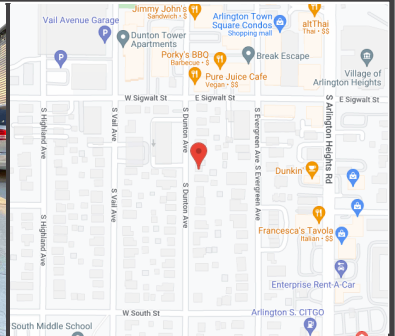
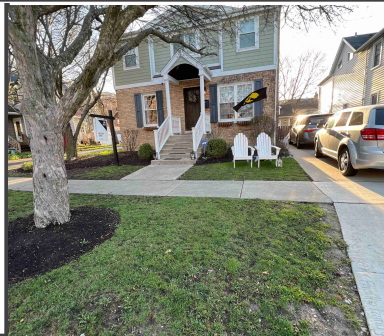


Petitioner

Date: 08/28/2023



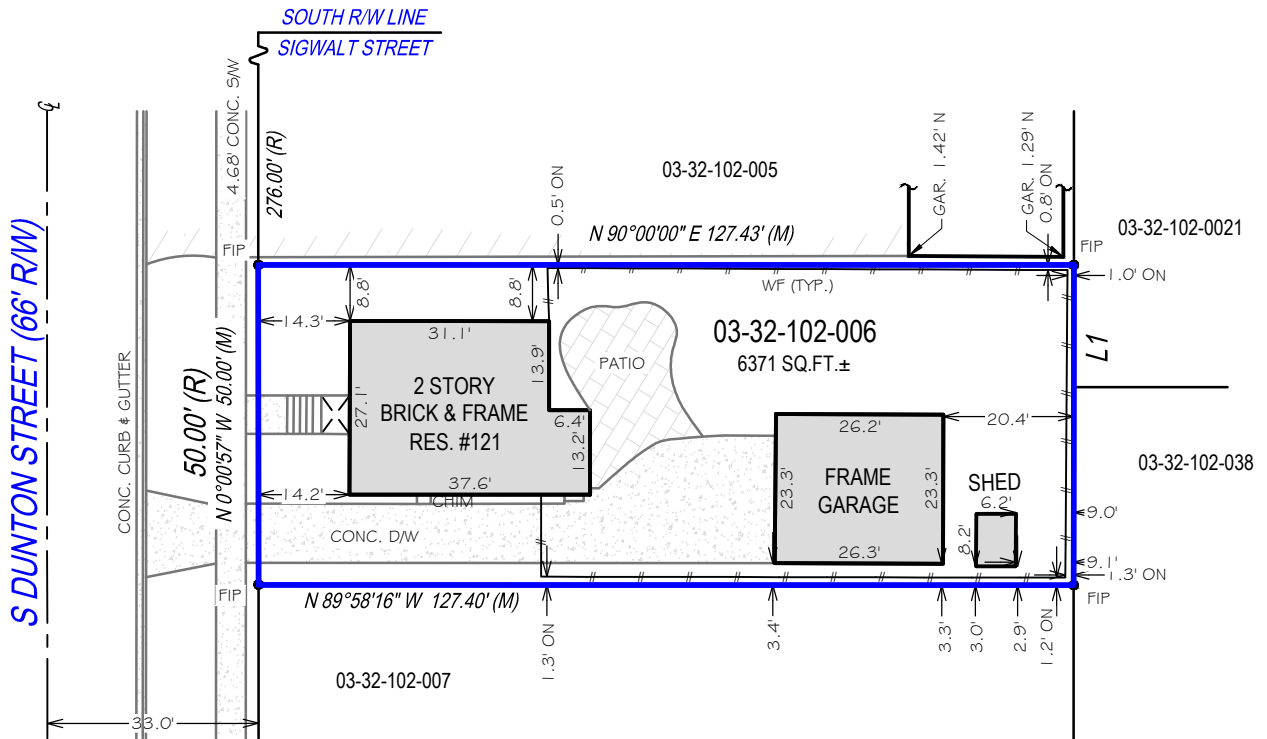
www.exactaland.com | office: 773.305.4011



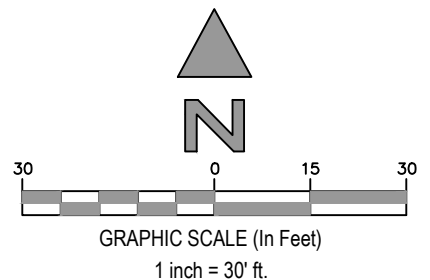
PROPERTY ADDRESS: 121 S DUNTON ST, ARLINGTON HEIGHTS, ILLINOIS 60005

SURVEY NUMBER: IL2203.7164

IL2203.7164
BOUNDARY SURVEY
COOK COUNTY



LINE TABLE:
L1 50.00' (R)
S 0°01'10" W 50.00' (M)



STATE OF ILLINOIS } SS
COUNTY OF LASALLE }

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.

Handwritten signature of Warren D. Johnson



ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971
LICENSE EXPIRES 11/30/2022
EXACTA LAND SURVEYORS, LLC
PROFESSIONAL DESIGN FIRM 184008059-0008

POINTS OF INTEREST:
NONE VISIBLE



Exacta Land Surveyors, LLC
PLS# 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60460



DATE OF SURVEY: 04/15/22
FIELD WORK DATE: 4/14/2022
REVISION DATE(S): (REV.0 4/15/2022)

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

PROJECT DATA

PROJECT LOCATION:	121 S DUNTON AVE
ZONING DISTRICT:	R-6
LOT AREA:	6,371.5 SF
PIN:	03-32-102-006-0000
LOCATION AREAS:	
EX FIRST FLOOR RENOVATED FIRST FLOOR EX SECOND FLOOR RENO/NEW SECOND FLOOR GARAGE	927.3 SF 350 SF 733 SF 139 SF 607 SF
TOTAL SQUARE FOOTAGE:	1,799 SF

PROJECT SPECIFIC INFORMATION

SCOPE OF WORK AND ALTERNATES:

PROPOSAL
THE PROPOSAL FOR THE FOLLOWING:

-DESIGN BUILD A NEW 1ST FLOOR PLAN TO RELOCATE THE STAIRS INTO THE REAR STAIR AREA, THIS AREA WILL BE TOTALLY REBUILT TO HAVE ACCESS TO THE BASEMENT AND THE 2ND FLOOR, THIS MAY REQUIRE A SMALL 2ND FLOOR ADDITION OVER THE EXISTING REAR BUMP OUT, THEN WE WILL REMOVE THE WALLS AND OPEN UP THE REAR OF THE HOME FOR A RELOCATED NEW KITCHEN

DESIGN CRITERIA

FLOOR SLEEPING ROOMS OTHER ROOMS VEH. GARAGES	40# LL - 10# DL 40# LL - 10# DL 50# LL - 10# DL
WALL	60# PLF OR ACTUAL LOAD 20 PSF WIND 0'-20' HEIGHT 25 PSF WIND 21'-29' HEIGHT 30 PSF WIND 30' HEIGHT AND ABOVE
CEILING UNHAB W/O STOR UNHAB LIM STOR HAB W/ FIX STAIR	10# LL - 10# DL 20# LL - 10# DL 30# LL - 10# DL
WIND SPEED	115 MPH 3 SECOND GUST & 89 NOMINAL
ROOF	30# LL (SNOW) - 10# DL (ALL SLOPES)
CATHEDRAL	30# LL - 15# DL (ALL SLOPES)
EXT DECK	40# LL - 10# DL
EXT BALCONY	40# LL - 10# DL
STAIRS	40# LL + 300# CONCENTRATED LOAD
GUARD & HANDRAILS	200# LL AT ANY DIRECTION APPLIED AT THE TOP
FROST DEPTH	42" (3'-6")
STRUCTURAL FRAMING LUMBER BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE) GRADE #2 SPECIES SPF DOMESTIC OR CANADIAN BASE Fb 875	
SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM PRODUCT WITH THE CURRENT SIZE, Fb, AND E VALUES PER MANUFACTURER	
MANUFACTURER - TRUS-JOIST PRODUCT - LVL HEADERS & BEAMS MICRO-LAM	

APPLICABLE CODES

ALL WORK PERFORMED AND MATERIALS USED SHALL COMPLY WITH THE FOLLOWING:

BUILDING CODE	2018 INTERNATIONAL RESIDENTIAL CODE WITH AMENDMENTS
MECHANICAL CODE	INTERNATIONAL MECHANICAL CODE, 2018
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
PLUMBING CODE	2014 ILLINOIS PLUMBING CODE WITH AMENDMENTS
ENERGY CODE	2018 ILLINOIS ENERGY CONSERVATION CODE WITH STATE AMENDMENTS

-ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES, AND REGULATIONS.
-MANUFACTURERS' SPECIFICATIONS AND TRADE ASSOCIATIONS RECOMMENDATIONS.
-ACCEPTED ENGINEERING AND CONSTRUCTION PRACTICES.

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD		WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDER LAYMENT REQ.	FLOOD HAZARDS CHAPTER VILLAGE CODE	AIR FREEZING INDEX	MEAN ANNUAL TEMP
SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE			WITHRNG	FROST LINE DEPTH	TERMITES						
25	115	NO	NO	NO	b	SEVERE	42"	MOD TO HEAVY	-4	YES	NOV 6 2000	2000	47.6	

ABBREVIATIONS

A.B.	ANCHOR BOLT	L.	LINEN
ABV	ABOVE	LAM.	LAMINATE
A.C.	AIR CONDITIONING	LAV.	LAVATORY
ACOUS.	ACOUSTIC	LL	LIVE LOAD
ADJ.	ADJUSTABLE	LP	LOW POINT
A.F.F.	ABOVE FINISH FLOOR	MAX.	MAXIMUM
ALUM.	ALUMINUM	MC	MEDICINE CABINET
ALT.	ALTERNATE	MECH	MECHANICAL
A.P.	ACCESS PANEL	MED	MEDIUM
APPROX.	APPROXIMATE	MIN	MINIMUM
ARCH.	ARCHITECTURAL	MISC	MISCELLANEOUS
@	AT	ML	MICROLAM
BD	BOARD	MO	MASONRY OPENING
BI	BUILT-IN	MRBL	MARBLE
BLDG	BUILDING	MTL	METAL
BOT.	BOTTOM	MW	MICROWAVE
B/	BOTTOM OF	NIC	NOT IN CONTRACT
BRG.	BEARING	NO	NUMBER
BRG. PL.	BEARING PLATE	NOM	NOMINAL
B.U.R.	BUILT UP ROOFING	NTS	NOT TO SCALE
CRPT	CARPET	O	OVEN
CABT	CABINET	OA	OVERALL
C.I.	CAST IRON	OC	ON CENTER
C.J.	CEILING JOISTS	OPP	OPPOSITE
C.J.T.	CONSTRUCTION JOINTS	OPT.	OPTIONAL
CL	CENTERLINE	PERF.	PERFORATED
CLG.	CEILING	PL	PLATE
CL.	CLOSET	P LAM	PLASTIC LAMINATE
C.M.U.	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
C. O	CASED OPENING	PSF	POUNDS PER SQUARE FOOT
COL.	COLUMN	PSI	POUNDS PER SQUARE INCH
CONC.	CONCRETE	PVC	POLYVINYLCHLORIDE
CONST.	CONSTRUCTION	QT	QUARRY TILE
CONT.	CONTINUOUS	R	RADIUS
C.T.	CERAMIC TILE	RD	ROOF DRAIN
C.W.	COLD WATER	R & S	ROD AND SHELF
DEMO.	DEMOLITION	REC	RECESSED
DIA.	DIAGONAL	REF	REFRIGERATOR
DIM.	DIMENSION	REG	REGULAR
DISP.	DISPOSAL	REINF	REINFORCE
DIV.	DIVISION	RM	ROOM
DL	DEAD LOAD	RO	ROUGH OPENING
DN.	DOWN	RR	ROOF RAFTERS
DWGS.	DRAWINGS	SECT	SECTION
D.S.	DOWNSPOUT	SHLV	SHELVES
D.W.	DISHWASHER	SHT	SHEET
EA.	EACH	SHWR	SHOWER
EX.	EXISTING	SHTG	SHEATHING
EIFS	EXTERIOR INSULATION FINISH SYSTEM	SIM	SIMILAR
EQ	EQUAL	SL	SLIDING
EXP.	EXPANSION	SPEC	SPECIFICATION
ELECT.	ELECTRICAL	SQ	SQUARE
ELEV.	ELEVATION	SF	SQUARE FOOT
EQUIP.	EQUIPMENT	SS	SANITARY SUMP
EQUIV.	EQUIVALENT	STD	STANDARD
E.W	EACH WAY	STL	STEEL
F	FURNACE	STOR	STORAGE
FD	FLOOR DRAIN	STRUCT	STRUCTURE
FE	FIRE EXTINGUISHER	SUSP	SUSPENDED
FF	FINISH FLOOR	T & B	TOP AND BOTTOM
FIN.	FINISH	T	TOP OF
FIXT	FIXTURE	TEL	TELEPHONE
FLR	FLOOR	T & G	TONGUE AND GROOVE
FLSHG	FLASHING	THK	THICK
FDN	FOUNDATION	TJI	TRUST JOIST
FO	FACE OF	TOP	TOP OF PLATE
FS	FOOTING SUMP	TV	TELEVISION
FTG	FOOTING	TYP	TYPICAL
FURN	FURNACE	UC	UNDER COUNTER
GA	GAUGE	UON	UNLESS OTHERWISE NOTED
GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE
GFI	GROUND FAULT INTERRUPT	VERT	VERTICAL
GLU-LAM	GLUE LAMINATED BEAM	VIF	VERIFY IN FIELD
GYP.	GYPSUM	W/	WITH
HEAD	HEADER	WC	WATER CLOSET
HDR	HEADER	W/C	WALK IN CLOSET
HT	HEIGHT	WD	WOOD
HM	HOLLOW METAL	WDO	WINDOW
HORZ	HORIZONTAL	WH	WATER HEATER
HP	HIGH POINT	W/O	WITHOUT
HTG	HEATING	WP	WATERPROOF
HVAC	HEATING VENTILATE AIR CONDITIONING	WT	WEIGHT
INT.	INTERIOR	VWF	WELDED WIRE FABRIC

SITE SETBACKS (R-6)

	REQUIRED	PROPOSED
FRONTYARD	25.0'	14.2'
INTERIOR SIDEYARD 10% LOT WIDTH	5.0'	8.8'
INTERIOR SIDEYARD 10% LOT WIDTH	5.0'	13.3'
REARYARD	30.0'	75.1"
HEIGHT - MEAN	MAX 50.0'	EX TO REMAIN

SITE PLAN LEGEND & NOTES

- INFORMATION ON THIS DRAWING IS ACCUMULATED FROM EXISTING DOCUMENTATION AND MUST BE CONFIRMED BY THE CONTRACTOR AND COORDINATED WITH THE ARCHITECT PRIOR TO CONSTRUCTION. ARCHITECTURAL SITE PLAN IN FOR SCHEMATIC PURPOSES ONLY. SEE SITE ENGINEERING PLAN AND LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- VERIFY LOCATIONS OF ALL UTILITIES AND OTHER BUILDING SERVICES PRIOR TO EXCAVATION.
- PROVIDE REQUIRED WORK TO ACCOMMODATE EXISTING UTILITIES OR OTHER BUILDING SERVICES.
- PROTECT EXISTING LANDSCAPING DURING CONSTRUCTION, TO GREATEST EXTENT POSSIBLE.
- PROVIDE TEMPORARY CONSTRUCTION/SECURITY FENCING AROUND ALL OPEN EXCAVATIONS; HEIGHT AS REQ'D BY LOCAL CODES.
- VERIFY LOCATIONS OF ALL MATERIAL STOCKPILES AND DUMPSTERS WITH OWNER.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCIES IN FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.
- PLEASE NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- STATE LAW: BEFORE DIGGING, CALL JULIE (811 OR 1-800-892-0123) FOR LOCATION OF PUBLIC AND PRIVATE UTILITIES AT WORK SITE. 48 HOUR NOTICE IS REQUIRED.
- THE HOUSE SHALL PASS A BLOWER DOOR TEST AND A COPY OF THE RESULTS SHALL BE PROVIDED TO THE BUILDING DEPARTMENT PRIOR TO SCHEDULING THE FINAL INSPECTIONS.
- CONSTRUCTION DEBRIS AND REFUSE CONTAINMENT SHALL BE REQUIRED FOR ALL JOB SITES. CONTAINMENT SHALL OCCUR ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT & SHALL BE WITHIN A DUMPSTER, STRUCTURE, OR CONTAINER THAT CAN BE COVERED TO PREVENT WINDBLOWN DEBRIS. ALL SUCH DUMPSTERS, STRUCTURES, OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.
- ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH NEW SOD ON 6" OF TOPSOIL. ALL SOD SHALL BE WATERED AS REQ'D TO SUSTAIN GROWTH.
- ALL PARKWAY TREES SHALL HAVE A SNOW FENCE THAT EXTENDS TO THE DRIP LINE. NO TRAFFIC SHALL GO OVER THE ROOT SYSTEM. SURFACE DRAINAGE TO BE DIVERTED FROM STRUCTURE SO AS NOT TO CREATE A HAZARD ON THIS OR ADJACENT PROPERTY. GRADE FROM FOUNDATION TO DROP A MINIMUM OF 6" IN 10'-0". PROVIDE SWALES OR DRAINS TO ENSURE DRAINAGE FROM STRUCTURE AND ADJACENT PROPERTY.
- TOILET FACILITIES SHALL BE PROVIDED AT ALL JOB SITES PER ILLINOIS PLUMBING CODE. THIS WILL BE A CONDITION OF THE PERMIT.
- PROVIDE AND MAINTAIN A 5'-0" HIGH FENCE ALONG THE FULL LENGTH OF INTERIOR SIDE YARDS UNTIL EXTERIOR CONSTRUCTION IS COMPLETE.
- PROVIDE AND MAINTAIN A 5'-0" HIGH CONSTRUCTION FENCE DURING NON-WORKING HOURS THAT WILL ENCLOSE ALL OPEN EXCAVATIONS UNTIL FOUNDATION IS BACK-FILLED & FIRST FLOOR DECK IS COMPLETED.
- ERECT PROTECTIVE SNOWFENCE PRIOR TO ANY CONSTRUCTION ACTIVITY. DO NOT STORE ANY EQUIPMENT OR MATERIALS WITHIN THE PROTECTION AREA. REMOVE THE PROTECTIVE SNOW FENCE ONLY AFTER CONSTRUCTION IS COMPLETE.
- ALL TREES ARE TO BE PROTECTED DURING CONSTRUCTION WITH FENCING FOR EVERY 1" OF TREE DIAMETER. MAINTAIN 1'-0" DISTANCE AWAY FOR FENCING.

---	PROPERTY LINE
---	SETBACK LINE
---	EASEMENT LINE
—E—	ELECTRIC SERVICE
—G—	GAS SERVICE
—(—(—(—	STORM SEWER
—<—<—<	SANITARY SEWER
—W—	WATER SERVICE
—X—	FENCE

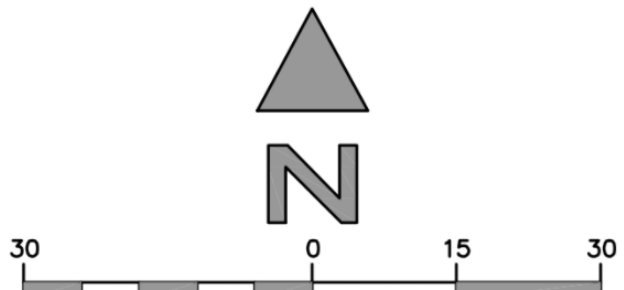
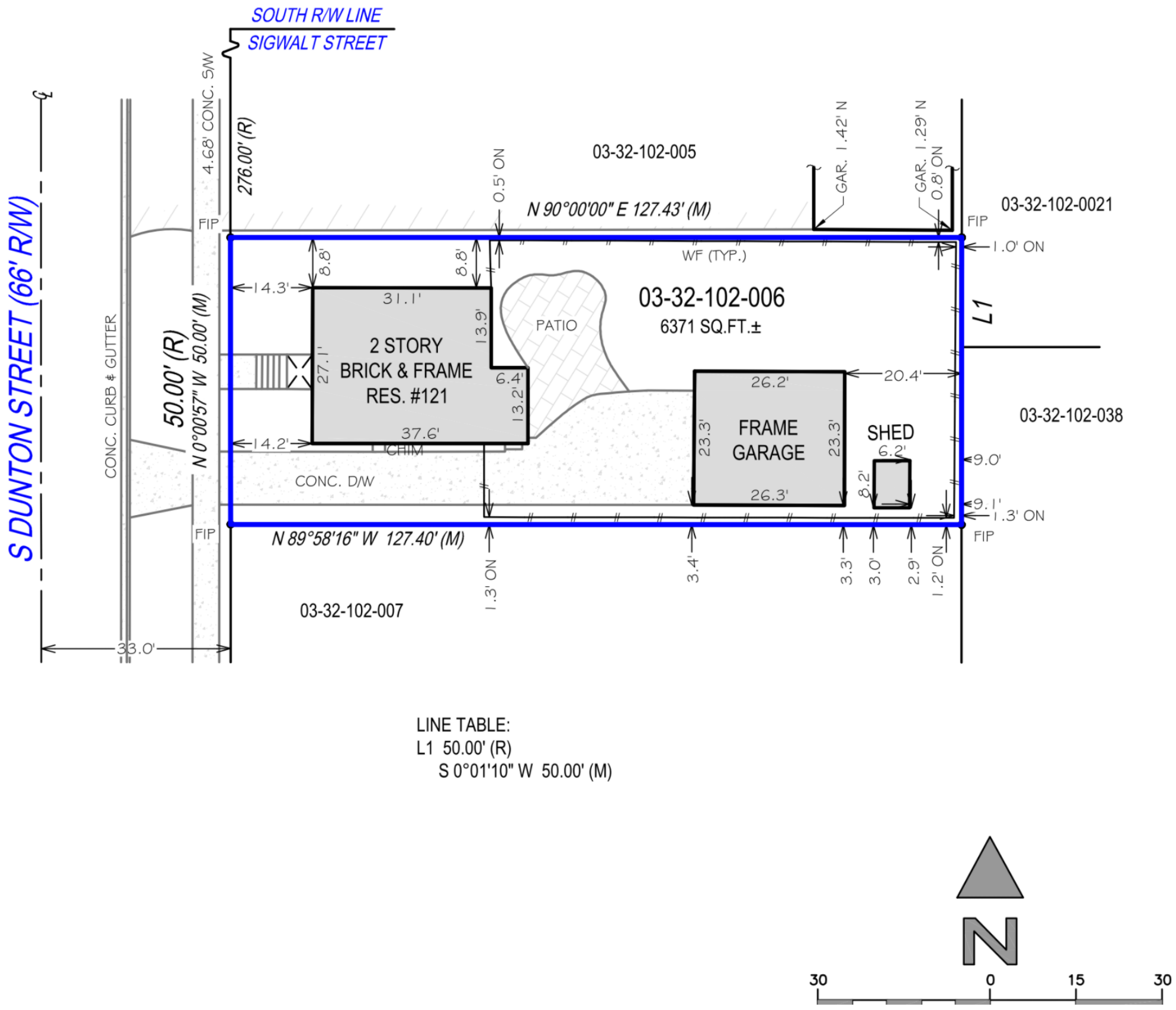
ENERGY CODE COMPLIANCE NOTES

- ENERGY CODE COMPLIANCE DESIGN BY PRESCRIPTIVE MEANS.
CLIMATE ZONE : 5
MAX. GLAZING U-FACTOR: 0.30
ACTUAL U-FACTOR: 0.30
MIN. SKYLIGHT U-FACTOR: 0.55
ACTUAL SKYLIGHT U-FACTOR: 0.55
SHGC : N R
MIN. CEILING R-VALUE: 49
ACTUAL CEILING R-VALUE: 49 (BLOWN)
MIN. FRAME WALL R-VALUE: 20 OR 13+5
ACTUAL WALL R-VALUE: 15 + 5 (BATT & RIGID)
MIN. FLOOR R-VALUE: 30
ACTUAL FLOOR R-VALUE: N/A
MIN. BASEMENT R-VALUE: 15/19
ACTUAL BASEMENT R-VALUE: 21
GC TO PROVIDE PERMANENT CERTIFICATE TO BE POSTED ADJACENT TO ELECTRICAL PANEL INDICATING INSULATION AND ENERGY VALUES FOR BUILDING INSULATION, FENESTRATION AND DUCT SYSTEMS.
SPRAY FOAM BOX SILLS AND SILL PLATES, AND ADD R-15 HIGH DENSITY FRICTION FIT BATT INSULATION.
- ALL PENETRATIONS THROUGH THERMAL ENVELOPE SHALL BE ADEQUATELY SEALED BY CAULK, GASKET, WEATHERSTRIPPING OR OTHER BARRIER MEANS PER 2018 IECC REQUIREMENTS.
ALL WINDOWS AND EXTERIOR DOOR JAMBS ARE TO BE SEALED WITH LOW-EXPANSION FOAM.
ALL BOTTOM PLATES ON EXTERIOR WALLS SHALL BE GLUED TO SUB-FLOOR.
- ALL FIREPLACES SHALL HAVE GASKETED DOORS & OUTSIDE COMBUSTION AIR.

INTERIOR ALTERATIONS AT THE NIELSEN RESIDENCE

SHEET INDEX - ARCHITECTURAL

A0	COVER SHEET	1 - 08/15/2023
A1	FOUNDATION & BASEMENT PLANS	1 - 08/15/2023
A2	FIRST FLOOR PLAN	1 - 08/15/2023
A3	SECOND FLOOR PLAN	1 - 08/15/2023
A4	ELEVATIONS	1 - 06/28/2023
A5	SPECIFICATIONS	1 - 06/28/2023



1275 E. DAVIS, ARLINGTON HEIGHTS, IL 60005
PHONE: (847)255-2322
EMAIL: JIMJRCDB@GMAIL.COM
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INTERIOR ALTERATIONS AT NIELSEN RESIDENCE

121 S DUNTON AVE
ARLINGTON HEIGHTS, IL 60004

DATE

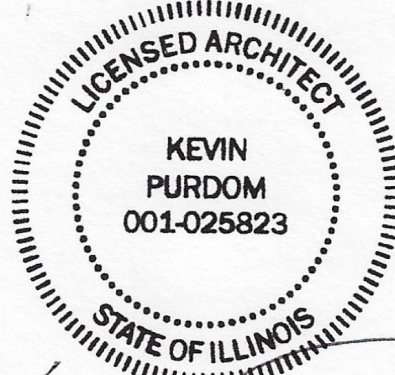
1 - 08/15/2023

ISSUE DATE

1 - 08/15/2023 2 - REVISION
1 - 06/28/2023 1 - PERMIT

KEVIN PURDOM, ARCHITECT

1275 E DAVIS ST, ARLINGTON HEIGHTS, IL 60005
PHONE: (847)255-2322
EMAIL: KEVINJRCDB@GMAIL.COM
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ARCHITECT'S CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECTION AND THAT TO THE BEST OF MY KNOWLEDGE COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.

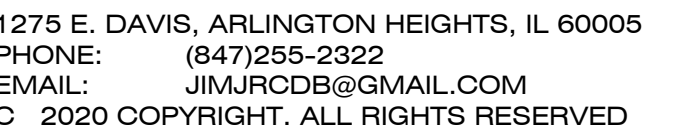
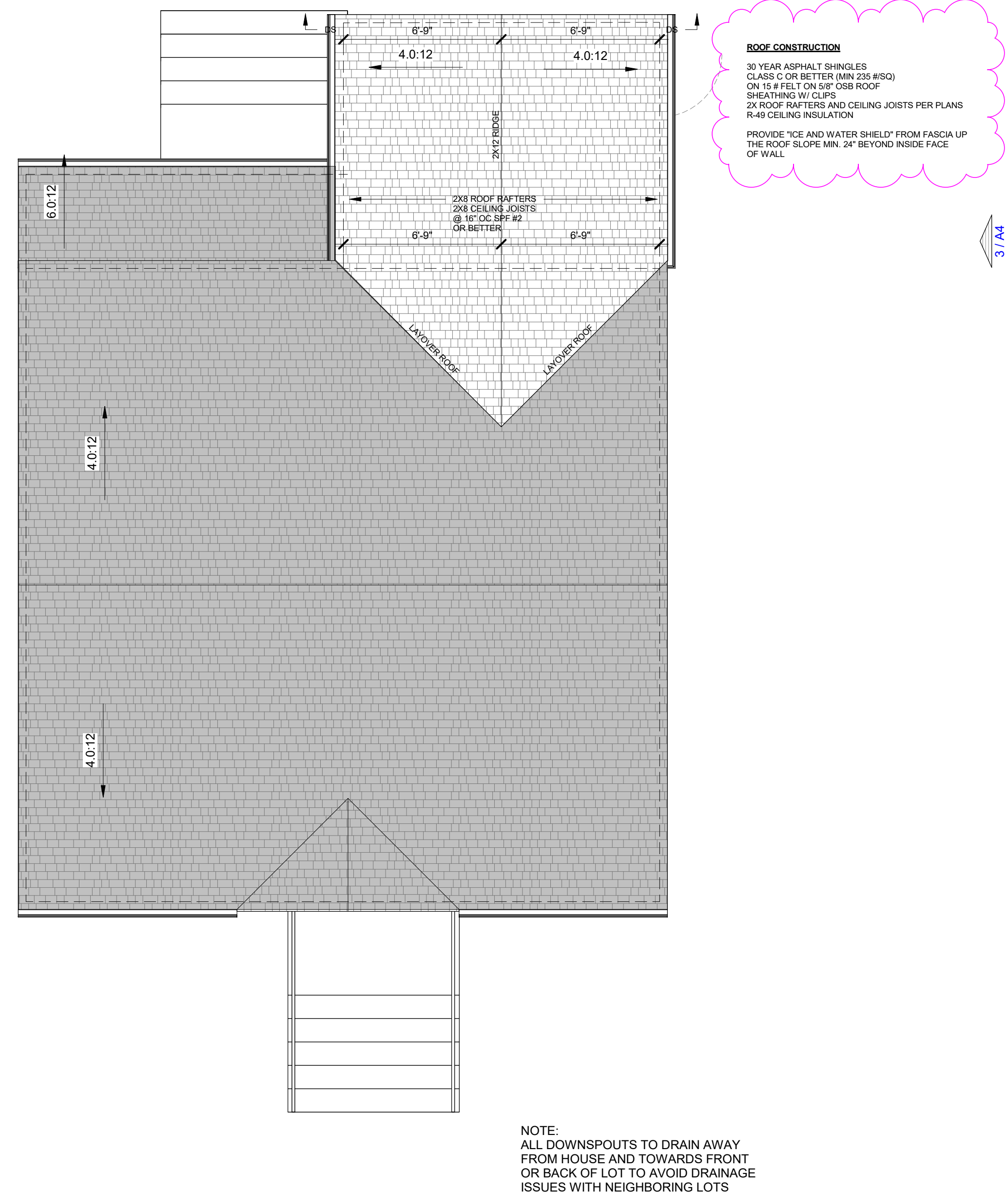
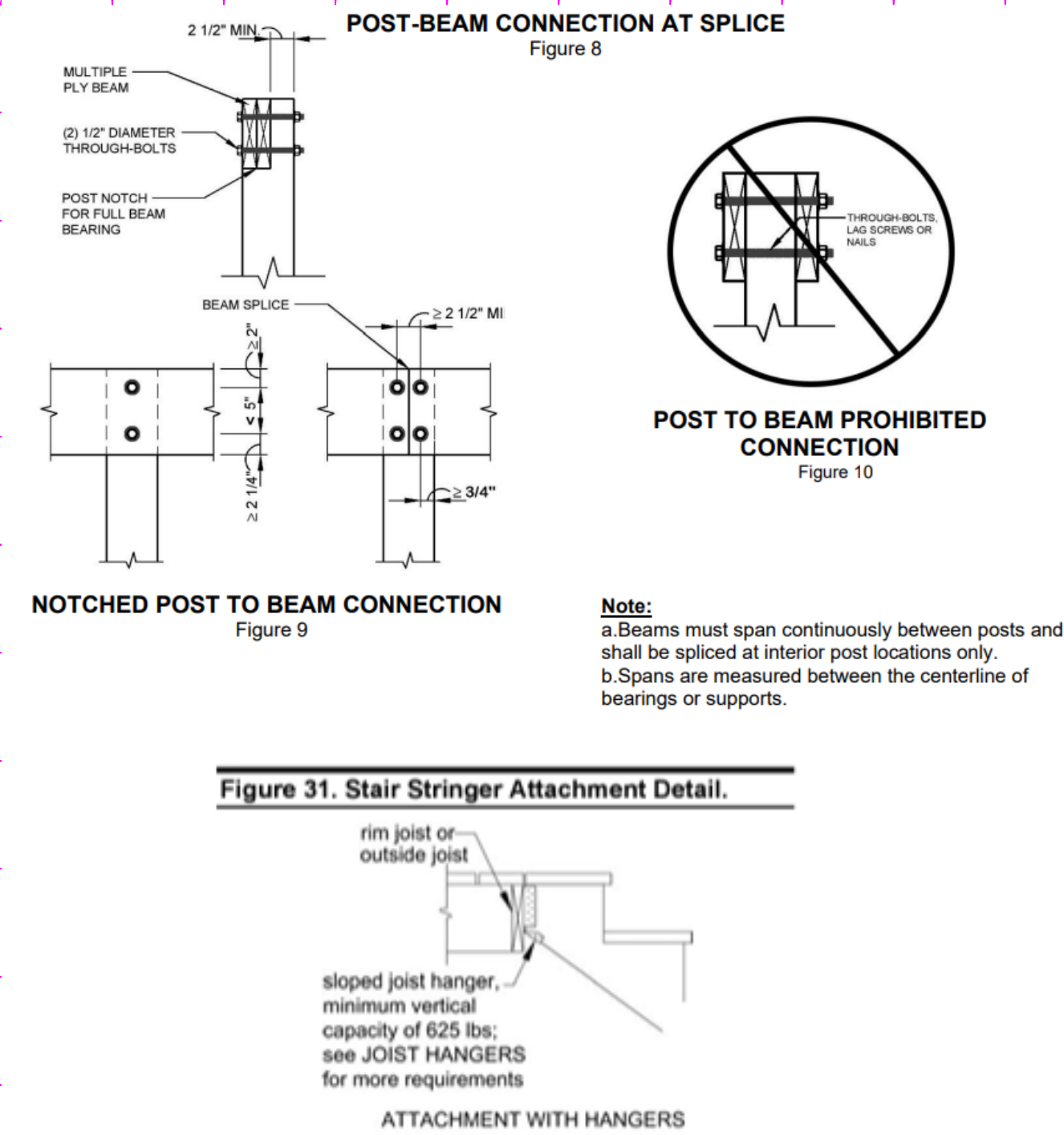
CERT NO. 001.025823 DATE: 1 - 08/15/2023
EXP. 11/30/2024

SHEET TITLE
COVER SHEET

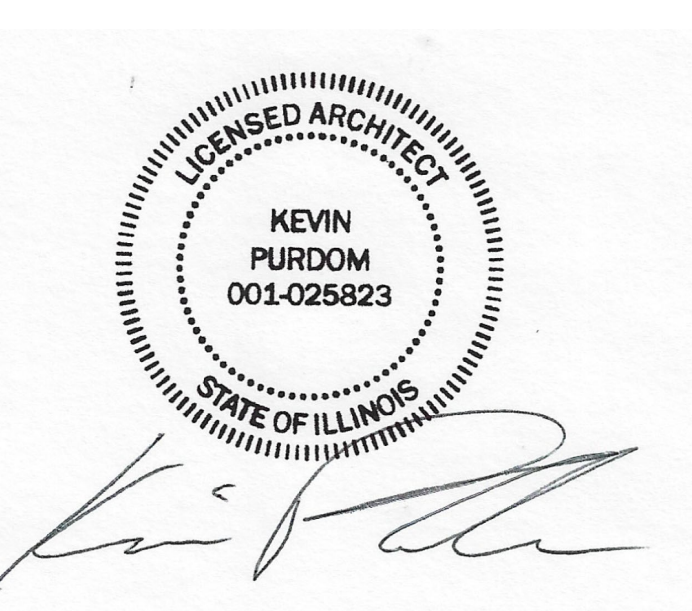
SHEET NUMBER

A0

LOCATION	U.L. NO.	FIRE RATING	CONSTRUCTION	DESCRIPTION
EXTERIOR (1)	---	---		2 X 6 WD STUDS @ 16" OC W/ 5/8" DRYWALL (INT) 1/2" OSB (EXT) [R-21] CAVITY INSULATION
EXTERIOR (GARAGE)	---	1 HR		2 X 6 WD STUDS @ 16" OC W/ 5/8" DRYWALL (INT) 1/2" OSB (EXT)
INTERIOR - 1	---	---		2 X 4 WD STUDS @ 16" OC W/ 5/8" DRYWALL EACH FACE
INTERIOR - 2 (PLUMBING)	---	---		2 X 6 WD STUDS @ 16" OC W/ 5/8" DRYWALL EACH FACE
INTERIOR - 3 (GARAGE)	---	1 HR		2 X 6 WD STUDS @ 16" OC W/ 5/8" DRYWALL (INT) 5/8" "X" (GAR) [R-21] CAVITY INSULATION
EXISTING WALLS	---	---		
NEW CONSTRUCTION	---	---		

[illegible]

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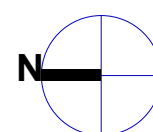
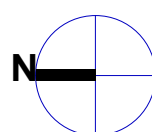


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EXP. 11/30/2024

SHEET NUMBER

A3





1 NORTH ELEVATION - SIDE
A4 1/4" = 1'-0"



2 WEST ELEVATION - FRONT
A4 1/4" = 1'-0"



3 EAST ELEVATION - BACK
A4 1/4" = 1'-0"



4 EXISTING ELEVATIONS
A4 1/8" = 1'-0"

INTERIOR
ALTERATIONS
AT NIELSEN RESIDENCE
121 S DUNTON AVE
ARLINGTON HEIGHTS, IL 60004

DATE

1- 06/28/2023

ISSUE DATE

1- 06/28/2023 1 - PERMIT

1- 06/28/2023	1 - PERMIT

KEVIN PURDOM, ARCHITECT

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LICENSED ARCHITECT
KEVIN
PURDOM
001-025823
STATE OF ILLINOIS

ARCHITECT'S CERTIFICATION

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SHEET TITLE
ELEVATIONS

SHEET NUMBER

A4