



Village of Arlington Heights
Plat and Subdivision Committee
Community Room, 3rd Floor
Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
October 14, 2015
7:00 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. Tidabeck Subdivision - 1314 W. Clarendon Rd. - T1514
2-Lot Subdivision

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: Tidabeck Subdivision - 1314 W. Clarendon Rd. - T1514

Department: Planning & Community Development

Requested Action

Preliminary Plat of Subdivision to subdivide one single family lot into two single family lots fronting Yale Avenue.

Variations Required

A variation from Chapter 28, Section 5.1-1.5 minimum lot width to allow two 89 foot wide lots whereas 90 feet is required.

Recommendation

On September 1, 2015, the Staff Development Committee reviewed the proposed request and will require a formal Plat to review actual lot dimensions and configuration before a recommendation can be made. The following items shall be addressed by the petitioner:

1. Provide a written justification for each variation based on the following hardship criteria:
 - The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and
 - The plight of the owner is due to unique circumstances; and
 - The variation, if granted, will not alter the essential character of the locality.
2. Submittal of a Preliminary Plat of Subdivision for further more detailed review based on a professionally drawn Plat with all dimensions and easements.
3. A fee-in-lieu of detention shall be required.
4. A Design Commission application must be submitted for the new homes.
5. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:**Description**

Staff Report

Location Map

Plat of Vacation in 1975

Preliminary Plat Proposal

Type

Board or Commission Report

Exhibits

Exhibits

Exhibits

STAFF DEVELOPMENT COMMITTEE REPORT

To: Plat & Subdivision Committee
Prepared By: Bill Enright, Deputy Director Planning and Community Development
Meeting Date: October 14, 2015
Date Prepared: October 8, 2015
Project Title: Tidaback Subdivision
Address: 1314 W. Clarendon Road

Background Information

Petitioner: Jeffrey and Pam Tidaback
Address: 1314 W. Clarendon Road
 Arlington Heights, Illinois 60004

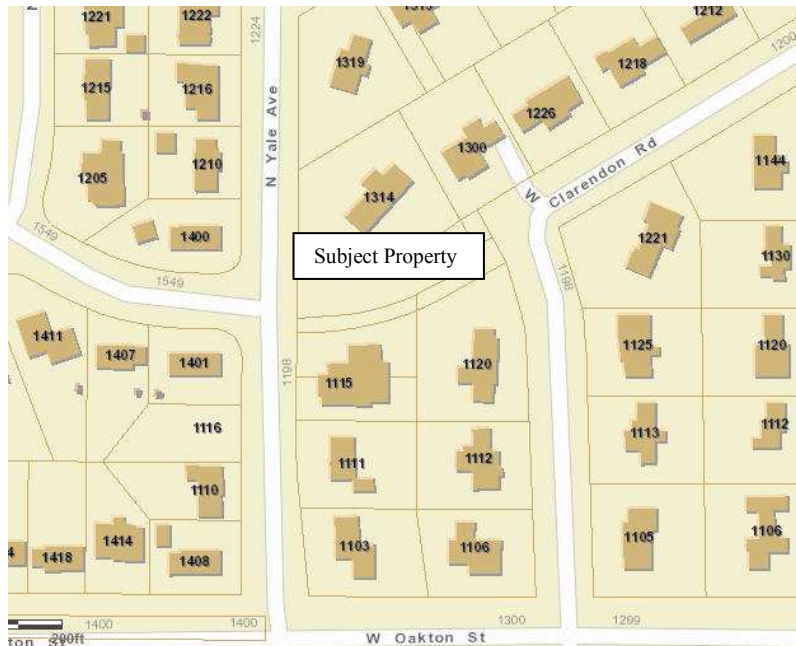
Existing Zoning: R-1, One Family Dwelling District

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Surrounding Properties:

	Zoning	Use	Comprehensive Plan
North	R-1, One Family Dwelling District	Single Family Residence	Single Family Detached
South	R-1, One Family Dwelling District	Single Family Residence	Single Family Detached
East	R-1, One Family Dwelling District	Single Family Residence	Single Family Detached
West	R-3, One Family Dwelling District	Single Family Residence	Single Family Detached

Project Summary

The subject site consists of one 33,000 square foot lot which fronts partially on Clarendon and on Yale Ave. The property owner proposes a two lot subdivision with the lot frontages on Yale Ave. Each lot would be 16,500 square feet and 89 feet wide. The property is zoned R-1 which requires a minimum lot size of 15,000 square feet and 90 feet width. Therefore a variation would be required for lot width. However, once a more formal Plat drawn to scale is submitted, the lot widths may end up meeting code as the lot width is determined at the building setback line. The owner would demolish the existing home as it bifurcates the two proposed lots.

A Preliminary Plat of Subdivision must be reviewed by the Plan Commission and approved by the Village Board. If approved, a Final Plat of Subdivision must be submitted for review and approval by the Plan Commission and Board. As part of the preliminary review process, Staff evaluated the relationship of the new lots to the Zoning and Subdivision regulations (see Table 1).

Table 1: Subdivision Analysis

Zoning Requirements	Minimum Lot Area		Minimum Lot Width		Front Yard Setback	Side Yard Setback	Rear Yard Setback	Corner Side Yard Setback
Typical R-1 Lot	Corner	Standard	Corner	Standard	Block Average (Must be calculated)	10% of Lot width (at least 7 feet)	30 FT	Average or 10% of lot width
	15,000 SF	15,000 SF	90 FT	90 FT				
Proposed Lot 1	NA	16,500 SF	NA	89 FT	tbd	8.9 ft	30 ft	NA
Proposed Lot 2	NA	16,500 SF	NA	89 FT	Tbd	8.9 ft	30 ft	NA

Zoning and Comprehensive Plan

Pursuant to the Village's Comprehensive Plan, the properties are designated Single Family Detached. The proposed subdivision would be consistent with the Village's Comprehensive Plan. The lots in the neighborhood vary in size and the proposed two lot subdivision is in keeping with the neighborhood. Since the proposed Plat submitted for this review is not professionally drawn nor to scale, staff will first need to see how the lots lay out with proper dimensions and easements to fully review the request.

- **A variation from Chapter 28, Section 5.1-1.5 to allow lots 89 feet wide where 90 is required.**

As part of the formal review process, the Petitioner must provide a written justification for each variation that is based on the following hardship criteria listed below.

- **The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and**
- **The plight of the owner is due to unique circumstances; and**
- **The variation, if granted, will not alter the essential character of the locality.**

Building, Site, and Landscape Related Issues

The southern 50 feet of the property was vacated in 1975, with the provision that the vacated right of way remain as an easement for utilities. It appears based on Village utility maps, that the Village does not have utilities in this easement, but there may be utilities for others such as Com Ed. The Plat must show all necessary easements.

Any new home shall require a Design Commission application to be submitted and approved prior to the issuance of a building permit. Secondly, a fee-in-lieu of detention (said fee to be determined) shall be required as on-site detention shall not be required.

Traffic & Parking Issues

According to the Village's Subdivision Control Regulations and Zoning Ordinance, a traffic study is required for residential developments that have at least 100 dwelling units or more. Since the Petitioner is only proposing a two-lot development a formal traffic study by a certified Traffic Engineer is not required.

Recommendation

On September 1, 2015, the Staff Development Committee reviewed the proposed request and will require a formal Plat to review actual lot dimensions and configuration before a recommendation can be made. The following items shall be addressed by the petitioner:

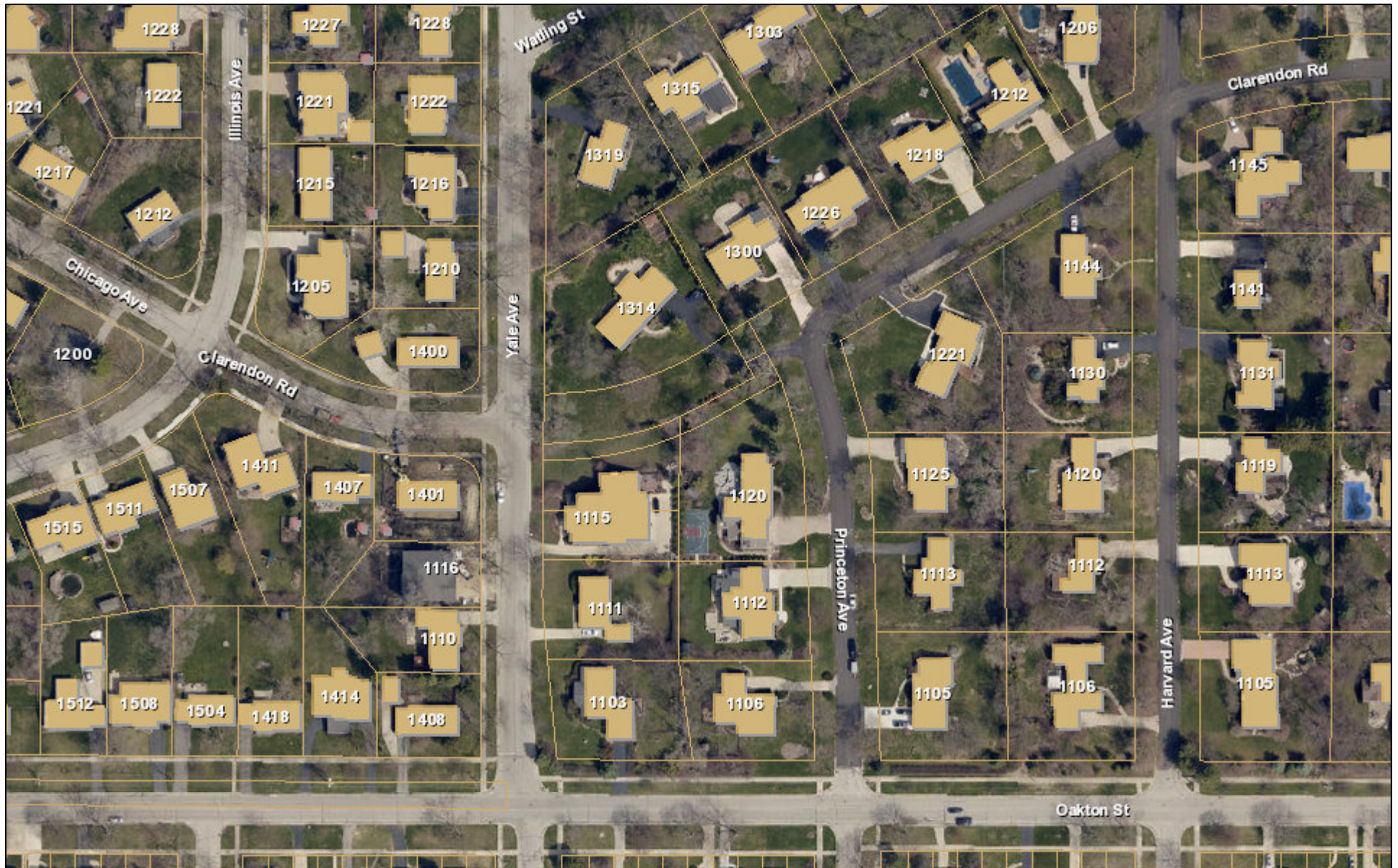
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October 8, 2015

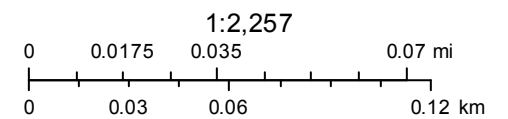
Bill Enright, Deputy Director of Planning and Community Development

C: Randy Recklaus, Village Manager
All Department Heads

Tidaback Aerial



October 8, 2015



- PLAT OF VACATION -

That part of Clarendon Road lying Easterly of the East line of Yale Avenue and lying Westerly of a line drawn from the Northernmost corner of Lot 96, said line being perpendicular to the Southeasterly line of Clarendon Road, all in "Sherwood", a Subdivision of Lot 1 of the Southwest quarter of Section 19, Township 42 North, Range 11 East of the Third Principal Meridian, also known as the Southwest quarter of Section 19 aforesaid (except the West 78 Acres thereof more or less and except the South 25 feet for highway), as per plat recorded July 10, 1930 as Document No. 10701276, in Cook County, Illinois.

PLAT

HAS BEEN MICROFILMED

SEE JACKET FILE No. 23011101

DOCUMENT

WITH THIS
PLAT

23011101

Lot 89

STATE OF
COUNTY OF
ILLINOIS
I, SIGMUND
ENGINEER OF
THE STATE OF
OF VACATION

DATED THIS

Signature
RE

East line of the West 78 Acres of the SW 1/4 of Sec. 19-42-11

YALE AVENUE

33'

Lot 90

CLARENDON ROAD

10' wide Public Utility
Easement hereby
reserved to Common-
wealth Edison Co.

7' and 10' wide Public
Utility Easement hereby
reserved to Illinois
Bell Telephone Company

Lot 96

PRINCETON AVENUE

East line of
Yale Avenue

33'

I find no deferred installments of outstanding unpaid
special assessments due against the land included in
the above plat.

Aug. 26, 1974
Date

Robert J. Carlson
Village Collector
Arlington Heights, Illinois

Approved by the President and Board
Trustees of the Village of Arlington
Cook County, Illinois, at a meeting
20 day of January.

By Signature
President

Attest Signature
Village Clerk

Illinois)
Cook)
Robert E. Frederick, an Illinois
Land Surveyor, do hereby certify
I have prepared the plat hereon drawn
and it conforms to the laws and
Official Records, and that
it correctly represents the property
described.

Respectfully, Illinois - July 9, 1974.

Signature
Registered Land Surveyor - No. 35-1461.



**MID
AMERICA
SURVEY
COMPANY**

PLAT OF SURVEY

**9800 S. Roberts Road
Palos Hills, IL 60465
Phone: 708-430-4077
Fax: 708-598-0696**

**373 S. County Farm Road
Whealon, IL 60187
Phone: 708-690-3733
Fax: 708-690-3735**

LEGAL DESCRIPTION:
SEE PAGE 2 OF 2.

RECEIVED

JUN 16 2015

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

