



Agenda
Village of Arlington Heights
Zoning Board of Appeals
Buechner Room, 1st Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
September 19, 2016
7:00 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. 614 W. Tanglewood Dr. - 8/8/16
- B. 501-571 W. Golf Rd. - 8/8/16
- C. 820 N. Mitchell Ave. - 8/8/16
- D. 820 N. Belmont Ave. 8/8/16
- E. 904 S. Mitchell Ave. - 8/8/16
- F. 902 N. Beverly Ln. - 8/8/16

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. Molecular Imaging Chicago - 1237 S. Arlington Heights Rd.
- B. Rajchel Residence - 1003 S. Dunton Ave.
- C. Bauman Residence - 315 W. Hackberry Dr.
- D. 523 S. Rammer Ave. Residence
- E. Lutheran Home Cemetery - 2300 E. Euclid Ave.
- F. Livesay Residence - 926 N. Hickory Ave.
- G. Chmura Residence - 818 N. Dryden Ave.
- H. Ericksson Residence - 517 S. Dunton Ave.
- I. Onischuk Residence - 122 S. Highland Ave.
- J. Skrudland Residence - 735 N. Vail Ave.
- K. Walters Residence - 501 N. Derbyshire Ave.

VII. OTHER BUSINESS

VIII.ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: 614 W. Tanglewood Dr. - 8/8/16

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Minutes 8/8/16 - Little	Minutes
Findings 8/8/16 - Little	Minutes

DRAFT

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING BEFORE THE VILLAGE OF ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

OF APPEALS

RE: LITTLE RESIDENCE - 614 WEST TANGLEWOOD DRIVE

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Buechner Room,
Arlington Heights, Illinois on the 8th day of August, 2016 at the hour of 7:00 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Acting Chairman
TOM DRAKE
TOM SCHWINGBECK
JOSEPH GEISEL
JOSEPH SELBKA
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Village Planner

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ACTING CHAIRMAN DIVITO: We're going to give the last Board member a couple more minutes to join if you guys are okay with that. Otherwise, with only five members present, this is a seven-person Board, with five members present you need four affirmative votes in order for your motion to pass. So, you have the option, if there is only five of us, to state your request and present again next month. So, that's why I want to give a couple of extra minutes just for Peter to show.

(Pause.)

ACTING CHAIRMAN DIVITO: All right. We will call to order the Zoning Board of Appeals meeting for August 8th. Derek, would you mind doing a roll call?

MR. MACH: Chairman Petrillo.

(No response.)

MR. MACH: Mr. Divito.

ACTING CHAIRMAN DIVITO: Here.

MR. MACH: Mr. Drake.

MR. DRAKE: Here.

MR. MACH: Mr. Geisel.

MR. GEISEL: Here.

MR. MACH: Mr. Schwingbeck.

MR. SCHWINGBECK: Here.

MR. MACH: Mr. Selbka.

MR. SELBKA: Here.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Here.

ACTING CHAIRMAN DIVITO: Let's stand for our pledge of allegiance.

(Pledge of allegiance.)

ACTING CHAIRMAN DIVITO: Going through the approval of minutes, did everybody get a chance to review the minutes from last month's meeting? Any comments from the Board?

None being heard, is there, do we do a motion or do we just do a --

MR. MACH: Motion to approve.

ACTING CHAIRMAN DIVITO: Can we get a motion to approve the minutes?

MR. GEISEL: Motion to approve.

MR. SELBKA: Second.

ACTING CHAIRMAN DIVITO: Derek, you want to call roll?

MR. MACH: Or just all in favor.

ACTING CHAIRMAN DIVITO: All in favor?

(Chorus of ayes.)

ACTING CHAIRMAN DIVITO: All opposed?

(No response.)

ACTING CHAIRMAN DIVITO: All right, motion passes. New business, so with the six members of the Board today, you're going to each get an opportunity to come and present. During your presentation, I ask that you make clear the three cases that are the foundation of your request today. I will just repeat them now. If you have any questions

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when you're presenting, please feel free to ask.

One is how you are sustaining a hardship or showing that the property cannot yield a reasonable return if permitted to be used only under the condition allowed by the regulation. So, if you cannot, what that would, how that hardship would show to you. Number two is the unique situation that is presented. Finally, number three, how your request is not going to alter the characteristics of the neighborhood.

With that being said, first agenda item is the Little Residence. Step up. Have you signed in?

MR. LITTLE: Yes, sir. I'm requesting a one-foot variance on --

ACTING CHAIRMAN DIVITO: Yes, we've got to swear him in?

MR. MACH: Swear him in, yes.

ACTING CHAIRMAN DIVITO: All right. So, your name and address please?

MR. LITTLE: My name is Jeffrey Little. I live at 614 West Tanglewood Drive, Arlington Heights, Illinois.

(Witness sworn.)

MR. LITTLE: So, I'm requesting a one-foot variance on the back of my property line on the fence. The fence is in need of repair now and it's time, I need to replace it. I back up to a very busy parking lot. In fact, our property line is in the industrial park on University, more or less like the parking lots that you have behind you.

What happens is it's in the train area, so the property line is lower than my house. So, my property line goes down, so when we look out of our kitchen window, we have visual of the whole property behind us and we have people looking into our house. We have a lot of foot traffic back there. We're just trying to increase the security, not really the security but less frequent looking and eye contact.

ACTING CHAIRMAN DIVITO: Privacy?

MR. LITTLE: We want our privacy. So, if I were to build a wooden fence, I would ask for an eight-foot fence as my neighbors have an eight-foot fence on both sides. But I wanted to build a white vinyl fence, a much nicer looking fence than the wood. I'm basically getting a six-foot fence which I'm allowed, but I want a one-foot diamond square pattern on top which you can see through but, you know, it's not very clear if you know what I'm talking about, the diamond crosshatch pattern.

So, basically I'm asking for another foot on top of that just to give it a little bit more privacy in the backyard. A five or six-foot fence would have been fine for dogs or kids or whatever, but it's just that because of the way the property line is, it's just you look into my house, and if it's sunny outside you can't see into my house, but in the morning when you're in the kitchen and you're doing your stuff, I mean you've got people walking in there looking at me, I'm looking at them. I would just like to just to, I think it's time to do it now because the fence actually does need to be replaced. So, that's kind of what it is.

ACTING CHAIRMAN DIVITO: This is only on the back of the property line?

MR. LITTLE: Only the rear of the property. I have the regular fences along the sides, you know, with the neighbors and stuff. And this is just on University Park where they have a lot of, businesses come and go back there and so we have different, you know, people back there in this place. Just kind of like your parking lot right there, it gets very hectic and busy.

MR. SIAVELIS: Did you talk to your neighbors?

MR. LITTLE: My neighbors are fine, and I sent out the letters for all the 250 yards.

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I don't know if anybody is here to object to it, but I did. The neighbors in the back, it's a quad building. There's four businesses in each corner, so sometimes they change. So, I talk to them, not regularly, there's really no reason to talk to them. But we have foot traffic there, people park their car and they walk. There's all businesses back there and you just have people walking. There's a pool place back there, I can't think of the name, Down's Pool. You have a lot of labor workers and they're walking back and forth in there. I just need privacy a little bit.

MR. SIAVELIS: Understood. Just to kind of clarify things and move it along a little bit, you talked to the residential neighbors adjacent to you on both sides, correct?

MR. LITTLE: Oh, yes.

MR. SIAVELIS: Okay, that's all I wanted.

MR. LITTLE: 31 letters I mailed out.

ACTING CHAIRMAN DIVITO: Any other questions from the Board? Okay, none being heard, any comments from the audience?

All right. At this point, we can close it down for deliberation. Discussion? Thoughts? I mean looking at it, knowing that it's at the back of the property, it seems like a very reasonable request.

MR. SIAVELIS: I concur Chairman, I think it's an entirely reasonable request. The fact that the Petitioner is having a shorter fence on the sides shows good faith actions on his behalf, so I support this.

ACTING CHAIRMAN DIVITO: Very good.

MR. SCHWINGBECK: Agreed.

ACTING CHAIRMAN DIVITO: Do I hear a motion?

MR. SIAVELIS: I'll move.

MR. GEISEL: Second.

ACTING CHAIRMAN DIVITO: Derek, do you mind calling roll?

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Geisel.

MR. GEISEL: Yes.

MR. MACH: Mr. Schwingbeck.

MR. SCHWINGBECK: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Acting Chairman Divito.

ACTING CHAIRMAN DIVITO: Yes. Approved.

MR. LITTLE: Thank you very much.

(Whereupon, the above-mentioned petition was
adjourned at 7:10 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS August 8, 2016

PETITIONER: Little Residence
ADDRESS OF PROPERTY: 614 W. Tanglewood Dr.
VARIATION: 6.13-3b2, 6.15-2.2

A 1.0' variance to allow an increase to the maximum fence height from 6' to 7' for a fence located in the rear yard.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner testified that they back up to a parking lot. The petitioner explained that the property is lower which makes the parking area more visible. The petitioner also testified that they would like more privacy.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Siavelis and seconded by Mr. Geisel. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 501-571 W. Golf Rd. - 8/8/16

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Minutes 8/8/16 - 501-571 W. Golf Rd.	Minutes
Findings 8/8/16 - 501-571 W. Golf Rd.	Minutes

DRAFT

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING BEFORE THE VILLAGE OF ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

OF APPEALS

RE: 501-571 WEST GOLF ROAD/702-778 WEST ALGONQUIN ROAD

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Buechner Room,
Arlington Heights, Illinois on the 8th day of August, 2016 at the hour of 7:10 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Acting Chairman
TOM DRAKE
TOM SCHWINGBECK
JOSEPH GEISEL
JOSEPH SELBKA
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Village Planner

DRAFT

ACTING CHAIRMAN DIVITO: All right. Moving right along, we have, it's a commercial property, 501 and 571 West Golf Road.

MS. WALSH: That's me.

ACTING CHAIRMAN DIVITO: Have you had a chance to sign in yet?

MS. WALSH: Not yet.

ACTING CHAIRMAN DIVITO: Okay. So, sign in and then I'll swear you in.

MS. WALSH: Okay.

ACTING CHAIRMAN DIVITO: All right. First, can we have your name and address please?

MS. WALSH: My name is Brigid Walsh. The address of the property or the address of the business?

ACTING CHAIRMAN DIVITO: Your address actually.

MS. WALSH: The business? Because I'm representing Value Industrial Partners which is the property owner.

ACTING CHAIRMAN DIVITO: Okay.

MS. WALSH: 970 North Oaklawn in Elmhurst.

ACTING CHAIRMAN DIVITO: Right hand.

(Witness sworn.)

MS. WALSH: Okay, so we are here to request a zoning variation for our building which is zoned as M-2, Limited Heavy Manufacturing. We have a new tenant who would like to sign a lease there to Unit 507. It's a jujitsu business.

For us, the hardship is pretty basic. It's we're losing, if we don't get approved, losing a good quality tenant for our space. Our job is to lease the space without, you know, bothering any of the other tenants.

For us, we think it's a unique situation because this tenant in particular, their classes are just on evenings and on the weekends. So, their heavier parking requirement, which would be 10 to 15 cars, is actually only going to be there after 5:00 p.m. during the week, and on the weekends when the majority of the rest of the businesses in our building don't work. So, we didn't think it would be a problem.

I also did a couple of parking counts when I was there the past couple of weeks. There is ample parking to provide even if they weren't doing it in off-business hours. On average on the Golf side which is right in front of where the unit they want to go, over the past three weeks, I went nine or 10 times, average there was 48 spots available on Golf Road.

We're pretty occupied on the Golf side. I think we're at like 96 percent occupancy. I mean there's not going to be many more tenants in there. So, for us it seems like it would be silly not to have them lease the space. Additionally, as the business owner, it's in our best interest not to irritate the other tenants, so we wouldn't want to bring in anyone there that would bother anyone with their parking either.

Then the last point, that was why it's unique. The third point, oh, yes, well, it won't lose the character of the building because like I said, we actually think it's going to bring a benefit to the building, a little more diversity in the businesses that are there. It's actually children's jujitsu classes that they plan to do. So, we're thinking parents that drop them off, it will actually bring more business to the surrounding restaurants and coffee shops. They wait while they're in their class, go visit some of those places nearby. So, that's why we're here, to request the variation today.

DRAFT

ACTING CHAIRMAN DIVITO: You said it is children's, not adult's?

MS. WALSH: Yes, it's kids.

ACTING CHAIRMAN DIVITO: Traffic flow as far as in and out of the parking lot, is it going to be a drop-off more like?

MS. WALSH: Yes, the parents I think are going to be dropping off. Some may stay, I guess that's why they predicted 10 to 15 cars, you know, at max. That would be like the high. So, some may stay, some may go get coffee and come back. I think it's just like an hour-long class.

ACTING CHAIRMAN DIVITO: Derek, can you speak to the note from Engineering?

MR. MACH: I did talk to Engineering. The Petitioner did provide additional counts since Engineering provided their comments. I spoke to Engineering today, they indicated that they have no comments.

MR. SIAVELIS: No comments, no opposition, Derek?

MR. MACH: Correct.

MR. SIAVELIS: Is the class, evening and weekend class, is that written into the lease or does the tenant have options to add additional classes during the course of the day?

MS. WALSH: We typically don't in our lease discuss like how they conduct business, and we don't indicate the number of parking spots a tenant gets. Given we have 60 something tenants in the complex, that would get a little dicey to tell every tenant when they can and can't park there. This is us, but as the building owner, if they're doing something disruptive to other tenants, we have the authority to tell them to stop and to tell them, you know, limit the number of parking spaces that they use, and we would do so.

MR. SIAVELIS: Okay, but they could add daytime classes if they saw fit?

MS. WALSH: I think so, yes. Yes, but as of now, she said they do two days during the weekday, 6:00 to 7:00 p.m., and then on Saturday at 12:30 p.m. That's kind of their business model.

ACTING CHAIRMAN DIVITO: Any other questions? Okay, none being heard, we'll hear from the audience if anybody is here to speak out from there.

All right, I'll close it down for internal discussion. So, I live right near it. I see that parking lot every day. I know that there's ample spaces available. So, my concern was more about the flow of traffic on Golf Road because it is a busier intersection and knowing that they're children classes. But again, there's plenty of spaces available in that area and you should be able to do okay.

MR. SIAVELIS: Yes. I mean I come back to the fact that Ms. Walsh represents the property manager and I highly doubt that they're going to create a situation that causes issues for other tenants there because then the tenants will vote with their feet and leave.

MS. WALSH: Right.

MR. SIAVELIS: So, I think, to me, that's a significant factor, you know, using their discretion and their professional experience, and then we have testimony or comments from the Board members here who have personal experience with it, that tips the needle in my view towards approval.

ACTING CHAIRMAN DIVITO: All right, any other comments?

MR. SCHWINGBECK: Yes, I went by a couple of times in the late afternoon just to see what was open. Even again a couple of days ago, Friday and again today, and there

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were 15-20 spots open. It's not a very big location either, so I can't see it becoming a real problem.

MR. DRAKE: I agree with all of that. I also live nearby and go by there every day and actually do business with some of your tenants.

MS. WALSH: Okay.

MR. DRAKE: I don't see any issue at all. So, I'm in favor.

ACTING CHAIRMAN DIVITO: Is there a motion to approve?

MR. SCHWINGBECK: Motion to approve.

ACTING CHAIRMAN DIVITO: And a second?

MR. SIAVELIS: I'll second.

ACTING CHAIRMAN DIVITO: All right, Derek.

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Geisel.

MR. GEISEL: Yes.

MR. MACH: Mr. Schwingbeck.

MR. SCHWINGBECK: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Acting Chairman Divito.

ACTING CHAIRMAN DIVITO: Yes. Your motion is approved.

MS. WALSH: Thank you.

ACTING CHAIRMAN DIVITO: Thank you.

(Whereupon, the above-mentioned petition was
adjourned at 7:17 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS August 8, 2016

PETITIONER: 501-571 W. Golf Rd. / 702-778 W. Algonquin Rd.
ADDRESS OF PROPERTY: 501-571 W. Golf Rd. / 702-778 W. Algonquin Rd.
VARIATION: 11.4

A variation to allow a reduction to the minimum required parking from 390 to 325 parking spaces.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they have a new tenant for a jujitsu business. The petitioner testified that if the variation is not granted that they would lose a potential tenant. The petitioner explained that the potential tenant has classes in the evening and on the weekends. Therefore, the majority of the existing tenants will be closed and that there will be no conflict with parking. The petitioner also testified that the center has ample parking throughout the day.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Schwingbeck and seconded by Mr. Siavelis. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 820 N. Mitchell Ave. - 8/8/16

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Minutes 8/8/16 - Ward	Minutes
Findings 8/8/16 - Ward	Minutes

DRAFT

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING BEFORE THE VILLAGE OF ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

OF APPEALS

RE: WARD RESIDENCE - 820 NORTH MITCHELL AVENUE

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Buechner Room,
Arlington Heights, Illinois on the 8th day of August, 2016 at the hour of 7:17 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Acting Chairman
TOM DRAKE
TOM SCHWINGBECK
JOSEPH GEISEL
JOSEPH SELBKA
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Village Planner

DRAFT

ACTING CHAIRMAN DIVITO: All right, moving right along, we have the Ward Residence. Good evening.

MR. WARD: Good evening.

MR. FORD: Good evening.

ACTING CHAIRMAN DIVITO: Have you both had a chance to sign in?

MR. WARD: Yes.

ACTING CHAIRMAN DIVITO: So, name, address?

MR. WARD: Ted Ward, 820 North Mitchell Avenue.

MR. FORD: Dan Ford, 3916 North Sawyer Avenue.

ACTING CHAIRMAN DIVITO: Okay, right hand.

(Witnesses sworn.)

ACTING CHAIRMAN DIVITO: Very good, proceed.

MR. FORD: So, we are here in order to apply for a variance to allow Mr. Ward to build a second story on his single story, single family home. There's two variances that we're applying for. The first being that he is on a substandard lot, the minimum requirement for an R-3 is 70 feet wide, his lot is 52. The second one being that his home when it was originally constructed was constructed about a couple of feet past the side property line, the side setback line, excuse me.

So, the first hardship that he would experience if he wasn't allowed first off, if the variance isn't granted for him to build on the lot, then he wouldn't be allowed to build at all. The second one being that if he had to adhere to the strict setback standards and move that exterior wall, that south wall inward offset from the first floor wall, it will require a heck of a lot of structure and a lot of impact to the first floor. The goal of the project is to not touch the first floor and just kind of make some more room for his growing family.

A couple of unique circumstances for these, one being that the zoning ordinance does allow for people to build on substandard lots provided of course that the majority of the lots in the neighborhood are also substandard lots. That minimum criteria being 50 feet and 6,250 square feet which he meets being 52 feet wide and also 6,500 square feet sized lot. The second one also being the unique circumstance, is when the home was constructed, Mr. Ward had no control about where they situated that house on that lot. The fact that it overlies that side setback is no fault of his own.

Additionally, the neighbor to the south actually has over 20 feet, that the setback, the distance between the homes is substantial. Rather than the minimum 10 feet or 10.4 feet, it's actually over 20 feet between him and his neighbor. So, the impact on his neighbor to the south would be minimal if you just went straight up.

It goes without saying that a second floor addition is very common to these first floor brick ranch style homes. In fact, the three houses across the street from him, directly across the street, all are either one-half or two-story. The neighbors adjacent to his, directly, the neighbors that are adjacent to his adjacent neighbors also have two-story homes, so it would not substantially impact the look or the feel of the neighborhood or even the street itself.

ACTING CHAIRMAN DIVITO: How long have you been in the home?

MR. WARD: 2011.

ACTING CHAIRMAN DIVITO: How many people are living in the home?

MR. WARD: Four, two kids.

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ACTING CHAIRMAN DIVITO: Have you had a chance to speak with your neighbors?

MR. WARD: Oh, yes.

ACTING CHAIRMAN DIVITO: And?

MR. WARD: They invite it. The neighborhood is growing all around us. The houses across the street, you know, 3,000 square-foot, I'm only going 2,000. So, they're going back, you know, we're just going straight up.

ACTING CHAIRMAN DIVITO: Any other questions from the Board for our Petitioner? A quick note from Engineering, just citing the fact that going up is not going to increase the nonconformity.

MR. SIAVELIS: Yes, and we had design comments in here as well, right, from Hautzinger in favor. You know, administrative design approval is favorable pending our review.

ACTING CHAIRMAN DIVITO: Yes, thanks.

MR. SIAVELIS: So, you're keeping the same dimensions right now?

MR. FORD: One foot.

MR. SIAVELIS: Right, on that, what was that?

MR. FORD: On the south wall.

MR. SIAVELIS: South, yes.

MR. FORD: Yes, sir.

MR. SIAVELIS: This is an existing nonconforming structure in two regards then based on your testimony, right?

MR. FORD: Yes, sir, right.

MR. SIAVELIS: When we look at the survey and the site plan. And one quick question, or a follow-up question. That 20-foot side yard setback that you mentioned earlier, that's to the --

MR. FORD: The south.

MR. SIAVELIS: The south.

MR. FORD: It's the neighbor where the encroachment is already, the existing encroachment that's already there.

MR. SIAVELIS: Right, so you're talking between the two houses then, you're talking 24 feet nearly.

MR. FORD: Yes, so the impact to them would be minimal. They're not right up against each other.

MR. SIAVELIS: Right.

MR. WARD: She's got a pretty wide lot there as well, a lot wider than ours. I think she's got like a lot-and-a-half.

MR. FORD: Probably. I don't remember. Nice lady though.

MR. WARD: Oh, you've talked to her?

MR. FORD: Yes, of course. Got to.

ACTING CHAIRMAN DIVITO: All right. Any other questions? All right, none being heard, I'll open it up for the audience if there is anybody here that wants to speak either against or for the motion. No one is stepping forward.

All right, we can close it down to the Board now. Existing nonconforming.

MR. SIAVELIS: In two regards.

ACTING CHAIRMAN DIVITO: In two regards. Going straight up, needs space, I

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understand.

MR. SIAVELIS: The big selling or the big point in favor of the Petitioner here is the fact that his neighbor to the south is 20 feet from the property line and effectively 24 feet from his, you know, between structures there. He's going straight up based on the drawings I've seen. So, that seems reasonable and I don't think it will change the nature of the, you know, the characteristics of the neighborhood, especially the surrounding, the adjacent residences.

ACTING CHAIRMAN DIVITO: Agreed. Any other comments from the Board? Do we hear a motion?

MR. GEISEL: No, I think this is straightforward and very appropriate for the neighborhood.

ACTING CHAIRMAN DIVITO: All right. Is there a motion to approve?

MR. SIAVELIS: I'll move.

MR. SCHWINGBECK: Second.

ACTING CHAIRMAN DIVITO: Derek, roll?

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Geisel.

MR. GEISEL: Yes.

MR. MACH: Mr. Schwingbeck.

MR. SCHWINGBECK: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Acting Chairman Divito.

ACTING CHAIRMAN DIVITO: Yes. Thank you very much.

MR. WARD: Thank you, guys.

MR. FORD: Thank you.

(Whereupon, the above-mentioned petition was
adjourned at 7:23 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS August 8, 2016

PETITIONER: Ward Residence
ADDRESS OF PROPERTY: 820 N. Mitchell Ave.
VARIATION: 5.1-3.6, 5.4, 5.1-3.4

A 1.4' variance to allow an addition with a side yard setback of 3.8' from the south property line instead of the minimum 5.2' and an additional 1' for the eave; A variance to allow a 52-ft. wide, 6,500 sf lot to be buildable, where 70' wide, 8,750 sf is required.

The petitioner explained that they are proposing to construct a second story addition to the existing one story home. The petitioner explained that the property has a total land area of 6,500 square feet and a lot width of 52 feet and that the proposed residence will have approximately 2,300 square feet. Sections 5.1-3.4 and 5.1-3.5 of the Zoning Code set forth minimum lot size and width requirements for the R-3 District which is 70 feet in width and 8,750 square feet in area for an interior lot. As part of 5.1-3.4, the Director of Building is authorized to issue permits for structures on lots that are less than the minimum area and width requirements if the majority of the frontage on which the property is located is developed with lots that are below the minimum district requirements; provided that no permit shall be issued for any parcel containing less than 6,250 SF and a lot width of 50 feet. The petitioner's property is 52.0 feet wide and 6,500 SF and there is no majority of substandard developed lots for lot area and lot width on the same frontage as the subject site. The petitioner also testified that they are seeking a variance for the side yard setback for the proposed addition. The petitioner explained that they are proposing a second story addition to an existing non-conforming footprint. The petitioner explained that the distance between the home to the south is approximately 20 feet.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Siavelis and seconded by Mr. Geisel. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 820 N. Belmont Ave. - 8/8/16

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Minutes 8/8/16 - Malcom/Do	Minutes
Findings 8/8/16 - Malcom/Do	Minutes

DRAFT

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING BEFORE THE VILLAGE OF ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

OF APPEALS

RE: MALCOM-DO RESIDENCE - 820 NORTH BELMONT AVENUE

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Buechner Room,
Arlington Heights, Illinois on the 8th day of August, 2016 at the hour of 7:23 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Acting Chairman
TOM DRAKE
TOM SCHWINGBECK
JOSEPH GEISEL
JOSEPH SELBKA
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Village Planner

DRAFT

ACTING CHAIRMAN DIVITO: All right. We have the Malcom-Do Residence. Have you had a chance to sign in?

MR. MALCOM: Yes.

ACTING CHAIRMAN DIVITO: Name and address please.

MR. MALCOM: My name is Joseph Malcom and my address is 820 North Belmont.

(Witness sworn.)

MR. MALCOM: I'm requesting a variance for the addition that we're putting on our home. Right now, there's one bedroom upstairs, and my wife and my three-year-old daughter, we would like to have, we're going to expand upstairs and add a master bedroom and another bedroom up there as well. We're expanding the closet into a bedroom, so there will be three bedrooms upstairs for what we'll have now and potentially an expanding family in the future.

We hope it should improve the value, and we've talked to the residents about it. They haven't had any objections when I talked to them.

Then the minimum for the lot size, the two houses next to us are also putting an addition in the back, and both houses next to us have additions that go back similar to ours. So, we would be in the standard with the houses next to us as well or to the south of us.

MR. SIAVELIS: So, are you going straight up?

MR. MALCOM: Yes. Well, it's already built up on half and we're going to build up on the other half of the house.

MR. SIAVELIS: Are you encroaching beyond the existing first floor walls?

MR. MALCOM: No.

ACTING CHAIRMAN DIVITO: Any other questions?

MR. SIAVELIS: This is pretty straightforward also.

ACTING CHAIRMAN DIVITO: Yes.

MR. SIAVELIS: It's almost like Yogi Berra all over again from what we just had.

ACTING CHAIRMAN DIVITO: Exactly.

MR. SIAVELIS: Very, very similar.

ACTING CHAIRMAN DIVITO: Yes. All right, so I think we understand the situation. Is there anybody in the audience that wishes to speak?

All right, none being heard, Board discussion. Again, almost --

MR. SIAVELIS: Almost the same thing, but he's even tighter, right, and closer to conformity because he needs a tenth of a foot.

ACTING CHAIRMAN DIVITO: Right.

MR. SIAVELIS: On the north property line and one foot for the, that's nominal, right. Then he has the same issue about the 50-foot wide lot. But his neighborhood is saturated with those types of lots.

ACTING CHAIRMAN DIVITO: Yes, exactly. With no objections from Engineering, everything looks good on the drawings.

MR. SIAVELIS: Right, and we have again a favorable comment from Hautzinger in play.

ACTING CHAIRMAN DIVITO: Right. So, with that, do we have a motion to approve?

DRAFT

MR. DRAKE: Move approval.
ACTING CHAIRMAN DIVITO: Second?
MR. SCHWINGBECK: Second.
ACTING CHAIRMAN DIVITO: Derek, roll?
MR. MACH: Mr. Drake.
MR. DRAKE: Yes.
MR. MACH: Mr. Geisel.
MR. GEISEL: Yes.
MR. MACH: Mr. Schwingbeck.
MR. SCHWINGBECK: Yes.
MR. MACH: Mr. Selbka.
MR. SELBKA: Yes.
MR. MACH: Mr. Siavelis.
MR. SIAVELIS: Yes.
MR. MACH: Acting Chairman Divito.
ACTING CHAIRMAN DIVITO: Yes. Congrats.
MR. MALCOM: Thank you.

(Whereupon, the above-mentioned petition was
adjourned at 7:27 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS August 8, 2016

PETITIONER: Malcom-Do Residence
ADDRESS OF PROPERTY: 820 N. Belmont Ave.
VARIATION: 5.1-3.6, 5.4, 5.1-3.4

A 0.1' variance to allow an addition with a side yard setback of 4.9' from the north property line instead of the minimum 5' and an additional 1' for the eaves; A variance to allow a 50-ft. wide, 6,600 SF lot to be buildable, where 70' wide, 8,750 SF is required.

The petitioner explained that they are proposing to construct an addition to the existing home. The petitioner explained that the property has a total land area of 6,600 square feet and a lot width of 50 feet and that the proposed residence will have approximately 2,600 square feet. The petitioner also explained that the lot area and lot width are substandard. Sections 5.1-3.4 and 5.1-3.5 of the Zoning Code set forth minimum lot size and width requirements for the R-3 District which is 70 feet in width and 8,750 square feet in area for an interior lot. As part of 5.1-3.4, the Director of Building is authorized to issue permits for structures on lots that are less than the minimum area and width requirements if the majority of the frontage on which the property is located is developed with lots that are below the minimum district requirements; provided that no permit shall be issued for any parcel containing less than 6,250 SF and a lot width of 50 feet. The petitioner's property is 50.0 feet wide and 6,600 SF; however, there is no majority of substandard developed lots for lot area and lot width on the same frontage as the subject site.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Drake and seconded by Mr. Schwingbeck. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 904 S. Mitchell Ave. - 8/8/16

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Minutes 8/8/16 - Shah	Minutes
Findings 8/8/16 - Shah	Minutes

DRAFT

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING BEFORE THE VILLAGE OF ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

OF APPEALS

RE: SHAH RESIDENCE - 904 SOUTH MITCHELL AVENUE

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Buechner Room,
Arlington Heights, Illinois on the 8th day of August, 2016 at the hour of 7:27 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Acting Chairman
TOM DRAKE
TOM SCHWINGBECK
JOSEPH GEISEL
JOSEPH SELBKA
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Village Planner

DRAFT

ACTING CHAIRMAN DIVITO: All right, the Shah Residence. Have you both had a chance to sign in?

MR. SHAH: Yes.

MRS. SHAH: Yes.

ACTING CHAIRMAN DIVITO: So, let's start with your name and address please.

MRS. SHAH: I'm Krishma Shah, I live at 904 South Mitchell.

MR. SHAH: Manush Shah, 904 South Mitchell.

ACTING CHAIRMAN DIVITO: All right, raise your right hand.

(Witnesses sworn.)

ACTING CHAIRMAN DIVITO: Very good. Proceed.

MR. SHAH: So, we're seeking a twofold variance here. One is a two-foot variance higher than the three-foot that's allowed. The second one is the semi-private fence over the open picket fence.

The unique, the hardship that we are experiencing is a safe place for our children to play in, a contained area, and also to utilize our entire property. The unique situation is the Village has zoned our home where the north side of the home is considered the front when in actuality it's the east side and our door faces east. We are not requesting to put a fence up on the east side of the home, we're trying for the north side of the lot. This will not affect the value of the home. It's a white vinyl, five-foot, semi-private fence.

MR. SIAVELIS: The north side of the home faces Kirchoff, right?

MR. SHAH: Yes, that is correct.

MR. SIAVELIS: Just to clarify.

ACTING CHAIRMAN DIVITO: I see in the drawing, you actually have a notch built into the corner of --

MR. SHAH: That's for Bill and Joyce, Bill Simon and Joyce Simon, that's for a vision triangle so they can pull out safely. I also have a letter from them that, they're all about it, too.

ACTING CHAIRMAN DIVITO: Do you have copies?

MR. SHAH: Yes.

ACTING CHAIRMAN DIVITO: Please. Thank you.

MR. MACH: In response to Engineering's comment, the Petitioner has revised the plan and did pull it back and is maintaining the sight lines, the vision triangle. So, he has addressed their comments.

ACTING CHAIRMAN DIVITO: They have no further comments about the style of fence, right? It was just the concern about the sight lines?

MR. MACH: The sight lines, correct.

ACTING CHAIRMAN DIVITO: Okay, any other questions for the Petitioner? All right, anybody from the audience that wishes to speak? You guys can have a seat. Any questions from the Board or conversations to the Board?

MR. SCHWINGBECK: So, Derek, just so I understand, looking at the drawing that was given to us, where would this fence go up to on that north side? How close to the street? Because I sat at that intersection today, and I'm constantly going across Kirchoff from a number of those streets, but I really could not tell, I know you have some chain-link fences on the property right now?

MRS. SHAH: Yes, in the back of the house.

DRAFT

MR. SCHWINGBECK: So, is it just going to be in that highlighted area?

MR. MACH: Just the highlighted area, correct. It didn't come through like you see on the copy.

MR. SHAH: Outside of the variance, this does not need a variance but we are replacing the chain-link fence.

MR. SIAVELIS: Wait, say that again please?

MR. SHAH: We're replacing the chain-link fence on the west side of the home which is our backyard with the same five-foot vinyl wrapping around the home.

MR. SIAVELIS: That extent of the fence does not require a variance, correct?

MR. SHAH: It does not, correct.

MR. GEISEL: How many children do you have?

MR. SHAH: Two, one and three.

MR. SIAVELIS: That fence is not going to run the full extent of your property line along Kirchoff, right?

MR. SHAH: No, it won't.

MR. SIAVELIS: It's going to tuck in --

MRS. SHAH: Five feet behind our --

MR. SHAH: Windmill.

ACTING CHAIRMAN DIVITO: There.

MR. SIAVELIS: Yes, that's what I thought.

ACTING CHAIRMAN DIVITO: I mean I drove by this evening. I cut through every so often to catch a train as well, and my concern was the sight line.

MR. SHAH: Sure.

ACTING CHAIRMAN DIVITO: But judging where the telephone pole or the utility pole is --

MR. SHAH: That's where it would be, right behind it.

ACTING CHAIRMAN DIVITO: Right, and where you're able to come out to on the street safely, you should have no problem making your turns.

MR. SIAVELIS: Did you talk to your neighbors just to the west of you? Because I'm reading this --

MRS. SHAH: That's Bill and Joyce, the letter.

MR. SIAVELIS: Right here where this says --

MR. SHAH: Yes, that's Bill and Joyce. They're extremely excited about the fence.

MR. SIAVELIS: Oh, I see. I see, I misread the first sentence, I'm sorry. You are their immediate neighbors to the east.

MR. SHAH: Yes.

MR. SIAVELIS: Thus, they're to your west, okay.

MR. DRAKE: Derek, do you know, have there been any issues with that street or that intersection with accidents over the years? I know it well, I live near there like others. But have there been any problems with mishaps that you know of?

MR. MACH: None that I know of.

MRS. SHAH: None that we know of, I mean that we've heard of.

MR. DRAKE: How long?

MRS. SHAH: In the last five years.

MR. SHAH: We just cleared some evergreen trees there, I'd say three years ago.

DRAFT

MRS. SHAH: Yes.

MR. SIAVELIS: When did you move in?

MR. SHAH: 2011.

ACTING CHAIRMAN DIVITO: It's actually the second option when you're cutting through the neighborhoods.

MR. SHAH: Yes.

ACTING CHAIRMAN DIVITO: Because Fernandez, coming off of Fernandez, you're going to turn on that first street which is Ridge and not make it towards Mitchell. So, I think it has less traffic on this street than it would on --

MR. SIAVELIS: On Mitchell, you're saying?

ACTING CHAIRMAN DIVITO: Yes, on Mitchell than it would on the street to --

MR. SIAVELIS: Yes. See, my concerns regarding Mitchell are minimal given the fact that they are not carrying that fence along the entirety of their property line on Kirchoff. My comments, my focus was more towards the neighbor to the west, the Simons. But in light of their letter, I think that assuages my concerns there. The Petitioner's notch triangle, vision triangle, that can certainly help the neighbors then.

ACTING CHAIRMAN DIVITO: Agreed. Any other comments or concerns from the Board?

MR. DRAKE: I was skeptical about all this until I heard all of this. So, I'm satisfied that it will work.

ACTING CHAIRMAN DIVITO: Very good. Do we have a motion to approve?

MR. DRAKE: Move to approve.

ACTING CHAIRMAN DIVITO: Second?

MR. SCHWINGBECK: Second.

ACTING CHAIRMAN DIVITO: Very good. Derek, please.

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Geisel.

MR. GEISEL: Yes.

MR. MACH: Mr. Schwingbeck.

MR. SCHWINGBECK: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Acting Chairman Divito.

ACTING CHAIRMAN DIVITO: Yes. Congrats.

MRS. SHAH: Thank you.

MR. SHAH: Thank you.

(Whereupon, the above-mentioned petition was adjourned at 7:34 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS August 8, 2016

PETITIONER: Shah Residence
ADDRESS OF PROPERTY: 904 S. Mitchell Ave.
VARIATION: 6.13-3

A 2' height variance to allow a 5' tall semi-open fence in the front yard where 3-feet is the maximum height; A variation to allow a semi-open fence in the front yard where only an open fence is permitted.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they are proposing a new semi open five foot tall fence that is located in the front yard along Kirchoff Road. The petitioner testified that the hardship is that they would like to create a safe place for their children to play and that they would like to utilize the entire property. The petitioner explained that the unique situation is that the Village has zoned the home where the north side of the home is considered the front since it is the smaller of the two dimensions; however, the east side (exterior side yard) is where the home fronts.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Drake and seconded by Mr. Schwingbeck. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 902 N. Beverly Ln. - 8/8/16

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Minutes 8/8/16 - Shein-Arce	Minutes
Findings 8/8/16 - Shein-Arce	Minutes

DRAFT

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING BEFORE THE VILLAGE OF ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

OF APPEALS

RE: SHEIN-ARCE RESIDENCE - 902 NORTH BEVERLY LANE

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Buechner Room,
Arlington Heights, Illinois on the 8th day of August, 2016 at the hour of 7:34 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Acting Chairman
TOM DRAKE
TOM SCHWINGBECK
JOSEPH GEISEL
JOSEPH SELBKA
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Village Planner

DRAFT

ACTING CHAIRMAN DIVITO: All right, I apologize in advance if I mispronounce the last name here. We have the Shein-Arce?

MR. SHEIN: Shein-Arce.

ACTING CHAIRMAN DIVITO: Shein-Arce, thank you. All right, let's start with names first and addresses.

MR. SHEIN: Brian Shein, 902 North Beverly Lane.

MR. ARCE: Jeff Arce, 902 North Beverly Lane.

ACTING CHAIRMAN DIVITO: All right, right hands up.

(Witnesses sworn.)

ACTING CHAIRMAN DIVITO: Very good.

MR. SHEIN: Okay, so we are requesting actually two variations, the first one being the minimum lot size to be able to build on the lot. We have an older home in an upcomer neighborhood with many sort of narrow lots I guess in that neighborhood, and the current state doesn't allow us to build on that property. So, we've seen houses at 901 North Beverly Lane, 901 North Hickory, 1017 Beverly Lane, all relatively the same size, about 45.5 feet.

So, there's been some precedent set there. Us being able to build on the property, we're hoping to sort of raise the property values obviously for about 300 percent and that's some tax revenue for the Village. So, that's what we're hoping to do for that variation.

Do you guys want to talk about that or do you want me to move onto the second one as well?

ACTING CHAIRMAN DIVITO: If you can address both of them within the three hardships, then we should be good.

MR. SHEIN: Absolutely, okay. The second one being the required minimum yards, 5.1-3.6. We're requesting a variance of about two feet on the side exterior lot that's facing the street. So, again with the small narrow size of the lot, we're sort of faced with the challenge to build a comparable home to some of the other new construction homes in the area. Actually just looking at the existing survey plat of the existing home structure right now, it's actually just under eight feet and we actually have a setback proposed at around 8.5 feet. So, we're actually requesting to move it back.

MR. SIAVELIS: When you say back, you mean further north?

MR. SHEIN: Further north, yes, yes. But still it's not to the minimum that the regulations are currently set at 10 feet.

Our proposed floor plan by the architect and builder, show it's best for the home and we'll be able to match with similar construction again in the neighborhood, similar square footage. We also have sort of conditional sign-off from the Design Board, from Steve Hautzinger who has actually looked at the plans as well.

If it helps, I understand that the variation is actually only going to apply to the livable side of the house. We have the garage that's also attached on the back end towards the west. That's actually already set back at about 9.5 feet. Then all the setbacks are to the property line, our property line doesn't exactly go all the way to the edge of the sidewalk. So, we actually have about two feet to the sidewalk, so visually it should be proportional to all the other homes in the neighborhood.

Any other questions?

ACTING CHAIRMAN DIVITO: There is a note from Engineering about the window wells. I'll try to pull that back up.

DRAFT

MR. SIAVELIS: While you're doing that, Chairman, I just have a quick clarification.

MR. SHEIN: Sure.

MR. SIAVELIS: So, the south property line is two feet from the sidewalk, is that correct?

MR. SHEIN: It's roughly, yes, yes.

MR. SIAVELIS: About, okay. Then from the front edge of the sidewalk or the edge of the sidewalk to Frederick Street is about what? About five or six feet right in there?

MR. SHEIN: You know, I didn't, did you measure it? I didn't.

MR. ARCE: I think it's eight is what I measured.

MR. SIAVELIS: Okay.

ACTING CHAIRMAN DIVITO: The note that I was pulling was the foundation plan shows windows on the north side of the building. The window wells are not shown on the plans, so you should check the setbacks required for the window wells.

MR. SHEIN: Okay.

ACTING CHAIRMAN DIVITO: Otherwise, you might be back here next month.

MR. SHEIN: Okay, will do.

MR. MACH: Per code, they must be something like a minimum of three feet.

MR. SHEIN: Okay, all right. I think at the moment the exterior, that side on the north side is proposed at around four or five.

MR. ARCE: Five feet.

MR. SHEIN: Five feet, yes.

MR. ARCE: It must be five.

MR. SHEIN: The minimum is four-and-half or something?

MR. MACH: Five feet.

MR. SHEIN: We're at five feet.

MR. SIAVELIS: Have you had a chance to talk to your neighbors?

MR. SHEIN: Yes, just this evening.

MR. SIAVELIS: Do you guys live in the house? Tell us --

MR. SHEIN: No.

MR. ARCE: The house is in pretty bad shape.

MR. SIAVELIS: So, nobody resides in that house, is that correct?

MR. SHEIN: Correct.

MR. ARCE: Correct.

MR. SIAVELIS: And you're developers, is that correct?

MR. SHEIN: Yes.

MR. ARCE: Yes.

MR. DRAKE: How long has the home been vacant?

MR. SHEIN: We've owned it since, I think February?

MR. ARCE: February. We closed in February.

MR. SHEIN: So, I can't speak to it prior to that.

ACTING CHAIRMAN DIVITO: If you are going to speak, we actually have to swear them in and have them come up.

MR. SHEIN: Sorry.

ACTING CHAIRMAN DIVITO: No worries. They'll have their opportunity to come

DRAFT

up and present. So, back to the question was we don't know the actual time that it was vacant prior?

MR. SHEIN: No. I know it was previously rented by the previous owner, but I don't know when they vacated.

ACTING CHAIRMAN DIVITO: So, it's not in the best shape.

MR. SHEIN: No.

ACTING CHAIRMAN DIVITO: Any other questions from the Board? Let's see. Again, the Design Committee had a favorable opinion. Steve gave us the feedback on that.

MR. SIAVELIS: I have one question. In the event the audience do not provide any testimony, so I just want to clarify real quick. The neighbors that you talked to, are those the neighbors directly to your north?

MR. SHEIN: Yes, 906.

MR. SIAVELIS: Did they express support, opposition, neutrality?

MR. SHEIN: They had concerns just about the fence because I believe the current fence actually bleeds into their property the way that it was built. So, they had questions about that and we had iterated to them that we are actually taking the fence down. But during construction, we will have a fence around the property.

ACTING CHAIRMAN DIVITO: Any other questions for the Petitioner? All right, none being heard, is there anybody in the audience that wants to speak? All right, please step forward. You guys can have a seat.

All right, name and address please.

MR. COSTELLO: Paul Costello, 906 North Beverly Lane.

ACTING CHAIRMAN DIVITO: All right, jointly are you going to --

MRS. COSTELLO: I'm his mom. My parents owned the land before them. I'm Kate Costello, 1202 East Clarendon.

ACTING CHAIRMAN DIVITO: All right. I'll swear you in at the same time.

(Witnesses sworn.)

ACTING CHAIRMAN DIVITO: Very good.

MR. COSTELLO: I just wanted to say that I give my full support. I looked at the plans online. I had concerns, whenever I see the sign up in the front saying that we're going to be asking for a variation of some sort on the lot next to mine. But everything looks good. I can't see anything that --

ACTING CHAIRMAN DIVITO: How long have you lived with this property?

MR. COSTELLO: Five years.

ACTING CHAIRMAN DIVITO: Do you recall how long it has been vacant?

MR. COSTELLO: It's been vacant since, it will be I believe two years, yes, it's two years in September I believe. So, almost a full two years.

ACTING CHAIRMAN DIVITO: So, the property itself is in disrepair?

MR. COSTELLO: Yes. So, I was looking forward to getting a nice house --

MRS. COSTELLO: Yes, I don't think anybody would object to that house being --

MR. COSTELLO: Yes, and I'm close with everybody in the neighborhood. We're all kind of happy to see that being taken down.

MRS. COSTELLO: And it's a very nice design. I walk this neighborhood everyday with one of my fellow teachers at St. Viator. I must say that as far as encroachment and all that and being close to the sidewalk, our bigger problem are people with bushes that get, and this is

DRAFT

not anything like that. This will be still a clear sidewalk, and aside from that really, you know, for two people who are walking along the sidewalk here.

ACTING CHAIRMAN DIVITO: There you go.

MR. SIAVELIS: Did they sign in?

ACTING CHAIRMAN DIVITO: Did you sign, did you actually sign in onto the log there? We swore them in, but we didn't sign them in.

MRS. COSTELLO: I'm always impressed how vigilant Arlington Heights is about all of this.

MR. COSTELLO: Yes, that's all we had to say other than to give our support.

ACTING CHAIRMAN DIVITO: I appreciate the comments. Thank you for coming tonight.

All right, with no one else in the audience speaking, I'll close it down to Board discussion. Anybody want to start off?

MR. GEISEL: Given the current conditions, this would be a nice addition to the neighborhood. There's been a lot of other development in that particular neighborhood. This would fit well.

MR. SIAVELIS: I concur.

MR. SELBKA: It's a very nice design, so I certainly believe that this would be a big improvement to the neighborhood.

ACTING CHAIRMAN DIVITO: Is there a motion?

MR. GEISEL: Motion to approve.

MR. SELBKA: Second.

ACTING CHAIRMAN DIVITO: Very good. Derek?

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Geisel.

MR. GEISEL: Yes.

MR. MACH: Mr. Schwingbeck.

MR. SCHWINGBECK: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Acting Chairman Divito.

ACTING CHAIRMAN DIVITO: Yes. Congratulations, motion passed.

MR. SHEIN: Thank you, gentlemen.

(Whereupon, the above-mentioned petition was adjourned at 7:44 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS August 8, 2016

PETITIONER: Shein-Arce Residence
ADDRESS OF PROPERTY: 902 N. Beverly Ln.
VARIATION: 5.1-3.4, 5.1-3.6, 5.4

A variance to allow a 45-ft. wide lot to be buildable; A 1.5' variance to allow a new home with an exterior side yard setback of 8.5' from the south property line instead of the minimum 10.' and an additional 1.3' for the eave.

The petitioner explained that they are proposing to construct a new home on a lot that is 6,318 square feet in land area and has a lot width of 45.5 feet. Sections 5.1-3.4 and 5.1-3.5 of the Zoning Code set forth minimum lot size and width requirements for the R-3 District which is 90 feet in width and 9,900 square feet in area for a corner lot. As part of 5.1-3.4, the Director of Building is authorized to issue permits for structures on lots that are less than the minimum area and width requirements if the majority of the frontage on which the property is located is developed with lots that are below the minimum district requirements; provided that no permit shall be issued for any parcel containing less than 6,250 SF and a lot width of 50 feet. The petitioner's property does not meet the absolute minimum lot width of 50 feet. The petitioner also explained that they are seeking a variance of approximately two feet for the exterior side yard setback. The petitioner explained that due to the lot width, the side yard variation is necessary. The petitioner testified that the existing home is setback 8 feet and the new home will be setback 8.5 feet where 10 feet is required.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Geisel and seconded by Mr. Selbka. Thereafter, the Board voted 6-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 6-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: Molecular Imaging Chicago - 1237 S. Arlington Heights Rd.

Department: Planning & Community Development

The petition for Molecular Imaging Chicago, 1237 S. Arlington Heights Rd. (ZBA #16-035) was originally scheduled to appear before the Zoning Board of Appeals on September 19, 2016. However, at the petitioner's request they have been rescheduled to the October 10, 2016 hearing.

ATTACHMENTS:

Description

Type

No Attachments Available



Item: Rajchel Residence - 1003 S. Dunton Ave.

Department: Planning & Community Development

REQUEST

1. A 9.0 foot setback variance from Chapter 28, Section 6.13-3c1 (Exterior Side Yards) to allow a 6 foot tall semi open fence in the exterior side yard that is along the west property line with no street side landscaping where a 9.0 foot setback is required.
2. A 3.0 foot height variance from Chapter 28, Section 6.13-3 (Exterior Side Yards) to allow a 6 foot tall fence in the exterior side yard along the perimeter of the lot where a 3 foot high fence is allowed.

ATTACHMENTS:

Description

Staff Report
Department Comments
Supporting Documents

Type

Board or Commission Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: September 19, 2016
Date Prepared: September 13, 2016
Project Title: Rajchel Residence
Address: 1003 S. Dunton Ave.

Background Information

Petition Number: ZBA #16-034
Petitioner: Lisa Rajchel
Address: 1003 S. Dunton Ave.
Arlington Heights, IL 60004
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

The petitioner proposes to replace the six foot high semi-open wood fence along the north property line in the exterior side yard along Central Road. In order to maintain sight lines, the petitioner is proposing to taper the corner of the fence near the driveway. The existing fence does not meet code; therefore, the petitioner requests the following variations:

- A 9.0 foot setback variance from Chapter 28, Section 6.13-3c1 (Exterior Side Yards) to allow a 6 foot tall semi open fence in the exterior side yard that is along the west property line with no street side landscaping where a 9.0 foot setback is required.
- A 3 foot height variance from Chapter 28, Section 6.13-3 (Exterior Side Yards) to allow a 6 foot tall fence in the exterior side yard along the perimeter of the lot where a 3 foot high fence is allowed.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	9/2/16	
2. List of Property Owners Within 250 feet of Subject Property	✓	9/2/16	
3. Letter that was Mailed	✓	9/2/16	
4. Photographs of Sign on Property	✓	9/2/16	

Photographs of Existing Structure



ZBA# 16-034
1003 S Dunton - ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering

Submitted: August 31, 2016
Completed: September 1, 2016

The proposed ZBA application indicates that the petitioner is seeking:

A 9 ft setback to allow a 6 ft tall semi open fence in the exterior side yard that is along the west property line with no street side landscaping where a 9 ft setback is required; and a 3 ft height variance to allow a 6 ft tall fence in the exterior side yard along the perimeter of the lot where a 3 ft high fence is allowed.

NOTE: The proposed variance is to replace the existing fence in kind.

The Engineering Department has NO OBJECTION to the proposed variances.

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SEP 01 2016

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



Village of Arlington Heights Building Services Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Plan Reviewer, Building Services Department

Project Name: Rajchel Residence

Project Address: 1003 S Dunton Ave

ZBA #: 16-034

Date: September 8, 2016

Derek:

I have reviewed the request for the two variances and have no objection to the project.

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Rajchel Residence

Project Address: 1003 S. Dunton Ave.

ZBA #: 16-034

ZBA Hearing Date: September 19, 2016

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: August 31, 2016

- A 9.0 foot setback variance from Chapter 28, Section 6.13-3c1 (Exterior Side Yards) to allow a 6 foot tall semi open fence in the exterior side yard that is along the west property line with no street side landscaping where a 9.0 foot setback is required.
- A 3 foot height variance from Chapter 28, Section 6.13-3 (Exterior Side Yards) to allow a 6 foot tall fence in the exterior side yard along the perimeter of the lot where a 3 foot high fence is allowed.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: NO COMMENTS

- S. HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Friday, September 9, 2016.

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JUL 29 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PETITION

NOW COMES the Petitioner Lisa Raichel

being the owner of the property commonly know as: 1003 South Dunton Avenue

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section

3.2 of the Arlington Heights Zoning Regulations, Chapter 28, of the Arlington Heights Municipal Code, in order to:

Remove and replace in kind an existing wooden fence to maintain the privacy from the motoring and general public along the south side of Central Road.

I hereby state that the following hardship would exist if the variation were not granted: The reduction of the yard space along the north portion of the property, would reduce the useable space to approximately 8 1/2 feet (See attached photos. Additionally, the relocation of the fence would require the ultimate removal of a bush located adjacent to the house, that encompasses a majority of the current yard space at the west limit of the fenced in area. (See attached photos). The relocation of the fence would additionally affect the visual view from the basement. If the relocation of the fence is mandated, additional financial costs would be incurred to provide the necessary landscape and maintenace of landscaping, as stipulated in the Fence Regulations Exhibit Corner Lot obtained from The Village of Arlington Heights website

I hereby state that the following unique circumstances exist: The line of sight to the west of this residence is impacted not only by the trees along the Central Road Parkway, along this residence, but also the light pole located at the NW corner, utility pole located at the NE corner and the bushes along the residence located immediately west of this residence along Central Road. (See attached photos). THereby leaving no benefit to relocating the fence further south.

I hereby state that the variation, if granted, will not alter the essential character of the locality because: I am currently looking to maintain the current condition with an Improved visual barrier to provide the privacy that has been in place since I have lived here.

Signed: Lisa Raichel
Petitioner

Date: 7/29/16

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JUL 29 2016

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Plat of Survey

of

Property located at: 1003 S. DUNTON AVENUE

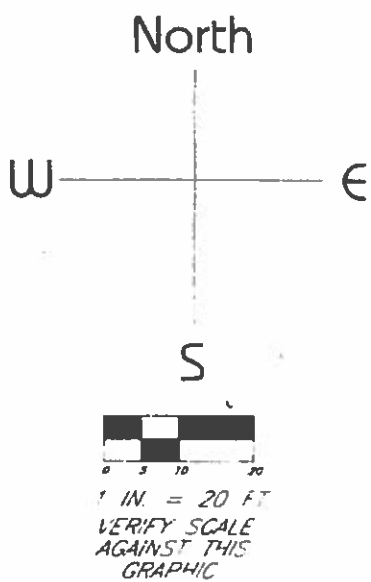
Legally described as:

File No 480

Legal Description:

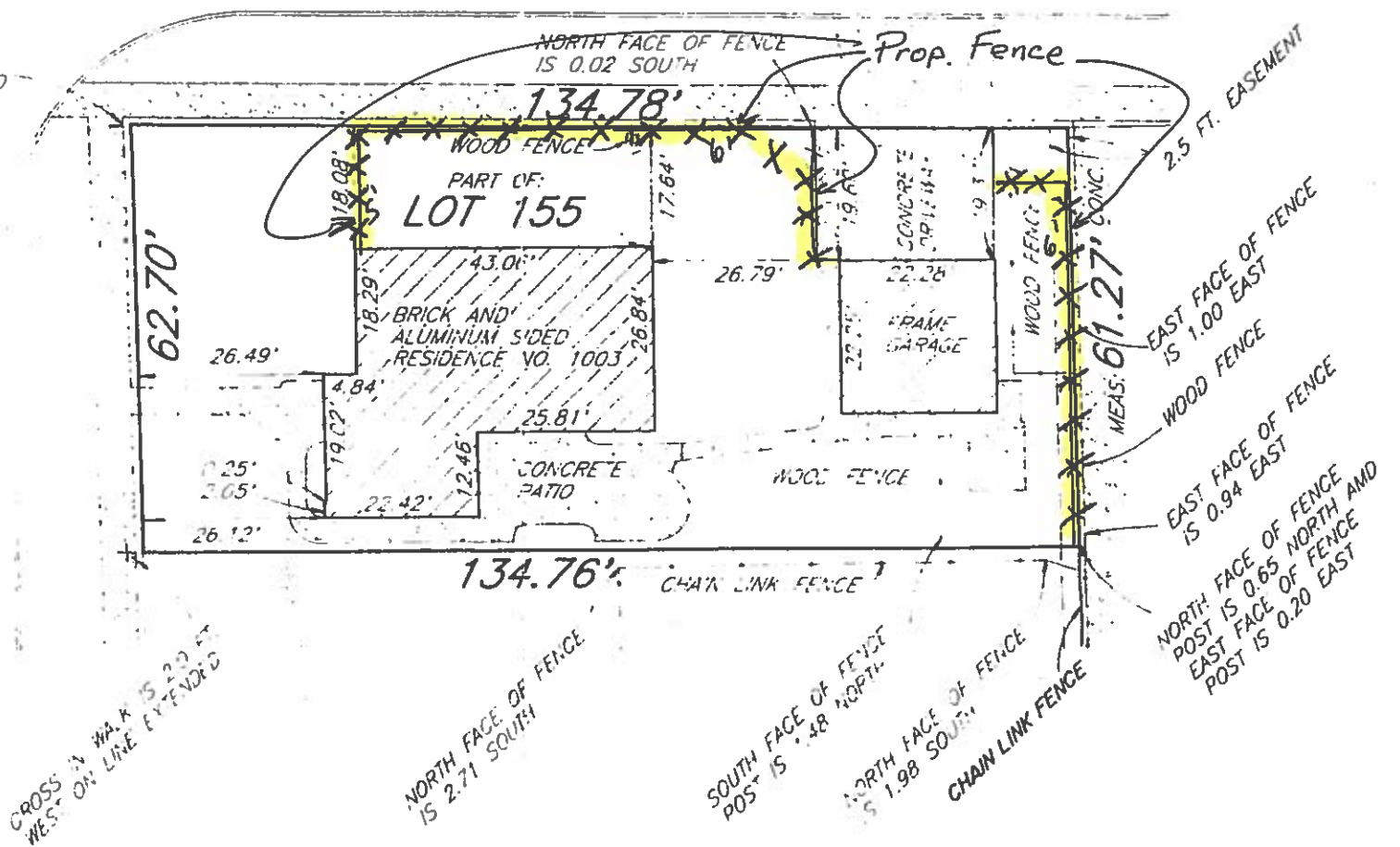
LOT 155 (EXCEPT THE SOUTH 82.70 FEET THEREOF) IN R. A. CEPEK'S ARLINGTON HIGHLANDS, A SUBDIVISION OF PART OF SECTIONS 4 AND 9, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN AND PARTS OF SECTIONS 31 AND 32, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

CENTRAL HIGHWAY



NOTCH IN WALK IS
ON LINE EXTENDED

S. DUNTON AVENUE



	1/8	1/4	3/8	1/2	5/8	3/4	7/8
0 AND	.01	.02	.03	.04	.05	.06	.07
1 AND	.08	.09	.10	.11	.12	.13	.14
2 AND	.15	.16	.17	.18	.19	.20	.21
3 AND	.22	.23	.24	.25	.26	.27	.28
4 AND	.29	.30	.31	.32	.33	.34	.35
5 AND	.36	.37	.38	.39	.40	.41	.42
6 AND	.43	.44	.45	.46	.47	.48	.49
7 AND	.50	.51	.52	.53	.54	.55	.56
8 AND	.57	.58	.59	.60	.61	.62	.63
9 AND	.64	.65	.66	.67	.68	.69	.70
10 AND	.71	.72	.73	.74	.75	.76	.77
11 AND	.78	.79	.80	.81	.82	.83	.84
12 AND	.85	.86	.87	.88	.89	.90	.91
13 AND	.92	.93	.94	.95	.96	.97	.98
14 AND	.99	1.00	1.01	1.02	1.03	1.04	1.05

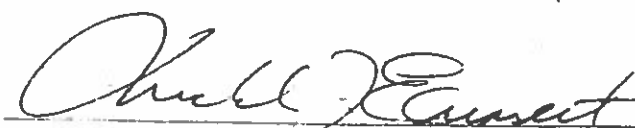
*** PROPOSED FENCE

State of Illinois)

County of Cook) SS.

Michael J. Emmert Surveys, Inc., does hereby certify that we have surveyed the above described property and prepared the plat hereon drawn. The legal description shown hereon is provided by others. Refer to deed or title policy for building setbacks, easements or other restrictions which may exist. Dimensions not noted hereon shall not be assumed by scaling or otherwise. This office shall not be responsible for future construction unless all property corners are established by this office.

Dated this 2ND day of NOVEMBER 1995

by:  President
Registered Illinois Land Surveyor No. 2499

NOT VALID WITHOUT RAISED SEAL



Michael J. Emmert Surveys, Inc.
115 West Palatine Road
Palatine, Illinois 60067-5103
FAX 708/991-4999 OFFICE 708/991-6898



\$46.84

- Pressure-treated
- Shadowbox design
your home
- Semi-private
beautiful fence

This item is not available
Please check our website

Pick Up In Store

! Unavailable



View of the north side of the residence facing west. The boards indicate the required fence location. Bush towards the west end would ultimately require removal.



View looking west from the driveway showing the trees in the parkway, light pole, utility pole and bushes at the residence to the west (that just so happened to be trimmed at this time)



Item: Bauman Residence - 315 W. Hackberry Dr.

Department: Planning & Community Development

REQUEST

1. A variation from Chapter 28, Section 6.5-2 to allow a shed in the side yard where sheds are only permitted in the rear yard.

ATTACHMENTS:

Description

Staff Report
Department Comments
Supporting Documents

Type

Board or Commission Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: September 19, 2016
Date Prepared: September 13, 2016
Project Title: Bauman Residence
Address: 315 W. Hackberry Dr.

Background Information

Petition Number: ZBA #16-037
Petitioner: Heather Bauman
Address: 315 W. Hackberry Dr.
Arlington Heights, IL 60004
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

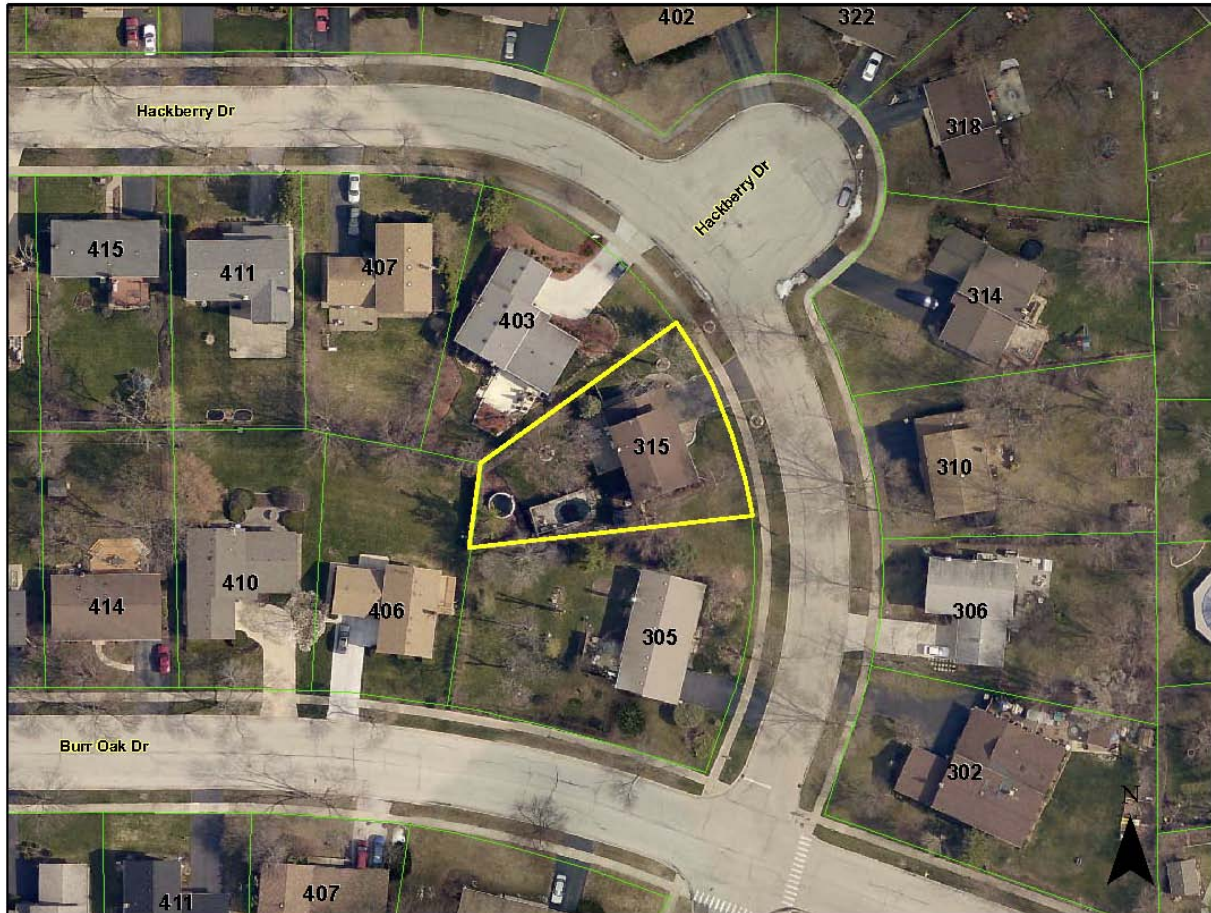
The petitioner is proposing to construct a shed that is located in the side yard where sheds are only permitted in the rear yard. Therefore, the petitioner requests the following variation:

- A variation from Chapter 28, Section 6.5-2 to allow a shed in the side yard where sheds are only permitted in the rear yard.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	9/1/16	
2. List of Property Owners Within 250 feet of Subject Property	✓	9/1/16	
3. Letter that was Mailed	✓	9/1/16	
4. Photographs of Sign on Property	✓	9/1/16	

Photographs of Existing Structure



ZBA# 16-037

315 W Hackberry Dr - ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering

Submitted: August 31, 2016

Completed: September 1, 2016

The proposed ZBA application indicates that the petitioner is seeking:

A variation to allow a shed with a side yard where sheds are only permitted in the rear yard.

No comment

J. M. L.

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



Village of Arlington Heights Building Services Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Plan Reviewer, Building Services Department

Project Name: Bauman Residence

Project Address: 315 W Hackberry Dr

ZBA #: 16-037

Date: September 8, 2016

Derek:

I have reviewed the request to place a lean-to shed in the side yard and offer the following comments:

1. The existing downspout running alongside the house may need to be reconfigured to allow the lean-to shed to be tight against the house.
 2. The drainage from the downspout is required to be directed to either the front yard or the rear yard. Currently it is directed to the side yard.
-

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Bauman Residence

Project Address: 315 W. Hackberry Dr.

ZBA #: 16-037

ZBA Hearing Date: September 19, 2016

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: August 31, 2016

- A variation from Chapter 28, Section 6.5-2 to allow a shed in the side yard where sheds are only permitted in the rear yard.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: NO COMMENTS.

- S. HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Friday, September 9, 2016.

PETITION

NOW COMES the Petitioner Todd & Heather Bauman being the owner of property commonly know as : 315 W Hackberry Dr, Arlington Heights and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 12, Chapter 28, of Arlington Heights Municipal Code, in order to: build a 6 foot by 10 foot lean against shed on the north side of our house. Due to the restrictions of where to place our pool and pool hardware we do not have a place to build a shed in our back yard. We do have a 6 foot area of dirt next to our garage on the north side of our house. We are hoping to build this so we have storage for bikes and pool items in the winter and snow blower and shovels in the summer.

PLAT OF SURVEY

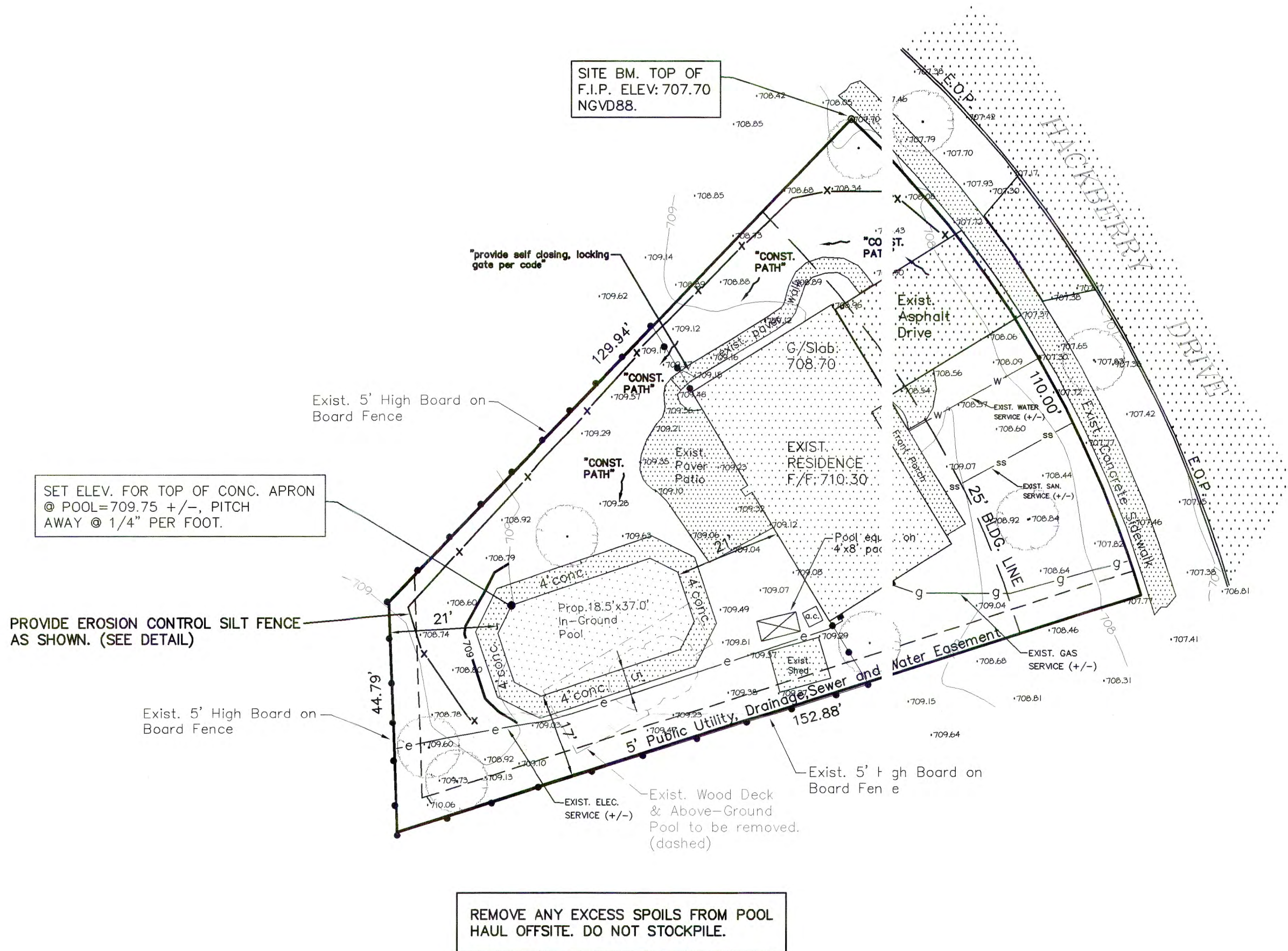
SCALE: 1"=20'



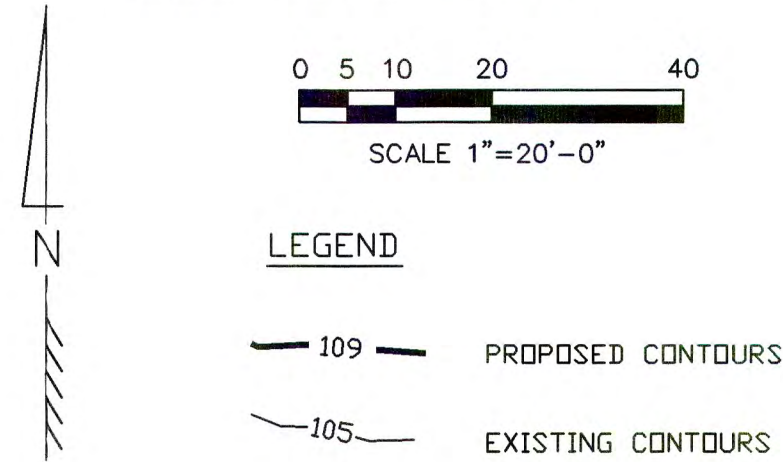
A circular professional seal for Norbert V. Lambert, Jr., a Registered Land Surveyor No. 1863, Professional State of Illinois. The seal features a dotted border with the text "NORBERT V. LAMBERT, JR." at the top, "REGISTERED" in the center, "LAND SURVEYOR NO. 1863" below that, and "PROFESSIONAL STATE OF ILLINOIS" at the bottom. Two small crosses are positioned on the left and right sides of the seal.

320 SOUTH REBER ST. WHEATON, ILL. 60187
PHONE: (630) 653-6331 FAX: (630) 653-6396

PROPOSED SITE PLAN



POOL SITE PLAN



PREPARED FOR:

MEIER'S OUTDOOR WORLD
155 S. SAYTON RD., UNIT B
FOX LAKE, IL, 60020
(847) 587-7711

OWNER:

TODD & HEATHER BAUMAN
315 W. HACKBERRY DRIVE
ARLINGTON HEIGHTS, IL, 60004
(847) 368-1504

LEGAL DESCRIPTION:

LOT 51 IN BLK. 8 OF BERKLEY UNIT 7
NE 1/4, S.7, T42N, R11E
P.I.N.: 03-07-416-051
WHEELING TOWNSHIP, COOK COUNTY
MUNICIPALITY: ARLINGTON HEIGHTS
(KNOWN AS: 315 W. HACKBERRY DR.)

SITE PLAN NOTES:

- SOIL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE "PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL IN ILLINOIS".
- PROVIDE SILT FENCING AROUND ALL AREAS TO BE DISTURBED BY CONSTRUCTION PRIOR TO COMMENCING WITH EXCAVATION. INSTALL SAFETY FENCING AROUND ALL OPEN EXCAVATIONS LEFT UNATTENDED.
- NO ALTERATIONS TO EXISTING GROUND ELEVATIONS WILL BE PERMITTED WITHIN 5' OF PROPERTY LINES TO ENSURE THAT TRIBUTARY AREAS FROM ADJOINING LOTS WILL CONTINUE TO DRAIN THE SUBJECT PROPERTY.
- NO SIDE SLOPE SHALL EXCEED 3:1.
- SILT FENCE SHALL COMPLY WITH AASHTO M288-00 SPECIFICATIONS.
- LOT IS NOT LOCATED IN MAPPED FEMA FLOODPLAIN.

IMPERVIOUS SURFACE CALCULATION:

- * EXISTING RESIDENCE: 1,516 sqft.
- * EXISTING PATIO + SHED: 430 sqft.
- * EXISTING SIDEWALK(S) + PORCH: 304 sqft.
- * EXISTING DRIVEWAY: 560 sqft.

TOTAL EXISTING IMPERVIOUS: 2,810 sqft.

* PROP. POOL & CONC. DECK: 1,068 sqft.

TOTAL IMPERVIOUS SURFACE W/PROP. POOL: 3,878 sqft.

TOTAL AREA OF LOT: 10,925 sqft.

PERCENT IMPERVIOUS COVER W/PROP. POOL: 35.4%



GENERAL NOTES:

- THIS DESIGN IS BASED UPON: (1) THE FIELD CONDITIONS AS THEY WERE ON THE DAY THE FIELD DATA WAS OBTAINED. (2) DATA FURNISHED BY THE OWNER, GENERAL CONTRACTOR, OR THEIR REPRESENTATIVE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES, AND HAVE ALL EXISTING UTILITIES STAKED PRIOR TO ANY CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO INITIATING ANY CONSTRUCTION.
- ALL INSTALLATIONS SHALL CONFORM TO THE APPROPRIATE REGULATORY AGENCY REQUIREMENTS.
- FAILURE TO NOTIFY THE ENGINEER OF DISCREPANCIES SHALL VOID THIS DESIGN.
- NO ASSUMPTIONS SHALL BE MADE BY SCALING FROM THIS DRAWING.

Joint Utility Locating Information for Excavators

CALL JULIE

48 hours before you dig (Excluding Sat, Sun. & Holidays)

WITH THE FOLLOWING: COUNTY COOK CITY-TOWNSHIP SEC. & 1/4 SEC. NO# 1-800-892-0123

SILT FENCE

Filter Fabric

Step 1

Posts

Filter Fabric

Step 2

Step 3

ATTACHING TWO SILT FENCES

NOTES:

- Place the end post of the second fence inside the end post of the first fence.
- Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
- Drive both posts a minimum of 18 inches into the ground and bury the flap.

REFERENCE:

Project: _____

Designed: _____

Checked: _____

Approved: _____

NRCS

STANDARD PLS. NO. IL-620(W)

Sheet: 1 of 2

DATE: 1-28-99

SILT FENCE WITH WIRE SUPPORT PLAN

Mesh Support 6" Square (Min.)

4" Max. (Typ.)

Fastener - Min. No. 10 Gauge Wire

4 Per Post Required (Typ.)

ELEVATION

Filter Fabric

Direction of Flow

Undisturbed Ground Line

3" Min Wire Mesh In Trench

Compacted Backfill

FABRIC ANCHOR DETAIL

NOTES:

- Wires of mesh support shall be min. gauge no. 10.
- Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
- Filter fabric shall meet the requirements of material specification: SPS Geotextile Table 3 or 2. Cloth 1" with equivalent opening size or at least 30 for nonwoven and 50 for woven.

REFERENCE:

Project: _____

Designed: _____

Checked: _____

Approved: _____

NRCS

STANDARD PLS. NO. IL-620(W)

Sheet: 1 of 2

DATE: 1-28-99

SOIL EROSION AND SEDIMENT CONTROL CONSTRUCTION NOTES

A. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.

B. FOR THOSE DEVELOPMENTS THAT REQUIRE A DESIGNATED INSPECTION AND DOCUMENTATION SHALL BE PERFORMED, A MINIMUM MEASURES (INCLUDING PERIMETER WITH ANY OTHER EARTH DISTURBANCE OR GRADING).

C. AFTER EVERY SEVEN (7) CALENDAR DAYS OR STORM RAINFALL OR LIQUID EQUIVALENT PRECIPITATION, THE PERMITEE SHALL PLAN FOR ER AS TO MINIMIZE EROSION, IF STRIPPING, JAGES, THE PERMITEE SHALL PLAN FOR ATION (CAP) UNDERLAIN WITH FILTER FABRIC AND IN ACCORDANCE WITH THE ILLINOIS URBAN MAINTENANCE ACT, OR OTHER APPROPRIATE MEASURE(S) AS TO AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE, SEDIMENT OR IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARK OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRASH SHALL BE REMOVED BY SCRAPING AND EXPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.

D. TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NEEDED TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN, OR PERMANENT MEASURES WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE END OF ACTIVE WORK.

E. ALL STOCKPILES SHALL HAVE APPROPRIATE MEASURES TO PREVENT EROSION. STOCKPILES SHALL NOT BE PLACED IN FLOOD PRONE AREAS OR WETLANDS AND DETAIL SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH APPROPRIATE MEASURES AS APPROVED BY THE ENFORCEMENT OFFICER.

F. APPROPRIATE EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL INTERIOR DETENTION BASIN WATER LEVEL.

G. CONSTRUCTION SHALL BE PROTECTED BY A POLYMER DOWATERING SYSTEM OR A SIMILAR MEASURE AS APPROVED BY THE ENFORCEMENT OFFICER. DOWATERING SYSTEMS SHOULD BE INSPECTED DAILY BY THE ENFORCEMENT OFFICER, OR APPROVED REPRESENTATIVE, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

H. IF INSTALLED SOIL EROSION AND SEDIMENT CONTROL MEASURES DO NOT MINIMIZE SEDIMENT LEAVING THE DEVELOPMENT SITE, ADDITIONAL MEASURES SUCH AS AN EROSION CONTROL BLANKET SHALL BE INSTALLED.

I. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED. THE PROPERTY OWNER SHALL BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND REPAIR.

J. ALL TEMPORARY SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.

K. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS SHALL BE MAINTAINED AND REPAIRED AS NEEDED. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENFORCEMENT OFFICER, OR OTHER GOVERNING AGENCY.

Alberts Land Design, Inc.

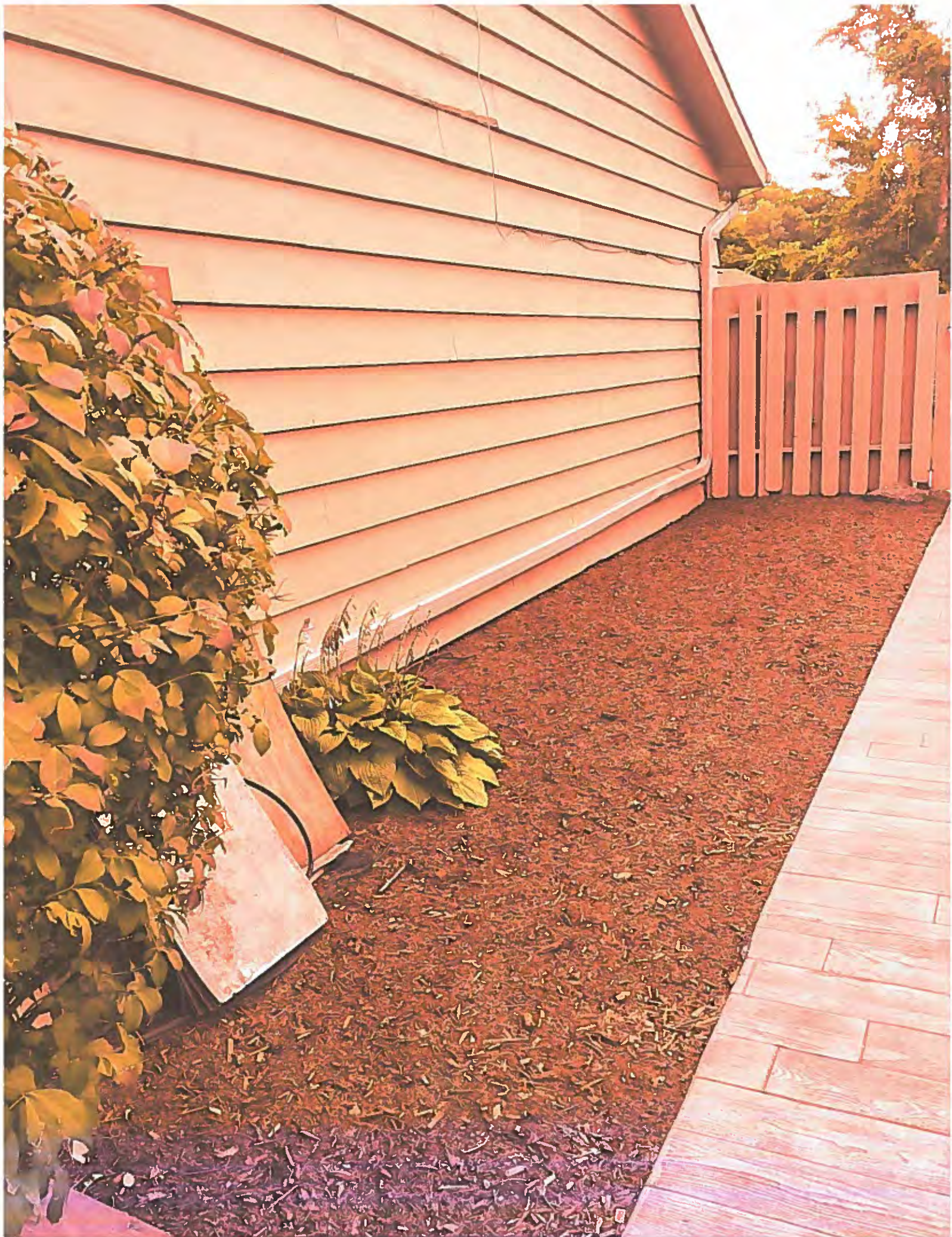
SITE GRADING PLANS

PO BOX 1048
Lake Villa, IL 60046
www.AlbertsLandDesign.com

(847) 245-2139 phone
(847) 245-2122 fax
Email: stevenj.alberts@yahoo.com

DRAWN BY: SA. CHECKED BY: J.W. PROJ. NO. 033-14 DATE 8/26/14







SPECIALTY

Most customers choose to customize these Premier Series shed models to fit their needs by adjusting things like wall height, number of doors, roof pitch, open bays, etc.



All buildings shown with optional features.



Loan-To

Customers Typically Customize Specs on this Model
Standard roof is Single Slope 2/12 Pitch & 3-Tab Shingles
Available w/ Premier, PRO, or Even Custom Features
Variable Door Sizes Based on Placement & Building Design
4" Beaded Eave (short wall only)



Loading Shed

A Multi Purpose Building Traditionally Used for Animal Shelter
Can Accommodate a Variety of Roof Pitches & Configurations
Available w/ Premier, PRO, or Even Custom Features
6'7" Tall Door on Tuck Room Portion of Building
4" Bead Eave on Sidewall (Hood) 3" Flat Sidelall Eave (Hood)

Modern Architecture
Dimensional Shingles
y Model Size
& Transom Windows
s on End & Back Walls

Paint	Monthly*
1,916	\$92
1,411	\$101
1,126	\$114
1,830	\$127
1,545	\$141
1,741	\$107
1,731	\$126
1,534	\$141
1,326	\$155
1,107	\$170
1,503	\$177
3,405	\$194

WxLxH*	Base	w/Point	Monthly*	WxLxH*	Base	w/Point	Monthly*
4'x8'x11'	\$1,739	\$1,913	\$36	8'x16'x7'	\$3,279	\$3,607	\$67
4'x10'x11'	\$1,979	\$2,177	\$41	8'x20'x7'	\$3,769	\$4,146	\$77
4'x12'x11'	\$2,199	\$2,419	\$45	8'x24'x7'	\$4,319	\$4,751	\$89
6'x8'x3'	\$1,829	\$2,012	\$38	8'x30'x7'	\$5,129	\$5,642	\$105
6'x10'x3'	\$2,089	\$2,298	\$43	10'x16'x10'	\$3,789	\$4,168	\$78
6'x12'x3'	\$2,299	\$2,529	\$47	10'x20'x10'	\$4,459	\$4,905	\$91
8'x8'x7'	\$2,169	\$2,386	\$45	10'x24'x10'	\$5,129	\$5,642	\$105
8'x10'x7'	\$2,419	\$2,661	\$50	10'x30'x10'	\$6,069	\$6,676	\$125
8'x12'x7'	\$2,709	\$2,980	\$56	10'x32'x10'	\$6,399	\$7,039	\$131
8'x16'x7'	\$3,279	\$3,607	\$67	12'x16'x10'	\$4,409	\$4,850	\$90
10'x10'x11'	\$2,779	\$3,057	\$57	12'x20'x10'	\$5,169	\$5,686	\$106
10'x12'x11'	\$3,119	\$3,431	\$64	12'x24'x10'	\$5,929	\$6,522	\$122
10'x16'x11'	\$3,789	\$4,168	\$78	12'x30'x10'	\$6,919	\$7,611	\$142
10'x18'x11'	\$4,199	\$4,619	\$86	12'x36'x10'	\$8,009	\$8,810	\$164
10'x20'x11'	\$4,459	\$4,905	\$91	12'x40'x10'	\$8,729	\$9,602	\$179

accessories.

DESCRIPTION	PRICE	DESCRIPTION	PRICE
\$200 Security Package (single/double).....	\$55/\$75	Treated Floor Decking Upgrade.....	\$1 sq ft
Screen Vent (16"x8").....	\$17	Overhead Loft ("starting at" price).....	\$415 sq ft
Gable End Vent (12"x12", plastic/metal).....	\$32/\$50		
Turbine Vent.....	\$94		
Translucent Roof Vent.....	\$70		
\$225 Octagon Vent.....	\$100		
Ridge Vent.....	\$11 lin ft		
\$9 Radiant Barrier Roof Decking (ranch/barn).....	\$1/\$1.50 sq ft		
49 ea Lifetime Shingle Upgrade.....	\$1 sq ft		
10/\$100 Metal Roof Upgrade (ranch/barn sheds only).....	\$250/\$350 sq ft		
sq ft Designer Paint Palette (shed/garage).....	\$49**/\$99**		

*addition to standard paint cost. Any applicable taxes are not included in posted prices. Balance is due upon delivery. Custom sizes also available. All TUFF SHED buildings heights are approximations, and are rounded to the nearest inch. ©2015 TUFF SHED, Inc. All rights reserved. TUFF SHED® is a registered trademark of TUFF SHED, Inc.

103165 Effective 0315 Retail A11 PS Tier 2



TUFF SHED®

Storage Buildings & Garages

PRODUCTS & PRICES



TUFF SHED®

Storage Buildings & Garages

CL#: 1050050:

Bill Hol
Sales Design Consultant

1408 East NW Highway
Palatine, IL 60066

office 847-704-1114
mobile 312-459-841-
toll free 800-BUYTUF
facsimile 847-818-0501
email wherin@tuffshed.com



tuffshed.com

800-BUY-TUFF

tuffshed.com

GOOD

The Garden Series®

The entry price point product available at TUFF SHED factory-direct retail locations. Garden Series sheds offer TUFF SHED quality for even the budget-minded customer.

Building Models



Garden Hutch

- Our Smallest Standard Shed Size
- Single Slope 3/12 Roof Pitch & 3-Tab Shingles
- 5'8" & 6'5" (on tall wall) Clear Interior Height
- 5'5" Tall Door Placed on Front (short) Wall
- 4" Flat Sidewall Eave (short wall only)



Garden Ranch

- Our Lowest Priced Factory-Direct Ranch
- Ranch Style 4/12 Roof Pitch & 3-Tab Shingles
- 5'8" Clear Interior Sidewall Height
- 6' Tall Door Placed on End Wall
- 4" Flat Sidewall Eave



Garden Barn

- Our Lowest Priced Factory-Direct Barn
- Barn Style 4/12 Roof Pitch & 3-Tab Shingles
- 6' Clear Interior Sidewall Height
- 6' Tall Door Placed on End Wall
- 3" Flat Sidewall Eave

all buildings shown with optional features

**PROFESSIONAL
INSTALLATION
INCLUDED!**



STANDARD FEATURES - QUALITY FROM THE START

ROOFING

- ✓ Precision Cut Rafters/Trusses Joined w/Steel Plates
- ✓ Owens Corning™ Shingles w/25 Year Mfg's Warranty
- ✓ 15# Roofing Felt
- ✓ Baked Enamel Steel Drip Edge
- ✓ 7/16" OSB Roof Decking
- ✓ 4" (ranch or hutch) or 3" (barn) Sidewall Eaves
- ✓ 4/12 Roof Pitch



FLOORING

- ✓ 3/4" Tongue & Groove Sturdy Floor Decking
- ✓ Aluminum Threshold at Door
- ✓ 2x6 Treated Wood Floor Joists



WALLS

- ✓ 2x4 Framing, 24" On-Center
- ✓ Double Top Plates on Sidewalls
- ✓ Treated LP® SmartSide Siding & Trim w/50 Year Warranty



DOORS

- ✓ Patented, Steel-Reinforced 4'x6' Doors, Sheated on Both Sides
- ✓ 5" Patented, Locking "L" Handle
- ✓ Patented, Heavy-Duty Steel Hinges



WARRANTY

Honest, straight-forward, top-to-bottom warranties from a company you can trust, established 1981.

- ✓ Garden Series - 5 Years



BETTER

The Premier Series

Step up to TUFF SHED's original line of sheds, legendary for their durability plus exclusive and The bottom line: Customers get more with Premier Series buildings.

Building Models



Standard Ranch

- A Mainstay of Our Product Line from the Beginning
- Ranch Style 4/12 Roof Pitch & 3-Tab Shingles
- 6'5" Clear Interior Sidewall Height
- 6' Tall Door Placed on Any Wall
- 4" Boxed Eave on Sidewalls



Tall Ranch

- Taller Version of Our Popular Premier Ranch
- Ranch Style 4/12 Roof Pitch & 3-Tab Shingles
- 7'5" Clear Interior Wall Height
- 6'7" Tall Door Placed on Any Wall
- 4" Boxed Eave on Sidewalls



Tall Barn

- Classic Barn Design & Barn Style 5/12 Roof
- 6'5" Clear Interior Wall
- 6'7" Tall Door (end wall)
- 3" Flat Sidewall Eave

WxLxH*	Base	w/Point	Monthly*	WxLxH*	Base	w/Point	Monthly*	WxLxH*	Base	w/Point	Monthly*	WxLxH*	Base	w/Point	Monthly*	WxLxH*	Base	w/Point	Monthly*
6'x6'x7'5"	\$1,369	\$1,506	\$28	6'x6'x9'1"	\$1,589	\$1,748	\$33	6'x6'x10'2"	\$1,589	\$1,748	\$33	6'x6'x10'2"	\$1,589	\$1,748	\$33	6'x6'x10'2"	\$1,589	\$1,748	\$33
6'x8'x8'3"	\$1,559	\$1,715	\$32	6'x8'x9'1"	\$1,829	\$2,012	\$38	6'x8'x10'2"	\$1,829	\$2,012	\$38	6'x8'x10'2"	\$1,829	\$2,012	\$38	6'x8'x10'2"	\$1,829	\$2,012	\$38
6'x10'x8'3"	\$1,789	\$1,968	\$37	6'x10'x9'1"	\$2,089	\$2,298	\$43	6'x10'x10'2"	\$2,089	\$2,298	\$43	6'x10'x10'2"	\$2,089	\$2,298	\$43	6'x10'x10'2"	\$2,089	\$2,298	\$43
6'x12'x8'3"	\$2,009	\$2,210	\$41	6'x12'x9'1"	\$2,299	\$2,529	\$47	6'x12'x10'2"	\$2,299	\$2,529	\$47	6'x12'x10'2"	\$2,299	\$2,529	\$47	6'x12'x10'2"	\$2,299	\$2,529	\$47
8'x8'x8'7"	\$1,829	\$2,012	\$38	8'x8'x9'1"	\$2,169	\$2,386	\$45	8'x8'x10'2"	\$2,169	\$2,386	\$45	8'x8'x10'2"	\$2,169	\$2,386	\$45	8'x8'x10'2"	\$2,169	\$2,386	\$45
8'x10'x8'7"	\$2,109	\$2,320	\$43	8'x10'x9'1"	\$2,419	\$2,661	\$50	8'x10'x10'2"	\$2,419	\$2,661	\$50	8'x10'x10'2"	\$2,419	\$2,661	\$50	8'x10'x10'2"	\$2,419	\$2,661	\$50
8'x12'x8'7"	\$2,349	\$2,584	\$48	8'x12'x9'1"	\$2,709	\$2,980	\$56	8'x12'x10'2"	\$2,709	\$2,980	\$56	8'x12'x10'2"	\$2,709	\$2,980	\$56	8'x12'x10'2"	\$2,709	\$2,980	\$56
8'x14'x8'7"	\$2,599	\$2,859	\$53	8'x14'x9'1"	\$2,989	\$3,288	\$61	8'x14'x10'2"	\$2,989	\$3,288	\$61	8'x14'x10'2"	\$2,989	\$3,288	\$61	8'x14'x10'2"	\$2,989	\$3,288	\$61
8'x16'x8'7"	\$2,859	\$3,145	\$59	8'x16'x9'1"	\$3,279	\$3,607	\$67	8'x16'x10'2"	\$3,279	\$3,607	\$67	8'x16'x10'2"	\$3,279	\$3,607	\$67	8'x16'x10'2"	\$3,279	\$3,607	\$67
10'x10'x10'2"	\$2,449	\$2,694	\$50	10'x10'x10'2"	\$2,779	\$3,057	\$57	10'x10'x10'2"	\$2,779	\$3,057	\$57	10'x10'x10'2"	\$2,779	\$3,057	\$57	10'x10'x10'2"	\$2,779	\$3,057	\$57
10'x12'x10'2"	\$2,729	\$3,002	\$56	10'x12'x10'2"	\$3,119	\$3,431	\$64	10'x12'x10'2"	\$3,119	\$3,431	\$64	10'x12'x10'2"	\$3,119	\$3,431	\$64	10'x12'x10'2"	\$3,119	\$3,431	\$64
10'x14'x10'2"	\$3,189	\$3,508	\$65	10'x14'x10'2"	\$3,569	\$3,926	\$73	10'x14'x10'2"	\$3,569	\$3,926	\$73	10'x14'x10'2"	\$3,569	\$3,926	\$73	10'x14'x10'2"	\$3,569	\$3,926	\$73
10'x16'x10'2"	\$3,369	\$3,706	\$69	10'x16'x10'2"	\$3,789	\$4,168	\$78	10'x16'x10'2"	\$3,789	\$4,168	\$78	10'x16'x10'2"	\$3,789	\$4,168	\$78	10'x16'x10'2"	\$3,789	\$4,168	\$78
10'x20'x10'2"	\$4,109	\$4,520	\$84	10'x20'x10'2"	\$4,459	\$4,905	\$91	10'x20'x10'2"	\$4,459	\$4,905	\$91	10'x20'x10'2"	\$4,459	\$4,905	\$91	10'x20'x10'2"	\$4,459	\$4,905	\$91
12'x12'x10'2"	\$3,199	\$3,519	\$66	12'x12'x10'2"	\$3,649	\$4,014	\$75	12'x12'x10'2"	\$3,649	\$4,014	\$75	12'x12'x10'2"	\$3,649	\$4,014	\$75	12'x12'x10'2"	\$3,649	\$4,014	\$75
12'x16'x10'2"	\$3,889	\$4,278	\$80	12'x16'x10'2"	\$4,409	\$4,850	\$90	12'x16'x10'2"	\$4,409	\$4,850	\$90	12'x16'x10'2"	\$4,409	\$4,850	\$90	12'x16'x10'2"	\$4,409	\$4,850	\$90
12'x20'x10'2"	\$4,619	\$5,081	\$95	12'x20'x10'2"	\$5,169	\$5,686	\$106	12'x20'x10'2"	\$5,169	\$5,686	\$106	12'x20'x10'2"	\$5,169	\$5,686	\$106	12'x20'x10'2"	\$5,169	\$5,686	\$106
12'x24'x10'2"	\$5,339	\$5,873	\$110	12'x24'x10'2"	\$5,929	\$6,522	\$122	12'x24'x10'2"	\$5,929	\$6,522	\$122	12'x24'x10'2"	\$5,929	\$6,522	\$122	12'x24'x10'2"	\$5,929	\$6,522	\$122
12'x28'x10'2"	\$5,909	\$6,500	\$121	12'x28'x10'2"	\$6,559	\$7,215	\$135	12'x28'x10'2"	\$6,559	\$7,215	\$135	12'x28'x10'2"	\$6,559	\$7,215	\$135	12'x28'x10'2"	\$6,559	\$7,215	\$135
12'x32'x10'2"	\$6,589	\$7,248	\$135	12'x32'x10'2"	\$7,289	\$8,018	\$150	12'x32'x10'2"	\$7,289	\$8,018	\$150	12'x32'x10'2"	\$7,289	\$8,018	\$150	12'x32'x10'2"	\$7,289	\$8,018	\$150
16'x20'x10'10"	\$6,689	\$7,358	\$137	16'x20'x10'10"	\$7,369	\$8,046	\$157	16'x20'x10'10"	\$7,369	\$8,046	\$157	16'x20'x10'10"	\$7,369	\$8,046	\$157	16'x20'x10'10"	\$7,369	\$8,046	\$157
16'x24'x10'10"	\$7,669	\$8,436	\$157	16'x24'x10'10"	\$8,436	\$9,288	\$172	16'x24'x10'10"	\$8,436	\$9,288	\$172	16'x24'x10'10"	\$8,436	\$9,288	\$172	16'x24'x10'10"	\$8,436	\$9,288	\$172

PLUS - GET THESE PREMIER SERIES® UPG

ROOFING

- ✓ 7/16" LP® SilverTech Radiant Heat Barrier Roof Decking
- ✓ Upgraded Boxed Sidewall Eaves w/4" Fascia (ranches)

FLOORING

- ✓ 3/4" Treated LP® ProStruct Floor Decking w/SmartFinish
- ✓ 6" Tall Galvanized Steel Floor Joists

WALLS

- ✓ Taller Walls w/2x4 Framing, 16" On-Center
- ✓ LP® SilverTech® Radiant Heat Barrier

DOORS

- ✓ Larger, 6" Patented, Locking "L" Handle
- ✓ Taller 6'7" Door (Tall Ranch & Tall Barn)



Premier Lean-To

The lean-to has a single slope roof, instead of a roof peak in the center of the building. This style building is perfect for placing next to an existing structure or under a deck. Except for the roof, the standard design of this



building is similar to the Premier Tall Ranch, but customers tend to customize wall height and roof pitch to fit their specifications. For popular sizes, prices and more specs, click the tabs below.

- Galvanized steel floor joists
- Steel-reinforced door, up to 6'7" tall based on placement
- Treated LP ProStruct Floor with Smart Finish™
- 2x4 wall framing placed 16" on center
- LP® SilverTech™ radiant barrier siding and roof decking
- Owens Corning® 25 Year shingles

Categories: Lean-To Styles, Sheds

Pricing

Specifications



Item: 523 S. Rammer Residence

Department: Planning & Community Development

REQUEST

1. A 1.7 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a side yard setback of 5.0 feet from the south property line instead of the minimum 6.7 feet and an additional 1.0 feet for the eave.
2. A 0.9 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a side yard setback of 5.8 feet from the north property line instead of the minimum 6.7 feet and an additional 1.0 feet for the eave.
3. A 3.6 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a covered front entry with a front yard setback of 20.0 feet from the west property line instead of the minimum 23.5 feet.

ATTACHMENTS:

Description

Staff Report
Department Comments
Supporting Documents

Type

Board or Commission Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: September 19, 2016
Date Prepared: September 13, 2016
Project Title: 523 S. Rammer Ave. Residence
Address: 523 S. Rammer Ave.

Background Information

Petition Number: ZBA #16-038
Petitioner: Michael Bova / Impact Renovations LLC
Address: 75 Gaylord St.
Elk Grove Village, IL 60007
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

The petitioner is proposing to construct a second story addition to the existing one story home. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 8,844 square feet and a lot width of 67 feet. The proposed residence will have approximately 3,500 square feet. The proposed addition is encroaching into the required side yard setback along the north and south property line. In addition, the petitioner is proposing a covered front entry that is encroaching into the required front yard setback. Therefore, the petitioner requests the following variations:

- A 1.7 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a side yard setback of 5.0 feet from the south property line instead of the minimum 6.7 feet and an additional 1.0 feet for the eave.
- A 0.9 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a side yard setback of 5.8 feet from the north property line instead of the minimum 6.7 feet and an additional 1.0 feet for the eave.
- A 3.6 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a covered front entry with a front yard setback of 20.0 feet from the west property line instead of the minimum 23.5 feet.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	8/25/16	
2. List of Property Owners Within 250 feet of Subject Property	✓	8/31/16	
3. Letter that was Mailed	✓	8/25/16	
4. Photographs of Sign on Property	✓	8/31/16	

Photographs of Existing Structure



ZBA# 16-038
523 S Rammer Ave- ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering

Submitted: August 31, 2016
Completed: September 1, 2016

The proposed ZBA application indicates that the petitioner is seeking:

A 1.7 ft variance to allow an addition with a side yard setback of 5 ft from the south property line instead of the minimum 6.7 ft and an additional 1 ft for the eave; A 0.9 ft variance to allow an addition with a side yard setback of 5.8 ft from the north property line instead of the minimum 6.7 ft and an additional 1 ft for the eave; and a 3.6 ft variance to allow a covered front entry with a side yard setback of 20 ft from the west property line instead of the minimum 23.5 ft.

NOTE: The existing home's setbacks are non-conforming, and the requested variance will not increase the non-conformity, however;

THE PLAN SHOWS WINDOWS IN THE BASEMENT ALONG THE SOUTH PROPERTY LINE, THE SITE PLAN DOES NOT SHOW WINDOW WELLS.

The Engineering Department has NO OBJECTION to the proposed variations, HOWEVER; PROPOSED WINDOW WELLS WOULD HAVE TO MEET CURRENT SETBACKS.

RECEIVED
SEP 01 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



Village of Arlington Heights Building Services Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Plan Reviewer, Building Services Department

Project Name: 523 S Rammer Ave, Residence

Project Address: 523 S Rammer Ave

ZBA #: 16-038

Date: September 8, 2016

Derek:

I have reviewed the request to reduce both side yard setbacks as well as the front yard setback and have the following comments:

1. No objection to the variances.

However, the second floor south wall overhang that is less than five (5) feet from the property line shall be designed and constructed with a minimum fire-resistance rating of 1 hour on the underside, and the amount of openings on the second floor (south) wall are limited to a maximum of 25% of the total wall area.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: 523 S. Rammer Ave. Residence

Project Address: 523 S. Rammer Ave.

ZBA #: 16-038

ZBA Hearing Date: September 19, 2016

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: August 31, 2016

- A 1.7 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a side yard setback of 5.0 feet from the south property line instead of the minimum 6.7 feet and an additional 1.0 feet for the eave.
- A 0.9 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a side yard setback of 5.8 feet from the north property line instead of the minimum 6.7 feet and an additional 1.0 feet for the eave.
- A 3.6 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a covered front entry with a front yard setback of 20.0 feet from the west property line instead of the minimum 23.5 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THIS PROJECT IS SCHEDULED FOR DESIGN COMMISSION REVIEW ON
SEP. 12. OVERALL, STAFF HAS NO OBJECTION TO THE PROPOSED DESIGN.

Please review, comment, and return to me no later than Friday, September 9, 2016.

-S. HAUTZINGER, DESIGN PLANNER

PETITION

NOW COMES the Petitioner Impact Renovations LLC

Being the owner of the property commonly known as: 523 S Rammer Arlington Heights, IL 60004

And appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from

Section 5.1-3, Chapter 28, of the Arlington Heights Municipal Code, in order to: reduce the side yard setback

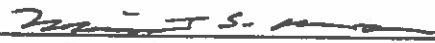
from the required 6.7' to 5' 10" and 5' 11" to maintain uniformity between existing structure and planned

addition; and Front setback variation is requested for Portico 10' 8" X 5' deep into front yard.

I hereby state that the following hardship would exist if the variation were not granted: The existing home pre-dates the current zoning ordinance. The existing side yard and front yard setbacks encroach on the required setbacks.

I hereby stat that the following unique circumstances exist: The existing home pre-dates the current zoning ordinance. The current setbacks prohibit the construction to continue vertically from the exterior wall.

I hereby state that the variation, if granted, will not alter the essential characteristics of the locality because: The home's new design is in conformance with the design build lines of the Village of Arlington Heights and within the character of the neighborhood



RECEIVED

AUG 12 2016

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Associated Surveying Group, LLC

Illinois Prof. Design Firm No. 184-004973

P.O. Box 810

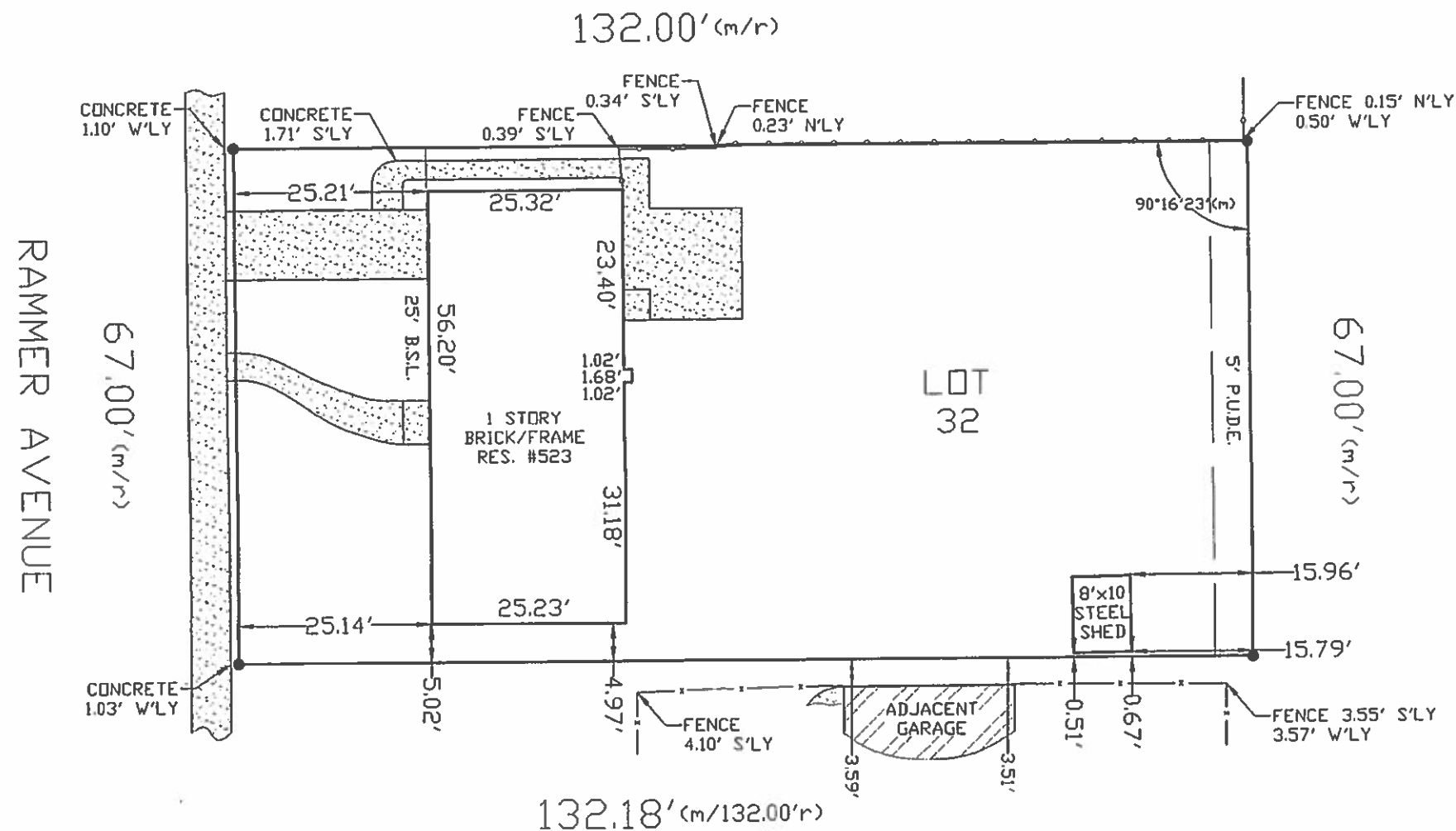
Bolingbrook, IL 60440

PH: 630-759-0205

FAX: 630-759-9291

PLAT OF SURVEY

LOT 32 IN STOLTZNER'S GREENVIEW ESTATES SECOND ADDITION, BEING A SUBDIVISION OF PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 33, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS, ON MAY 28, 1958, AS DOCUMENT NUMBER 1798320.



State of Illinois }
County of Will } SS

I, Michael G. Herwy, an Illinois Professional Land Surveyor, do hereby certify that "This professional service conforms to the current Illinois minimum standards for a boundary survey", and that the Plat hereon drawn is a correct representation of said survey.

Dated, this 9TH day of JUNE, A.D., 2016 at Bolingbrook, IL.

FIELDWORK DATE: JUNE 9, 2016

CLIENT: KERBIS CANTOR

JOB NO.: 77194-16

Michael G. Herwy
Illinois Professional Land Surveyor No. 35-002900
License Expires: November 30, 2016

NOTES:
1. COMPARE THE LEGAL DESCRIPTION ON THIS PLAT WITH YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE; ALSO, COMPARE ALL FIELD MEASURED LOT CORNERS & BUILDING TIES WITH THIS PLAT BEFORE CONSTRUCTION AND REPORT ANY DIFFERENCE AT ONCE.
2. NO IMPROVEMENTS SHOULD BE CONSTRUCTED ON THE BASIS OF THIS PLAT ALONE. FIELD MONUMENTATION OF CRITICAL POINTS SHOULD BE ESTABLISHED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO DEPICTED ON THE RECORDED SUBDIVISION PLAT. REFER TO YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE FOR ADDITIONAL ENCUMBRANCES.
4. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. MEASURED LOT DIMENSIONS ARE SHOWN ONLY WHEN THEY DIFFER FROM RECORD DIMENSIONS BY 0.15 FEET OR MORE.
5. CURVED LINES DENOTED WITH ARC LENGTHS UNLESS OTHERWISE NOTED. ALSO, ALL ARCS ARE TANGENT UNLESS OTHERWISE NOTED.

LEGEND:

	ASPHALT		WALL		CONCRETE
	WOOD/PVC		BRICK		ENCLOSED/COVERED

SET	IRON PIPE	CROSS
PIPE	REBAR/ROD	NOTCH
PK NAILS AS NOTCH		
CHAIN LINK FENCE		
WOOD FENCE		
ALL OTHER FENCE TYPES		

ABBREVIATIONS:

A = ARC LENGTH	N'LY = NORTHERLY
R = RADIUS	S'LY = SOUTHERLY
CH = CHORD LENGTH	E'LY = EASTERLY
(r) = RECORD VALUE	W'LY = WESTERLY
(m) = MEASURED VALUE	TYP = TYPICAL
B.S.L. = BUILDING SETBACK LINE	
P.U.E. = PUBLIC UTILITY EASEMENT	
P.U.D.E. = PUBLIC UTILITY & DRAINAGE EASEMENT	

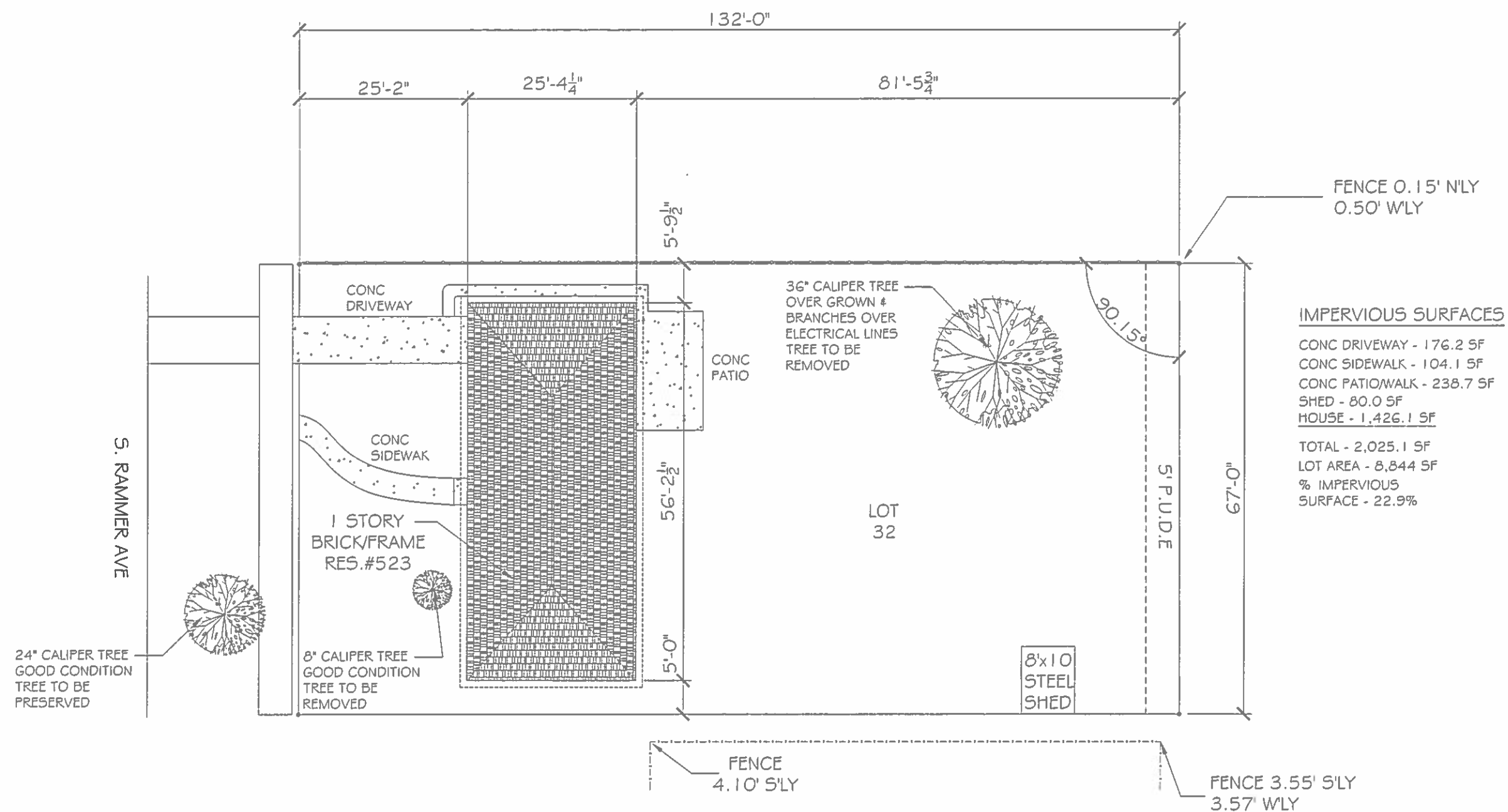


SCALE 1"= 20'

I CERTIFY THAT THESE PLANS WERE PREPARED
UNDER MY SUPERVISION, AND TO THE BEST OF
MY KNOWLEDGE, COMPLY WITH ALL APPLICABLE
VILLAGE OF ARLINGTON HEIGHTS CODES.

JOSE R. PAREJA
001-022115
EXP. DATE: 11/30/2016

A1.1a



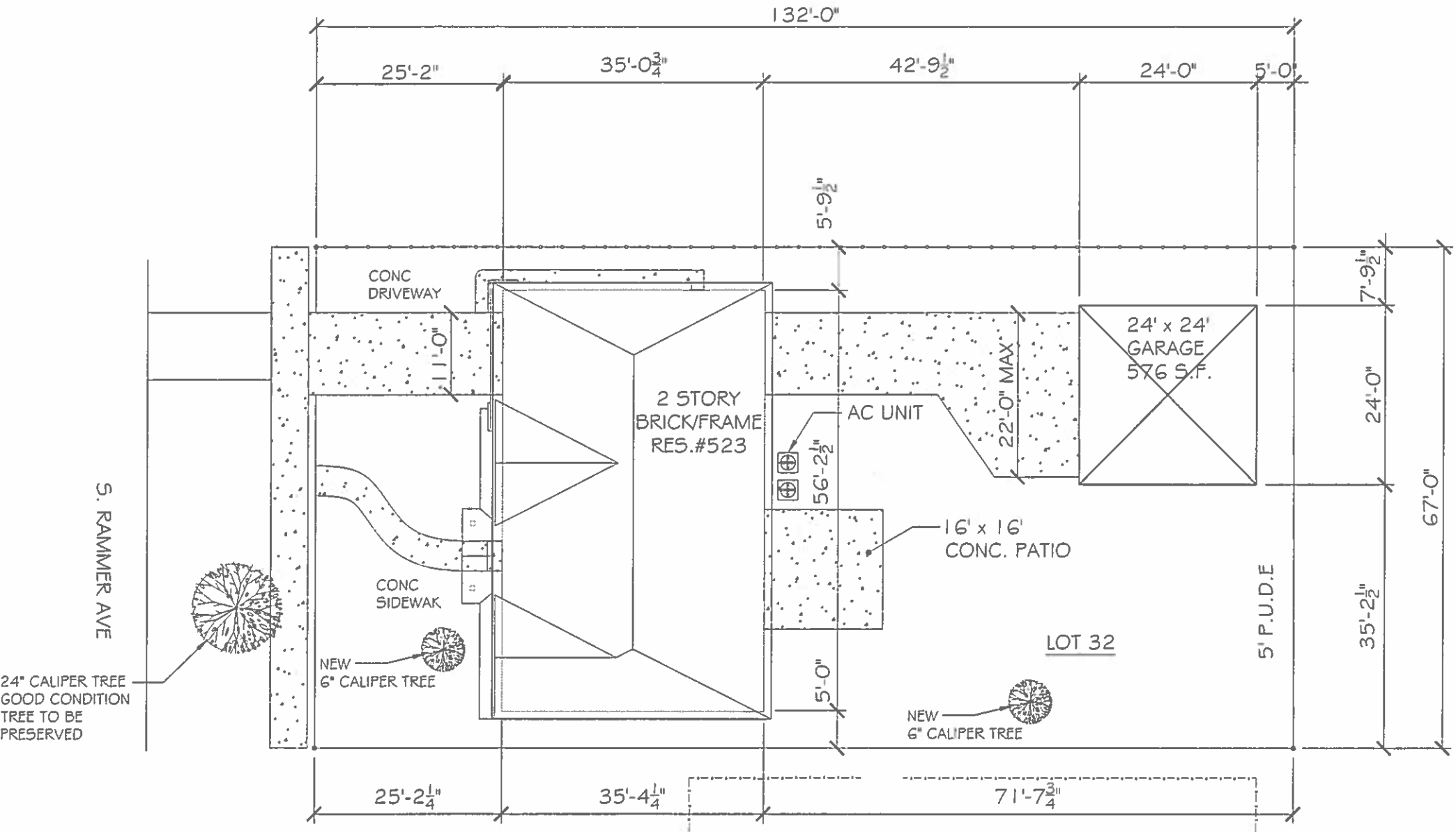
EXISTING SITE PLAN
1/8" = 1'-0"

RECEIVED
JUN 12 2013
INTEGRITY & COMMUNITY
EVENT DEPARTMENT

ADDITION & INTERIOR RENOVATIONS TO
SINGLE FAMILY RESIDENCE
523 S. RAMMER AVENUE
ARLINGTON HEIGHTS, IL 60004

IMPERVIOUS SURFACES

CONC DRIVEWAY - 228.2 SF
CONC DRIVEWAY - 636.0 SF
REAR
CONC SIDEWALK - 164.2 SF
CONC PATIO/WALK - 315.3 SF
GARAGE - 576 SF
HOUSE - 1,988.3 SF
TOTAL - 3,909.0 SF
LOT AREA - 8,844 SF
% IMPERVIOUS
SURFACE - 44.2%



PROPOSED SITE PLAN

1/8" = 1'-0"

DATE: AUGUST 4, 2016

I CERTIFY THAT THESE PLANS WERE PREPARED
UNDER MY SUPERVISION, AND TO THE BEST OF
MY KNOWLEDGE, COMPLY WITH ALL APPLICABLE
VILLAGE OF ARLINGTON HEIGHTS CODES.

JOSE R. PAREJA
001-022115
EXP. DATE: 11/30/2016

A1.2a

ADDITION & INTERIOR RENOVATIONS TO
SINGLE FAMILY RESIDENCE
523 S. RAMMER AVENUE
ARLINGTON HEIGHTS, IL 60004

DATE: AUGUST 4, 2016

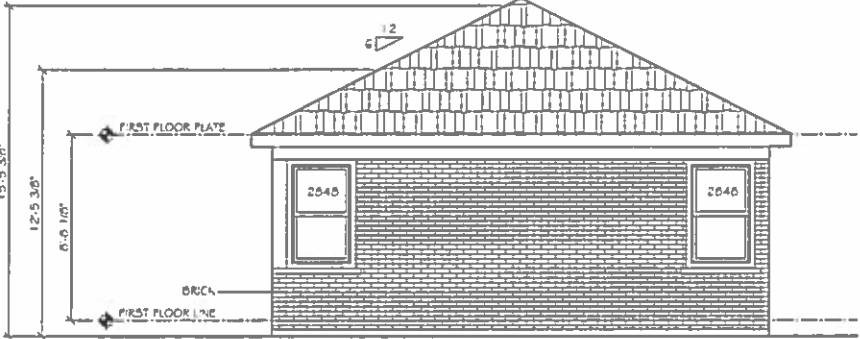
I CERTIFY THAT THESE PLANS WERE PREPARED
UNDER MY SUPERVISION, AND TO THE BEST OF
MY KNOWLEDGE, COMPLY WITH ALL APPLICABLE
VILLAGE OF ARLINGTON HEIGHTS, CODES.

JOSE R. PAREJA
001-022115
EXP. DATE: 11/30/2016

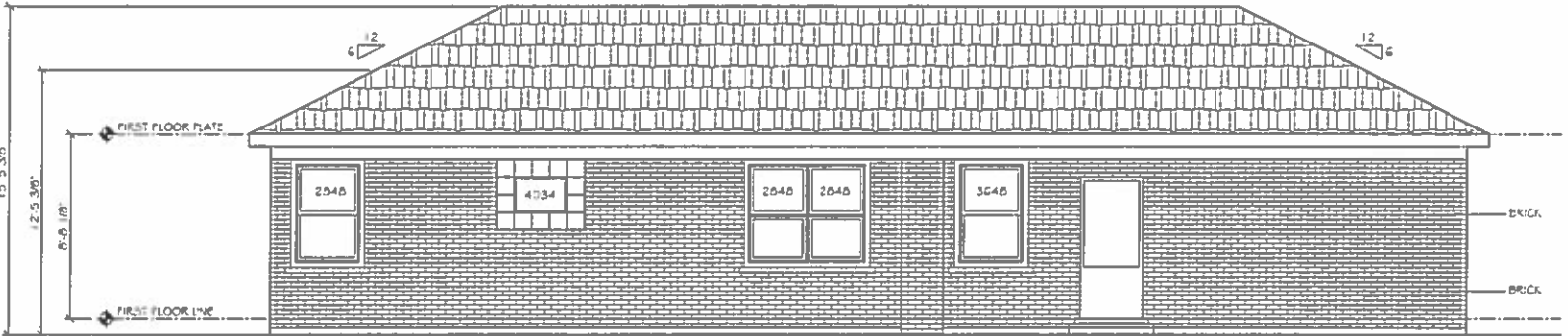
A1.3c



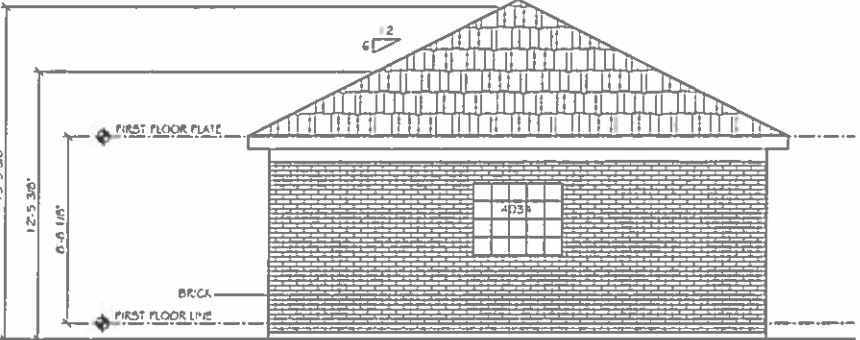
EXISTING WEST ELEVATION
1/4" = 1'-0"



EXISTING SOUTH ELEVATION
1/4" = 1'-0"



EXISTING EAST ELEVATION
1/4" = 1'-0"



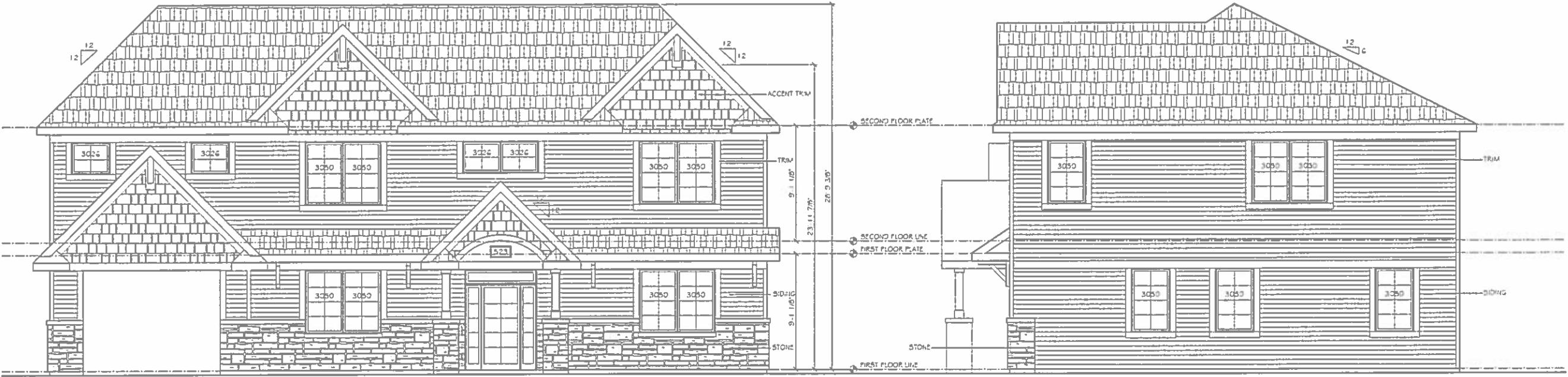
EXISTING NORTH ELEVATION
1/4" = 1'-0"

ADDITION & INTERIOR RENOVATIONS TO
SINGLE FAMILY RESIDENCE
523 S. RAMMER AVENUE
ARLINGTON HEIGHTS, IL 60004

DATE: AUGUST 4, 2016

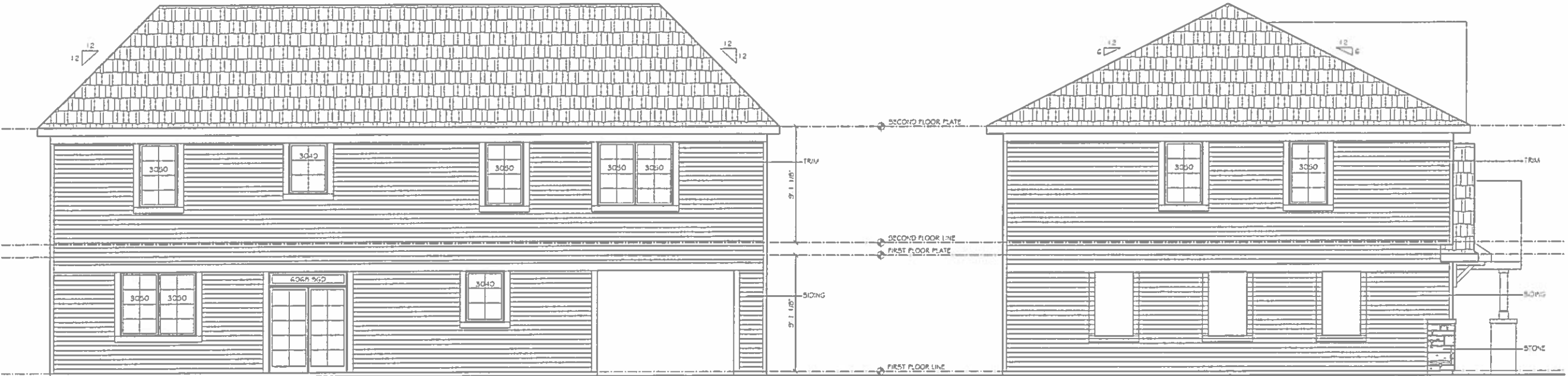
I CERTIFY THAT THESE PLANS WERE PREPARED
UNDER MY SUPERVISION, AND TO THE BEST OF
MY KNOWLEDGE, COMPLY WITH ALL APPLICABLE
VILLAGE OF ARLINGTON HEIGHTS, CODES.

JOSE R. PAREJA
001-022115
EXP. DATE: 11/30/2016



PROPOSED WEST ELEVATION
1/4" = 1'-0"

PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



PROPOSED EAST ELEVATION
1/4" = 1'-0"

PROPOSED NORTH ELEVATION
1/4" = 1'-0"



Item: Lutheran Home Cemetery - 2300 E. Euclid Ave.

Department: Planning & Community Development

REQUEST

1. A 2.0 foot height variance from Chapter 28, Section 6.13-3 to allow a 5 foot tall fence in the front yard where 3 feet is the maximum height.

ATTACHMENTS:

Description

Staff Report
Department Comments
Supporting Documents

Type

Board or Commission Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: September 19, 2016
Date Prepared: September 13, 2016
Project Title: Lutheran Home Cemetery
Address: 2300 E. Euclid Ave.

Background Information

Petition Number: ZBA #16-039
Petitioner: Steven Duchene / Lutheran Life Communities
Address: 3150 W. Salt Creek Ln.
Arlington Heights IL 60005
Existing Zoning: R-E, Single-Family District

Requested Action/Background Information

The petitioner is proposing a five foot high fence where the maximum allowed is three feet. Therefore the petitioner requests the following variation:

- **A 2 foot height variance from Chapter 28, Section 6.13-3 to allow a 5 foot tall fence in the front yard where 3 feet is the maximum height.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	8/24/16	
2. List of Property Owners Within 250 feet of Subject Property	✓	8/24/16	
3. Letter that was Mailed	✓	8/16/16	
4. Photographs of Sign on Property	✓	8/24/16	

Photographs of Existing Structure



ZBA# 16-039
2300 E Euclid Ave - ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering

Submitted: August 31, 2016
Completed: September 1, 2016

The proposed ZBA application indicates that the petitioner is seeking:

A 2 ft ehight variance to allow a 5 ft tall fence in the front yard where 3 feet is the maximum height.

The Engineering Department has NO OBJECTION to the proposed variation.

RECEIVED
SEP 01 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



Village of Arlington Heights Building Services Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Plan Reviewer, Building Services Department

Project Name: Lutheran Home Cemetery

Project Address: 2300 E Euclid Ave

ZBA #: 16-039

Date: September 8, 2016

Derek:

I have reviewed the request to install a 5 foot tall black aluminum fence and have no objection to the variance.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Lutheran Home Cemetery

Project Address: 2300 E. Euclid Ave.

ZBA #: 16-039

ZBA Hearing Date: September 19, 2016

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: August 31, 2016

- A 2 foot height variance from Chapter 28, Section 6.13-3 to allow a 5 foot tall fence in the front yard where 3 feet is the maximum height.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

NO COMMENTS. - S. HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Friday, September 9, 2016.

PETITION

NOW COMES the Petitioner, Steven Duchene

being the owner/representative of the property known as: 2300 Euclid Avenue, Arlington Heights, IL.

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from
Section 6.13-3, Chapter 28, of the Arlington Heights Municipal Code, in order to :

Construct a commercial grade, black aluminum decorative fence, that is 60-inches in height across the Lutheran Home Cemetery property frontage, which faces Euclid Avenue.

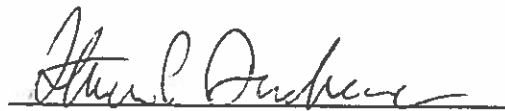
I hereby state that the following hardship would exist if the variation were not granted:

The security of the site would be compromised if a 36-inch high fence were to be installed because it would appear to be more accessible to unwanted visitors after dark.

The fence would not be consistent with the height of the adjacent cemetery fences belonging to Wheeling Township (adjacent property to the west) and St. Peters Lutheran Church (across Euclid Avenue).

I hereby state that the variation, if granted, will not alter the essential character of the locality because:

The fence would enhance the immediate area and blend with the nearby cemetery properties. The fence would greatly improve the frontage which is currently chain link fence.



Steven Duchene

Corporate Director, Facilities
Lutheran Life Communities

Date: _____

8/8/16

RECEIVED
AUG 15 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PLAT OF SURVEY

THIS PART OF THE NORTHEAST 1/4 OF SECTION 26, TOWNSHIP 26 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE EAST LINE OF SECTION 26, 5.50 CHAINS NORTH OF THE SOUTH LINE OF SAID NORTHEAST 1/4 OF SECTION 26, THENCE EAST 158.25 FEET, THENCE SOUTH 245.72 FEET TO THE 1/2 SECTION LINE, THENCE WEST ON SAID LINE 44.75 FEET TO THE EAST LINE OF SAID 1/2 SECTION, THENCE NORTH 244.75 FEET TO POINT OF BEGINNING IN COOK COUNTY, ILLINOIS.



RECEIVED
 JUN 15 2016
 PLANNING & COMMUNITY
 DEVELOPMENT DEPARTMENT

Findings
 E. H. G. L. I. D.
 Blomgren Black



By Order of the Board of Commissioners
 Planning & Community Development Department
 Cook County, Illinois
 Date: December 28, 2001
 [Signature]
 [Signature]
 [Signature]

FIN 03-23-277-076-0723
 36 219224

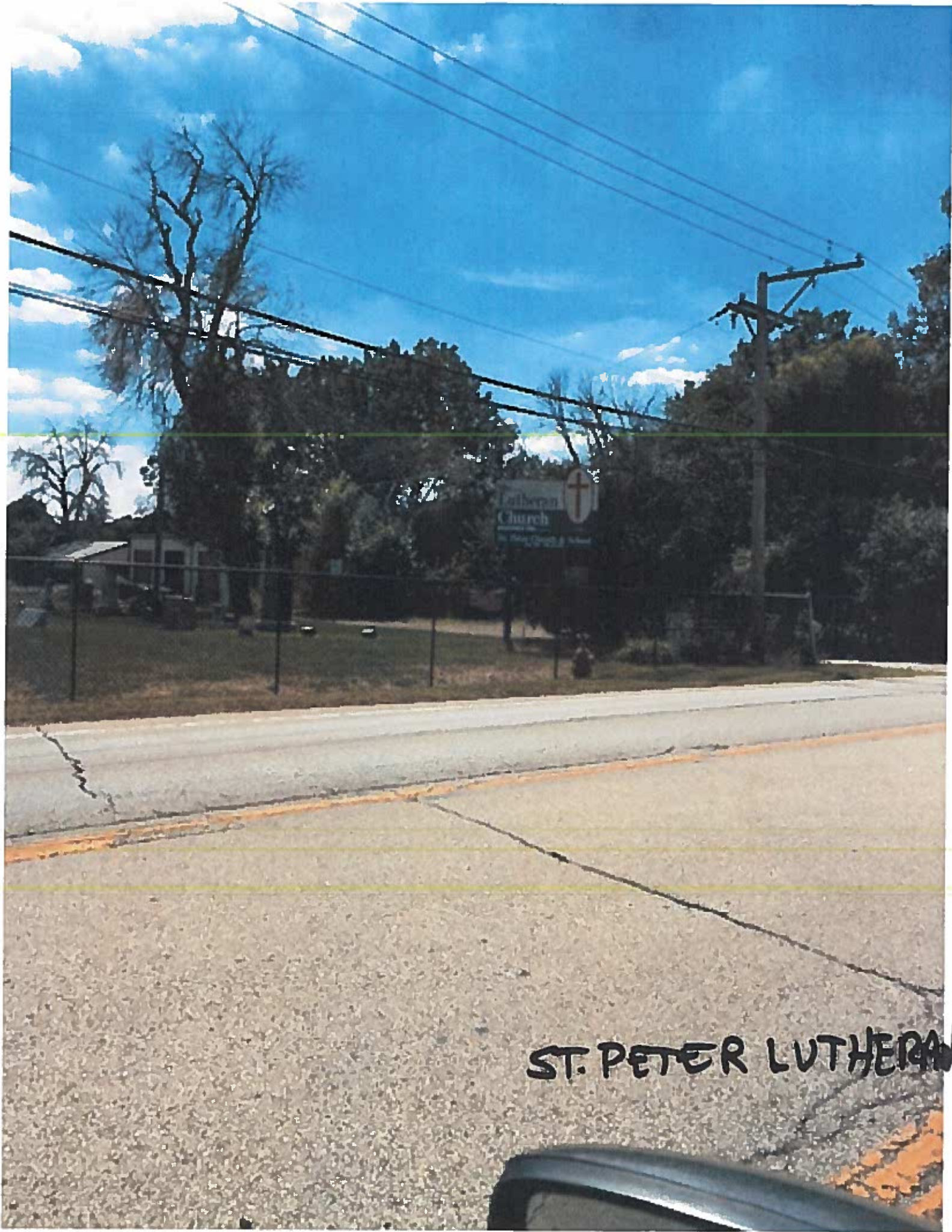




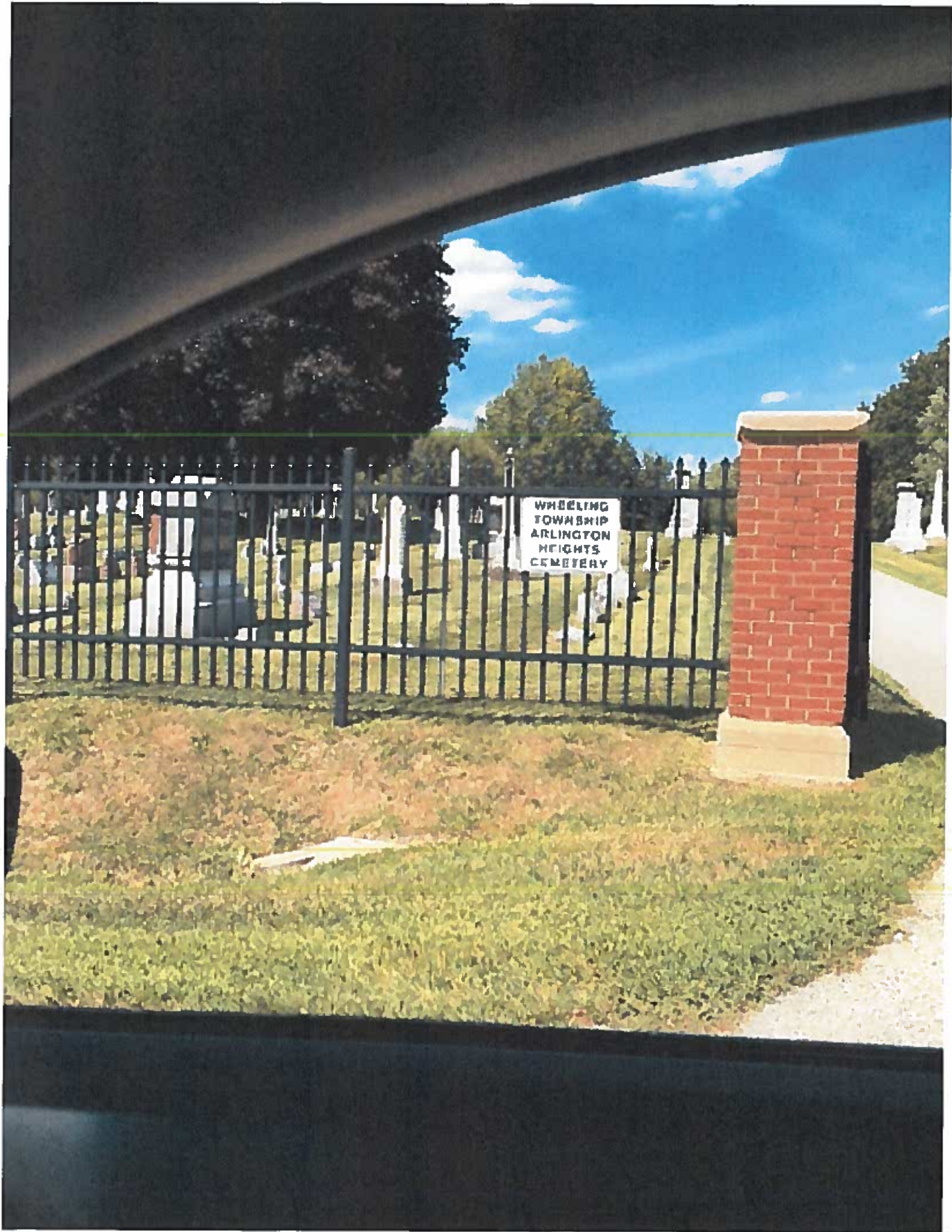
Lutheran Home
Newfance



ST. JOHN'S



ST. PETER LUTHERAN



A photograph of the entrance to the Wheeling Township Arlington Heights Cemetery. A black wrought-iron fence with a brick pillar on the right side is in the foreground. A white sign with black text is mounted on the fence. Behind the fence is a grassy hill with several large, ornate gravestones and a dense line of trees in the background.

**WHEELING
TOWNSHIP
ARLINGTON
HEIGHTS
CEMETERY**



Item: Livesay Residence - 926 N. Hickory Ave.

Department: Planning & Community Development

REQUEST

1. A 0.2 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new home with a side yard setback of 4.8 feet from the north property line instead of the minimum 5.0 feet and an additional 1.0 feet for the eave.
2. A 0.2 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new home with a side yard setback of 4.8 feet from the south property line instead of the minimum 5.0 feet and an additional 1.0 feet for the eave.
3. A variance from Chapter 28, section 5.1-3.4 (Minimum Lot Size) to allow a 49-ft. wide, 6,463 sq. ft. lot to be buildable, where 70 feet wide, 8,750 sq. ft. is required.
4. A 60 square foot variance from Section 5.1-3.7 (Maximum Floor Area Calculation for Single Family Lots in R-3 Zoning District), Section 5.3-3.2 & Section 5.3-2 (Floor Area Ratio, Building Coverage, Height) to allow a Floor Area Ratio (FAR) of 2,968 square feet instead of the maximum allowed 2,908 square feet.
5. A 25 square foot variance from Chapter 28, Section 5.1-3.8 (Maximum Building Lot Coverage) and Table 5.3-2 (Building Coverage) to allow 2,287 square feet of building lot coverage where a maximum of 2,262 square feet is allowed.

ATTACHMENTS:

Description

Staff Report
Department Comments
Supporting Documents

Type

Board or Commission Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: September 19, 2016
Date Prepared: September 13, 2016
Project Title: Livesay Residence
Address: 926 N. Hickory Ave.

Background Information

Petition Number: ZBA #16-040
Petitioner: Mark & Lisa Livesay
Address: 1651 N. Highland Ave.
Arlington Heights, IL 60004
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

The petitioner is proposing to construct a new two story home. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 6,463 square feet and a lot width of 49 feet. The proposed residence will have approximately 2,900 square feet plus a two car attached garage. The proposed new home is encroaching into the required side yard setbacks along the north and south property line. Also, the proposed addition exceeds the allowable floor area ratio and building lot coverage.

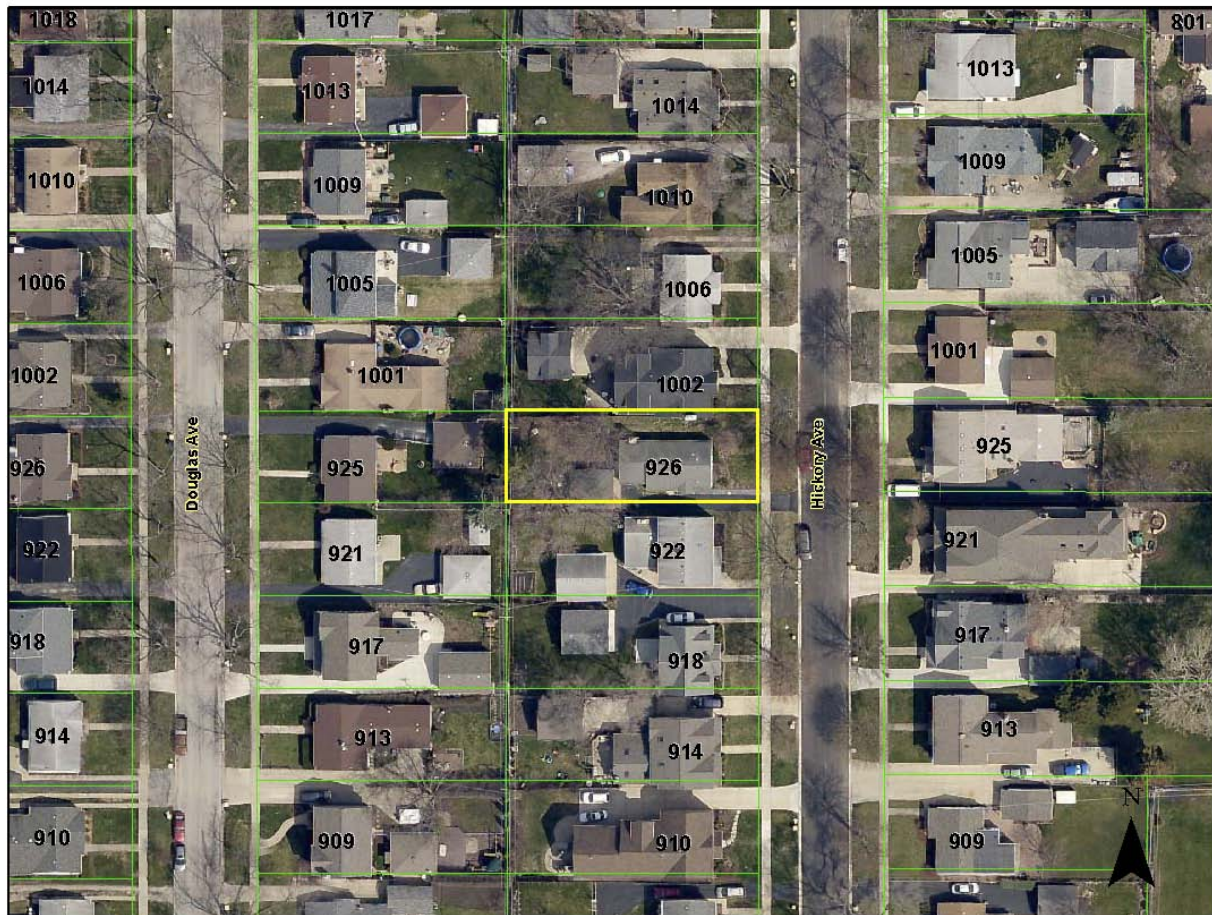
In addition, the lot width is substandard. Sections 5.1-3.4 and 5.1-3.5 of the Zoning Code set forth minimum lot size and width requirements for the R-3 District which is 70 feet in width and 8,750 square feet in area. As part of 5.1-3.4, the Director of Building is authorized to issue permits for structures on lots that are less than the minimum area and width requirements if the majority of the frontage on which the property is located is developed with lots that are below the minimum district requirements; provided that no permit shall be issued for any parcel containing less than 6,250 SF and a lot width of 50 feet. The petitioner's property is only 49.0 feet wide. Therefore, petitioner requests the following variations:

- A 0.2 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new home with a side yard setback of 4.8 feet from the north property line instead of the minimum 5.0 feet and an additional 1.0 feet for the eave.
- A 0.2 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new home with a side yard setback of 4.8 feet from the south property line instead of the minimum 5.0 feet and an additional 1.0 feet for the eave.
- A variance from Chapter 28, section 5.1-3.4 (Minimum Lot Size) to allow a 49-ft. wide, 6,463 sq. ft. lot to be buildable, where 70 feet wide, 8,750 sq. ft. is required.
- A 60 square foot variance from Section 5.1-3.7 (Maximum Floor Area Calculation for Single Family Lots in R-3 Zoning District), Section 5.3-3.2 & Section 5.3-2 (Floor Area Ratio, Building Coverage, Height) to allow a Floor Area Ratio (FAR) of 2,968 square feet instead of the maximum allowed 2,908 square feet.
- A 25 square foot variance from Chapter 28, Section 5.1-3.8 (Maximum Building Lot Coverage) and Table 5.3-2 (Building Coverage) to allow 2,287 square feet of building lot coverage where a maximum of 2,262 square feet is allowed.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	9/2/16	
2. List of Property Owners Within 250 feet of Subject Property	✓	9/2/16	
3. Letter that was Mailed	✓	9/2/16	
4. Photographs of Sign on Property	✓	9/2/16	

Photographs of Existing Structure



ZBA# 16-040
926 N Hickory Ave - ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering

Submitted: August 31, 2016
Completed: September 1, 2016

The proposed ZBA application indicates that the petitioner is seeking:

A 0.2 ft variance to allow a new home with a side yard setback of 4.8 ft from the north property line instead of the minimum 5 ft;

A 0.2 ft variance to allow a new home with a side yard setback of 4.8 ft from the south property line instead of the minimum 5ft;

A variance to allow a 49 ft wide, 6,463 sq ft lot to be buildable;

A 60 sq ft variance to allow a Floor Area Ratio of 2,968 sq ft instead of the maximum allowed 2,908 sq ft;

And A 25 sq ft variance to allow 2,287 sq ft of building lot coverage where a maximum of 2,262 sq ft is allowed.

The Engineering Department has NO OBJECTION to the side yard setbacks, the size of the lot, or the Floor Area Ratio; however, the Engineering Department is NOT IN FAVOR of the building lot coverage. IT SHOULD ALSO BE NOTED THAT THE WINDOW WELLS APPEAR TO BE NON-COMPLIANT WITH CURRENT REQUIREMENTS.

RECEIVED
SEP 01 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



Village of Arlington Heights Building Services Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Plan Reviewer, Building Services Department

Project Name: Livesay Residence

Project Address: 926 N Hickory Ave

ZBA #: 16-040

Date: September 8, 2016

Derek:

I have reviewed the request to reduce both side yard setbacks, the variance to reduce the buildable lot to 49 feet in width, as well as the increase in FAR and the increase in total building lot coverage and offer the following comments:

1. No objections to any of the variances.

However, the north and south exterior walls shall have a minimum fire-resistance rating of 1 hour. The eaves on the north and south walls shall have a minimum fire-resistance rating of 1 hour on the underside of the eaves, and the amount of openings on each wall shall be limited to 25% of the total wall area.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Livesay Residence

Project Address: 926 N. Hickory Ave.

ZBA #: 16-040

ZBA Hearing Date: September 19, 2016

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: August 31, 2016

- A 0.2 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new home with a side yard setback of 4.8 feet from the north property line instead of the minimum 5.0 feet and an additional 1.0 feet for the eave.
- A 0.2 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new home with a side yard setback of 4.8 feet from the south property line instead of the minimum 5.0 feet and an additional 1.0 feet for the eave.
- A variance from Chapter 28, section 5.1-3.4 (Minimum Lot Size) to allow a 49-ft. wide, 6,463 sq. ft. lot to be buildable, where 70 feet wide, 8,750 sq. ft. is required.
- A 60 square foot variance from Section 5.1-3.7 (Maximum Floor Area Calculation for Single Family Lots in R-3 Zoning District), Section 5.3-3.2 & Section 5.3-2 (Floor Area Ratio, Building Coverage, Height) to allow a Floor Area Ratio (FAR) of 2,968 square feet instead of the maximum allowed 2,908 square feet.
- A 25 square foot variance from Chapter 28, Section 5.1-3.8 (Maximum Building Lot Coverage) and Table 5.3-2 (Building Coverage) to allow 2,287 square feet of building lot coverage where a maximum of 2,262 square feet is allowed.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

Please review, comment, and return to me no later than Friday, September 9, 2016.

A Design Commission application is required for this project. Preliminary design review comments are as follows:

1. **Garage Location.** All of the houses on this block have either detached garages in the rear yard or attached garages located on the back of the house. The proposed house includes a two-car garage on the front of the house, which is not in context with this location, and it would be the only house on this block with a front facing garage. The Design Commission will need to review the appropriateness of the proposed design in this location. A design with a detached garage or an attached garage on the rear of the house would fit better in this location.
2. **Building Height.** The 2 ½ story design gets quite tall at the ridge, which may be out of context in this location. A context elevation study will be required to be submitted with the Design Commission application to evaluate the height of the proposed house relative to the adjacent homes.
3. **Exterior Detailing and Materials.** The proposed design is a great example of applying a nice level of architectural detailing and materials on all sides of the house.

Steve Hautzinger, Design Planner

PETITION

NOW COMES the Petitioner Mark & Lisa Livesay being the owner of the property commonly known as 926 N Hickory Ave., Arlington Heights IL and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.4 & 5.1-3.6, Chapter 28, of the Arlington Heights Municipal Code in order to *construct a new single family home.*

I hereby state that the following hardship would exist if the variation were not granted:

Lot would not conform to current Arlington Heights minimum standards for width.

I hereby state that the variation, if granted, will not alter the essential character of the locality because:

The new proposed home will enhance the existing neighborhood's character & fit in with many other new homes being constructed.

Signed: _____

Petitioner

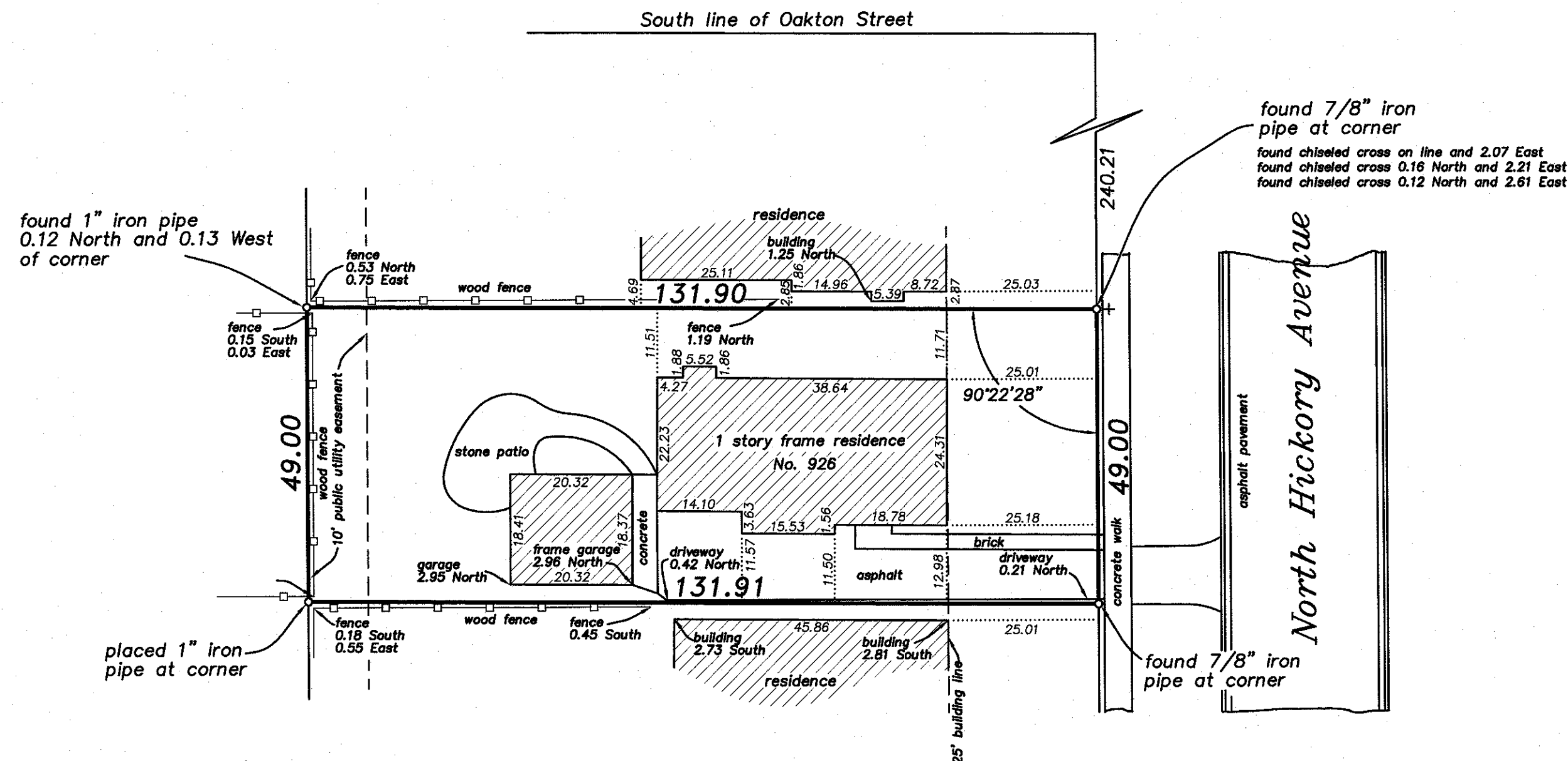
Date: _____

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AUG 19 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Plat of Survey of

Lot 6 in C. A. Goelzs' Country Club Addition, being a Subdivision of the West 1/2 of the West 1/2 of the Northwest 1/4 of the Northeast 1/4 (except the South 428.50 feet thereof) of Section 29, Township 42 North, Range 11, East of the Third Principal Meridian, according to the plat thereof registered as Document No. 1321858, in Cook County, Illinois.



State of Illinois }
County of Cook } SS.

I, David Bycroft, an Illinois Professional Land Surveyor, do hereby certify that I have surveyed the property described in the caption of this plat and that this plat is a correct representation of said survey.

dated at Arlington Heights, Illinois, this 29th day of April, 2015

by David R. Bycroft
as Illinois Professional Land Surveyor No. 2846

This professional service conforms to the current Illinois minimum standards for a boundary survey.

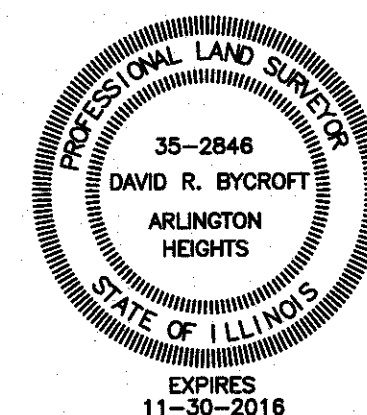
For easements, building lines and other restrictions not shown hereon, refer to your abstract of title, deed, title policy and local zoning ordinance.

Field work was completed April 28, 2015.

Commonly known as 926 North Hickory Avenue, Arlington Heights, Illinois.

All dimensions hereon shown unless it is otherwise noted are given in feet and decimal parts thereof.

The area of the property surveyed equals 6463 square feet.



Design Firm #184-005910
Expires April 30, 2017

FILE NO. 15-6433

for:
Mark Livesay

from the office of:
Norman J. Toberman and Associates
115 South Wilke Road
Suite 301
Arlington Heights, Illinois
847-439-8225



2015 S. Arlington Hts. Rd.
Suite 118 C
Arlington Heights, IL 60005
Phone 847.956.7100
Fax 847.956.7170

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MISCELLANEOUS NOTE:

- All demolition required shall include wall framing and all associated material, including but not limited to: Electrical, Mechanical, Plumbing.
- All work to be demolished shall be the responsibility of each individual contractor to make the necessary adjustments, temporary/permanent as required to complete work required.
- All demolition work required is to be verified with existing conditions prior to any work performed. Should any trade require additional information regarding demolition work, the contractor is to contact the Architect immediately prior to any work beginning. Should the trade not receive a written directive from the Architect prior to the beginning of work, the contractor shall bear all responsibility for that portion of work, and any work affected.

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- All new work shall be as required by the Owner, and applicable to all codes. Demolished/relocated systems are to be re-routed as required to provide a complete and properly operating system.
- All notes depicted in the documents shall be considered typical throughout. Discrepancies within the documents or related to the work shall be verified by the Contractor. Should the contractor proceed without receiving a written directive from the Owner, then the contractor shall bear full responsibility for that portion, and any work effected by it.

Certification

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DEVELOPMENT DEPARTMENT

Livesay Residence

L&A # 2015

926 N. Hickory Ave.
Arlington Hts., IL 60004
847.338.3549

New Residence

DATE: 16 Aug. 2016
Zoning: V171
Variance: 16 Aug. 2016

SHEET INDEX.

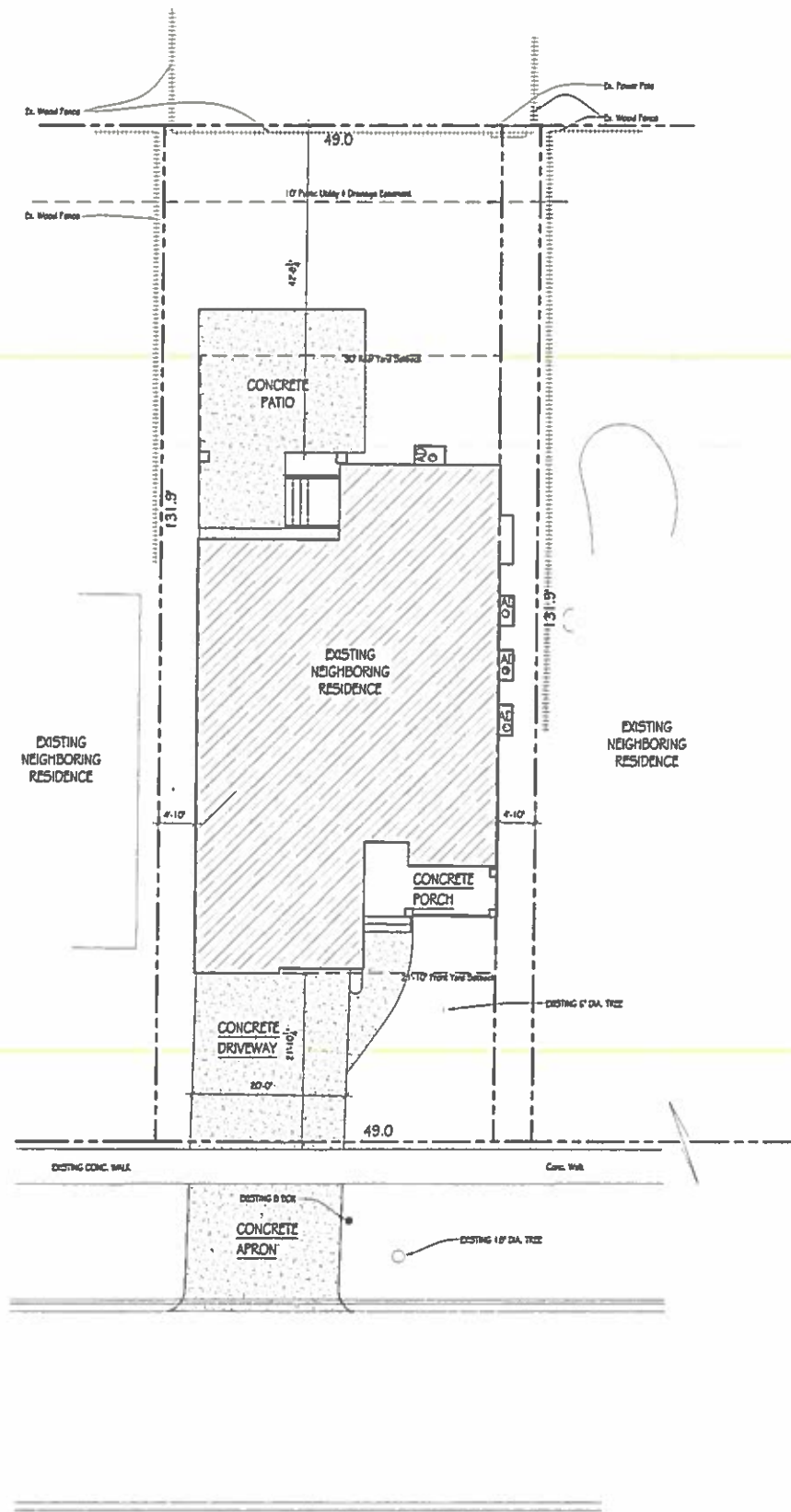
Title: Certification
V171 - Drawing Index
V171 - Zoning/Codes
1271 - Typ. Wall Sec.
1671 - Site Plan

A1

Livesay Residence

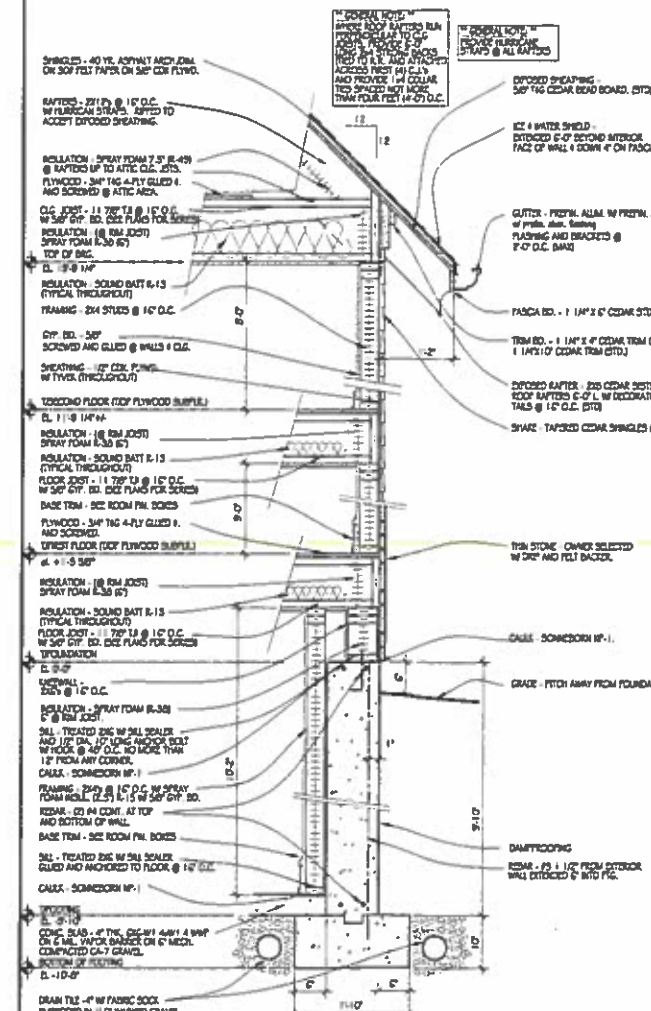
926 N. Hickory Ave.

Arlington Heights, IL



16 Site Plan

scale: 1" = 10'-0"



12 Typical Wall Section

scale: 1/16" = 1'-0"

** ALTERNATES/ADDITIONAL WORK **

- All ALTERNATES/ADDITIONAL WORK SHALL BE INCLUSIVE OF ALL WORK REQUIRED FOR A PROPER AND COMPLETE INSTALLATION FOR THE REQUIRED WORK AND ANY WORK ASSOCIATED WITH THE PROPOSED ALTERNATE WORK, AND ANY WORK AFFECTED BY THE ALTERNATE OR ADDITIONAL WORK.
- WORK STATED IN ALTERNATE IS GENERAL AND NOT INCLUSIVE OF ALL WORK REQUIRED. SHOULD THE CONTRACTOR REQUIRE ADDITIONAL DETAIL OR INFORMATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE OWNER PRIOR TO BID. OTHERWISE, ALL WORK REQUIRED SHALL BE INCLUDED WHETHER STATED - IMPLIED - OR REQUIRED FOR CODE.

6 Alternate Bids / Additional Work scale: (none)

Existing View: (K) Since Family Residential District
Total square foot: Lot: 6,463.10 sq'

SETBACKS	REQUIRED	PROPOSED
House		
Front yard:	21' 10" (Average / Block)	21' 10" (Average / Block)
Side yard (North):	5'-0"	4' 10"
Side yard (South):	5'-0"	4' 10"
Rear yard:	30'-0"	42'-8 1/4"

	Allowed	Proposed
ISC (Entire Lot) (50%)	3231.55 sq'	2920.7 sq'
ISC (Front Yard) (50%)	534.91 sq'	490.0 sq'
Max Lot Coverage: (35%)	2262.08 sq'	2281.6 sq'
Max. Ht. (median)	25'-0"	25'-0"
Max. Floor to area ratio:	2908.39 sq'	2967.75 sq'

BUILDING CODE INFORMATION:

INTERNATIONAL RESIDENTIAL CODE w/ AMENDMENTS	2009
ILLINOIS PLUMBING CODE w/ AMENDMENTS	2014
INTL. MECHANICAL w/ AMENDMENTS	2009
NEC NATIONAL ELECTRIC CODE w/ AMENDMENTS	2005
ILLINOIS ENERGY CONSERVATION CODE	2015
VILLAGE OF ARLINGTON HEIGHTS BUILDING CODE	CURRENT

8 Zoning / Codes

scale: (none)

A1- Alternates / Additional Work Zoning / Codes Typical Wall Section Site Plan

A2- Foundation Plan Roof Plan

A3- First Floor Plan Door Schedule Trim Legend First Floor Elec., Mech., & Room Finish Plan

A4- Second Floor Plan Door Schedule Trim Legend Second Floor Elec., Mech., & Room Finish Plan Stair Detail

A5- Window Schedule Light & Vent Schedule East Elevation South Elevation

A6- Window Schedule West Elevation North Elevation Plumbing Riser Diagram

2 Drawing Index

13	9	5	1
14	10	6	2
15	11	7	3
16	12	8	4

4 Typ. Sheet Numbering Layout

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- All notes depicted in the documents shall be considered typical throughout. Discrepancies within the documents or related to the work shall be verified by the Contractor. Should the contractor proceed without receiving a written directive from the Owner, then the contractor shall bear full responsibility for that portion, and any work affected by it.

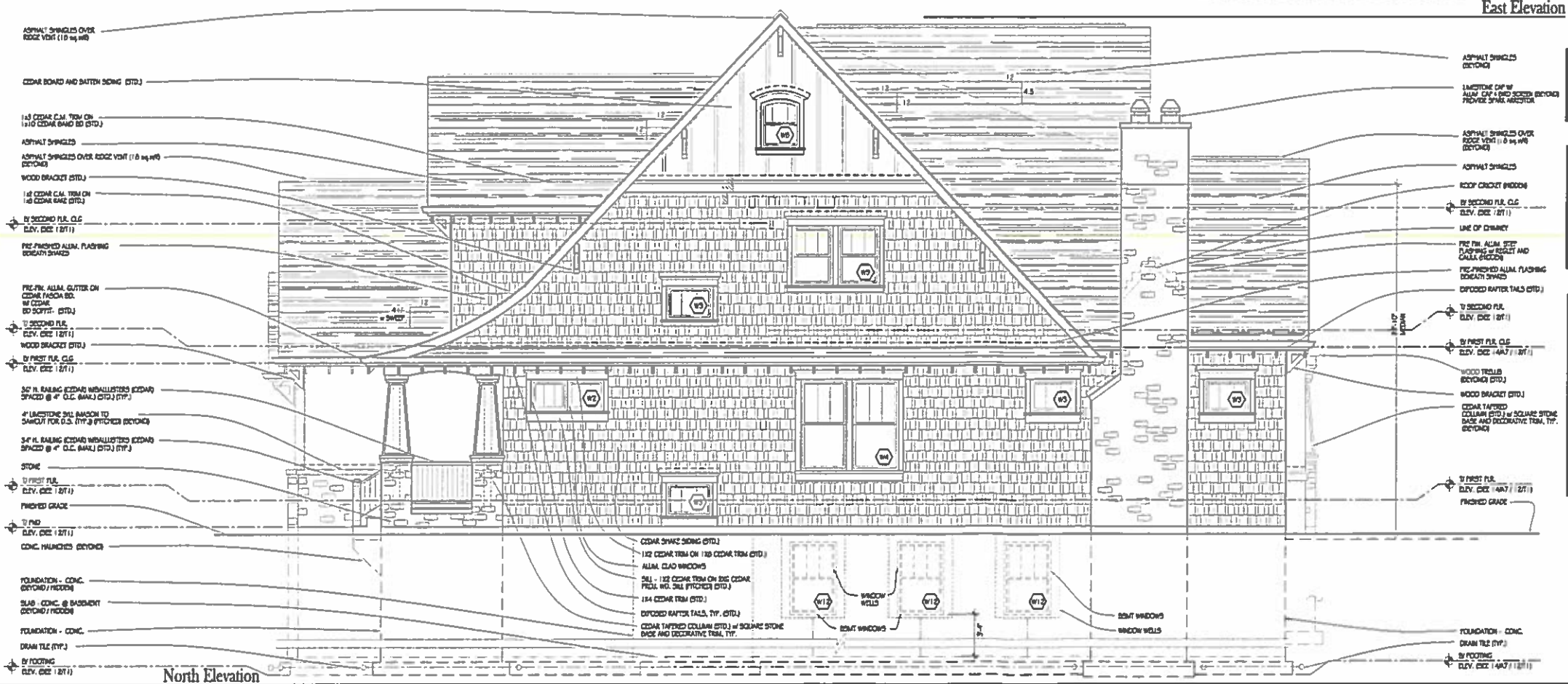
Window Schedule						Comments
Tag	Type	Unit	Area	Approx. Wt. Lbs.	Approx. Ht. Lbs.	
W1	Ext. Flg. Casement	(2) 3359	Ver.	2'-1" x 4'		* All window sashes are per Fella.
W2	Awning	(2) 2925	Ver.	4'-11" x 4'		
W3	Awning	3725	Ver.	5'-3" x 4' (Total 11'-11" x 4' - 2nd Fl.)		* Every sleeping room shall have at least one operable window or exterior door approved for emergency egress or rescue.
W4	Ext. Flg. Casement	(2) 3771	Ver.	1'-11" x 4'		The units must be operable from the inside to a full clear opening without the use of a key or tool.
W5	Ext. Flg. Casement	(2) 3117 (2) 4163	Ver.	1'-7" x 4'		* Where windows are provided as a means of egress or rescue they shall have a sill height of not more than 44" above the floor. (or 50" if code dictates.)
W6	Ext. Flg. Casement	(2) 3359	Ver.	2'-1" x 4'		* All egress or rescue windows from sleeping rooms must have a net clear opening of 5.7 sq. ft.
W7	Ext. Flg. Casement	(2) 3141	Ver.	5'-0" x 4'		* The minimum net clear opening height shall be 24".
W8	Ext. Flg. Casement	2941	Ver.	(Varies at Attic)		* The minimum net clear opening width shall be 20".
W9	Ext. Flg. Casement	(2) 3347	Ver.	3'-1" x 4'		* Glazing: provide safety glazing at all required locations including tubs where the glazing is less than 42" inches above the drain inlet.
W10	Ext. Flg. Casement	(2) 3759	Ver.	2'-1" x 4'		* Window wells with a vertical depth greater than 44 inches below the adjacent ground level shall be equipped with a permanently affixed ladder or stairs visible with the window in the fully operable position. Ramps at least 12" wide, at least 3" from wall; typical no more than 12" on center vertically for full height of window well.
W11	Ext. Flg. Casement	2547	Ver.	3'-1" x 4'		* Provide a permanent affixed ladder in area well ladder may encroach a maximum 6" into room net wall width.
W12	Ext. Flg. Casement	3757	Ver.	5'-4" x 4'		* Provide a minimum net clear area of 5.7 sq. ft. with a min. horizontal projection and a width of 36" for area wells.
W13	Transom	2517	Fixed	6'-0" x 4'		* Verify stained glass inserts with Owner, prior to ordering.

* Contractor shall verify final window sizes with dimensions. Rough Opening Notes:
Fella Rep. Owner & Architect prior to ordering windows.
* All window hardware is oil - rubbed bronze / black iron
* Provide visible screens
* Provide white exterior lining
* Windows to be pre-primed
* All work shall be included to provide new windows
Work shall include, but not limited to: casing, lapping, painting, insulation, caulk, drywall, and trim.

13 Window Schedule scale: no scale

Room Schedule						Room Schedule					
Room	Size	Light (sq. ft.)	Vent (sq. ft.)	Mech (sq. ft.)	Chn	Room	Size	Light (sq. ft.)	Vent (sq. ft.)	Mech (sq. ft.)	Chn
Basement	1482	29.64	55.20	29.64	NR	Master Bedroom	275	22.00	46.40	11.00	NR
First Floor						Master Bath	142	NR	NR	NR	100
Kitchen/Diner	342	27.36	39.60	13.60	NR	Master Toilet	18	NR	NR	NR	50
Great Room	365	29.20	109.60	14.60	NR	Bedroom 1	143	11.44	26.40	5.72	NR
Powder Room	39	NR	NR	NR	50	Hall Bath	56	NR	NR	NR	75
Computer Room	60	7.04	42.80	3.52	NR	Hall Dressing	50	NR	NR	NR	75
Dining Room	213	17.04	18.20	6.52	NR	Bedroom 2	133	10.64	54.00	5.32	NR

14 Light & Vent Schedule scale: no scale



GENERAL NOTE:
All notes depicted in the documents shall be considered typical throughout. Discrepancies within the documents or related to the work shall be verified by the Contractor. Should the contractor proceed without receiving a written directive from the Owner, then the contractor shall bear full responsibility for that portion, and any work affected by it.

**** General Elevation Notes ****
All notes typical for construction throughout each elevation.
Material descriptions for new asphalt shingles, new gutters, new trim, and new doors, windows to be installed in existing houses (program) are not shown for clarity of new addition structure.
Work on existing portion of house shall be consistent with work depicted on new addition.
Discrepancies shall be resolved and provided as required. Coordinate with local codes, and owner prior to installation, install a max. of 10'-0" from house.
* Depiction of landscaping is for representational purposes only. Actual landscaping may differ from those/constructing shown.

MATERIAL COLOR LEGEND:	
MATERIAL	COLOR
ASPHALT SHINGLES	DRIFT WOOD
PRE-FIN. ALUM. GUTTER	HERITAGE CREAM
WOOD BRACKETS	HERITAGE CREAM
CEILING FASCIA BO.	HERITAGE CREAM
CEILING VENTED SCOTT.	HERITAGE CREAM
CEILING TRIM, RAKE AND RAKE TRIM.	HERITAGE CREAM
CEILING TRIM	HERITAGE CREAM
CLAD WINDOWS	HERITAGE CREAM
STONE	IRON DU LAC
WOOD RAKED PANEL HOLDING	HERITAGE CREAM
CEILING	HERITAGE CREAM
CEILING BOARD AND BATTEN SIDING	HERITAGE CREAM
BAZED SHINGLES STANDING SEAM ROOF	BROWN
CEILING SHINGLES	HERITAGE CREAM
TRIM	HERITAGE CREAM
CEILING GUARD RAIL AND BALUSTERS	HERITAGE CREAM

16 North & East Elevations scale: 1/4"=1'-0"



Item: Chmura Residence - 818 N. Dryden Ave.

Department: Planning & Community Development

REQUEST

1. A 2.6 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a side yard setback of 4.9 feet from the south property line instead of the minimum 7.5 feet and an additional 1.2 feet for the eave.
2. A 1.9 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a front yard setback of 23.1 feet from the east property line instead of the minimum 25.0 feet and an additional 1.0 feet for the eave.
3. A 2.2 foot variance from Chapter 28, Section 11.2-11.1e to allow a driveway with a side yard setback of 0.8 feet from the north property line instead of the minimum 3.0 feet.

ATTACHMENTS:

Description

Staff Report
Department Comments
Supporting Documents

Type

Board or Commission Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: September 19, 2016
Date Prepared: September 13, 2016
Project Title: Chmura Residence
Address: 818 N. Dryden Ave.

Background Information

Petition Number: ZBA #16-041
Petitioner: Mark Chmura
Address: 818 N. Dryden Ave.
Arlington Heights IL 60004
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

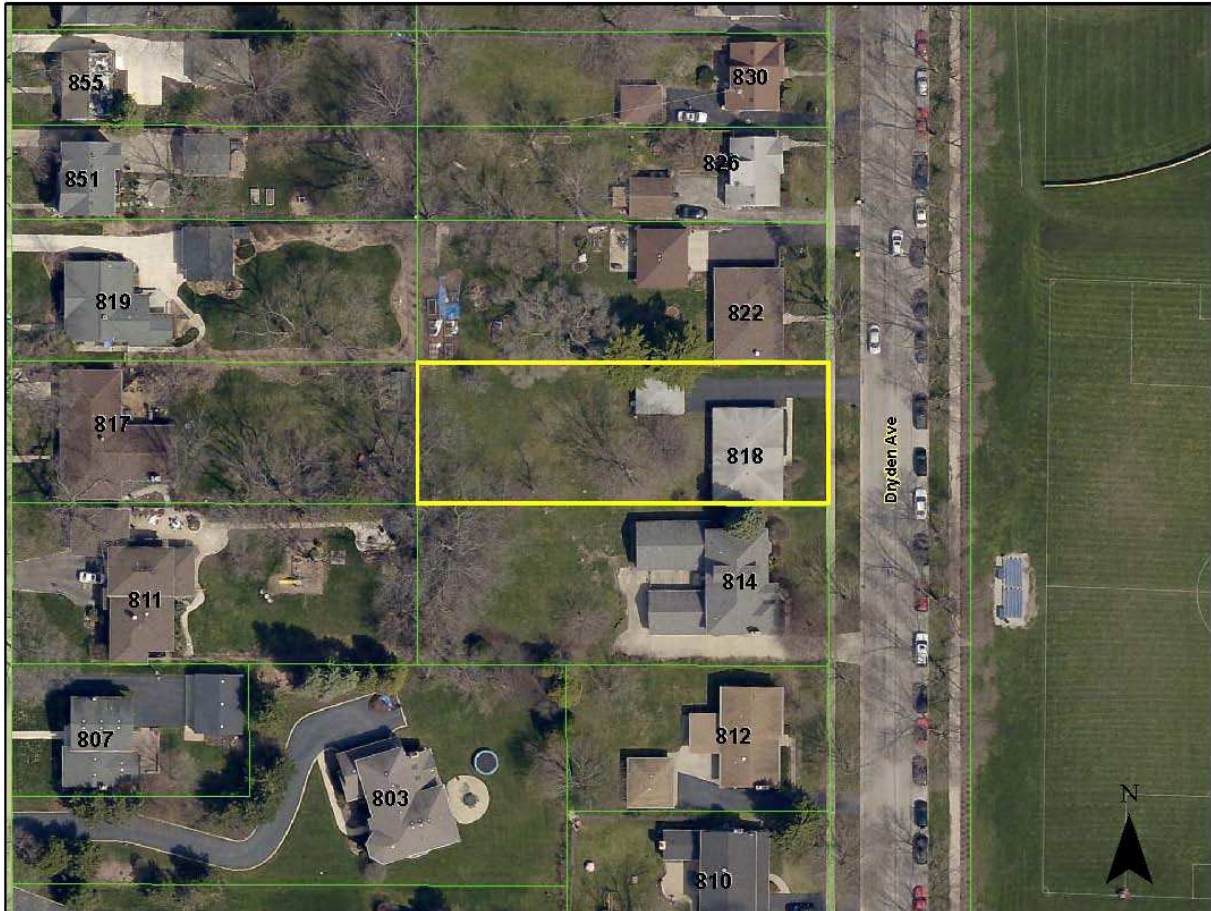
The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 15,989 square feet and the residence, with the proposed addition, will have approximately 4,342 square feet. The proposed addition encroaches into the required front and side yard setback. The petitioner is also proposing a driveway that is setback 0.8 feet from the north property line. Pursuant to Chapter 28, Section 11.2-11.1e, the driveway must be setback a minimum of 3 feet from the side property line for lots that are 70 feet or greater in width. Therefore, the petitioner requests the following variations:

- A 2.6 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a side yard setback of 4.9 feet from the south property line instead of the minimum 7.5 feet and an additional 1.2 feet for the eave.
- A 1.9 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a front yard setback of 23.1 feet from the east property line instead of the minimum 25.0 feet and an additional 1.0 feet for the eave.
- A 2.2 foot variance from Chapter 28, Section 11.2-11.1e to allow a driveway with a side yard setback of 0.8 feet from the north property line instead of the minimum 3.0 feet.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

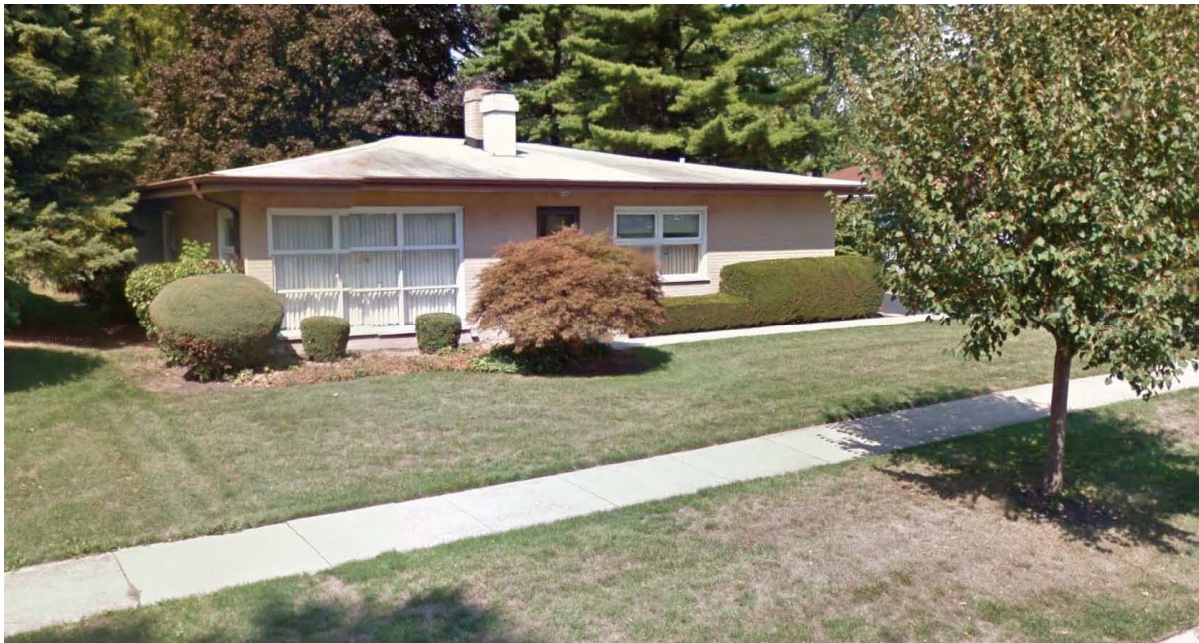
Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	8/30/16	
2. List of Property Owners Within 250 feet of Subject Property	✓	8/31/16	
3. Letter that was Mailed	✓	8/31/16	
4. Photographs of Sign on Property	✓	8/31/16	

Photographs of Existing Structure



ZBA# 16-041
818 N Dryden - ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering

Submitted: August 31, 2016
Completed: September 1, 2016

The proposed ZBA application indicates that the petitioner is seeking:

A 2.6 ft variance to allow an addition with a side yard setback of 4.9 ft from the south property line instead of the minimum 7.5 ft and an additional 1.2 for the eave;

A 1.9 ft variance to allow an addition with a front yard setback of 23.1 ft from the east property line instead of the minimum 25 ft and an additional 1 ft for the eave;

And a 2.2 ft variance to allow a driveway with a side yard setback of 0.8 ft from the north property line instead of the minimum 3 ft.

NOTE: The existing home is non-conforming, and the proposed plans are for a remodel and second floor addition. The requested variance will not increase the non-conformity.

The Engineering Department has NO OBJECTION to the proposed variations.

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Village of Arlington Heights Building Services Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Plan Reviewer, Building Services Department

Project Name: Chmura Residence

Project Address: 818 N Dryden Ave

ZBA #: 16-041

Date: September 8, 2016

Derek:

I have reviewed the request to reduce side yard setback at the south property line, the variance to reduce the front yard setback, and the request to reduce the setback at the north property line and offer the following comments:

1. No objections to any of the variances.

However, the portion of the south exterior wall that is less than 5 feet from the property line shall have a minimum fire-resistance rating of 1 hour. The eaves on the south wall shall have a minimum fire-resistance rating of 1 hour on the underside of the eaves, and the amount of openings on each wall shall be limited to 25% of the total wall area.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Chmura Residence

Project Address: 818 N. Dryden Ave.

ZBA #: 16-041

ZBA Hearing Date: September 19, 2016

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: August 31, 2016

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Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: HOUSE IS NICELY DESIGNED AND FAVORABLE FOR AN
ADMINISTRATIVE DESIGN APPROVAL, PENDING THE OUTCOME OF THE

Please review, comment, and return to me no later than Friday, September 9, 2016.

ZBA REVIEW,

- S. HAUZINGER, DESIGN PLANNER

Planning & Community Development

Petition

Now comes the Petitioner Mark Chmura being the owner of the property commonly known as: 818 N Dryden Ave and appeals to the Zoning Board of Appeals of the village of Arlington Heights for a Variation from Section 5.1 – 3.6, Chapter 28, of the Arlington Heights Municipal Code, in order to: Allow the proposed second floor addition to be built directly above the existing outside walls which have a non conforming front yard setback should be 25.0' of which we are 23.09' and our south side set back should be 10 percent of a lot width that is 7.50' which we are at 4.89'.

My wife Bozena and I have been looking for a house in the Arlington Heights Village for over a year. When we searched for our home we had two major factors that helped us choose Arlington Heights. Our first factor was that Arlington Heights has a fantastic school district. We have three small children and would like to provide for them the very best education that we can. Our second factor was the Arlington Heights has a warm but vibrant community. We love all the amenities the Village has to offer with a cozy downtown.

I hereby state that the following hardship would exist if the variation were not granted:

When we purchased our home we knew that we would remodel our house to meet our family's needs and to meet the standards of a modern functional home. As a homeowner not a professional contractor, I was not aware of the set back rule to an addition to an existing foot print. The Hardships that exists is that our homes aesthetically will not present itself or blend in uniform to the rest of the house in our community. Second the structural and engineering cost would not benefit our modern home design. Not being able to build above the existing foot print as proposed would force us to install additional structure columns and beams. These provisions would cause beams to run across the front part and south side of the house, with columns coming down in the front room, dining room and kitchen. I would like to build a new home, but due to the cost and our budget we are unable to proceed with that option. We also have a very large 100 year old maple tree in our backyard, which prevents us from building back as to not disturb the trees root system.

I hereby state that the variation, if granted, will not alter the essential character of the locality:

There would be no detriment to Arlington Heights neighboring property or our neighborhood. By granting this variance. Our proposed construction would not impair the supply of adequate light and air to adjacent properties or negatively impact the welfare of our neighbors or be harmful to neighboring properties. The proposed plan does not broach either the zoning code's impervious space ratio or lot coverage requirements.

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

The high desirability of Arlington Heights for residence encourages improvements and expansion of existing structures. We believe that our proposed plans are the best solution to achieve this goal and not to tear down existing house. The design of the proposed house is very tasteful and is reflective of the neighborhood.

Thank you,

Mark Chmura

RECEIVED

AUG 17 2016

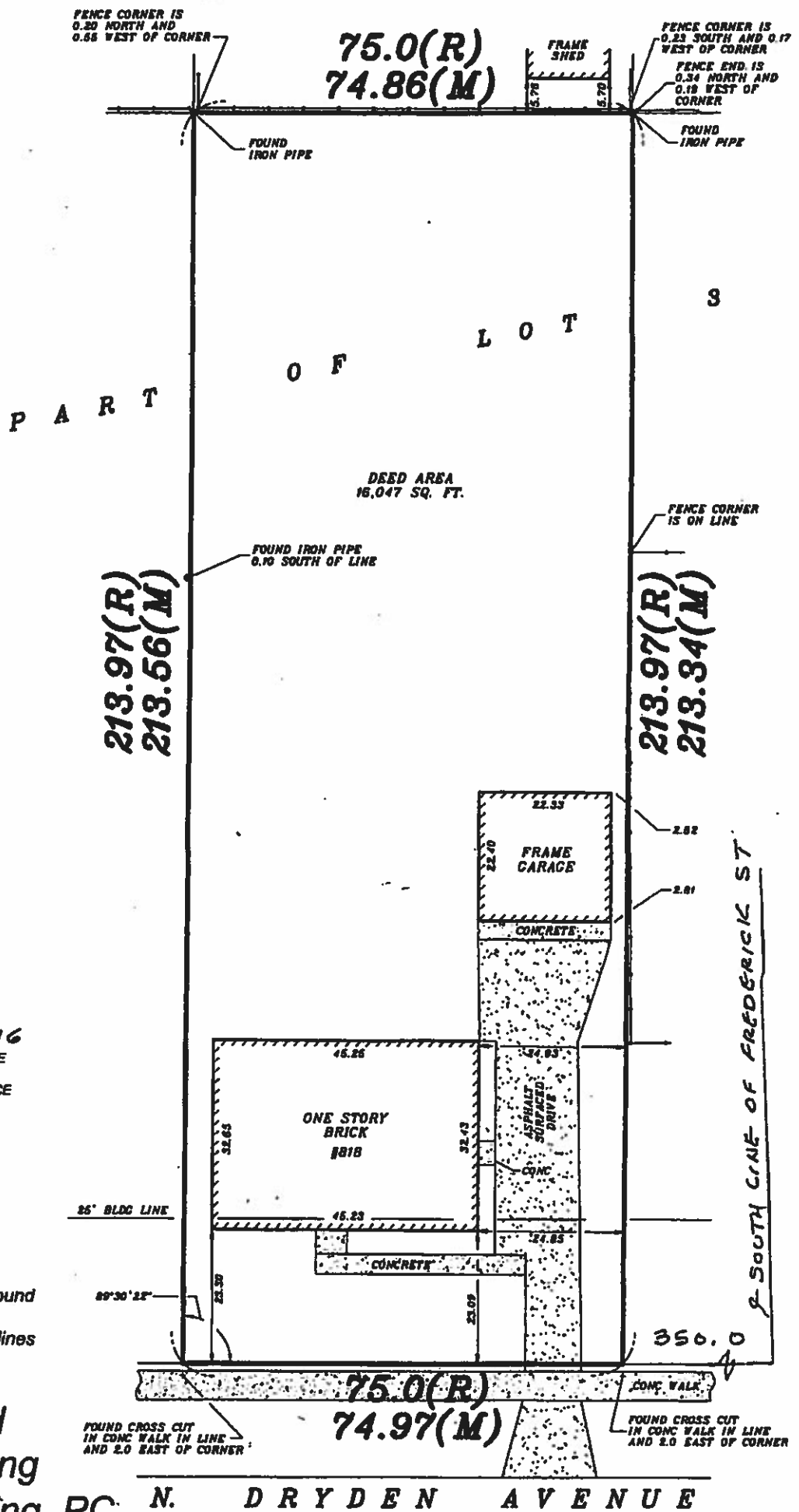
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PLAT OF SURVEY

OF PROPERTY DESCRIBED AS:

THE SOUTH SEVENTY-FIVE (75) FEET OF THE NORTH ONE-HUNDRED FIFTY (150) FEET (EXCEPT THE WEST 213.96) FEET OF LOT THREE (3) BLOCK FOUR (4) IN ARLINGTON FARMS, A SUBDIVISION OF THE WEST HALF (1/2) OF THE NORTHEAST QUARTER (1/4) OF SECTION TWENTY-NINE (29), TOWNSHIP FORTY-TWO (42) NORTH, RANGE ELEVEN (11), EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 818 N. DRYDEN AVENUE, ARLINGTON HEIGHTS, ILLINOIS 60004



Scale 1" = 20'
Client LAUREN JACKSON
Buyer M.E.B. GHUMRA
Page 42-11-28A
F.B. 03.29.204.051
Drawn SJB
Checked JCA
Job No. 34775
Municipality ARLINGTON HEIGHTS

I, JOHN C. AVAMPATO, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-001857 HAVE, ON 6-21-2016 PERFORMED THIS SURVEY AND TO THE BEST KNOWLEDGE AND BELIEF THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE FOR A BOUNDARY SURVEY.

John C. Avampato
JOHN C. AVAMPATO

Any Discrepancy in measurements should be promptly reported to surveyor for explanation or correction.

We Do Not Certify As To Location Of Underground Utilities Or Underground Improvements.

Refer to title policy for easement and building lines not shown hereon.



Advanced
Engineering
& Surveying, PC.

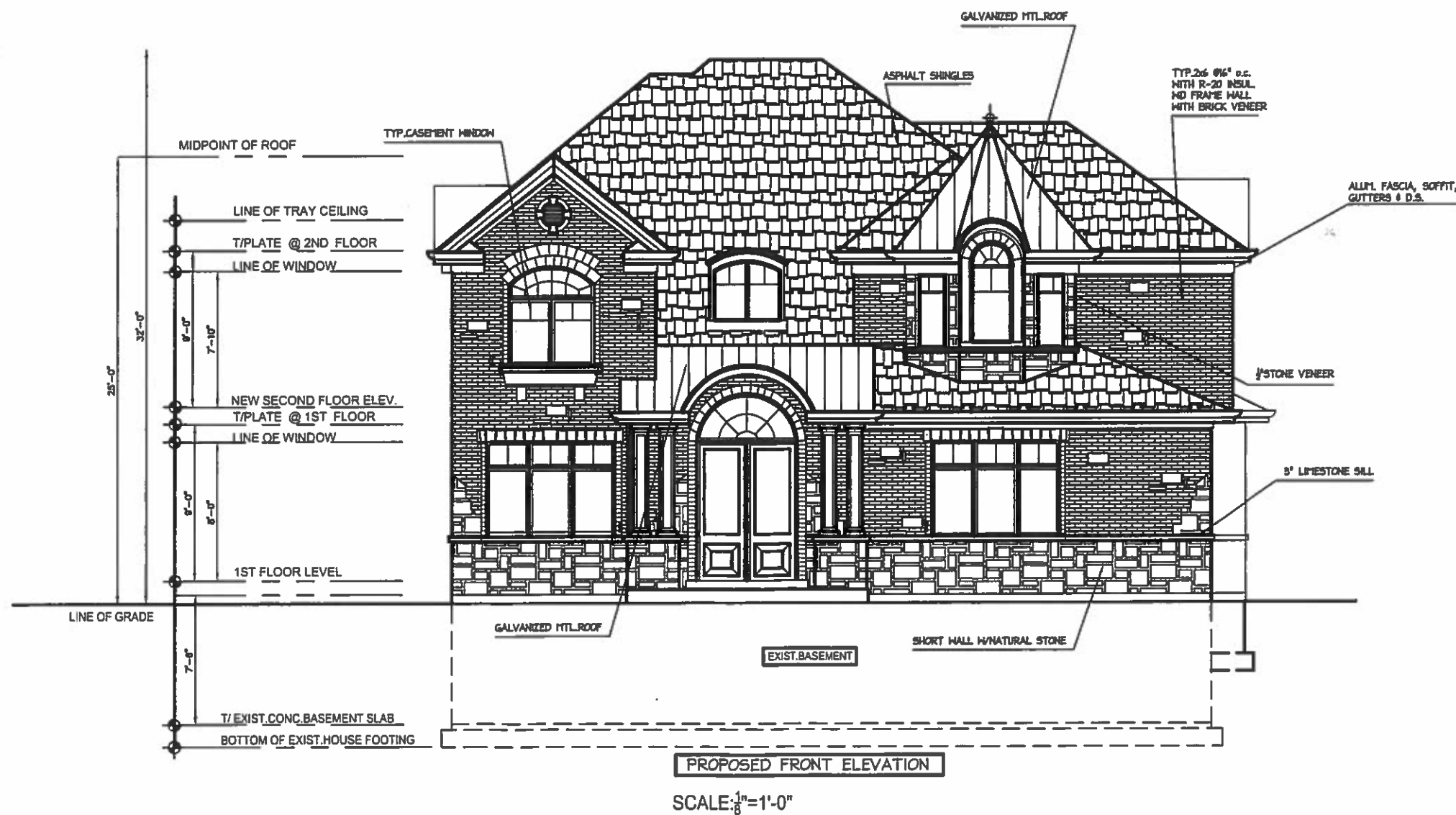
License Expires
11-30-16

PLAT VALID ONLY WITH EMBOSSED SEAL

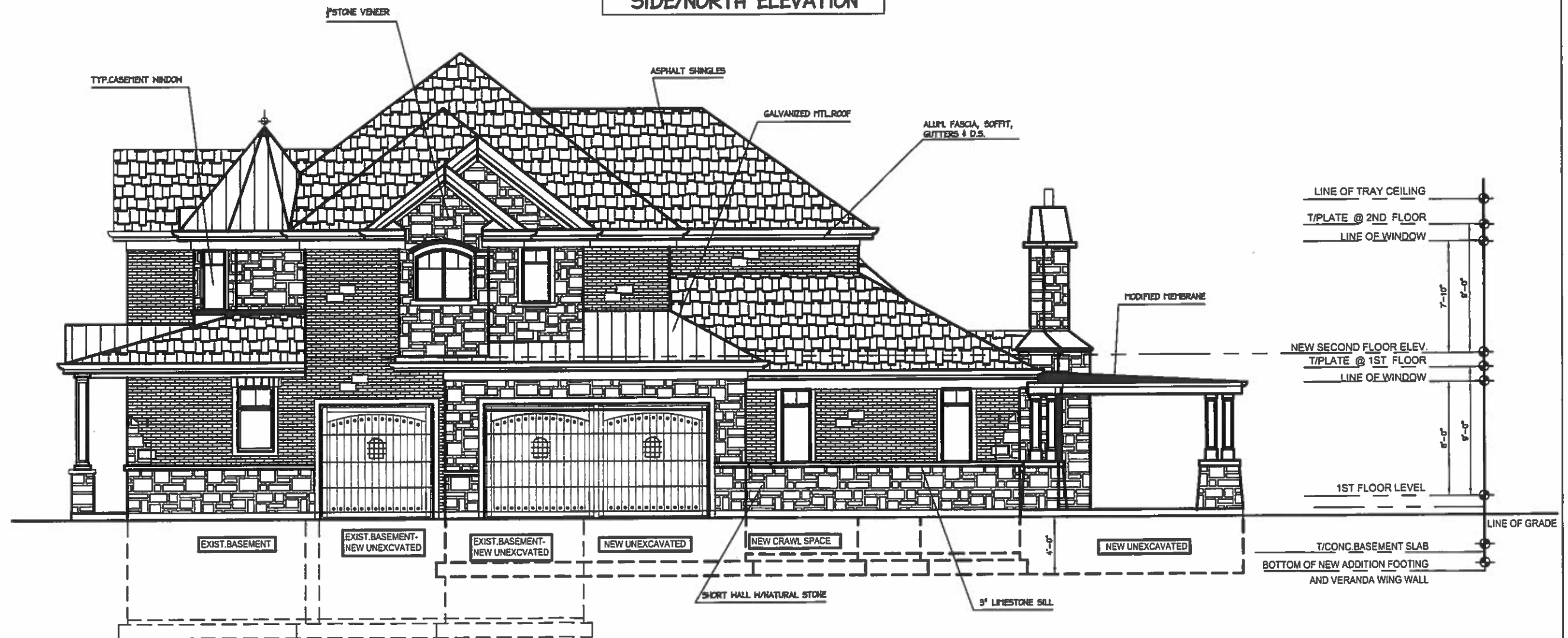
386 E. Chicago Street Phone: (847) 888-2900
Elgin, IL 60120 Fax: (847) 888-1945



EAST/FRONT ELEVATION



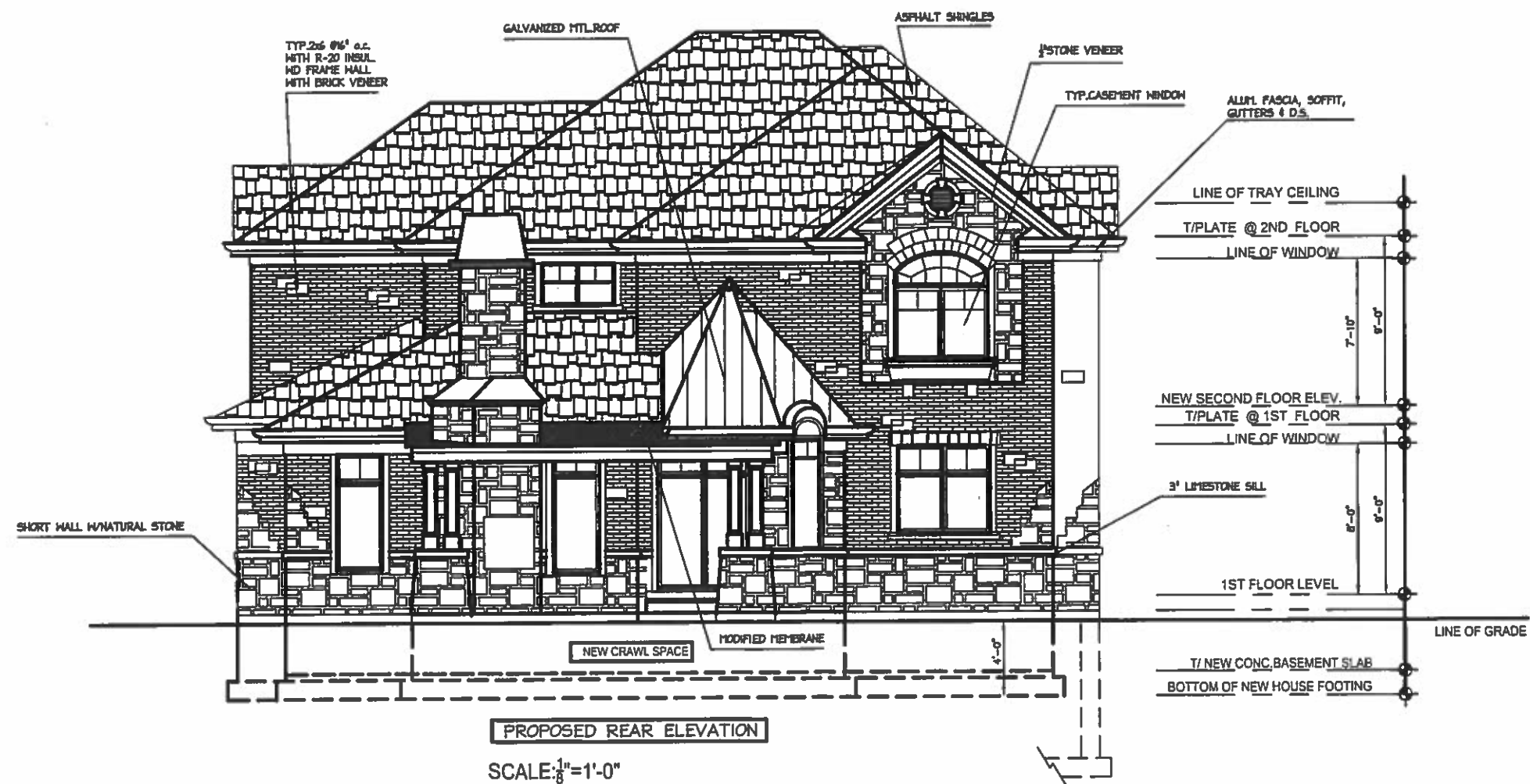
SIDE/NORTH ELEVATION



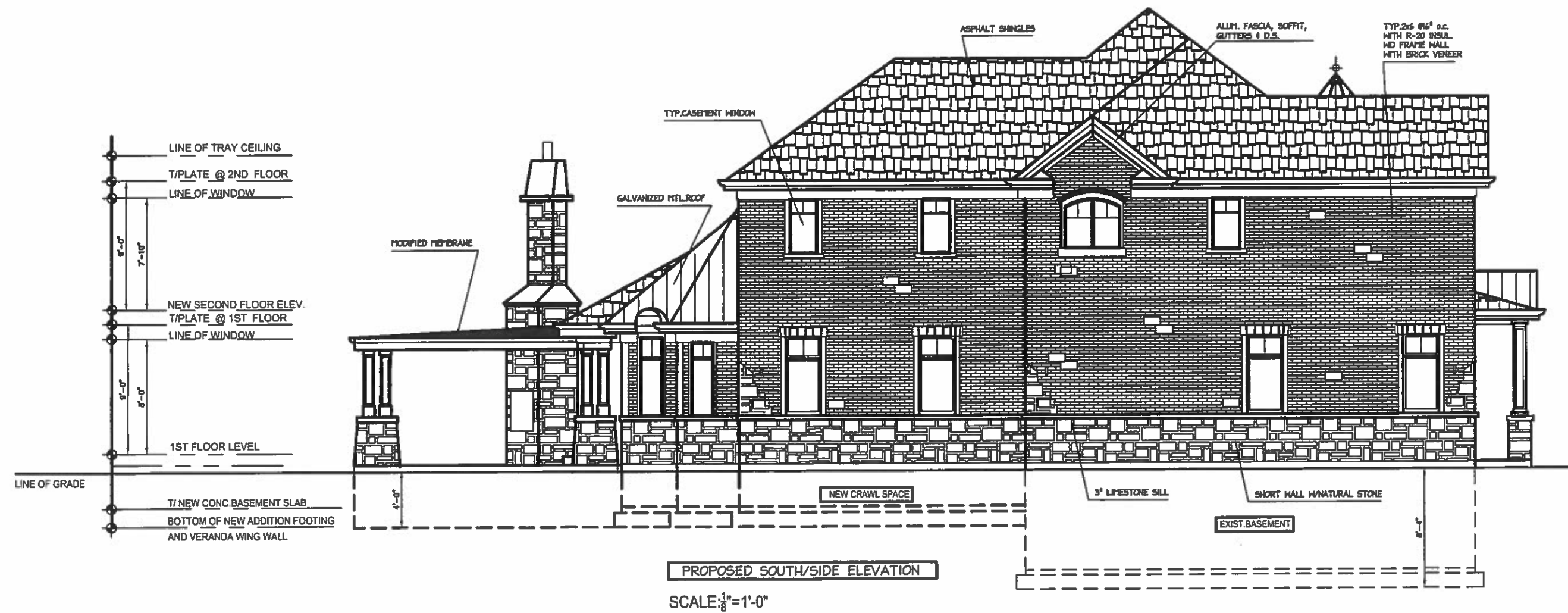
PROPOSED NORTH/SIDE ELEVATION

SCALE: $\frac{1}{8}" = 1'-0"$

WEST/REAR ELEVATION



SIDE/SOUTH ELEVATION





Item: Eriksson Residence - 517 S. Dunton Ave.

Department: Planning & Community Development

REQUEST

1. A 1.3 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a front yard setback of 25.7 feet from the west property line instead of the minimum 27.0 feet.

ATTACHMENTS:

Description

Staff Report
Department Comments
Supporting Documents

Type

Board or Commission Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: September 19, 2016
Date Prepared: September 13, 2016
Project Title: Ericksson Residence
Address: 517 S. Dunton Ave.

Background Information

Petition Number: ZBA #16-042
Petitioner: Mark Farrahar / RC& M Design Build
Address: 1340 Shermer Rd. Suite 260
Northbrook, IL 60062
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

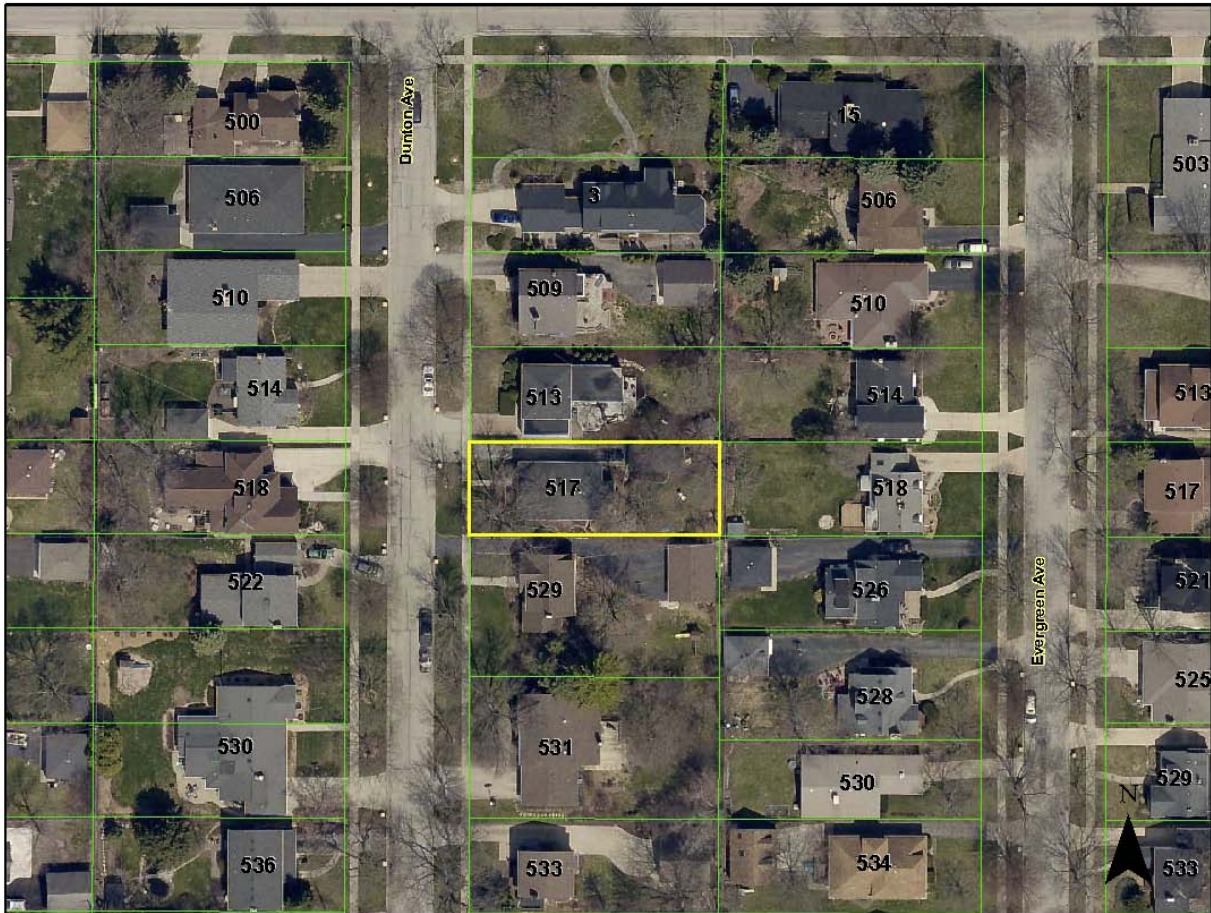
The petitioner is proposing to construct a second story addition to the existing one story home. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 6,616 square feet and a lot width of 50 feet. The proposed residence will have approximately 2,200 square feet. The proposed addition is encroaching into the required front yard setback. Therefore the petitioner requests the following variation:

- **A 1.3 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a front yard setback of 25.7 feet from the west property line instead of the minimum 27.0 feet.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	9/1/16	
2. List of Property Owners Within 250 feet of Subject Property	✓	9/1/16	
3. Letter that was Mailed	✓	9/1/16	
4. Photographs of Sign on Property	✓	9/1/16	

Photographs of Existing Structure



ZBA# 16-042
517 S Dunton Ave - ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering

Submitted: August 31, 2016
Completed: September 1, 2016

The proposed ZBA application indicates that the petitioner is seeking:

A 1.3 ft variance to allow an addition with a front yard setback of 25.7 ft from the west property line instead of the minimum 27 ft.

NOTE: The existing home is non-conforming. The proposed plan to construct a second floor addition will not increase the non-conformity.

The Engineering Department has NO OBJECTION to the proposed variation.

RECEIVED
SEP 01 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



Village of Arlington Heights Building Services Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Plan Reviewer, Building Services Department

Project Name: Eriksson Residence

Project Address: 517 S Dunton Ave

ZBA #: 16-042

Date: September 8, 2016

Derek:

I have reviewed the request to reduce the front yard setback by 1.3 feet and do not have any objections to the variance.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Eriksson Residence

Project Address: 517 S. Dunton Ave.

ZBA #: 16-042

ZBA Hearing Date: September 19, 2016

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: August 31, 2016

- A 1.3 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a front yard setback of 25.7 feet from the west property line instead of the minimum 27.0 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: A DESIGN COMMISSION APPLICATION IS REQUIRED FOR
THE PROPOSED ADDITION, BUT BASED ON THE SCHEMATIC

Please review, comment, and return to me no later than Friday, September 9, 2016.

PLANS, THERE ARE NO APPARENT DESIGN CONCERNS.

-S. HAUTZINGER, DESIGN PLANNER

PETITION

NOW COMES the Petitioner Alan Eriksson being the owner of the property commonly known as: 517 South Dunton Avenue and appeals to the Zoning Board of Appeals of Village of Arlington Heights for Variation from Section 5.1-3.6 , Chapter 28 of the Arlington Heights Municipal Code, in order: To request a variance for a non-conforming front set- back.

I hereby state that the following hardship would exist if the variation were not granted: Would prevent continuation of 1st floor wall to 2nd floor in same plane as part of 2nd floor addition.

I hereby state that the following unique circumstances exist: Original foundation and single story home was constructed 26.76' from now established 27.0' setback. In adding a 2nd floor, a portion would fall within the non-conforming setback.

I hereby state that the variation, if granted, will not alter the essential character of the locality because: The adjacent homes are two story homes and similar set - backs.

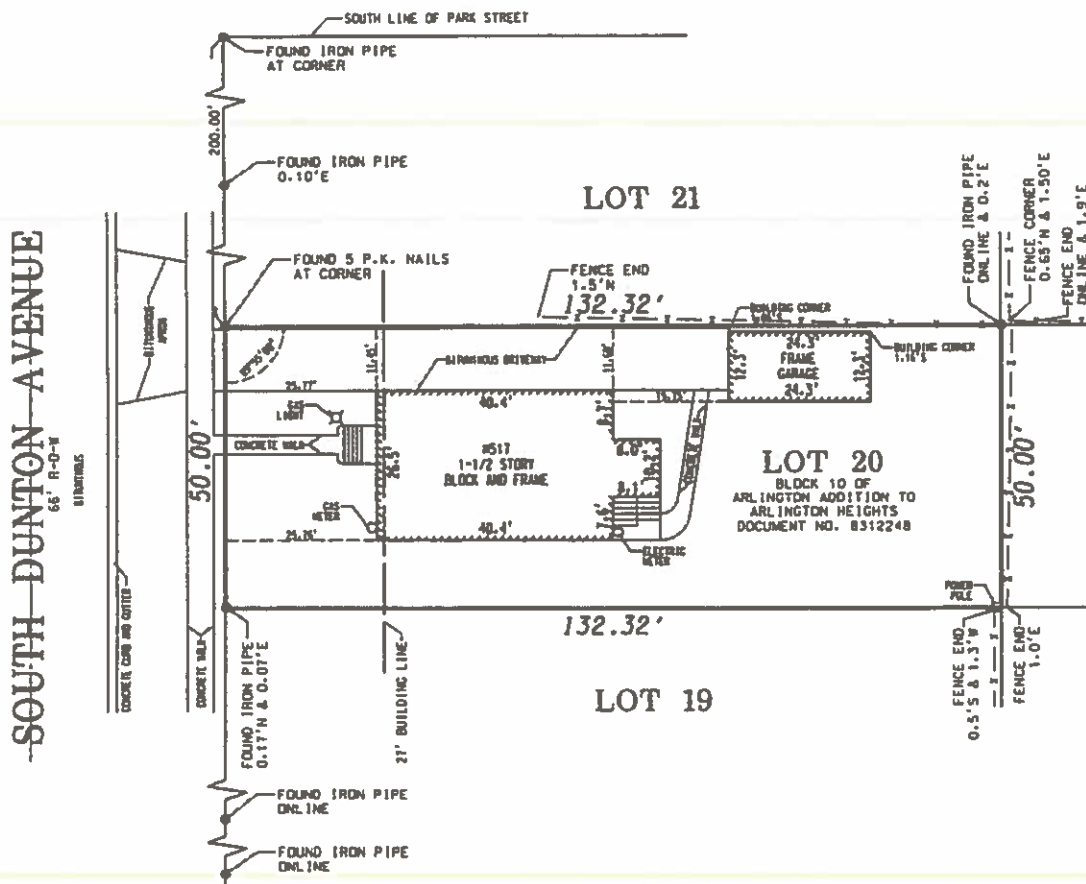
Signed: _____

Date: _____

8/9/16

LOT 20 IN BLOCK 10, IN ARLINGTON ADDITION TO ARLINGTON HEIGHTS, A SUBDIVISION OF LOT 12 (EXCEPT THE NORTH 2 1/2 CHAINS OF THE EAST 2.0 CHAINS THEREOF, IN SECTION 32, IN THE ASSESSOR'S DIVISION OF SECTION 29, 30, 31, AND 32, IN TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PARK STREET



1. THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
2. BUILDING DIMENSIONS AND TIES SHOWN HEREON ARE MEASURED FROM OUTSIDE FACE OF CONCRETE FOUNDATION.
3. SURVEY BASED ON FIELD WORK COMPLETED ON 07-16-04
4. NO PROPERTY CORNERS SET AT CUSTOMERS REQUEST.

1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
2. ONLY THOSE BUILDING LINE SETBACKS AND EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISIONS ARE SHOWN HEREON. REFER TO THE DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS.
3. COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT ANY DISCREPANCIES TO THE SURVEYOR AT ONCE.
4. NO DIMENSIONS SHALL BE DERIVED FROM SCALE MEASUREMENT.
5. CERTIFIED COPIES OF THIS SURVEY BEAR AN IMPRESSED SEAL.

WE, MACKIE CONSULTANTS LLC, AN ILLINOIS PROFESSIONAL DESIGN FIRM NO.184-002694, HEREBY, CERTIFY THAT WE HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT REPRESENTS THE CONDITIONS FOUND AT THE TIME OF SAID SURVEY.

~~MAC KIE CONSULTANTS LLC~~

LICENSE EXPIRES: NOVEMBER 30, 2006

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS
MINIMUM STANDARDS OF PRACTICE FOR A BOUNDARY SURVEY.

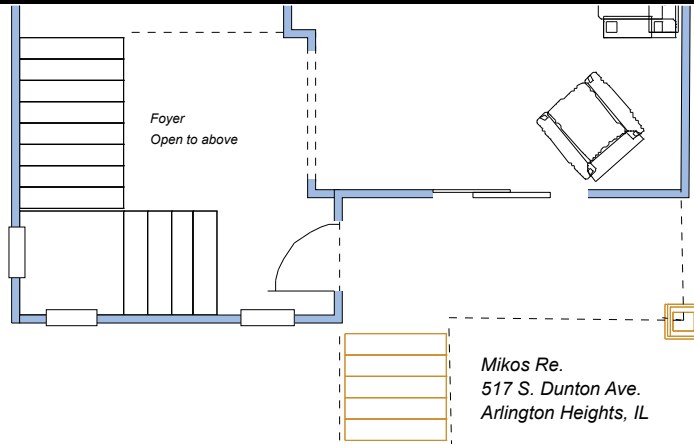
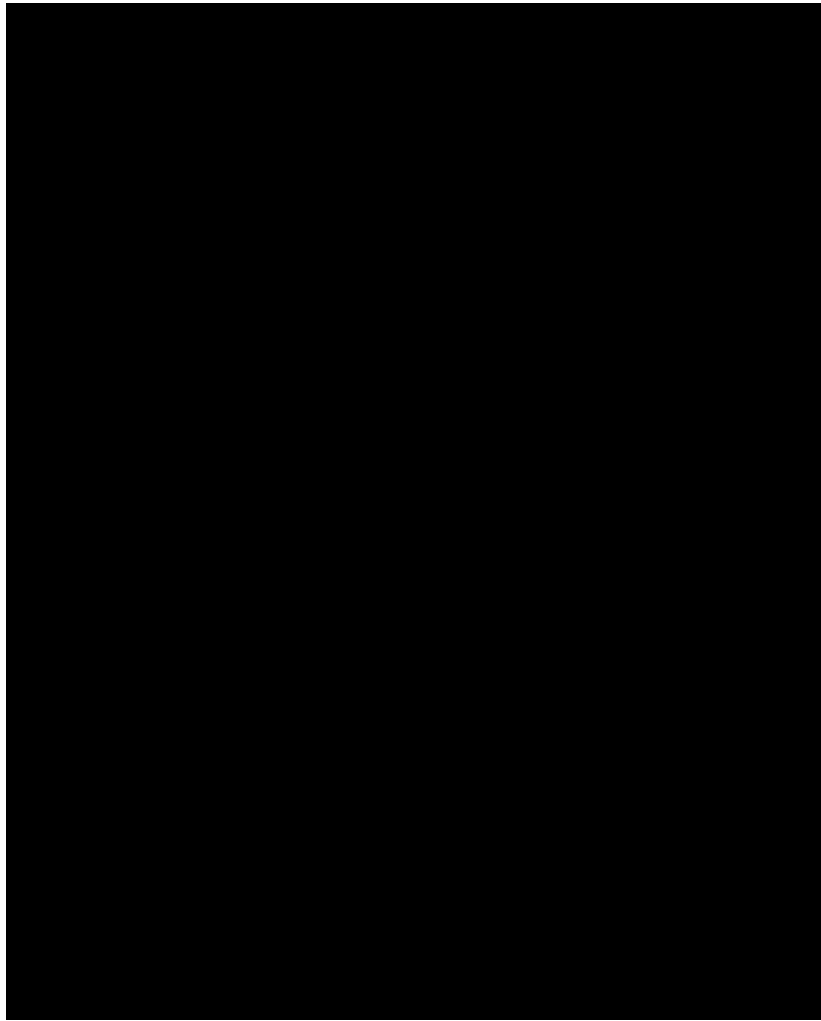


DATE :	REVISIONS	BY:	MACKIE CONSULTANTS LLC 9575 W. HIGGINS RD. SUITE 500, ROSEMONT, ILLINOIS 60018 PHONE 647-696-1400 FAX 647-696-1410 ENGINEERS PLANNERS SURVEYORS			517 SOUTH DUNTON AVENUE ARLINGTON HEIGHTS, ILLINOIS		
						DATE : 07-27-04	SCALE : 1" = 20'	BY : DJW
						PROJECT : 020	FILE : 1280	LOT NUMBER : 20



EXISTING BLOCK
FOUNDATION

MIKOS FLS.
FRONT ELEVATION
1/4" = 1'-0"
7-26-16

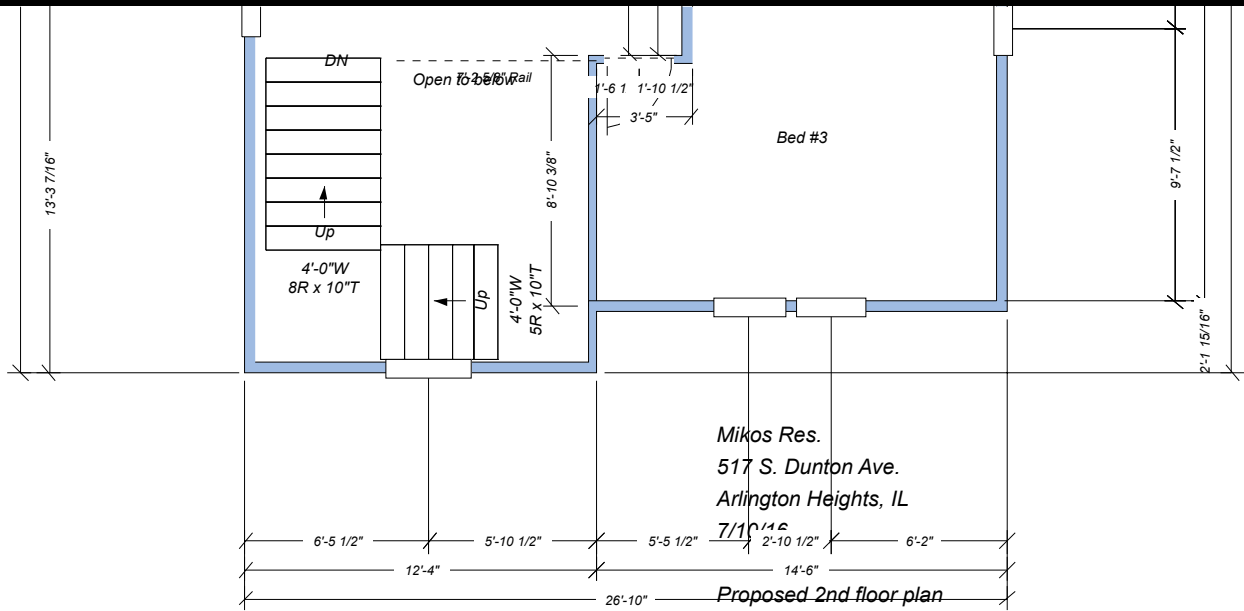


*Mikos Re.
517 S. Dunton Ave.
Arlington Heights, IL*

Proposed 1st Floor

7/10/16

Rev. 7/28/16





Item: Onischuk Residence - 122 S. Highland Ave.

Department: Planning & Community Development

REQUEST

1. A 5.0 foot variance from Chapter 28, Section 5.1-4.5 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a side yard setback of 10.0 feet from the south property line instead of the minimum 15 feet and an additional 2.0 feet for the eave.

ATTACHMENTS:

Description

Staff Report
Department Comments
Supporting Documents

Type

Board or Commission Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: September 19, 2016
Date Prepared: September 13, 2016
Project Title: Onischuk Residence
Address: 122 S. Highland Ave.

Background Information

Petition Number: ZBA #16-043
Petitioner: Robert Flubacker
Address: 1835 Rohlwing Rd. Suite B
Rolling Meadows, IL 60008
Existing Zoning: R-4, Single-Family District

Requested Action/Background Information

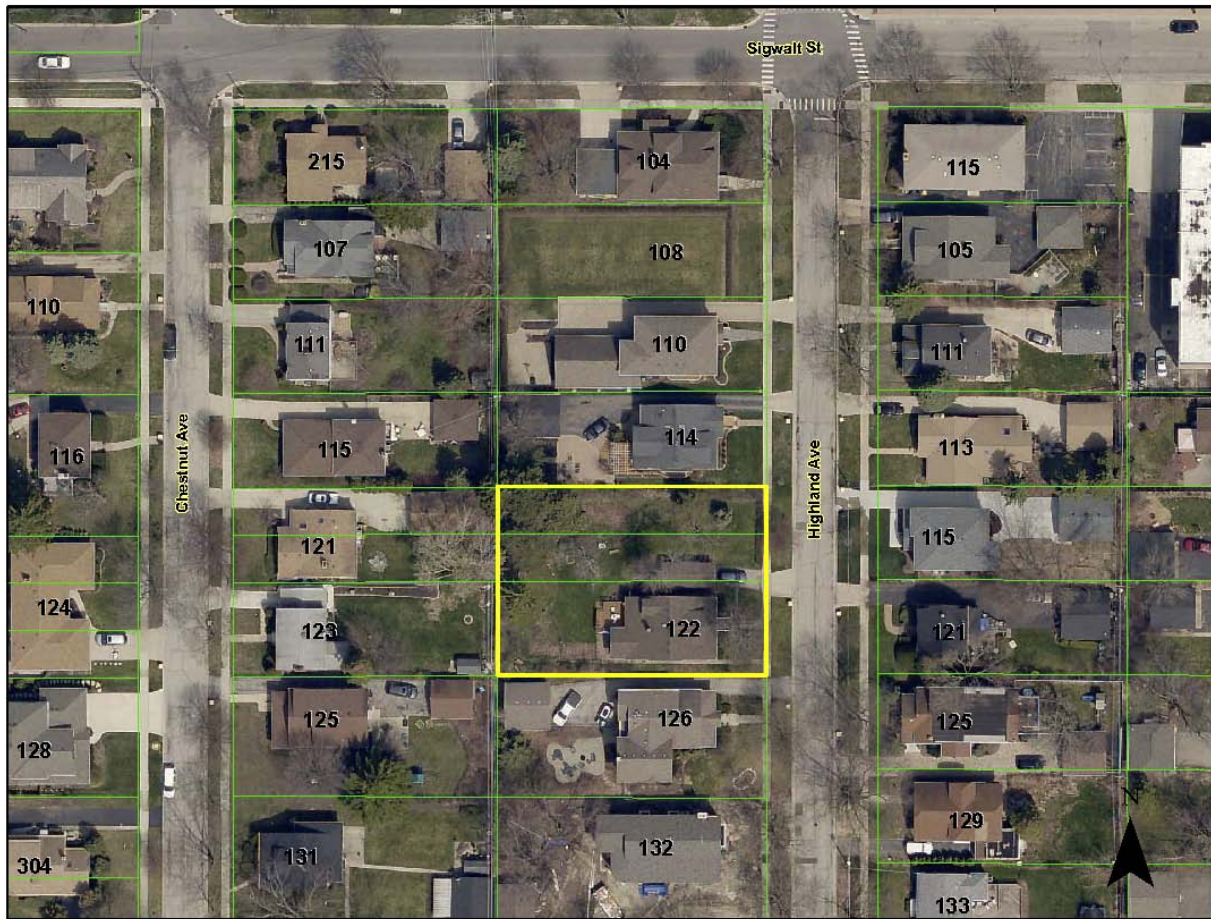
The subject site is zoned R-4, One Family Dwelling District. The property has a total land area of 13,980 square feet and the residence, with the proposed addition, will have approximately 4,189 square feet. The proposed addition encroaches into the required side yard setback. Therefore, the petitioner requests the following variation:

- A 5.0 foot variance from Chapter 28, Section 5.1-4.5 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a side yard setback of 10.0 feet from the south property line instead of the minimum 15 feet and an additional 2.0 feet for the eave.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	9/1/16	
2. List of Property Owners Within 250 feet of Subject Property	✓	9/1/16	
3. Letter that was Mailed	✓	9/1/16	
4. Photographs of Sign on Property	✓	9/1/16	

Photographs of Existing Structure



ZBA# 16-043
122 S Highland - ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering

Submitted: August 31, 2016
Completed: September 1, 2016

The proposed ZBA application indicates that the petitioner is seeking:

A 5 ft variance to allow an addition with a side yard setback of 10 ft from the south property line instead of the minimum 15 ft and an additional 2 ft for the eave.

The Engineering Department has NO OBJECTION to the proposed variation.

RECEIVED
SEP 01 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



Village of Arlington Heights Building Services Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Plan Reviewer, Building Services Department

Project Name: Onischuk Residence

Project Address: 122 S Highland Ave

ZBA #: 16-043

Date: September 8, 2016

Derek:

I have reviewed the request to reduce the side yard setback by 5.0 feet and do not have any objections to the variance.

However, relocation of the existing electrical service and panelboard may be necessary to meet the Village requirement that the electrical service panel be located within 5 feet of the point where the service conductors enter the building and/or within 5 feet of the metering device.

The electrical panelboard is also required to be at least 5 feet from any sump or ejector pumps.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Onischuk Residence

Project Address: 122 S. Highland Ave.

ZBA #: 16-043

ZBA Hearing Date: September 19, 2016

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: August 31, 2016

- A 5.0 foot variance from Chapter 28, Section 5.1-4.5 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a side yard setback of 10.0 feet from the south property line instead of the minimum 15 feet and an additional 2.0 feet for the eave.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other:

Comments: A DESIGN COMMISSION APPLICATION IS REQUIRED FOR
THE PROPOSED ADDITION. OVERALL, THE ADDITION IS

Please review, comment, and return to me no later than Friday, September 9, 2016.

NICELY DESIGNED TO MATCH THE CHARACTER OF
THE EXISTING HOUSE, BUT THE NEW FRONT ENTRY DOOR
ORIENTATION AND FRONT PORCH LAYOUT IS ODD AND
REQUIRES FURTHER STUDY. IT IS RECOMMENDED TO KEEP THE
EXISTING FRONT ENTRY AS-IS.

- S. HAUTZINGER, DESIGN PLANNER

PETITION

NOW COMES the Petitioner, **Paul & Lisa Onischuk**, being the owner of the property commonly known as: **122 South Highland Avenue**, and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a variation from, **Section 5.1-4.5 Required Minimum Yard: Side Yard (R-4)**, Chapter 28, of the Arlington Heights Municipal Code, in order to:

Construct a one-story frame addition encroaching 4 feet-7 inches into the required south side yard. (6 feet-10 inch encroachment to face of gutter)

I hereby state that the following hardships would exist if the variation were not granted:

The subject property is a 100 ft. wide lot, which is substantially wider than the typical lots in this R-4 zoning district. The existing house has a setback of 10 feet-5 inches from the south side yard lot line. The subject property is one of only a handful of single-family houses in R-4 two-family zoning districts in the village.

I hereby state that the following unique circumstances exist:

Strict application of the code would require a larger side yard setback than any other residential zoning district. The required side yard would be an additional 50% greater than that required in R-E zoning, which is the least dense of all the residential districts. However, this makeup of the surrounding neighborhood is much denser than that of the R-E.

I hereby state that the variation, if granted, will not alter the character of the locality because:

Through significant improvements, updates and exterior enhancements the property will increase in value substantially which will remain consistent with other new projects in the neighborhood. The improved property will fit well within the surrounding neighborhood while also lending a uniqueness to the property.

Signed: _____

Petitioner

Date: _____

RECEIVED

AUG 19 2016

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

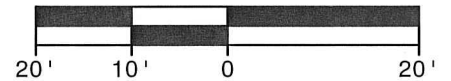
LEGEND
A = ASSUMED
C = CALCULATED
CH = CHORD
CL = CENTERLINE
D = DEED
E = EAST
F.I.P. = FOUND IRON PIPE
F.I.R. = FOUND IRON ROD
FT. = FEET/FOOT
L = ARC LENGTH
M = MEASURED
N = NORTH
NE = NORTHEAST
NW = NORTHWEST
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
R = RECORD
RAD = RADIUS
R.O.W. = RIGHT OF WAY
S = SOUTH
S.I.P. = SET IRON PIPE
S.I.R. = SET IRON ROD
SE = SOUTHEAST
SW = SOUTHWEST
W = WEST

PLAT OF SURVEY OF

LOTS 17, 18, 19 AND 20 IN BLOCK 3 IN WEST VIEW ADDITION TO ARLINGTON HEIGHTS, BEING A SUBDIVISION OF THE EAST 805.9 FEET OF THE NORTH 405 FEET OF THE NORTHEAST 1/4 OF SECTION 31, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

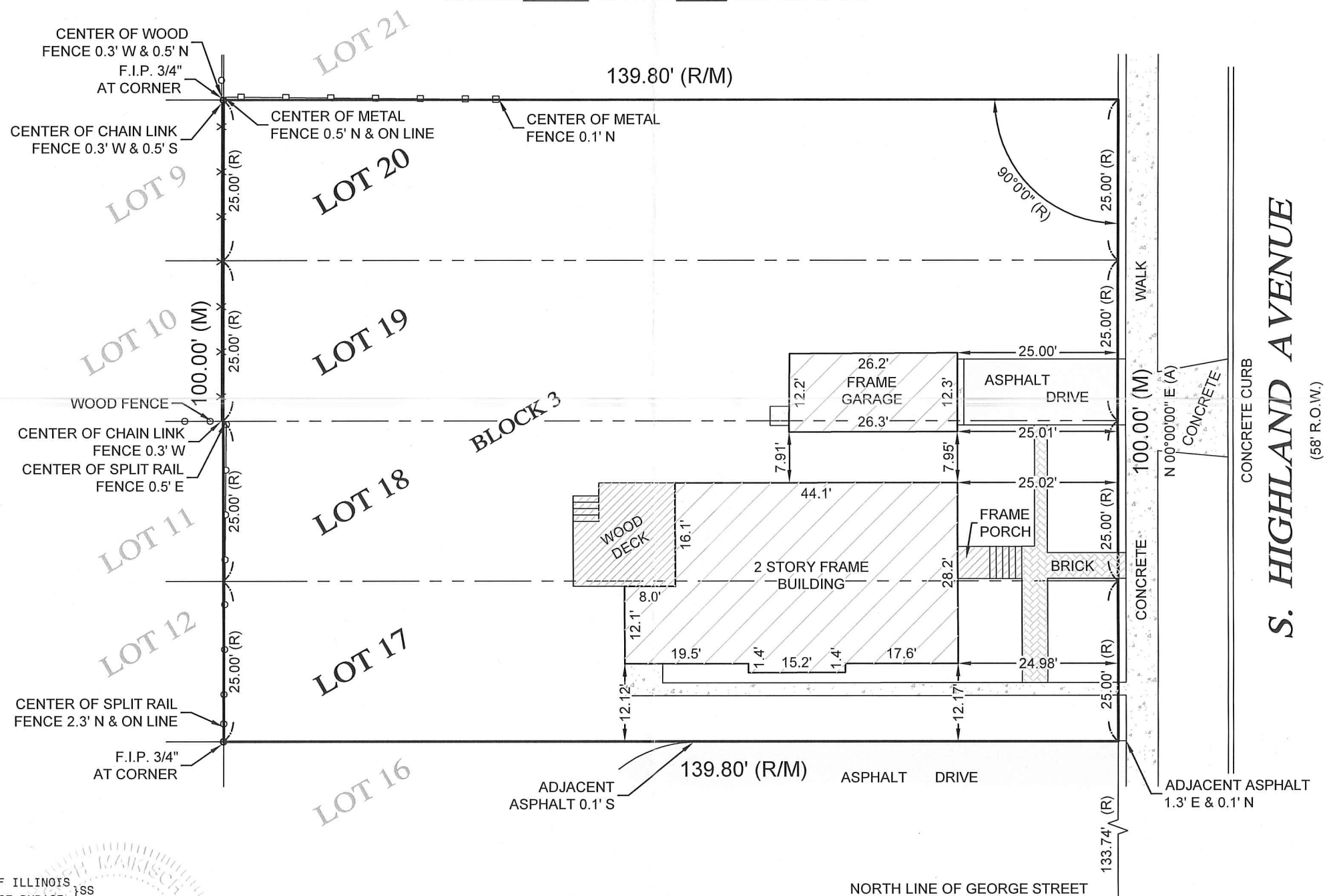
AREA OF SURVEY:

"CONTAINING 13,980.0 SQ. FT. OR 0.32 ACRES MORE OR LESS"



BASIS OF BEARING:

WEST LINE OF S. HIGHLAND AVENUE AS FOUND MONUMENTED AND OCCUPIED PER RECORD SUBDIVISION.
N 00°00'00" E (A)



Morris Engineering, Inc.
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-0770
FAX: (630) 271-0774
WEBSITE: WWW.ECIVIL.COM

STATE OF ILLINOIS
COUNTY OF DUPAGE }SS

I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT "THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY," AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

DATED, THIS 27TH DAY OF JUNE A.D., 2016,
AT Lisle, ILLINOIS.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-3253
LICENSE EXPIRATION DATE NOVEMBER 30, 2016
ILLINOIS BUSINESS REGISTRATION NO. 184-001245



NOTE:

- ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.
- ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
- COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
- NO DIMENSIONS SHALL BE ASSUMED BY SCALING.

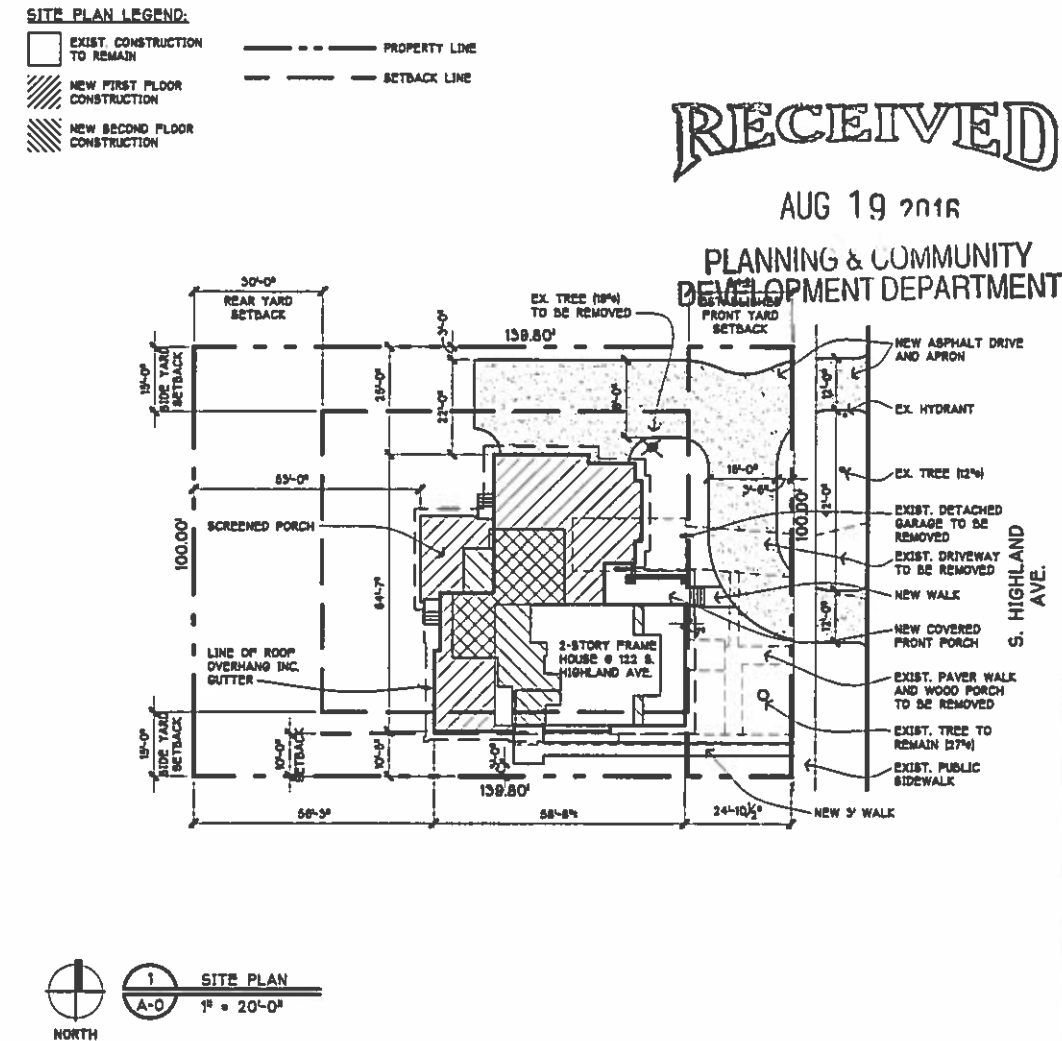
ADDRESS COMMONLY KNOWN AS 122 S. HIGHLAND AVENUE
ARLINGTON HEIGHTS, ILLINOIS

CLIENT DROST KIVLAHAN MCMAHON & O'CONNOR LLC

FIELDWORK DATE (CREW) 06/24/2016 (DS/BV)
DRAWN BY: WES REVISED: JOB NO. 16-05-0410

ALTERATIONS AND ADDITIONS FOR
**THE ONISCHUK
RESIDENCE**
122 S. HIGHLAND AVE.
ARLINGTON HEIGHTS, ILLINOIS

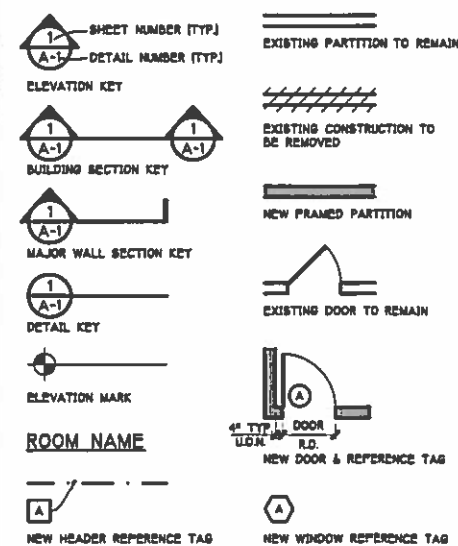
SITE PLAN



ABBREVIATIONS

8	AT	EXP.	EXPANSION	P.LAM.	PLASTIC LAMINATE
9	AMBLE	P.D.	PLYWOOD DRAIN	PLYWOOD	PLYWOOD
10	APPLY SHELVES	P.F.	FRESH FLOOR	P.O.	POLYMER FOR SQUARE FOOT
11	A.C.	P.FISH	FISH	P.O.	POLYMER FOR SQUARE FOOT
12	ADJ.	P.F.	PICTURE	PBL	PARALLEL STRAND LUMBER
13	ADJUSTABLE	P.F.T.	FOUNDATION	PVC	POLYVINYL CHLORIDE
14	ABOVE FISH FLOOR	P.A.C.	FACE OF CONCRETE	R	RADIUS
15	ALTERNATE	P.A.C.	FACE OF STU	R.D.	ROAD DRAIN
16	ALUMINUM	P.FZ	PRECISION	RAS	RIB & INCL
17	APPROXIMATE	P.S.	POURING BUMP	RESAB.	RESPONDING BAR
18	ARCHITECTURAL	P.TB	POSTING	RESAB.	RESPONDING BAR
19	BOTTOM OF	PUR	PURCHASE	RES.	REGULAR
20	BOARD	PUR.	PAUSE	RES.P.	RESPONDING
21	BL	BALV.	BALANCE	ROOM	ROOM
22	B.L.D.	B.L.V.	BALANCE	R.S.	ROOM
23	B.D.	B.L.V.	BLUE LAMINATED BEAM	R.S.	ROOM
24	B.D.	B.L.V.	BTSP BOARD	R.C.	SOLID CORE
25	B.D.	B.L.V.	HRT	SECT.	SECTION
26	B.D.	B.L.V.	H.M.	SECT.	SEMI-HANG CLOSET ROD
27	B.D.	B.L.V.	HORE	S.M.	SHALL
28	B.D.	B.L.V.	HTE	S.P.	SHARP FIT
29	B.D.	B.L.V.	H.V.A.E.	SPEC.	SPECIFICATION
30	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
31	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
32	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
33	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
34	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
35	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
36	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
37	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
38	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
39	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
40	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
41	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
42	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
43	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
44	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
45	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
46	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
47	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
48	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
49	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
50	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
51	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
52	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
53	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
54	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
55	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
56	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
57	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
58	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
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62	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
63	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
64	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
65	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
66	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
67	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
68	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
69	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
70	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
71	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
72	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
73	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
74	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
75	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
76	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
77	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
78	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
79	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
80	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
81	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
82	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
83	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
84	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
85	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
86	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
87	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
88	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
89	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
90	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
91	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
92	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
93	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
94	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
95	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
96	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
97	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
98	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
99	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE
100	B.D.	B.L.V.	H.V.A.E.	S.P.	SQUARE

SYMBOLS



CODE DATA

- ALL CONSTRUCTION SHALL CONFORM WITH THE FOLLOWING CODES:**
- INTERNATIONAL CODE COUNCIL 2008 EDITIONS (N/A/J)
 - INTERNATIONAL RESIDENTIAL CODE
 - INTERNATIONAL BUILDING CODE
 - INTERNATIONAL MECHANICAL CODE
 - INTERNATIONAL FUEL GAS CODE
 - INTERNATIONAL FIRE CODE
 - INTERNATIONAL PROPERTY MAINTENANCE CODE
 - INTERNATIONAL EXISTING BUILDING CODE
 - INTERNATIONAL ENERGY CONSERVATION CODE, 2015
 - ILLINOIS STATE PLUMBING CODE, 2014
 - NATIONAL ELECTRICAL CODE, 2005
 - ILLINOIS ACCESSIBILITY CODE, 1987
 - INCLUDING ALL APPROVED LOCAL AMENDMENTS TO THE ABOVE REFERENCED CODES

LIST OF DRAWINGS

- A-0 TITLE SHEET / SITE PLAN
A-1 FOUNDATION PLAN
A-2 FIRST FLOOR PLAN
A-3 SECOND FLOOR PLAN
A-4 EXTERIOR ELEVATIONS
A-5 EXTERIOR ELEVATIONS

LOCATION MAP

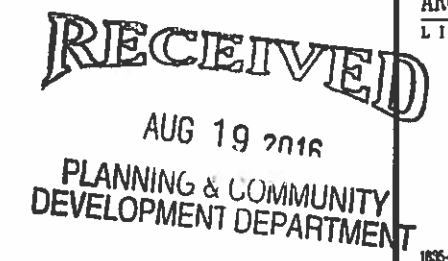


1835-B Rohlfing Rd.
Rolling Meadows,
Illinois 60008
847-704-3200

**ALTERATIONS AND ADDITION FOR
THE ONISCHUK RESIDENCE**
122 S. HIGHLAND AVE.
ARLINGTON HEIGHTS, ILLINOIS

[illegible]

A-0



RFA

**ROBERT
FLUBACKER
ARCHITECTS
LIMITED**

1635-B Bohlwing Rd.
Rolling Meadows,
Illinois 60008
847-704-3200

**ALTERATIONS AND ADDITION FOR
THE ONISCHUK RESIDENCE
122 S. HIGHLAND AVE.
ARLINGTON HEIGHTS, ILLINOIS**

[illegible]

A-5





Item: Skrudland Residence - 735 N. Vail Ave.

Department: Planning & Community Development

REQUEST

1. A 2.7 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure from 15 feet to 17.7 feet.
2. A 17.0 foot variance from Chapter 28, section 11.2-11.1b to allow a 39.0 foot wide driveway where the maximum width is 22 feet.

ATTACHMENTS:

Description

Staff Report
Department Comments
Supporting Documents

Type

Board or Commission Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: September 19, 2016
Date Prepared: September 13, 2016
Project Title: Skrudland Residence
Address: 735 N. Vail Ave.

Background Information

Petition Number: ZBA #16-044
Petitioner: Kurt Skrudland
Address: 735 N. Vail Ave.
Arlington Heights IL 60004
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

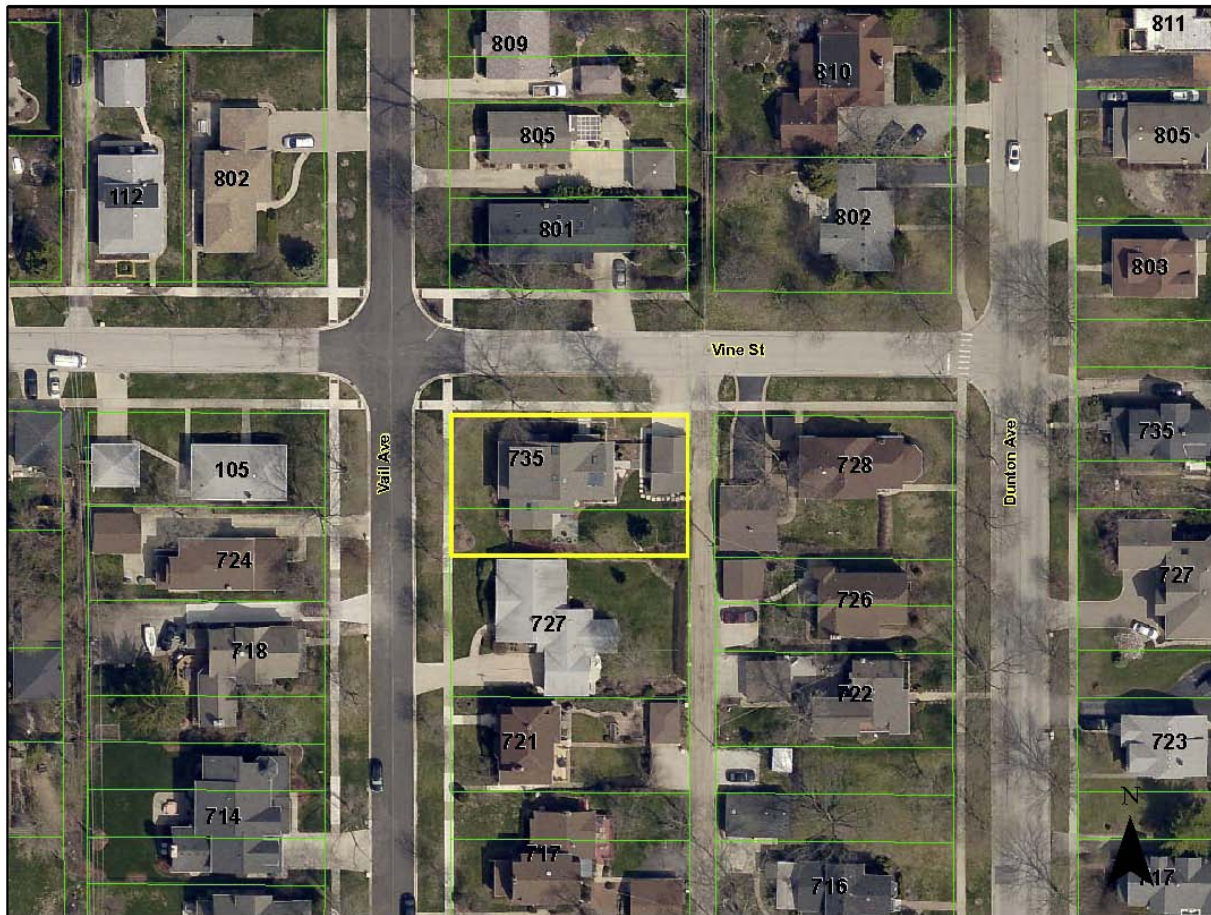
The petitioner proposes to replace the existing detached garage with a new detached garage and the petitioner is requesting a 2.7 foot height variation. The petitioner is also proposing to reorient the garage so that the access is off of the alley in the rear and keep the existing driveway which results in a 39 foot wide driveway where the maximum width allowed is 22 feet. Therefore the petitioner requests the following variations:

- A 2.7 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure from 15 feet to 17.7 feet.
- A 17.0 foot variance from Chapter 28, section 11.2-11.1b to allow a 39.0 foot wide driveway where the maximum width is 22 feet.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	9/2/16	
2. List of Property Owners Within 250 feet of Subject Property	✓	9/2/16	
3. Letter that was Mailed	✓	9/2/16	
4. Photographs of Sign on Property	✓	9/2/16	

Photographs of Existing Structure



ZBA# 16-044
735 N Vail Ave - ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering

Submitted: August 31, 2016
Completed: September 1, 2016

The proposed ZBA application indicates that the petitioner is seeking:

A 2.7 ft variance to allow an increase to the maximum height of an accessory structure from 15 ft to 17.7 ft; and a 17 ft variance to allow a 39 ft driveway where the maximum width is 22 ft.

The Engineering Department has NO OBJECTION to the proposed variation for the height variance, however; the proposed garage appears to encroach on the rear yard setback, ~~and the proposed driveway is not shown on the site plan.~~

THE ENGINEERING DEPARTMENT HAS NO OBJECTION TO THE PROPOSED VARIATION TO ALLOW A 39 FT DRIVEWAY WIDTH. THE EXISTING DRIVEWAY APRON MUST BE REMOVED. THE CURB AT THE EXISTING DRIVEWAY SHALL BE REMOVED AND REPLACED TO MATCH THE EXISTING CURB TO THE WEST.

JP 9/1/16

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SEP 01 2016

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



Village of Arlington Heights Building Services Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Plan Reviewer, Building Services Department

Project Name: Skrudland Residence

Project Address: 735 N Vail Ave

ZBA #: 16-044

Date: September 8, 2016

Derek:

I have reviewed the request to increase the maximum height allowed for a detached garage to 17.7 feet and the width of the driveway from 22 feet to 39.0 feet and have no objections.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Skrudland Residence

Project Address: 735 N. Vail Ave.

ZBA #: 16-044

ZBA Hearing Date: September 19, 2016

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: August 31, 2016

- A 2.7 foot variance from Chapter 28, Section 6.5-6 (Accessory Buildings) to allow an increase to the maximum height of an accessory structure from 15 feet to 17.7 feet.
- A 17.0 foot variance from Chapter 28, section 11.2-11.1b to allow a 39.0 foot wide driveway where the maximum width is 22 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

No comments. - S. HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Friday, September 9, 2016.

NOW COMES the Petitioner, Kurt and Susan Skrudland, being the owner of the property commonly known as: 735 N Vail Avenue, appealing to the Zoning Board of Appeals of the Village of Arlington Heights for variation from Chapter 28 Section 6.5-6 (Accessory Buildings), of the Arlington Heights Municipal Code, in order to allow an increase to the maximum height of an accessory structure in an R-3 District from 15 feet to 17 feet and a variation from Chapter 28, Section 6.5-2 for a new garage with a rear yard setback of 4 feet instead of the minimum required 5 feet.

I hereby state that the following hardships would exist if the variation were not granted:

The 2-car garage would not match the roofline of the existing house and would therefore not conform to the architectural style and character of house.

The current flow of water running off the property between the house and the garage would be more funneled.

The proposed garage and walk would encroach on the existing ginkgo tree.

I hereby state that the following unique circumstances exist:

The proposed garage is designed to match the slope of the existing house.

The 19 foot separation from the proposed garage to the opposite side of the alley is greater than required by code without the alley.

I hereby state that the variation, if granted, will not alter the essential character of the locality because:

The garage aligns with the Village's overall objectives for high quality architecture and aesthetics throughout the Village.

The property directly behind at 728 N Dunton would not be adversely affected.

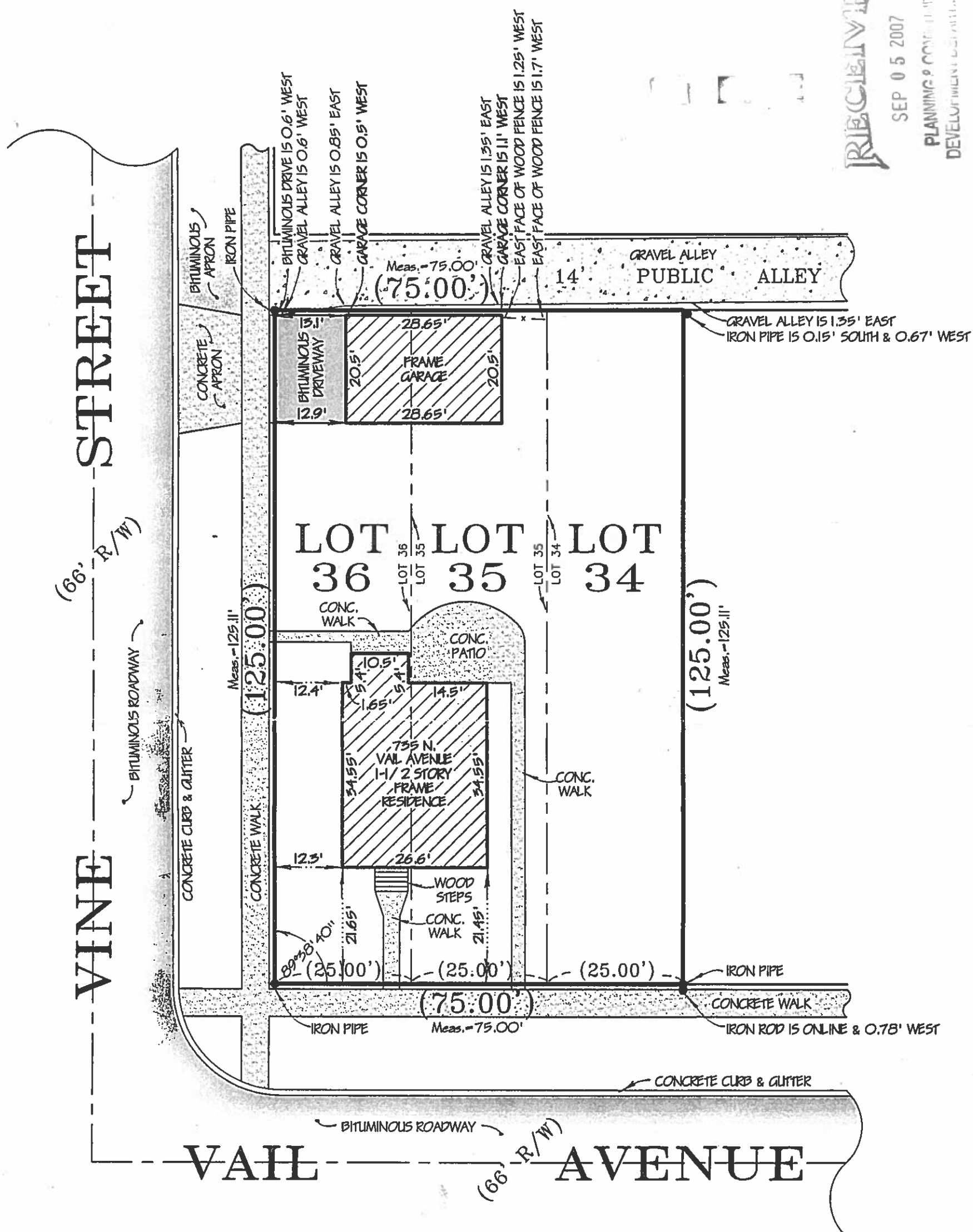
LEGEND

- Monumentation Found
- Monumentation Set (IRLS 35-2551)
- (50') Record Dimension
- X— Fence Line

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SEP 05 2007

PLANNING & COMMUNITY DEVELOPMENT



NOTES

1. All distances shown hereon are in feet and decimal parts thereof corrected to 68° f. Distances shown along curved lines are Arc Measurements unless otherwise noted.
2. Compare the Legal Description, Building Lines, and Easements as shown hereon with your Deed, Title Insurance Policy or Title Commitment.
3. Consult local authorities for additional setbacks and restrictions not shown hereon.
4. Compare all survey points and report any discrepancies immediately.
5. Consult utility companies and municipalities prior to the start of any construction.
6. Dimensions to and along buildings are exterior foundation measurements.
7. Do Not Assume distances from scaled measurements made hereon.

STATE OF ILLINOIS)
COUNTY OF DU PAGE) SS

THIS IS TO CERTIFY THAT I, ALLEN D. CARRADUS, A PROFESSIONAL LAND SURVEYOR, LICENSED IN THE STATE OF ILLINOIS, HAVE SURVEYED THE PROPERTY AS DESCRIBED HEREON AND THAT THE ANNEXED PLAT IS A CORRECT AND TRUE REPRESENTATION THEREOF, AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

SIGNED AND SEALED AT WHEATON, ILLINOIS THIS 24th DAY OF July, A.D. 2007

BY Allen E. Carradine ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-2551.
MY LICENSE EXPIRES NOVEMBER 30, 2008

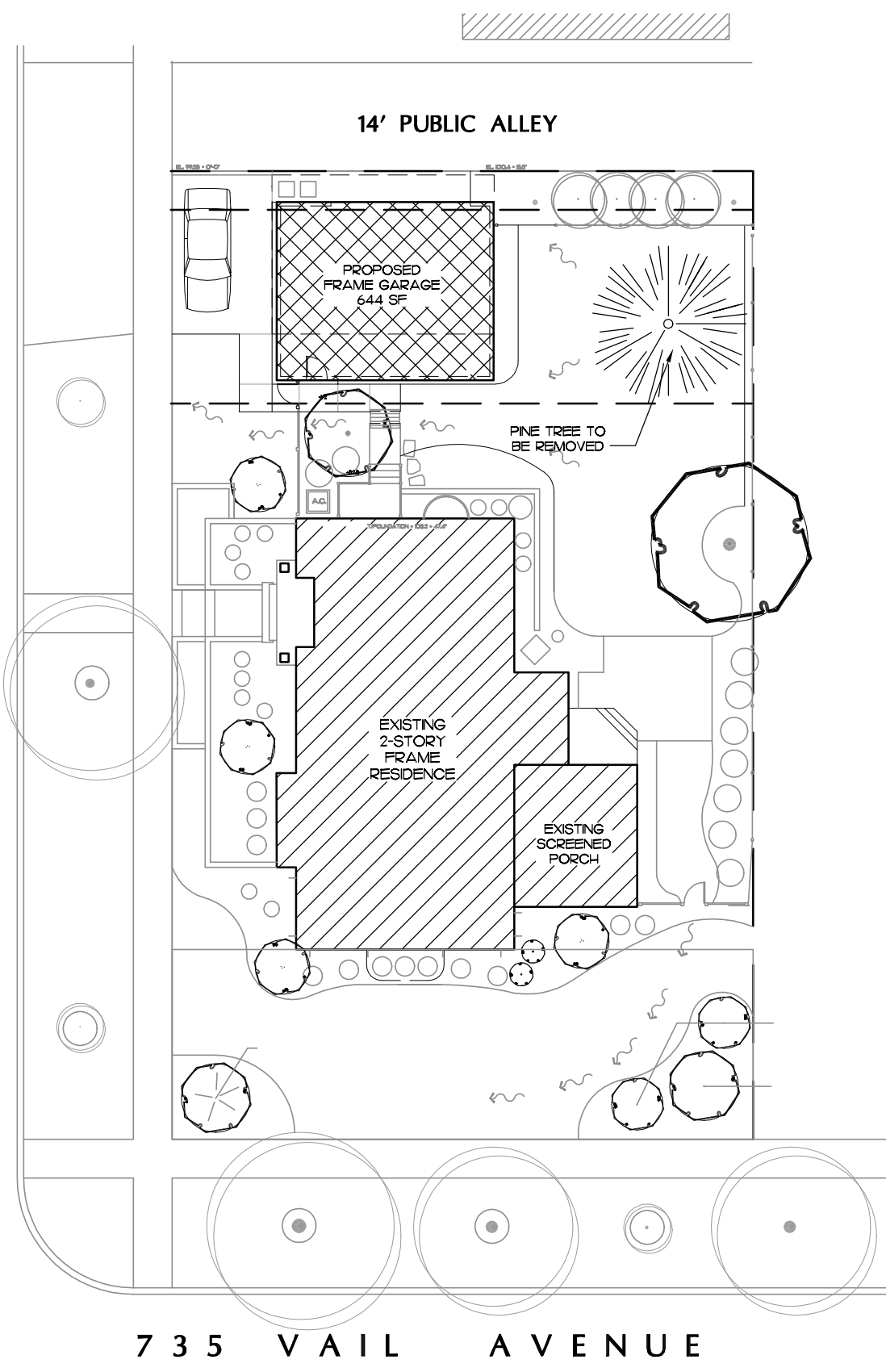
ALLEN D. CARRADUS **AND ASSOCIATES**

Residential & Commercial Land Surveying Services
108 W. Liberty Drive, Wheaton, Illinois 60187
(630) 588-0416 (Fax) 653-7682

PREPARED FOR: STITT, KLEIN, DADAY, ARETOS & GIAMPIETRO

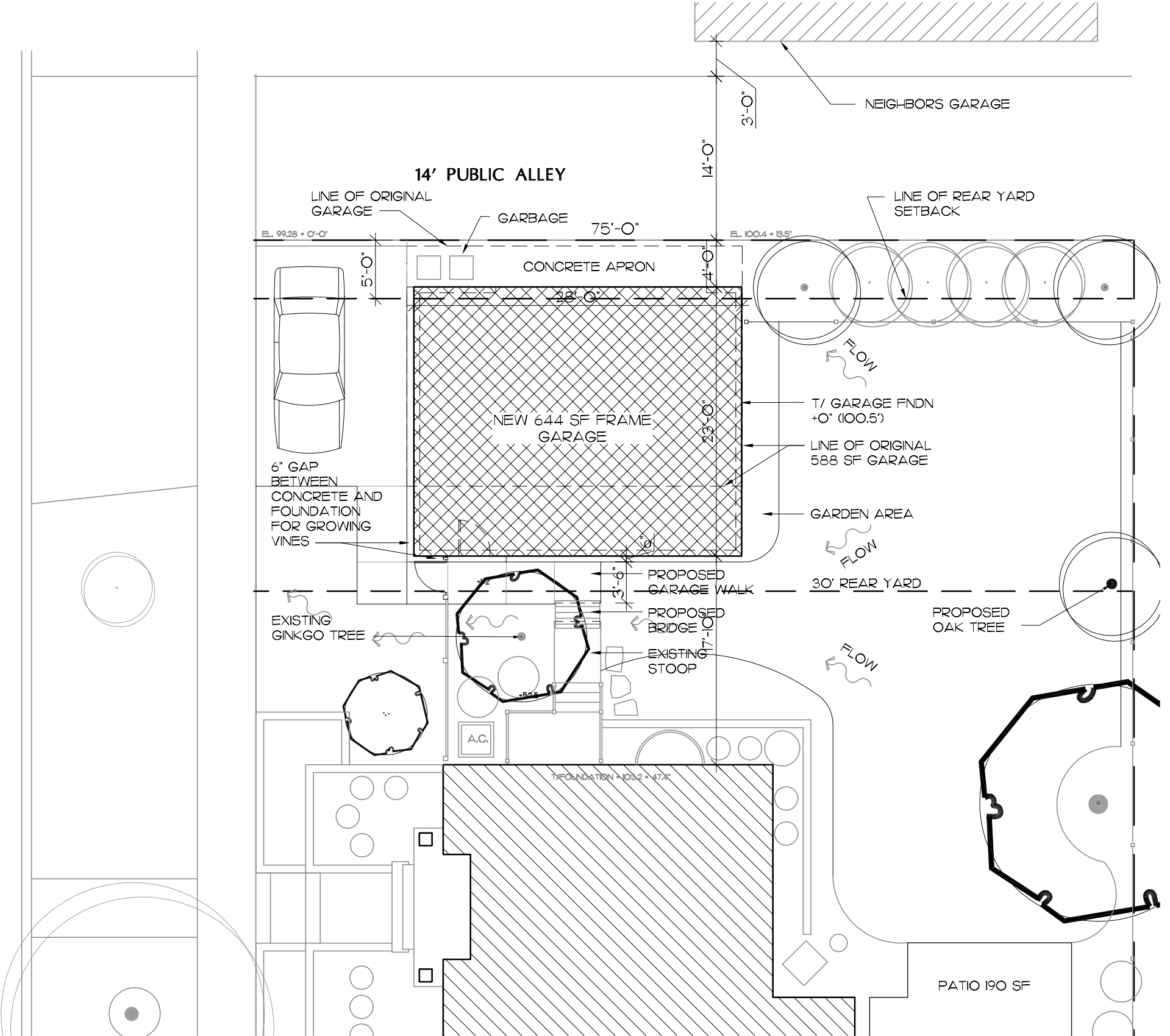
DRAWN BY: CMG	DATE OF FIELD WORK: 07/24/07	SCALE: 1" = 20'	FLD.BK. - PAGE 232-56	PROJECT NO. 18334-U
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VINE STREET

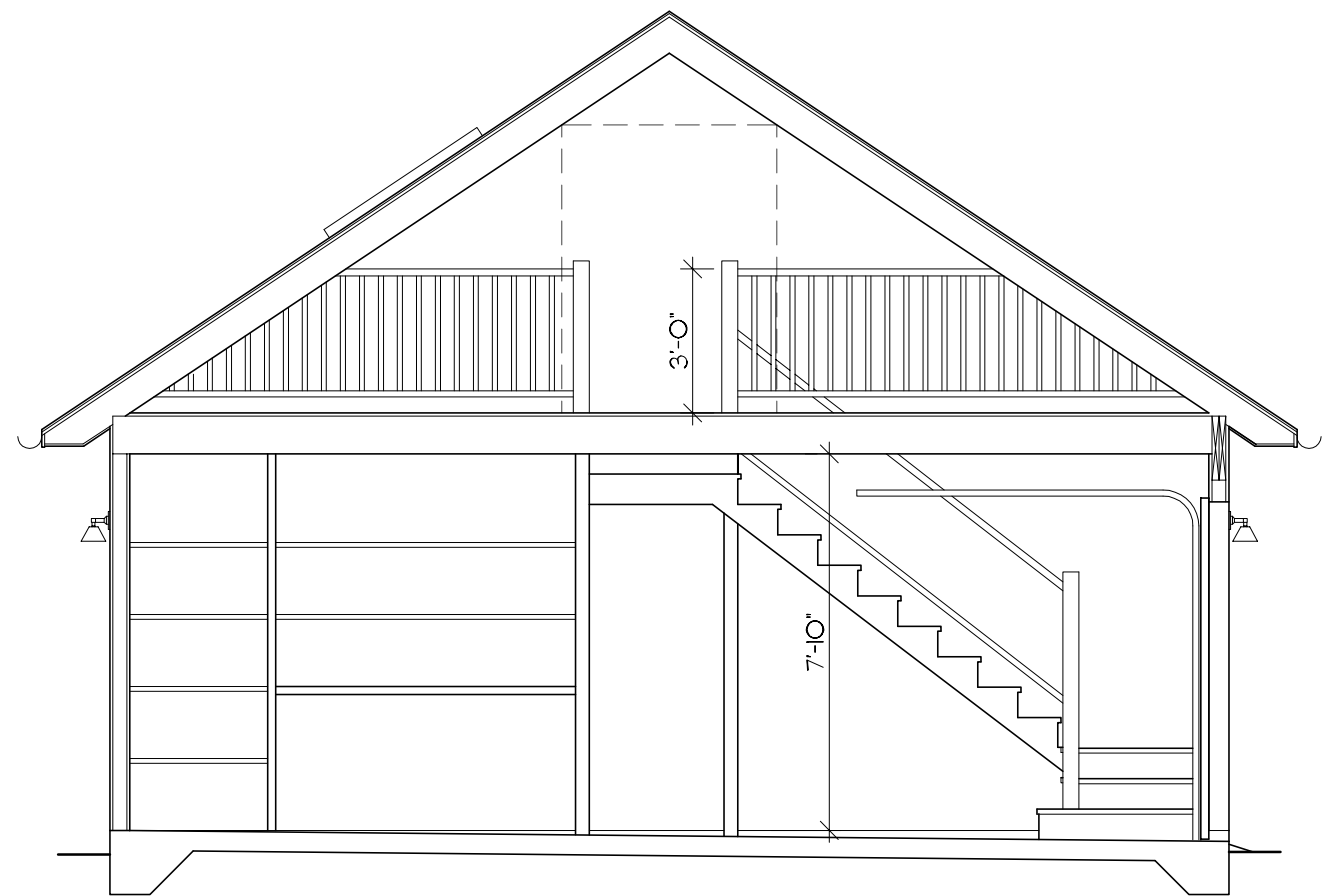


PROPOSED SITE PLAN
SCALE: 1" = 20'-0"

VINE STREET

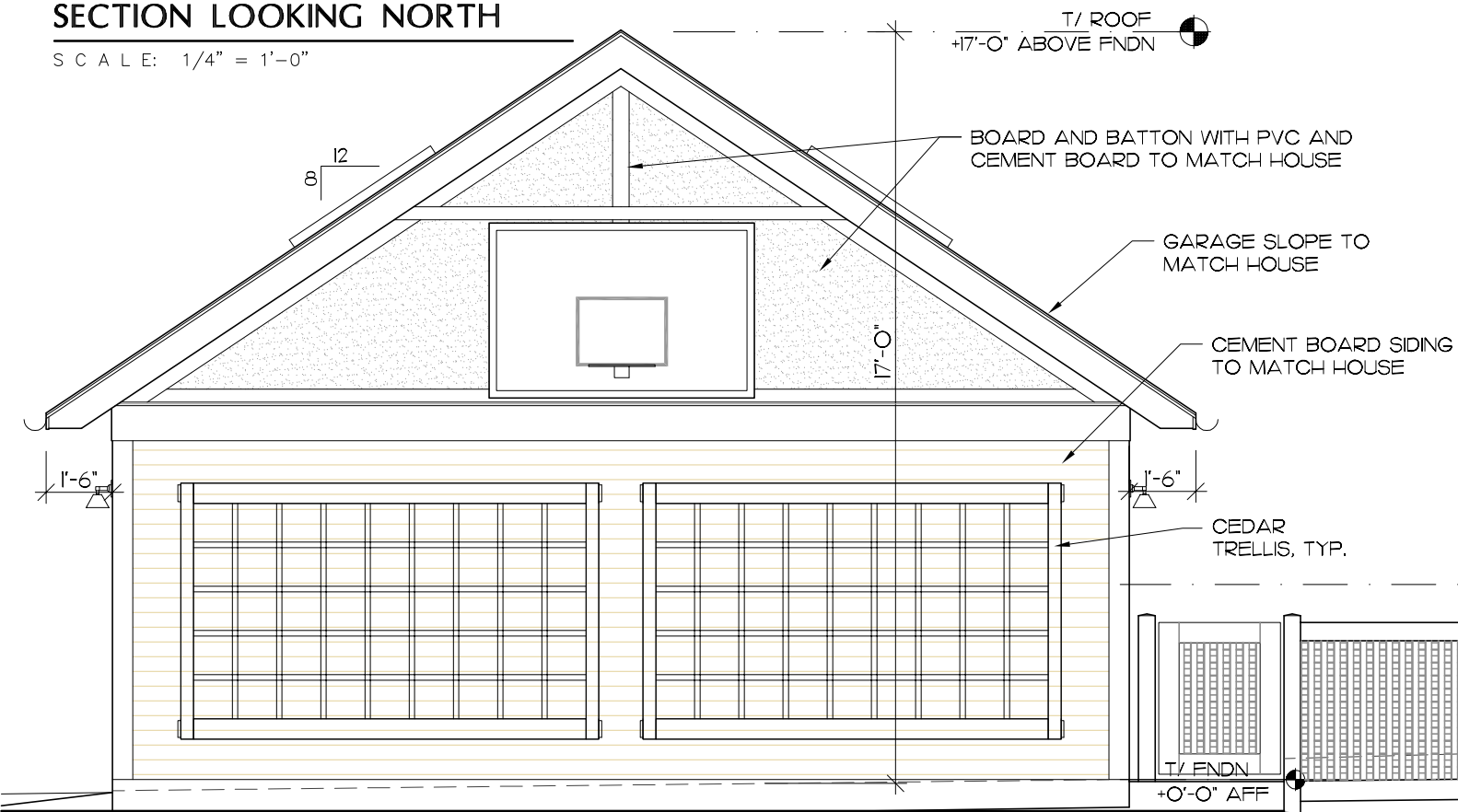


ENLARGED SITE PLAN
SCALE: 1" = 10'-0"



SECTION LOOKING NORTH

S C A L E: 1/4" = 1'-0"



NORTH ELEVATION

S C A L E: 1/4" = 1'-0"

EXISTING 2-STORY RESIDENCE



Skrudland Residence
735 N Vail Ave.
Arlington Heights, Illinois

IMPACT
Architecture

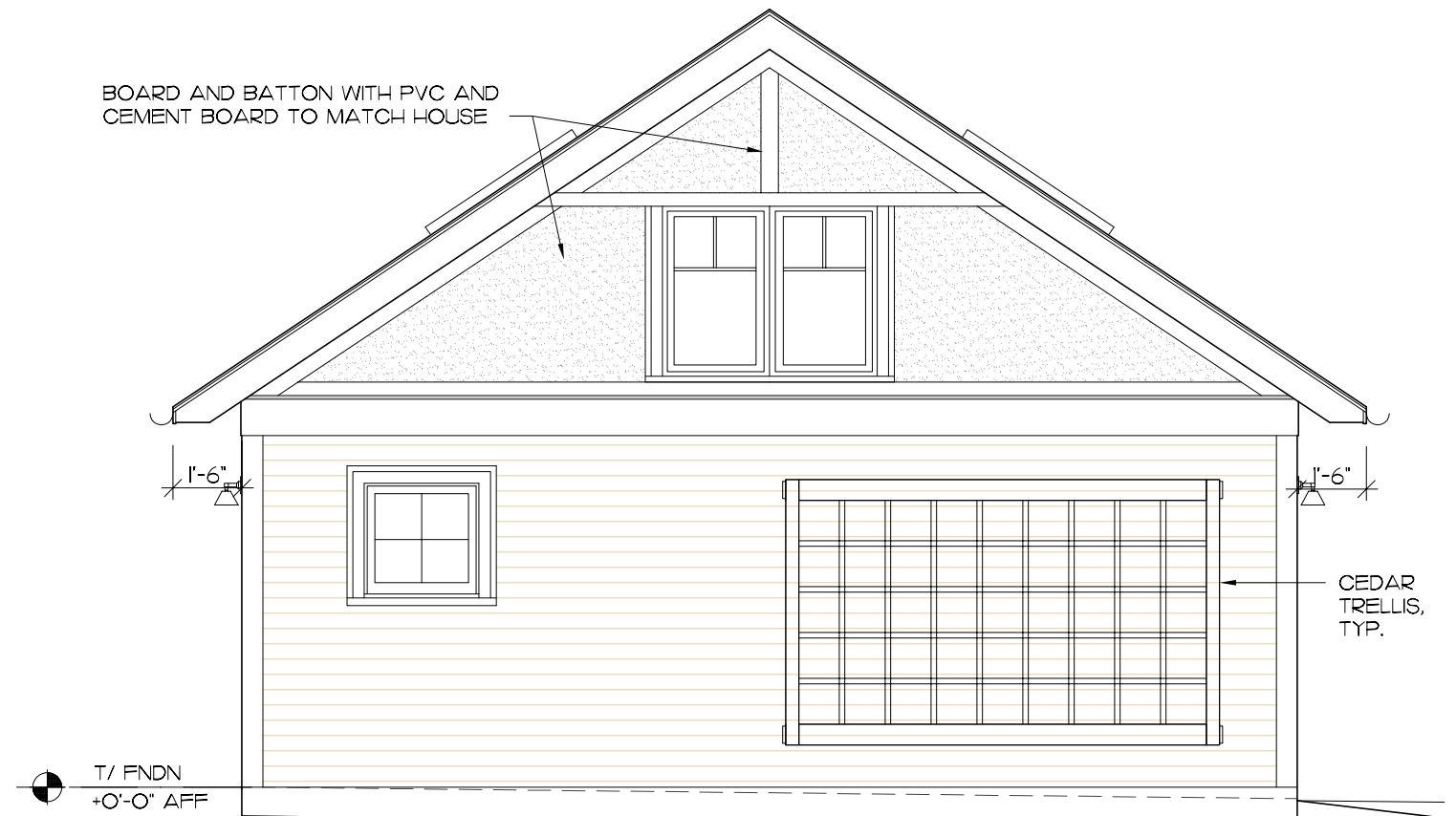
735 N Vail Ave.
 Arlington Heights, IL 60004
 Phone: 773.450.6000

August 19, 2016



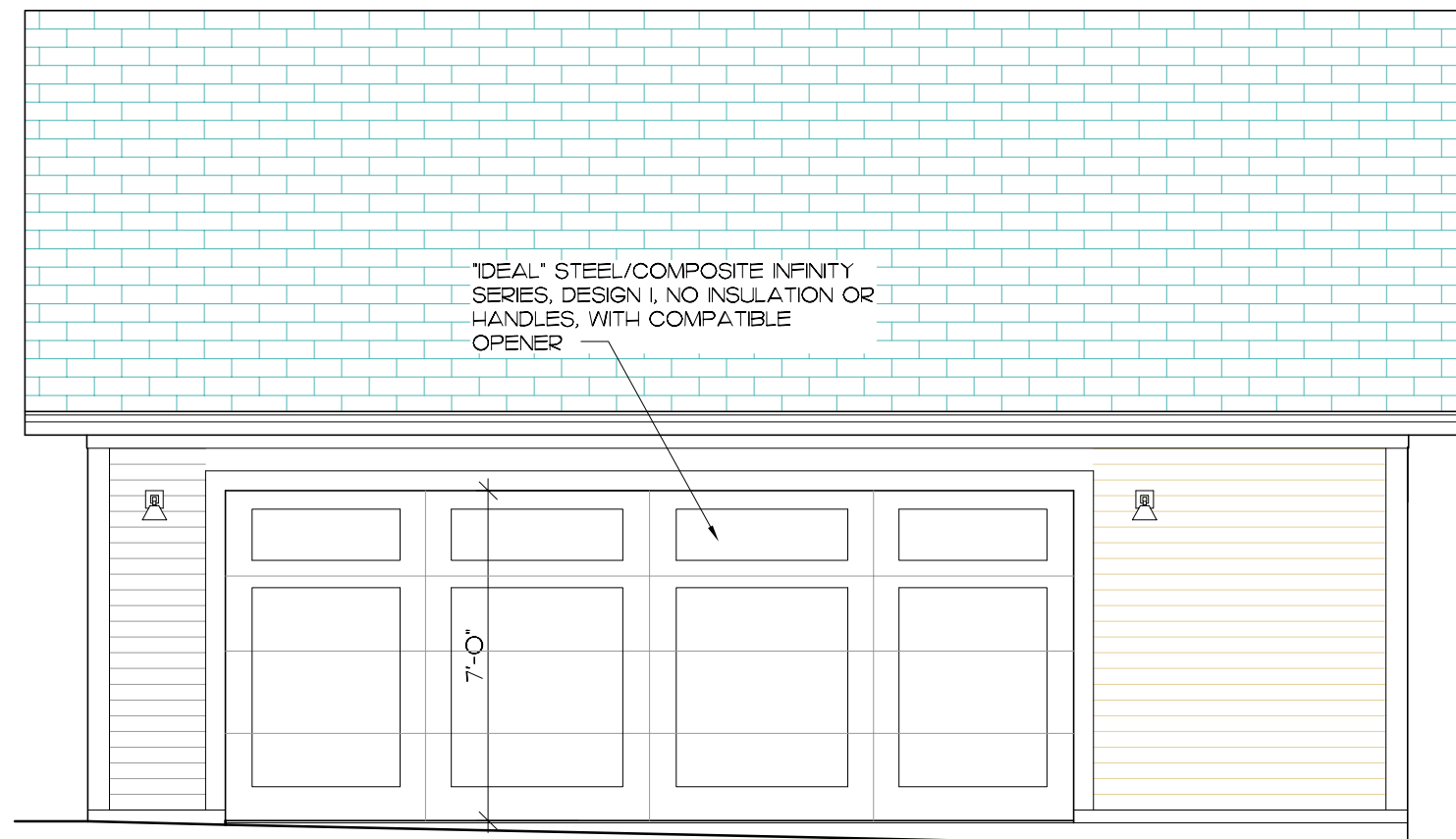
WEST ELEVATION

S C A L E: 1/4" = 1'-0"



SOUTH ELEVATION

S C A L E: 1/4" = 1'-0"



EAST ELEVATION

S C A L E: 1/4" = 1'-0"



Item: Walters Residence - 501 N. Derbyshire Ave.

Department: Planning & Community Development

REQUEST

1. A 22.9 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a rear yard setback of 7.1 feet from the north property line instead of the minimum 30 feet and an additional 1.0 feet for the eave.
2. A 2.5 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a covered front entry with an exterior side yard setback of 23.5 feet from the west property line instead of the minimum 26.0 feet.

ATTACHMENTS:

Description

Staff Report
Department Comments
Supporting Documents

Type

Board or Commission Report
Correspondence
Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: September 19, 2016
Date Prepared: September 13, 2016
Project Title: Walters Residence
Address: 501 N. Derbyshire Ave.

Background Information

Petition Number: ZBA #16-045
Petitioner: Joshua Walters
Address: 1724 N. Windsor Dr.
Arlington Heights IL 60004
Existing Zoning: R-3, Single-Family District

Requested Action/Background Information

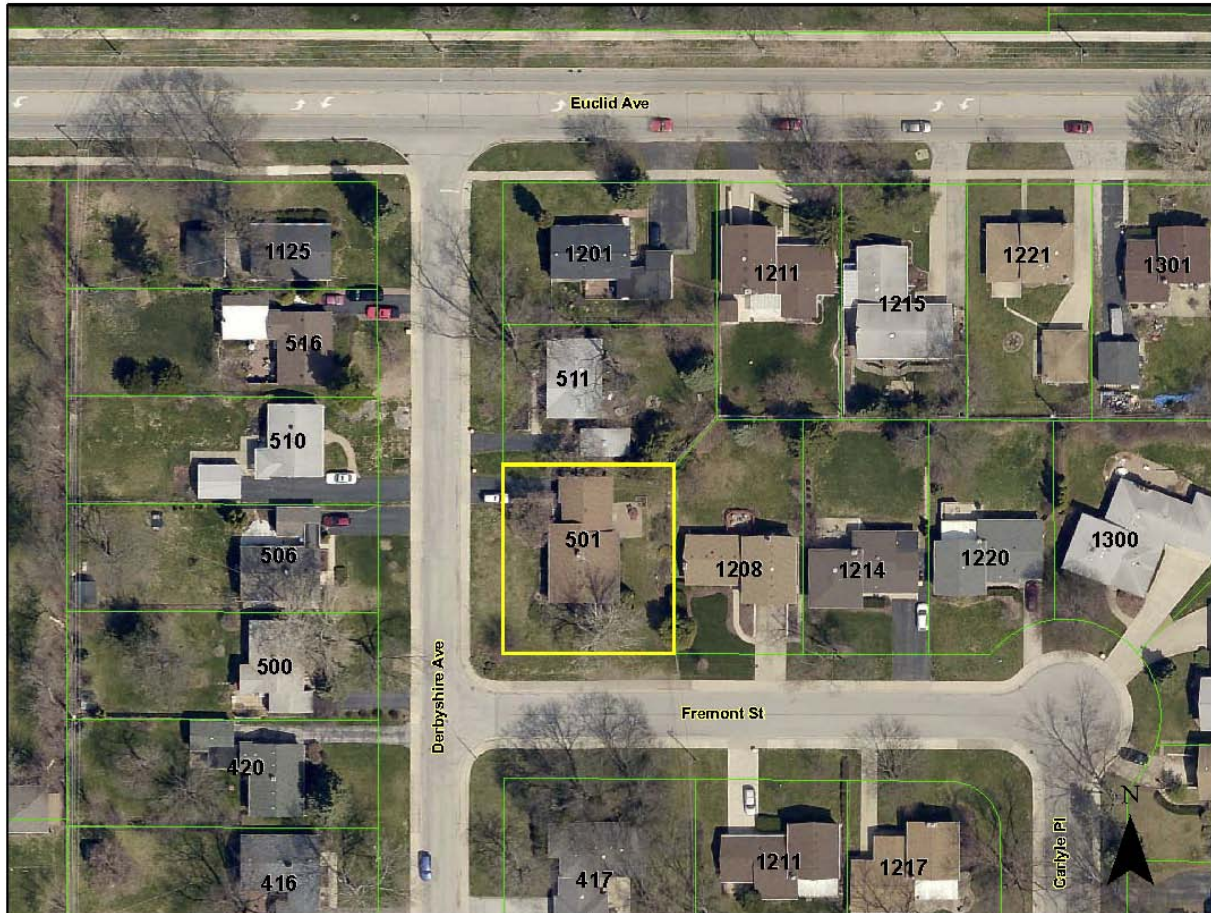
The petitioner is proposing to expand an existing single story home with a second floor addition. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of approximately 9,064 square feet and the residence, with the proposed addition, will have approximately 2,762 square feet. The existing attached garage is encroaching into the required rear yard setback and the petitioner is proposing a second floor addition above the garage. In addition, the petitioner is proposing a covered front entry that is encroaching into the required exterior side yard setback. Therefore the petitioner requests the following variations:

- A 22.9 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a second story addition with a rear yard setback of 7.1 feet from the north property line instead of the minimum 30 feet and an additional 1.0 feet for the eave.
- A 2.5 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a covered front entry with an exterior side yard setback of 23.5 feet from the west property line instead of the minimum 26.0 feet.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	9/2/16	
2. List of Property Owners Within 250 feet of Subject Property	✓	9/2/16	
3. Letter that was Mailed	✓	9/6/16	
4. Photographs of Sign on Property	✓	9/2/16	

Photographs of Existing Structure



ZBA# 16-045
501 N Derbyshire - ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering

Submitted: September 1, 2016
Completed: September 2, 2016

The proposed ZBA application indicates that the petitioner is seeking:

A 22.9 ft variance to allow an addition with a rear yard setback of 7.1 ft from the north property line instead of the minimum 30 ft and an additional 1 ft for the eave;

And A 2.5 ft variance to allow a covered front entry with an exterior side yard setback of 23.5 ft from the west property line instead of the minimum 26 ft.

Note: The plans are for a second story addition/remodel. The setbacks are existing, and the overall footprint of the home will not be greatly altered.

The Engineering Department has NO OBJECTION to the proposed variations.

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PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Walters Residence

Project Address: 501 N. Derbyshire Ave.

ZBA #: 16-045

ZBA Hearing Date: September 19, 2016

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: September 1, 2016

- A 22.9 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a rear yard setback of 7.1 feet from the north property line instead of the minimum 30 feet and an additional 1.0 feet for the eave.
- A 2.5 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a covered front entry with an exterior side yard setback of 23.5 feet from the west property line instead of the minimum 26.0 feet.

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SEP 26 2016

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other:

Comments: NO COMMENTS FROM BUILDING - C. CRAIG
9-6-16

Please review, comment, and return to me no later than Friday, September 9, 2016.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Walters Residence

Project Address: 501 N. Derbyshire Ave.

ZBA #: 16-045

ZBA Hearing Date: September 19, 2016

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: September 1, 2016

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- A 2.5 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a covered front entry with an exterior side yard setback of 23.5 feet from the west property line instead of the minimum 26.0 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THE PROPOSED ADDITION IS NICELY DESIGNED AND IS FAVORABLE FOR AN ADMINISTRATIVE DESIGN APPROVAL PENDING

Please review, comment, and return to me no later than Friday, September 9, 2016.
THE OUTCOME OF THE ZBA REVIEW.

-S. HAUTZINGER, DESIGN PLANNER

Petition

NOW COMES the Petitioner, Joshua Walters being the legal owner of the property commonly known as: 501 N Derbyshire Ave, Arlington Heights, IL and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.6, Chapter 28, of the Arlington Heights Municipal Code, in order to:

Build an addition above the current garage & house, as well as build a portico with an entry surface that is 10' wide. The current practical side yard with the garage structure is legally deemed to be the back of the lot, due to the corner lot measurements and therefore encroaches on the 'back yard' setback of 30 feet. The addition will not enlarge the footprint of the house with the exception of the addition of the portico (10' wide and 4' length).

I hereby state that the following hardship would exist if the variation were not granted:

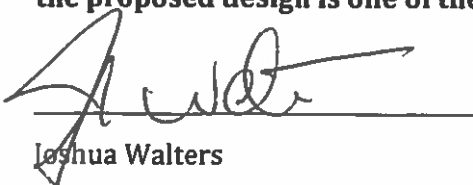
The addition above the garage structure enhances the beauty of the completed house and balances the structure aesthetically. By not being able to complete the project as proposed, the neighborhood would be less attractive and the future resale value of this property would be dramatically reduced due to the reduced size and awkward external elevation of the front of the house. The current design has been thoroughly thought out and we have taken great care to blend this property into the local neighborhood.

I hereby state that the following unique circumstances exist:

The addition proposed is only in violation due to a technicality of the definition of the 'front' of the lot. The practical front of the property is facing Derbyshire and the practical side yard would be subject to a setback of 10 feet instead of the current 30 feet.

I hereby state that the variation, if granted, will not alter the essential character of the locality because:

The project is specifically designed to blend into and enhance the current Arlington Heights neighborhood. Significant time was spent considering the current character of the neighborhood and the proposed design is one of the best options for this property.



Joshua Walters

Ph: (847) 687-1628

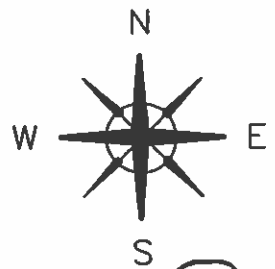
Date: 8/30/16

RECEIVED
AUG 30 2016
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



SCALE: 1" = 20 FEET

PLAT OF SURVEY OF



LOT 36 IN WINDSOR HEIGHTS, BEING A SUBDIVISION OF THE EAST HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF REGISTERED AS DOCUMENT NUMBER 1396804, IN COOK COUNTY, ILLINOIS.

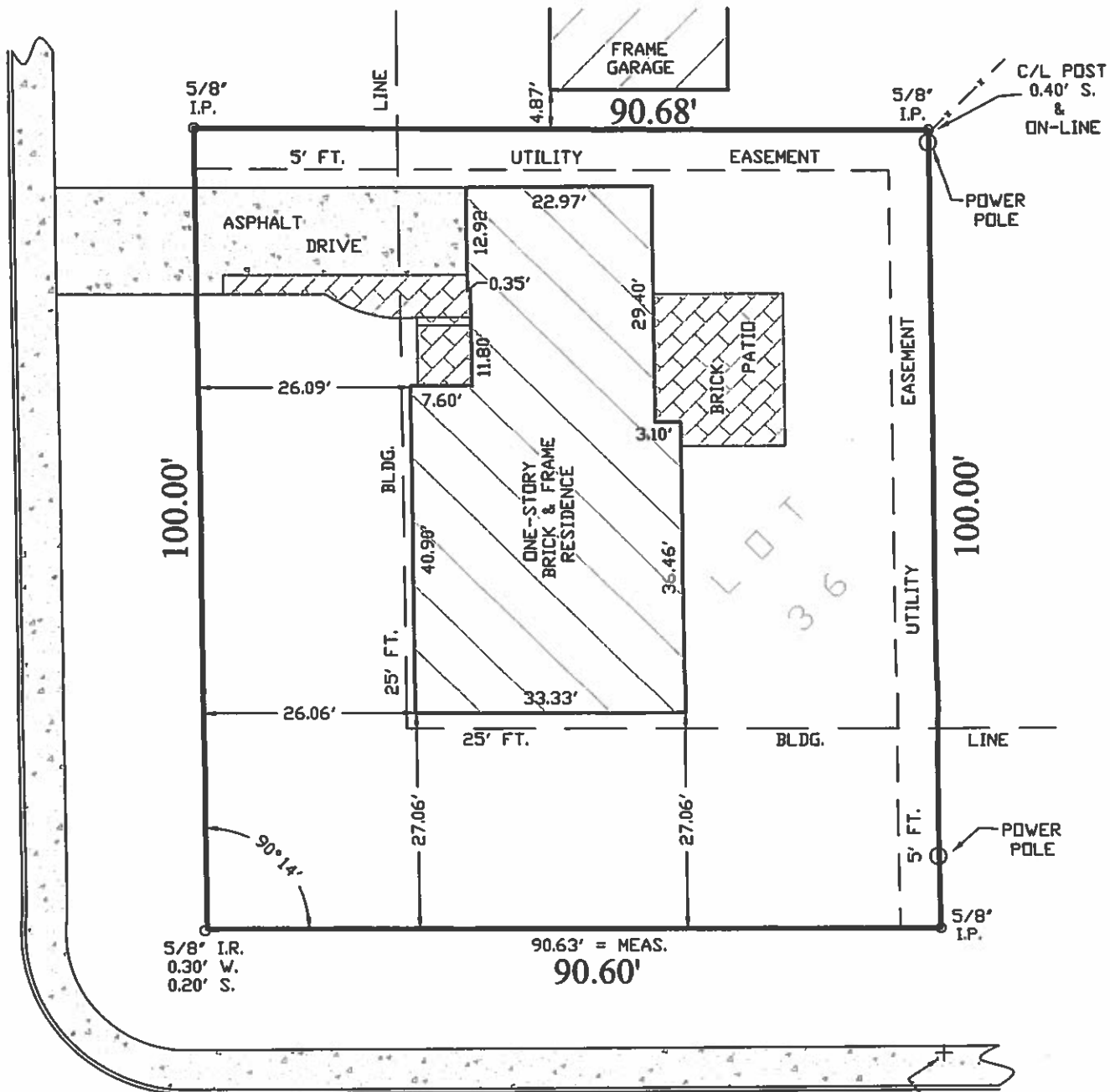
RECEIVED

AUG 30 2016

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

DERBYSHIRE LANE

R.O.W. = 66'



R.O.W. = 66'

FREMONT

STREET

STATE OF ILLINOIS)
COUNTY OF KANE) SS:

I, ANDREW J. TOBIN, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY ACCORDING TO THE OFFICIAL RECORD, AND THAT THE PLAT CORRECTLY REPRESENTS SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS.

BY: Andrew J. Tobin
PROFESSIONAL LAND SURVEYOR
LICENSE NO. 35-3519
EXPIRES 11/30/16



ANY DISCREPANCY IN MEASUREMENTS SHOULD BE PROMPTLY REPORTED TO THE SURVEYOR FOR EXPLANATION OR CORRECTION.

COMPARE THE DESCRIPTION ON THIS PLAT WITH DEED.
REFER TO DEEDS FOR EASEMENTS AND BUILDING LINES.

THIS SURVEY IS ONLY VALID WHEN ACCOMPANIED BY AN EMBOSSED SEAL.

DATED: MARCH 21, 2016
PREPARED FOR: SAMMONS LAW OFFICE
PROPERTY ADDRESS: 501 DERBYSHIRE LN.
ARLINGTON HEIGHTS, ILLINOIS
SURVEY ORDER NO: 16062

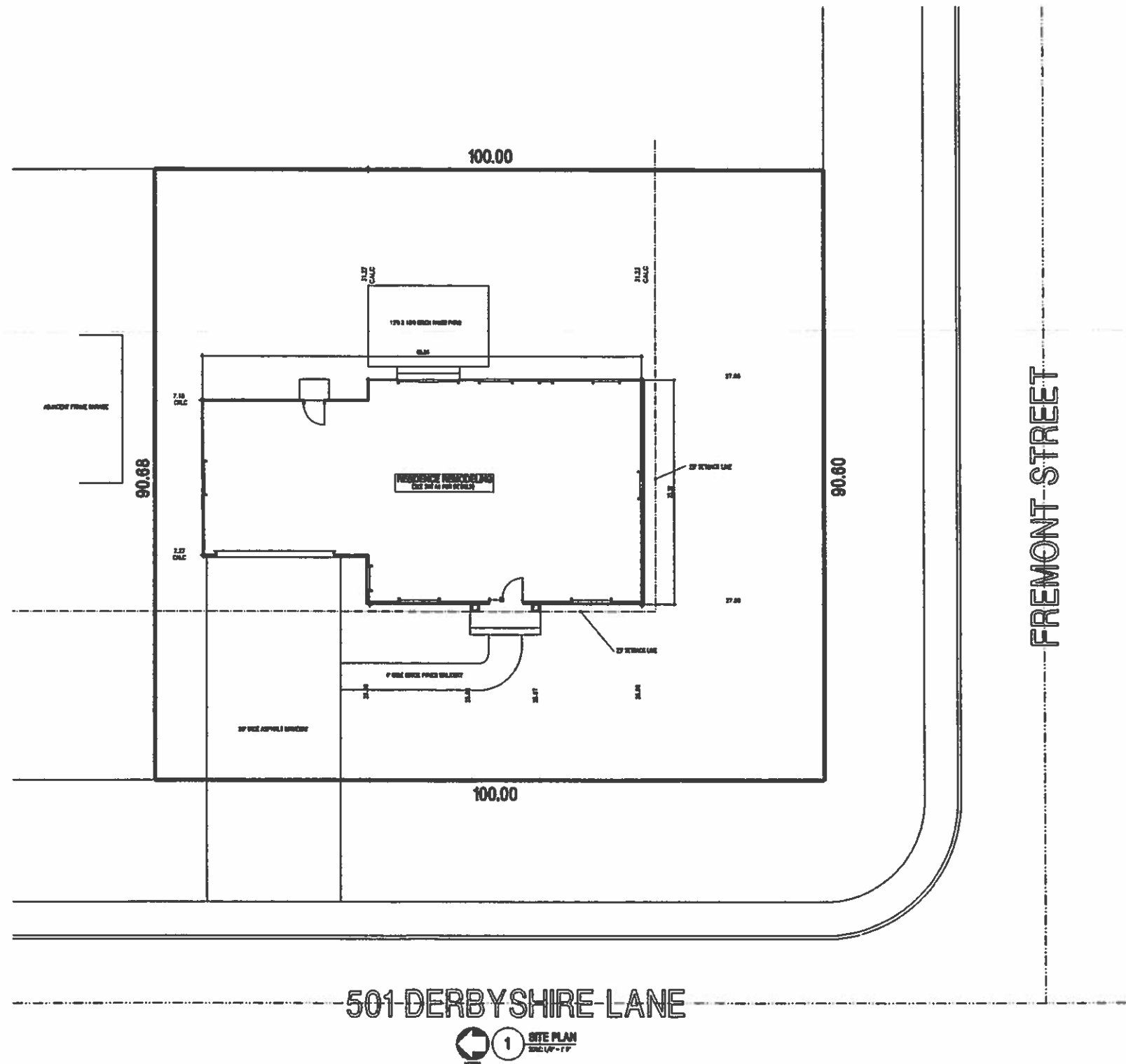
INDICATES FOUND STAKE ○ CHAIN LINK FENCING ---
INDICATES SET STAKE ● WOOD FENCING ---
INDICATES CONCRETE [Hatched Box]

ANDREW J. TOBIN

P.O. BOX 42 DUNDEE, ILLINOIS 60118 847-695-4235

08/29/16
SCALE: 1" = 20' 0"

1. TOTAL LOT AREA = 9064.0 SF
2. BUILDING FOOTPRINT = 1952.0 SF
3. OTHER IMPERVIOUS AREA = 1080.7
 - A. REAR PATIO AND STOOP
 - B. FRONT STOOP
 - C. FRONT WALK
 - D. BACK GARAGE STOOP
 - E. DRIVEWAY
4. TOTAL IMPERVIOUS (BLDG + OTHER) = 3037.7 SF
5. PERCENTAGE LOT AREA IMPERVIOUS = 33.46%
6. TOTAL BUILDING AREA (INCL GARAGE) = 3385.3 SF
7. PERCENTAGE FAR OF TOTAL LOT = 37.35%



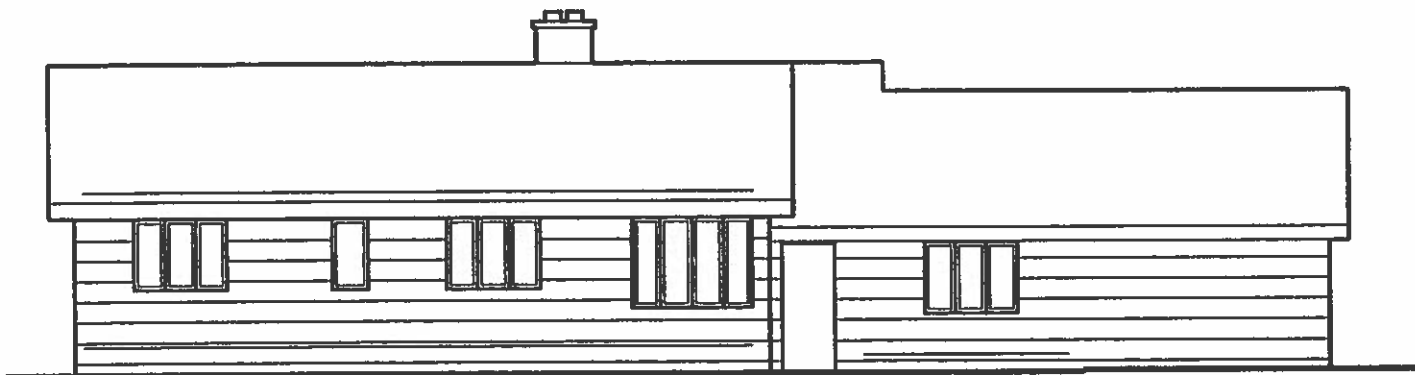
SET CONSISTS OF 07 SHEETS INCLUDING THIS SHEET
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SET IN ENTIRETY OR PORTIONS MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN APPROVAL

501 DERBYSHIRE LANE ARLINGTON HEIGHTS, IL	NOT FOR CONSTRUCTION NOT FOR RECORD NOT FOR PERMIT NOT FOR CONDT. NOT FOR RECORD NOT FOR REPAIRS	RCF 08/29/16 08/29/16 N/A	WRR 1672 02 2 -07
EXISTING / PROPOSED SITE PLAN			

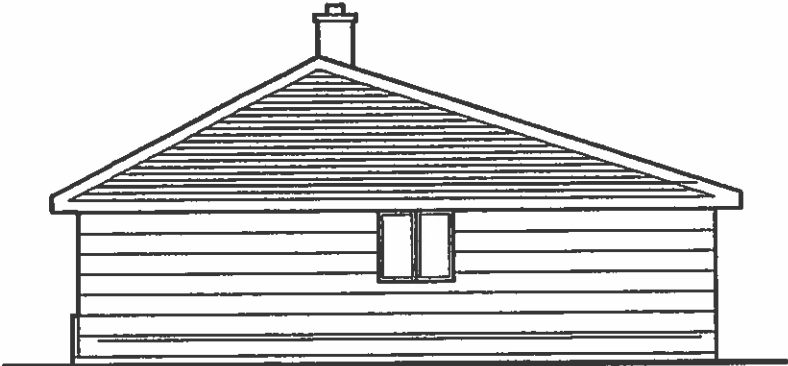
501 DERBYSHIRE
EXISTING PLAN / ELEVATIONS

08/29/2016
SCALE: 1" = 10' 0"

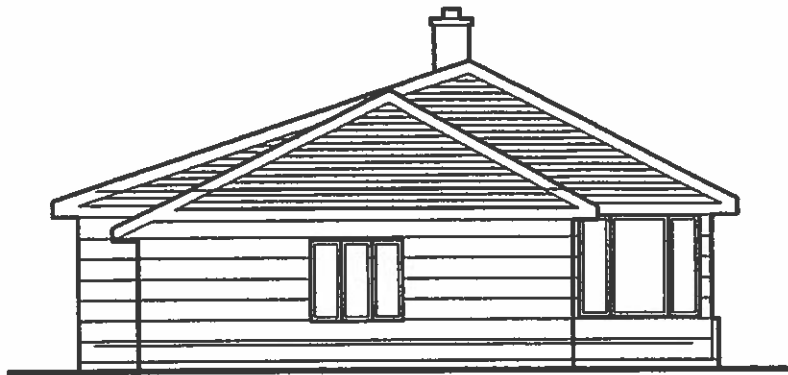
65' 11"



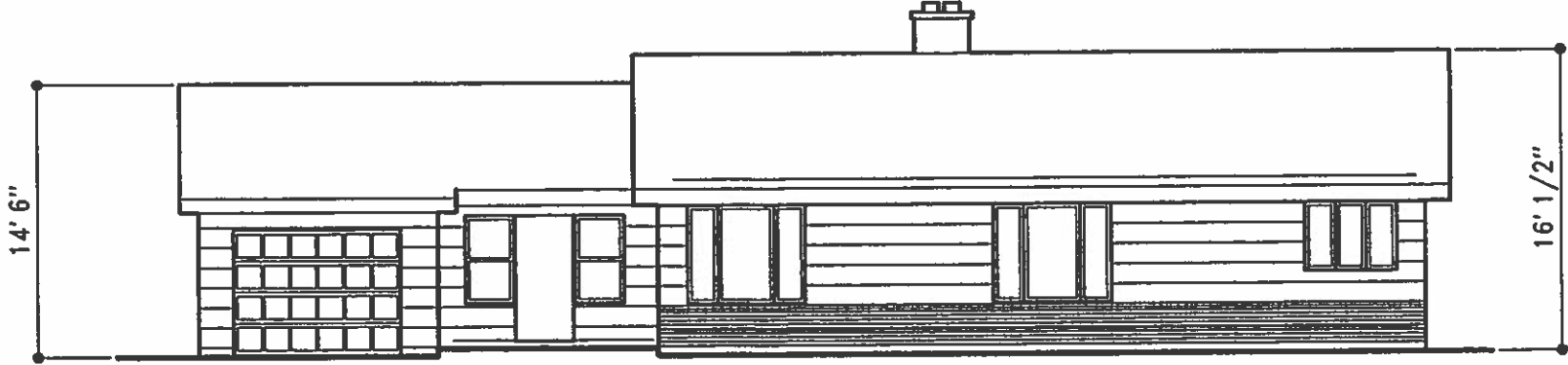
EXISTING REAR (EAST ELEVATION)



EXISTING RIGHT SIDE (SOUTH ELEVATION)



EXISTING LEFT SIDE (NORTH ELEVATION)



EXISTING FRONT (WEST ELEVATION)

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ronald c. flubacker a.l.a.
architecture
construction management
barrington, illinois (847) 281-0488

501 DERBYSHIRE LANE
ARLINGTON HEIGHTS, IL

EXISTING RESIDENCE PLAN AND ELEVATIONS

NOT FOR CONSTRUCTION
NOT FOR PERMIT
NOT FOR RECORD
NOT FOR REVISION

RCF

08/29/16

08/29/16

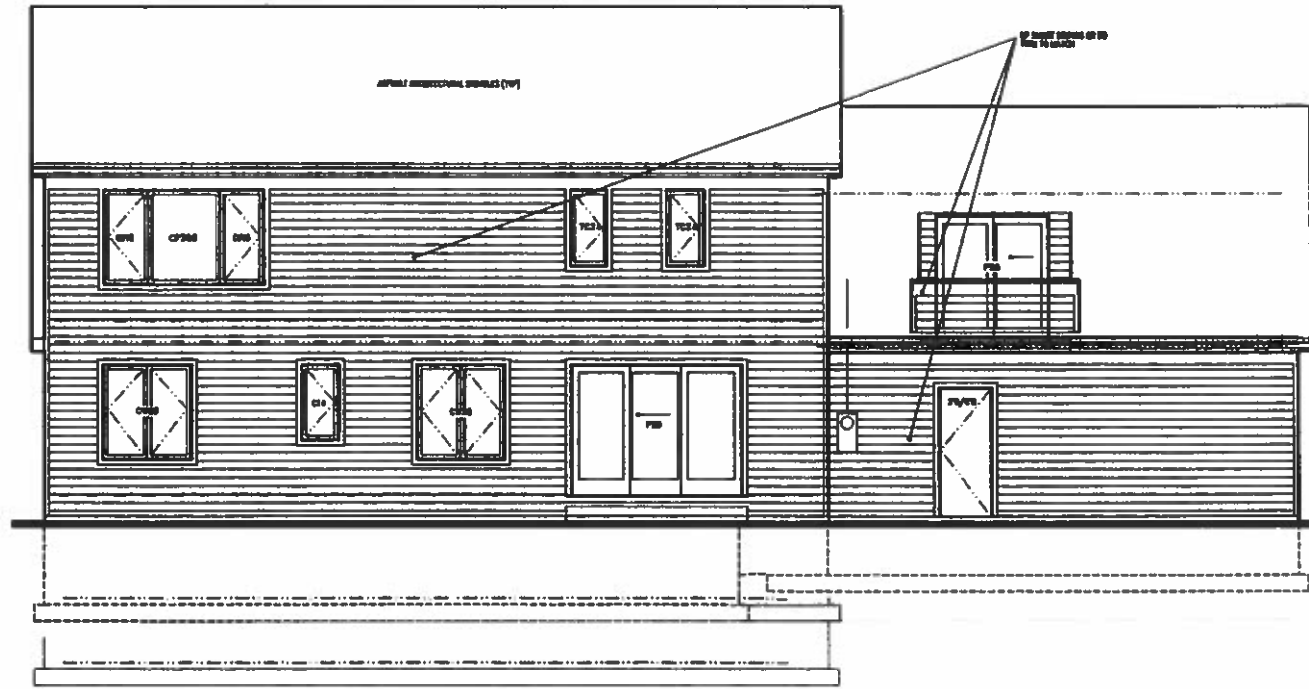
N/A

WRR 1672

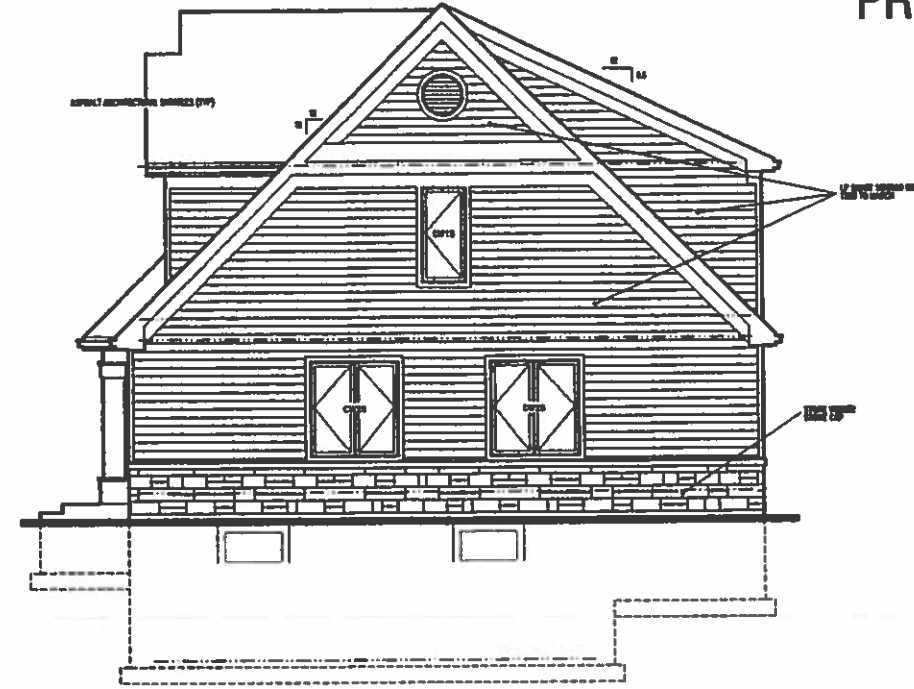
3

501 DERBYSHIRE PROPOSED ELEVATIONS

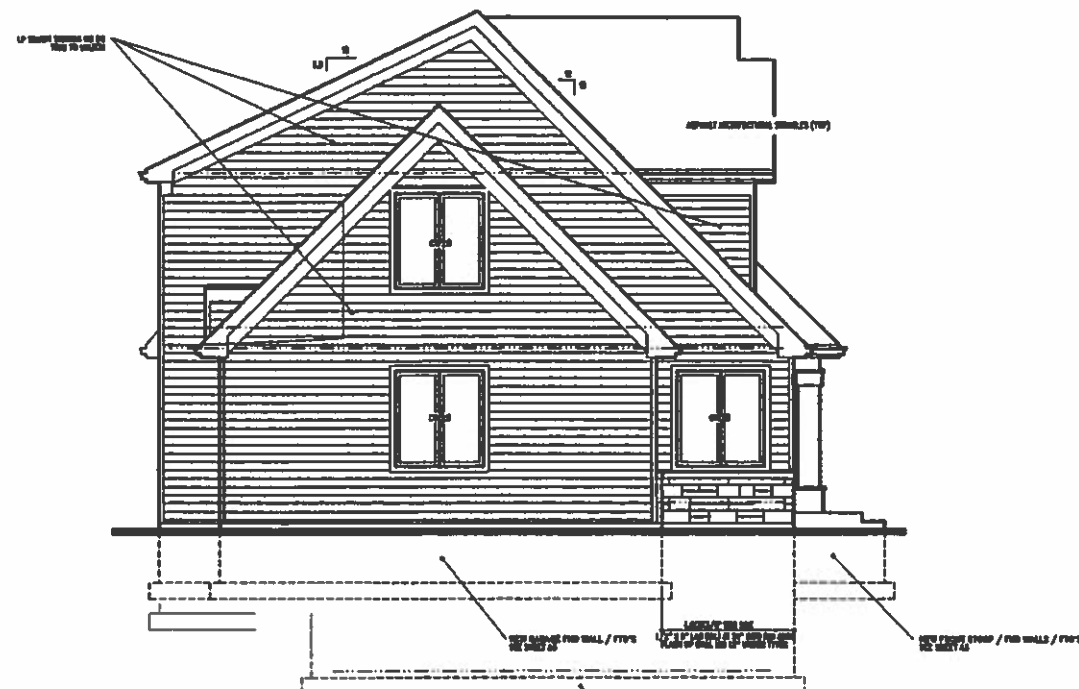
08/28/2016
SCALE: 1" = 10' 0"



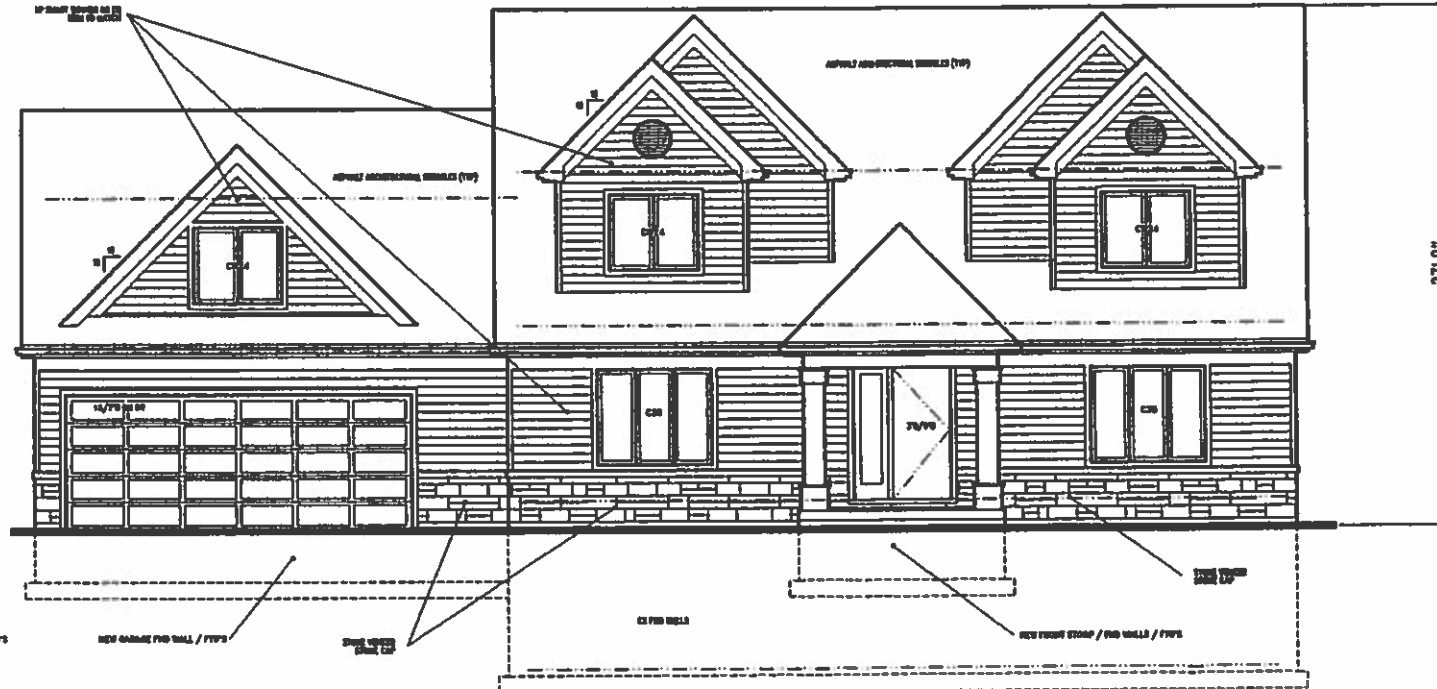
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION (FRONT)

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construction management
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501 DERBYSHIRE LANE
ARLINGTON HEIGHTS, IL

PROPOSED ELEVATIONS

NOT FOR CONSTRUCTION
NOT FOR PERMIT
NOT FOR COST
NOT FOR RECORD
NOT FOR HEADINGS

RCF

08/28/16

08/28/16

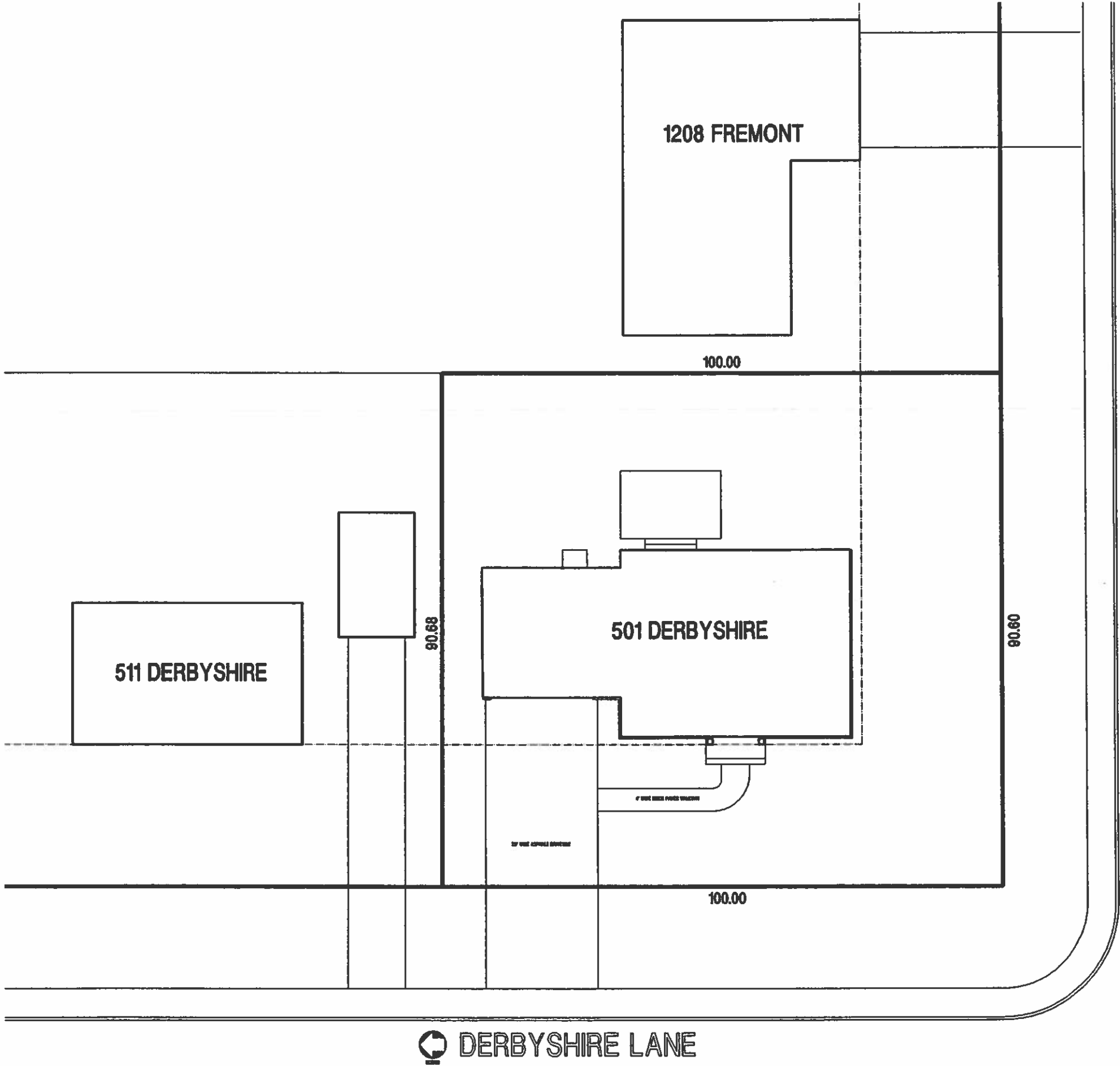
N/A

WRR 1672

05

5

07



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NO.	DATE	DESCRIPTION

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architecture
construction management
barrington, illinois (847) 381-0488

501 DERBYSHIRE LANE ARLINGTON HEIGHTS, IL	EXISTING SURROUNDINGS / BUILDINGS
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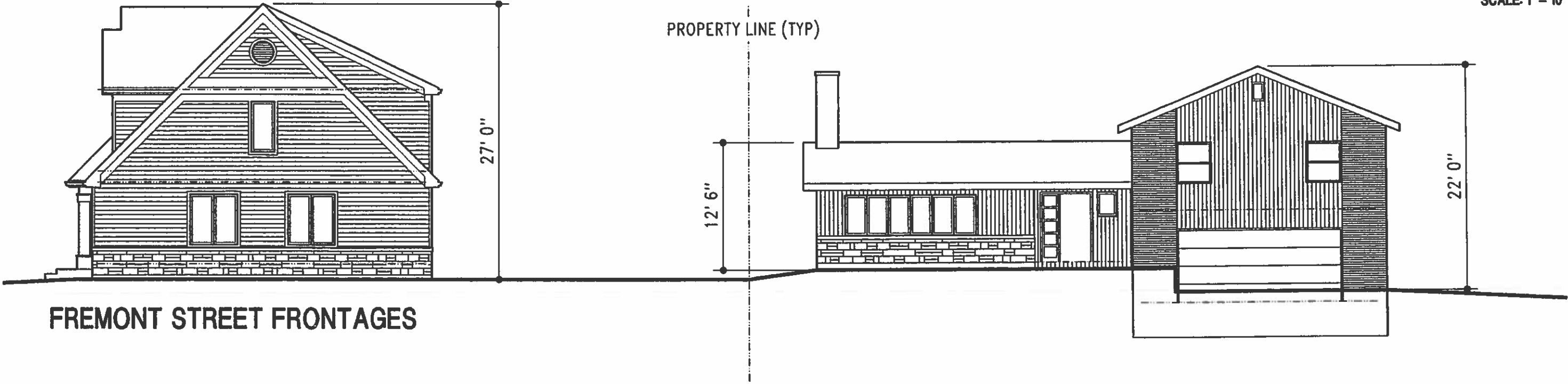
NOT FOR CONSTRUCTION NOT FOR RECORD NOT FOR PERMIT NOT FOR CONVEY. NOT FOR RECORD NOT FOR RECORD NOT FOR RECORD

RCF
08/29/16
08/29/16
N/A

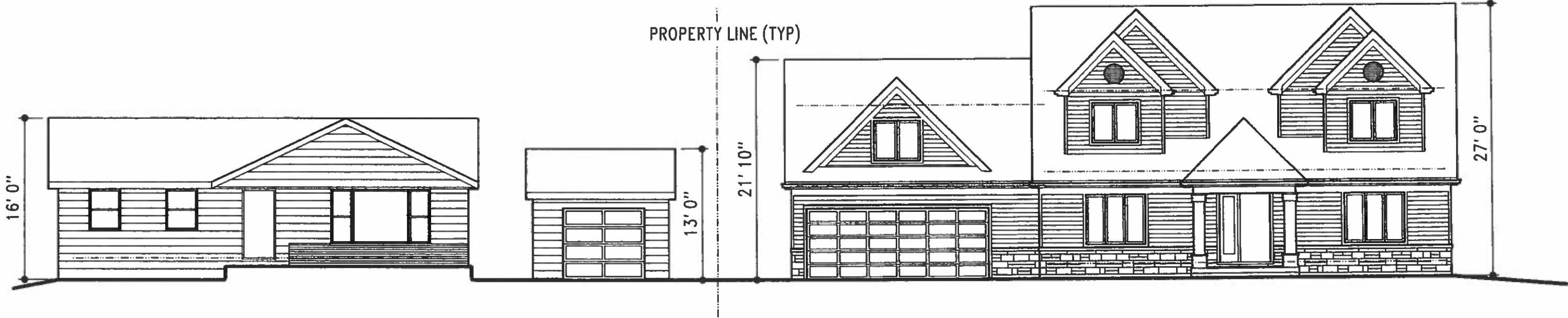
WRR 1672
06
6
07

501 DERBYSHIRE
STREET FRONT ELEVATIONS

08/29/2016
SCALE: 1" = 10' 0"



FREMONT STREET FRONTAGES



DERBYSHIRE LANE FRONTAGES

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DATE	DESCRIPTION
08/29/16	REVISED SOUTH ELEVATION / FREMONT FRONTAGE

ronald c. flubacker a.l.a.
architecture
construction management
barrington, illinois (847) 381-6100

501 DERBYSHIRE LANE ARLINGTON HEIGHTS, IL	RCF	WRR 1672
	08/29/16	07
	08/29/16	7
STREET FRONTAGES	N/A	07