



Village of Arlington Heights
Conceptual Plan Review Committee
Community Room, 3rd Floor
33 S. Arlington Heights Rd.
July 14, 2021
6:30 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. 1016 W. Campbell St. Subdivision - T1742
Subdivision, Variations
- B. 630 W. Northwest Hwy. Bank - T1745
Special Use Permit for a Bank with drive-thru

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



**Conceptual Plan Review Committee
7/14/2021**

Item: 1016 W. Campbell St. Subdivision - T1742

Department: Planning & Community Development

Requested Action

1. Preliminary and Final Plat of Subdivision approval to subdivide the subject property into two lots.

Variations Required

1. Variation from Chapter 28, Section 5.1-3.1, to allow a lot width of approximately 70' on Lot 2 where code requires a minimum lot width of 75'.
2. Variation from Chapter 28, Section 5.1-3.2d., to allow an approximately 13.8' rear yard setback for the existing home on Lot 1.
3. Additional variations may be identified once details plans are received.

Recommendation

The Staff Development Committee (SDC) reviewed the proposed two-lot subdivision and the following variations from the Municipal Code:

- Variation from Chapter 28, Section 5.1-3.1, to allow a lot width of approximately 70' on Lot 2 where code requires a minimum lot width of 75'.
- Variation from Chapter 28, Section 5.1-3.2d., to allow an approximately 13.8' rear yard setback for the existing home on Lot 1.

The SDC is generally supportive of a subdivision in this location, however, prior to finalizing a recommendation on the application, the petitioner shall address the following:

1. The petitioner shall provide written justification to the following hardship criteria for each variation requested:
 - The proposed use will not alter the essential character of the locality and will

be compatible with existing uses and zoning of nearby property.

- The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.
- The proposed variation is in harmony with the spirit and intent of this Chapter.
- The variance requested is the minimum variance necessary to allow reasonable use of the property.

2. Land Dedication for Right-of-Way shall be required along Dwyer Avenue and along Campbell Street.

3. The petitioner must provide a design for the code required two-car garage, curb cut, and driveway on Lot 1, for review and approval by Staff. Said improvements must be constructed at time of demolition of the garage on proposed Lot 2.

4. The existing garage on proposed Lot 2 shall be demolished no more than six months after subdivision approval.

5. Impact fees shall be required for the new home that will be constructed on Lot 2.

6. A Design Commission application shall be required for any new home on the subject property.

7. Linkage fees, in accordance with the Inclusionary Housing Ordinance, shall be required for any new home on the subject property.

8. The petitioner shall provide an exhibit showing all existing building setbacks along the north side of Campbell Street, east of Dwyer Avenue and west of Kennicott Avenue, as well as the existing building setbacks along the east side of Dwyer Avenue, north of Campbell Street and south of Wing Street.

9. A fee in lieu of onsite detention shall be required.

10. The petitioner shall comply with all Federal, State, and Village Codes, Regulations, and Policies.

11. These are preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:

Description

Staff Report

Type

Board or Commission Report

Aerial
Plat of Survey
Conceptual Subdivision

Exhibits
Exhibits
Exhibits



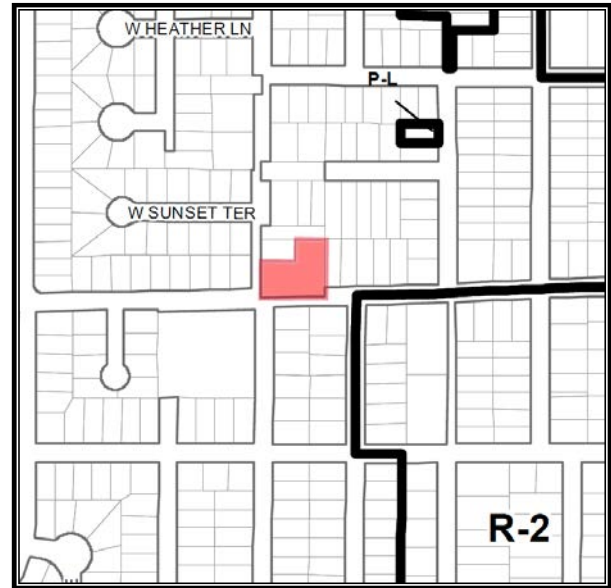
VILLAGE OF ARLINGTON HEIGHTS
STAFF DEVELOPMENT
COMMITTEE REPORT

Temp File Number: T1742
Project Title: 1016 W. Campbell Subdivision
Location: 1016 W. Campbell Street
PIN: 03-30-306-019

To: Conceptual Plan Review Committee
Prepared By: Sam Hubbard, Development Planner
Meeting Date: July 14, 2021
Date Prepared: July 2, 2021

Petitioner: Ralph Milito
Century 21 Elm
Address: 741 Devon Avenue
Park Ridge, IL 60068

Existing Zoning: R-3: One-Family Dwelling District
Comprehensive Plan: Single-Family Detached



SURROUNDING LAND USES:

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	R-3: One-Family Dwelling District	Single-Family Homes	Single-Family Detached
South	R-3: One-Family Dwelling District	Single-Family Homes	Single-Family Detached
East	R-3: One-Family Dwelling District	Single-Family Homes	Single-Family Detached
West	R-3: One-Family Dwelling District	Single-Family Homes	Single-Family Detached

Requested Action:

1. Preliminary and Final Plat of Subdivision approval to subdivide the subject property into two lots.

Variations Required:

1. Variation from Chapter 28, Section 5.1-3.1, to allow a lot width of approximately 70' on Lot 2 where code requires a minimum lot width of 75'.
2. Variation from Chapter 28, Section 5.1-3.2d., to allow an approximately 13.8' rear yard setback for the existing home on Lot 1.
3. Additional variations may be identified once details plans are received.

Project Background:

The subject property is located at the northeast corner of Campbell Street and Dwyer Avenue and is 30,196 square feet in size (0.69 acres). The site is occupied by a single-family home located towards the center of the property and a detached garage on the eastern side of the site. Access comes from a single curb-cut along Campbell, which leads to the existing garage.

The petitioner would like to subdivide the property to create two lots; Lot 1 would be on the western portion of the site and would include the existing home, Lot 2 would be on the eastern portion of the site and would include the existing detached garage. The detached garage would be demolished to make way for a new single-family home on Lot 2, which could take advantage of the existing curb cut on Campbell. The petitioner is not proposing demolition of the existing home on Lot 1, however, a new garage would need to be constructed to serve that home.

Zoning and Comprehensive Plan

The subject property is currently zoned R-3, One-Family Dwelling District, and single-family homes are a permitted use within the R-3 Zoning District. The Comprehensive Plan shows this property as suitable for “Single-Family Detached” uses, which classification corresponds to the R-3 zoning on the site, as well as the and current and proposed single-family uses. While the orientation of the existing home on the property places the front door of the house facing Campbell Street, the front yard for Lot 1, as defined by the Zoning Code, is along Dwyer Avenue.

The Staff Development Committee has analyzed the proposed lots in relation to the Zoning Code requirements and **Table 1** below shows this analysis:

Table 1:

Zoning Requirements	Minimum Lot Size SF	Minimum Lot Width (feet)
Required		
R-3 Lot	9,900 SF (Corner) 8,750 SF (Interior)	Interior Lot: 75' (if between 10,000 – 14,999 SF) Corner Lot: 90' (if between 10,000 – 14,999 SF)
Proposed		
Lot 1 (Corner)	11,952 SF	98.78'
Lot 2 (Interior)	11,814 SF	70.03'

The lot width for Lot 2 does not conform to the minimum allowable lot sizes and therefore the following variation would be required:

- **Variation from Chapter 28, Section 5.1-3.1, to allow a lot width of approximately 70' on Lot 2 where code requires a minimum lot width of 75'.**

Additionally, the proposed lot line that would divide the site into two lots would be located approximately 13.8 feet east of the existing home on Lot 1. Given the orientation of Lot 1, the area east of the existing house is defined as a rear yard and therefore a 30' rear yard setback is required. The following variation would be required:

- **Variation from Chapter 28, Section 5.1-3.2d., to allow an approximately 13.8' rear yard setback for the existing home on Lot 1.**

The petitioner could adjust the location of the dividing line between the two lots and push it further west to create a code compliant 75' width for Lot 2, however, this would further reduce the rear yard setback for Lot 1, whereby exacerbating the rear yard setback variation. For each requested variation, the petitioner must demonstrate conformance with the standards of approval as outlined within the zoning code. A written justification addressing each standard for each requested variation shall be required:

- **The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property.**
- **The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned.**
- **The proposed variation is in harmony with the spirit and intent of this Chapter.**
- **The variance requested is the minimum variance necessary to allow reasonable use of the property.**

Staff has reviewed the proposed lot sizes in comparison to the existing lot sizes in the vicinity and finds that they are compatible. A chart showing this comparison is shown below and a map depicting the location of the surveyed lot is attached at the end of this report:

Total Number of Lots Surveyed	153 lots
Median Lot Size of All Surveyed Lots	9,581 SF
Average Lot Size of All Surveyed Lots	10,069 SF
Proposed Lot 1	11,952 SF
Proposed Lot 2	11,814 SF

Furthermore, in 2016 a 15-lot single-family home subdivision was approved along Campbell Street just to the east of the subject property, which yielded average lot sizes of 10,716 square feet. It should be noted that the existing Plat of Survey shows the subject property includes land that is within the Campbell and Dwyer Right-of-Ways. This land must be formally dedicated as Right-of-Way as part of this subdivision process and all lot sizes shown above have taken into account this required dedication.

Impact fees shall be required for any new home that will be constructed on Lot 2. In addition, Design Commission approval shall be required for any new home on the subject property. Finally, linkage fees in accordance with the Inclusionary Housing Ordinance, shall be required for any new home on the subject property, which shall be required at time of building permit.

Building, Site, Landscaping:

The front yard setback for Lot 2 will be based on the existing setback of the homes along the Campbell Street frontage. Specifically, the required setback will be determined by the average setbacks of all the existing homes on the frontage, which is the north side of Campbell between Dwyer and Kennicott. The petitioner will need to provide an exhibit showing these setbacks, which will allow staff to calculate the code required front yard setback for Lot 2 and the code required exterior side yard setback for Lot 1. With regards to the required front yard setback on Lot 1, it will be based on the average setback of the existing homes on the Dwyer frontage, which is the east side of Dwyer between Campbell and Wing Street. An exhibit showing these setbacks must also be provided.

As noted above, a garage must be constructed for the existing home on Lot 1. Given the orientation of the lot, topography, and proposed lot lines it may not be possible to fit a code compliant two-car garage on the

east side of Lot 1. Therefore, the only viable location would likely be to the north/northwest of the existing home with access coming from a curb cut along Dwyer. This would place the garage in a non-compliant location as garages are only allowed within a rear yard, and depending on the final placement of said garage, it would likely end up in the side or front yard and would require a variation. As part of the subdivision process the petitioner must provide a plan for the code required garage that will need to be constructed on Lot 1. As a condition of any subdivision approval, the existing detached garage would need to be demolished and a new garage and driveway for the existing home on Lot 1 would need to be constructed.

A formal landscape plan is not required for subdivisions that have less than four lots. However, staff notes that there several mature tree on the site that may be worth preserving. While a tree preservation plan is not a code requirement given the small size of the subdivision, as part of the subdivision request, the petitioner is encouraged to preserve any high-quality trees on the site and it should be noted that a new detached garage with driveway access from Dwyer would entail removal of several trees.

Engineering and Infrastructure.

As a two-lot subdivision, no onsite detention will be required. However, the petitioner will need to conform to all applicable Village and Metropolitan Water Reclamation District (MWRD) regulations relative to stormwater, and preliminary detention calculations shall be required as part of any Plan Commission application. For any stormwater capacity required by code but not provided onsite, a fee in lieu of onsite detention shall be required for the volume accommodated in the Village's storm sewer system.

The petitioner should be aware that both Preliminary and Final Plat of Subdivision approval shall be required. The petitioner may opt to submit both a preliminary and final plat of subdivision should they desire to combine preliminary and final subdivision approval into one process. Preliminary engineering plans shall be required for Preliminary Plat of Subdivision approval, and final engineering plans shall be required for Final Plat of Subdivision approval. All public improvement and maintenance bonds/deposits shall be required prior to Final Plat of Subdivision approval by the Village Board.

With regards to infrastructure, the Villages' utility atlas does not show sanitary sewer in the immediate vicinity of this property and it is unclear exactly where/how the subject property is connected to the Villages' sanitary sewer system. The petitioner should consult with an engineer to determine how the existing property is served and whether an extension of the sanitary sewer main is necessary to provide service to the subdivided lots. The eastern side of Dwyer Avenue does not have a sidewalk and the subdivision process requires that this public improvement be constructed. The Village may be open to the possibility of an Estoppel Agreement in lieu of the required sidewalk, but this will need further analysis and should be discussed directly with the Engineering Division.

Parking and Traffic:

A traffic and parking study is only required in subdivisions within the R-3 District that include 100 lots or more. Because the proposed subdivision includes only two lots, no traffic or parking study is required. Each home must have, at a minimum, a two-car garage. Staff expects the proposed subdivision to have a negligible impact on traffic within the vicinity.

RECOMMENDATION

The Staff Development Committee (SDC) reviewed the proposed two-lot subdivision and the following variations from the Municipal Code:

- **Variation from Chapter 28, Section 5.1-3.1, to allow a lot width of approximately 70' on Lot 2 where code requires a minimum lot width of 75'.**
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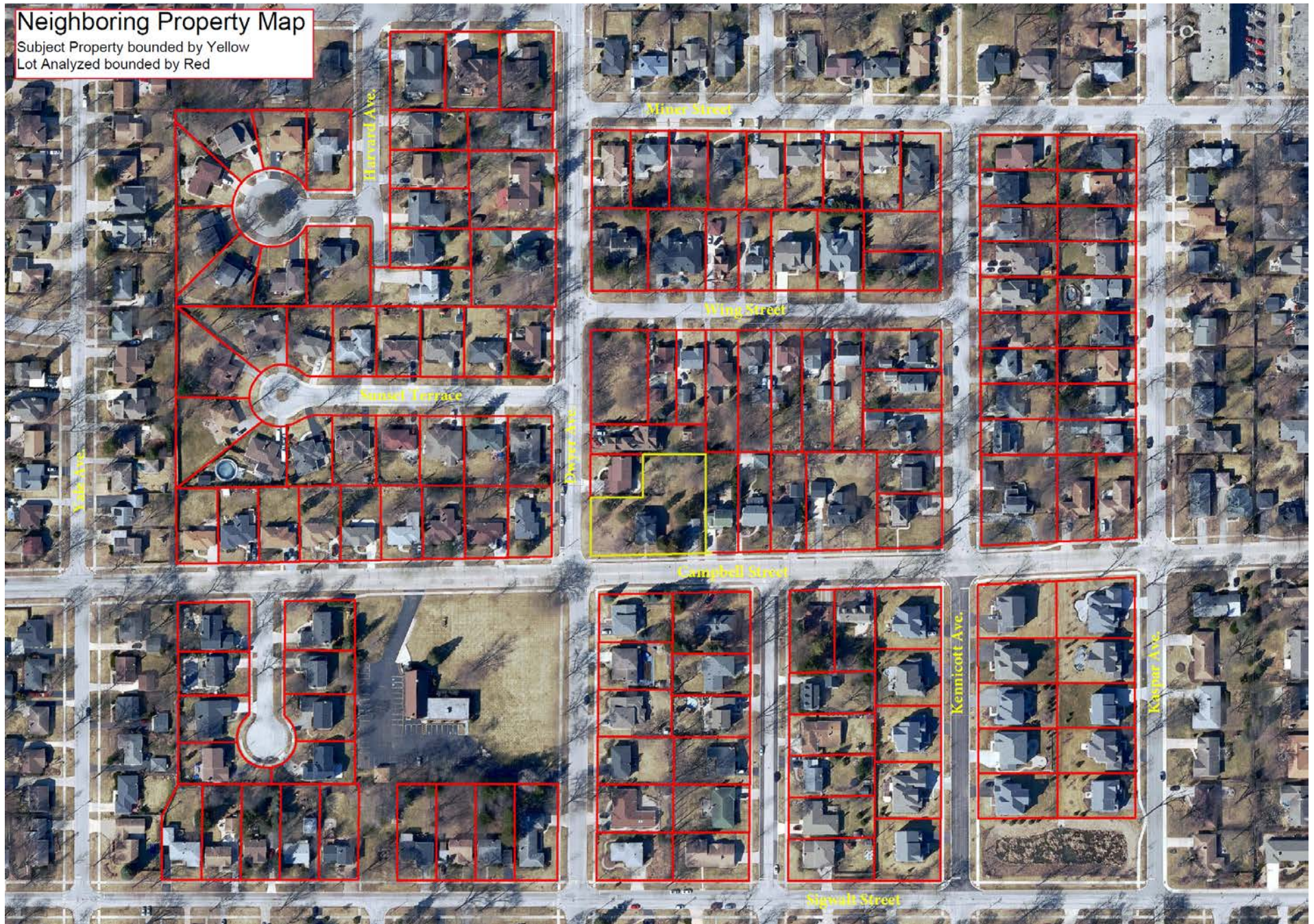
July 2, 2021

Bill Enright, Assistant Director of Planning and Community Development

Cc: Randy Recklaus, Village Manager
All Department Heads
Temp File 1742

Neighboring Property Map

Subject Property bounded by Yellow
Lot Analyzed bounded by Red





Map created on July 2, 2021.

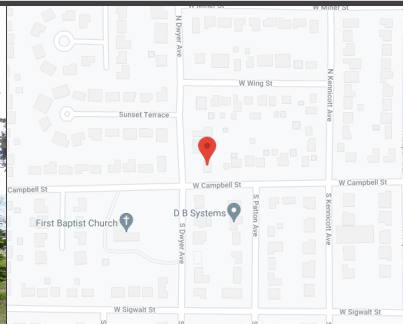
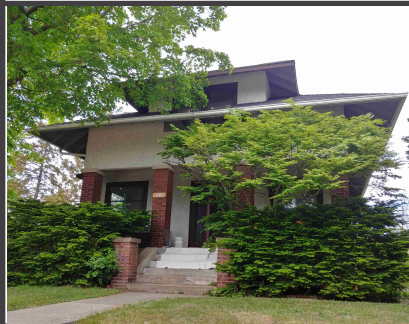
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Disclaimer: This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



www.exactaland.com | office: 773.305.4011



PROPERTY ADDRESS:
1016 W CAMPBELL STREET, ARLINGTON HEIGHTS, ILLINOIS 60005

SURVEY NUMBER: 2105.2414

DATE OF SURVEY: 05/19/21 **FIELD WORK DATE:** 5/17/2021

REVISION DATE(S):
(REV.0 5/19/2021)

POINTS OF INTEREST
NONE VISIBLE

STATE OF ILLINOIS } SS
COUNTY OF LASALLE

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.



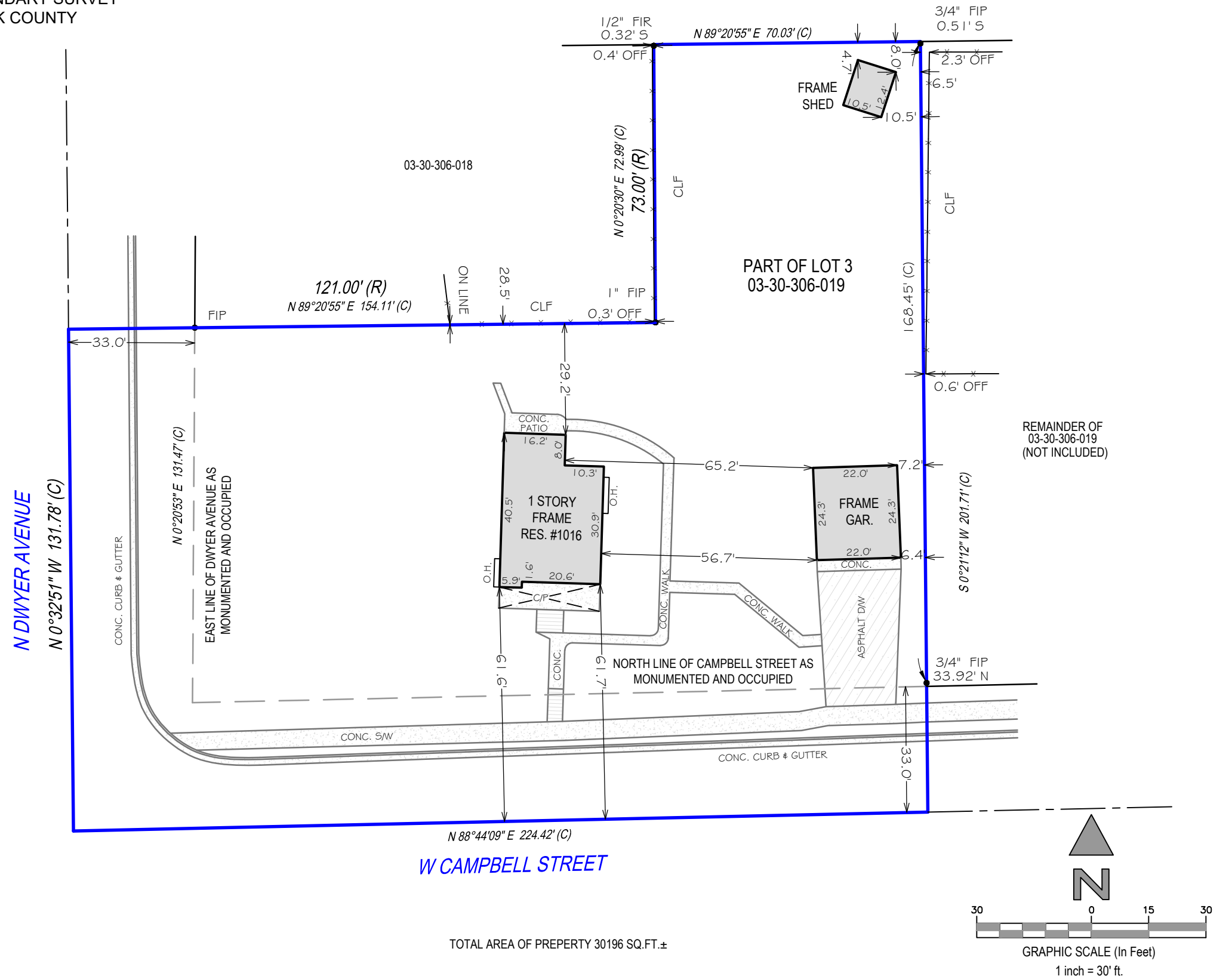
ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971
LICENSE EXPIRES 11/30/2022
EXACTA LAND SURVEYORS, LLC
PROFESSIONAL DESIGN FIRM 184008059-0008



Exacta Land Surveyors, LLC
PLS# 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60450



2105.2414
BOUNDARY SURVEY
COOK COUNTY



PROPERTY ADDRESS:
1016 W CAMPBELL STREET, ARLINGTON HEIGHTS, ILLINOIS 60005

SURVEY NUMBER: 2105.2414

CERTIFIED TO:

DATE OF SURVEY: 05/19/21

BUYER:

LENDER:

TITLE COMPANY:

TITLE COMMITMENT:

CLIENT FILE NO:

LEGAL DESCRIPTION:
LOT 3 (EXCEPT THE NORTH 413 FEET THEREOF) IN BLOCK 1 IN HOELZ' ADDITION TO ARLINGTON HEIGHTS, BEING A PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED, JUNE 21, 1907 AS DOCUMENT NUMBER 4055893 IN BOOK 90 OF PLATS, PAGE 5, (EXCEPT THE NORTH 73 FEET OF THE WEST 121 FEET OF SAID TRACT), IN COOK COUNTY, ILLINOIS.

FLOOD ZONE INFORMATION:

- GENERAL SURVEYORS NOTES:
1. The Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership of the lands or any fences shown hereon. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.

2. The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the visible improvements thereon for a pending financial transaction. Underground footings, utilities, or other service lines, including roof eave overhangs were not located as part of this survey. Unless specifically stated otherwise the purpose and intent of this survey is not for any construction activities or future planning.

3. If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection. No excavation was performed to determine its location.

4. This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.

5. Alterations to this survey map and report by other than the signing surveyor are prohibited.

6. Dimensions are in feet and decimals thereof.

7. Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at www.fema.gov and may not reflect the most recent information.

8. Unless otherwise noted “SET” indicates a set iron rebar, 5/8 inch in diameter and eighteen inches long.

9. The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature.

10. Points of Interest (POI's) are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POI's may not represent all items of interest to the viewer. There may be additional POI's which are not shown or called-out as POI's, or which are otherwise unknown to the surveyor.

11. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.

12. The information contained on this survey has been performed exclusively by and is the sole responsibility of Exacta Land Surveyors, LLC. Additional logos or references to third party firms are for informational purposes only.

13. Due to varying construction standards, house dimensions are approximate and are not intended to be used for new construction or planning.

14. Surveyor bearings are used for angular reference and are used to show angular relationships of lines only and are not related or orientated to true or magnetic north. Bearings are shown as surveyor bearings, and when shown as matching those on the subdivision plats on which this survey is based, they are to be deemed no more accurate as the determination of a north orientation made on and for those original subdivision plats. North 00 degrees East is assumed and upon preparation of this plat, the resulting bearing between found points as shown on this survey is the basis of said surveyor bearings as defined and required to be noted by Illinois Administrative Code Title 68, Chapter VII, Sub-Chapter B, Part 1270, Section 1270.56, Paragraph B, Sub-Paragraph 6, Item k.

15. THIS SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE PHONE NUMBER SHOWN HEREON.
- SURVEYORS LEGEND:

LINETYPES

Boundary Line

Center Line

Chain Link or Wire Fence

Easement

Edge of Water

Iron Fence

Overhead Lines

Structure

Survey Tie Line

Vinyl Fence

Wall or Party Wall

Wood Fence

SURFACE TYPES

Asphalt

Brick or Tile

Concrete

Covered Area

Water

Wood

SYMBOLS

Benchmark

Center Line

Central Angle or Delta

Common Ownership

Control Point

Catch Basin

Elevation

Fire Hydrant

Find or Set Monument

Guywire or Anchor

Manhole

Tree

Utility or Light Pole

Well

ABBREVIATIONS

(C) - Calculated

(D) - Deed

(F) - Field

(M) - Measured

(P) - Plat

(S) - Survey

A/C - Air Conditioning

AE - Access Easement

ANE - Anchor Easement

ASBL - Accessory Setback Line

B/W - Bay/Box Window

BC - Block Corner

BFP - Backflow Preventer

BLDG - Building

BLK - Block

BM - Benchmark

BR - Bearing Reference

BRL - Building Restriction Line

BSMT - Basement

C - Curve

C/L - Center Line

C/P - Covered Porch

C/S - Concrete Slab

CATV - Cable TV Riser

CB - Concrete Block

CH - Chord Bearing

CHIM - Chimney

CLF - Chain Link Fence

CME - Canal Maintenance Easement

CO - Clean Out

CONC - Concrete

COR - Corner

CS/W - Concrete Sidewalk

CUE - Control Utility Easement

CVG - Concrete Valley Gutter

D/W - Driveway

DE - Drainage Easement

DF - Drain Field

DH - Drill Hole

DUE - Drainage & Utility Easement

ELEV - Elevation

EM - Electric Meter

ENCL - Enclosure

ENT - Entrance

EOP - Edge of Pavement

EOW - Edge of Water

ESMT - Easement

EUB - Electric Utility Box

F/DH - Found Drill Hole

FCM - Found Concrete Monument

FF - Finished Floor

FIP - Found Iron Pipe

FIPC - Found Iron Pipe & Cap

FIR - Found Iron Rod

FIRC - Found Iron Rod & Cap

FN - Found Nail

FN&D - Found Nail & Disc

FRRSPK - Found Rail Road Spike

GAR - Garage

GM - Gas Meter

ID - Identification

IE/EE - Ingress/Egress Easement

ILL - Illegible

INST - Instrument

INT - Intersection

IRRE - Irrigation Easement

L - Length

LAE - Limited Access Easement

LB# - License No. (Business)

LBE - Limited Buffer Easement

LE - Landscape Easement

LME - Lake/Landscape Maintenance Easement

LS# - License No. (Surveyor)

MB - Map Book

ME - Maintenance Easement

MES - Mitered End Section

MF - Metal Fence

MH - Manhole

NR - Non-Radial

NTS - Not to Scale

NAVD88 - North American Vertical Datum 1988

NGVD29 - National Geodetic Vertical Datum 1929

OG - On Ground

ORB - Official Records Book

ORV - Official Record Volume

O/A - Overall

O/S - Offset

OFF - Outside Subject Property

OH - Overhang

OHL - Overhead Utility Lines

ON - Inside Subject Property

P/E - Pool Equipment

PB - Plat Book

PC - Point of Curvature

PCC - Point of Compound Curvature

PCP - Permanent Control Point

PI - Point of Intersection

PLS - Professional Land Surveyor

PLT - Planter

POB - Point of Beginning

POC - Point of Commencement

PRC - Point of Reverse Curvature

PRM - Permanent Reference Monument

PSM - Professional Surveyor & Mapper

PT - Point of Tangency

PUE - Public Utility Easement

R - Radius or Radial

R/W - Right of Way

RES - Residential

RGE - Range

ROE - Roof Overhang Easement

RP - Radius Point

S/W - Sidewalk

SBL - Setback Line

SCL - Survey Closure Line

SCR - Screen

SEC - Section

SEP - Septic Tank

SEW - Sewer

SIRC - Set Iron Rod & Cap

SMWE - Storm Water Management Easement

SN&D - Set Nail and Disc

SQFT - Square Feet

STL - Survey Tie Line

STY - Story

SV - Sewer Valve

SWE - Sidewalk Easement

TBM - Temporary Bench Mark

TEL - Telephone Facilities

TOB - Top of Bank

TUE - Technological Utility Easement

TWP - Township

TX - Transformer

TYP - Typical

UE - Utility Easement

UG - Underground

UP - Utility Pole

UR - Utility Riser

VF - Vinyl Fence

W/C - Witness Corner

W/F - Water Filter

WF - Wood Fence

WM - Water Meter/Valve Box

WV - Water valve

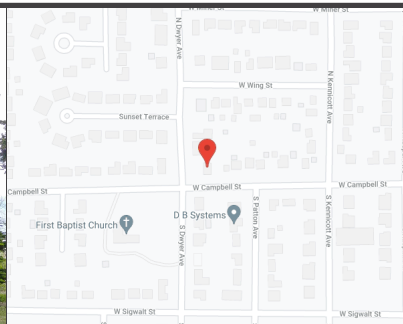
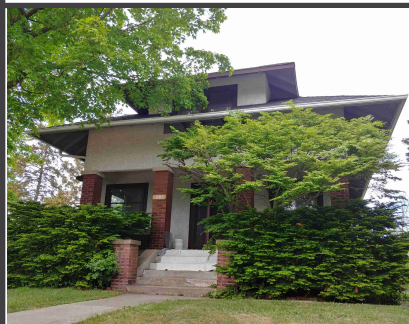
EXACTA

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SEE PAGE 1 OF 2 FOR MAP OF PROPERTY

PAGE 2 OF 2 - NOT VALID WITHOUT ALL PAGES

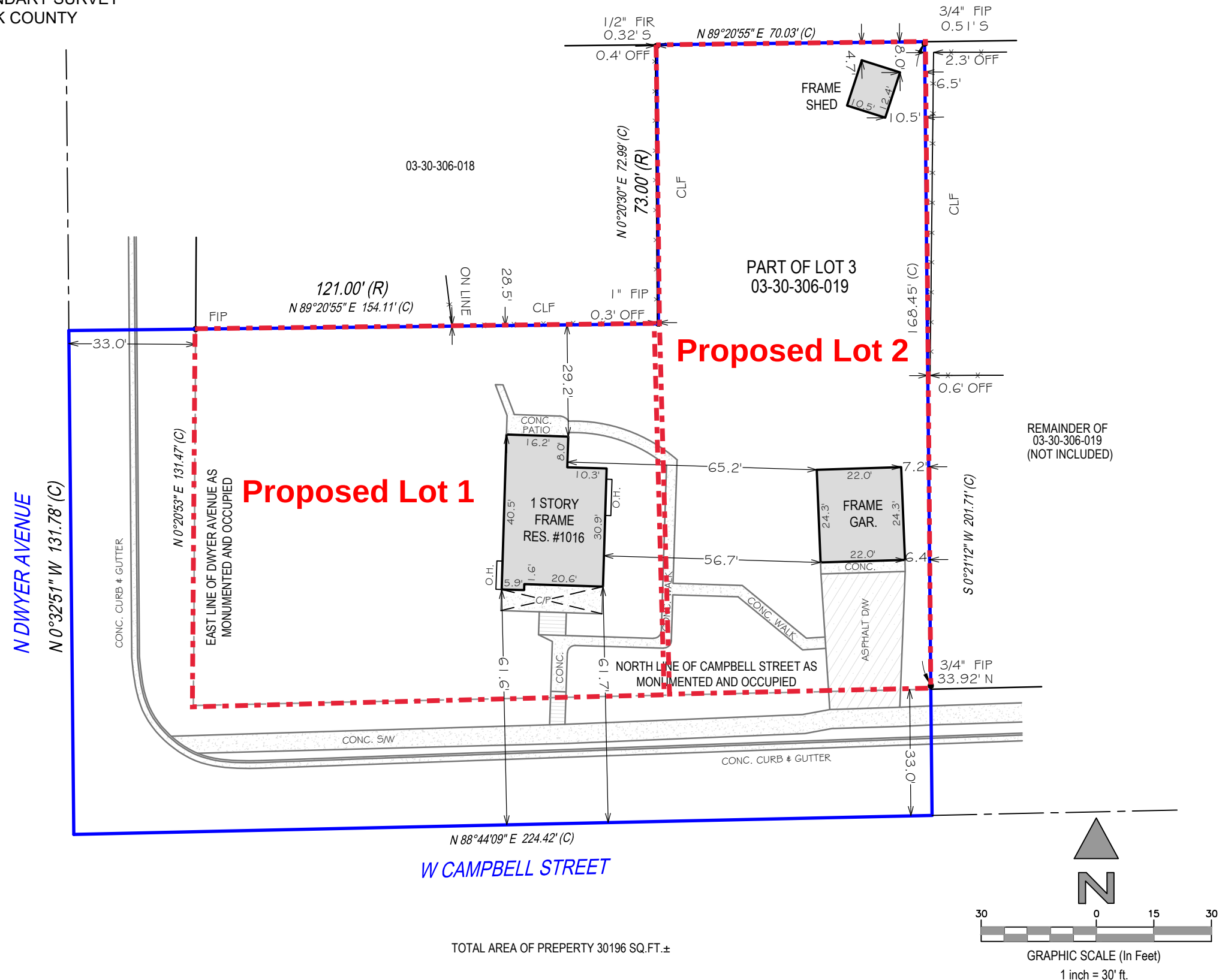


EXACTA
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K COUNT



SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

PROPERTY ADDRESS:
1016 W CAMPBELL STREET, ARLINGTON HEIGHTS, ILLINOIS 60005

SURVEY NUMBER: 2105.2414

CERTIFIED TO:

DATE OF SURVEY: 05/19/21

BUYER:

LENDER:

TITLE COMPANY:

TITLE COMMITMENT:

CLIENT FILE NO:

LEGAL DESCRIPTION:
LOT 3 (EXCEPT THE NORTH 413 FEET THEREOF) IN BLOCK 1 IN HOELZ' ADDITION TO ARLINGTON HEIGHTS, BEING A PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 30, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED, JUNE 21, 1907 AS DOCUMENT NUMBER 4055893 IN BOOK 90 OF PLATS, PAGE 5, (EXCEPT THE NORTH 73 FEET OF THE WEST 121 FEET OF SAID TRACT), IN COOK COUNTY, ILLINOIS.

FLOOD ZONE INFORMATION:

- GENERAL SURVEYORS NOTES:
1. The Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership of the lands or any fences shown hereon. Unless otherwise noted, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.

2. The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the visible improvements thereon for a pending financial transaction. Underground footings, utilities, or other service lines, including roof eave overhangs were not located as part of this survey. Unless specifically stated otherwise the purpose and intent of this survey is not for any construction activities or future planning.

3. If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection. No excavation was performed to determine its location.

4. This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.

5. Alterations to this survey map and report by other than the signing surveyor are prohibited.

6. Dimensions are in feet and decimals thereof.

7. Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at www.fema.gov and may not reflect the most recent information.

8. Unless otherwise noted "SET" indicates a set iron rebar, 5/8 inch in diameter and eighteen inches long.

9. The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature.

10. Points of Interest (POI's) are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POI's may not represent all items of interest to the viewer. There may be additional POI's which are not shown or called-out as POI's, or which are otherwise unknown to the surveyor.

11. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.

12. The information contained on this survey has been performed exclusively by and is the sole responsibility of Exacta Land Surveyors, LLC. Additional logos or references to third party firms are for informational purposes only.

13. Due to varying construction standards, house dimensions are approximate and are not intended to be used for new construction or planning.

14. Surveyor bearings are used for angular reference and are used to show angular relationships of lines only and are not related or orientated to true or magnetic north. Bearings are shown as surveyor bearings, and when shown as matching those on the subdivision plats on which this survey is based, they are to be deemed no more accurate as the determination of a north orientation made on and for those original subdivision plats. North 00 degrees East is assumed and upon preparation of this plat, the resulting bearing between found points as shown on this survey is the basis of said surveyor bearings as defined and required to be noted by Illinois Administrative Code Title 68, Chapter VII, Sub-Chapter B, Part 1270, Section 1270.56, Paragraph B, Sub-Paragraph 6, Item k.

15. THIS SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE PHONE NUMBER SHOWN HEREON.
- SURVEYORS LEGEND:

LINETYPES

Boundary Line

Center Line

Chain Link or Wire Fence

Easement

Edge of Water

Iron Fence

Overhead Lines

Structure

Survey Tie Line

Vinyl Fence

Wall or Party Wall

Wood Fence

SURFACE TYPES

Asphalt

Brick or Tile

Concrete

Covered Area

Water

Wood

SYMBOLS

Benchmark

Center Line

Central Angle or Delta

Common Ownership

Control Point

Catch Basin

Elevation

Fire Hydrant

Find or Set Monument

Guywire or Anchor

Manhole

Tree

Utility or Light Pole

Well

ABBREVIATIONS

(C) - Calculated

(D) - Deed

(F) - Field

(M) - Measured

(P) - Plat

(S) - Survey

A/C - Air Conditioning

AE - Access Easement

ANE - Anchor Easement

ASBL - Accessory Setback Line

B/W - Bay/Box Window

BC - Block Corner

BFP - Backflow Preventer

BLDG - Building

BLK - Block

BM - Benchmark

BR - Bearing Reference

BRL - Building Restriction Line

BSMT - Basement

C - Curve

C/L - Center Line

C/P - Covered Porch

C/S - Concrete Slab

CATV - Cable TV Riser

CB - Concrete Block

CH - Chord Bearing

CHIM - Chimney

CLF - Chain Link Fence

CME - Canal Maintenance Easement

CO - Clean Out

CONC - Concrete

COR - Corner

CS/W - Concrete Sidewalk

CUE - Control Utility Easement

CVG - Concrete Valley Gutter

D/W - Driveway

DE - Drainage Easement

DF - Drain Field

DH - Drill Hole

DUE - Drainage & Utility Easement

ELEV - Elevation

EM - Electric Meter

ENCL - Enclosure

ENT - Entrance

EOP - Edge of Pavement

EOW - Edge of Water

ESMT - Easement

EUB - Electric Utility Box

F/DH - Found Drill Hole

FCM - Found Concrete Monument

FF - Finished Floor

FIP - Found Iron Pipe

FIPC - Found Iron Pipe & Cap

FIR - Found Iron Rod

FIRC - Found Iron Rod & Cap

FN - Found Nail

FN&D - Found Nail & Disc

FRRSPK - Found Rail Road Spike

GAR - Garage

GM - Gas Meter

ID - Identification

IE/EE - Ingress/Egress Easement

ILL - Illegible

INST - Instrument

INT - Intersection

IRRE - Irrigation Easement

L - Length

LAE - Limited Access Easement

LB# - License No. (Business)

LBE - Limited Buffer Easement

LE - Landscape Easement

LME - Lake/Landscape Maintenance Easement

LS# - License No. (Surveyor)

MB - Map Book

ME - Maintenance Easement

MES - Mitered End Section

MF - Metal Fence

MH - Manhole

NR - Non-Radial

NTS - Not to Scale

NAVD88 - North American Vertical Datum 1988

NGVD29 - National Geodetic Vertical Datum 1929

OG - On Ground

ORB - Official Records Book

ORV - Official Record Volume

O/A - Overall

O/S - Offset

OFF - Outside Subject Property

OH - Overhang

OHL - Overhead Utility Lines

ON - Inside Subject Property

P/E - Pool Equipment

PB - Plat Book

PC - Point of Curvature

PCC - Point of Compound Curvature

PCP - Permanent Control Point

PI - Point of Intersection

PLS - Professional Land Surveyor

PLT - Planter

POB - Point of Beginning

POC - Point of Commencement

PRC - Point of Reverse Curvature

PRM - Permanent Reference Monument

PSM - Professional Surveyor & Mapper

PT - Point of Tangency

PUE - Public Utility Easement

R - Radius or Radial

R/W - Right of Way

RES - Residential

RGE - Range

ROE - Roof Overhang Easement

RP - Radius Point

S/W - Sidewalk

SBL - Setback Line

SCL - Survey Closure Line

SCR - Screen

SEC - Section

SEP - Septic Tank

SEW - Sewer

SIRC - Set Iron Rod & Cap

SMWE - Storm Water Management Easement

SN&D - Set Nail and Disc

SQFT - Square Feet

STL - Survey Tie Line

STY - Story

SV - Sewer Valve

SWE - Sidewalk Easement

TBM - Temporary Bench Mark

TEL - Telephone Facilities

TOB - Top of Bank

TUE - Technological Utility Easement

TWP - Township

TX - Transformer

TYP - Typical

UE - Utility Easement

UG - Underground

UP - Utility Pole

UR - Utility Riser

VF - Vinyl Fence

W/C - Witness Corner

W/F - Water Filter

WF - Wood Fence

WM - Water Meter/Valve Box

WV - Water valve

JOB SPECIFIC SURVEYOR NOTES:

EXACTA

Land Surveyors, LLC

Exacta Land Surveyors, LLC

PLS# 184008059

o: 773.305.4011

316 East Jackson Street | Morris, IL 60450

SEE PAGE 1 OF 2 FOR MAP OF PROPERTY

PAGE 2 OF 2 - NOT VALID WITHOUT ALL PAGES



Conceptual Plan Review Committee
7/14/2021

Item: 630 W. Northwest Hwy. Bank - T1745

Department: Planning & Community Development

Requested Action

Special Use Permit to allow a drive-through in the B-2 District.

Variations Required

None identified at this time.

Recommendation

The Staff Development Committee reviewed the proposed Special Use Permit Request to allow a drive-through in conjunction with a permitted bank facility the subject property, and requires additional information in order to make a recommendation. The additional information required is as follows:

1. The petitioner shall provide a written justification demonstrating compliance with the standards for Special Use Permit approval as outlined in Chapter 28, Section 8.5 of the Arlington Heights Municipal Code.
2. Scaled floor plans, engineering plans, and site plans shall be provided.
3. A Design Commission Application shall be required.
4. The petitioner shall work with Village Staff to develop a landscape plan for the site. Onsite landscaping will be evaluated during the Plan Commission review process.
5. Sign Elevations and a scaled site plan showing all improvements (including signage) shall be provided. As part of the Plan Commission process, proposed signage will be reviewed for conformance with Village Code.
6. A Traffic and Parking Study by a Certified Traffic Engineer shall be provided.
7. These are just preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee

reserves the right to change its position on issues upon submittal of a formal application and detailed review.

ATTACHMENTS:

Description

Staff Report
Aerial
Project Summary
Elevations
Site & Floor Plan

Type

Board or Commission Report
Exhibits
Correspondence
Exhibits
Exhibits



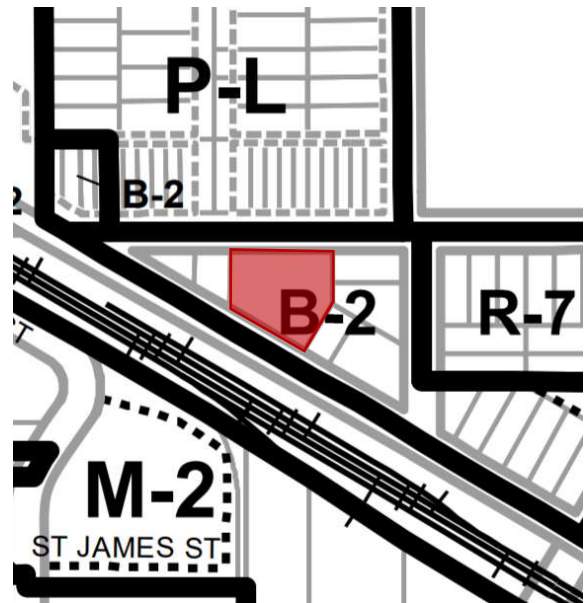
VILLAGE OF ARLINGTON HEIGHTS ***STAFF DEVELOPMENT*** ***COMMITTEE REPORT***

Temp File Number: T1745
Project Title: 630 W. Northwest Hwy Bank
Address: 630 W. Northwest Hwy.
PIN: 03-30-402-012-0000

To: Conceptual Plan Review Committee
Prepared By: Jake Schmidt, Assistant Planner
Meeting Date: July 14 2021
Date Prepared: July 9 2021

Petitioner: Mike Peirce
Storebuild, LLC
Address: 1900 E. Golf Rd. Suite 950
Schaumburg, IL 60173

Existing Zoning: B-2: General Business District
Comprehensive Plan: Commercial



SURROUNDING LAND USES

Direction	Existing Zoning	Existing Use	Comprehensive Plan
North	P-L: Public Land District	Olympic Park	Parks
South	R-3: One-Family Dwelling District	Union Pacific ROW	Open Space
East	B-2: General Business District	Offices, Single-Family Home	Commercial
West	B-2: General Business District	Big Ange’s Restaurant	Commercial

Requested Action:
1. Special Use Permit to allow a drive-through in the B-2 District

Variations Required:
1. None identified at this time.

Project Background:

The subject property is located at 630 W. Northwest Hwy., and is currently developed with an 8,096 square-foot, 6-bay former Firestone auto repair facility with 15 parking spaces.

The petitioner is proposing to demolish the existing building and construct a 4,102 square-foot bank building with 3 drive through/ATM lanes and 15 parking spaces.

The bank's hours of operation would be 9:00 AM to 5:00 PM Monday through Friday, with shortened morning hours on Saturday. The bank would be closed on Sundays. The total number of employees to be employed by this branch would be seven to eight, with a peak number of seven working at any time.

Zoning and Comprehensive Plan

The subject property is located within the B-2 Zoning District, and while the bank is permitted by-right, the drive through requires a Special Use Permit within this Zoning District. To proceed forward, the Plan Commission must review and the Village Board must approve a Special Use Permit for the subject property. In order to demonstrate conformance with the standards of approval for a Special Use Permit, the petitioner must provide a written justification to the following criteria, as cited in Chapter 28, Section 8.5 of the Municipal Code:

- 1. That said special use is deemed necessary for the public convenience at this location.**
- 2. That such case will not, under any circumstances of the particular case, be detrimental to the health, safety, morals or general welfare of persons residing or working in the vicinity.**
- 3. That the proposed use will comply with the regulations and conditions specified in this ordinance for such use, and with the stipulations and conditions made a part of the authorization granted by the Village Board of Trustees.**

The subject property is designated as appropriate for commercial uses per the Comprehensive Plan of the Village of Arlington Heights. The proposed use as a bank facility is compatible with this designation.

Building, Site Plan, and Landscaping

The applicant has provided a preliminary site plan for review. The plan shows three driveways, with one connecting to Euclid Avenue and two connecting to Northwest Highway. Staff has concerns regarding access to and from these driveways, given the high levels of traffic on these roads as well as the close proximity of the driveways to the Euclid-Northwest Highway intersection. The function of these driveways and their potential impact on traffic will need to be evaluated in a traffic and parking study. If the study indicates potential access issues or a significant negative impact on adjacent roadways, access restrictions including but not limited to utilization of right-in, right-out driveways may be required. IDOT approval shall be required for the proposed modifications to access along Northwest Highway. Cook County approval shall be required for the proposed modifications to access along Euclid Avenue.

As the proposed building will be new construction, a Design Commission Application shall be required.

Additionally, Staff believes the dumpster enclosure should be shifted south to reduce visibility from Euclid Avenue, with the two parking spaces shifted north. Proposed landscape screening along Euclid Avenue, Northwest Highway, and the east and west property lines will be evaluated for compliance with code. The petitioner is also proposing ground signage along both Northwest Highway and Euclid Avenue, which will be evaluated during the Plan Commission process once finalized plans are provided. Current plans do not include a scale or measurements for the proposed location of the signs, nor have sign elevations been provided.

Traffic and Parking

The total parking requirement for the proposed facility is assessed at ratio of 1 space per 300 square-feet, the ratio for general office space.

Per the Staff analysis, a total of 14 spaces would be required for the proposed facility. The subject site would be improved with 15 spaces, resulting in a code-required parking surplus of 1 parking space

Section 6.12 of the Zoning Code states that all projects with a drive-through require provision of a full traffic study. Given the aforementioned access concerns, Staff would not be supportive of a variation from this requirement.

With respect to bicycle parking, Office Uses require 1 space per 6,000 SF of floor area, with a minimum of 2 spaces. As such, 2 bicycle parking spaces are required.

RECOMMENDATION

The Staff Development Committee reviewed the proposed Special Use Permit Request to allow a drive-through in conjunction with a permitted bank facility the subject property, and requires additional information in order to make a recommendation. The additional information required is as follows:

1. The petitioner shall provide a written justification demonstrating compliance with the standards for Special Use Permit approval as outlined in Chapter 28, Section 8.5 of the Arlington Heights Municipal Code.
2. Scaled floor plans, engineering plans, and site plans shall be provided.
3. A Design Commission Application shall be required.
4. The petitioner shall work with Village Staff to develop a landscape plan for the site. Onsite landscaping will be evaluated during the Plan Commission review process.
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6. A Traffic and Parking Study by a Certified Traffic Engineer shall be provided.
7. These are just preliminary comments only and should not be relied upon as identification of the only major issues. The Staff Development Committee reserves the right to change its position on issues upon submittal of a formal application and detailed review.

July 9, 2021

Bill Enright, Assistant Director of Planning and Community Development

Cc: Randy Recklaus, Village Manager
All Department Heads
Temp File 1745



1 inch equals 167 feet

Map created on June 21, 2021.

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Disclaimer: This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



June 3, 2021

Michael Mertes
Business Development Coordinator
Village of Arlington Heights, IL

Re: Re-Development of the Former Firestone Automotive Property
630 W Northwest Highway, Arlington Heights, IL

Dear Michael,

In follow up to our meeting and subsequent discussions, we are attaching the site plan (with the floor plan) for the proposed re-development of the former Firestone automotive property at the corner of Euclid & Northwest Highway.

The property currently exists as a dark automotive building of 8,096 square feet with 15 parking spaces constructed in 1962. Storebuild intends to demolish the existing structures and construct a new retail bank branch that will be approximately half the building size of the Firestone building (approx. 4,102 sf) with 3 drive thru / ATM lanes and will maintain 15 parking spaces.

Storebuild has signed an NDA so we cannot disclose the bank name at this time, but it is a national bank which requires a nationally branded building / elevation which will be forthcoming. The bank's hours of operation are business hours (9am – 5pm Monday - Friday) with shortened morning hours on Saturday and closed on Sundays. The total number of employees to be employed by this branch will be seven or eight with four to seven working at any given time.

Storebuild will be seeking a special use for the drive thru lanes and an additional monument sign on Euclid Avenue (to complement the existing sign on Northwest Highway).

Storebuild recently purchased a property with a long time vacancy in front of the Arlington Heights Mariano's and filled the vacancy with a national tenant. We look forward to working with the village of Arlington Heights on another successful project. Thank you.

Sincerely,

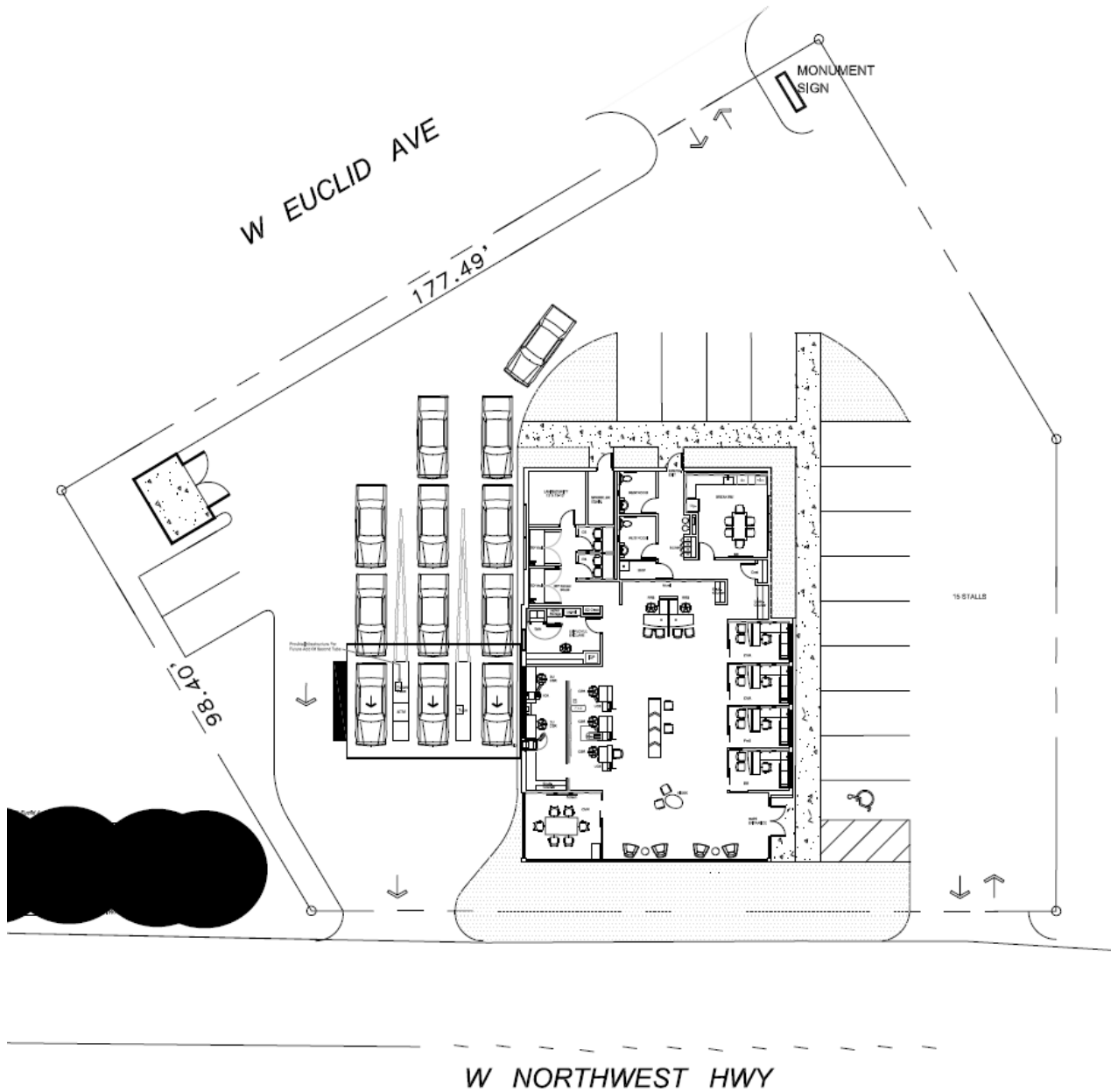
Mike Peirce
Principal
Storebuild, LLC

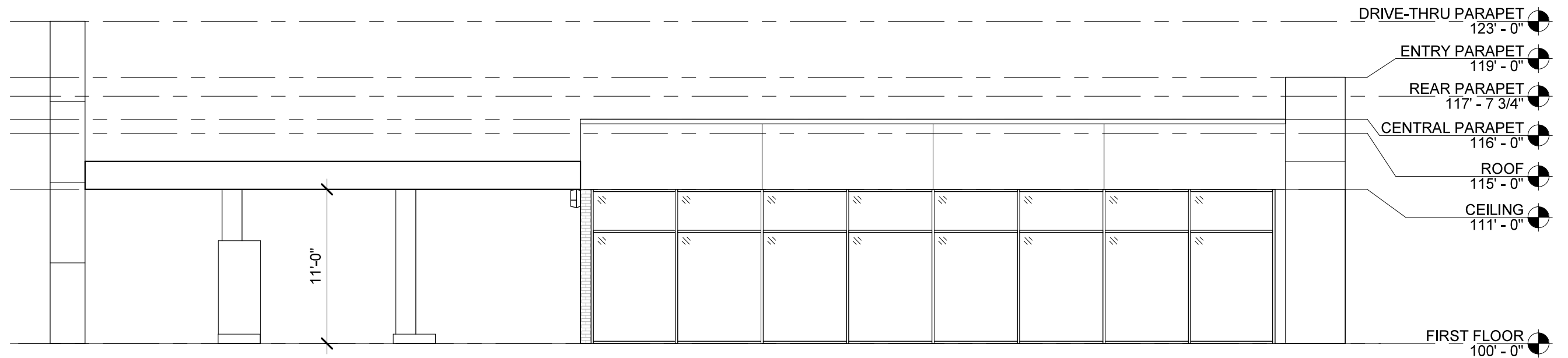


www.storebuild.com



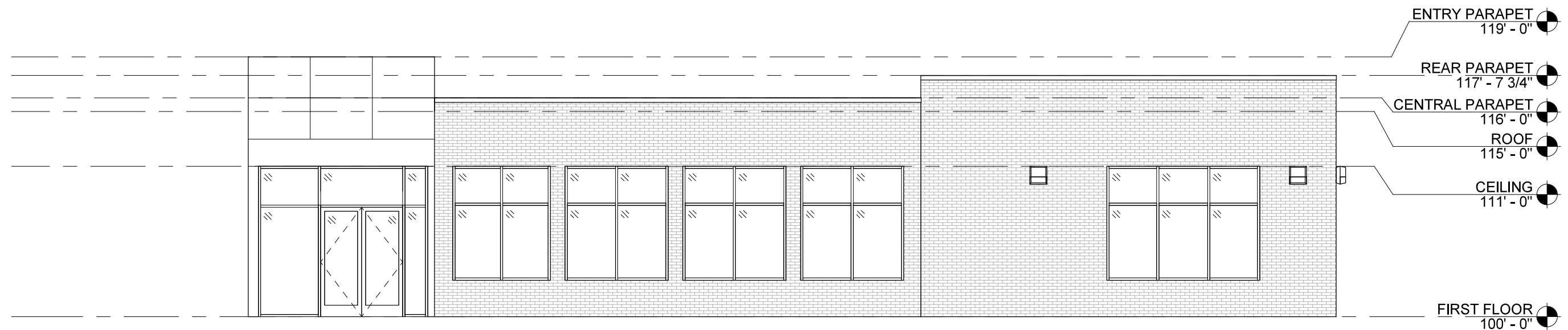
Site Plan & Floor Plan





① SOUTHWEST ELEVATION - NW HIGHWAY

1/8" = 1'-0" 0' 12'



② SOUTHEAST ELEVATION - NW HIGHWAY / PARKING LOT

1/8" = 1'-0" 0' 12'

EXTERIOR ELEVATIONS

A001

W. NORTHWEST HWY &
EUCLID AVE

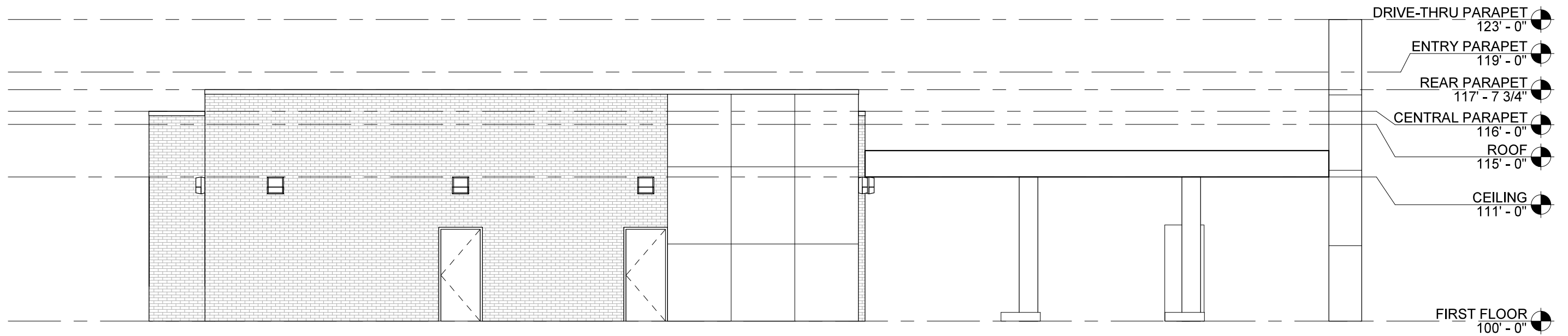
7213220 - Arlington Heights Development

06/10/21

ELEVATION STUDY

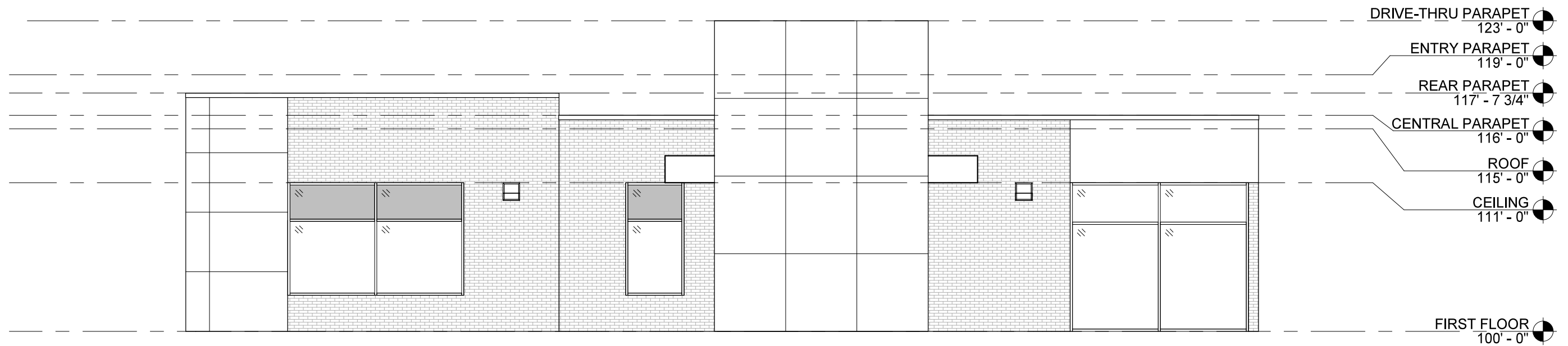
7213220

SHIVEHATTERY
ARCHITECTURE+ENGINEERING



1 NORTHEAST ELEVATION - EUCLID

1/8" = 1'-0" 0' 12'



2 NORTHWEST ELEVATION - EUCLID

1/8" = 1'-0" 0' 12'

EXTERIOR ELEVATIONS

A002

W. NORTHWEST HWY &
EUCLID AVE

7213220 - Arlington Heights Development

06/10/21

ELEVATION STUDY

7213220

SHIVEHATTERY
ARCHITECTURE+ENGINEERING

