



Agenda
Village of Arlington Heights
Zoning Board of Appeals
Buechner Room, 1st Floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
April 17, 2017
7:00 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. 2138 N. Lake Shore Circle - 3/13/17
- B. 204 W. Fremont St. - 3/13/17
- C. 611 S. Princeton Ave. - 3/13/17
- D. 845 S. Bristol Ln. - 3/13/17
- E. 1611 N. Wilke Rd. - 3/13/17
- F. 4248 N. Bloomington Ave. - 3/13/17
- G. 1010-1060 W. Rand Rd. - 3/13/17

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. 21 S. Waterman Ave. - ZBA#17-011
- B. 825-905 W. University Dr. - ZBA#17-012
- C. 1009 N. Douglas Ave. - ZBA#17-014
- D. 403 E. Eastman St. - ZBA#17-015
- E. 419 N. Hickory Ave. - ZBA#17-016
- F. 811 E. Central Rd. - ZBA#17-017
- G. 7-25 E. Golf Rd. - ZBA#17-018

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: 2138 N. Lake Shore Circle - 3/13/17

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Minutes 3/13/17 - 2138 N. Lake Shore Circle	Minutes
Findings 3/13/17 - 2138 N. Lake Shore Circle	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 2138 NORTH LAKE SHORE CIRCLE - ZBA #17-004

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Beuchner Room,
Arlington Heights, Illinois on the 13th day of March, 2017 at the hour of
7:00 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Acting Chairman
TOM DRAKE
JOSEPH SELBKA
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Village Planner

ACTING CHAIRMAN DIVITO: Good evening. All right, we will call to order the March 13th, 2017 meeting of the Zoning Board of appeals. Derek, would you mind calling the roll?

MR. MACH: Acting Chairman Divito.

ACTING CHAIRMAN DIVITO: Here.

MR. MACH: Mr. Drake.

MR. DRAKE: Here.

MR. MACH: Mr. Geisel.

(No response.)

MR. MACH: Mr. Schwingbeck.

(No response.)

MR. MACH: Mr. Selbka.

MR. SELBKA: Here.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Here.

ACTING CHAIRMAN DIVITO: All right, we do have a quorum. Our first order of business is the pledge of allegiance. So, please join us in standing for the pledge of allegiance.

(Pledge of allegiance.)

ACTING CHAIRMAN DIVITO: All right, we have a full room tonight. Before we get on to new business, let's just go over the approval of minutes from the previous meeting. Everybody have a chance to review the minutes? Any comments or modifications?

None being heard, is there a motion to approve?

MR. SIAVELIS: Motion.

MR. SELBKA: Second.

ACTING CHAIRMAN DIVITO: All in favor say aye.

(Chorus of ayes.)

ACTING CHAIRMAN DIVITO: All opposed say nay.

(No response.)

ACTING CHAIRMAN DIVITO: All right, so approved. On to new business.

So, we have a full room tonight, and if you notice up here we have four acting Board members. This is a seven-person Board, we are one member shy. We have four here tonight which means you need an approval of four affirmative votes in order for your motion to pass. So, I give you this advice in advance just in case any petitioner tonight wants to request a continuance and seek another date where we may have a more full Board and get a more full hearing.

With that, I gave the announcement a little prior to us starting tonight that there is an attendance sheet up front. Anybody who anticipates speaking on behalf of any of the petitions tonight, please make sure that you sign in, so that way we can record it and your testimony gets logged appropriate.

All right. This evening, we are going to go through seven different petitions. That being the case, we want to make sure that each petition presents the three elements necessary in order for the Board to make an appropriate, or to grant the appropriate variance. Those three necessities of the petition will be, number one,

sustained hardship, show that the property cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations. Second is show the uniqueness of the situation. Third, show that there will not be an alteration of character in accordance to the neighborhood.

So, now that we've got all that out of the way, let's start off with 2138 North Lake Shore Circle.

MS. EGEL: Hello, I'm Patricia Egel, this is Joseph Bunzel, we live at 2138 North Lake Shore Circle. I think we qualify for the three things --

ACTING CHAIRMAN DIVITO: Real quick, thank you very much for doing half of what I would do. I just need you to raise your right hand.

(Witnesses sworn.)

ACTING CHAIRMAN DIVITO: Thank you.

MS. EGEL: Okay, so the first issue, let's see. We submitted paperwork that I think you saw before of the homes that are next to us that have what we're hoping to do is a porch. So, on one side of us, this one, and on the other side is another one. Cannot yield reasonable return, well, if we're all doing it then we would be the ones that didn't have it.

Number two, the plight of the owner is due to unique circumstances. Joe has had several skin cancers, I have a problem with bees and skin cancer. So, one of the reasons that we want it enclosed is to keep the insects away, but also to prevent us from being exposed as much to the sun.

Number three, if the variation is given it will not alter the essential character of locality which we believe it will not, considering that we have it on either side of us.

MR. SIAVELIS: So, you have an existing porch right now, right?

MS. EGEL: We do.

MR. BUNZEL: Yes.

MR. SIAVELIS: The photographs you submitted to us were not labeled. I just want to make sure we're clear on this on the record.

MS. EGEL: Okay, that's Berlinis house next to us on one side, and then on the other side, it's the other people, Simons, they're in Arizona right now.

MR. SIAVELIS: Okay, and you talked to your neighbors?

MS. EGEL: Yes.

MR. BUNZEL: Yes.

MR. SIAVELIS: Did Mr. Berlini, did they express any hesitancy or opposition?

MS. EGEL: No. No. We want to put it on the existing deck that was there that we also had a building permit for when that was placed on the home. I've lived in the home for five years and had the deck redone which at that time I didn't apply for a variance because the Commissioner at that time said he wanted it brought in on the side which I said I'll do whatever you want me to do. If you want me to bring it in, I'll bring it in. So, I didn't go for a variance. But the deck is basically the same size as it always was.

MR. SIAVELIS: So, you're just going up from the existing footprint of the deck?

MS. EGEL: Yes, correct. Correct.

ACTING CHAIRMAN DIVITO: And not a walkway?

MS. EGEL: No, we're good.

MR. SIAVELIS: Seems pretty straightforward.

ACTING CHAIRMAN DIVITO: Yes. Any other questions from the Board?

Yes, good question. Anyone from the audience who wishes to speak?

None being heard, we'll close it down for Board discussion.

MS. EGEL: Thank you.

MR. SELBKA: Yes, this seems like a reasonable request, a relatively small variance. Since the neighbors have closed-in porches as well, I don't see a problem with it. I'm in favor of the variance.

MR. SIAVELIS: Me as well, not expanding the footprint is a big issue as well as far as I'm concerned. So, I support it.

ACTING CHAIRMAN DIVITO: Do I hear a motion?

MR. DRAKE: I would move approval of the petition.

MR. SIAVELIS: I'll second.

ACTING CHAIRMAN DIVITO: Derek?

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Acting Chairman Divito.

ACTING CHAIRMAN DIVITO: Yes. Congrats.

MS. EGEL: Thank you.

MR. BUNZEL: Thank you.

ACTING CHAIRMAN DIVITO: Moving along, we are

on --

MR. SIAVELIS: You can get up and leave at any time if you want. You don't have to stay for I think six more petitions, so now is your time.

(Whereupon, the hearing on the above petition was adjourned at 7:08 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS March 13, 2017

PETITIONER: Egel Residence
ADDRESS OF PROPERTY: 2138 N. Lake Shore Circle
VARIATION: 5.1-4.5, 5.4

A 10.0-foot variance to allow an addition with a rear yard setback of 20.0-feet instead of the minimum required 30-feet and an additional 1.0-foot for the eave.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they are proposing to construct a screened in porch and that the porch is encroaching into the required rear yard setback. The petitioner testified that each neighbor adjacent to the subject property has a screened in porch. The petitioner explained that due to health reasons the homeowner needs to stay out of the sun.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Drake and seconded by Mr. Siavelis. Thereafter, the Board voted 4-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 4-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 204 W. Fremont St. - 3/13/17

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Minutes 3/13/17 - 204 W. Fremont St.	Minutes
Findings 3/13/17 - 204 W. Fremont St.	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 204 WEST FREMONT STREET - ZBA #17-005

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Beuchner Room,
Arlington Heights, Illinois on the 13th day of March, 2017 at the hour of
7:08 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Acting Chairman
TOM DRAKE
JOSEPH SELBKA
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Village Planner

ACTING CHAIRMAN DIVITO: Our second petition this evening is at 204 West Fremont. Would you mind stating your name and address for the record?

MR. MARKS: Chris and Kelly Marks, 204 West Fremont Street.

(Witnesses sworn.)

ACTING CHAIRMAN DIVITO: Very good, thank you.

MR. MARKS: In terms of the existing conditions and hardship, as the residents of 204 West Fremont Street, what we are seeking to do is build a front porch that spans the width of the house, as you can see in the drawing, and move the main entry from the east side of the house which is to the south side of the house which is the front of the house creating a front entryway. A variation is required as the structure will need to be built closer to the sidewalk than the average setback. This is a setback variance.

We strongly believe that the construction of the front porch will raise the quality of the property to match the standard of historic Fremont Street. We also believe that the porch will accurately reflect the style of the home which is a 1929 bungalow rather than current which is more of a 1950's era side entrance, which was there when we purchased the house five years ago.

Unique circumstances. The house currently has a side entrance with a spiral type of staircase, again consistent with more of a 1950's architecture. The entrance faces directly to the neighbor's house and directly to the neighbor's driveway. The front entryway is opposite our driveway. The spiral style staircase is uncovered which presents a safety concern. It's much more dangerous as compared to the straight, traditional, covered staircase that we are seeking to build.

Like I said before already, the porch will be built to match the era of the home as well as the character of the street. The only other way that we'll be able to do this, to build a front porch to match the street, we'd need to demolish a portion of the existing living space to adhere to zoning regulations. This would raise the cost of the project beyond what we could reasonably afford as well as reduce the square footage of the habitable space in the home, reducing property value as well as reducing habitable space to the point that it would make the home inadequate for our needs as a family.

The character of the locality. The project is intended to improve the appearance of the home, matching the standard of historic Fremont Street as well as making the home true to the age and style of the house. As per the architectural drawings and blueprints, the porch will maintain the craftsman style of the home with vertical support, supporting rafters, and tapered columns. The project will raise the value of the property without the need for any demolition of the existing structure that will reduce habitable space and, therefore, the value of the property.

If you will, a few other points I'd like to make. To summarize, again in terms of the hardship, right now the front entryway is opposite the driveway of the home and facing directly to the neighbor's house and driveway. We're looking to increase the value of the property, match the character of the house as well as the style of the home.

I wanted to point out that we're active in the community. I myself am active in the Park District, I've coached both my son's teams. My wife is the secretary for

the Historic Arlington Neighborhood Association Board. We're both educators in school districts. I've been an educator and administrator with District 214 for 18 years. My wife has been in Wood Dale District 7 for 16 years. We're established here with our careers, we're not seeking to go anywhere.

We're looking to improve the property to meet our long-term needs and we have discussed this with all of our neighbors on the street. We're very happy to say that many of them are with us today including both our next-door neighbors and our neighbors directly across the street who will be looking at the porch more than we will. Thank you.

ACTING CHAIRMAN DIVITO: Any questions for the Petitioners?

MR. SIAVELIS: Yes. So, I just want to clarify and make sure I understand this on the record. To get into your house, if you're pulling in the driveway, you literally have to walk down the sidewalk, come around the front of the house, and then come up the stairs?

MR. MARKS: Yes.

MR. SIAVELIS: Okay, that's what the photograph shows, too. I just wanted to make sure I understood that right.

MR. MARKS: That's correct.

MR. SIAVELIS: That seems like a hardship to me, on the layout.

MR. MARKS: The other thing to point out, too, is that, and our next-door neighbor can point it out, that very often people that come to our house, a taxi to take us to the airport, someone to pick up our kids, they think our neighbor's driveway is our driveway because our front door faces the neighbor's driveway.

ACTING CHAIRMAN DIVITO: That first room that you walk into off of that front door, what is that now?

MRS. MARKS: It's a foyer. It's kind of a little --

ACTING CHAIRMAN DIVITO: But it is part of the internal portion of the house?

MRS. MARKS: Yes.

MR. MARKS: Yes.

ACTING CHAIRMAN DIVITO: It's not a screened-in porch or anything?

MRS. MARKS: No, right.

ACTING CHAIRMAN DIVITO: There were comments from the Design Board that I want to make sure that you had a chance to comment about it, talking about having the enclosed porch as well as an external porch. But I think that you're clarifying that this is a foyer, it's not --

MR. MARKS: It's not an enclosed porch, yes.

ACTING CHAIRMAN DIVITO: Right.

MR. SIAVELIS: Are you aware of the comments from the design phase from Steve Hautzinger?

MR. MARKS: We are not, no.

MR. SIAVELIS: We should probably just give you those when we conclude here. I just want to also confirm something else, that the depth of the porch according to the drawings that you're adding is five feet, correct?

MRS. MARKS: Correct.

MR. SIAVELIS: Plus the stairs.

MR. MARKS: Correct.

MR. DRAKE: Derek, I have a question regarding those comments from the Design, are those requirements or recommendations?

MR. MACH: Recommendations.

MR. DRAKE: Okay, okay.

MR. SIAVELIS: You're going to demo that side-loading area that's there right now?

MR. MARKS: Yes. The loading area, I like how you put that. That's funny, that's exactly how we think about it.

MR. SIAVELIS: Yes, I picked that up from you. All right, this seems to be straightforward, too. I don't have any further questions.

ACTING CHAIRMAN DIVITO: All right, thank you. Anybody from the audience that wishes to speak?

None being heard, we'll close it down for the Board discussion. So, again relatively straightforward. Historic district is one thing that I tuned in on, and knowing the hardship of actually having to walk through a neighbor's yard basically to get to your door.

MR. SIAVELIS: That's a well-documented hardship. I think it's just, it's self-evident, too. I think this five-foot porch is really reasonable given what their needs are. With some of the porches we've seen over the last couple of years, this is well within the scope of what we see everyday.

ACTING CHAIRMAN DIVITO: Okay, very good. Is there a motion?

MR. SELBKA: Motion to approve.

ACTING CHAIRMAN DIVITO: Second?

MR. DRAKE: Second.

ACTING CHAIRMAN DIVITO: Very good. Derek?

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Acting Chairman Divito.

ACTING CHAIRMAN DIVITO: Yes. The motion has passed.

MR. MARKS: Thank you.

ACTING CHAIRMAN DIVITO: We'll give you a moment to exit.

(Whereupon, the hearing on the above petition was adjourned at 7:16 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS March 13, 2017

PETITIONER: Marks Residence
ADDRESS OF PROPERTY: 204 W. Fremont St.
VARIATION: 5.1-3.6, 5.4

A 16.3-foot variance to allow a covered front porch with a front yard setback of 8.7-feet and an additional 1.7-foot for the eave from the south property line instead of the minimum 25.0-feet.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they are proposing to construct a front porch that spans the width of the house. The petitioner explained that the proposed front porch is encroaching into the required front yard setback. The petitioner testified that the house currently has a side entrance that faces the driveway and that the new porch will have an entrance that faces the street. The petitioner testified that the current side entrance has a spiral staircase which is uncovered and is a safety concern. The petitioner testified that the project is intended to improve the appearance of the home, matching the standard of historic Fremont Street as well as making the home true to the age and style of the house.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Selbka and seconded by Mr. Drake. Thereafter, the Board voted 4-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 4-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 611 S. Princeton Ave. - 3/13/17

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Minutes 3/13/17 - 611 S. Princeton Ave.	Minutes
Findings 3/13/17 - 611 S. Princeton Ave.	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 611 SOUTH PRINCETON AVENUE - ZBA #17-006

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Beuchner Room,
Arlington Heights, Illinois on the 13th day of March, 2017 at the hour of
7:16 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Acting Chairman
TOM DRAKE
JOSEPH SELBKA
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Village Planner

ACTING CHAIRMAN DIVITO: All right. The third petition tonight comes from 611 South Princeton. Good evening.

MS. PHYLLIS MAMSCH: Good evening.

ACTING CHAIRMAN DIVITO: Mind stating your names and addresses?

MS. PHYLLIS MAMSCH: Yes, Phyllis Mamsch, 611 South Princeton Avenue.

MS. MARGARET MAMSCH: Margaret Mamsch, 611 South Princeton Avenue.

MS. GUDVANGEN: Julie Gudvangen, Delta Renovations, 422 North Hough Street, Barrington.

MR. LINDQUIST: David Lindquist, architect.

ACTING CHAIRMAN DIVITO: All right, we'll try and do this all together. (Witnesses sworn.)

ACTING CHAIRMAN DIVITO: All right, go ahead.

MS. GUDVANGEN: All right, we're presenting an addition in the rear yard setback that is going to encroach 4.48 feet into the rear yard setback. The property in question is currently from the front yard setback already set back 2.25 feet existing when the house was built. So, that's part of the reason we're asking for more space is because if we stage within the setback requirements, the sunroom that we're adding on would only be 11 feet interior dimension.

Maggie and Pam are sisters and Maggie is going to be moving in. So, the first floor living room space is now going to become a first floor master suite for her so that she can age in place in the home. So, that's taking up the primary living, you know, family space on the first floor. The sunroom will allow her to have a living room kind of space all at one level with the kitchen, the dining room and her suite.

We have tried to stay within conformity of the neighborhood as far as the way it looks. It will be all brick exterior with some sidings to match the existing, roofing materials and everything to match the existing. This just really allows them to have the space on the first floor that they need as a family. Pam's two children are also living in the house part of the year as well.

MS. PHYLLIS MAMSCH: Yes, my sister has trouble with stairs, so for her to climb stairs. I have been in Arlington Heights now for 14 years, very involved, you know, relationships, have no plan to move out of the area. My two kids both have told me they're coming home after college to stay with us.

MR. SIAVELIS: Are you sure you want to put this in?

MS. PHYLLIS MAMSCH: So, it will be nice to have enough space where we're not all crowding each other.

MS. MARGARET MAMSCH: And I've retired from District 214 as a teacher, I was there 28 years. So, I was taking care of my mom in the city, she passed away, so --

MS. PHYLLIS MAMSCH: Moving in.

MS. MARGARET MAMSCH: Moving in.

ACTING CHAIRMAN DIVITO: All right, very good. Any questions from the Board on this one?

MR. SIAVELIS: I didn't see the site plan, did I? Yes, there's an edited plat, an edited plat but I didn't see the site plan. You know what, let's hear some about

neighbors. Did they see their neighbors, talked to their neighbors, any feedback?

ACTING CHAIRMAN DIVITO: Great question. I know you had the signs.

MS. PHYLLIS MAMSCH: We've had the signs out. One neighbor from across the street came over and said hey, what are you doing? Then got into a big discussion about, hey, well, I'm going to see how it goes and then maybe I'll have your contractor come over because I want to update my kitchen. One neighbor behind us, you know, it's not going to block their view of anything. There's a huge yard between us and the neighbor to our north, and they've, you know, we've freely, they've used our yard, their kids have played on your yard, too. I see no objection there.

MS. MARGARET MAMSCH: Their rear yard actually backs, they're a corner house so their rear yard backs up to that backyard of the person that's actually beside them.

MS. PHYLLIS MAMSCH: Right, yes.

MS. MARGARET MAMSCH: Because their front is on Princeton even though the front yard is actually on Francis.

ACTING CHAIRMAN DIVITO: Did you find what you're looking for?

MR. SIAVELIS: Yes, I did. I saw it.

ACTING CHAIRMAN DIVITO: Any questions with this?

MR. SIAVELIS: No.

ACTING CHAIRMAN DIVITO: They've well articulated the concerns there. So, if there's no questions from the Board, let's see if there's anybody in the audience that wishes to speak on behalf of this petition.

None being heard, we'll close it down to our Board discussion. Thank you. Anyone want to go first on this one?

MR. DRAKE: I think it's a nice use of the space, and I think the fact that the residents want to age in place is the sign of times with the demographics and the baby boomers getting older. So, and I looked at the yard and the way the neighbors would be situated, too. I think it's a good plan.

MR. SELBKA: I like the design, too. I do think it's a nice use of the space as well.

ACTING CHAIRMAN DIVITO: With a corner lot, it's always difficult so I'm glad to see they've found a good use for it. All right, is there a motion?

MR. DRAKE: I'd move approval.

MR. SIAVELIS: I'll second.

ACTING CHAIRMAN DIVITO: Okay, Derek?

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Acting Chairman Divito.

ACTING CHAIRMAN DIVITO: Yes. Motion has carried.

MS. PHYLLIS MAMSCH: Thank you very much.

ACTING CHAIRMAN DIVITO: Thank you.

(Whereupon, the hearing on the above petition was adjourned at 7:23 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS March 13, 2017

PETITIONER: Mamsch Residence
ADDRESS OF PROPERTY: 611 S. Princeton Ave.
VARIATION: 5.1-3.6, 5.4

A 4.5-foot variance to allow an addition with a rear yard setback of 25.5-feet from the north property line instead of the minimum 30.0-feet and an additional 1.0-feet for the eave.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner testified that they are proposing an addition that is encroaching into the required rear yard setback. The petitioner explained that they would like to construct a first floor master suite in order to age in place in the home. The petitioner testified that they have difficulty with climbing stairs.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Drake and seconded by Mr. Siavelis. Thereafter, the Board voted 4-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 4-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 845 S. Bristol Ln. - 3/13/17

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Minutes 3/13/17 - 845 S. Bristol Ln.	Minutes
Findings 3/14/17 - 845 S. Bristol Ln.	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 845 SOUTH BRISTOL LANE - ZBA #17-007

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Beuchner Room,
Arlington Heights, Illinois on the 13th day of March, 2017 at the hour of
7:23 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Acting Chairman
TOM DRAKE
JOSEPH SELBKA
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Village Planner

ACTING CHAIRMAN DIVITO: All right, moving right along, 845 South Bristol.

MR. MASSARELLI: Hi.

ACTING CHAIRMAN DIVITO: How are you? So, name and address?

MR. MASSARELLI: Anthony and Vita Massarelli.

MRS. MASSARELLI: 845 South Bristol.

MR. ROCK: Bill Rock, GEA Architects.

(Witnesses sworn.)

ACTING CHAIRMAN DIVITO: Thank you.

MR. ROCK: So, we're looking to build a brand new home in place of an existing home that sits at a corner lot. They want to go with the traditional Georgian style home, very classic symmetry. Being that the lot is pie-shaped, we have an interference with the side yard setback. We're asking for a variance on the Orchard side of the street.

What we're proposing is to basically hide the front of the garage which is a four-car garage, we'd like to have it on as a side load so you don't see it from either street. We have we have two fronts, two nice front elevations on both streets, and we feel it will be a nice complement to the neighborhood. So, in putting this together, we need a little bit more room.

ACTING CHAIRMAN DIVITO: That speaks to not affecting the character of the neighborhood. Talk about some of the hardships around if you weren't able to be granted this, what you would or would not be able to do.

MR. ROCK: Well, we would like to keep the style of the home. There is a symmetry, and we feel that the rooms inside aren't so large and grand. They're modest rooms. To do what they want to live and live comfortable, they have teenage boys, right?

MR. MASSARELLI: Yes, three boys.

MR. ROCK: They want to keep everybody at home and keep everybody comfortable. They want their bedroom on the first floor. She has an office she'd like to have in the house, and there are comforts they'd like to have. Being on the first floor, they can keep an eye on what's going on in the yard, what's going on in the family room. Upstairs would be the bedrooms and a guest room and enough space for everybody to have their own bathroom in that.

For the vehicles, they have large vehicles, Lincoln Navigators, things like that. We need some space. So, everything got pushed to the west because of the driveway. We need some like 22 feet --

MR. MASSARELLI: To the south.

MR. ROCK: To the south?

MR. MASSARELLI: Yes, towards you.

MR. ROCK: Yes, right, to the south. So, we need some space for the vehicles and keep everybody happy with this. So, what else can we say in here?

MR. MASSARELLI: That's it.

MR. ROCK: Yes. So, if we had a regular square lot, we would have fit okay and made some small adjustments. But even still, we're looking at working the house, getting it a little bit narrow, bring some of the square footage down. But we're still encroaching it to the side because of the pie-shaped lot.

By turning it, if we follow it at an angle, it would really look odd for this type of house. We did look at other ways of positioning it on the property. This is really the best way we can do it. They'd like to have a Bristol front entrance.

ACTING CHAIRMAN DIVITO: Okay.

MR. SIAVELIS: So, a couple of things. This is a four-car garage, correct?

MRS. MASSARELLI: Yes.

MR. SIAVELIS: Is it two and two or four straight across?

MR. ROCK: It's actually two and two.

MR. MASSARELLI: Well, a double, single, single.

MR. ROCK: Is that what it is? No, it's --

MR. MASSARELLI: Well, you mean the door?

MR. ROCK: Yes, a double, single, single, right.

MR. MASSARELLI: Right.

MR. SIAVELIS: Okay, so it's going to be essentially four across?

MR. ROCK: Right.

MRS. MASSARELLI: Yes.

MR. MASSARELLI: Right.

MR. SIAVELIS: All right. So, did you talk to your neighbors about this? In particular, go ahead and answer that, and then I have a quick follow-up for you.

MR. ROCK: Did you talk to the neighbors?

MR. MASSARELLI: No.

MR. SIAVELIS: You didn't talk to any of the neighbors about this?

MRS. MASSARELLI: Some neighbors know about it but not --

MR. MASSARELLI: A few know about what we're doing but not specifically the --

MRS. MASSARELLI: We don't live there currently.

MR. MASSARELLI: We don't live there, so about specifically the garages?

MR. SIAVELIS: No, in general, the whole plan.

MR. MASSARELLI: No.

MR. SIAVELIS: This house is uninhabited right now?

MRS. MASSARELLI: Yes.

MR. MASSARELLI: Correct.

MR. SIAVELIS: Okay, it's still on the site, right? It hasn't been demo-ed yet?

MRS. MASSARELLI: Right.

MR. MASSARELLI: Yes.

MR. SIAVELIS: I tell you, I'm a little bit troubled by the size of this, this garage. I live in the neighborhood. You know, I'm surprised that, you know, you're able to fit this on the property, but I'm going to guess that's a function of your architect being able to draw it in.

You do want a, you are requesting a significant variance, okay. Mr. Selbka and I were looking at some of the dimensions here, and I think one of the dimensions I homed right in on is the fact that the northern edge of your driveway is going to be two feet, or excuse me, three feet from the property line. That's pretty tight. But then I'd weigh it against the fact that, you know, you have public notice, right? You put the sign up?

MRS. MASSARELLI: Yes.

MR. SIAVELIS: Okay, and there's an opportunity for your neighbors to come here and voice their comments. We take the neighbors' comments quite seriously. You can probably tell, you've heard three or four petitions before us, we ask that question specifically. But you know, maybe we'll see if somebody steps up and enters comments into the record.

I know exactly which piece of property this is. I run by this house all the time, I'm through the neighborhood all the time. I'm actually kind of disappointed that the other ZBA Member Tom Schwingbeck isn't here because he lives around the corner from you guys.

MR. MASSARELLI: Yes.

MR. SIAVELIS: But I am troubled by that small dimension. So, let's see how that three-foot dimension there, let's see how that plays out as we go through this.

ACTING CHAIRMAN DIVITO: I asked Derek about this earlier today as well because that was one of my first concerns. Actually you know what, I'll save that comment for our discussion. So, sorry, didn't mean to jump in on that one so quickly.

MR. SIAVELIS: And I do understand, I want to say something else here. I do understand the value of that side-loading garage, right. Like I said, I've lived in this neighborhood for about 15 years. I understand exactly why you'd want your garage orientation the way you do, right. If you've got teenage drivers, that's something you've got to be cognizant of going out there. There's a lot of kids on the street. So, I get that, and you do have a pie-shaped lot. It is pretty severe on the south side.

MR. ROCK: Yes.

MR. SIAVELIS: That angle cut back in, it's not close to being a right angle there.

MR. ROCK: No.

MR. SIAVELIS: All right, so that's something that I'm thinking about in my head, how do you do this from a design exercise standpoint?

MR. ROCK: Could I ask a question?

MR. SIAVELIS: Sure.

MR. ROCK: With the three-foot concerns you have, could you explain that a little bit more? Because the driveway being here and the proximity of the neighboring house, we do have quite a bit of distance between the homes. Is that the issue?

MR. SIAVELIS: It's not necessarily just the distance between the homes or between the northern edge of your driveway and that home. It's the northern edge of your driveway and the property line.

MR. ROCK: Okay.

MR. SIAVELIS: You're up real tight on that property line in three feet, the way it's drawn, okay.

MR. ROCK: With the driveway itself?

MR. SIAVELIS: Yes.

MR. ROCK: But I thought a driveway can go up to 12 inches from the property line?

MR. SIAVELIS: I believe it can.

MR. MACH: It's a minimum of three feet on lots 70 feet or wider.

MR. ROCK: Oh, I see, okay, okay. So, we're right there on the minimum.

MR. SIAVELIS: Yes, you're right on it. You're right on it, and this is a clean sheet design, right?

MR. ROCK: Right.

MR. SIAVELIS: So, it's a little different when we have existing nonconforming structures where, you know, you have people moved in years after the house was built or decades after the house was built and putting a small addition in like the petitioners before.

MR. ROCK: Right, right.

MR. SIAVELIS: We give them a little more latitude in that regard.

MR. ROCK: Right.

MR. SIAVELIS: In this regard, this is a clean sheet design, so that's one of the things that jumped out at me. Frankly, this is a large house.

MR. ROCK: Yes, we have taken efforts to make it a little smaller, bring the square footage down and the width down. It's coming in but that side, the north side pretty much stays where it's at in trying to bring everything closer from the south.

MR. SIAVELIS: Okay, so I don't need to say anything more on the point I raised. I'd like to see how it plays out when everybody makes comments.

MR. ROCK: Okay, sure. Sure, I just wanted to clarify.

MR. SIAVELIS: Yes, that's fine.

ACTING CHAIRMAN DIVITO: Thank you. Any other questions?

MR. DRAKE: I want to wait and hear, you know, if anybody has anything.

ACTING CHAIRMAN DIVITO: Sure. Joe?

MR. SELBKA: Yes, I'm going to wait for comments as well.

ACTING CHAIRMAN DIVITO: Okay. That being the case, I'll open it up to the audience if anybody wishes to speak on behalf of this petition. Step on up. You guys can sit down for now.

MR. ROCK: Sure.

ACTING CHAIRMAN DIVITO: Thank you.

MR. GRIFFIN: Can I just talk from here?

ACTING CHAIRMAN DIVITO: You actually have to, just for the recording, sorry. Have you had the chance to sign in?

MR. GRIFFIN: No.

ACTING CHAIRMAN DIVITO: So, take a moment to sign in and I'll swear you in.

MR. GRIFFIN: My name is John Griffin. I live at 845 South Belmont which like two blocks over.

(Witness sworn.)

ACTING CHAIRMAN DIVITO: Thank you.

MR. GRIFFIN: I'm just having a hard time visualizing this. Is the variance request for the easement on Orchard or on Bristol? Or the neighbor to the north?

ACTING CHAIRMAN DIVITO: It is the Orchard side, so the street itself.

MR. GRIFFIN: Okay, yes.

ACTING CHAIRMAN DIVITO: And where the house is sitting in respect to the setback from the street to the house.

MR. GRIFFIN: Okay. The variance is for only 13 feet, something like that?

ACTING CHAIRMAN DIVITO: 15 -- no, I'm sorry.

MR. MACH: It's 20 --

ACTING CHAIRMAN DIVITO: 20-foot variance, 20.6 feet variance.

MR. GRIFFIN: Is it a structure that's going to be like closer to Orchard or it is just like a driveway off on the street? Is the driveway like still going to be on Bristol?

ACTING CHAIRMAN DIVITO: The driveway is going to be on Bristol, on the north end of the property.

MR. GRIFFIN: Okay, north end of the property, and then it will turn in, okay.

ACTING CHAIRMAN DIVITO: Turn in so that way you're not seeing the actual garage faces.

MR. GRIFFIN: But again with the easement toward Orchard, is it a large structure, the building or is it --

ACTING CHAIRMAN DIVITO: It is a structure, it is a room, I don't know exactly what room it is, we can have them come back up and explain.

MR. GRIFFIN: Okay.

ACTING CHAIRMAN DIVITO: But this should be --

MR. SIAVELIS: How about the overhead from Google Maps?

MR. GRIFFIN: Whatever, I was just wondering if it's a large structure. I know you use your expertise if you feel that that's any significant concern, that's fine.

MR. SIAVELIS: So, if you look at the screen right there, just to see if I can help you along here.

MR. GRIFFIN: It's blank.

MR. SIAVELIS: That was a test of your vision actually. You passed. So, that's the old house, right?

MR. GRIFFIN: Right, yes.

MR. SIAVELIS: That will be demo-ed.

MR. GRIFFIN: Right, yes, I'm very familiar with the property. I've been living there.

MR. SIAVELIS: The driveway is going to still stay, the new driveway will ingress and egress on Bristol, okay. It will run east-west, okay.

MR. GRIFFIN: Okay.

MR. SIAVELIS: That was the concern that I was focusing about, the proximity of the north property line. So, they need that variance, and then they need, you know, a one-foot variance for the eave. Quite frankly, if we agree to the variance as to the setback, the exterior side yard setback, the other one kind of just rolls into it.

MR. GRIFFIN: Okay, that's fine. Well, thank you.

MR. SIAVELIS: Sure.

ACTING CHAIRMAN DIVITO: Thank you. Please step forward. Have you had a chance to sign in?

MRS. DAZZO: We have. We could start.

MR. SIAVELIS: Before we do that, real quick, what was your address again, sir?

MR. GRIFFIN: 845 South Belmont.

ACTING CHAIRMAN DIVITO: All right, name and address?

MR. DAZZO: We're Pat and Perry Dazzo, 607 East Orchard, which would be right across the street from them.

ACTING CHAIRMAN DIVITO: Perfect. Raise your right hand.

(Witnesses sworn.)

ACTING CHAIRMAN DIVITO: Very good, thank you.

MRS. DAZZO: This is the first time we're seeing it. So, from the Orchard side, looking at it, it's a bump up from what's there now. So, those that live in the neighborhood, you know, we've lived there now for 11 years. We've lived in the neighborhood 27 years. Even though the gentleman was great, it's nice to see that improvement is going to take place.

As far as the driveway, I would not be impacted because we don't live on the north. So, I won't comment on that. But as far as, and that's your job, but as far as the overall appearance of that lot being brought up to 2017, we're looking forward to that.

MR. SIAVELIS: You're at 607 you said?

MR. DAZZO: Yes.

MRS. DAZZO: We will directly face this side of the house.

ACTING CHAIRMAN DIVITO: Just to be clear, the only variance that we are seeking, and this is more for the rest of the audience not for you, is for the side yard setback which is the Orchard side.

MRS. DAZZO: Correct.

MR. DAZZO: Right.

MR. SIAVELIS: But there is an eave that goes with that.

ACTING CHAIRMAN DIVITO: And the eave, sorry.

MR. SIAVELIS: You've lived in the neighborhood for a long time?

MR. DAZZO: Yes.

MRS. DAZZO: 28 years.

MR. SIAVELIS: Do you know the folks who live at 841?

MRS. DAZZO: Which? Him.

MR. DAZZO: Him.

MR. SIAVELIS: Okay, never mind, I'll withdraw the question.

MR. DAZZO: There you go.

MRS. DAZZO: Yes, well, that was to my point. That doesn't impact us. So, that's why I'm --

MR. SIAVELIS: I asked that question because I wasn't sure if you're like, you know, something like that. I just wanted to see if you're aware of that.

ACTING CHAIRMAN DIVITO: Thank you. Come on up.

MR. PERKINS: I'd like to come up and ask a question.

ACTING CHAIRMAN DIVITO: Name and address?

MR. PERKINS: John Perkins, 841 South Bristol Lane, Arlington Heights.

ACTING CHAIRMAN DIVITO: Right hand.

(Witness sworn.)

ACTING CHAIRMAN DIVITO: Thank you.

MR. PERKINS: It's not really testimony. I guess I'm concerned about the location of the driveway because I haven't had a chance to see any plans. We are on the north side.

So, in relation to where the driveway, the existing driveway is, where will this driveway be?

ACTING CHAIRMAN DIVITO: It will be farther north based off of the drawings that we've seen. So, it would be three feet off of the property line to the north.

MR. PERKINS: Three feet off?

ACTING CHAIRMAN DIVITO: Yes. Can you scroll, Derek, farther that way?

MR. SIAVELIS: No, he's right, he's right, he's got the orientation.

ACTING CHAIRMAN DIVITO: Oh, yes.

MR. SIAVELIS: Yes, he's on the correct orientation.

MR. PERKINS: So, that's us on the right side there.

MR. SIAVELIS: Do you see that vertical line that says 222.41 feet?

MR. PERKINS: Correct.

MR. SIAVELIS: That's your property line.

MR. PERKINS: Correct, and that's the driveway right there. It's not the shaded area, it's the light area, okay.

ACTING CHAIRMAN DIVITO: The shaded area is the structure, the outline of the preexisting home is still there. So, you'll see that they're actually drawing back the structure farther away from the home.

MR. PERKINS: Okay.

MR. SIAVELIS: Quick question for you. It looks like that dimension there from the property line to your house is 20 feet. Is that about right?

MR. PERKINS: It should be 19 feet, 19 point some feet, yes.

MR. SIAVELIS: All right, well, that's pretty close, around 20 feet.

MR. PERKINS: Yes.

MR. SIAVELIS: So, then the distance between the structures, all right, when you do the math there is 46 feet approximately. At present, the distance between the two structures, the existing house that's going to be demo-ed and your house is less than 46 feet, at least per the outline of that existing house. Does that sound right to you?

MR. PERKINS: Approximately, ball park at this. Okay, so the issue of the driveway though is it's three feet from the property line? Is that what my understanding is?

MR. SIAVELIS: That's correct.

MR. PERKINS: Will that allow for any placement of shrubs or anything at three feet?

MR. MACH: It's tight. Some small shrubs, maybe.

MR. SIAVELIS: Yes. Derek, is there a minimum width on driveways for a side loader?

MR. MACH: Yes. It must be a minimum of 22 from the face of the garage.

MR. SIAVELIS: That drawing shows me 23, right?

MR. DRAKE: So, are you fact-finding and just trying to get information?

MR. PERKINS: Correct.

MR. DRAKE: Or do you have a concern about the --

MR. PERKINS: No, I'm just trying to understand what's really happening.

MR. DRAKE: Okay, okay.

MR. SIAVELIS: Do you need any other information to tell us whether you support or oppose or abstain?

MR. PERKINS: No, I don't believe so.

MR. SIAVELIS: Okay, can you tell us whether you're in opposition to it or whether you support it or whether you have no opinion?

MR. PERKINS: No, I think I'm in support of it. I just wanted to understand what's happening.

MR. SIAVELIS: Okay, that's important to us. You're the neighbor that's directly adjacent to the property in question. You know, it's our responsibility to take your views into consideration. How long have you lived in the house?

MR. PERKINS: 16 years.

MR. SIAVELIS: 16 years. Okay, how many live in that home with you?

MR. PERKINS: Two. My wife and myself.

MR. SIAVELIS: Okay.

ACTING CHAIRMAN DIVITO: Thank you. Anybody else from the audience?

MR. LUCAS: Could you, by the way, tighten this up a little bit so we can see the whole property with what is Orchard?

MR. SIAVELIS: You want to zoom out so you can see more, is that what you're asking?

MR. LUCAS: That's perfect, just like that, so I can understand what I'm looking at.

ACTING CHAIRMAN DIVITO: Name and address?

MR. LUCAS: Brian Lucas, 859 South Beverly.

(Witness sworn.)

ACTING CHAIRMAN DIVITO: Thank you.

MR. LUCAS: A question, just I had read a couple of things and heard something here tonight. Is the extension from the boundary line 10, 12, or 20 feet? Because I thought I had read multiple things in some of the documents on the variance into Orchard.

MR. MACH: There was inconsistent, the variation from the cover sheet and the Staff analysis were not consistent. The Petitioner submitted revised plans and the actual variance is the 20.6 feet where 30 -- I'm sorry.

It's a 20.6-foot variance for an exterior side yard setback of 15.7 feet from the south property line instead of the minimum required 36.3 feet.

MR. SIAVELIS: So, the cover sheet is right?

MR. MACH: The Staff report is correct.

MR. SIAVELIS: The Staff analysis report, okay, good.

MR. LUCAS: So, 20 feet of a variance is being required?

MR. MACH: That's from the property line.

MR. LUCAS: Okay. So, just so I can understand, this is really more for information on my part, the property line, is that the dotted line that I see going diagonally down the property?

MR. SIAVELIS: No, it's the, do you see 222.41?

MR. LUCAS: Yes.

MR. SIAVELIS: That's the property line.

MR. LUCAS: Okay, so then --

MR. SIAVELIS: So, they're going to be doing the dimensions off of that.

MR. LUCAS: So, then it's 20 feet from that line into the back end of the building?

MR. MACH: The house, they're proposing to set it back 15 point, I can't read that.

ACTING CHAIRMAN DIVITO: 15.7.

MR. MACH: Yes, feet from the property line. In addition, there is the parkway which varies and is approximately 23-25 feet in width.

MR. LUCAS: Okay, so about 35 to 38 feet if my math is right? From Orchard?

ACTING CHAIRMAN DIVITO: With respect to Orchard, yes.

MR. LUCAS: Okay, okay. Well, it looks like a beautiful property, and thank you very much. Really appreciate that you're doing a tear-down and building a very nice property.

MR. SIAVELIS: Just to clarify so you understand, there is no issue, correct me if I'm wrong, Derek, as to Orchard Street regarding the variance, right? It's all on the north side?

MR. MACH: No, they are seeking for encroachment into the required setback.

MR. SIAVELIS: Oh, I'm sorry. Yes, yes, I got it turned around. My bad, my bad.

MR. LUCAS: So, it's between the two dotted lines where the encroachment is, right?

ACTING CHAIRMAN DIVITO: Yes.

MR. LUCAS: If I'm reading that right?

MR. SIAVELIS: Yes, that's right, I'm sorry.

MR. MACH: That's right. This portion is the encroachment.

MR. LUCAS: Okay. I guess the only request I would have, and that's all this is, as it comes out, if there is a way we could use nice shrubbery or trees, whatever you decide looks good there, just to help maintain the beauty as you walk down that street. But looking at this house, thank you very much, it looks beautiful.

MR. MASSARELLI: Appreciate that, thank you.

MR. LUCAS: So, I'm fine. Thank you.

ACTING CHAIRMAN DIVITO: Thank you. All right, anybody else from the audience that wishes to present?

None being heard, I'll close it down to Board discussion. Anyone want to begin?

MR. SIAVELIS: I'll commence since I've just gone on the record on this. So, the commentary from the public, the neighbors that I thought was important, at least from my view, if we would have had strong opposition especially from the gentleman who spoke, Mr. Perkins I believe at 841, that would have given me a lot of concern. I understand the variance is on the other side of the house that's being sought, but it is a design exercise here because of the pie-shaped lot.

In light of his support and no strenuous objections from the others who have presented on the record, and the fact that they've complied with the notice

provisions, I'll support this.

MR. DRAKE: I would agree with all of that. I think it's a beautiful property. It's an improvement to the neighborhood. I was on the fence until the neighbors commented and I'm off the fence, so I'll support it.

MR. SELBKA: I agree.

ACTING CHAIRMAN DIVITO: Given the pie-shaped lot, that's really where I think I was going to have the hardest time with, or maybe the easiest time knowing that, you know, they did say their hardship about trying to rearrange the house on the property to make it fit within the current setbacks. So, again we're dealing with a corner lot. The fact that we are doing side-load garages and actually, in my mind actually presenting a more beautiful front on both sides, I think it's going to be a characteristic improvement.

MR. SIAVELIS: Yes. One other thing to be noticed, the encroachment actually decreases as you go back to front, right? So, the architect and the Petitioners made an effort, it appears, to try and alleviate that encroachment, it's not carried through from the back or back to front.

ACTING CHAIRMAN DIVITO: Right, and also to the side neighbor to the north, how they're pulling the structure away from their property line. The driveway is going to be extended but the actual building is going to be pulled back.

MR. SIAVELIS: Yes, and there is still considerable space between the two buildings, the two structures and that's what I asked Mr. Perkins.

ACTING CHAIRMAN DIVITO: Very good. Is there a motion?

MR. DRAKE: Move approval of the petition.

MR. SIAVELIS: I'll second.

ACTING CHAIRMAN DIVITO: Derek?

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Acting Chairman Divito.

ACTING CHAIRMAN DIVITO: Yes. It's been approved.

MR. MASSARELLI: Thank you.

MR. ROCK: Thank you very much.

ACTING CHAIRMAN DIVITO: Thank you, good night.

(Whereupon, the hearing on the above petition was adjourned at 7:49 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS March 13, 2017

PETITIONER: Massarelli Residence
ADDRESS OF PROPERTY: 845 S. Bristol Ln.
VARIATION: 5.1-3.6, 5.4

A 20.6-foot variance to allow a new home with an exterior side yard setback of 15.7-feet from the south property line instead of the minimum 36.3-feet and an additional 1.0-foot for the eave.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they are proposing to construct a new home in place of an existing home on the corner of Bristol Lane and Orchard Street. The petitioner explained that the proposed home will be a traditional Georgian style home that is symmetrical. The petitioner testified that the lot is pie shaped and that the proposed home is encroaching into the required exterior side yard setback along Orchard Street. The petitioner explained that the garage is side load and is along the interior side (north) property line. The petitioner explained that the preference was to have the side load garage on the interior so that garage does not face either Orchard Street or Bristol Lane. The petitioner testified that the side load garage is contributing to the encroachment along the exterior side yard. Neighbors spoke in support of the project.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Drake and seconded by Mr. Siavelis. Thereafter, the Board voted 4-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 4-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 1611 N. Wilke Rd. - 3/13/17

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Minutes 3/13/17 - 1611 N. Wilke Rd.	Minutes
Findings 3/13/17 - 1611 N. Wilke Rd.	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALSOF APPEALS

RE: 1611 NORTH WILKE ROAD - ZBA #17-008

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Beuchner Room,
Arlington Heights, Illinois on the 13th day of March, 2017 at the hour of
7:49 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Acting Chairman
TOM DRAKE
JOSEPH SELBKA
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Village Planner

ACTING CHAIRMAN DIVITO: All right, the next Petitioner is coming from 1611 North Wilke. Have you had the opportunity to sign in?

MR. FRAYDER: I will, thank you.

ACTING CHAIRMAN DIVITO: All right, name and address for the record?

MR. FRAYDER: Rick Frayder, 1473 Baronet Lane, Palatine.

MRS. FRAYDER: Janelle Frayder, 1473 Baronet Lane, Palatine.

MR. DAVIS: Kevin Davis, Fairfield Homes, 530 South Arthur, Arlington Heights.

ACTING CHAIRMAN DIVITO: Raise your right hand.

(Witnesses sworn.)

ACTING CHAIRMAN DIVITO: Thank you.

MR. DAVIS: So, the Frayders, the Frayder family is building their dream home on Wilke Road on an empty lot. It appears to be an interior lot, but it's not, but it is. So, Maude at some point in Arlington Heights history was contemplated to be pushed through all the way to Wilke Road. Then at some point a long time ago, nobody had any interest in it. Arlington Heights has no interest in it, Engineering has no interest in it. We've talked to them, they are interested in deeding over the properties to the surrounding neighbors.

In light of that, a front yard setback from Maude seems to be a hardship on this lot. It would not only require squeezing the house up very narrowly, but it would require tearing down some trees for the size of house we contemplate building there.

So, we're asking for a typical interior lot side yard setback, not a front yard setback, from the nonexistent Maude Avenue, Road, Street, I can't remember.

MR. TOBERMAN: Avenue.

MR. DAVIS: Avenue. So, that's the hardship.

MR. SELBKA: Eventually, are you going to then purchase that sort of unclaimed --

MR. DAVIS: All four neighbors are talking to Arlington Heights and it's not really a purchase.

MR. FRAYDER: Vacation.

MR. DAVIS: It's really a please take it situation.

MR. SELBKA: Okay.

MR. FRAYDER: But all four have to agree.

MR. DAVIS: That hasn't happened but they're in talks.

ACTING CHAIRMAN DIVITO: From the overhead pictures so far, it seems like there has been some vegetation that's been planted from the neighbors to the south?

MR. FRAYDER: Oh, yes, neighbors to the south. They put some trees there in the right of way.

MR. DAVIS: There's not only that but there is an encroachment from a garage.

MRS. FRAYDER: Behind.

MR. DAVIS: Yes, from current standards. Not sure how that happened but it exists.

ACTING CHAIRMAN DIVITO: We're not here to judge.

MR. SIAVELIS: Well, actually we are.

ACTING CHAIRMAN DIVITO: At least not that property.

MR. DAVIS: Yes, what are you talking about?

MR. SELBKA: Not judge the past.

ACTING CHAIRMAN DIVITO: Yes.

MR. SIAVELIS: So, you're talking about 1612?

ACTING CHAIRMAN DIVITO: I was referring to 1607.

MRS. FRAYDER: Actually the one at Chicago.

MR. FRAYDER: Chicago.

MR. DAVIS: Chicago.

MR. FRAYDER: But that doesn't, that's neither here nor there. You know, it's preexisting.

ACTING CHAIRMAN DIVITO: I think I understand. So, very unique circumstance as far as the easement in front of this nonexistent street. Any other questions from the Board members?

MR. SIAVELIS: So, the house that you've drawn, what was going to be your side yard setbacks here?

MR. FRAYDER: I think they're about 11.

MR. DAVIS: Yes, they're 11.

MR. SIAVELIS: So, you need about 10-10.7 out of --

MR. DAVIS: 10, it's 10. I think, yes.

MR. FRAYDER: Well, one is a side load. So, that one is really, you've got the driveway and the hope that it's 27 feet. But the other one is 11, like the driveway.

MR. DAVIS: From the north property line.

MR. FRAYDER: Yes.

MR. DAVIS: Yes, it's 11 from the north property line.

MR. SIAVELIS: Right, that side load helps you because you want to ingress and egress on Wilke, right?

MR. DAVIS: Correct.

MR. FRAYDER: Yes, yes, on Wilke.

MR. SIAVELIS: So, you won't be backing on Wilke.

MR. FRAYDER: Right, that would be tricky. Yes, we're planning to have a single lane in the driveway down the front yard so you can, you know, drive straight out.

MR. SIAVELIS: Like turn around essentially and drive.

MR. FRAYDER: Right, turn around.

MR. SIAVELIS: Just pull out, turn around and pull out.

MR. FRAYDER: Nose out onto Wilke.

MR. SIAVELIS: Nose out, right.

MR. FRAYDER: Right, right. Otherwise you'd be stuck there for a while.

MR. SIAVELIS: Makes sense.

MR. FRAYDER: So, before we purchased the lot, we pursued the vacation. It's just we had to get all four neighbors to agree and it was, you know, one guy was selling and didn't want to tie up his lot. The other guy was on the fence. So, it just didn't happen before we purchased.

MR. SIAVELIS: You talked to your neighbors here for this construction?

MR. FRAYDER: All of them, yes.

MR. SIAVELIS: Any opposition noted?

MR. DAVIS: I wouldn't say opposition. I'd say there's one that's sort of why would I want to pay more real estate taxes?

MRS. FRAYDER: For the vacation.

MR. FRAYDER: For the vacation.

MR. SIAVELIS: Oh, yes. No, I'm talking about directly tied to this petition.

MR. DAVIS: Oh, no.

MR. FRAYDER: No. No, the vacation is something we could pursue later once we move in and get to know them.

MR. DAVIS: We don't know if anybody showed up. We sent out a lot of letters because it included the townhouse development across the street.

MR. SIAVELIS: That was in your radius?

MR. DAVIS: Yes.

MR. SIAVELIS: Okay.

ACTING CHAIRMAN DIVITO: Okay. Any other questions from the Board? All right, yes, you guys can take a seat. Anybody from the audience that wishes to present?

None being heard, close it down for the Board discussion.

MR. SIAVELIS: Another pretty straightforward --

ACTING CHAIRMAN DIVITO: Very unique.

MR. SIAVELIS: Situation, yes, that's right.

ACTING CHAIRMAN DIVITO: Very unique, but yes, straightforward. It seems like they're complying with the normal --

MR. SIAVELIS: Completely understandable request.

ACTING CHAIRMAN DIVITO: Right. So, with that, any motions?

MR. SELBKA: Motion to approve.

ACTING CHAIRMAN DIVITO: Second?

MR. DRAKE: Second.

ACTING CHAIRMAN DIVITO: All right, Derek?

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Acting Chairman Divito.

ACTING CHAIRMAN DIVITO: Yes. Motion has passed. Thank you very much.

MR. FRAYDER: Thank you.

(Whereupon, the hearing on the above petition was adjourned at 7:56 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS March 13, 2017

PETITIONER: Fraydek Residence
ADDRESS OF PROPERTY: 1611 N. Wilke Rd.
VARIATION: 5.1-9.06, 5.4

A 37.5-foot variance to allow a new home with an exterior side yard setback of 10.5-feet from the south property line instead of the minimum 48.0-feet and an additional 1.0-feet for the eave.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner testified that the lot is adjacent to an unimproved right of way. The petitioner explained that although the lot is adjacent to an unimproved right of way it is considered a corner lot and the required setback would be the average of the block along the unimproved right of way. The petitioner explained that they have discussed the right of way with the Department of Engineering and they indicated that it is unlikely that Maude would ever be constructed between Wilke Avenue and Chicago Avenue. The petitioner explained that they are proposing a setback that is 10% of lot width instead of the average of the two homes along the Maude right of way.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Selbka and seconded by Mr. Drake. Thereafter, the Board voted 4-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 4-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 4248 N. Bloomington Ave. - 3/13/17

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Minutes 3/13/17 - 4248 N. Bloomington Ave.	Minutes
Findings 3/13/17 - 4248 N. Bloomington Ave.	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALSOF APPEALS

RE: 4248 NORTH BLOOMINGTON AVENUE - ZBA #17-009

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Beuchner Room,
Arlington Heights, Illinois on the 13th day of March, 2017 at the hour of
7:56 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Acting Chairman
TOM DRAKE
JOSEPH SELBKA
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Village Planner

ACTING CHAIRMAN DIVITO: Moving right along to 4248 North
Bloomington.

You've both had a chance to sign in?

MR. PARADOSKI: I'll sign in while we talk.

MR. VANDYKE: I'm William VanDyke, TLC Management.

MR. PARADOSKI: I'm Gary Paradoski with Aqua Vitae
Engineering.

ACTING CHAIRMAN DIVITO: Addresses for both?

MR. VANDYKE: That would be 4248 Bloomington, and I'm a resident of
Arlington Heights.

MR. PARADOSKI: 125 South Burton Place in Arlington Heights.

(Witnesses sworn.)

ACTING CHAIRMAN DIVITO: Thank you.

MR. PARADOSKI: So, obviously we're requesting a few variations and
we've prepared a lengthy petition. I won't go through it but if you'll indulge me, I'd like to
just touch on some of the highlights. But please jump in if you have questions and interrupt
me, feel free to interrupt me.

ACTING CHAIRMAN DIVITO: All I ask is that you make sure you hit on the
three points that are part of the petition.

MR. PARADOSKI: Okay. So, as far as reasonable rate of return, Arbor
Lakes Apartments is what's rated as an A minus community in the apartment complex
community. So, as such and due to its size, it requires a maintenance staff that works six
days a week. Currently, they don't have a place to store their maintenance equipment, so
they use parking spaces and what have you. That's typically like what you'd call a golf cart
or something like that, that can remove snow, snow removal, things like that.

So, the equipment is exposed to the elements, susceptible to
vandalism. So, as far as the rate of return, obviously any vandalism or having to replace
equipment directly affects the annual maintenance fees for the residents and, in turn, the
rate of return for TLC Management Company.

Now, TLC is the new owner, relatively new. So, they have many
communities and they understand the intricacies of managing an A minus community.
What they found as the unique circumstance here is that for a community of this size and
caliber, that it does not have sufficient space for the equipment or supplies necessary to
respond sufficiently or promptly to the residents, to provide for their general welfare, their
well-being, for things like snow removal, deicing, safe lighting, keeping the amenities clean
and so forth.

On the third point, the essential character of the locality. So, TLC
Management wants that, wants to maintain the character of the community. We're asking
for a variation on the building height only so that it can maintain a roof pitch that conforms
with that of the other buildings, a five tall roof pitch. So, it's a nine-inch variance there.

The variation on the size from 720 square feet to 1,160, that's sized
specifically to fit the equipment, particularly five carts that are necessary to respond for a
community of this size. It's not located, the garage would not be located in the rear yard
simply because there is no rear yard space. There are typically detention basins in the
rear yards, and quite frankly it conforms more to the community by being located beside

one of the buildings.

Furthermore, TLC will take measures to provide brick and wainscoting that conform with the other buildings. Not a part of this variation but just to demonstrate TLC's commitment to the community, they're removing the existing tennis courts and building an outdoor living area which is more of an updated amenity that's more popular these days. It includes a dog park, swing sets, and a patio with outdoor fireplace. So, in turn, the combination of the outdoor living area with the new maintenance garage, it's actually a net reduction in impervious surface of 6,200 square feet.

With that --

MR. VANDYKE: Sounds about right.

ACTING CHAIRMAN DIVITO: Any questions from the Board for the Petitioners?

MR. MACH: Chairman, please note that the second variance should state to allow, it states a shed, it's actually a garage in the side yard where garages are only permitted in the rear yard for the record.

MR. SIAVELIS: Where exactly in the development is the shed/garage?

MR. VANDYKE: South end of the property. About, I'd say a little more southeast, almost not centered, the very south end.

MR. DRAKE: Derek, could you show us that on the screen? Because I had the same question, would you be able to show, maybe they can just point that out.

MR. SIAVELIS: Oh, because these are -- unit I think?

MR. PARADOSKI: This is actually a detention basin. The garage is above the high water level for the detention basin. You can see this one outlets into it, this is a dry bottom basin. So, here is the clubhouse. So, the proximity is taking into consideration which way the outdoor living, a combination of these three is the outdoor living area.

MR. SIAVELIS: You're going to lose your tenants who like tennis matches.

MR. VANDYKE: Studies have shown that tennis is on a decline. Dog parks and outdoor living patios are at 150 percent increase. Yes, studies have shown that.

MR. SIAVELIS: Really.

MR. VANDYKE: Yes, I liked it. The problem is the tennis courts were redone two years ago. They're brand new. So, like we have to go with what the people want, you know.

MR. PARADOSKI: Now, as far as parking spaces, these two would be striped off but there is extra space here to relocate without adding any pavement.

MR. DRAKE: Are these all apartments or are they condos?

MR. VANDYKE: These are all apartments.

MR. PARADOSKI: All apartments.

MR. SIAVELIS: What's this structure here?

MR. VANDYKE: Those are three townhomes. So, apparently, the first developer that came to town in the early 80's was going to make this area all townhomes. Apparently, he went belly up.

MR. SIAVELIS: That was the first one, right?

MR. VANDYKE: Those are the first ones. These were going to be the models and they stopped. Then the next development that came in went with apartments.

MS. LINK: May I ask a question? I live in the condos on the other side of

Wilke. Can you show me on that map where --

MR. VANDYKE: Sure. Is it okay if I showed her?

ACTING CHAIRMAN DIVITO: Yes.

MR. VANDYKE: It's right here. So, here are the townhomes, this is Wilke right here. You can come and see.

MS. LINK: Okay. So, this is north, this is south, right?

MR. VANDYKE: Right, yes, ma'am. These are the townhomes, the community over here.

MS. LINK: I live here. All right, and it's going to be all back there?

MR. VANDYKE: Yes.

MS. LINK: So, you really won't even be able to see it from Wilke Road?

MR. VANDYKE: No.

MS. LINK: Okay. All right.

MR. VANDYKE: There's a small glimpse that you'll be able to see through this little path here -- that this would be the only sight that you'll have here. But we do have landscaping scheme going around them.

MS. LINK: Okay, all right. Thank you.

MR. VANDYKE: You're welcome, thank you.

ACTING CHAIRMAN DIVITO: I will need to have you swear in after the fact.

MS. LINK: Okay.

MR. SIAVELIS: So, all this time, you guys didn't have a maintenance garage or shed?

MR. VANDYKE: There are satellites, there's one here, and there's one here. They are really small, completely filled.

MR. SIAVELIS: Small? Yes. You have what, LSVs in here?

MR. VANDYKE: Golf carts, and there's one Gator, a John Deere Gator. I believe he's got a picture. Yes, there they are.

MR. SELBKA: Yes, I had a question. You said in your petition you were worried about vandalism and the elements. Are you worried about that development?

MR. VANDYKE: We're new to the neighborhood, so we don't know. We're trying to cover all bases.

MR. PARADOSKI: Now, their occupancy is rock solid.

MR. VANDYKE: As of last Friday, we were at 97 percent. So, we're doing well.

MR. SELBKA: Yes, I just looked at those and I thought there's got to be 500 teenage boys somewhere who are thinking about a joyride on one of those.

MR. PARADOSKI: Yes, I know, right?

MR. SIAVELIS: You speak from experience?

ACTING CHAIRMAN DIVITO: All right. Any other questions from the Board members? All right, so I'll have you, if don't mind, you guys can take a seat. I'll have you stand up and just sign in and give your name and address for the record.

Name and address please?

MS. LINK: Jean Link, 4245 North Pheasant Trail Court, Arlington Heights.
(Witness sworn.)

ACTING CHAIRMAN DIVITO: Thank you. So, prior to you being actually

sworn in, you are the person on the record asking about the location of the shed?

MS. LINK: I am.

ACTING CHAIRMAN DIVITO: Do you have any other further questions or concerns?

MS. LINK: No, I think it sounds very reasonable and it's going to conform to the decor of the apartments is what you said, right? No, I'm in agreement.

ACTING CHAIRMAN DIVITO: Thank you so much.

MS. LINK: Thank you.

ACTING CHAIRMAN DIVITO: Anyone else from the audience wishes to speak? None being heard, close it down to the Board.

MR. SIAVELIS: Reasonable and straightforward.

ACTING CHAIRMAN DIVITO: Yes, I agree. With that, is there a motion?

MR. SELBKA: Motion to approve.

MR. DRAKE: Second.

ACTING CHAIRMAN DIVITO: Derek?

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Acting Chairman Divito.

ACTING CHAIRMAN DIVITO: Yes. Motion has passed, thank you very much.

MR. VANDYKE: Thank you, gentlemen.

MR. PARADOSKI: Thank you.

ACTING CHAIRMAN DIVITO: You're welcome.

(Whereupon, the hearing on the above petition was adjourned at 8:08 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS March 13, 2017

PETITIONER: Arbor Lakes Apartments – Maintenance Garage
ADDRESS OF PROPERTY: 4248 N. Bloomington Ave.
VARIATION: 6.5-7, 6.5-2, 6.5-6

A 440 square foot variance to allow a detached garage to be 1,160 square feet instead of the maximum allowed 720 square feet; A variation to allow a shed in the side yard where sheds are only permitted in the rear yard; and a 0.8-foot variance to allow an increase to the maximum height of an accessory structure from 15.0-feet to 15.8-feet.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner testified that currently Arbor Lakes apartments does not have a place to store their maintenance equipment and that they currently use tenant parking spaces. The petitioner explained that the equipment is exposed to the elements and susceptible to vandalism. The petitioner testified that they are seeking a variance on the size from 720 square feet to 1,160 for the garage. The petitioner explained that the proposed size will specifically fit their equipment for their maintenance operations. The petitioner also explained that in order to maintain the proper roof slope, a 9 inch height variance is necessary.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Selbka and seconded by Mr. Drake. Thereafter, the Board voted 4-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 4-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 1010-1060 W. Rand Rd. - 3/13/17

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
Minutes 3/13/17 - 1010-1060 W. Rand Rd.	Minutes
Findings 3/13/17 - 1010-1060 W. Rand Rd.	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALSOF APPEALS

RE: 1010-1060 WEST RAND ROAD - ZBA #17-010

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Beuchner Room,
Arlington Heights, Illinois on the 13th day of March, 2017 at the hour of
8:08 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Acting Chairman
TOM DRAKE
JOSEPH SELBKA
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Village Planner

ACTING CHAIRMAN DIVITO: I believe that brings us down to the last petition of the evening at 1010-1060 West Rand Road.

MR. SIAVELIS: Let's have those entered in the record since he showed those to us.

ACTING CHAIRMAN DIVITO: Appreciate that.

Have you both had a chance to sign in?

MR. TOBERMAN: We have not. Have you?

MR. DIAMOND: Not yet. I'm the Petitioner, do I still sign in?

ACTING CHAIRMAN DIVITO: If you're going to present testimony, yes. If you're going to speak, yes.

While he's signing in, name and address?

MR. TOBERMAN: Yes. Cliff Toberman, Norman J. Toberman & Associates, 115 South Wilke Road, Arlington Heights.

MR. DIAMOND: Tom Diamond, 22103 West Concorde Court, Kildeer, Illinois.

ACTING CHAIRMAN DIVITO: When you're done signing in, we'll have you swear in. Thank you for your patience tonight.

MR. DIAMOND: You're welcome.

MR. TOBERMAN: You're welcome.

ACTING CHAIRMAN DIVITO: All right, right hand up.

(Witnesses sworn.)

ACTING CHAIRMAN DIVITO: Thank you, proceed.

MR. DIAMOND: Go ahead.

MR. TOBERMAN: Mr. Diamond here owns, is a partner of ownership in the Huntington Shopping Center. He wishes to now have a new tenant from out of town, from out of Arlington Heights move in to the 3,600 square-foot in this shopping center. So, there's an examination in that regard. Based on the requirements of the Village of Arlington Heights code, there's a shortage of six parking spaces. To deny this to Mr. Diamond is the hardship, to allow that variance, for a parking variance to allow that dentist to operate in the shopping center. This is based on a parking study, this work that I conducted as a Norman J. Toberman & Associates principal, recognizing as noted by Mr. Diamond that the shopping center is under-parked and, therefore, not to have to provide any more parking to satisfy the entire shopping complex.

MR. SIAVELIS: What's your relationship to the Petitioner?

MR. TOBERMAN: I am the consulting civil engineer that performed the parking study for Mr. Diamond.

ACTING CHAIRMAN DIVITO: He's part of the consulting civil engineering. You did the parking study?

MR. TOBERMAN: That's correct.

MR. SIAVELIS: So, you're with Toberman & Associates, correct?

MR. TOBERMAN: Yes.

MR. SIAVELIS: Are you Mr. Toberman?

MR. TOBERMAN: Yes, my name is Cliff Toberman.

MR. SIAVELIS: Okay, got you. That tenant is a dentist?

MR. TOBERMAN: Yes. The new tenant to the complex is a dentist, and by

a result of him wishing to be in that shopping center, a variance is being required to accommodate the parking. The hardship is there is no room, one, to provide, a very limited room to even add parking. Two, most importantly, the parking study showed today it's only 33 percent max during lunch time, that was the peak.

MR. SIAVELIS: That space currently sits vacant as I understand it?

MR. DIAMOND: Yes.

MR. SIAVELIS: Is that the space 1010, the one that's on the cover sheet?

MR. DIAMOND: No, it's --

MR. SIAVELIS: 1038 through 1044?

MR. DIAMOND: Yes.

MR. SIAVELIS: We have that as well. There are two entries that show proposed. I just want the clarification.

MR. DIAMOND: Yes.

MR. SIAVELIS: So, it's space 1038 to 1044, 3,600 square feet. That space requires 18 spots according to the --

MR. TOBERMAN: Yes.

ACTING CHAIRMAN DIVITO: Did the study actually pay mind to the location of the suite that's in question versus the adjacent parking spots? Like were there more that were farther away that were available?

MR. TOBERMAN: Sure, yes. We noted in the appendices of the study, and I don't think you were privy to the appendices. But the way the shopping center, we took counts of the entire shopping center every 15 minutes and across the morning, afternoon, evening hours or late afternoon. What we took note of most importantly was the parking across from the new facility which adjacent to that facility is a grocer, a specialty grocer, a Subway, a Nails, and also a couple of vacant spaces at the time. So, certainly we documented those spaces.

Most noteworthy, those front spaces are for patrons. All the patrons typically park in the front facing Rand Road. The employees are parking in the rear. So, you know, we circumnavigated the shopping center to see what the employee spaces looked like in the rear, and front, patrons. So, sure enough, you know, as you're duly noting, is that, you know, of 23 front spaces in front of the east main building which is where the dental facility will be, you know, typically out of these 23 spaces, several spaces were filled of the 23. I would have been concerned if I saw everything filling up out in front despite the vacancies and so forth.

So, I had prepared an exhibit here. Maybe, I don't know if you have it, too, that sort of shows what if it's all filled, right? What if you took, here's the dental facility right here, you know, we have a number of vacancies that are fronting to Rand Road. So, here is Rand Road right here. Of these 23 spaces, only several to 10 were occupied even at peak times, much less, even four to five at other times.

These are the key spaces for the patrons for the dental facility that you can expect to park. You can see as you pull in, you're going to want to park in front of the facility. So, typically, the 18 spaces, eight to nine would be the patrons, again eight to nine of the staff in the rear.

So, you know, the fact, I guess one thing that I want to point out, too,

the Subway has 17 spaces allocated, and there's three to four, you know.

MR. SIAVELIS: What's the size of that Subway?

MR. DIAMOND: 1,200 square-foot.

MR. SIAVELIS: 17 for 1,200 square feet.

MR. TOBERMAN: It's a lot. I've noticed this, I did the traffic study for the Arlington Heights Road and Grove, the Subway for that. We provided, you know, very similar type of numbers. Yet when you go by it, it's three or four, you know, we've got, we were worried about that, and sure enough this is exhibiting similar characteristics. Sure enough, during lunch, five spaces, six spaces maybe. So, therefore, because of that is part of the reason you see a large emptiness.

The grocer, to a lesser extent, especially a grocer next door, he's got a couple of spaces. Some people walk from the apartments to the facility. So, therefore, he's allocated I want to say five, four to five. He's maybe using two to three of that sort for patrons.

There's a tutoring night time facility. They're never there during the day, all right. The Pink Nails does its thing, three, four, five spaces up over here. There's a future deli planned off on this corner. So, there's, you know, honestly, there's empty spaces I believe like here. Now, that will be assistance for the deli, these vacant spaces here.

Anything, any particular, you know, what's going to happen is, for the most part there's more than enough regardless just because we're showing max numbers for 18 stalls for the dentist.

MR. SIAVELIS: So, you did this -- go ahead.

MR. TOBERMAN: Sure. So, no, that was it. So, bottom line is there's, you know, there's empty space partly for the space that's vacant the dentist is moving to. It's an under-parked Subway, under-parked grocery store, and then there's all this on the east side, plenty of rear parking for employees. So, I concluded that parking study saying, you know, there's more than sufficient parking to accommodate the facility.

MR. SIAVELIS: You did that parking study in mid January of this year, right?

MR. TOBERMAN: That's correct. Yes.

MR. SIAVELIS: You didn't take another data set for another week, is that correct?

MR. TOBERMAN: No, I did not, although I did drive by it, you know, a couple of weeks later just to, you know, see if there's anything. But it's known patterns, you know, it's clearly known patterns.

MR. SIAVELIS: So, the data that you provided to us were basically three sets from, or three days within a five-day period, is that true?

MR. TOBERMAN: That's correct.

MR. SIAVELIS: Based on your experience, you're confident that if you were to redo the parking study or add an additional set of three-day intervals, a weekday and then a Saturday and then an early weekday, you would expect to see similar results?

MR. TOBERMAN: You know, I would. It was clear weather, it wasn't as if it was, you know, bad weather. You know, rainstorm, people forget it, I'm not going out, right? That wasn't the case.

The other thing is the Saturdays which is a nice thing for dental use,

the tutoring, I'm sorry, the daycare center, they're closed on Saturdays. So, actually the whole place is wide open on a Saturday, I mean absolutely wide open for the dentist. So, what it comes down to, it comes to a peak maybe at lunchtime during the week. A little bit unusual, I would have expected the afternoon actually. I'm used to seeing afternoon peaks in a traffic study or parking. But not in this case.

So, because of that, and the mixed use, you know, when you get a shopping center, a strip center, what I've noted when you combine individual uses and then you add them all up and put a max, it just doesn't work exactly that way. We're fortunate that there's mixed uses of all these different shopping centers that allow that. Unlike a Woodfield, you know, like a big, you know, everybody goes for Christmas to the shopping center, this isn't the case, you know, whatsoever. It's a very daily type.

You've been there. You own it, you've seen it over many years.

MR. SIAVELIS: Yes, how long have you owned the property?

MR. DIAMOND: Approximately 23 years.

MR. DRAKE: Does the dental practice have any evening hours?

MR. TOBERMAN: The plan was, as far as I know and I'm working with the real estate person, Ron Reese, who said it was most likely not going to be the case.

MR. DRAKE: How long has that space been vacant that the dental practice is moving into?

MR. DIAMOND: Over five years.

MR. DRAKE: Five years.

MR. DIAMOND: A third of that has been empty for closer to 10 actually.

MR. TOBERMAN: Now, if they did do night time, there's more than enough. Actually it's even, you know, wouldn't be a problem whatsoever.

MR. DRAKE: Okay, thank you.

ACTING CHAIRMAN DIVITO: All right, you can take a seat. Is there anybody in the audience that wishes to speak? None being heard, we'll close it down for the Board discussion.

MR. MACH: Chairman, just for the record, it's an eight-space deficit. I think the Petitioner only gave it six.

MR. SIAVELIS: Yes, it is eight, right. So, with that in mind, thanks, Derek, for the clarification, that doesn't really change things for me in any way, shape or form.

I had a question about the parking study based on the amount of data gathered, but Mr. Toberman clarified that and I don't have any reason to doubt his clarification and his testimony. I also take note of the very good question asked about how long that property was vacant for, and in these situations I strongly believe that when we have a petitioner who is the owner of a commercial property, he knows his property, he or she knows their property best. They're not going to do anything that will jeopardize his tenants and his revenue streams. So, even in a close situation, I'd defer to their judgment, and I personally don't think this is a close situation, I think that the need is established here. Thus, I support it.

ACTING CHAIRMAN DIVITO: Very well said.

MR. SELBKA: I actually drive past that shopping center to my parents' house. I've driven past it probably hundreds of times over every time of the day, and it's never been filled. So, now that's anecdotal but that's observation.

MR. SIAVELIS: Yes, I think that's a good set of testimony, too.

MR. DRAKE: Well, I'll pile on. I drive by there everyday to get to my new office. Since we got this petition, I've been eye-balling it everyday, slowing down, and there's a lot of empty spaces.

ACTING CHAIRMAN DIVITO: Perfect. Is there a motion?

MR. SELBKA: Motion to approve.

MR. SIAVELIS: I'll second.

ACTING CHAIRMAN DIVITO: Derek?

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Acting Chairman Divito.

ACTING CHAIRMAN DIVITO: Motion has passed.

MR. DIAMOND: Thank you.

ACTING CHAIRMAN DIVITO: Have a great evening. All right. So, there is one request from the audience while we're adjourning. Former Chairman Mr. Petrillo would like to address the Board.

Oh, is it off the record? All right, never mind.

MR. SIAVELIS: Move to adjourn.

MR. DRAKE: Second.

ACTING CHAIRMAN DIVITO: Motion passed, we're adjourned.

(Whereupon, the hearing on the above petition was adjourned at 8:24 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS March 13, 2017

PETITIONER: Huntington Square
ADDRESS OF PROPERTY: 1010-1060 W. Rand Rd.
VARIATION: 11,2

A variation to allow a reduction to the minimum required parking from 84 to 76 parking spaces.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they have a potential new tenant that would occupy 3,600 square-foot of vacant space in the shopping center. The petitioner explained that the tenant is a dental office which has a higher parking demand per Village code. The petitioner testified that there is an eight space parking deficit per the zoning code. The petitioner explained that a parking study was conducted and the study demonstrates that the shopping center is under parked.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Selbka and seconded by Mr. Siavelis. Thereafter, the Board voted 4-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 4-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Acting Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 21 S. Waterman Ave. - ZBA#17-011

Department: Planning & Community Development

REQUEST

1. A 8.9 foot setback variance from Chapter 28, Section 6.13-3c1 (Exterior Side Yards) to allow a 6 foot tall semi open fence in the exterior side yard that is along the south property line with no street side landscaping where a 8.9 foot setback is required.
2. A 3 foot height variance from Chapter 28, Section 6.13-3 to allow a 6 foot tall fence in the exterior side yard along the property line where 3 feet is the maximum height.

ATTACHMENTS:

Description	Type
21 S. Waterman Ave. - ZBA#17-011	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: April 17, 2017
Date Prepared: April 10, 2017
Project Title: DeLeon Residence
Address: 21 S. Waterman Ave.

Background Information

Petition Number: ZBA #17-011
Petitioner: Rommel DeLeon
Address: 21 S. Waterman Ave.
Arlington Heights IL 60004
Existing Zoning: R-3, Single-Family Dwelling District

Requested Action/Background Information

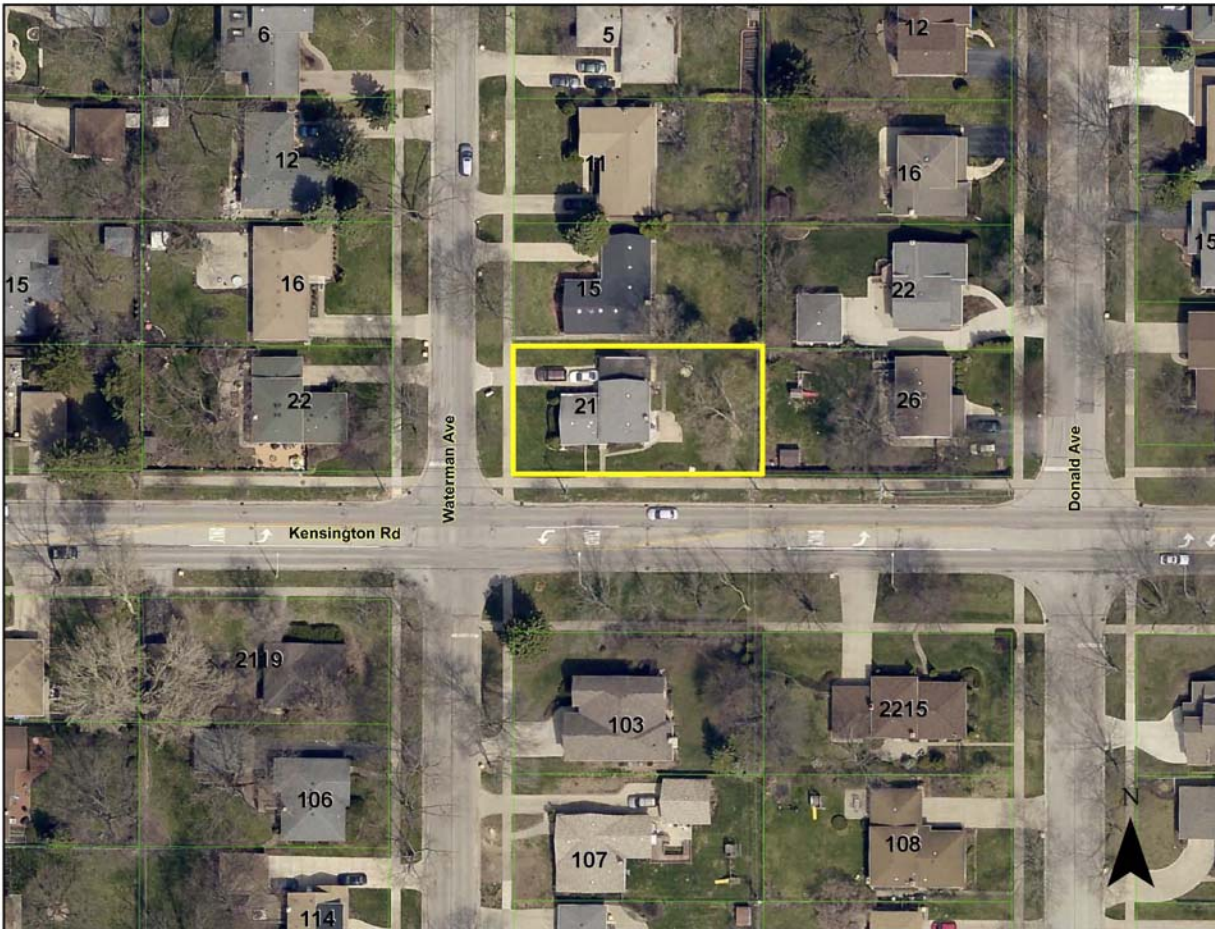
The petitioner proposes to construct a 6' high fence in the exterior side yard along the south property line where an 8.9 foot setback is required. Therefore, the petitioner requests the following variation:

- An 8.9 foot setback variance from Chapter 28, Section 6.13-3c1 (Exterior Side Yards) to allow a 6 foot tall semi open fence in the exterior side yard that is along the south property line with no street side landscaping where an 8.9 foot setback is required.
- A 3 foot height variance from Chapter 28, Section 6.13-3 to allow a 6 foot tall fence in the exterior side yard along the property line where 3 feet is the maximum height.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

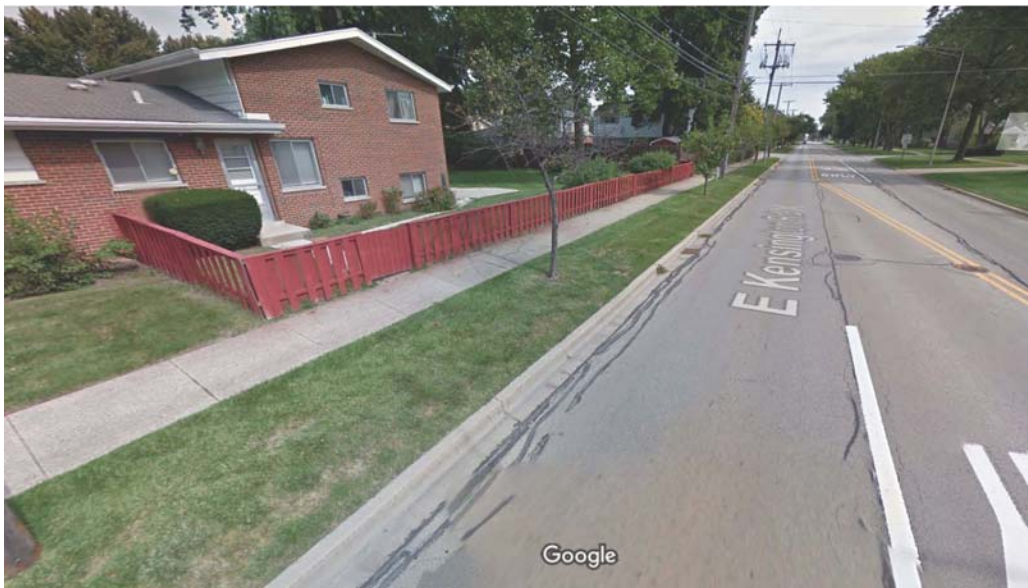
Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	3/30/17	
2. List of Property Owners Within 250 feet of Subject Property	✓	3/30/17	
3. Letter that was Mailed	✓	3/30/17	
4. Photographs of Sign on Property	✓	3/30/17	

Photographs of Existing Structure



ZBA# 17-011

21 S Waterman - ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering

Submitted: March 23, 2017

Completed: March 29, 2017



The proposed ZBA application indicates that the petitioner is seeking:

A 8.9 ft setback to allow a 6 ft tall semi-open fence in the exterior side yard that is along the west property line with no street side landscaping where a 8.9 ft setback is required; and a 3 ft height variance to allow a 6 ft tall fence in the exterior side yard along the property line where 3 ft is the maximum height.

NOTE: The petition is to replace the existing fence with a taller fence in the same location along the edge of the sidewalk on Kensington Rd. The neighboring property to the west also has a taller fence along Kensington Rd, however; it is set back a few feet from the sidewalk with landscaping. The fence appears to have been installed in 2013 or 2014. A permit was issued but per the Building Department a final inspection was not completed and the file closed. Referencing Google street view, the fence was not there in 2012. A zoning variance would have been needed for the current location of the fence.

The Engineering Department has **NO OBJECTION** to the height of the fence, however; the Engineering Department is **NOT IN FAVOR** of the location and would prefer the fence be located a few feet off of the sidewalk. Future maintenance of the sidewalk would be difficult without damaging the fence.

RECEIVED

MAR 30 2017

**PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT**

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: De Leon Residence

Project Address: 21 S. Waterman Ave.

ZBA #: 17-011

ZBA Hearing Date: April 17, 2017

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: March 22, 2017

- A 8.9 foot setback variance from Chapter 28, Section 6.13-3c1 (Exterior Side Yards) to allow a 6 foot tall semi open fence in the exterior side yard that is along the west property line with no street side landscaping where a 8.9 foot setback is required.
- A 3 foot height variance from Chapter 28, Section 6.13-3 to allow a 6 foot tall fence in the exterior side yard along the property line where 3 feet is the maximum height.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: NO COMMENTS C. CRAIG 3-23-17

Please review, comment, and return to me no later than Friday, March 31, 2017.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: De Leon Residence

Project Address: 21 S. Waterman Ave.

ZBA #: 17-011

ZBA Hearing Date: April 17, 2017

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

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- A 3 foot height variance from Chapter 28, Section 6.13-3 to allow a 6 foot tall fence in the exterior side yard along the property line where 3 feet is the maximum height.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

No COMMENTS. - S. HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Friday, March 31, 2017.

PETITION

NOW COMES the Petitioner Rommel de Leon being the owner of the property commonly known as: 21 S. Waterman Avenue Arlington Heights IL 60004 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 6.13, Chapter 28, of the Arlington Heights Municipal Code, in order to: Construct a 6-foot fence (board on board) along Kensington Property Line

I hereby state that the following hardship would exist if the variation were not granted:

It will take away at least 9 feet of property land if the variation is not granted. The new fence following the new regulation would be so close to the side door by the kitchen which you will notice once the site visit is conducted. It would also take our privacy and safety of my daughter from our backyard.

I hereby state that the following unique circumstances exist:

The new fence following the new regulation would be only be a foot away to the gas line by Julie's marked up.

I hereby state that the variation, if granted, will not alter the essential character of the locality because:

There is already an existing lower fence as you will noticed on the submitted plat of survey.

Signed: _____



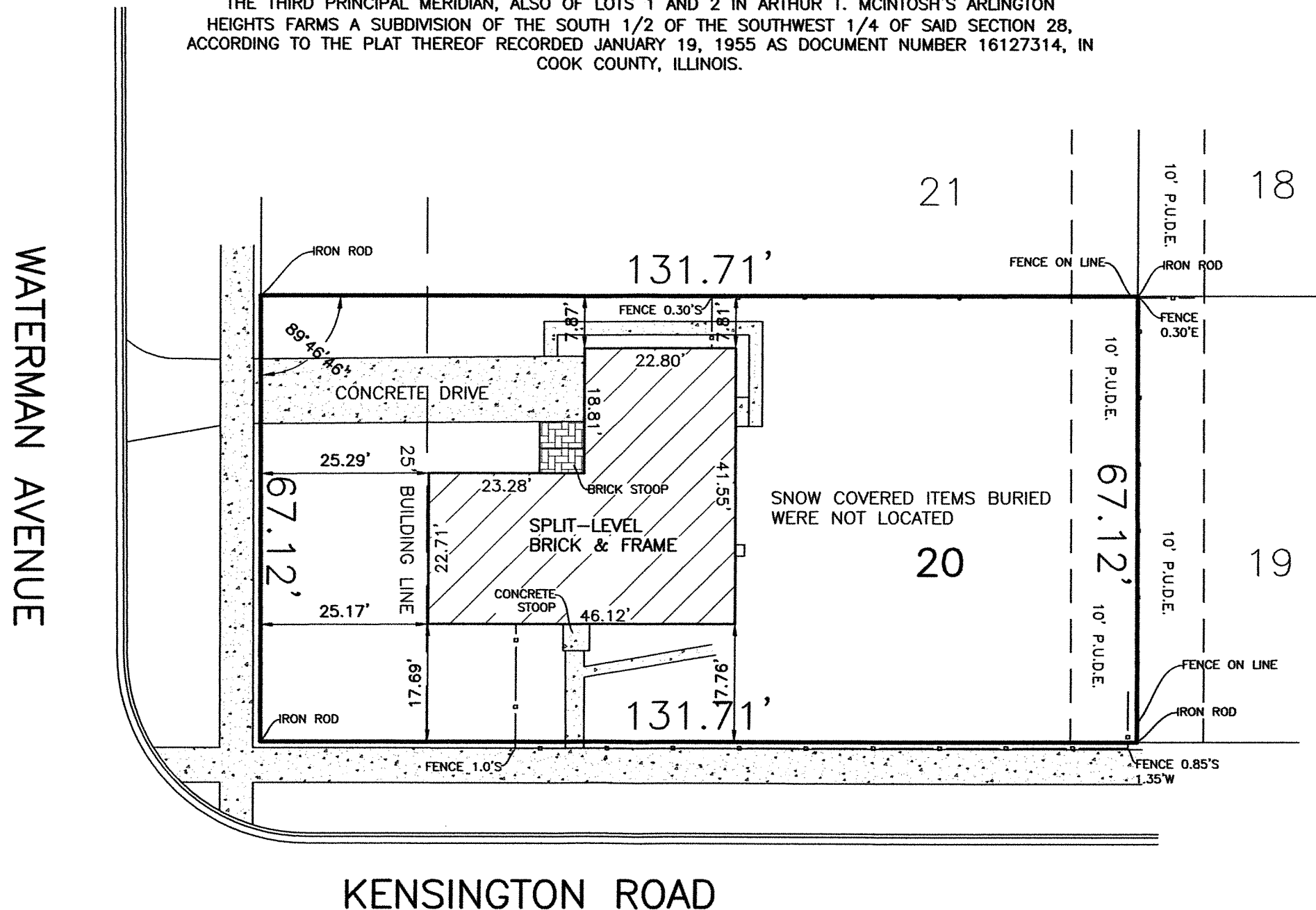
Petitioner

Date: _____

3/1/17

618 S. Broadway St.
Mchenry, Il. 60050

LOT 20 IN LURYA ADDITION TO ARLINGTON HEIGHTS BEING A SUBDIVISION OF THE WEST 10 ACRES OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 28, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ALSO OF LOTS 1 AND 2 IN ARTHUR T. MCINTOSH'S ARLINGTON HEIGHTS FARMS A SUBDIVISION OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION 28, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 19, 1955 AS DOCUMENT NUMBER 16127314, IN COOK COUNTY, ILLINOIS.



ALL DISTANCES IN FEET AND DECIMAL

SCALE: one inch = 20 feet

FILE NO. TA3043

ORDERED BY: _____

CHARLES T. NEWLAND & ASSOCIATES

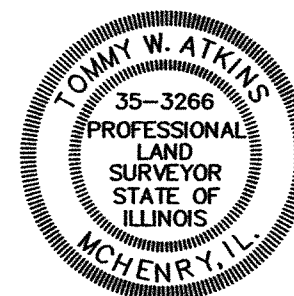
ADDRESS: 21 S. WATERMAN AVENUE

ARLINGTON HEIGHTS, ILLINOIS

NOTE: ONLY THOSE BUILDING
LINE RESTRICTIONS OR
EASEMENTS SHOWN ON A
RECORDED SUBDMISION PLAT
ARE SHOWN HEREON.

COMPARE YOUR DESCRIPTION
AND SITE MARKINGS WITH
THIS PLAT AND AT ONCE
REPORT ANY DISCREPANCIES
WHICH YOU MAY FIND.

BL = BUILDING LINE
BSL = BUILDING SETBACK LINE
PUDE = PUBLIC UTILITY AND DRAINAGE EASEMENT
PUE = PUBLIC UTILITY EASEMENT



STATE OF ILLINOIS
COUNTY OF MCHENRY } SS

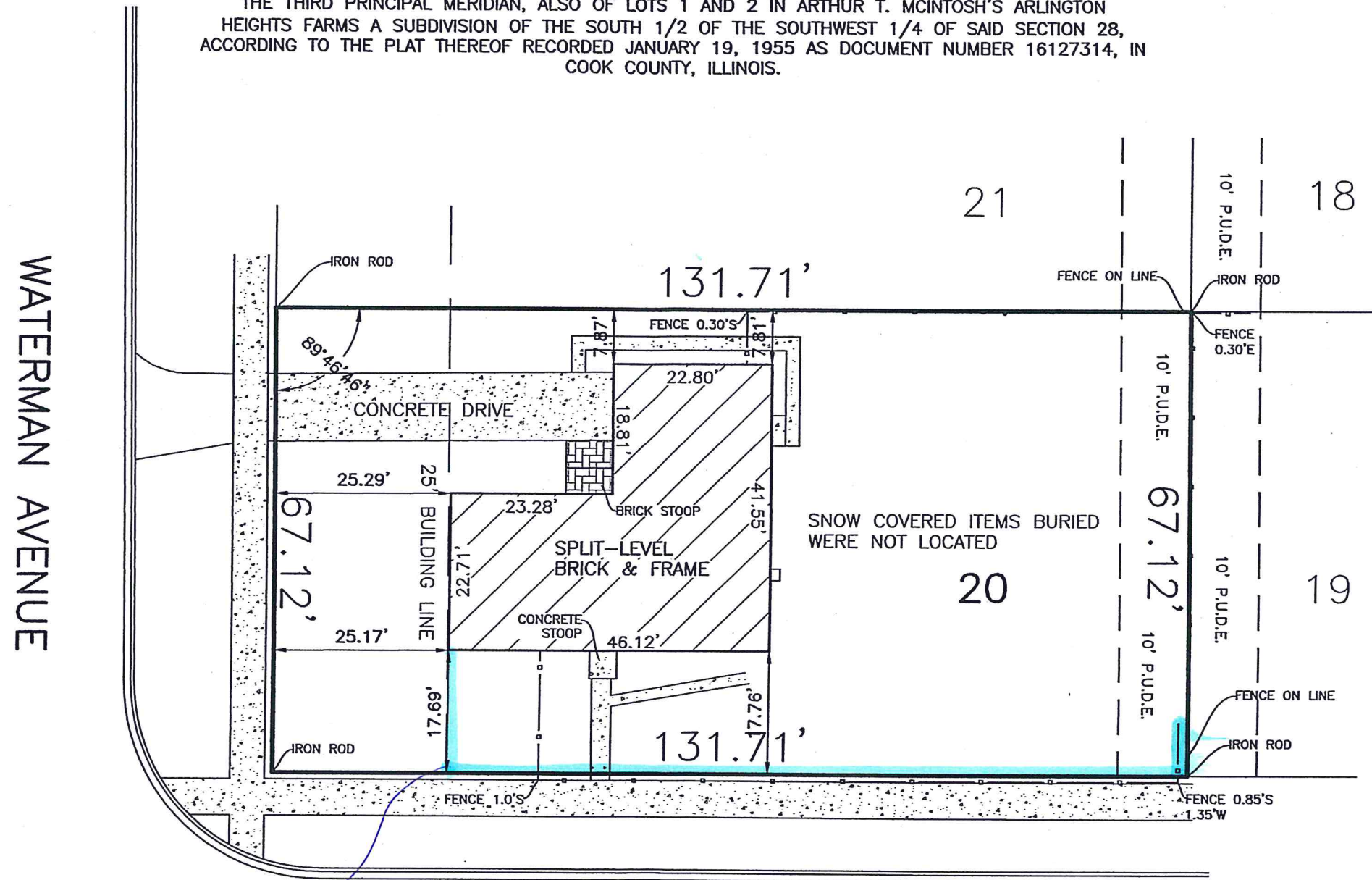
I, TOMMY W. ATKINS, ILLINOIS PROFESSIONAL LAND SURVEYOR, IN THE STATE OF ILLINOIS, DO HEREBY STATE THAT I HAVE PREPARED THE PLAT OF SURVEY DEPICTED HEREON. THIS PLAT REPRESENTS THE CONDITIONS FOUND AT THE TIME OF SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.

CERTIFIED AT MCHENRY, ILLINOIS THIS 20th DAY OF DECEMBER, 2016

Tommy W. Atkins
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3266
MY LICENSE EXPIRES NOVEMBER 30, 2018

618 S. Broadway St.
Mchenry, Il. 60050

LOT 20 IN LURYA ADDITION TO ARLINGTON HEIGHTS BEING A SUBDIVISION OF THE WEST 10 ACRES OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 28, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ALSO OF LOTS 1 AND 2 IN ARTHUR T. MCINTOSH'S ARLINGTON HEIGHTS FARMS A SUBDIVISION OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION 28, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 19, 1955 AS DOCUMENT NUMBER 16127314, IN COOK COUNTY, ILLINOIS.



PROPOSE NEW FENCE (REPLACEMENT) RED CEDAR WOOD 6 FT. HIGH BOARD ON BOARD

ALL DISTANCES IN FEET AND DECIMAL

SCALE: one inch = 20 feet

FILE NO. TA3043

ORDERED BY:

CHARLES T. NEWLAND & ASSOCIATES

ADDRESS: 21 S. WATERMAN AVENUE

ARLINGTON HEIGHTS, ILLINOIS

NOTE: ONLY THOSE BUILDING
LINE RESTRICTIONS OR
EASEMENTS SHOWN ON A
RECORDED SUBDIVISION PLAT
ARE SHOWN HEREON.

COMPARE YOUR DESCRIPTION
AND SITE MARKINGS WITH
THIS PLAT AND AT ONCE
REPORT ANY DISCREPANCIES
WHICH YOU MAY FIND.

BL = BUILDING LINE
BSL = BUILDING SETBACK LINE
PUDE = PUBLIC UTILITY AND DRAINAGE EASEMENT
PUE = PUBLIC UTILITY EASEMENT



STATE OF ILLINOIS
COUNTY OF MCHENRY } SS

I, TOMMY W. ATKINS, ILLINOIS PROFESSIONAL LAND SURVEYOR, IN THE STATE OF ILLINOIS, DO HEREBY STATE THAT I HAVE PREPARED THE PLAT OF SURVEY DEPICTED HEREON. THIS PLAT REPRESENTS THE CONDITIONS FOUND AT THE TIME OF SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE APPLICABLE TO BOUNDARY SURVEYS.

CERTIFIED AT MCHENRY, ILLINOIS THIS 20th DAY OF DECEMBER, 2016

Tommy W. Atkins
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3266
MY LICENSE EXPIRES NOVEMBER 30, 2018



EXISTING
FENCE

EXISTING FENCE





EXISTING
FENCE

A photograph of a residential street scene. In the foreground, a red wooden fence runs along the left side of a concrete sidewalk. The sidewalk extends into the distance. To the right of the sidewalk is a paved road. In the background, there are houses, bare trees, and utility poles. A speed limit sign for 30 is visible on the right side of the road. The text 'EXISTING FENCE' is overlaid in red capital letters on the sidewalk area.

PROPOSE FENCE





Item: 825-905 W. University Dr. - ZBA#17-012

Department: Planning & Community Development

REQUEST

1. A 0.5 foot variation from Chapter 28, Section 11.2-8 for a drive aisle that is 23.5 feet in width where 24 feet is required.

ATTACHMENTS:

Description	Type
825-905 W. University Dr. - ZBA#17-012	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: April 17, 2017
Date Prepared: April 10, 2017
Project Title: 825-905 W. University Dr.
Address: 825-905 W. University Dr.

Background Information

Petition Number: ZBA #17-012
Petitioner: Daniel J. Grecco
Address: 1042 N. Maple Ave. Suite 130
Lisle, IL 60532
Existing Zoning: M-1, Research, Development & Light Manufacturing District

Requested Action/Background Information

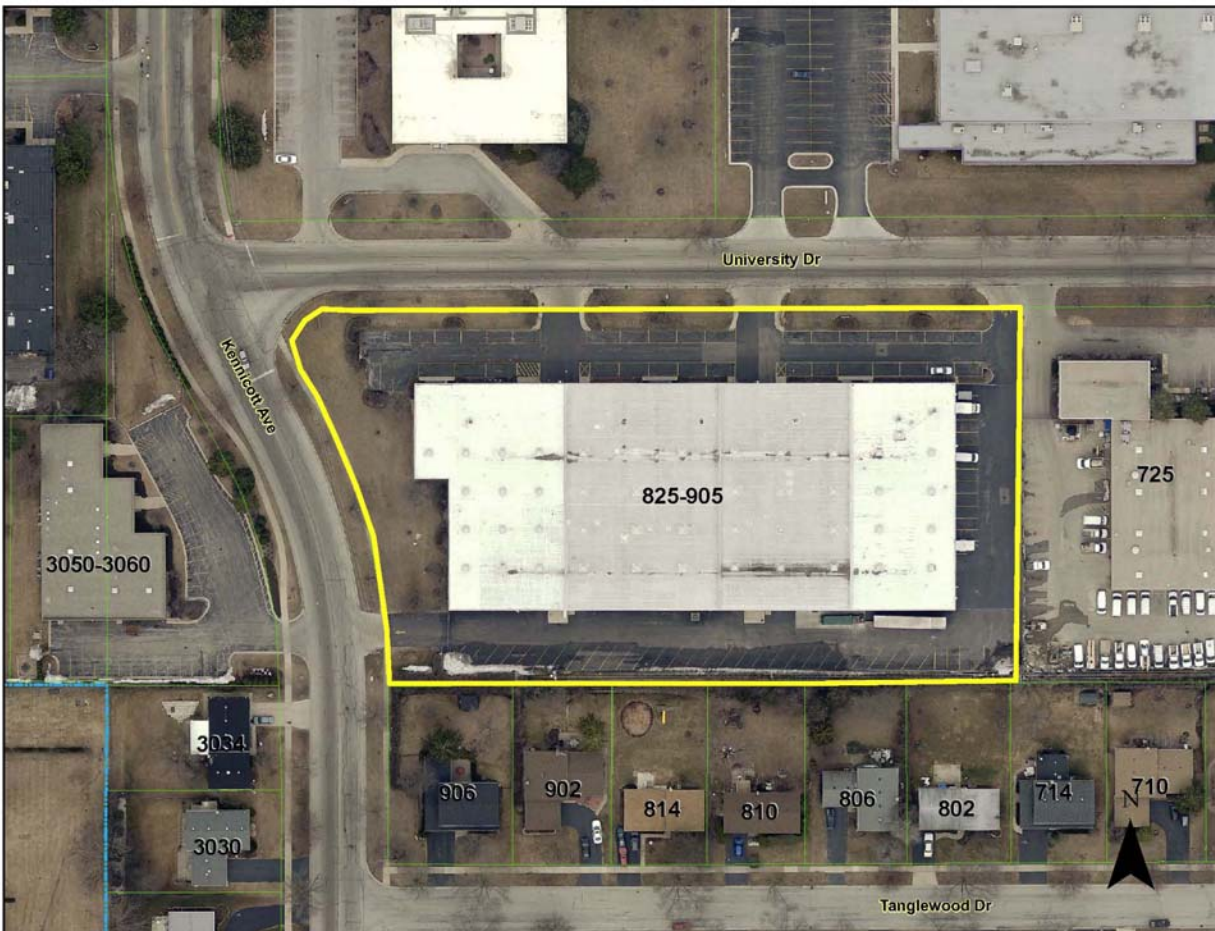
The petitioner is proposing to expand the existing parking lot in order to gain additional parking spaces. The subject site is zoned M-1, Research, Development and Light Manufacturing District and the property has a total land area of approximately 135,000 square feet. The proposed parking lot expansion is along University Drive. Due to the limited space along University Drive, the petitioner is requesting a variance from the required drive aisle width. The petitioner was also requesting a variance to forgo the required landscape screening along the parking lot; however, the variation is no longer necessary since the petitioner has indicated that they are amenable to an easement for the landscape screen within the Village right-of-way subject to the petitioner being responsible for the maintenance of the plant material. As part of the project, the petitioner is proposing to remove eight parkway trees since the grading for the parking lot expansion would impact the trees. The trees are Ash trees and the petitioner would be required to reimburse the Village for removal of the Ash trees and for new replacement trees. The petitioner is requesting the following variation:

- **A 0.5 foot variation from Chapter 28, Section 11.2-8 for a drive aisle that is 23.5 feet in width where 24 feet is required.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	3/21/17	
2. List of Property Owners Within 250 feet of Subject Property	✓	3/21/17	
3. Letter that was Mailed	✓	3/21/17	
4. Photographs of Sign on Property	✓	3/21/17	

Photographs of Existing Structure



ZBA# 17-012

825-905 W University - ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering

Submitted: March 23, 2017

Completed: March 29, 2017



The proposed ZBA application indicates that the petitioner is seeking:

A 0.5 ft variance for a drive aisle that is 23.5 ft in width where 24 ft is required; and a variance for no screen adjacent to the parking lot along the right-of-way where a three foot high screen is required.

NOTE: Per Mike Pagones, the parking modifications have been discussed with Tom Ponsot & the Planning Department.

The Engineering Department has NO OBJECTION to the aisle width; and NO COMMENT on the no screen along the right-of-way.

RECEIVED

MAR 30 2017

**PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT**

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: 825-905 W. University Dr.

Project Address: 825-905 W. University Dr.

ZBA #: 17-012

ZBA Hearing Date: April 17, 2017

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: March 22, 2017

RECEIVED

MAR 24 2017

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

- A 0.5 foot variation from Chapter 28, Section 11.2-8 for a drive aisle where 24 feet is required.
- A variation from Chapter 28, Section 6.15-1.2 to for no screen adjacent to the parking lot along the right of way where a three foot high screen is required.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

Please review, comment, and return to me no later than Friday, March 31, 2017.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: 825-905 W. University Dr.

Project Address: 825-905 W. University Dr.

ZBA #: 17-012

ZBA Hearing Date: April 17, 2017

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: March 22, 2017

- A 0.5 foot variation from Chapter 28, Section 11.2-8 for a drive aisle that is 23.5 feet in width where 24 feet is required.
- A variation from Chapter 28, Section 6.15-1.2 to for no screen adjacent to the parking lot along the right of way where a three foot high screen is required.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

No Comments. - S. HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Friday, March 31, 2017.

PETITION

NOW COMES the petitioner : George Stevenson D & G Properties, LLC

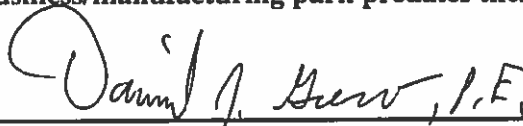
Being the legal owners of the property commonly known as: 825-905 W. University Drive, Arlington Heights

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 11.2, Chapter 28 of the Arlington Heights Municipal Code, in order to provide additional onsite parking.

I hereby state that the following hardship would exist if the variation were not granted:
Shortage of parking and limited usage of a previous manufacturing building site.

I hereby state the following unique circumstances exist: **Market demand for office space currently exceeds previous constructed warehouse space. Since its peak in 1979, manufacturing jobs are down nearly 40% (U.S. Bureau of Labor Statistics). Conversion to office space requires more parking, as office shifts are generally concurrent and not based upon a manufacturing 24 hour schedule. Limited space exists onsite to expand parking, as the original building size footprint was maximized for manufacturing use.**

I hereby state that variation, if granted, will not alter the essential character of the locality because: **The usage of the building remains consistent with required zoning, and the surrounding neighborhood. Landscaping buffering for parking lots are not currently present on any adjacent properties, as the original development of the business/manufacturing park predates these requirements.**



Daniel J. Grecco, P.E. (Authorized Petitioner for Owner)

March 08, 2017

Date

RECEIVED

MAR 08 2017

**PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT**

ADDENDUM

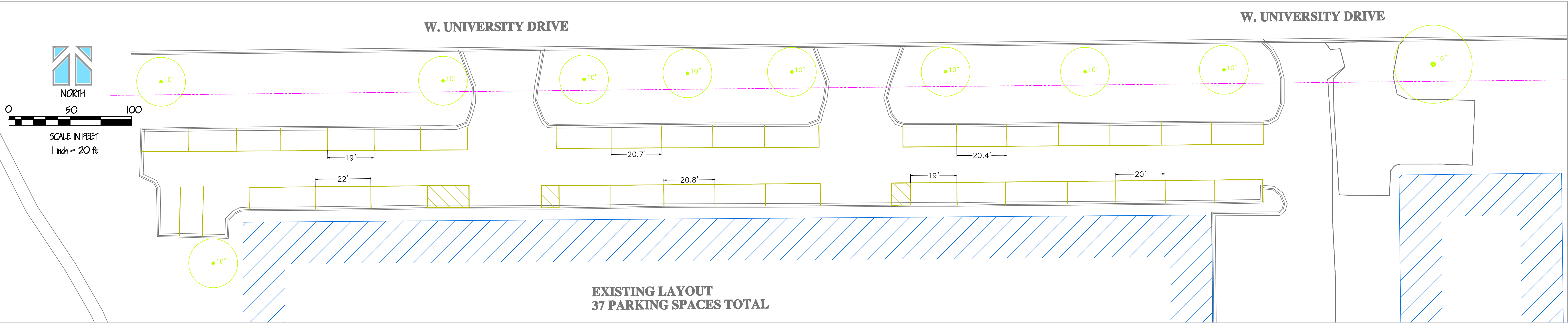
PARKING LOT EXPANSION

825-905 W. University Drive, Arlington Heights, IL

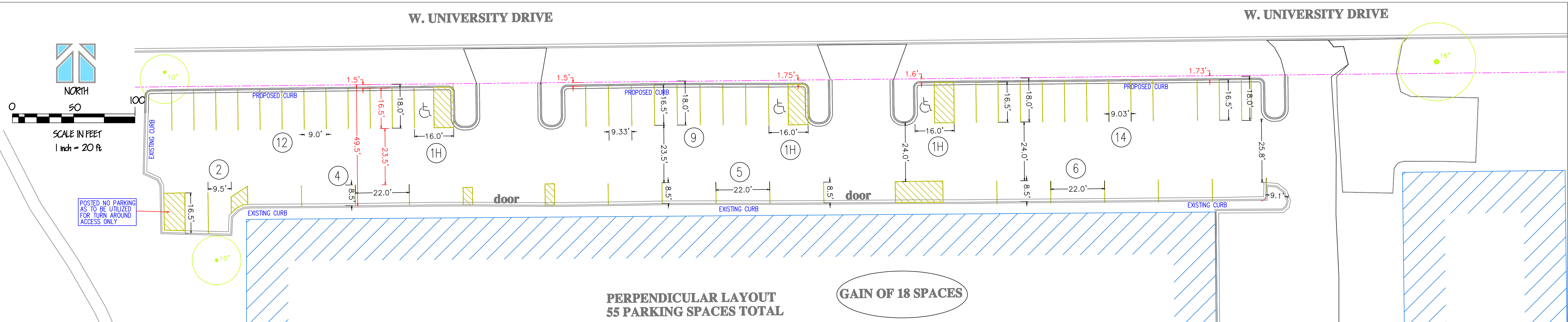
Parking Schedule Existing Conditions

	Current Site Usage	Req. VOH Parking Space Rate	Req. Parking Spaces
Office Space Square Footage	10,000 sqft	1 stall / 300 sqft	34 spaces
Manufacturing/ Warehouse Employee's	7 employees	1 stall / 2 employees	4 spaces
			38 spaces total

EXISTING LAYOUT



PROPOSED LAYOUT



1. JULY 24, 2016
2. MARCH 07, 2017
3.
4.
5.
6.
7.
8.

PRE-CURSEY VILLAGE REVIEW
PRE-CURSEY VILLAGE REVIEW

SHEET:
C3

MODIFIED PARKING LOT

EXIST. VS PROP. CONDITIONS

Civil Engineer
Dan Grecco, P.E.
1042 Maple Ave, Suite 130
Lisle, IL 60532
(630)-745-0624
dgrecco@alm.com

CONTRACTOR:
TPC Construction
975 Stonefield Circle
Palatine, IL 60067
(847) 276-0004
tom@tpcconstruction.com

SCALE:
AS SHOWN

SHEET:
C3

Date:
MARCH 07, 2017



Item: 1009 N. Douglas Ave. - ZBA#17-014

Department: Planning & Community Development

REQUEST

1. A variance from Chapter 28, section 5.1-3.4 (Minimum Lot Size) to allow a 49-ft. wide, 6,472 sq. ft. lot to be buildable, where 70 feet wide, 8,750 sq. ft. is required.
2. A 1.0 foot variance from Chapter 28, Section 11.2-11.1f for a new attached side load garage where the driveway pavement shall be a minimum of 22 feet from the face of the garage to the edge of the driveway pavement and 21.0 feet is proposed.
3. A 0.2 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a side yard setback of 4.8 feet from the north property line instead of the minimum 5.0 feet.

ATTACHMENTS:

Description	Type
1009 N. Douglas Ave. - ZBA#17-014	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: April 17, 2017
Date Prepared: April 10, 2017
Project Title: Schultz Residence
Address: 1009 N. Douglas Ave.

Background Information

Petition Number: ZBA #17-014
Petitioner: Keith & Melissa Schultz
Address: 1009 N. Douglas Ave.
Arlington Heights IL 60004
Existing Zoning: R-3, Single-Family Dwelling District

Requested Action/Background Information

The petitioner is proposing to construct an addition to the existing home. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 6,472 square feet and a lot width of 49.0 feet. The proposed residence will have approximately 2,300 square feet with a new two car attached garage.

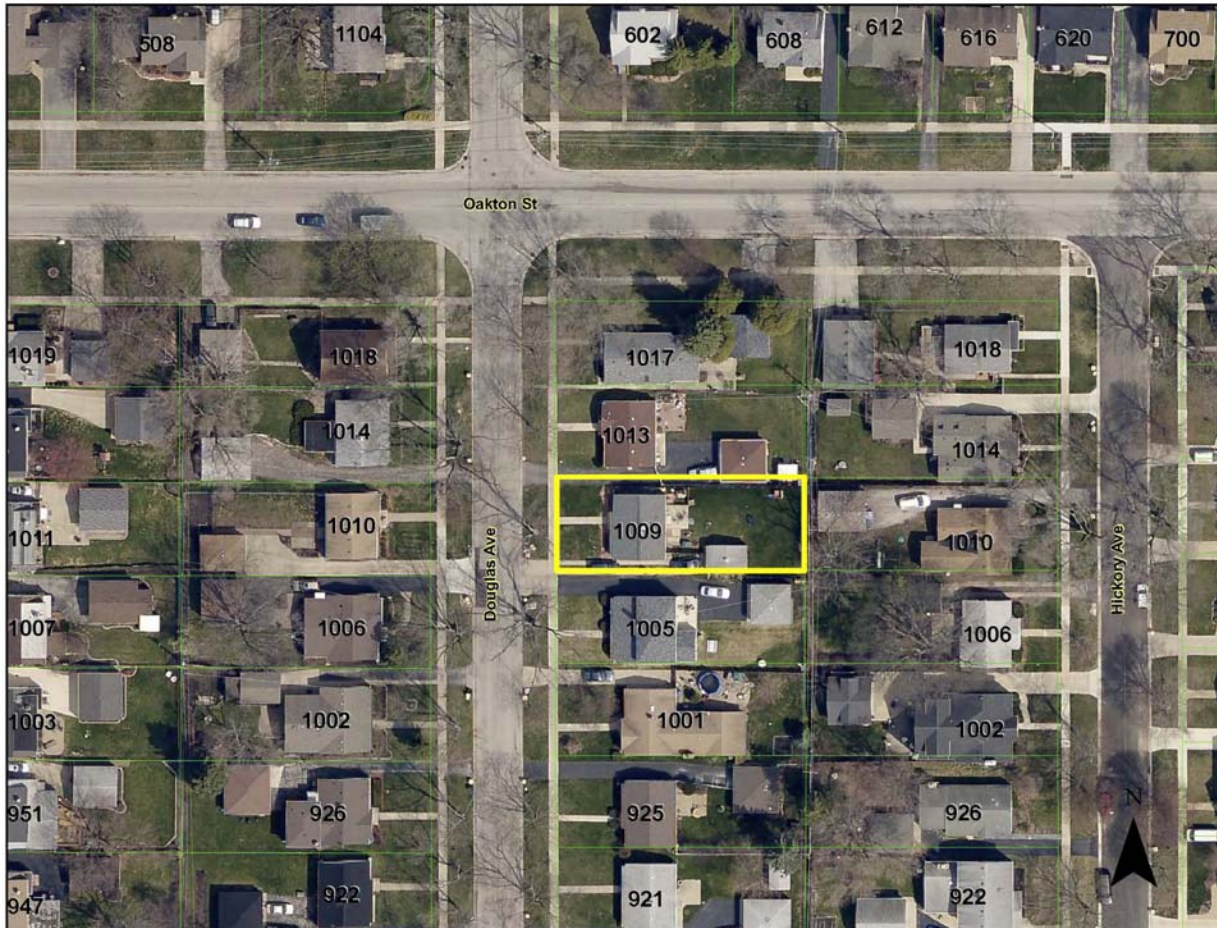
The lot area and lot width are substandard. Sections 5.1-3.4 and 5.1-3.5 of the Zoning Code set forth minimum lot size and width requirements for the R-3 District which is 70 feet in width and 8,750 square feet in area for an interior lot. As part of 5.1-3.4, the Director of Building is authorized to issue permits for structures on lots that are less than the minimum area and width requirements if the majority of the frontage on which the property is located is developed with lots that are below the minimum district requirements; provided that no permit shall be issued for any parcel containing less than 6,250 SF and a lot width of 50 feet. The petitioner's property is 49.0 feet wide and 6,472 SF, which does not meet the absolute minimum lot width of 50 feet. In addition, the proposed driveway is setback 21 feet from the face of the garage where 22 feet is required. Therefore, petitioner requests the following variations:

- A variance from Chapter 28, section 5.1-3.4 (Minimum Lot Size) to allow a 49-ft. wide, 6,472 sq. ft. lot to be buildable, where 70 feet wide, 8,750 sq. ft. is required.
- A 1.0 foot variance from Chapter 28, Section 11.2-11.1f for a driveway for an attached side load garage where the driveway pavement shall be a minimum of 22 feet from the face of the garage to the edge of the driveway pavement and 21.0 feet is proposed.
- A 0.2 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow an addition with a side yard setback of 4.8 feet from the north property line instead of the minimum 5.0 feet.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	3/24/17	
2. List of Property Owners Within 250 feet of Subject Property	✓	3/24/17	
3. Letter that was Mailed	✓	3/24/17	
4. Photographs of Sign on Property	✓	3/24/17	

Photographs of Existing Structure



ZBA# 17-014

1009 N Douglas Ave - ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering

Submitted: March 23, 2017

Completed: March 29, 2017



The proposed ZBA application indicates that the petitioner is seeking:

A variance to allow a 49 ft wide, 6,472 sq ft lot to be buildable, where 70 ft wide, 8,750 sq ft is required; and a 1 ft variance to allow a new attached side load garage where the driveway pavement shall be a minimum of 22 ft from the face of the garage to the edge of the driveway pavement and 21 ft is proposed.

NOTE: The existing lot is non-conforming.

The Engineering Department has NO OBJECTION to the proposed variance.

RECEIVED

MAR 30 2017

**PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT**

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Schultz Residence

Project Address: 1009 N. Douglas Ave.

ZBA #: 17-014

ZBA Hearing Date: April 17, 2017

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: March 22, 2017

- A variance from Chapter 28, section 5.1-3.4 (Minimum Lot Size) to allow a 49-ft. wide, 6,472 sq. ft. lot to be buildable, where 70 feet wide, 8,750 sq. ft. is required.
- A 1.0 foot variance from Chapter 28, Section 11.2-11.1f for a new attached side load garage where the driveway pavement shall be a minimum of 22 feet from the face of the garage to the edge of the driveway pavement and 21.0 feet is proposed.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other:

Comments: SURVEY OF 3-9-17 SHOWS LESS THAN 5' SETBACK TO PROPERTY LINE FROM ORIGINAL HOME. ADDITION OR MODIFIED ORIGINAL HOME SECTIONS LESS THAN 5' WILL REQUIRE FIRE RATED CONSTRUCTION + WINDOW PLACEMENT, C. CRAIG

Please review, comment, and return to me no later than Friday, March 31, 2017. 3-23-17

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Schultz Residence

Project Address: 1009 N. Douglas Ave.

ZBA #: 17-014

ZBA Hearing Date: April 17, 2017

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: March 22, 2017

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- A 1.0 foot variance from Chapter 28, Section 11.2-11.1f for a new attached side load garage where the driveway pavement shall be a minimum of 22 feet from the face of the garage to the edge of the driveway pavement and 21.0 feet is proposed.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THE ADDITION IS NICELY DESIGNED, AND ADMINISTRATIVE DESIGN APPROVAL IS FAVORABLE PENDING THE OUTCOME OF

Please review, comment, and return to me no later than Friday, March 31, 2017.

THE ZBA REVIEW.

- STEVE HAUTZINGER, DESIGN PLANNER

PETITION

NOW COMES the Petitioner Keith and Melissa Schultz being the owner of the property commonly known as: 1009 N. Douglas Ave. Arlington Heights, IL 60004 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Sections 5.1-3.4a, Chapter 28 of the Arlington Heights Municipal Code, in order to: construct a two-story addition with attached garage to the existing one-story residence. A detached garage will be removed from the property.

I hereby state that the following hardship would exist if the variation were not granted: Due to the non-conforming property width dimension, through no fault of our own, not meeting R-3 width requirement- the residence cannot be expanded.

I hereby state that the following unique circumstances exist: Due to the existing property having a width of 49.0' (1 foot less than required minimum of 50'), but with the overall area of 6,472 sq. ft. (222 sq ft beyond the required minimum of 6,250 sq. ft.) for the R-3 zone.

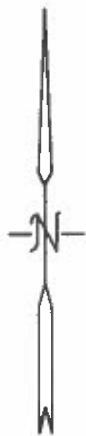
I hereby state the variation, if granted, will not alter the essential character of the locality because: The proposed addition will meet all requirements for the R-3 zone and be of a similar and complementary character to the neighborhood and adjacent residences

 _____ Petitioner 3/14/17 _____ Date

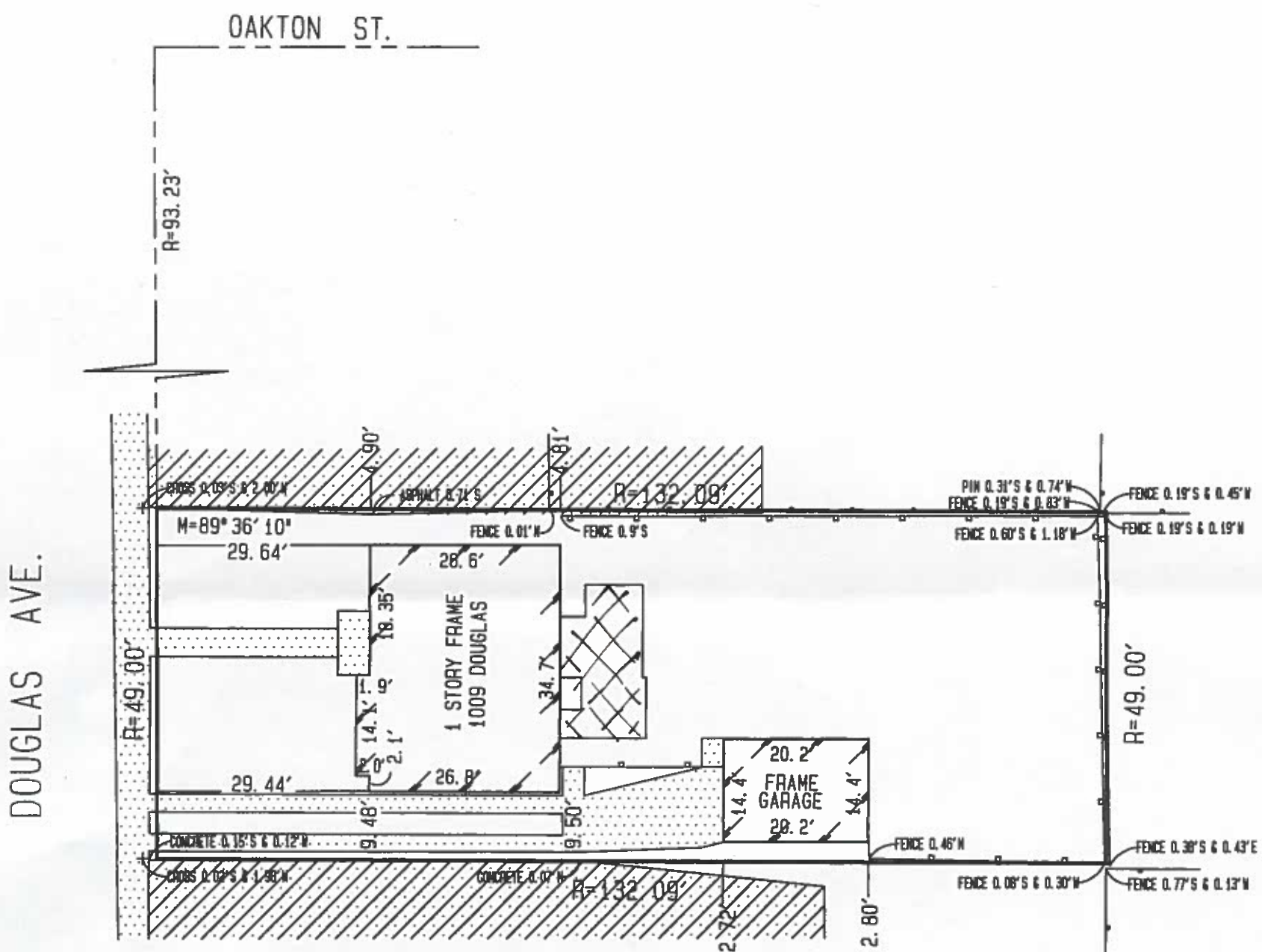
PLAT OF SURVEY

Order No. 1713555

LOT 30 IN C. A. GOELZ'S COUNTRY CLUB ADDITION, BEING A SUBDIVISION OF THE WEST 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 (EXCEPT THE SOUTH 428.50 FEET THEREOF) OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED AS DOCUMENT NUMBER 1321898, IN COOK COUNTY, ILLINOIS.



SCALE 1" = 20'



- LEGEND
- LIMITS of BUILDING -
 - R - RECORD
 - M - MEASURED
 - D - DEED
 - - FOUND IRON PIPE
 - - SET IRON PIPE
 - - HYDRANT
 - ⊙ - LIGHT
 - CONCRETE -
 - PAVERS -
 - ASPHALT -

LDI LAND DIVISIONS, Inc.
Professional Surveying Services
P.O. Box 835
West Dundee, Illinois 60118
(847) 841-8305 (847) 551-9171
fax (847) 551-9193



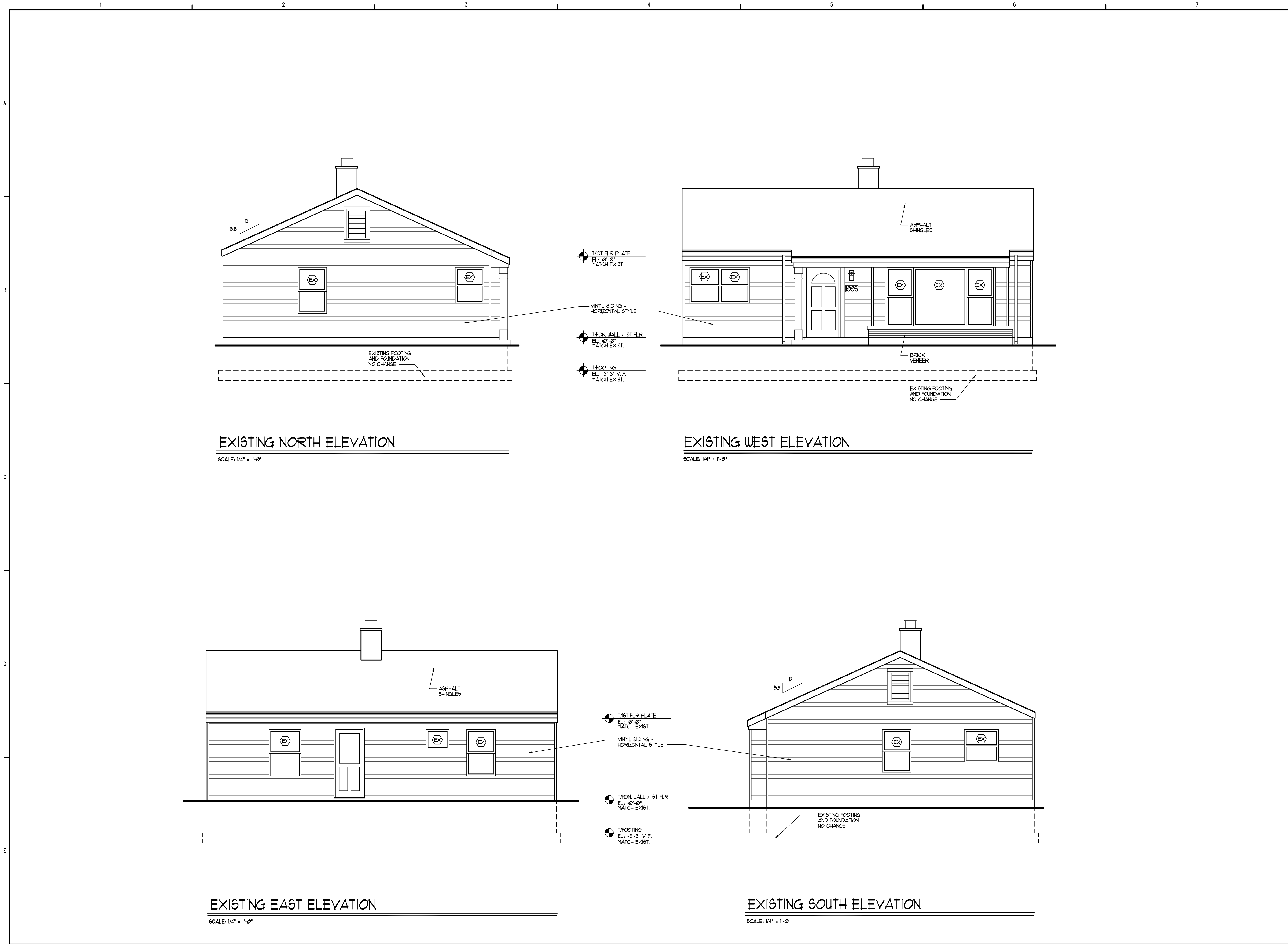
STATE of ILLINOIS
COUNTY of KANE

WE, LAND DIVISIONS INC., CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND, THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS AS FOUND AT THE TIME OF THE SURVEY AND THAT THIS PROFESSIONAL SERVICE REPRESENTS A TESTED OPINION OF THE BOUNDARY OF THE ABOVE CAPTIONED PROPERTY.
DATE OF SURVEY: MARCH 9, 2017.

Signature

LICENSE NO. 2783 EXPIRES ON NOVEMBER 30, 2018.

THIS PLAT CONFORMS WITH THE CURRENT ILLINOIS PROFESSIONAL LAND SURVEYORS ASSOCIATION MINIMUM STANDARDS FOR A BOUNDARY SURVEY. BUILDING LINE RESTRICTIONS AND EASEMENTS SHOWN ARE THOSE IDENTIFIED ON THE RECORD SUBDIVISION PLAT, UNLESS OTHERWISE NOTED. REFER TO TITLE INSURANCE POLICY AND LOCAL ZONING ORDINANCES FOR RESTRICTIONS NOT SHOWN. COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT. IMMEDIATELY REPORT ANY DISCREPANCIES FOUND. ALL DISTANCES ARE IN FEET AND DECIMAL PARTS THEREOF. THIS PLAT HAS BEEN PREPARED FOR SCHULTZ.





**EHLKE
LONIGRO**
Architects

224 S. Milwaukee Ave. - Ste. F
Wheeling, IL 60090
Office 847.243.8360
Fax 847.243.8361

**SCHULTZ
RESIDENCE**

1009 N. DOUGLAS
ARLINGTON HEIGHTS, ILLINOIS

REVISION: DATE:

△ _____

△ _____

△ _____

△ _____

3/6/2011

SHEET TITLE:

EXISTING
EXTERIOR ELEVATIONS

© 2016 ELLA	BY: JLD/EG
PROJECT NO. 16009	SHEET NO.
DRAWN BY: NGL	A102
CHECKED BY: SJE	SHEET 3 OF 5

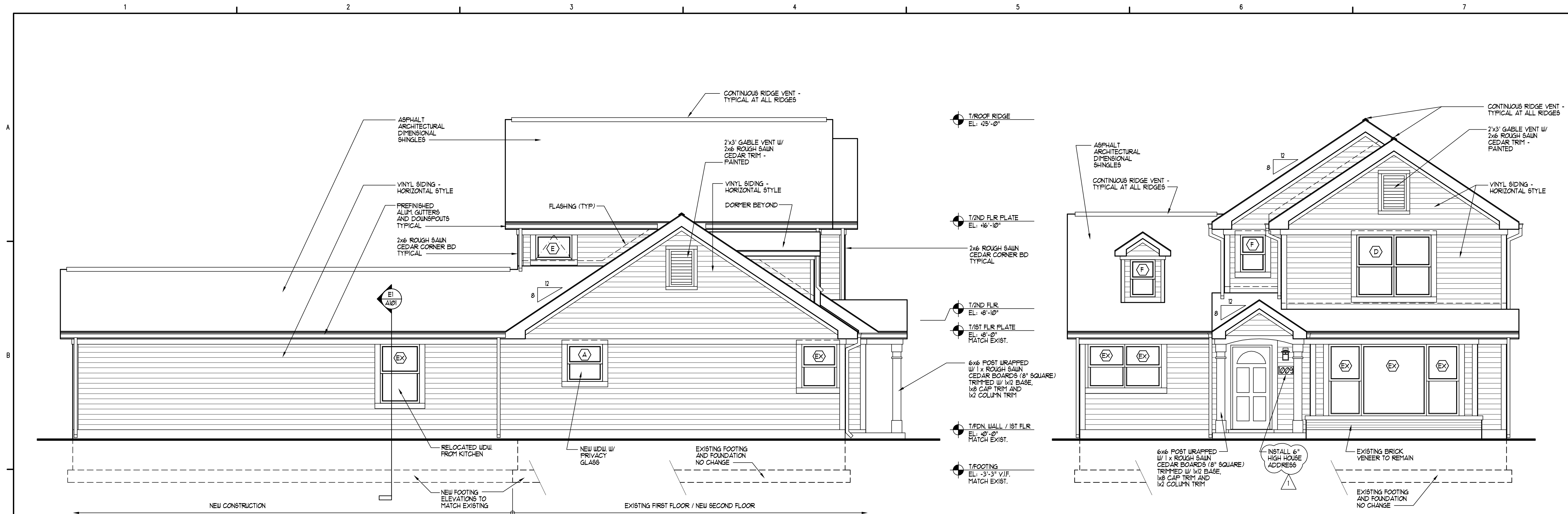
**SCHULTZ
RESIDENCE**

1009 N. DOUGLAS
ARLINGTON HEIGHTS, ILLINOIS

REVISION DATE
1
2
3
4
3/6/2011

SHEET TITLE
PROPOSED
EXTERIOR ELEVATIONS

© 2016 ELA BMD/IDUS
PROJECT NO. 16003
DRAWN BY: YSL
CHECKED BY: SJE
SHEET NO. A103
SHEET 4 OF 5



NORTH ELEVATION

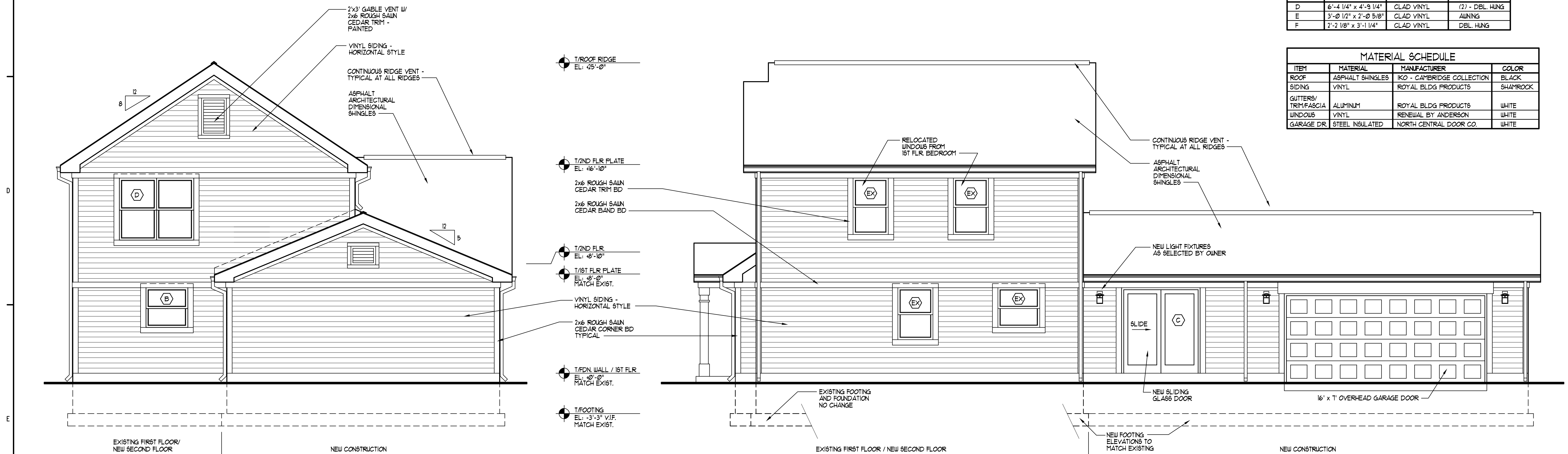
SCALE: 1/4" = 1'-0"

WEST ELEVATION

SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE			
MARK	RO. SIZE	MATERIAL	TYPE
A	2'-10 1/8" x 3'-1 1/4"	CLAD VINYL	DBL. HUNG
B	3'-2 1/8" x 3'-1 1/4"	CLAD VINYL	DBL. HUNG
C	6'-0" x 6'-11"	CLAD VINYL	PATIO SLIDER
D	6'-4 1/4" x 4'-9 1/4"	CLAD VINYL	(2) - DBL. HUNG
E	3'-0 1/2" x 2'-0 5/8"	CLAD VINYL	AWNING
F	2'-2 1/8" x 3'-1 1/4"	CLAD VINYL	DBL. HUNG

MATERIAL SCHEDULE			
ITEM	MATERIAL	MANUFACTURER	COLOR
ROOF	ASPHALT SHINGLES	IKO - CAMBRIDGE COLLECTION	BLACK
SIDING	VINYL	ROYAL BLDG PRODUCTS	SHAMROCK
GUTTERS/ TRIM/FASCIA	ALUMINUM	ROYAL BLDG PRODUCTS	WHITE
WINDOWS	VINYL	RENEWAL BY ANDERSON	WHITE
GARAGE DR.	STEEL INSULATED	NORTH CENTRAL DOOR CO.	WHITE



EAST ELEVATION

SCALE: 1/4" = 1'-0"

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



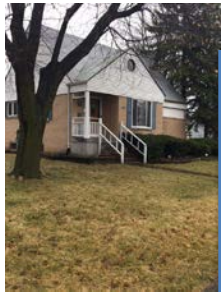
**SCHULTZ
RESIDENCE**

1009 N. DOUGLAS
ARLINGTON HEIGHTS, ILLINOIS

REVISION:	DATE:
	_____
	_____
	_____
	_____
3/6/2011	

SHEET TITLE:
EXISTING & PROPOSED
ELEVATION CONTEXT

© 2011 EHLKE LONIGRO	BLND/DWG
PROJECT NO. 160023	SHEET NO. A104
DRAWN BY: MGL	
CHECKED BY: SJE	SHEET 5 OF 5



Property
to Left 3
602 E
Oakton

O
A
K
T
O
N



Property
to Left 2
1017 N
Douglas



Property
to Left 1
1013 N
Douglas



Subject
Property
1009 N
Douglas



Property
to Right 1
1005 N
Douglas



Property
to Right 2
1001 N
Douglas



Property
to Right 3
925 N
Douglas

← N. Douglas →



Property
Across 1
1014 N
Douglas

Property
Across 2
1010 N
Douglas

Property
Across 3
1006 N
Douglas



Item: 403 E. Eastman St. - ZBA#17-015

Department: Planning & Community Development

REQUEST

1. A 279 square foot variance from Chapter 28, Section 5.1-3.8 (Maximum Building Lot Coverage) and Table 5.3-2 (Building Coverage) to allow 3,374 square feet of building lot coverage where a maximum of 3,095 square feet is allowed.
2. A 0.4 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new porch with a front yard setback of 25.5 feet from the west property line instead of the minimum 25.9 feet.

ATTACHMENTS:

Description	Type
403 E. Eastman St. - ZBA#17-015	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: April 17, 2017
Date Prepared: April 10, 2017
Project Title: Heaton Residence
Address: 403 E. Eastman St.

Background Information

Petition Number: ZBA #17-015
Petitioner: Keith Ginnodo / Kingsley/Ginnodo Architects
Address: 33 N. Hickory Ave.
Arlington Heights IL 60004
Existing Zoning: R-3, Single-Family Dwelling District

Requested Action/Background Information

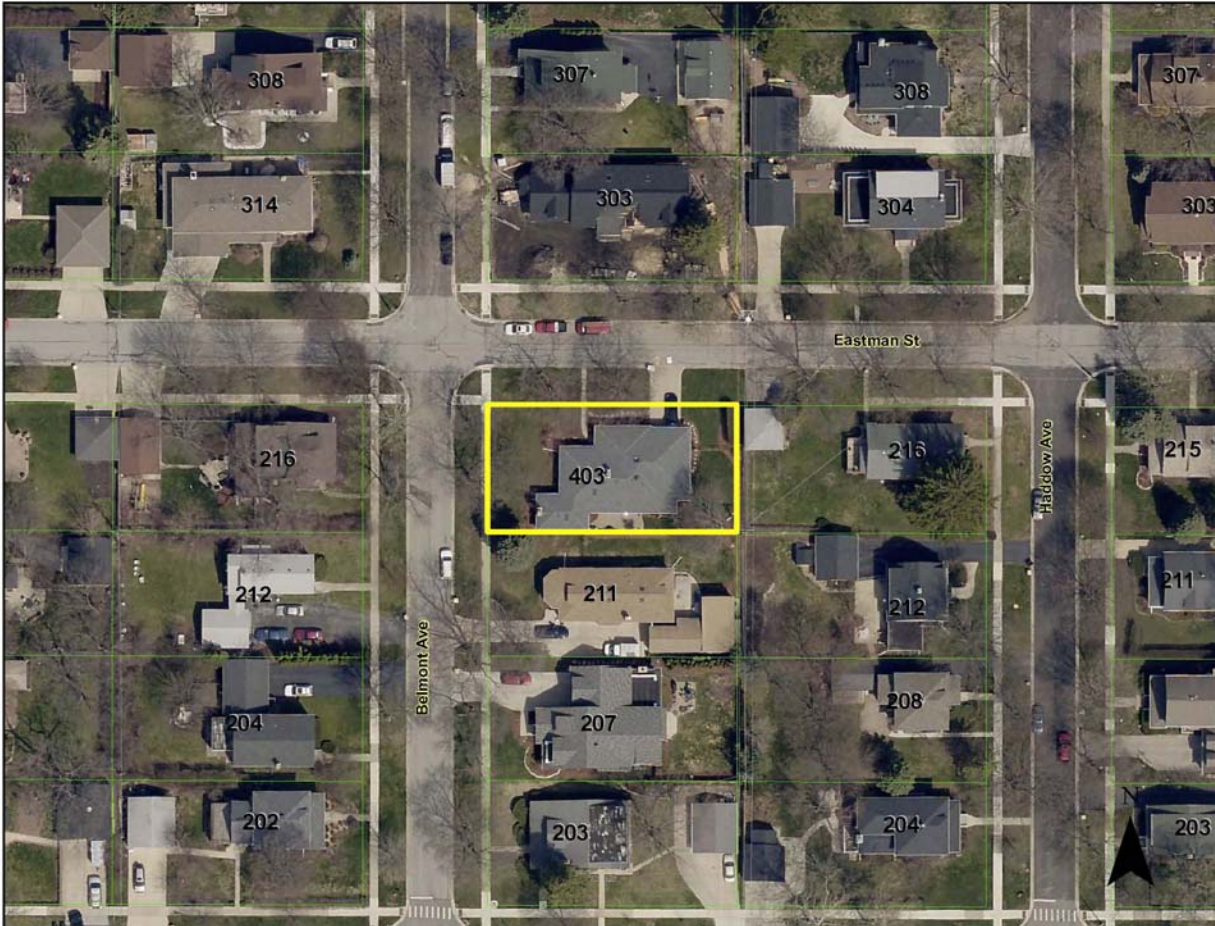
The petitioner is proposing to add two small additions and a new wrap-around front porch to an existing single-story house. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 8,844 square feet and the residence, with the proposed additions, will have approximately 2,380 square feet. This project complies with all of the R-3 zoning requirements except for the following: The proposed Building Lot Coverage is 3,374 square feet which exceeds the maximum allowed 3,095 square feet. Also, the proposed porch encroaches approximately 3 inches into the required front yard setback. Therefore, the petitioner requests the following variations:

- A 279 square foot variance from Chapter 28, Section 5.1-3.8 (Maximum Building Lot Coverage) and Table 5.3-2 (Building Coverage) to allow 3,374 square feet of building lot coverage where a maximum of 3,095 square feet is allowed.
- A 0.4 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new porch with a front yard setback of 25.5 feet from the west property line instead of the minimum 25.9 feet.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	3/31/17	
2. List of Property Owners Within 250 feet of Subject Property	✓	3/31/17	
3. Letter that was Mailed	✓	3/31/17	
4. Photographs of Sign on Property	✓	3/31/17	

Photographs of Existing Structure



ZBA# 17-015

403 E Eastman St - ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering

Submitted: March 23, 2017

Completed: March 29, 2017



The proposed ZBA application indicates that the petitioner is seeking:

A 279 sq ft variance for Maximum Building Lot Coverage to allow 3,374 sq ft of building lot coverage where a maximum of 3,095 sq ft is allowed; a 0.4 ft variance to allow a new porch with a front yard setback of 25.5 ft from the west property line instead of the minimum 25.9 ft.

The Engineering Department has NO OBJECTION to the proposed variance.

RECEIVED

MAR 30 2017

**PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT**

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Heaton Residence

Project Address: 403 E. Eastman St.

ZBA #: 17-015

ZBA Hearing Date: April 17, 2017

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: March 22, 2017

- A 279 square foot variance from Chapter 28, Section 5.1-3.8 (Maximum Building Lot Coverage) and Table 5.3-2 (Building Coverage) to allow 3,374 square feet of building lot coverage where a maximum of 3,095 square feet is allowed.
- A 0.4 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new porch with a front yard setback of 25.5 feet from the west property line instead of the minimum 25.9 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other:

Comments: BE ADVISED THAT MODIFICATIONS OF BUILDING ELEMENTS 5' OR LESS FROM PROPERTY LINES MAY ENTAIL FIRE RATED CONSTRUCTION REQUIREMENTS. C. CRAIG 3-23-17

Please review, comment, and return to me no later than Friday, March 31, 2017.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Heaton Residence

Project Address: 403 E. Eastman St.

ZBA #: 17-015

ZBA Hearing Date: April 17, 2017

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: March 22, 2017

- A 279 square foot variance from Chapter 28, Section 5.1-3.8 (Maximum Building Lot Coverage) and Table 5.3-2 (Building Coverage) to allow 3,374 square feet of building lot coverage where a maximum of 3,095 square feet is allowed.
- A 0.4 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new porch with a front yard setback of 25.5 feet from the west property line instead of the minimum 25.9 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THIS PROJECT RECEIVED DESIGN COMMISSION APPROVAL
ON 3-14-17. S. HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Friday, March 31, 2017.

March 16, 2017

PETITION

403 East Eastman Street, Arlington Heights, Illinois 60004

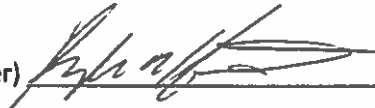
NOW COMES the Petitioner Kyle and Kristina Heaton being the owner of the property commonly known as: 403 East Eastman Street, Arlington Heights, Illinois 60004 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variance from the Arlington Heights Municipal Code, Chapter 28 Zoning Regulations, Section 5.1-3.6 (Required Minimum Yards) in order to build a covered front porch that encroaches into the required side yard setback by 3.25" and Section 5.1-3.8 (Zoning Regulations) in order to build an addition and a porch that is 279 SF over the allowable Building Lot Coverage.

I hereby state that the following hardship would exist if the variation were not granted: The covered front porch is an extension of the existing home with the structure (expressed columns) in line with the fascia above, requiring 3.25" into the side yard. The porch does not extend beyond the existing setbacks on the house. The porch is an extension of the existing living space of this modest ranch almost doubling their living space. The project remains well below the allowable FAR and meets impervious surface quantities.

I hereby state that the following unique circumstances exist: The porch allows a covered entry and a covered gathering space for their largest yard.

I hereby state that the variation, if granted, will not alter the essential character of the locality. Other design options with various roof pitches and shapes were explored prior to finalizing the design.

Signed: (petitioner)

  date: 3-16-17

RECEIVED

MAR 17 2017

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



Scale: 1" = 20'

PLAT OF SURVEY

LOT 1 IN BLOCK 4 OF THE EAST SIDE SUBDIVISION OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 (EXCEPT THE WEST 66 FEET THEREOF) OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

East Eastman Street

66.00' Right of Way

Belmont Avenue

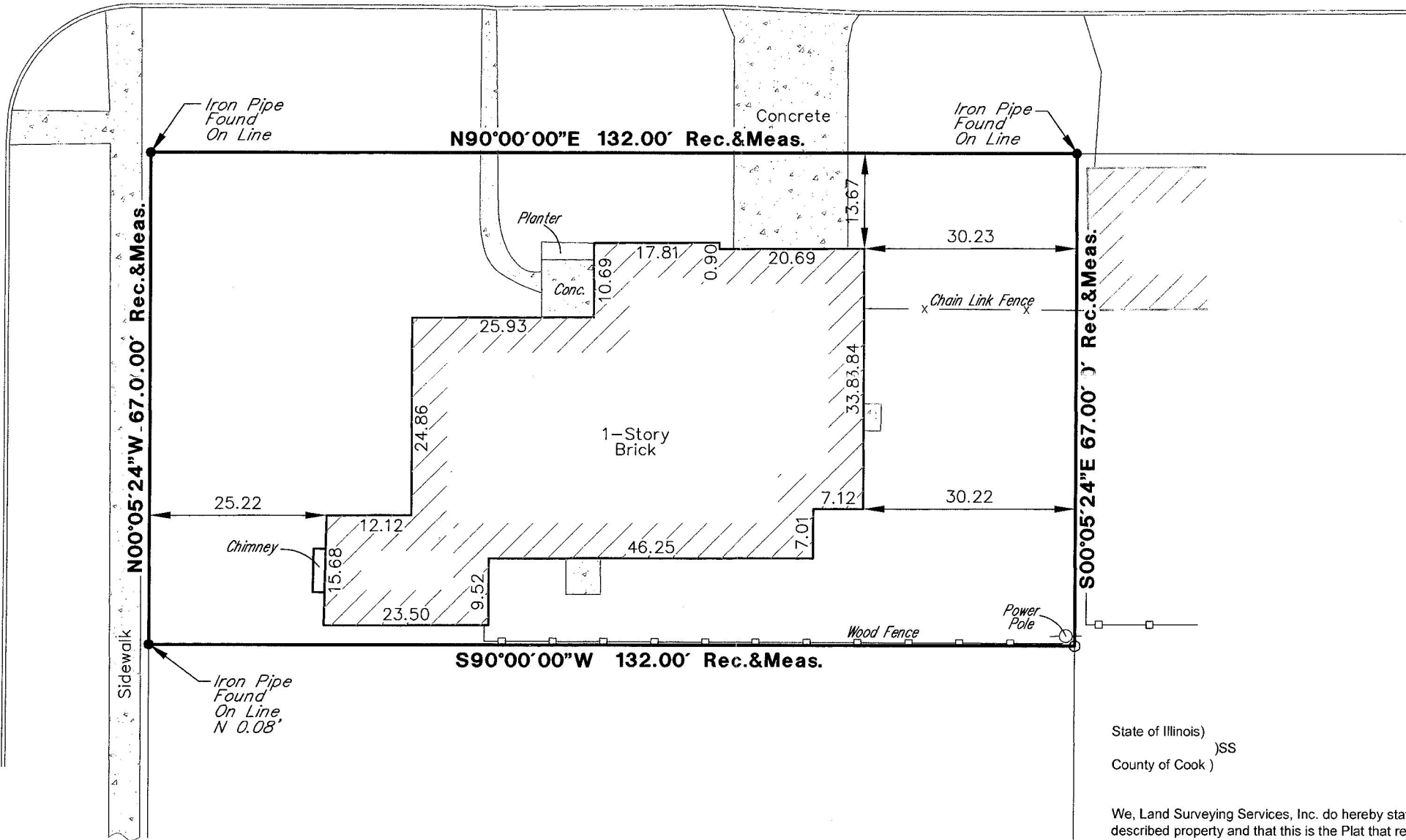
66.00' Right of Way

Legend:

- -Set 1/2" Iron Pipe
- -Found Iron Pipe
- X -Found Cross

Surveyor Notes:

- Field Work Completed on 4-18-08
- Prepared for Survey Services, Inc., for real estate transaction.
- Site Address: 403 E. Eastman Street, Arlington Heights, Illinois 60004
- Pin No.: 03-29-330-001
- The easements shown hereon are provided from the current title and the use of the recorded subdivision plat. No search of the records for easements or encumbrances was made as part of this survey.
- Compare deed description and site conditions with the data given on this plat and report any discrepancies to the surveyor at once.



State of Illinois)
County of Cook)

We, Land Surveying Services, Inc. do hereby state that we have surveyed the above described property and that this is the Plat that represents the conditions found at the time of said survey.

Given under my hand and seal this 22nd day of April, A.D. 2008 in Palatine, Illinois.

Gloria Jean Kotler, an agent for Land Surveying Services, Inc.

Illinois Professional Land Surveyor Number 3323
License Expiration Date 11-30-08

This professional service conforms to the current Illinois minimum standards for a boundary survey.

Drawn By:	JLR	Checked By:	GJK
REV.#	Date	Drawn	Checked

Field Work Completed:	01-26-08
Scale:	1" = 20'
Date:	01-28-08
Site Address:	403 E. Eastman Street Arlington Heights, Illinois

Land Surveying Services, Inc.
574 W. Copley Street
Palatine, Illinois 60067
Ph. (847)991-7700 Fax. (847)991-7707
Professional Design Firm License No. 184-003632

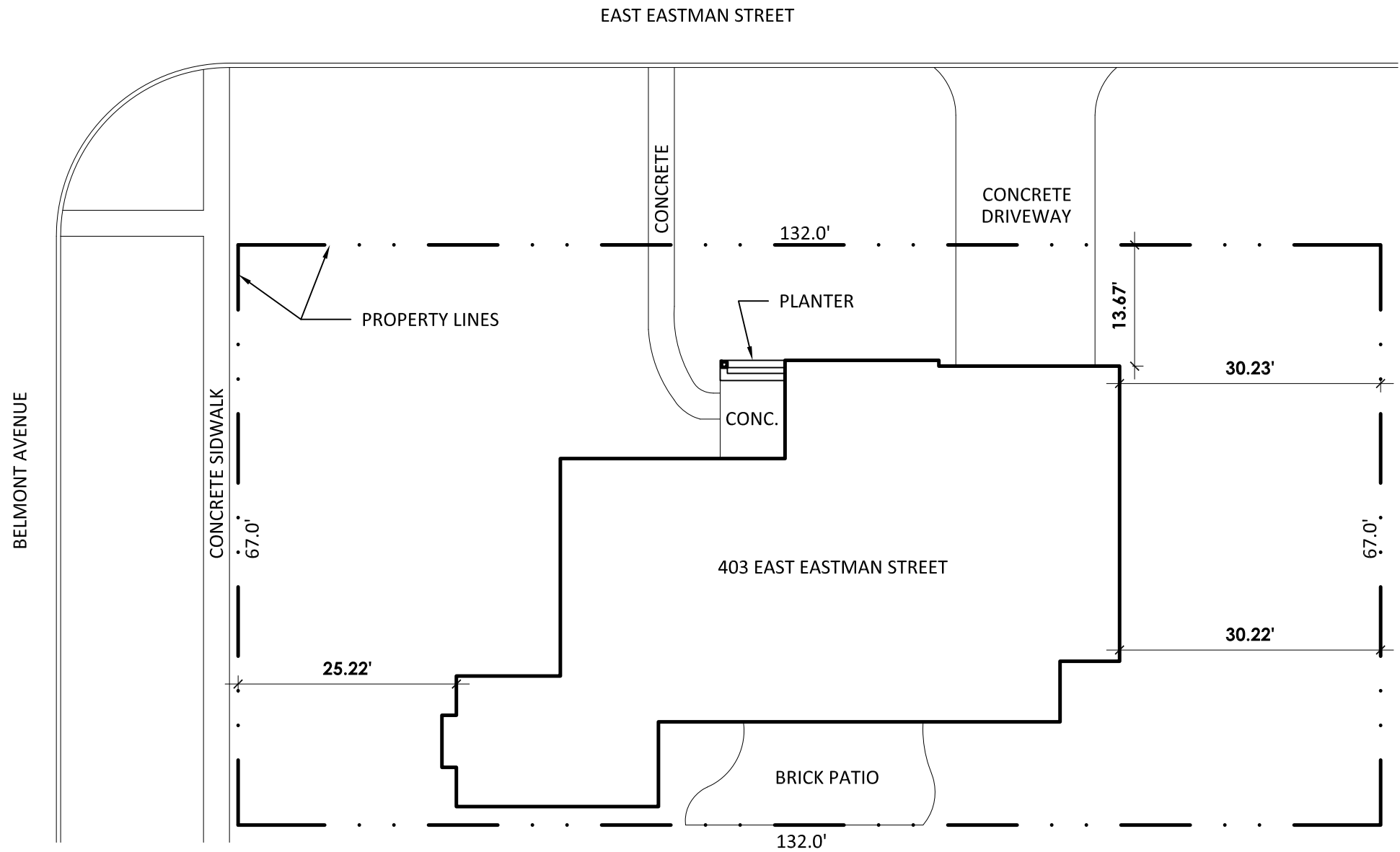
Job Number
LS080316

Sheet Name
PLAT OF SURVEY

Sheet Number
SURVEY

DRAWING INDEX

EX0	EXISTING SITE PLAN
EX1	EXISTING BASEMENT PLAN
EX2	EXISTING FIRST FLOOR PLAN
EX4	EXISTING ROOF PLAN
EX5	EXISTING NORTH ELEVATION
EX6	EXISTING EAST ELEVATION
EX7	EXISTING SOUTH ELEVATION
EX8	EXISTING WEST ELEVATION



1

EXISTING SITE PLAN

1/16" = 1'-0"

1

KYLE AND KRISTINA HEATON
403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004



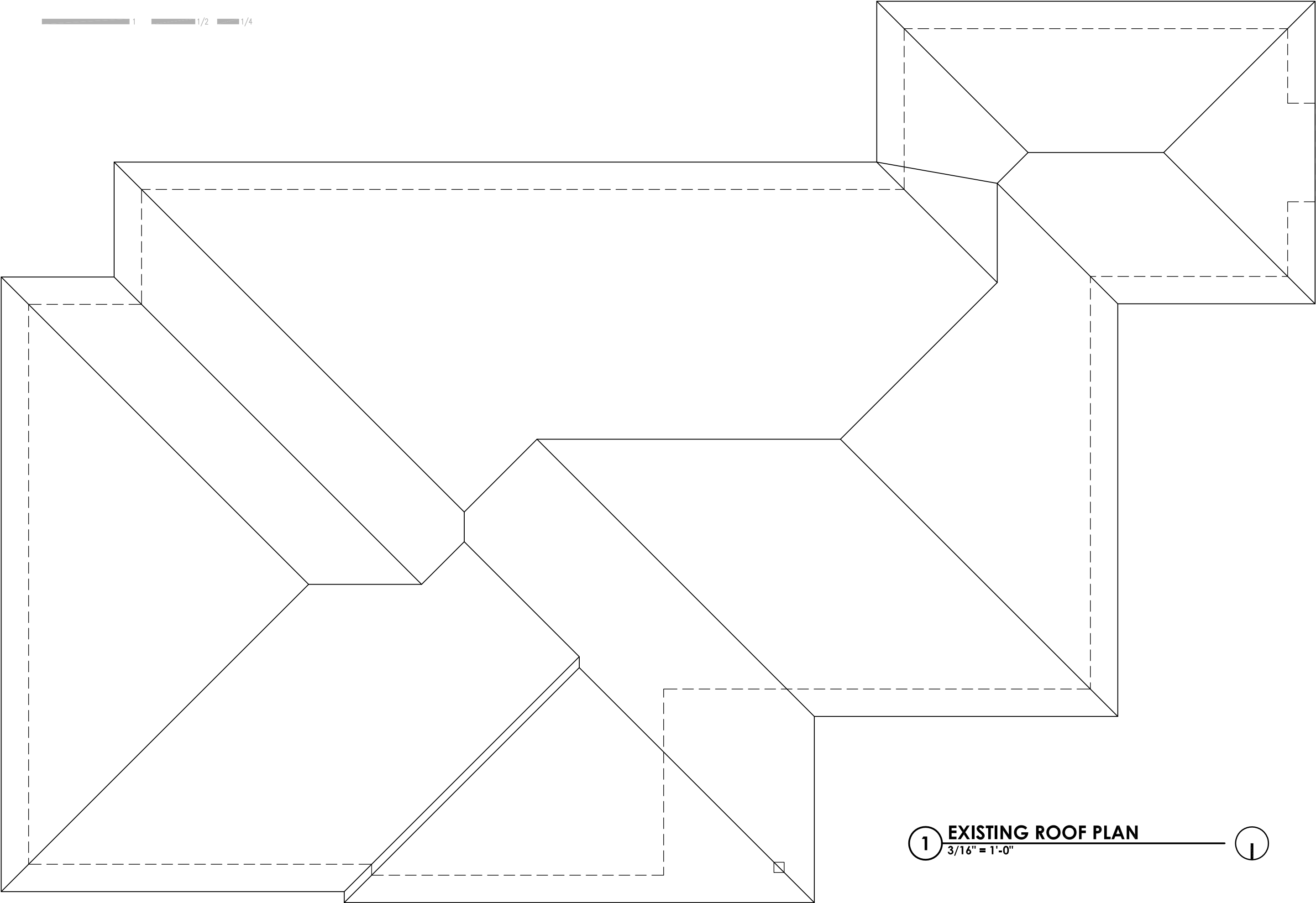
KINGSLEY + GINNODO ARCHITECTS
333 N HICKORY AV. ARLINGTON HTS. IL 60004

7.29.16

EX0

© KINGSLEY + GINNODO ARCHITECTS

1 1/2 1/4



1 EXISTING ROOF PLAN
3/16" = 1'-0"

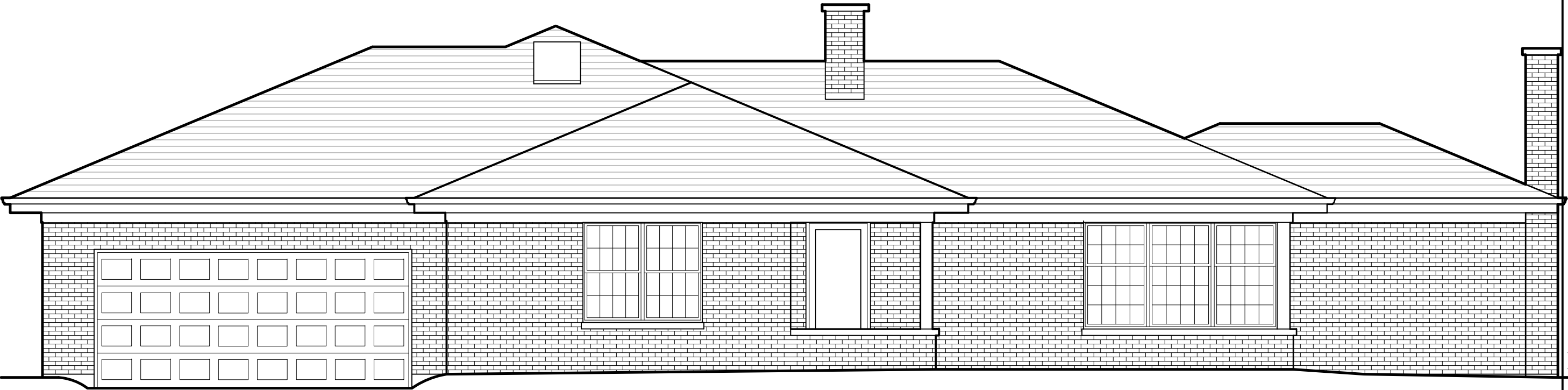


KYLE AND KRISTINA HEATON
403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004



KINGSLEY + GINNODO ARCHITECTS
333 N HICKORY AV. ARLINGTON HTS. IL 60004
7.29.16
© KINGSLEY + GINNODO ARCHITECTS

EX4



1 EXISTING NORTH ELEVATION
3/16" = 1'-0"

KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV. ARLINGTON HTS. IL 60004

EX5

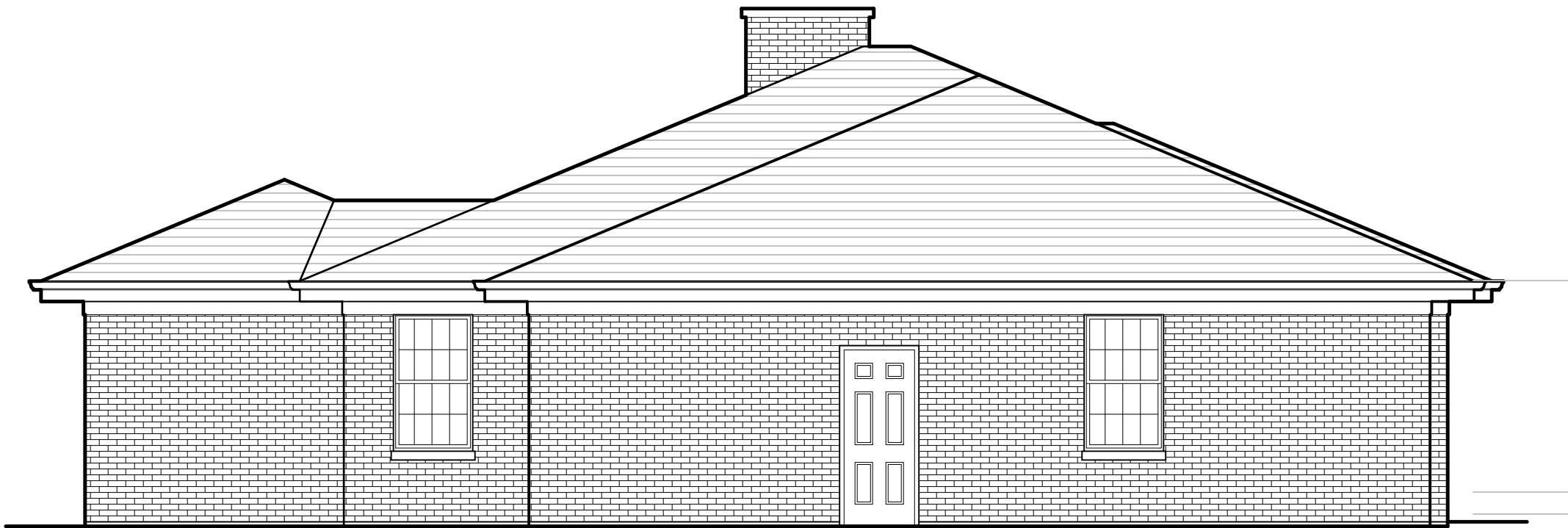
7.29.16

© KINGSLEY + GINNODO ARCHITECTS



KYLE AND KRISTINA HEATON

403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004



1 EXISTING EAST ELEVATION
3/16" = 1'-0"

KYLE AND KRISTINA HEATON
403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004





1 EXISTING SOUTH ELEVATION
3/16" = 1'-0"

KYLE AND KRISTINA HEATON
403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004



KINGSLEY + GINNODO ARCHITECTS
333 N HICKORY AV. ARLINGTON HTS. IL 60004

EX7

7.29.16

© KINGSLEY + GINNODO ARCHITECTS



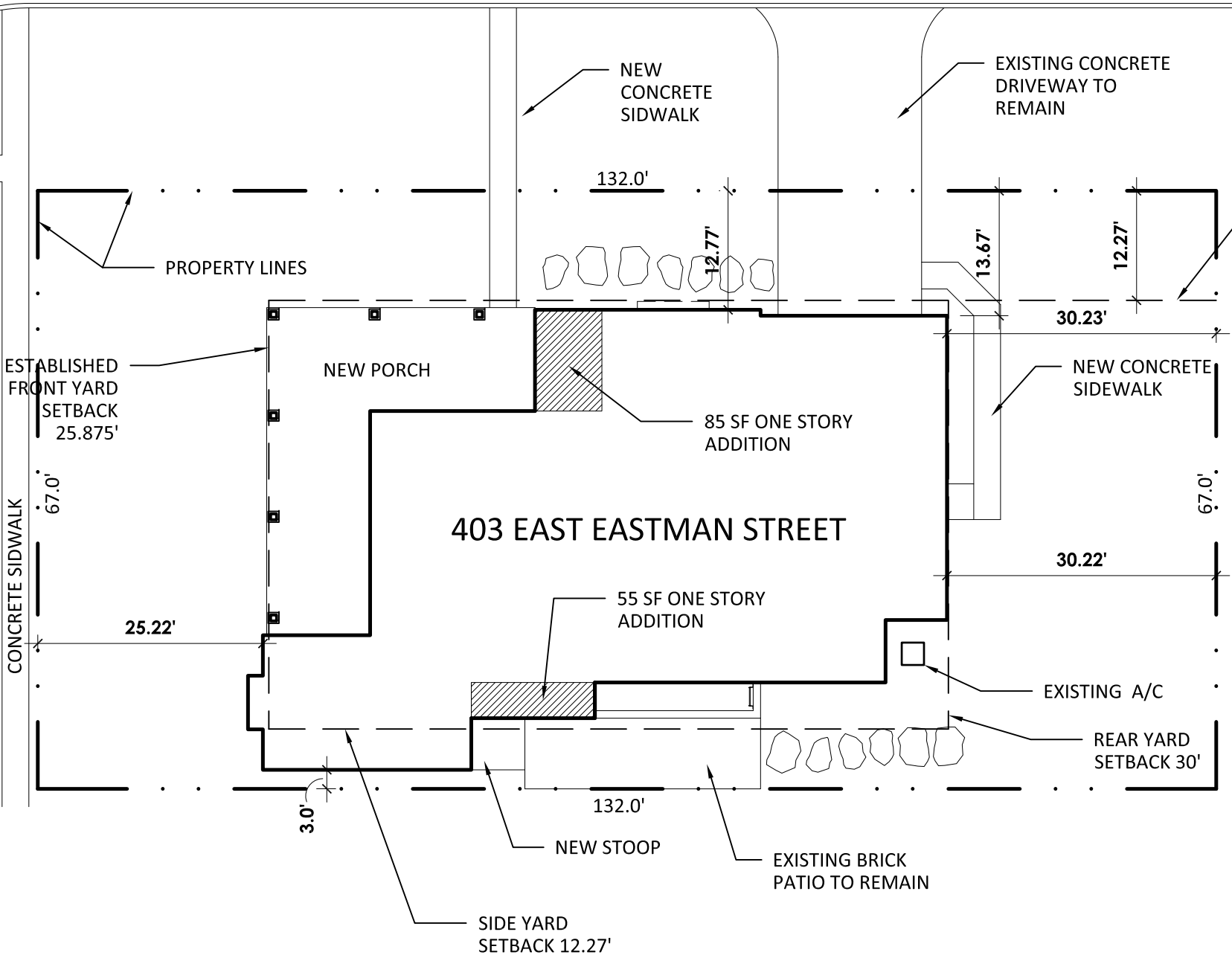
1 EXISTING WEST ELEVATION
3/16" = 1'-0"

KYLE AND KRISTINA HEATON
403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004



BELMONT AVENUE

EAST EASTMAN STREET



DRAWING INDEX

A0	SITE PLAN
A1	BASEMENT PLAN
A2	FIRST FLOOR PLAN
A4	ROOF PLAN
A5	NORTH ELEVATION
A6	EAST ELEVATION
A7	SOUTH ELEVATION
A8	WEST ELEVATION

SIDE YARD SETBACKS

E. EASTMAN ST.	
216 N. HADDOW	11'-9 1/4"
403 E. EASTMAN	12'-9 1/4"
AVERAGE:	12'-3 1/4"

ESTABLISHED EXTERIOR SIDE YARD SETBACK = 12.27'

N BELMONT AVE.	
403 E. EASTMAN	26'-5"
211 N. BELMONT	29'-6"
207 N. BELMONT	24'-10"
203 N. BELMONT	22'-9"
AVERAGE:	25'-10.5"

ESTABLISHED FRONT YARD SET BACK = 25.875'

1 PROPOSED SITE PLAN
1/16" = 1'-0"



KYLE AND KRISTINA HEATON
403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004



KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV. ARLINGTON HTS. IL 60004

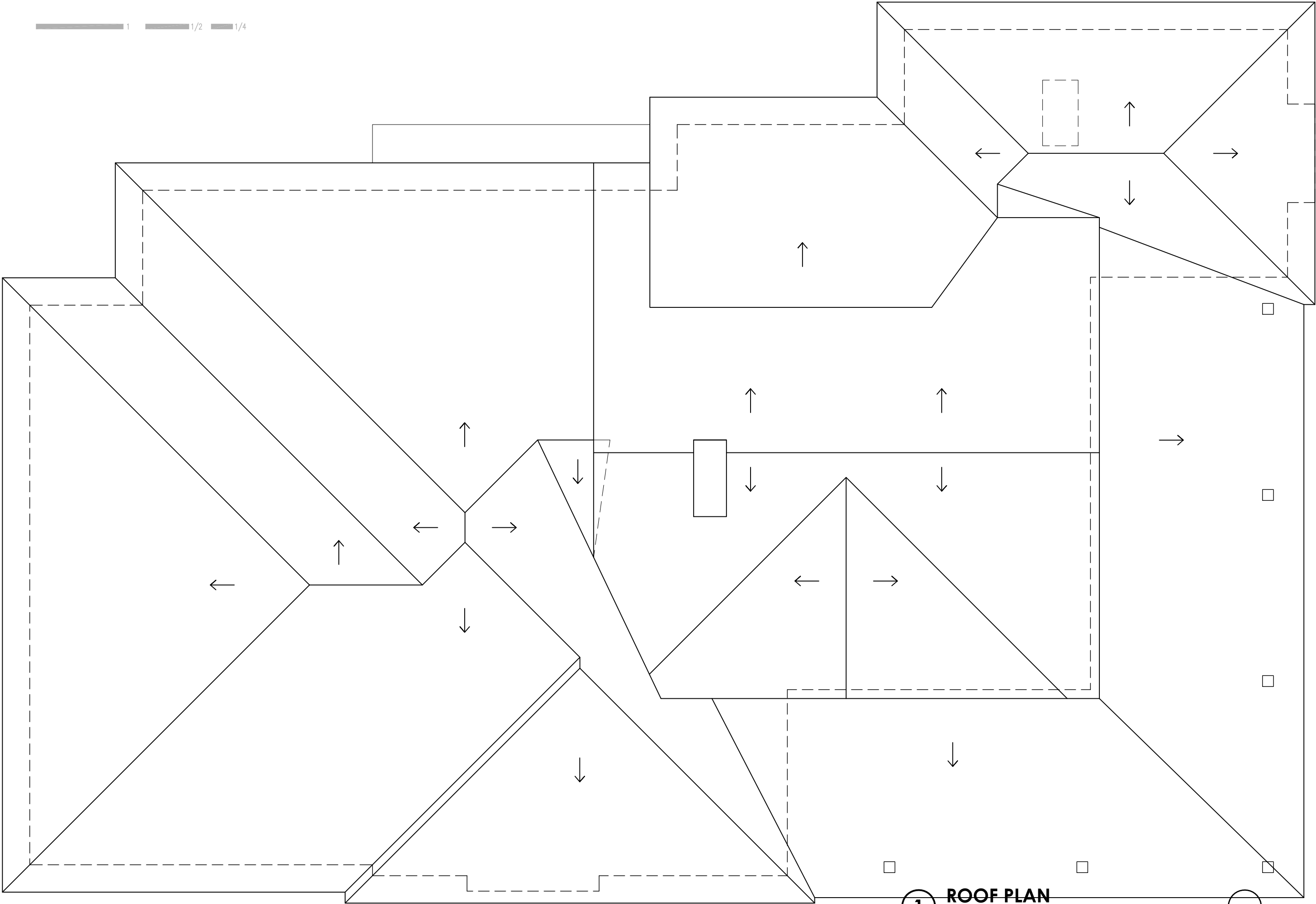
A0

22.17

1.13.17

© KINGSLEY + GINNODO ARCHITECTS

1 1/2 1/4



1 ROOF PLAN
3/16" = 1'-0"

1

KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV. ARLINGTON HTS. IL 60004

3.13.17
22.17
1.13.17

A4



KYLE AND KRISTINA HEATON
403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004

MATERIAL LIST

- Siding: Cement fiber shingle siding - "Night Gray" or "Aged Pewter" (or similar by another company)
- Brick: Match existing brick
- Stone: Natural Veneer
- Windows: Cashmere, Integrity Windows by Marvin
- Trim: Color to match windows
- Column: Melton Duraclassic composite, paint to match trim
- Gutters/Leaders: Prefinished aluminum, to match trim
- Roof shingles: Georgetown Gray, textured asphalt, by GAF (or color match by another company)
- Metal Roofing: Standing Metal Seam, PAC Clad aluminum, "Dark Bronze"



1 NORTH ELEVATION
3/16" = 1'-0"

KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV. ARLINGTON HTS. IL 60004

A5

3.13.17

2.27.17

2.2.17



KYLE AND KRISTINA HEATON

403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004



1 PROPOSED WEST ELEVATION
3/16" = 1'-0"

KYLE AND KRISTINA HEATON
403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004



KINGSLEY + GINNODO ARCHITECTS
33 N HICKORY AV. ARLINGTON HTS. IL 60004

A6

3.13.17
2.2.17

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1 SOUTH ELEVATION
3/16" = 1'-0"

KYLE AND KRISTINA HEATON
403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004



KINGSLEY + GINNODO ARCHITECTS
333 N HICKORY AV. ARLINGTON HTS. IL 60004

A7

3.13.17
2.2.17

© KINGSLEY + GINNODO ARCHITECTS



1 EAST ELEVATION
3/16" = 1'-0"

KYLE AND KRISTINA HEATON
403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004





PROPERTY TO NORTH 3
311 N. Belmont Ave.



PROPERTY TO NORTH 2
307 N. Belmont Ave.



PROPERTY TO NORTH 1
303 N. Belmont Ave.



PROPERTY ACROSS NORTH 1
314 E. Eastman St.

East Eastman St.



SUBJECT PROPERTY
403 E. Eastman Ave.



PROPERTY TO SOUTH 1
211 N. Belmont Ave.



PROPERTY TO SOUTH 2
207 N. Belmont Ave.



PROPERTY TO SOUTH 3
203 N. Belmont Ave.

North Belmont Ave.



PROPERTY ACROSS
216 N. Belmont Ave.



PROPERTY ACROSS SOUTH 1
212 N. Belmont Ave.

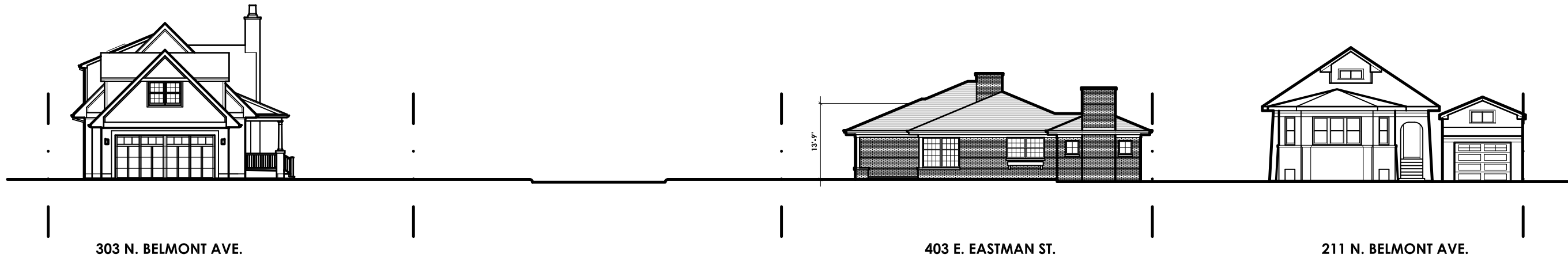
East Miner St.

KINGSLEY + GINNODO ARCHITECTS
333 N HICKORY AV. ARLINGTON HTS. IL 60004

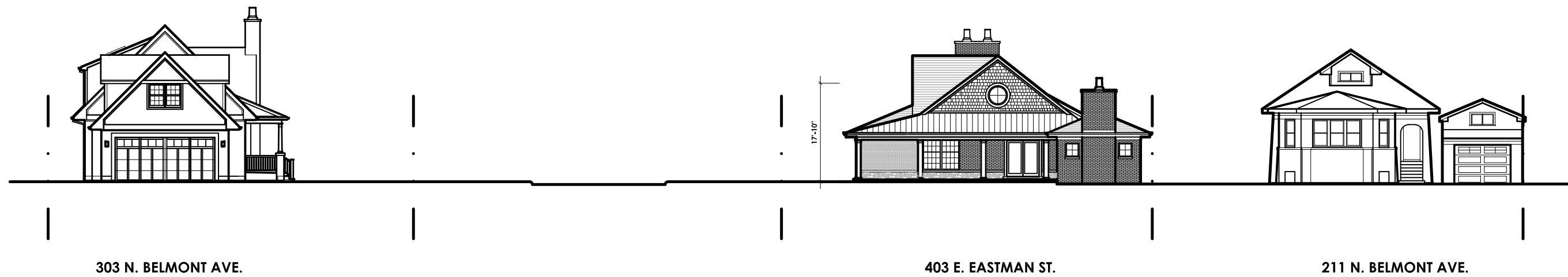
DC1

2.2.17
© KINGSLEY + GINNODO ARCHITECTS

KYLE AND KRISTINA HEATON
403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004



1 EXISTING CONTEXT ELEVATIONS
1" = 20'-0"



2 PROPOSED CONTEXT ELEVATIONS
1" = 20'-0"



KYLE AND KRISTINA HEATON
403 EAST EASTMAN STREET, ARLINGTON HEIGHTS, IL 60004

RECEIVED
MAR 31 2017
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

April 3, 2017

Zoning Board of Appeals Commissioners
33 S. Arlington Heights Road
Arlington Heights, IL 60005

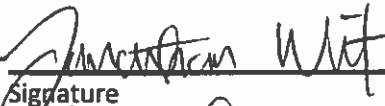
RE: ZONING BOARD OF APPEALS HEARING – APRIL 17, 2017
FOR KYLE AND KRISTINA HEATON, 403 E. EASTMAN STREET

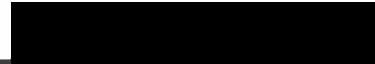
Dear Commissioners,

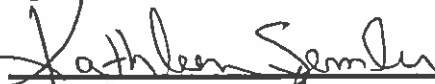
We, being the immediate neighbors of the Heaton Residence, have reviewed the drawings of the project that Kyle and Kristina would like to build. We are in favor of the improvements they are making and do not have any objections to the variances they are seeking. We believe that their project will enhance the character of the neighborhood.

Please consider this in your decision making process.

Thank you, sincerely,
The neighbors of 403 E. Eastman Street

  3/18/2017
Signature address date

  3/18/17
Signature address date

  3/18/17
Signature address date

  3/18/2017
Signature address date

  3/18/2017
Signature address date

  3/18/17
Signature address date

  3/18/17
Signature address date

  3/18/17
Signature address date

  3-18-17
Signature address date

April 3, 2017

Zoning Board of Appeals Commissioners
33 S. Arlington Heights Road
Arlington Heights, IL 60005

RECEIVED
MAR 31 2017
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

RE: ZONING BOARD OF APPEALS HEARING – APRIL 17, 2017
FOR KYLE AND KRISTINA HEATON, 403 E. EASTMAN STREET

Dear Commissioners,

We, being the immediate neighbors of the Heaton Residence, have reviewed the drawings of the project that Kyle and Kristina would like to build. We are in favor of the improvements they are making and do not have any objections to the variances they are seeking. We believe that their project will enhance the character of the neighborhood.

Please consider this in your decision making process.

Thank you, sincerely,
The neighbors of 403 E. Eastman Street

John Miller [REDACTED] 3/24/2017
Signature address date

Erin Kalawa [REDACTED] 3/24/2017
Signature address date

Kelly Klipp [REDACTED] 3/24/2017
Signature address date

Mary Schoenbeck [REDACTED] 3/24/2017
Signature address date

Signature address date

Signature address date

Signature address date

Signature address date



Item: 419 N. Hickory Ave. - ZBA#17-016

Department: Planning & Community Development

REQUEST

A 4.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a covered front porch with a front yard setback of 21.0 feet and an additional 1.0 foot for the eave from the west property line instead of the minimum 25.0 feet.

ATTACHMENTS:

Description	Type
419 N. Hickory Ave. - ZBA#17-016	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: April 17, 2017
Date Prepared: April 10, 2017
Project Title: O'Donnell Residence
Address: 419 N. Hickory Ave.

Background Information

Petition Number: ZBA #17-016
Petitioner: Keith Ginnodo / Kingsley/Ginnodo Architects
Address: 33 N. Hickory Ave.
Arlington Heights IL 60004
Existing Zoning: R-3, Single-Family Dwelling District

Requested Action/Background Information

The petitioner is proposing to add a second story addition to an existing single-story house. As part of the addition, the petitioner is proposing a front porch that is encroaching into the required front yard setback. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 7,920 square feet and the residence, with the proposed addition, will have approximately 2,320 square feet. This project complies with all of the R-3 zoning requirements except for the following: The proposed porch is encroaching into the required front yard setback. Therefore the petitioner requests the following variation:

- **A 4.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a covered front porch with a front yard setback of 21.0 feet and an additional 1.0 foot for the eave from the west property line instead of the minimum 25.0 feet.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

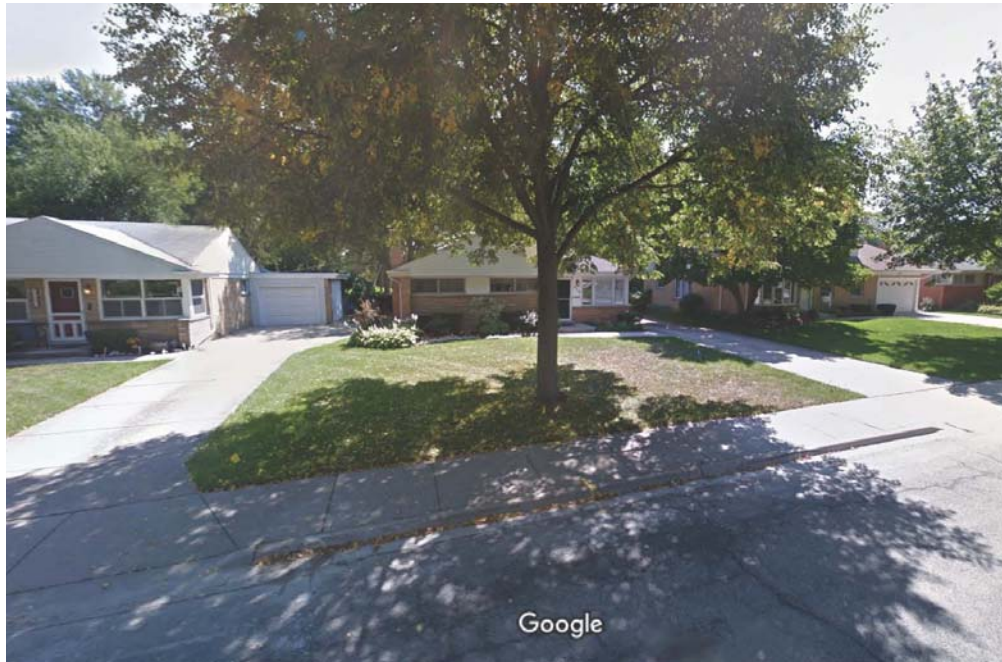
Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	3/31/17	
2. List of Property Owners Within 250 feet of Subject Property	✓	3/31/17	
3. Letter that was Mailed	✓	3/31/17	
4. Photographs of Sign on Property	✓	3/31/17	

Photographs of Existing Structure



ZBA# 17-016

419 N Hickory Ave - ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering



Submitted: March 23, 2017

Completed: March 29, 2017

The proposed ZBA application indicates that the petitioner is seeking:

A 4 ft variance to allow a covered front porch with a front yard setback of 21 ft and an additional 1 ft for the eave from the west property line instead of the minimum 25 ft.

The Engineering Department has NO OBJECTION to the proposed variance.

RECEIVED
MAR 30 2017
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: O'Donnell Residence

Project Address: 419 N. Hickory Ave.

ZBA #: 17-016

ZBA Hearing Date: April 17, 2017

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: March 22, 2017

- A 4.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a covered front porch with a front yard setback of 21.0 feet and an additional 1.0 foot for the eave from the west property line instead of the minimum 25.0 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: NO COMMENTS. NOTE: NOT APPROVAL OF
ADDITION / MODIFICATIONS.

Please review, comment, and return to me no later than Friday, March 31, 2017.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: O'Donnell Residence

Project Address: 419 N. Hickory Ave.

ZBA #: 17-016

ZBA Hearing Date: April 17, 2017

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: March 22, 2017

- A 4.0 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a covered front porch with a front yard setback of 21.0 feet and an additional 1.0 foot for the eave from the west property line instead of the minimum 25.0 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other:

Comments: THIS PROJECT IS SCHEDULED FOR DESIGN COMMISSION
REVIEW ON 4-25-17. STAFF DOES NOT OBJECT TO THE

Please review, comment, and return to me no later than Friday, March 31, 2017.

PROPOSED FRONT PORCH.

- S. HAUTZINGER, DESIGN PLANNER

March 9, 2017

PETITION

419 North Hickory Avenue, Arlington Heights, Illinois 60004

NOW COMES the Petitioner Jamie and Lauren O'Donnell being the owner of the property commonly known as: 419 North Hickory Avenue, Arlington Heights, Illinois 60004 and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variance from the Arlington Heights Municipal Code, Chapter 28 Zoning Regulations, Section 5.1-3.6 (Required Minimum Yards) in order to build a covered front porch that encroaches into the required front yard setback by 4'-0".

I hereby state that the following hardship would exist if the variation were not granted: The front porch is required to relieve a congested entry in the modest home and provide an architectural expression in balance with the second floor addition.

I hereby state that the following unique circumstances exist: The existing footprint of the home is not being expanded with the exception of the front porch. The porch allows a graceful entry and a place to enjoy the outdoors under cover.

I hereby state that the variation, if granted, will not alter the essential character of the locality. The front porch balances the design of the home, keeping the home in scale with other houses in the area.

Signed: (petitioner)



date: 3.9.17

RECEIVED
MAR 13 2017
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Associated Surveying Group, LLC

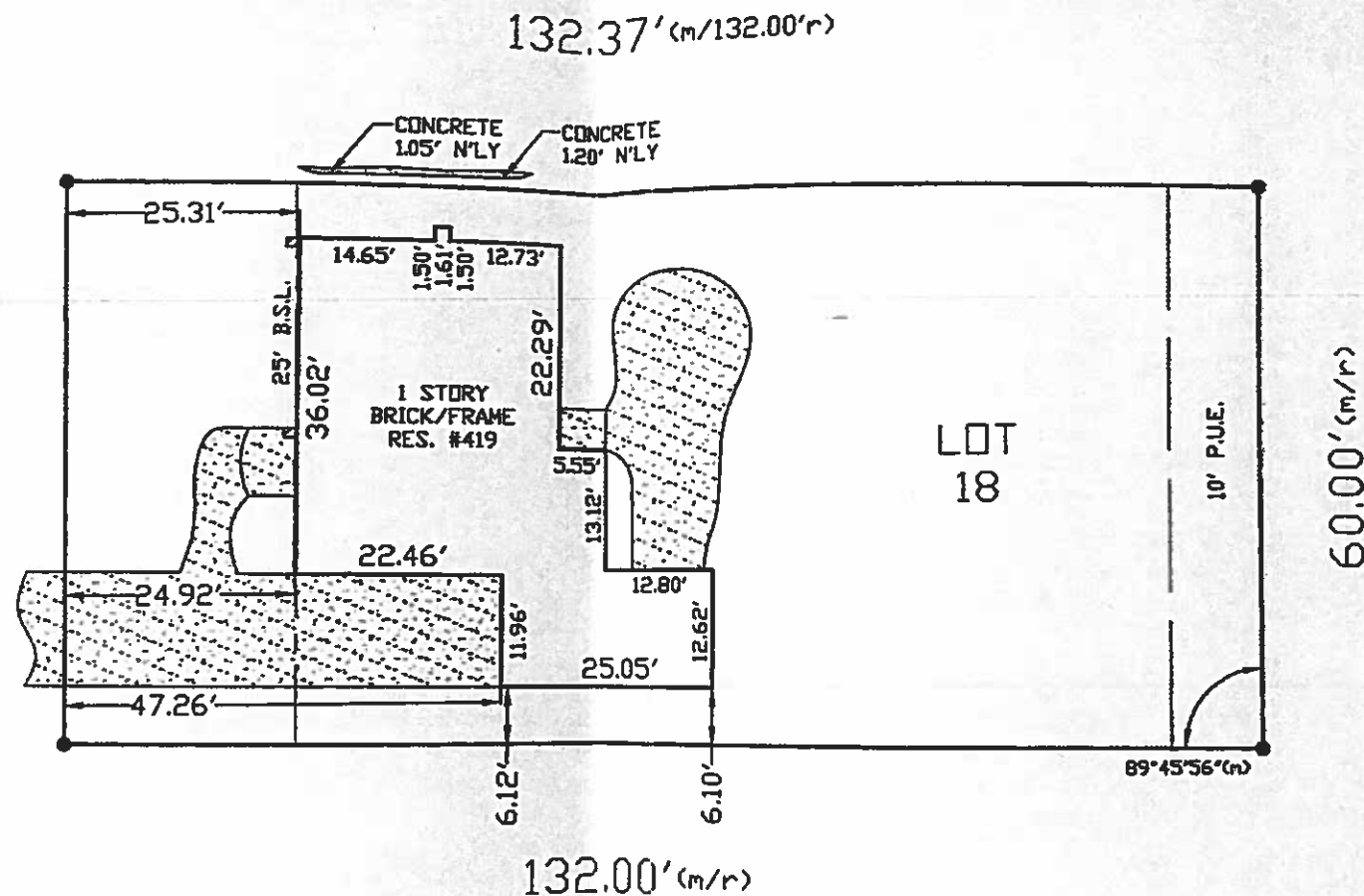
Illinois Prof. Design Firm No. 184-004973
P.O. Box 810 Bolingbrook, IL 60440
PH: 630-759-0205 FAX: 630-759-9291

PLAT OF SURVEY

LOT 18 IN BLOCK 1 IN EASTWOOD, A SUBDIVISION OF THE EAST 3/4 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 29,
TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

HICKORY AVENUE

60.00' (m/r)



RECEIVED
MAR 13 2017
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

State of Illinois }
County of Will } SS

I, Michael G. Herwy, an Illinois Professional Land Surveyor, do hereby certify that "This professional service conforms to the current Illinois minimum standards for a boundary survey", and that the Plat hereon drawn is a correct representation of said survey.

Dated, this 30th day of AUGUST, A.D., 2013 at Bolingbrook, IL.

FIELDWORK DATE: AUGUST 26, 2013

CLIENT: MCKINSTRY

JOB NO.: 73388-13

Michael G. Herwy
Illinois Professional Land Surveyor No. 35-002900
License Expires: November 30, 2014

NOTES:

1. COMPARE THE LEGAL DESCRIPTION ON THIS PLAT WITH YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE; ALSO, COMPARE ALL FIELD MEASURED LOT CORNERS & BUILDING TIES WITH THIS PLAT BEFORE CONSTRUCTION AND REPORT ANY DIFFERENCE AT ONCE.
2. BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO DEPICTED ON THE RECORDED SUBDIVISION PLAT. REFER TO YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE FOR ADDITIONAL ENCUMBRANCES.
3. MEASURED LOT DIMENSIONS ARE SHOWN ONLY WHEN THEY DIFFER FROM RECORD DIMENSIONS BY 0.15 FEET OR MORE.
4. CURVED LINES DENOTED WITH ARC LENGTHS UNLESS OTHERWISE NOTED. ALSO, ALL ARCS ARE TANGENT UNLESS OTHERWISE NOTED.

LEGEND:

ASPHALT WALL CONCRETE
WOOD/PVC BRICK ENCLOSED/COVERED

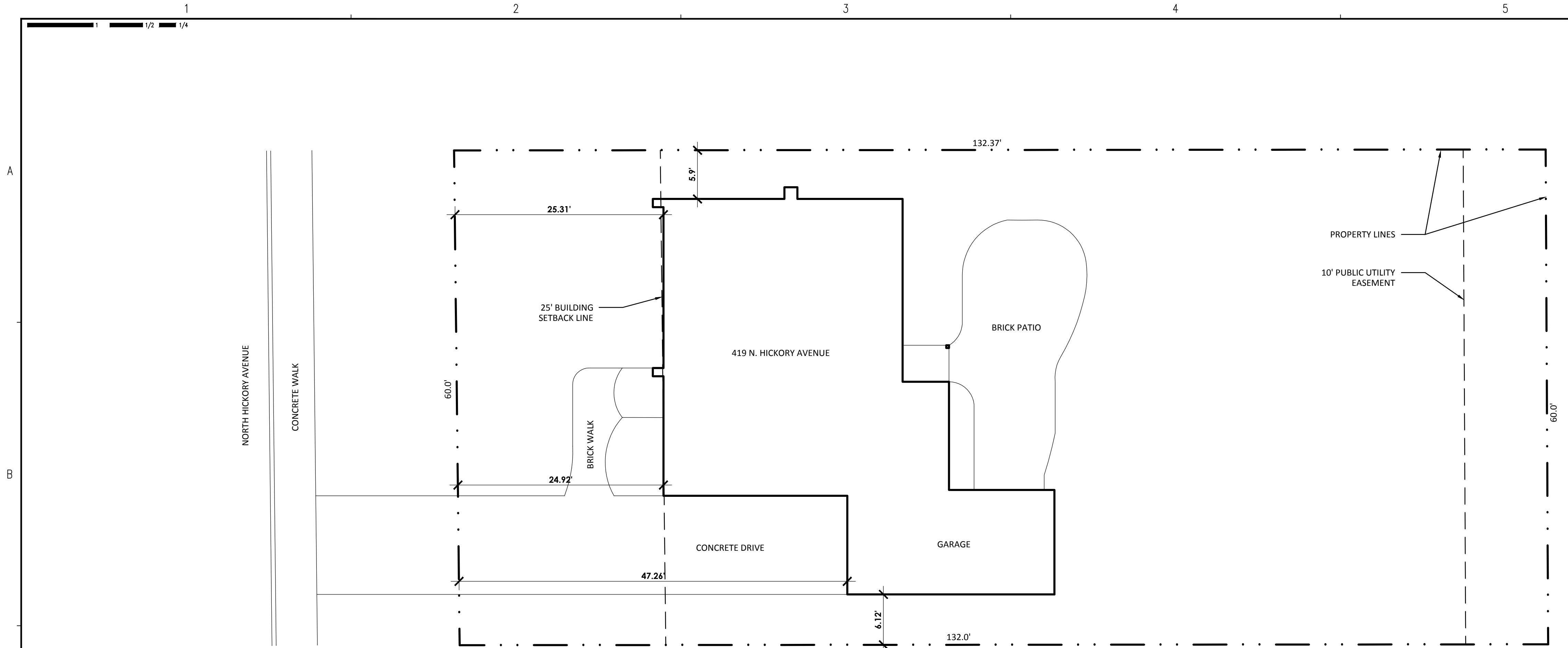
SET IRON PIPE CHAIN LINK FENCE
IRON PIPE REBAR/ROD WOOD FENCE
PK NAILS AS NOTCH NOTCH ALL OTHER FENCE TYPES

ABBREVIATIONS:

A = ARC LENGTH NLY = NORTHERLY
R = RADIUS SLY = SOUTHERLY
CH = CHORD LENGTH ELY = EASTERLY
(r) = RECORD VALUE WLY = WESTERLY
(m) = MEASURED VALUE TYP = TYPICAL
B.S.L. = BUILDING SETBACK LINE
P.U.E. = PUBLIC UTILITY EASEMENT
P.U.D.E. = PUBLIC UTILITY & DRAINAGE EASEMENT

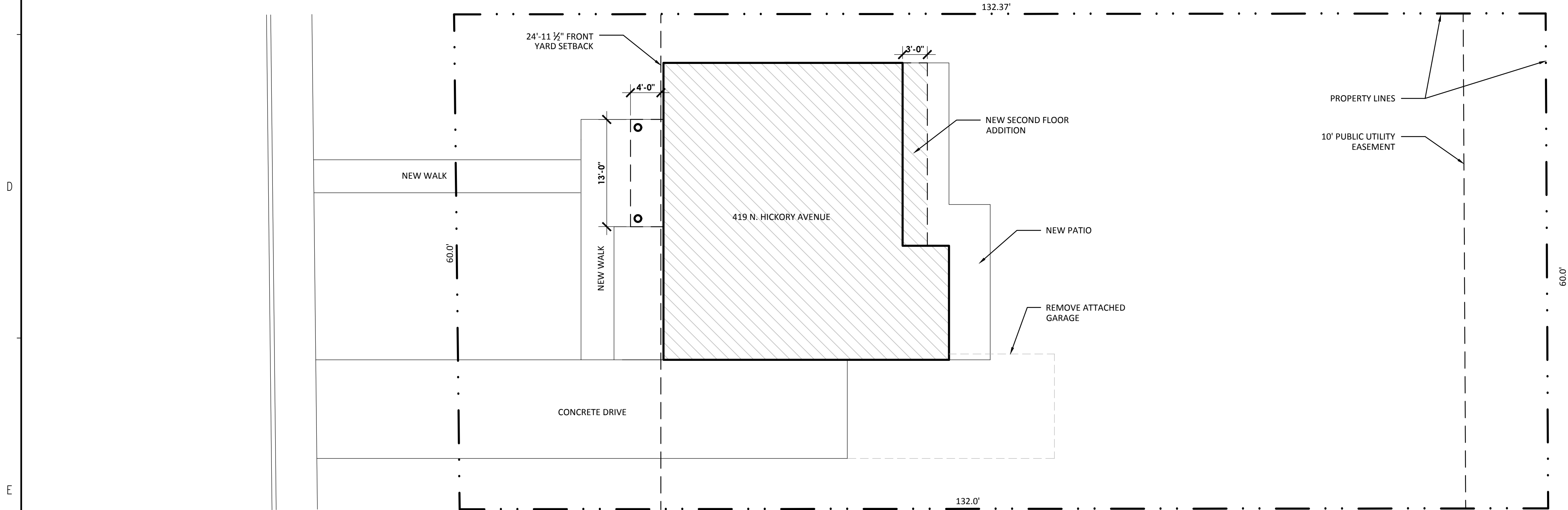


SCALE 1" = 20'



FRONT YARD SETBACKS	
703 E. EUCLID	29'-4"
511 N. HICKORY	25'-3"
507 N. HICKORY	23'-7"
503 N. HICKORY	23'-7"
419 N. HICKORY	23'-7 1/2"
415 N. HICKORY	25'-2"
411 N. HICKORY	23'-10"
407 N. HICKORY	25'-3"
702 E. ST. JAMES	24'-8"
TOTAL:	224'-8 1/2"
224'-8 1/2" / 9 HOUSES = 24'-11 1/2"	
ESTABLISHED FRONT YARD SET BACK = 24.95'	

2 EXISTING SITE PLAN
1/8" = 1'-0"



1 PROPOSED SITE PLAN
1/8" = 1'-0"

KINGSLEY + GINNODO ARCHITECTS
33 N Hickory Ave, Arlington Heights, IL 60004
Professional Design Firm - Architect
Sole Proprietor - Exp: 4.30.17 # 184.005449

APPLICABLE BUILDING CODES

International Residential Code (IRC)
2009 Edition (with amendments)

International Energy Conservation Code (IECC)
2015 Edition (with amendments)

National Electric Code
2005 Edition (with amendments)

State of Illinois Plumbing Code
2014 (with amendments)

DRAWING LIST

T100	TITLE SHEET AND SITE PLAN
A000	SPECIFICATIONS
EX100	EXISTING PLANS AND ELEVATIONS
A100	BASEMENT & FIRST FLOOR PLANS
A101	SECOND FLOOR & ROOF PLANS
A200	EXTERIOR ELEVATIONS
A300	SECTIONS AND DETAILS
A301	SECTIONS AND DETAILS
A302	WINDOW INSTALLATION
E100	ELECTRICAL PLANS

NOTES:

PLUMBING

- EXISTING WATER SERVICE IS 3/4" Ø COPPER
- RE-USE EXISTING WATER DISTRIBUTION AND WASTE PIPING. MODIFY AS NECESSARY.
- MINIMUM PIPE SIZE FOR SANITARY WASTE LINES ABOVE GROUND IS 2"
- TUBS/SHOWERS REQUIRE 2" P-TRAPS
- HAND HELD SHOWERS REQUIRE VACUUM BREAKERS
- TUB/SHOWER VALVES REQUIRE INTEGRAL STOPS
- FLOOR DRAIN OR WASHER DRIP PAN PIPED TO FLOOR DRAIN IS REQUIRED IN LAUNDRY ROOM
- 2" CLEAN OUT REQUIRED UNDER KITCHEN SINK
- PULL OUT FAUCETS REQUIRE DUAL CHECK VALVES
- REUSE EXISTING SANITARY SEWER

HVAC

- PROVIDE DUCTED HI/LO OPERABLE RETURN-AIR GRILLES
- THE DRYER EXHAUST DUCT, WHERE CONCEALED IN THE BUILDING CONSTRUCTION, SHALL HAVE A PERMANENT LABEL OR TAG INDICATING THE CONCEALED LENGTH OF THE EXHAUST DUCT. THE LABEL OR TAG SHALL BE LOCATED WITHIN 6 FEET OF THE EXHAUST DUCT CONNECTION
- ALL SUPPLY AND RETURN DUCTS SHALL BE PROPERLY SEALED WITH UL 181 LISTED TAPE OR MASTIC
- ANY SUPPLY DUCTS LOCATED IN THE ATTIC SHALL HAVE A MINIMUM INSULATION OF R-8 AND ALL OTHER DUCTS SHALL HAVE R-6 UNLESS LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE
- EXTEND EXISTING HVAC TO NEW SPACES
- HEATING: SUPPLY & RETURN FOR NEW SPACES
- COOLING: SUPPLY & RETURN FOR ALL SPACES
- ELECTRONIC ZONE DAMPERING FOR ZONE 1: FIRST FLOOR & BASEMENT, ZONE 2: SECOND FLOOR

ELECTRICAL

- PROVIDE NEW 200 AMP UNDERGROUND SERVICE WITH NEW 40 CIRCUIT PANEL

WINDOWS

- ALL NEW WINDOWS SHALL HAVE A MAXIMUM U-FACTOR OF 0.32
- SKYLIGHTS SHALL HAVE MAXIMUM U-FACTOR OF 0.055. SKYLIGHT SHAFT WALLS SHALL HAVE A MIN. R-20 INSULATION
- AN ENERGY CERTIFICATE SHALL BE POSTED IN OR ON THE ELECTRICAL PANEL INDICATING THE R-VALUES, U-FACTORS, ETC. OF THE BUILDING COMPONENTS

OTHER

- GENERAL CONTRACTOR SHALL PROVIDE VILLAGE OF ARLINGTON HEIGHTS WITH A SOILS REPORT PRIOR TO POURING FOOTINGS
- PROVIDE HURRICANE TIE AT EACH RAFTER/WALL INTERSECTION (SIMPSON H SERIES HURRICANE TIE OR EQUAL)
- LISTED CONNECTORS SHALL BE INSTALLED AT ALL POST TO PIER CONNECTIONS AND POST TO BEAM CONNECTIONS
- AN ENERGY CERTIFICATE SHALL BE POSTED IN OR ON THE ELECTRICAL PANEL INDICATING THE R-VALUES, U-FACTORS, ETC. OF THE BUILDING COMPONENTS
- DISCHARGE ALL NEW OR ALTERED DOWNSPOUTS TO FRONT OR REAR YARD
- NEW WORK DOES NOT ALTER EXISTING GRADE
- NEW ROOFING SHALL BE A MINIMUM CLASS "C"



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NOT FOR CONSTRUCTION

JAMIE &
LAUREN
O'DONNELL

419 N. HICKORY AVENUE
ARLINGTON HTS., IL 60004

O'DONNELL
RESIDENCE

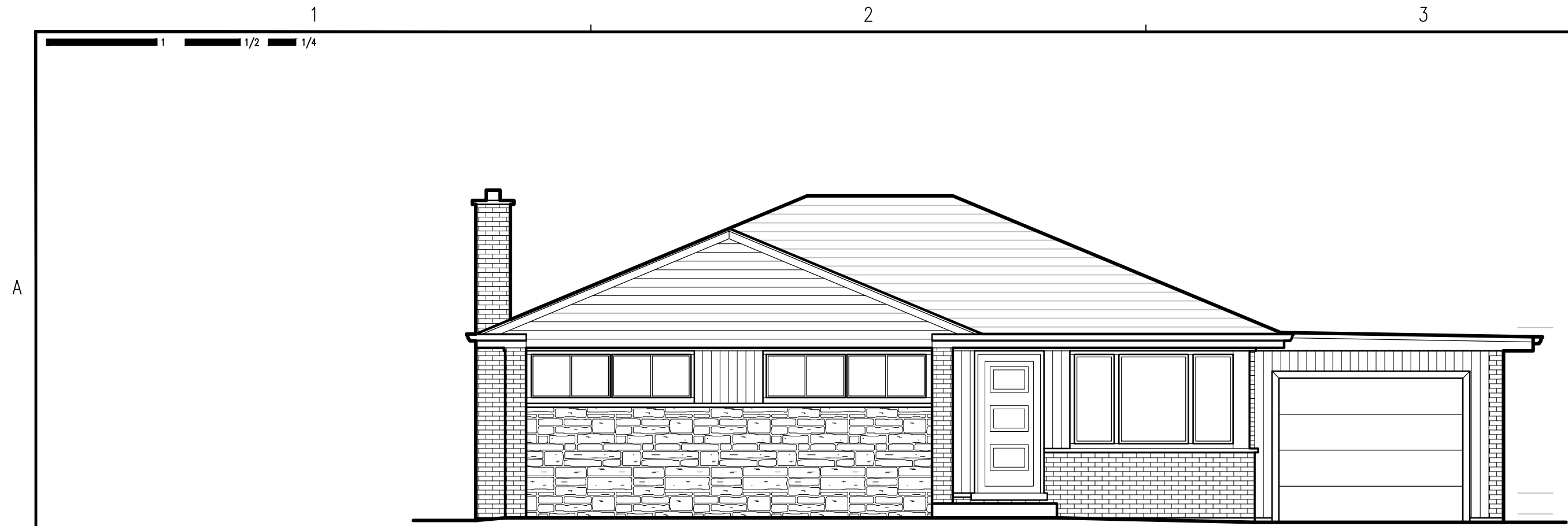
no.	revision	init.	date
CD	PROGRESS SET		3/8/17

TITLE SHEET AND SITE
PLAN

date	drawn by	checked by

Job No.
O'DONNELL

Sheet No.
T100



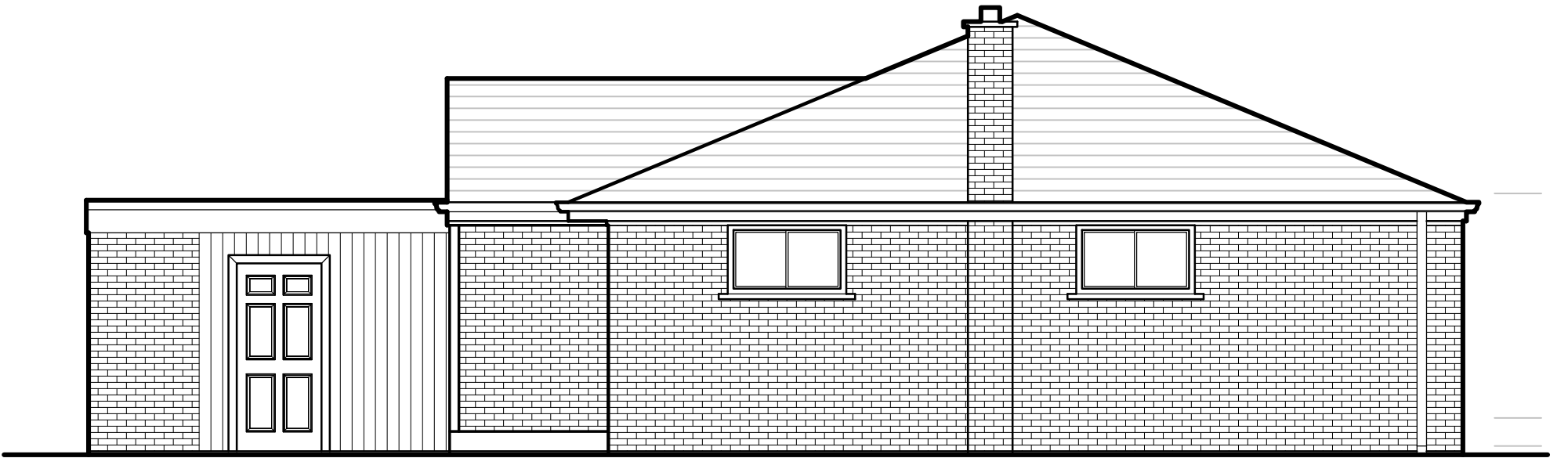
6 EXISTING WEST ELEVATION
3/16" = 1'-0"



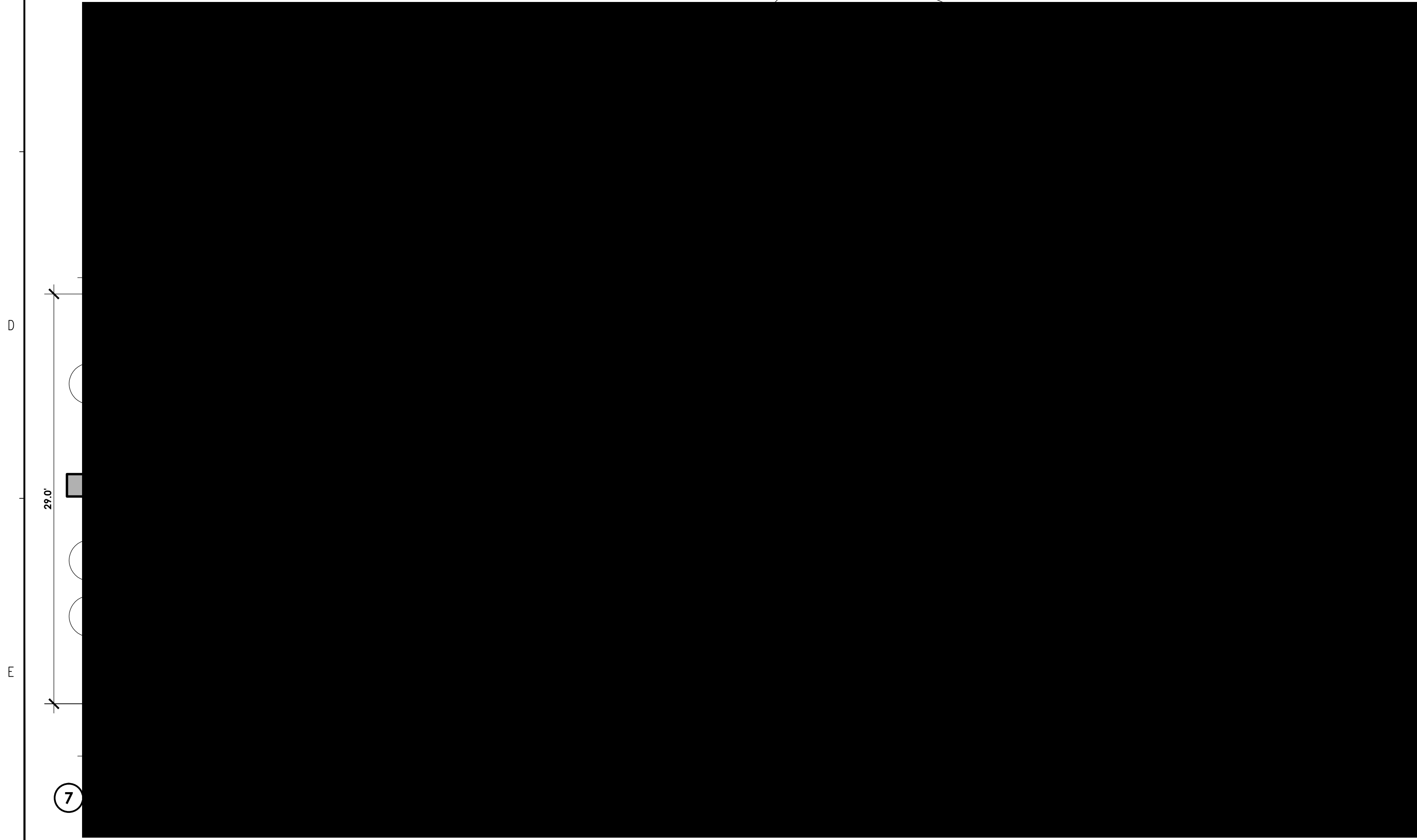
3 EXISTING EAST ELEVATION
3/16" = 1'-0"



5 EXISTING SOUTH ELEVATION
3/16" = 1'-0"



2 EXISTING NORTH ELEVATION
3/16" = 1'-0"



1 EXISTING ROOF PLAN
3/16" = 1'-0"



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NOT FOR CONSTRUCTION

JAMIE &
LAUREN
O'DONNELL
419 N. HICKORY AVENUE
ARLINGTON HTS., IL 60004

O'DONNELL
RESIDENCE

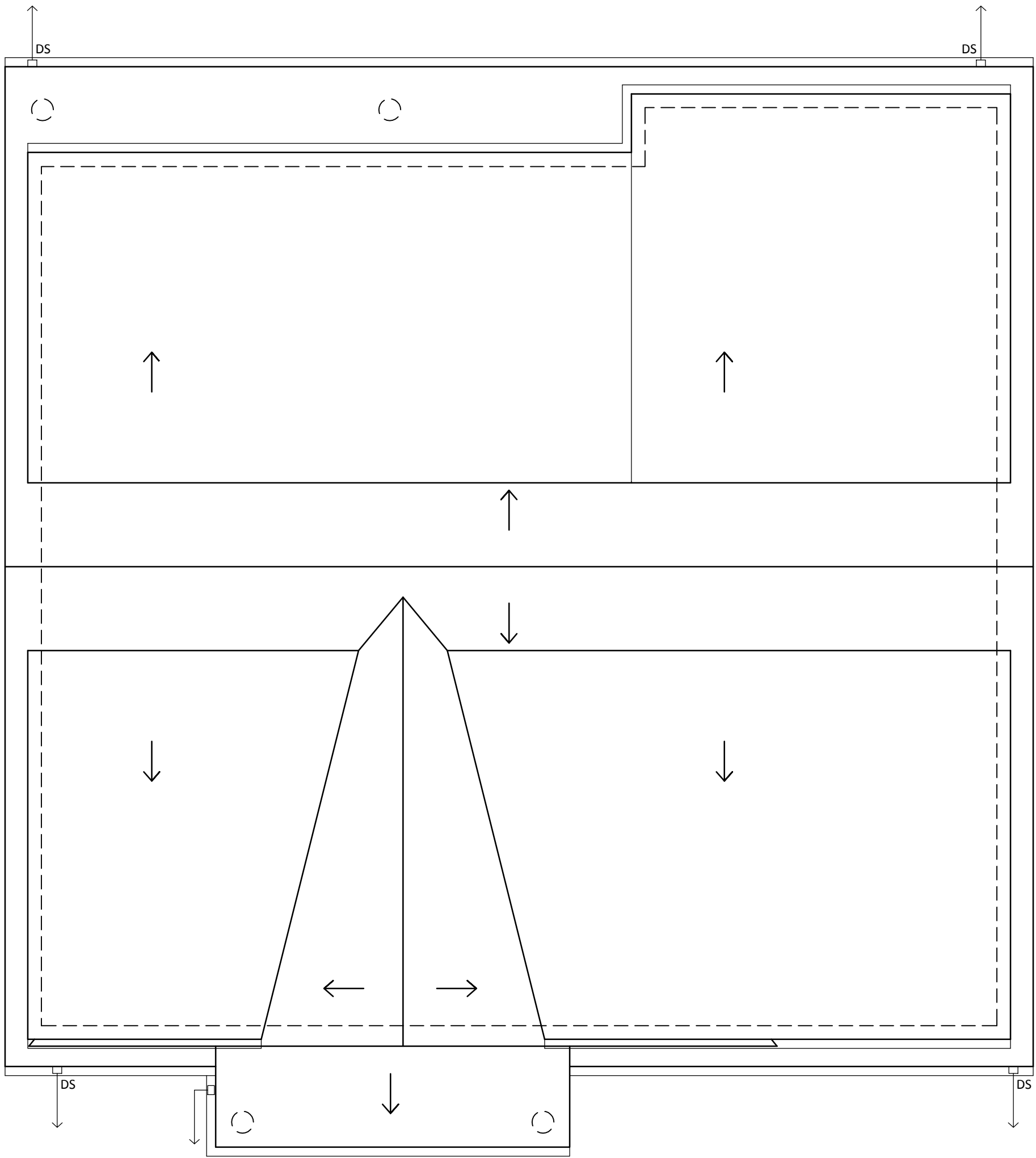
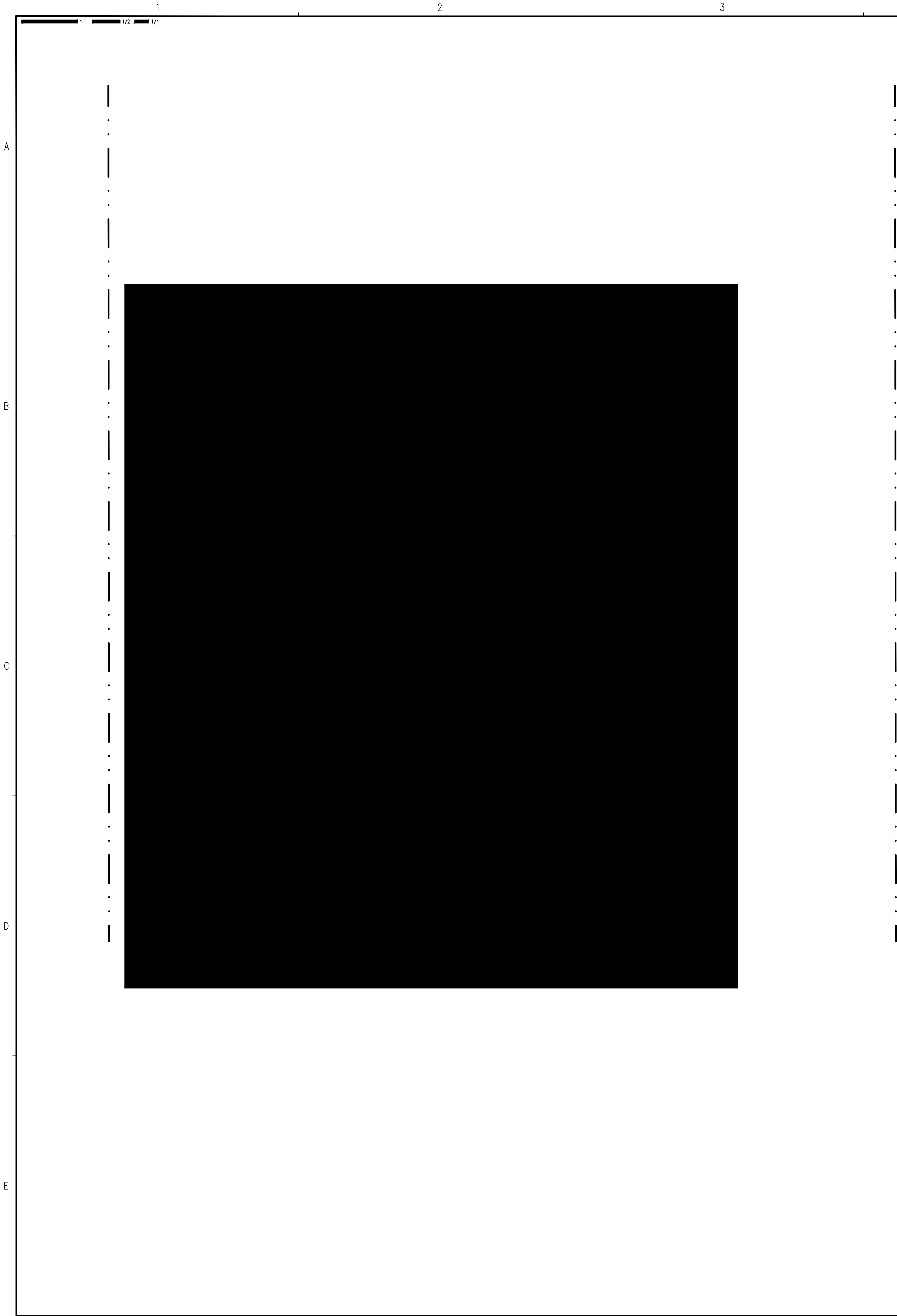
no.	revision	init.	date
CD	PROGRESS SET		3/8/17

EXISTING PLANS AND
ELEVATIONS

date	drawn by	checked by

Job No.
O'DONNELL

Sheet No.
EX100



1 ROOF PLAN
1/4" = 1'-0"



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NOT FOR CONSTRUCTION

**JAMIE &
LAUREN
O'DONNELL**
419 N. HICKORY AVENUE
ARLINGTON HTS., IL 60004

**O'DONNELL
RESIDENCE**

no.	revision	init.	date
CD	PROGRESS SET		3/8/17

**BASEMENT AND FIRST
FLOOR PLANS**

date	drawn by	checked by
------	----------	------------

Job No.
O'DONNELL

Sheet No.
A101



4 WEST ELEVATION
1/4" = 1'-0"

2 EAST ELEVATION
1/4" = 1'-0"

MATERIAL LIST

- Siding/shingles: Aged Pewter, Cement Fiber by James Hardie (or similar by another company)
Trim: Artic White, Cement Fiber, by James Hardie (or similar by another company)
Column: HB&G composite, Tuscan capital and base
Paint to match trim
Windows: White, to match trim
Gutters/Leaders: White, Prefinished aluminum, to match trim
Stone: Fond Du Lac Cambrian Blend Natural Limestone
Roof shingles: Slate, textured asphalt, by GAF Timberline (or color match by another company)
Metal: Dark bronze, Prefinished aluminum, PAC clad



3 SOUTH ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"



KINGSLEY + GINNODO ARCHITECTS

33 N HICKORY AV ARLINGTON HTS IL 60004 847 975 5008 info@kingsleyginnodo.com

DO NOT SCALE DRAWINGS. SOME ASPECTS OF THE DRAWINGS ARE NOT TO SCALE.

NOT FOR CONSTRUCTION

**JAMIE &
LAUREN
O'DONNELL**
419 N. HICKORY AVENUE
ARLINGTON HTS., IL 60004

**O'DONNELL
RESIDENCE**

no.	revision	init.	date
CD	PROGRESS SET		3/8/17

**EXTERIOR
ELEVATIONS**

date	drawn by	checked by

Job No.
O'DONNELL

Sheet No.
A200



PROPERTY TO NORTH 3
511 N HICKORY AVE



PROPERTY TO NORTH 2
507 N HICKORY AVE



PROPERTY TO NORTH 1
503 N HICKORY AVE



SUBJECT PROPERTY
419 N HICKORY AVE



PROPERTY TO SOUTH 1
415 N HICKORY AVE



PROPERTY TO SOUTH 2
411 N HICKORY AVE



PROPERTY TO SOUTH 3
407 N HICKORY AVE

North Hickory Avenue

PROPERTY ACROSS NORTH 1
502 N HICKORY AVE



PROPERTY ACROSS
420 N HICKORY AVE



PROPERTY ACROSS SOUTH 1
416 N HICKORY AVE





1 EXISTING CONTEXT ELEVATIONS
1/16" = 1'-0"



2 PROPOSED CONTEXT ELEVATIONS
1/16" = 1'-0"



JAMIE AND LAUREN O'DONNELL
419 NORTH HICKORY AVENUE, ARLINGTON HTS., IL 60004

April 3, 2017

Zoning Board of Appeals Commissioners
33 S. Arlington Heights Road
Arlington Heights, IL 60005

RECEIVED
MAR 31 2017
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

RE: ZONING BOARD OF APPEALS HEARING – APRIL 17, 2017
FOR JAMIE AND LAUREN O'DONNELL, 419 N HICKORY AVE

Dear Commissioners,

We, being the immediate neighbors of the O'Donnell Residence, have reviewed the drawings of the project that Jamie and Lauren would like to build. We are in favor of the improvements they are making and do not have any objections to the variances they are seeking. We believe that their project will enhance the character of the neighborhood.

Please consider this in your decision making process.

Thank you, sincerely,
The neighbors of 419 N. Hickory Avenue

Beth Conner

Signature

address

3/21/17

date

Patricia L. Petersen

Signature

address

3/21/17

date

Anna Salazar

Signature

address

3/22/17

date

Rita H. H. H.

Signature

address

3/22/17

date

Kathy Quen

Signature

address

3/22/17

date

Paul Carey

Signature

address

3/28/17

date

[Signature]

Signature

address

3-29-17

date

[Signature]

Signature

address

3/30/2017

date



Item: 811 E. Central Rd. - ZBA#17-017

Department: Planning & Community Development

REQUEST

1. A 2 foot variance from Chapter 28, Section 6.13-3b (Location of Fences) to allow an increase to the maximum fence height from 5-feet to 7-feet.
2. A variance from Chapter 28, Section 6.13-3 to allow a solid fence where a semi-open fence is permitted.

ATTACHMENTS:

Description	Type
811 E. Central Rd. - ZBA#17-017	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: April 17, 2017
Date Prepared: April 10, 2017
Project Title: The Moorings
Address: 811 E. Central Rd.

Background Information

Petition Number: ZBA #17-017
Petitioner: Scott Freres / The Lakota Group
Address: 116 W. Illinois St.
Chicago, IL 60654
Existing Zoning: I, Institutional District

Requested Action/Background Information

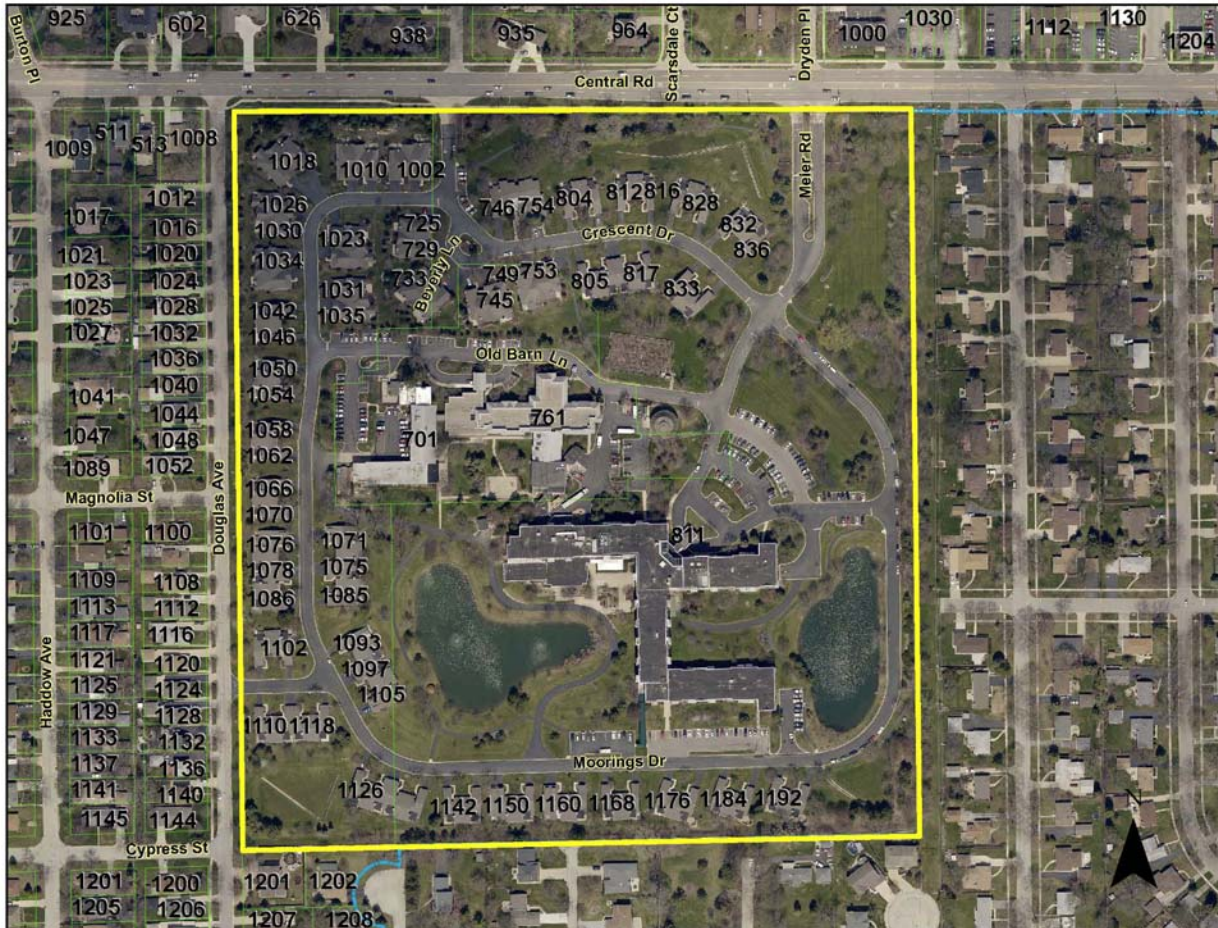
The subject property is 41.5 acres. The original PUD was approved in 1985 and has been amended periodically over the years. The property is developed with multiple buildings that serve as a retirement community. These include a four and five-story apartment building, a two-story skilled care center, a one to three stories sheltered care facility, a number of villa units, detention facilities, parking and other associated improvements. In the fall of 2015 approvals were granted as part of a PUD amendment for a fellowship hall for worshipping which will serve as a multi-purpose room for the residents of The Moorings. Also included as part of the expansion, was an addition for an assisted living wing and an assisted living memory care wing. As part of this project, the petitioner is proposing a solid 7 foot high fence adjacent to a courtyard area that is centrally located within the property. Therefore the petitioner requests the following variations:

- A 2 foot variance from Chapter 28, Section 6.13-3b (Location of Fences) to allow an increase to the maximum fence height from 5-feet to 7-feet.
- A variance from Chapter 28, Section 6.13-3 to allow a solid fence where a semi-open fence is permitted.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	3/31/17	
2. List of Property Owners Within 250 feet of Subject Property	✓	3/31/17	
3. Letter that was Mailed	✓	3/31/17	
4. Photographs of Sign on Property	✓	3/31/17	

Photographs of Existing Structure



ZBA# 17-017

811 E Central Rd - ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering



Submitted: March 23, 2017

Completed: March 29, 2017

The proposed ZBA application indicates that the petitioner is seeking:

A 2 ft variance to allow an increase in the maximum fence height from 5 ft to 7 ft.

NOTE: The location of the fence is within the Moorings complex in an internal courtyard and will be enclosed on three sides by other Moorings buildings. The fence is intended to enclose an outdoor patio for the residents at the memory care facility.

The Engineering Department has NO OBJECTION to the proposed variance.

RECEIVED
MAR 30 2017
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: The Moorings

Project Address: 811 E. Central Rd.

ZBA #: 17-017

ZBA Hearing Date: April 17, 2017

To: Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: March 22, 2017

- A 2 foot variance from Chapter 28, Section 6.13-3b (Location of Fences) to allow an increase to the maximum fence height from 5-feet to 7-feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other:

Comments: FENCE MUST NOT IMPERE REQUIRED

EMERGENCY EGRESS, C. CRAIG 323-17

Please review, comment, and return to me no later than Friday, March 31, 2017.

RECEIVED

MAR 24 2017

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: The Moorings

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Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

No Comments. - S. HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Friday, March 31, 2017.

PETITION

PETITION

NOW COMES the Petitioner The Moorings of Arlington Heights, LLC
being the owner of the property commonly know as: The Moorings, 811 E Central Rd, Arlington Heights, IL 60004
and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section
6.13, Chapter 28, of the Arlington Heights Municipal Code, in order to: increase the height
of a proposed fence from 5' to 7'.

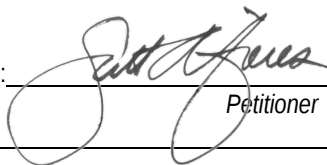
I hereby state that the following hardship would exist if the variation were not granted:

The taller, solid fence is required to create an appropriate outdoor environment for the residents of the residential
memory care facility. This fence will enclose an outdoor patio for the residents increasing their safety and comfort.

I hereby state that the following unique circumstances exist: The outdoor patio is meant to serve as a theraputic area
for the memory care residents. If clear views out of the outdoor space are present at the memory care facility it can
increase resident's desire to leave the space or cause agitation which could lead to increased safety risks for residents.

I hereby state that the variation, if granted, will not alter the essential character of the locality because: The fence in
question will not be visible from any adjacent properties or public ROW. The fence is located in an internal courtyard which
will be enclosed on three sides by other Moorings buildings.

Signed: _____



Petitioner

Date: 3/10/17

LICENSE NO. 184-002761

PROFESSIONAL LAND SURVEYORS

4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630

TELEPHONE: (773) 695-5102 FAX: (773) 284-1484 EMAIL: INFO@PLCS-SURVEY.COM

[illegible]

Parcel 4. That part of the Northeast Quarter of the Northwest Quarter of Section 10, Township 41 North, Range 11 East, of the Third Principal Meridian and the South line of the Southwest Quarter of the Northeast Quarter of the Northwest Quarter of the Northeast Quarter of the South line thereof 330.53 feet; Thence Northerly along the line 330.50 feet East and parallel with the West line of said Quarter to said South line a distance of 447.66 feet to said South line; Thence Northerly parallel to the South line of Central Avenue, a distance of 112.14 feet; Thence Northerly perpendicular to said South line 220.00 feet; Thence Northerly perpendicular to said South line 95.0 feet; Thence Northerly perpendicular to said South line 200.0 feet; Thence Northerly perpendicular to said South line 30.0 feet; Thence Northerly perpendicular to said South line 75.0 feet; Thence Easterly parallel with said South line 159.0 feet; Thence Northerly perpendicular to said South line 120.0 feet; Thence Easterly parallel with said South line 185.0 feet; Thence Southeasterly along a line deflecting 45° to the right from an extension of the last described line, 127.28 feet; Thence Northerly perpendicular to said South line 120.0 feet; Thence Northerly perpendicular to said South line 150.0 feet; Thence Northerly perpendicular to said South line 150.0 feet; Thence Northerly perpendicular to said South line of Central Avenue, 70.0 feet; Thence Southerly perpendicular with said South line 95.0 feet; Thence Easterly parallel with said South line 150.0 feet; Thence Northerly perpendicular to said South line 30.0 feet; Thence Northerly perpendicular to said South line 200.0 feet; Thence Southerly perpendicular to said South line 35.0 feet; Thence Northerly parallel with said South line 457.98 feet to the point of beginning, in Cook County, Illinois.

	Storm MH		Pole with Traffic Signal		Telephone Vault		Mail Box
	Storm CB		Electric Traffic Control Box		Telephone Pedestal		Bumper Post
	Storm Inlet		Electric Traffic Vault		Public Telephone		Guy Anchor
	Storm Inlet		Gas Buffalo Box		Combination Pedestal		Soil Boring
	San MH		Gas Hand Hole		Utility Pole		Monumentation Found
	San Clean Out		Gas Meter		Electric Manhole		Monumentation Established
	Water Valve Vault		Gas Valve		Electric MH		Unclassified Manhole
	Water MH		Gas MH		Electric Vault		Auto Sprinkler
	Water Buffalo Box		Gas Vault		Electric Meter		Hose Connection
	Water Hand Hole		Gas Buffalo Box		Electric Pad		Fire Alarm
	Water Meter		Cable TV Pedestal		Electric Pedestal		Flag Pole
	Water Fire Hydrant		Parking Meter		Electric Light Pole		Tree - Deciduous
	Telephone MH		Sign Post		Electric Traffic Signal		Tree - Evergreen

A = ASPHALT ELEVATION

X = CONCRETE ELEVATION

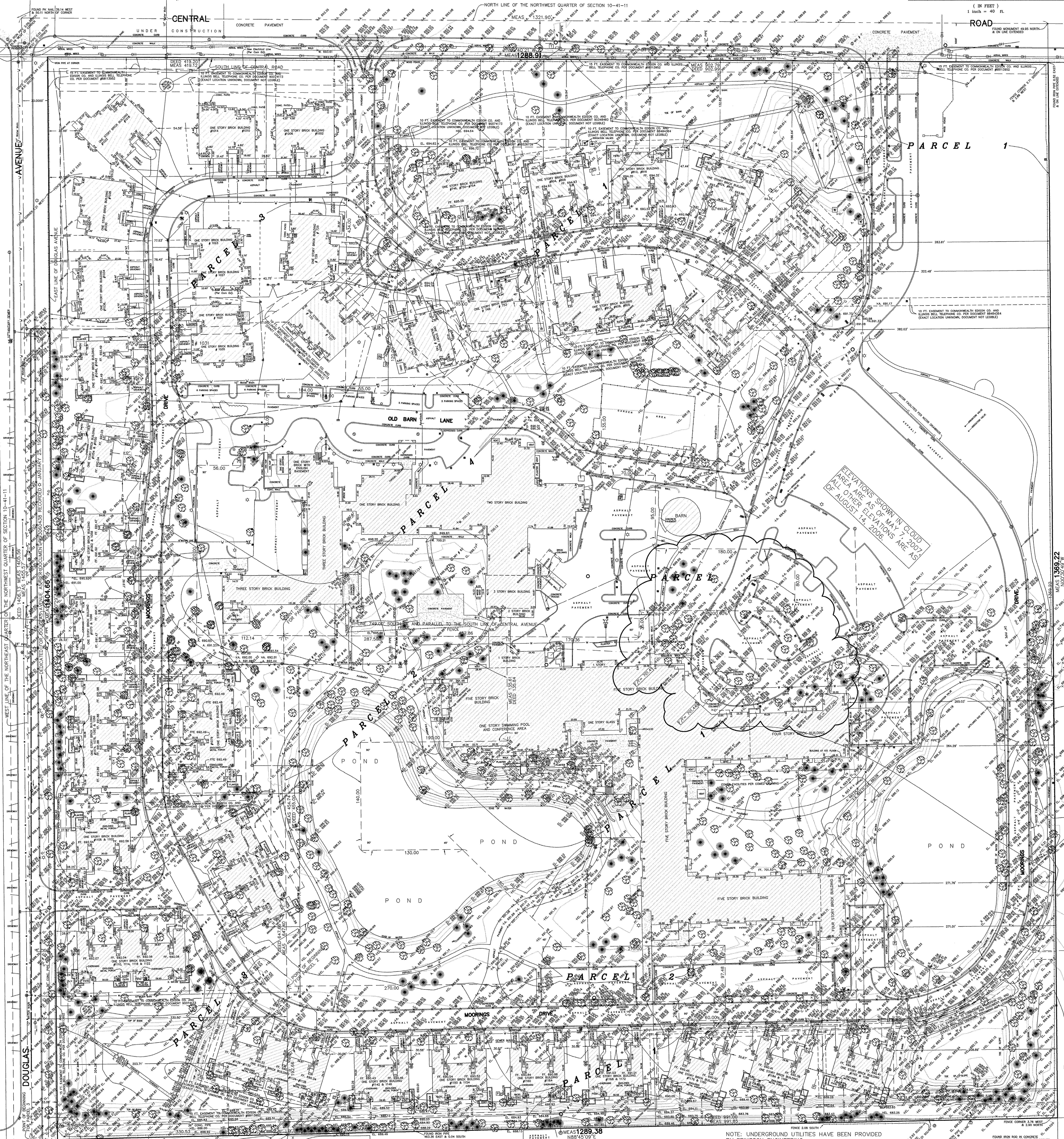
C = CURB ELEVATION

F.FE.=FINISHED FLOOR ELEVATION

C.=CURB ELEVATION

W.=WALK ELEVATION

GRAPHIC SCALE

[illegible]

The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

Call DIGGER - (312) 744-7000 within the City of Chicago.

Outside of the City of Chicago call J.U.L.I.E. (800) 892-0123 p
to construction or excavation.
NOTE:
SUBJECT TO EASEMENT AS PER DOCUMENT #88179384 (EXHIBIT
NOT LEGIBLE)

SUBJECT TO EASEMENT AS PER DOCUMENT #90160237 (EXHIBIT NOT LEGIBLE)
REGARDING MATTERS OF PUBLIC RECORD WE HAVE RELIED UPON TICOR TITLE INSURANCE COMPANY COMMITMENT POLICY NO.: 20

We, GREMLEY & BIEDERMANN, INC. hereby certify that we have surveyed the above described property and that the plat hereon drawn is a correct representation of said survey corrected to a temperature of 62° Fahrenheit.

Field measurements completed on MAY 7, 2007.
Signed on May 10, 2007
By: [Signature]

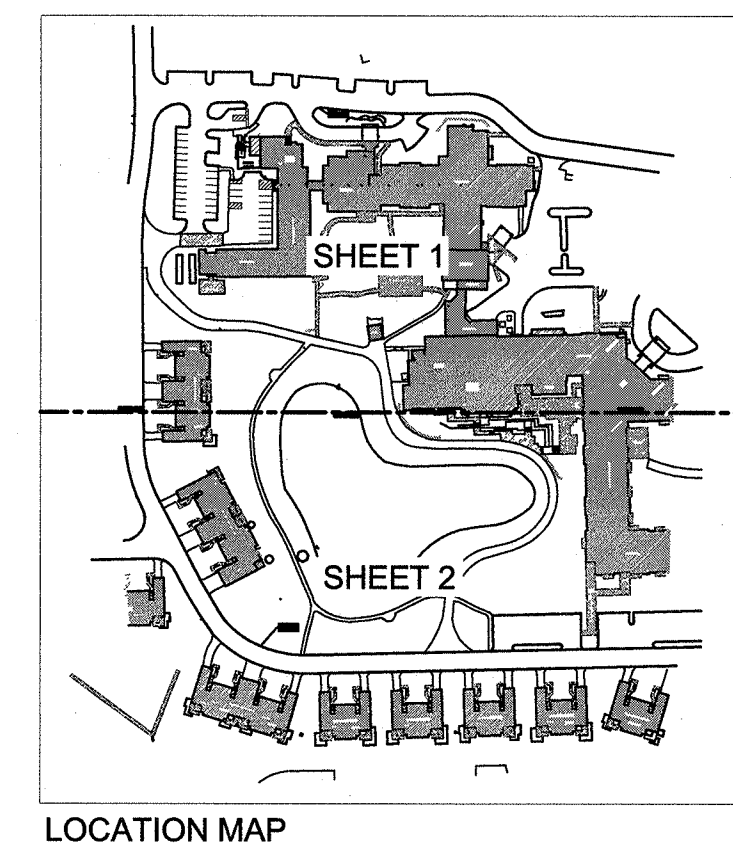
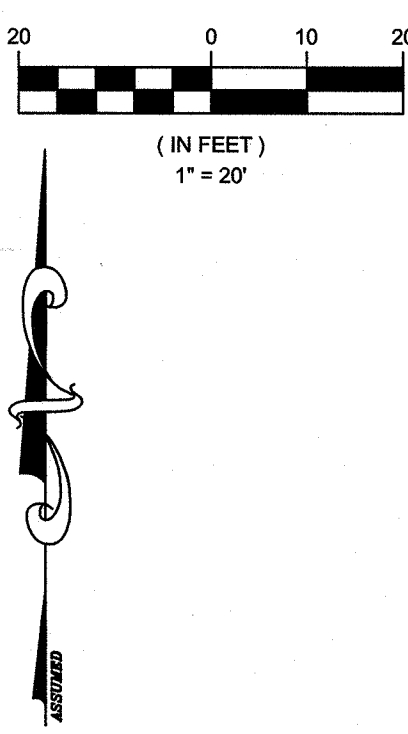
Professional Illinois Land Surveyor No. 1420
My License Expires November 30, 2008
This professional service conforms to the current Illinois minimum standard
for a boundary survey.

Legend:

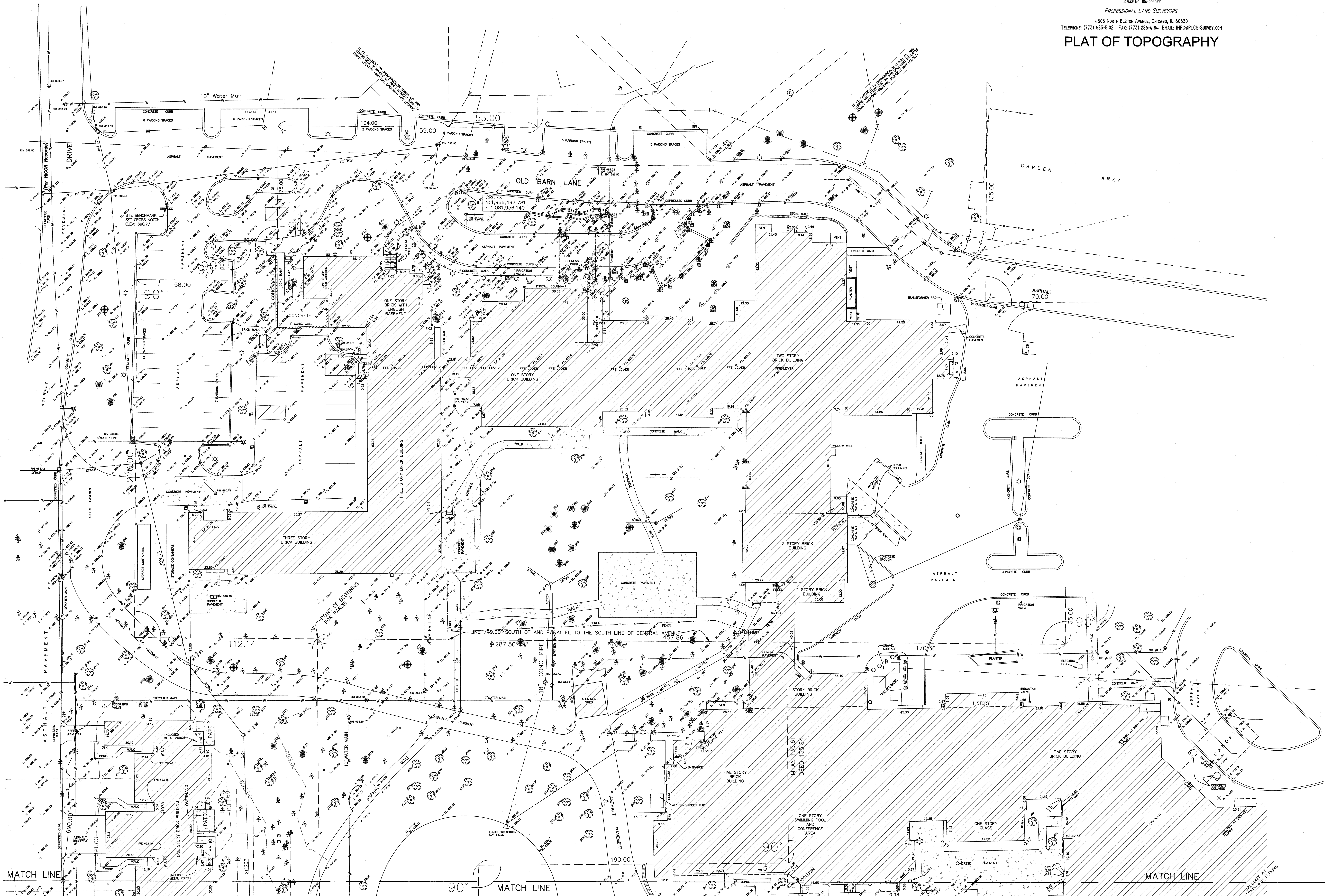
- Storm MH
- Storm CB
- Storm Inlet
- Storm Inlet
- San MH
- San Clean Out
- Water Valve Vault
- Water MH
- Water Buffalo Box
- Water Hand Hole
- Water Meter
- Water Fire Hydrant
- Telephone MH
- Telephone Vault
- Telephone Pedestal
- Public Telephone
- Combination Pedestal
- Utility Pole
- Electric Manhole
- Electric MH
- Electric Vault
- Electric Meter
- Electric Pad
- Electric Pedestal
- Electric Light Pole
- Electric Traffic Signal
- Pole with Traffic Signal
- Electric Traffic Control Box
- Gas Buffalo Box
- Gas Hand Hole
- Gas Meter
- Gas Valve
- Gas MH
- Gas Vault
- Gas Buffalo Box
- Cable TV Pedestal
- Parking Meter
- Sign Post
- Mail Box
- Bumper Post
- Guy Anchor
- Soil Boring
- Monumentation Found
- Monumentation Established
- Undersized Manhole
- Auto Sprinkler
- Hose Connection
- Fire Alarm
- Flag Pole
- Tree - Deciduous
- Tree - Evergreen

A=ASPHALT ELEVATION
GR=GRAVEL ELEVATION
FEE=FINISHED FLOOR ELEVATION
W=WALK ELEVATION
X=CONCRETE ELEVATION
TOE=TOP OF SLOPE ELEVATION
TOB=TOP OF BANK ELEVATION
C=CURB ELEVATION
G=GUTTER ELEVATION
EL=ELEVATION

GRAPHIC SCALE



LOCATION MAP



REVISED SEPTEMBER 9, 2015 PER ORDER NO. 2015-21372 (RJT)
ADDITIONAL TOPOGRAPHY ADDED MAY 9, 2016

ORDERED BY: EYKSON ENGINEERING ASSOCIATION
ADDRESS: THE ROBINSONS OF ARLINGTON HEIGHTS

CREMLEY & BIEDERMANN
PLCS CORPORATION
4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630
TELEPHONE: (773) 685-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM

DATE: APRIL 16, 2015
SCALE: 1"=20' FT
PAGE NO.: 1 OF 2

SURVEY NOTES:

Note R. & M. denotes Record and Measured distances respectively.
Distances are marked in feet and decimal parts thereof. Compare all points BEFORE building by same and at once report any differences BEFORE damage is done.
For easements, building lines and other restrictions not shown on survey plat refer to your abstract, deed, contract, title policy and local building line regulations.
NO dimensions shall be assumed by scale measurement upon this plat.
Monumentation or witness points were not set at the clients request.
The Bearing Basis is ASSUMED.
COPYRIGHT CHICAGO GUARANTEE SURVEY COMPANY 2015 "All Rights Reserved"

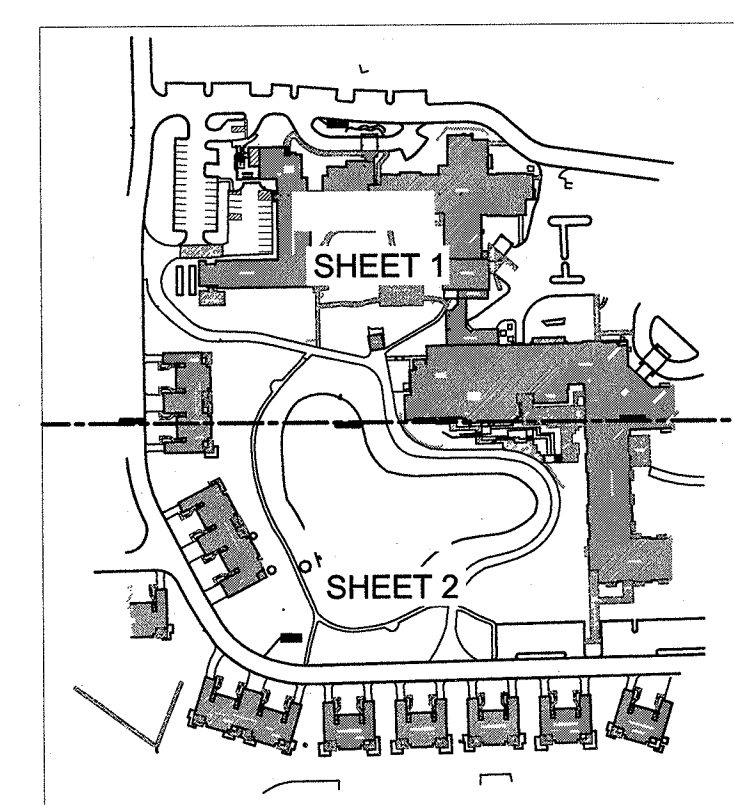
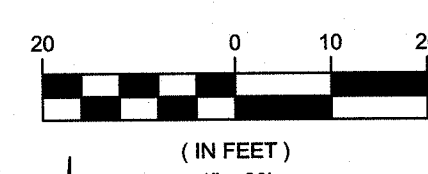
MANHOLE	TYPE	RM ELEVATION	INVERT ELEVATION	MANHOLE	TYPE	RM ELEVATION	INVERT ELEVATION	MANHOLE	TYPE	RM ELEVATION	INVERT ELEVATION	MANHOLE	TYPE	RM ELEVATION	INVERT ELEVATION
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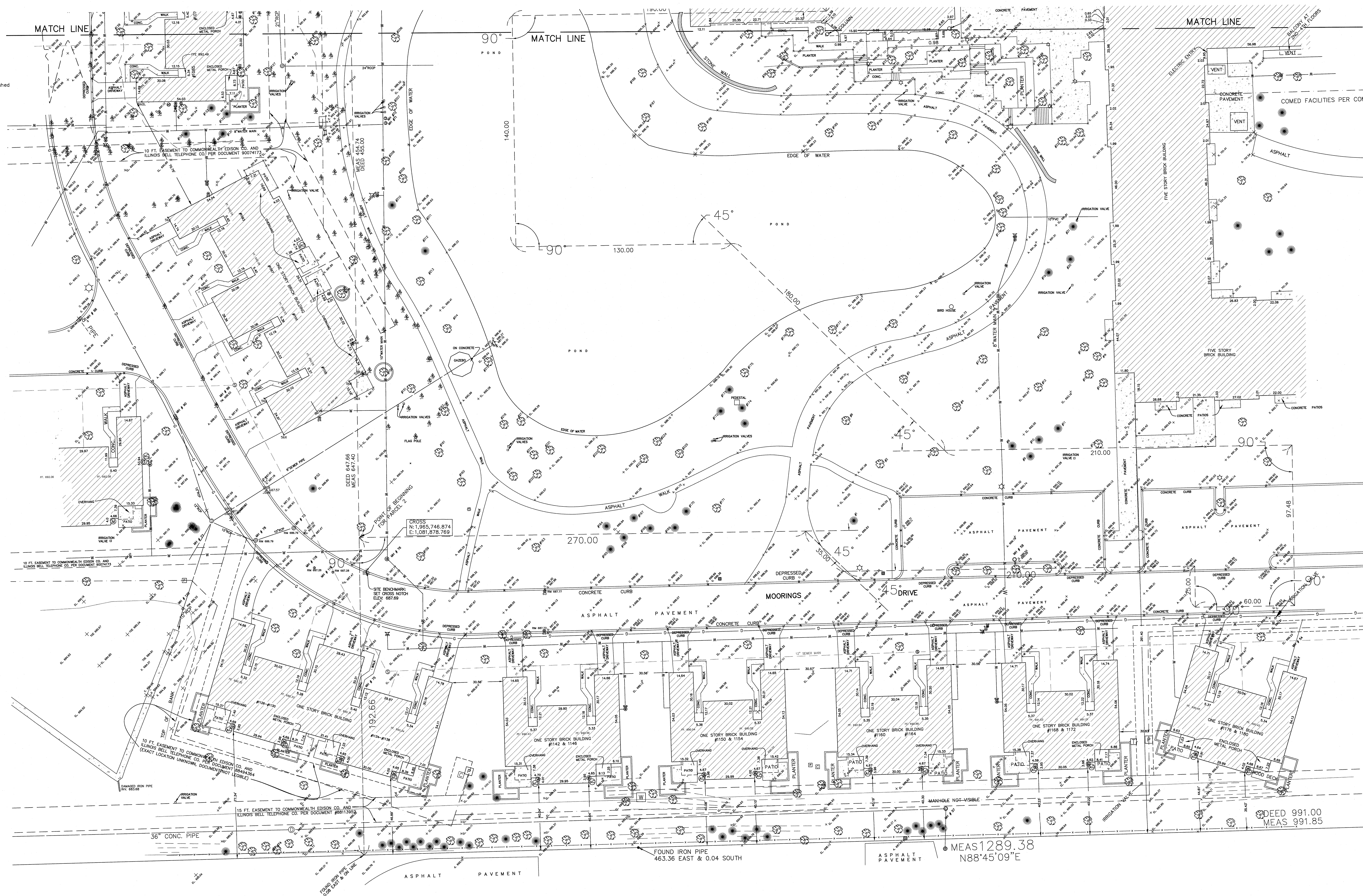
- Storm MH
- Storm CB
- Storm Inlet
- San MH
- San Clean Out
- Water Valve Vault
- Water MH
- Water Buffalo Box
- Water Hand Hole
- Water Meter
- Water Fire Hydrant
- Telephone MH
- Telephone Vault
- Telephone Pedestal
- Public Telephone
- Combination Pedestal
- Utility Pole
- Electric Manhole
- Electric MH
- Electric Vault
- Electric Meter
- Electric Pad
- Electric Pedestal
- Electric Light Pole
- Electric Traffic Signal
- Pole with Traffic Signal
- Electric Traffic Control Box
- Electric Traffic Vault
- Gas Buffalo Box
- Gas Hand Hole
- Gas Meter
- Gas Valve
- Gas MH
- Gas Vault
- Gas Buffalo Box
- Cable TV Pedestal
- Parking Meter
- Sign Post
- Bumper Post
- Guy Anchor
- Soil Boring
- Monumentation Found
- Monumentation Established
- Unclassified Manhole
- Auto Sprinkler
- Hose Connection
- Flag Pole
- Tree - Deciduous
- Tree - Evergreen

A=ASPHALT ELEVATION
GR=GRAVEL ELEVATION
FEE=FINISHED FLOOR ELEVATION
W=WALK ELEVATION
X=CONCRETE ELEVATION
TOE=TOP OF SLOPE ELEVATION
TOB=TOP OF BANK ELEVATION
C=CURB ELEVATION
O=OUTLET ELEVATION
EL=ELEVATION

GRAPHIC SCALE



LOCATION MAP

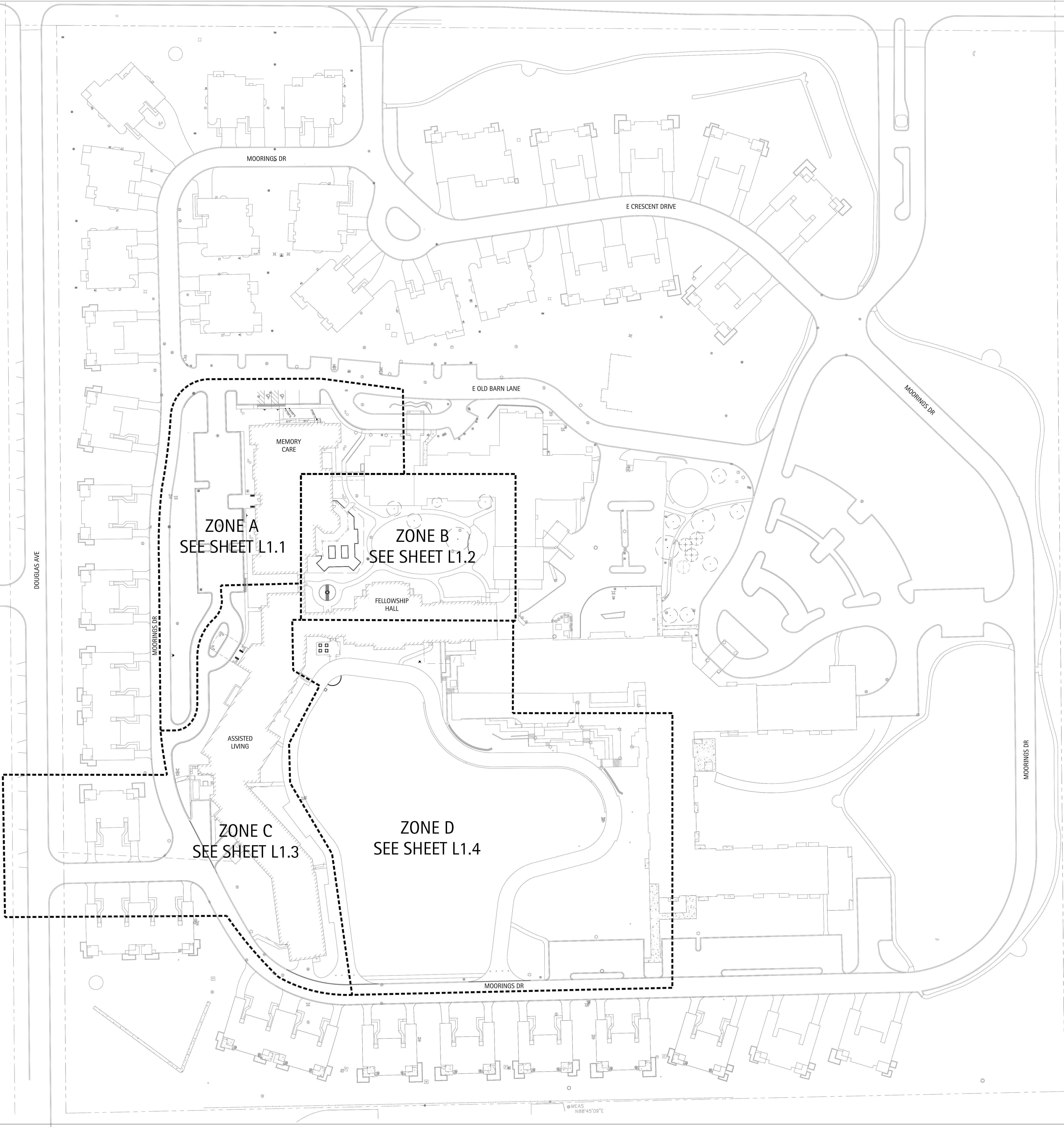


SURVEY NOTES:

Note R & M. denotes Record and Measured distances respectively.
Distances are marked in feet and decimal parts thereof. Compare all points BEFORE building by same and at once report any differences BEFORE damage is done.
For easements, building lines and other restrictions not shown on survey plat refer to your abstract, deed, contract, title policy and local building line regulations.
NO dimensions shall be assumed by scale measurement upon this plat.
Monumentation or witness points were not set at the clients request.
The Bearing Basis is ASSUMED.
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REVISED SEPTEMBER 9, 2015 PER ORDER NO. 2015-21372 (RTT)
ORDERED BY: ENVISSION ENGINEERING ASSOCIATION
ADDRESS: THE MOORINGS OF ARLINGTON HEIGHTS
GREGMEY & BIEDERMANN
PLCS CORPORATION
4505 NORTH ELSTON AVENUE, CHICAGO, IL 60630
TELEPHONE: (773) 885-5102 FAX: (773) 286-4184 EMAIL: INFO@PLCS-SURVEY.COM
DATE: APRIL 16, 2015
SCALE: 1 INCH = 20 FEET
PAGE NO: 2 OF 2
2015-20606-001

MARKER	TYPE	RM	ELEVATION	MARKER	TYPE	RM	ELEVATION	MARKER	TYPE	RM	ELEVATION	MARKER	TYPE	RM	ELEVATION
1	STAKE	10.00	100.00	11	STAKE	10.00	100.00	21	STAKE	10.00	100.00	31	STAKE	10.00	100.00
2	STAKE	10.00	100.00	12	STAKE	10.00	100.00	22	STAKE	10.00	100.00	32	STAKE	10.00	100.00
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9	STAKE	10.00	100.00	19	STAKE	10.00	100.00	29	STAKE	10.00	100.00	39	STAKE	10.00	100.00
10	STAKE	10.00	100.00	20	STAKE	10.00	100.00	30	STAKE	10.00	100.00	40	STAKE	10.00	100.00



REVISIONS			
NO.	DATE	DESCRIPTION	
02	02/02/2016	Design Development	
03	03/02/2016	Coordination Set	
04	04/05/2016	Adendum #1	
05	06/10/2016	Revision per Comments	
06	06/20/2016	Issued for Construction	

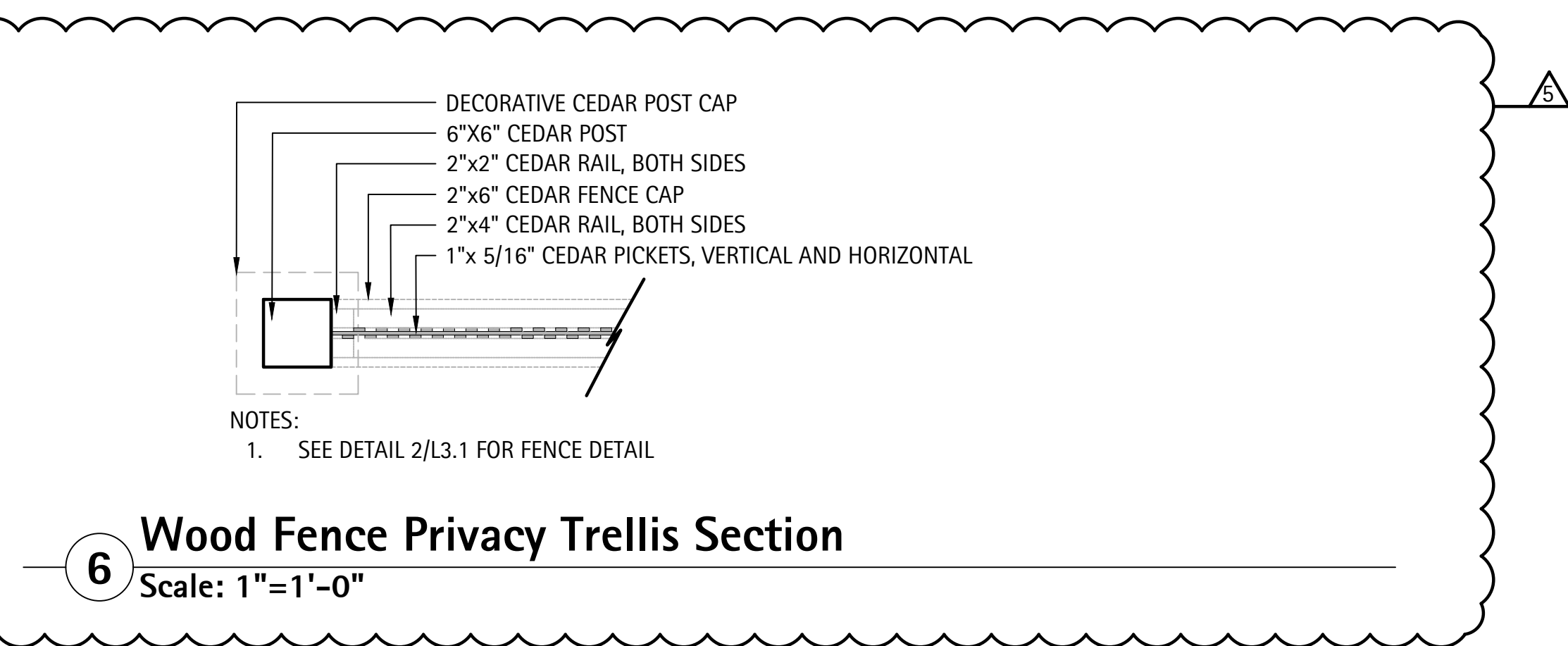
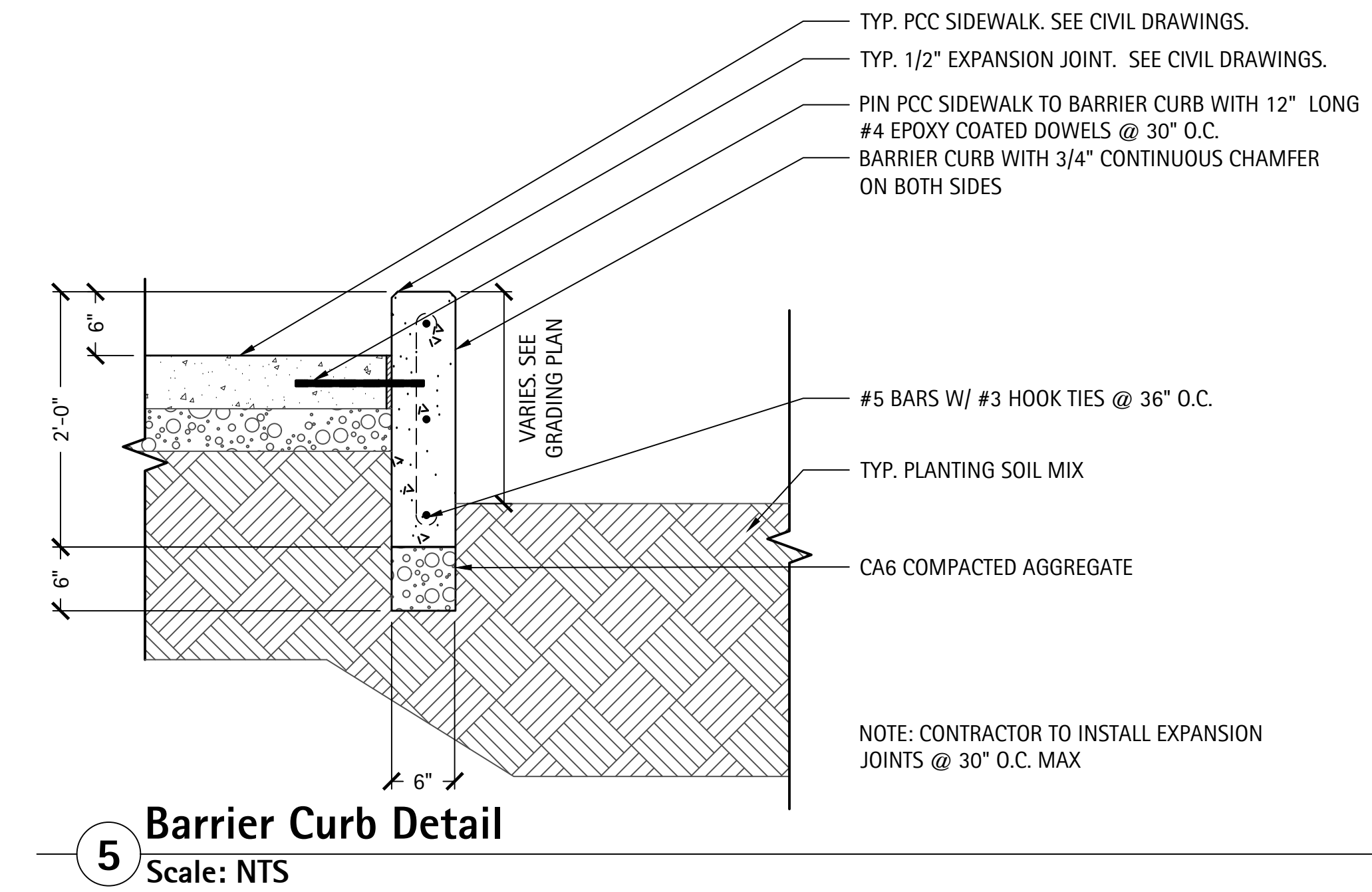
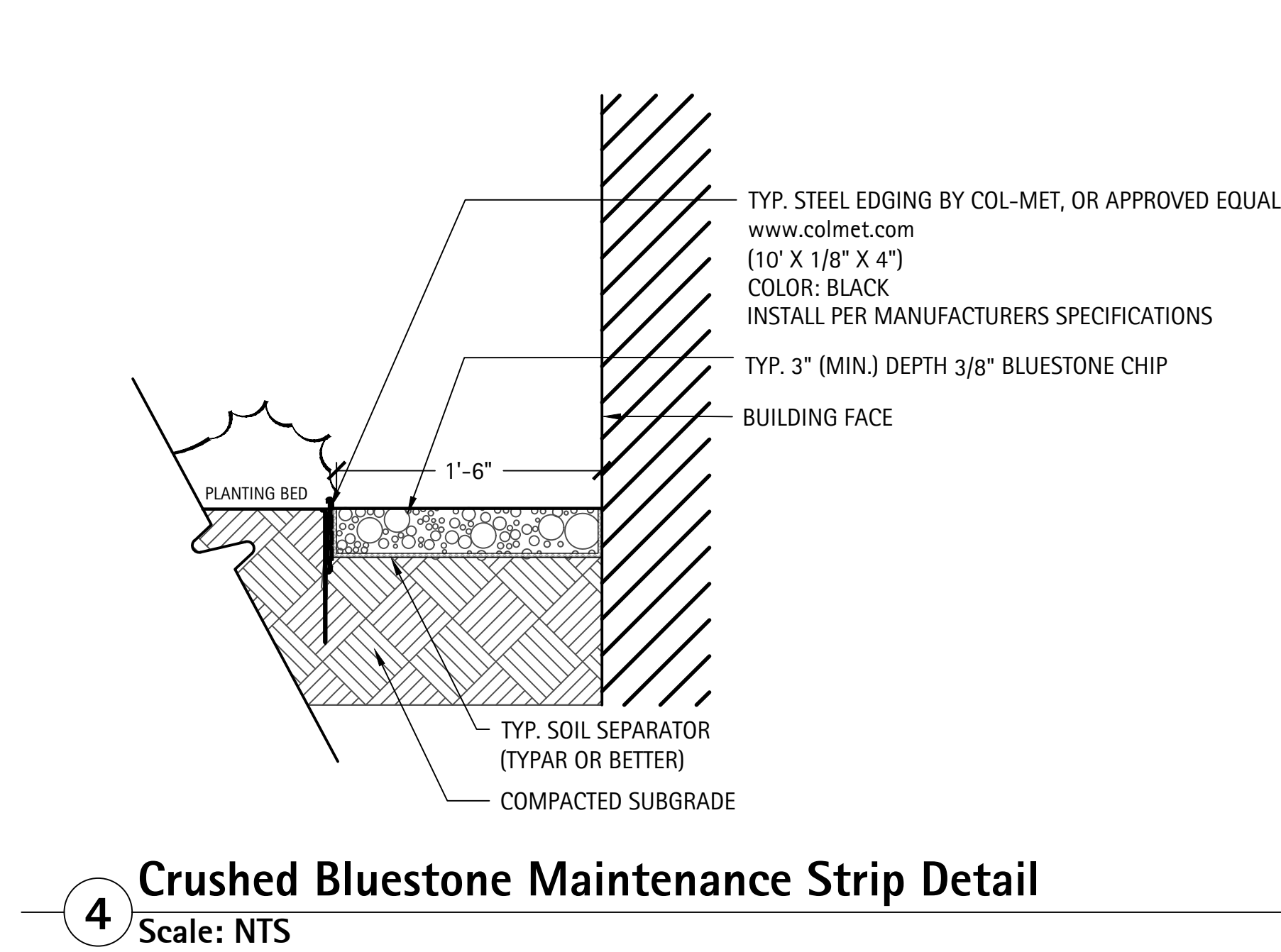
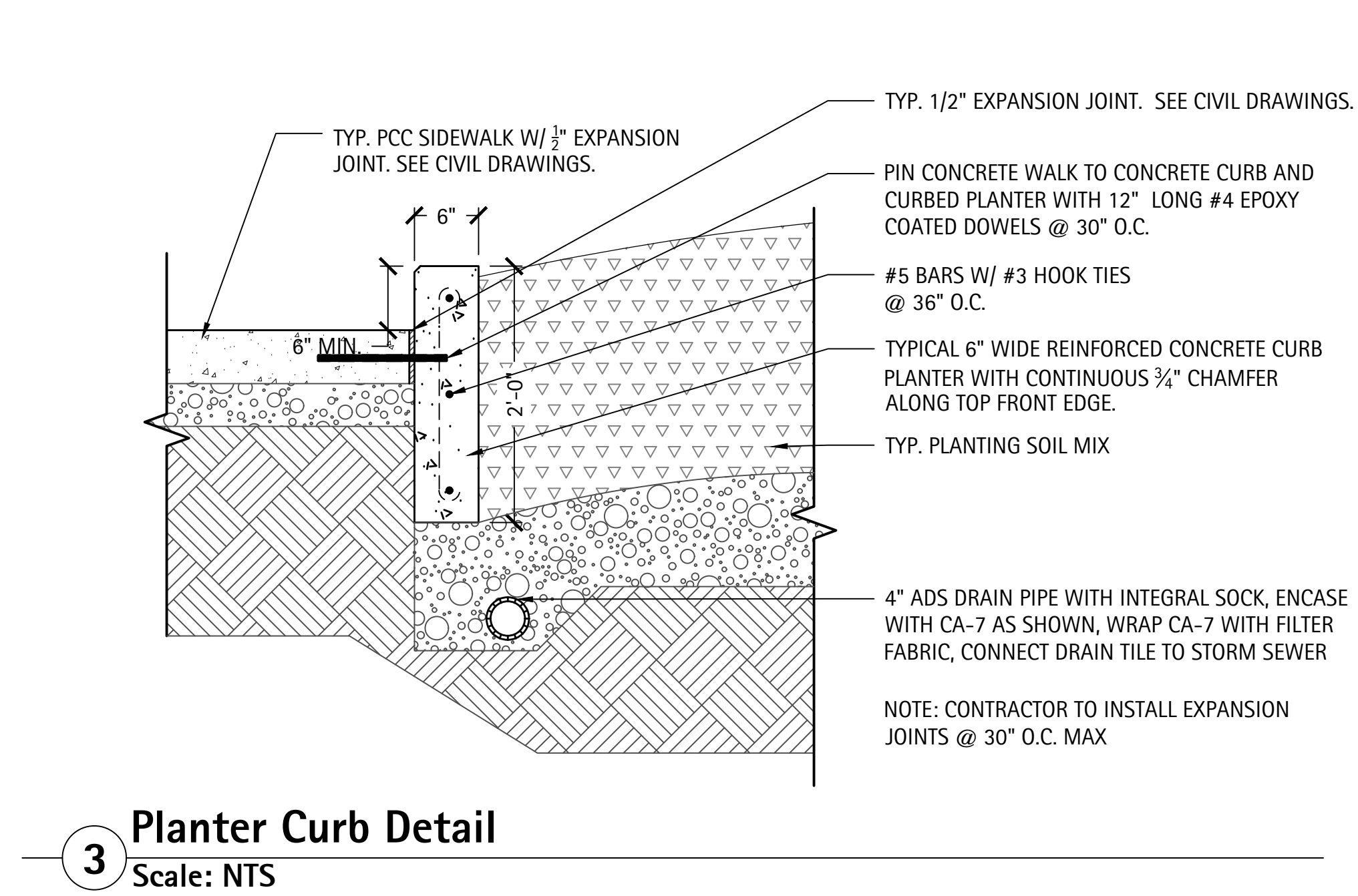
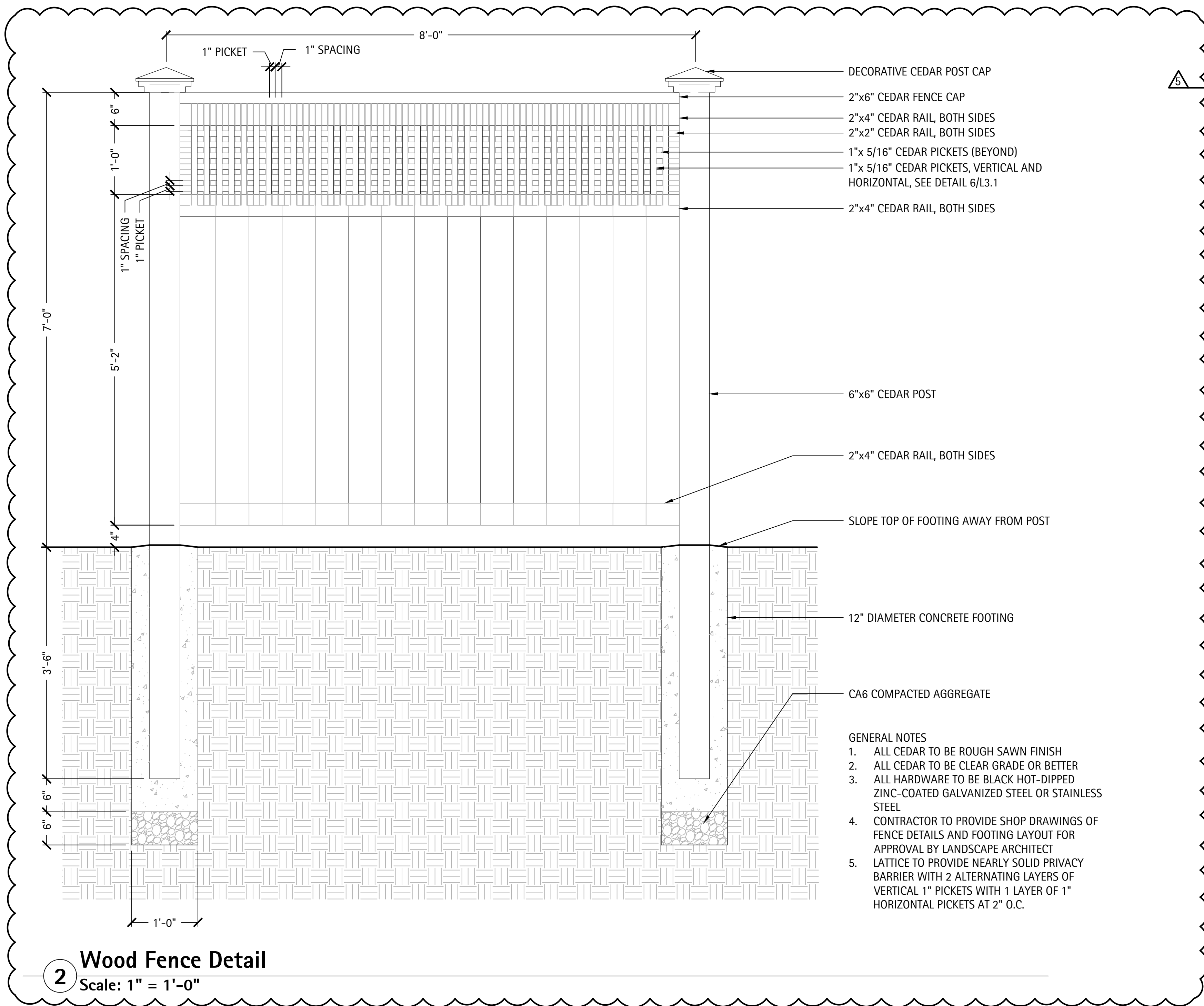
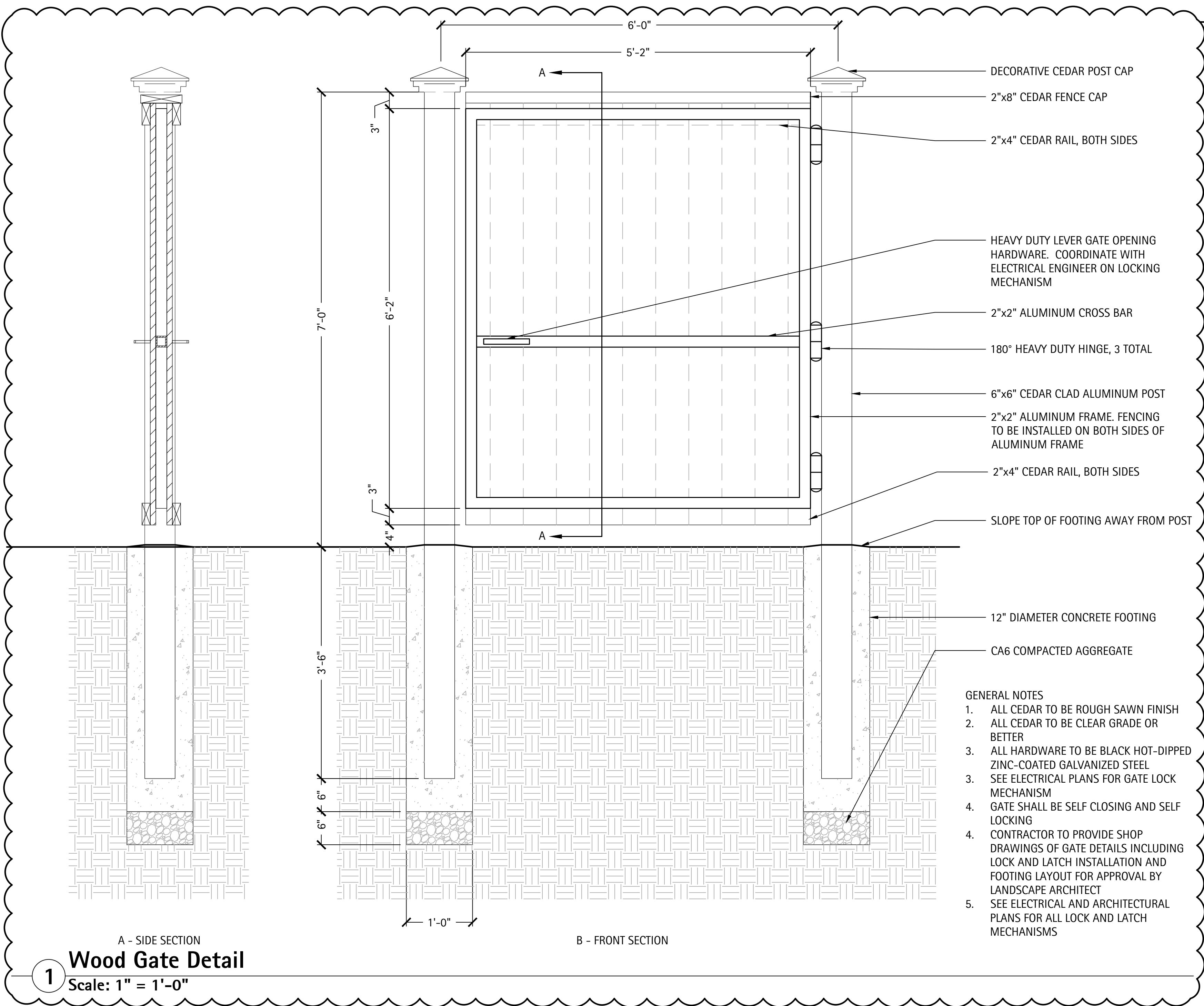
RENOVATIONS & ADDITIONS TO			
THE MOORINGS OF ARLINGTON HEIGHTS			
FOR			
PRESBYTERIAN HOMES			
811 EAST CENTRAL ROAD, ARLINGTON HEIGHTS, IL 60005			
DRAWN BY:	JA / ES	COORDINATED BY:	ES
CHECKED BY:	ES	APPROVED BY:	SF

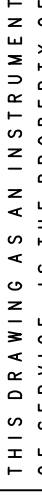
THE LAKOTA GROUP.
116 West Illinois Street
Floor 7
Chicago, Illinois 60654
P 312.467.5445
F 312.467.5484
thelakotagroup.com

ISSUED FOR
CONSTRUCTION
20 JUNE 2016

CALL BEFORE YOU DIG
800-882-3363
Joint Utility Locating Information for Excavators
Call 48 hours before you dig
(Locating fee, fee is waived)

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF THE ARCHITECT, AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE ARCHITECT'S WRITTEN PERMISSION. THE REPRODUCTION OR TRANSMISSION OF THIS DRAWING WITHOUT THE ARCHITECT'S WRITTEN PERMISSION IS A VIOLATION OF THE ARCHITECT'S PROFESSIONAL ETHICS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO BEGINNING WORK.



VOLUME 1 SITE L3.1 DRAWING NO:		LANDSCAPE DETAILS		REVISIONS		THE MOORINGS OF ARLINGTON HEIGHTS FOR PRESBYTERIAN HOMES 811 EAST CENTRAL ROAD, ARLINGTON HEIGHTS, IL 60005 DRAWN BY: JA / ES COORDINATED BY: ES CHECKED BY: ES APPROVED BY: SF		THE LAKOTA GROUP.		116 West Illinois Street Floor 7 Chicago, Illinois 60654 p 312.467.5445 f 312.467.5494 thelakotagroup.com		ISSUED FOR CONSTRUCTION 20, JUNE 2016		 Call 48 hours before you dig (Locating fee, fee 4 miles) Joint Utility Locating Information for Excavators THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF THE ARCHITECT. AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION AND UNDER THE SUPERVISION OF THE ARCHITECT. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE BEFORE PROCEEDING WITH THE WORK.																		
COMMISSION NO: 2014104		DATE: JUNE 20, 2016 SCALE: AS NOTED		<table><thead><tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr></thead><tbody><tr><td>01</td><td>03/13/2016</td><td>Coordination Set</td></tr><tr><td>02</td><td>03/24/2016</td><td>Adendum #1</td></tr><tr><td>03</td><td>04/05/2016</td><td>Revision per Comments</td></tr><tr><td>04</td><td>06/10/2016</td><td>Issued for Construction</td></tr><tr><td>05</td><td>09/08/2016</td><td>Revision - Field Changes</td></tr><tr><td>06</td><td>03/09/2017</td><td>Revision per Comments</td></tr></tbody></table>		NO.	DATE	DESCRIPTION	01	03/13/2016	Coordination Set	02	03/24/2016	Adendum #1	03	04/05/2016	Revision per Comments	04	06/10/2016	Issued for Construction	05	09/08/2016	Revision - Field Changes	06	03/09/2017	Revision per Comments						
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Item: 7-25 E. Golf Rd. - ZBA#17-018

Department: Planning & Community Development

REQUEST

A variation from Chapter 28, Section 11.2, Schedule of Parking Requirement, to allow a reduction to the minimum required parking from 56 to 54 parking spaces.

ATTACHMENTS:

Description	Type
7-25 E. Golf Rd. - ZBA#17018	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: April 17, 2017
Date Prepared: April 10, 2017
Project Title: Stafford Place Shopping Center
Address: 7-25 E. Golf Rd.

Background Information

Petition Number: ZBA #17-018
Petitioner: Nick Psychogios
Address: 1911 DeCook Ave.
Park Ridge, IL 60068
Existing Zoning: B-2, General Business District

Requested Action/Background Information

Chapter 28, Section 12.1-b4, allows the Zoning Board of Appeals to waive the parking requirements when the character or use of the building is such as to make unnecessary the full provision of parking facilities, or where such regulations would impose an unreasonable hardship upon the use of the lot, as merely granting an advantage or convenience.

SPACE	CODE USE	SF	VACANT SF	PARKING CALC SF	PARKING RATIO (1:X)	PARKING REQUIRED
Dental Associates of AH	Medical	1,780	0	1,780	200	9
Vacant	Retail	900	0	900	300	3
Toe Paradise	Beauty	2,300	0	2,300	250	10
Immanuel Physical Rehab	Medical	2,400	0	2,400	200	12
Vacant	Retail	2,400	0	2,400	300	8
Lovers Lane	Retail	4,000	0	4,000	300	14
TOTALS		13,780	0			56
TOTAL LEASABLE AREA		13,865				
CURRENT VACANCY		0.00%				
TOTAL PARKING REQUIRED						56
TOTAL PARKING PROVIDED						54
(DEFICIT)						(2)

The parking ratios set forth in Chapter 28, Section 11.4, the Zoning Ordinance requires one parking stall for every 200 square feet for medical/dental related uses, 300 square feet for retail related uses and 250 square feet for beauty related uses. Based on the square footage for the businesses, the total number of parking stalls required for the site is 56 spaces. At this time, the site has a total of 54 parking spaces, thereby resulting in a deficit of 2 parking stalls. The proposed expansion of Toe Paradise is increasing the parking demand thereby resulting in a two space parking deficit. Therefore, the petitioner requests the following variance:

- A variation from Chapter 28, Section 11.2, Schedule of Parking Requirement, to allow a reduction to the minimum required parking from 56 to 54 parking spaces.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	3/30/17	
2. List of Property Owners Within 250 feet of Subject Property	✓	3/30/17	
3. Letter that was Mailed	✓	3/30/17	
4. Photographs of Sign on Property	✓	3/30/17	

Photographs of Existing Structure



PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Stafford Place Shopping Center

Project Address: 7-25 E. Golf Rd.

ZBA #: 17-018

ZBA Hearing Date: April 17, 2017



To: ✓ Jim Massarelli, Director of Engineering
Charley Craig, Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: March 29, 2017

- A variation from Chapter 28, Section 11.2, Schedule of Parking Requirement, to allow a reduction to the minimum required parking from 56 to 54 parking spaces.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

Please review, comment, and return to me no later than Friday, March 31, 2017.

ENGR OK WITH
PROPOSED VARIATION REDUCTION
FROM 56 TO 54 PARKING SPACES
JFM 4/4/17

PROJECT REVIEW TRANSMITTAL
for
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- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: NO COMMENTS ON VARIANCE. NOTE

C.T.C. THAT ACCESSIBLE REQUIREMENTS MUST BE COMPLIED WITH.

Please review, comment, and return to me no later than Friday, March 31, 2017.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Stafford Place Shopping Center

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- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

No COMMENTS. - STEVE HAUZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Friday, March 31, 2017.

PETITION

NOW COMES the Petitioner Nick Pythagios Agent for Golf Rd LLC
being the owner of the property commonly know as: 7-25 E GOLF RD.

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section

11.4-2, Chapter 28, of the Arlington Heights Municipal Code, in order to: REQUEST
PARKING VARIATION FOR TOE PARADISE ADDITION
AT 15 E GOLF RD.

I hereby state that the following hardship would exist if the variation were not granted:

THE CENTER HAS BEEN DIFFICULT TO RENT FOR THE
PAST 5 YRS. ONE VACANCY STILL REMAINS

I hereby state that the following unique circumstances exist: TWO OF THE STORES RENTED
FOR MEDICAL USE REQUIRE 19 CARS AND NEVER HAVE
MORE THAN 10 COMBINED

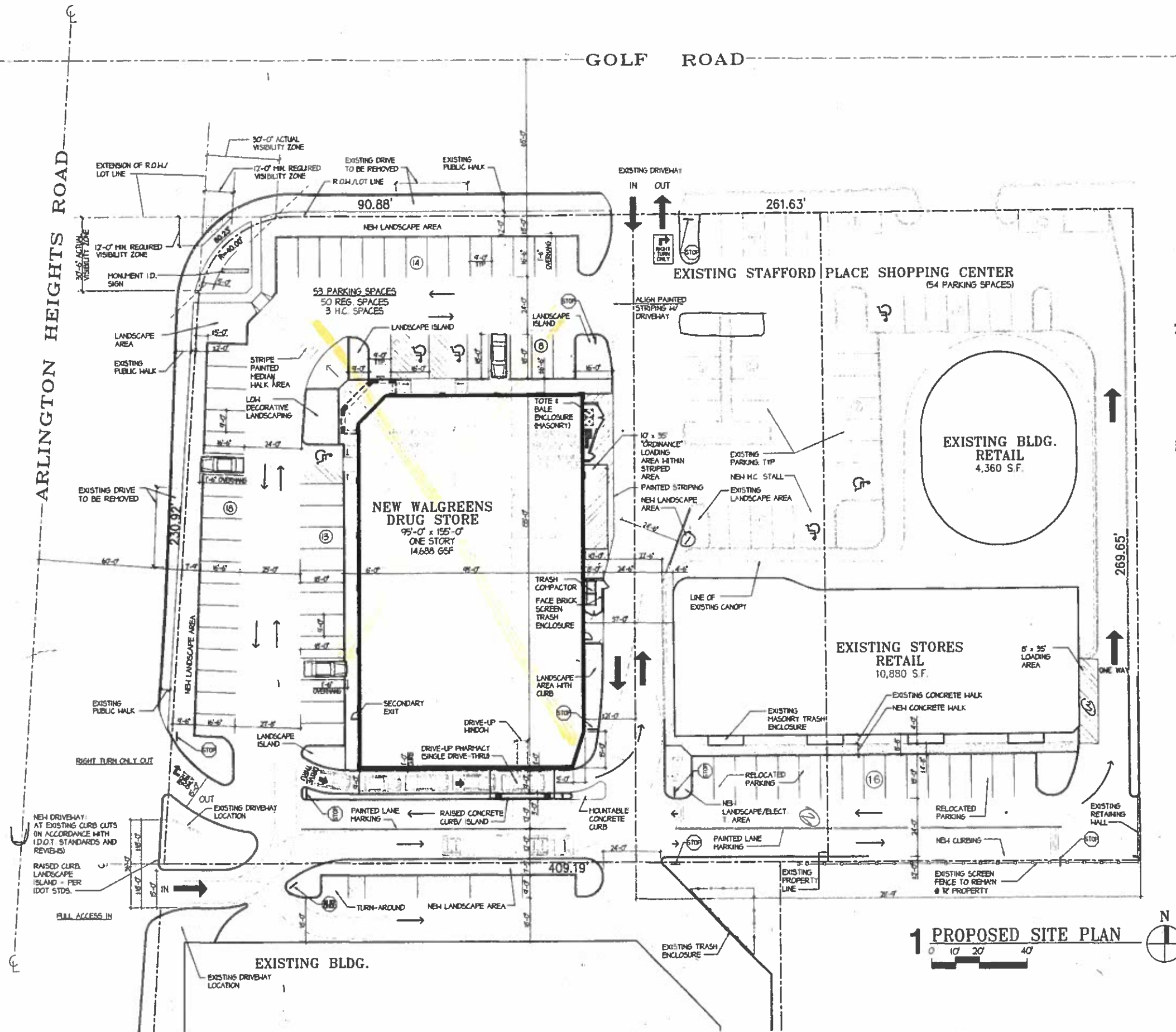
I hereby state that the variation, if granted, will not alter the essential character of the locality because: THE
TENANTS PEAK USE TIMES DIFFER.

Signed: _____

Petitioner

Date: 3-23-17

Agent for Golf Rd LLC



TOTAL PROPERTY SITE: 2.455 acres
106,939.8 sq.ft.
STAFFORD PLACE SHOPPING CENTER
AND WALGREENS SITE

As per dated, Feb. 11, 1999
Prepared by GLEN D. KRISCH, LAND
SURVEYOR, INC., Lombard, Illinois

EXISTING STAFFORD PLACE SHOPPING CENTER:

SITE AREA: (211.73' x 269.65') =
57,092.95 sq.ft.
W/O Walgreens site

EXISTING RETAIL BUILDING = 4,360 sq.ft.
EXISTING RETAIL STORE = 10,880 sq.ft.
TOTAL BUILDING AREA: 15,240 sq.ft.

PARKING: (RETAIL USE)
Req'd = 1 space/300 SF
15,240 Total SF / 300 = 50.8 spaces
Provided = 54 spaces

NEW WALGREENS:

SITE AREA: 49,846.85 sq.ft.
W/O Stafford Place

ZONING: B-2, GENERAL BUSINESS DISTRICT
F.A.R. = 2.5

Max. Building Area = 2.5 x lot area
= 2.5 x 49,846.85
= 124,617 SF max.

Actual: 14,688 GSF

NEW WALGREENS BUILDING =
(95' x 155') = 14,725 sq.ft.
- (Southeast Corner 15' x 5')
= 14,688 sq.ft.

PARKING: (RETAIL USE)
Req'd = 1 Space/300 SF
14,688 Total SF / 300 = 48.96 spaces
Provided = 53 spaces

LOADING AREA:
Provided = 1, 10' x 35' space

1 PROPOSED SITE PLAN

PROPOSED NEW
WALGREENS DRUG STORE
ARLINGTON HEIGHTS ROAD & GOLF ROAD
ARLINGTON HEIGHTS, ILLINOIS

BASIL ASSOCIATES, INC.
architects
planners
PHONE (847) 441-9600 FAX (847) 441-9631
445 CENTRAL AVE. NORTHBELD, IL 60063 ©1997



DO NOT SCALE
DRAWINGS

REV DATE

8-31-99

DRAWN

JOB NO
9869

SHEET

1

Stafford Place
15 E. Golf Road

The project site is located in Arlington Heights at 15 E. Golf Road and is on the south side of Golf Road adjacent Walgreen's. The retail center has an approximate total footprint of 13,800 sq ft. The existing parking lot has 54 spaces and the Village requirement 56 spaces with the expansion of Toe Paradise. The business is currently within the center and is proposing an expansion of approximately 1200 square feet. Pursuant to Chapter 28, Section 11.2, one space is required for every 250 square feet of beauty type uses.

A parking study was performed to establish the shopping center's available parking across 4 days (Tuesday, Wednesday, Thursday and Friday) during late March, 2017. For all days studied there was ample parking to accommodate both customers and employees. After observing the parking lot, drivers did not have to circulate in order to find a space. Therefore, the study showed no issue with lack of available parking spaces.

In that regard, the study examined the shopping center's parking patterns and availability each hour for a four day period between the hours of 10 AM and 8 PM.

In brief, it was concluded that sufficient shopping center parking is available for the expansion of Toe Paradise. On-site observation and parking counts determined that existing peak parking demands were less than 67% (36 spaces occupied out of 54 spaces at peak demand).

Stafford Place
7-25 E. Golf Road
Parking Study

	Tues 3/28/17	Wed 3/29/17	Thurs 3/30/17	Fri 3/31/17
10:00 AM	15	20	19	27
11:00 AM	20	19	24	31
12:00 Noon	18	18	25	33
1:00 PM	18	23	25	33
2:00 PM	19	21	24	31
3:00 PM	21	21	25	31
4:00 PM	24	22	26	31
5:00 PM	23	25	29	33
6:00 PM	28	25	32	36
7:00 PM	26	24	28	32
8:00 PM	21	23	21	28