



Agenda
Village of Arlington Heights
Zoning Board of Appeals
Buechner Room, 1st floor

Arlington Heights Village Hall
33 S. Arlington Heights Road
Arlington Heights, IL 60005
January 8, 2018
7:00 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. 1902 N. Chestnut Ave. - 12/11/17
- B. 1406 W. Maude Ave. - 12/11/17
- C. 2529 N. Raleigh St. - 12/11/17

IV. REPORTS

V. OLD BUSINESS

VI. NEW BUSINESS

- A. 1176 N. Beverly Ln. - ZBA#17-059
- B. 2914 N. Mitchell Ave. - ZBA#17-060
- C. 935 N. Haddow Ave. - ZBA#17-061
- D. 1301 N. Illinois Ave. - ZBA#17-062
- E. 2101 S. Arlington Heights Rd. - ZBA#17-063

VII. OTHER BUSINESS

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact David Robb, Disability Services Coordinator, at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847)368-5793 (Voice), (847)368-5980 (Fax) or drobb@vah.com.



Item: 1902 N. Chestnut Ave. - 12/11/17

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
1902 N. Chestnut Ave. - Minutes 12/11/17	Minutes
1902 N. Chestnut Ave. - Findings 12/11/17	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 1902 NORTH CHESTNUT AVENUE - ZBA #17-056

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Beuchner Room,
Arlington Heights, Illinois on the 11th day of December, 2017 at the hour of
7:02 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Chairman
TOM DRAKE
TOM SCHWINGBECK
JOSEPH GEISEL
JOSEPH SELBKA
BENJAMIN JAFFE
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Development Planner

CHAIRMAN DIVITO: Good evening, everyone. I'd like to call to order the Zoning Board of Appeals meeting for December 11th, 2017. Derek, would you mind doing the roll call?

MR. MACH: Chairman Divito.

CHAIRMAN DIVITO: Here.

MR. MACH: Mr. Drake.

MR. DRAKE: Here.

MR. MACH: Mr. Geisel.

MR. GEISEL: Here.

MR. MACH: Mr. Jaffe.

MR. JAFFE: Here.

MR. MACH: Mr. Schwingbeck.

MR. SCHWINGBECK: Here.

MR. MACH: Mr. Selbka.

MR. SELBKA: Here.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Here.

CHAIRMAN DIVITO: Excellent. If you would all please stand and do the pledge of allegiance?

(Pledge of allegiance recited.)

CHAIRMAN DIVITO: Thank you. Let's see. The next item on the agenda here is the approval of minutes from last month's meeting. There's two agenda items. Has everyone had an opportunity to review? Is there any errors or omissions that you'd like to be called out?

None being heard, is there a motion to approve.

MR. DRAKE: So moved.

CHAIRMAN DIVITO: Second?

MR. JAFFE: Second.

CHAIRMAN DIVITO: All in favor?

(Chorus of ayes.)

CHAIRMAN DIVITO: All opposed?

(No response.)

CHAIRMAN DIVITO: None being heard, we can move on to current business. So, in case anyone is going to present tonight, I ask that when you do have an opportunity to step forward, that you sign in and make sure that your address and everything is on there, and then I will actually swear you in.

During tonight's proceedings, we ask that you firmly establish the three elements necessary. The first one is that if you're not approved, that you are sustaining a hardship -- I'm sorry, that you sustain a hardship, that the property cannot yield a reasonable return if permitted to only be used under the strict circumstances allowed by the regulations. The second is the unique characteristics of the situation. Finally, if approved, that the change that you're requesting does not alter the characteristics of the neighborhood.

So, with all that said, minus the snow blower in the background, we'll actually call up 1902 North Chestnut. Good evening.

MR. KOSTAK: Good evening.

CHAIRMAN DIVITO: Have you had a chance to sign in?

MR. KOSTAK: I signed in.

CHAIRMAN DIVITO: Excellent. So, your name and address for the record please?

MR. KOSTAK: Warren Kostak, architect, 510 Woodview Road.

MR. SIAVELIS: Can you speak up? I'm sorry, because of that background noise, and then we want to make sure the reporter gets you clean, too.

MR. KOSTAK: Warren Kostak, architect, 510 Woodview Road, Lake Barrington 60010.

MR. GLUNZ: Tom Glunz, 1902 North Chestnut, the owner.

CHAIRMAN DIVITO: Okay, both raise your right hand.

(Witnesses sworn.)

CHAIRMAN DIVITO: Thank you. Go ahead.

MR. KOSTAK: Well, good evening, gentlemen. We are here tonight to basically summarize the two variances that we are asking for for 1902 North Chestnut. The first variance concerns an existing exterior side yard requirement. The current requirement is a side yard of 40 feet. The existing conditions are such that the existing house is now about 30 feet from the side property line, and the existing garage is 15.01 feet from the side property line.

So, one of the reasons for our asking this variance is just to permit a continued use on the property. Part of the reason for the nonconformance is that this house, and part of the reason for the request, this house was built around 1927. It's been there a long time and obviously the codes in that time period were different from where they are now. So, that's one reason.

Another reason is that we want to provide a new addition in this area to connect the detached garage to the existing house. This will make it an attached garage with three car spaces.

Now, the reason for this, one of them is obvious, economic value of course because an attached three-car garage to an existing house has more value than a detached two-car garage. Secondly, the safety aspect, the existing conditions are such that in the current situation, there is a staircase, a wooden staircase that connects the grade level to the existing first floor of the house. This provides, there's a safety aspect basically in the wintertime because of ice and snow building up on the stairs. So, one of our objectives is just to eliminate that hazard by putting in an enclosure.

Thirdly, if you look at the existing, the picture of the existing house that we've given you, the current staircases, there are two actually, one from grade going up to the first floor, one from grade going down to the basement. The basement staircase is enclosed in a wooden structure that's been there for decades, and the other staircase is totally open to the weather. So, we're going to attempt to increase the economic value, plus eliminate a very, what could be a substantial hazard going up and down the stairs in the wintertime with ice and snow on the stairway.

In addition to that, we're of course going to get rid of that existing wooden structure that covers the back of the house which is now really a blight on the neighborhood. So, the third element of the petition is that it's really going to enhance not

only the property but also the character of the neighborhood from Chestnut Avenue.

That's basically a summary of why we want this variance. Are there any questions on that portion of our request?

CHAIRMAN DIVITO: Now, you're stealing my thunder. Any questions from the Board as far as the hardship goes? I know it's difficult to hear.

MR. SIAVELIS: No, it's pretty clear-cut there.

CHAIRMAN DIVITO: Okay.

MR. KOSTAK: All right. The second part of our request is the existing rear yard. The current code calls for a 30-foot minimum rear yard in the property. The way it exists now, the third car space in that rear yard projects into the existing rear yard. So, we're asking for a variance, well, a setback of 18.3 feet, so a variance of roughly 12 or 13 feet to permit continued use of that existing third car space on that garage. Again, that goes back to economic value that we have. The property owner purchased a three-car garage with the house, so it's pretty much relevant that we maintain that three-car garage. In so doing, since it's now a nonconforming use of the required yard, they've made a variance for some other method to permit that nonconforming use to exist.

CHAIRMAN DIVITO: For clarification, the garage as it stands today, is already an existing three-car garage?

MR. KOSTAK: Yes.

CHAIRMAN DIVITO: The photo only shows the two-car bay.

MR. KOSTAK: Okay, the original two-car garage --

CHAIRMAN DIVITO: They're still snowplowing.

MR. SIAVELIS: They've pushed all the snow away, there's no snow remaining.

MR. KOSTAK: That's okay, I can yell if I have to. The existing two-car garage was built with the house. It's eight-inch brick wall construction, same as the house, which is not used anymore in residence construction. The third car space was added on, it's framed construction with vinyl siding. It's probably, what, 13 feet wide thereabouts, Tom?

MR. GLUNZ: I think so.

MR. KOSTAK: It was built who knows when. It's kind of coincidental, when I laid it out on the plat of survey, the 30-foot required rear yard line now comes almost exactly on the exterior wall of the existing garage which would be, I mean if you insisted on getting rid of the structure, the existing two-car garage structure could remain. It would not be in the rear yard, but that addition that was put on to it, the third space, could be lopped off and we'd stay within the requirement for the 30-foot required yard, which I thought has got to be a coincidence because it's kind of a strange situation, as if they built it originally 30 feet from the property line, as if there may have been a 30-foot requirement. But at some point over time, that addition was put on and it encroached on that rear yard, who knows why, you know. We're not going to research it back that far.

MR. SIAVELIS: But that's not accessible from the driveway, right? Because it looks like the driveway is not wide enough to get to that third part, right? That's storage only?

MR. GLUNZ: There was, before when I moved in, there was a tree in front of that garage, so it clearly wasn't a garage. But it had a one-car door on it. The trees,

some of the trees were up so high it was causing flooding on both garages, the two-car and the one-car. So, I had the tree in front, to the side, and behind removed, and the stump taken out and the property graded a little lower surrounding it so it would stop the flooding situation with the two garages. Just recently, there's a, I don't have the permit with me but, recently, I had the concrete driveway extended to cover that one-car garage.

MR. SIAVELIS: All right. It's not shown on the photo, but okay.

MR. GLUNZ: I have a picture on my photo if that's relevant.

MR. SIAVELIS: That's okay. We don't need to go there, it's okay.

CHAIRMAN DIVITO: How long have you been in the property?

MR. GLUNZ: Since July 15th.

CHAIRMAN DIVITO: Of this year?

MR. GLUNZ: Yes.

CHAIRMAN DIVITO: How many live in the house?

MR. GLUNZ: Just me right now.

CHAIRMAN DIVITO: Did you talk to your neighbors regarding this?

MR. GLUNZ: A couple of them. I kind of explained what I was doing.

Mainly I explained more with the situation with the trees. I know that people don't, I like trees but they were causing kind of a problem around the property. So, I was explaining what was going on to at least my closest neighbors.

CHAIRMAN DIVITO: Any other questions from the Board? No, okay. So, I'll ask if there's anybody else, unless there's any other presentation that you wanted to make?

MR. KOSTAK: No, we're done now, unless we have some more questions. We'd be glad to answer them.

CHAIRMAN DIVITO: Okay. Let's see if anybody from the audience wants to step up. Is there anybody from the audience that wishes to actually speak on behalf of this petition? None being heard, I will close it down to Board discussion. Thanks.

MR. KOSTAK: Thank you.

MR. SIAVELIS: Pretty reasonable I think carrying on with this. He's not asking for a lot, you know. He's got the orientation of the house on this lot that's a little bit tricky to deal with, older home, right. The front of the house adjoins or abuts Palatine Road. So, there's obviously limitations here as far as what you want to do.

CHAIRMAN DIVITO: And existing nonconforming.

MR. SIAVELIS: Existing nonconforming, right.

CHAIRMAN DIVITO: Corner lot with the side yard as the backyard.

MR. SIAVELIS: Right, and abutting Palatine Road. So, I see this as reasonable. I think you've got the hardships established and I'd support it.

MR. GEISEL: Agreed.

CHAIRMAN DIVITO: Okay. With that being said, is there a motion?

MR. SIAVELIS: I'll move.

MR. GEISEL: Second.

CHAIRMAN DIVITO: Okay, Derek?

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Geisel.

MR. GEISEL: Yes.

MR. MACH: Mr. Jaffe.

MR. JAFFE: Yes.

MR. MACH: Mr. Schwingbeck.

MR. SCHWINGBECK: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Chairman Divito.

CHAIRMAN DIVITO: Yes. You're approved, so you do not need to stick around for the rest of this. Thank you.

MR. GLUNZ: Thank you.

MR. KOSTAK: Thank you.

(Whereupon, the above-mentioned petition was adjourned at 7:16 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS December 11, 2017

PETITIONER: Glunz Residence
ADDRESS OF PROPERTY: 1902 N. Chestnut Ave.
VARIATION: 5.1-2.7

A 25.0 foot variation to allow an Exterior Side Yard setback of 15.0 feet where 40.0 feet is required, and a 11.7 foot variation to allow a Rear Yard setback of 18.3 feet where 30.0 feet is required.

The petitioner explained that they are proposing to construct an addition to their home which will connect the existing residence to an existing detached garage. The petitioner testified that the addition would result in a home which has an exterior side yard setback of 15 feet where 40 feet is required, and a rear yard setback of 18.3 feet where 30 is required. The petitioner explained that part of the reason for the nonconformance is that this house, was built around 1927. The petitioner testified that the attached garage is safer since the open air staircase is constructed of wood and is slippery in the elements.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Siavelis and seconded by Mr. Geisel. Thereafter, the Board voted 7-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 7-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 1406 W. Maude Ave. - 12/11/17

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
1406 W. Maude Ave. - Minutes 12/11/17	Minutes
1406 W. Maude Ave. - Findings 12/11/17	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 1406 WEST MAUDE AVENUE - ZBA #17-057

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Beuchner Room,
Arlington Heights, Illinois on the 11th day of December 2017, at the hour of
7:16 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Chairman
TOM DRAKE
TOM SCHWINGBECK
JOSEPH GEISEL
JOSEPH SELBKA
BENJAMIN JAFFE
PETER SIABELIS

ALSO PRESENT:

DEREK MACH, Development Planner

CHAIRMAN DIVITO: The next item is 1406 West Maude. Good evening.

MR. CORBETT: Good evening.

CHAIRMAN DIVITO: Have you had a chance to sign in?

MR. CORBETT: Yes.

MR. SMITH: Yes, we did.

CHAIRMAN DIVITO: Excellent. So, name and address for the record?

MR. SMITH: Scott Corbett, 1406 West Maude Avenue., and I'm the architect. Do you need my address, too?

CHAIRMAN DIVITO: Yes.

MR. SMITH: Bob Smith, 3 Robb Road, Mount Prospect.

CHAIRMAN DIVITO: You're Bob Smith?

MR. CORBETT: I'm the owner, Bob is the architect.

CHAIRMAN DIVITO: Got it, all right. Raise your right hand.

(Witnesses sworn.)

CHAIRMAN DIVITO: Thank you.

MR. SMITH: Gentlemen, we're here to request a two-foot variance, putting an addition on an existing house, a garage addition along with a covered porch addition. After completing the front yard setback calculations, we're two feet short of the required eight-foot porch. Cutting the porch back to six-foot really isn't a real useful porch, and it would be a substantial amount of money just to get something that isn't going to work for the owner. Also, in this case, it's an existing house so we really had no choice, couldn't move the house, so that's what we're asking for, the two-foot variance on the covered porch.

It's designed so it fits right in with the existing as we'd like to do so it doesn't look like an addition. Right now, with the exception of the two houses on either side, it ties in with the local character of the community. They're all large lots, it's an R-E zoning district. Apparently, it was when it was initially annexed into Arlington Heights. Without that, it would be, like I say, it would be really an unusable porch for a family to be out in front. There's plenty of trees like you could see there, well, I could see here.

So, that's our request, it's for the additional two feet so we can complete the front of the building.

CHAIRMAN DIVITO: How long have you been in the property?

MR. CORBETT: About six years.

CHAIRMAN DIVITO: How many live in it?

MR. CORBETT: How many people?

CHAIRMAN DIVITO: How many of you live in it?

MR. CORBETT: Four of us.

MR. JAFFE: Any feedback or reaction from your neighbors?

MR. CORBETT: So, there's a new construction just west of us, there's a big home there, so I did talk to them. But the guy across the street, the guy down the street, they thought it will be nice.

MR. JAFFE: Thank you.

CHAIRMAN DIVITO: Okay, any other questions? All right, let's see if

anybody who's in the audience, anyone from the audience that wishes to come present on this one? None being heard, we'll close it down for Board discussion.

MR. CORBETT: Thanks.

MR. SMITH: Thank you.

MR. GEISEL: To their point, anything less than eight is clearly unusable, so I don't think this is an unreasonable request.

MR. SIAVELIS: Yes, and it's not like the porch is going to be jammed up right out because the front is 38 feet still from the front lot line. That's a pretty significant distance.

MR. GEISEL: Yes.

CHAIRMAN DIVITO: All right, agreed. Is there a motion?

MR. SELBKA: Motion to approve.

MR. JAFFE: Seconded.

CHAIRMAN DIVITO: Derek?

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Geisel.

MR. GEISEL: Yes.

MR. MACH: Mr. Jaffe.

MR. JAFFE: Yes.

MR. MACH: Mr. Schwingbeck.

MR. SCHWINGBECK: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Chairman Divito.

CHAIRMAN DIVITO: Yes. All right, you're approved, thank you.

(Whereupon, the above-mentioned petition was adjourned at 7:21 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS December 11, 2017

PETITIONER: Corbett Residence
ADDRESS OF PROPERTY: 1406 W. Maude Ave.
VARIATION: 5.1-0.06, 5.4

A 2.0 foot variance from Chapter 28, Section 5.1-0.06 (Required Minimum Yards) & Section 5.4 (Table of Required Minimum Yards) to allow a new front porch with a front yard setback of 38.1 feet from the south property line instead of the minimum 40.1 feet and an additional 1.0 foot for the eave.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they are proposing to construct an addition to the existing home along with a new covered front porch. The petitioner explained that the proposed porch is encroaching into the required front yard setback. The petitioner testified that they are working with the setback of the existing home. The petitioner commented that the proposed porch fits in with the character of the neighborhood.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Selbka and seconded by Mr. Jaffe. Thereafter, the Board voted 7-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 7-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 2529 N. Raleigh St. - 12/11/17

Department: Planning & Community Development

ATTACHMENTS:

Description	Type
2529 N. Raleigh St. - Minutes 12/11/17	Minutes
2529 N. Raleigh St. - Findings 12/11/17	Minutes

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 2529 NORTH RALEIGH STREET - ZBA #17-058

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor Beuchner Room,
Arlington Heights, Illinois on the 11th day of December 2017, at the hour of
7:21 p.m.

MEMBERS PRESENT:

DAVID DIVITO, Chairman
TOM DRAKE
TOM SCHWINGBECK
JOSEPH GEISEL
JOSEPH SELBKA
BENJAMIN JAFFE
PETER SIAVELIS

ALSO PRESENT:

DEREK MACH, Development Planner

CHAIRMAN DIVITO: Bringing us home is 2529 North Raleigh.

MR. GINNODO: We're signing in.

MR. LEE: Sorry.

CHAIRMAN DIVITO: No worries. Name and address?

MR. LEE: Jhun Lee, 2529 North Raleigh Street.

MS. HOLMES: Carissa Lee Holmes, 2529 North Raleigh Street.

MR. GINNODO: Keith Ginnodo, Kingsley & Ginnodo Architects, 33 North Hickory, Arlington Heights.

CHAIRMAN DIVITO: We'll get all three of you at the same time.

(Witnesses sworn.)

CHAIRMAN DIVITO: Thank you.

MR. GINNODO: Jhun and Carissa have been in the house for 11 years, have three children, and you know, could move but came to us and said, well, what's it like if we, you know, add on, we've got to do these couple of things, and work through the process of the design to kind of find the right fit between the program that they were asking for and the cost that was allotted to spend on it. We ended up with a plan that you have in front of you now, and it turned out that it was, at the time, you know, the bids were coming back too much. So, they rested for a little while and we're back now.

We have never made a presentation to the Zoning Board of Appeals for this project. But in the resubmittal of the package, we discovered that the way we had it designed actually required a variation for the area above the garage. So, that's why we're here.

The difficulty is that if you look at the site, there's about six-foot four inches left of backyard. I mean the lot is 73 feet wide, so it does conform with the minimum lot requirements. The minimum lot square footage is 8,750, we're 8,754. So, what that tells you is that, you know, we're barely on the threshold of a right size lot for an R-3 for new construction.

The house was built originally back farther on the lot because it's, I mean all up and down the street, the lots are kind of odd shaped. The streets are kind of winding around like that. They have a nice park in the backyard but not much space for building. Like I said, only six feet four inches.

So, in order to kind of get everything that we're trying to get, we said, okay, let's build over the existing footprint including the garage. So, what we tried to do is build it to, you know, fit the size that was needed, give them the space that was required in the most structurally economical way rather than add on and really shuffle the inside as well as the outside space. So, that's where we ended up. You know, not building over the garage would really be way more expensive to do. We could probably figure out how to get the square footage, but it would just cost more, would put the project in a situation where it just wasn't worth doing.

You know, I mentioned earlier that the lots are strangely shaped. We said small on here but they're not particularly small. We're barely over the threshold for minimum lot size for an R-3. But it's just that they're all odd shaped and we're kind of wedged with this really shallow backyard situation where we can't go any farther back.

So, in the area, there's been some remodelings and additions, and we're not putting anything about the size, shape or configuration or look of the place that would make it inconsistent with the locality. In fact, we've submitted for Administrative Design Commission approval. It's going to be, pending this thing here, we've gotten a nod that it's going to be acceptable for an Administrative Design Commission review.

MR. SELBKA: I noticed you got a signature from the neighbors. Is that all the neighbors close by?

MS. HOLMES: On either side and in front, yes.

MR. LEE: Yes, a few are here to support us.

MR. GINNODO: We're having a block party over here.

MR. SIAVELIS: By my count there's nine in there, give or take. Some people signed twice I guess because of their addresses I guess. But did you encounter any resistance or opposition?

MR. LEE: No.

MR. SIAVELIS: Just to be clear, you basically need 139 square feet, right?

MR. GINNODO: Right.

MR. SIAVELIS: It looks like the way you have it drawn is like the dormered area is above the garage?

MR. GINNODO: Yes.

MR. SIAVELIS: Right, and you're not doing those dormered areas all the way forward and leaving out of the garage?

MR. GINNODO: Correct. We tried to design it to keep it, you know, less in your face, so to speak, conspicuous.

CHAIRMAN DIVITO: Any other questions? All right. I'll ask if anybody wants to actually come up and speak. Come on up. This is when the alliances are tested here. Name and address for the record please.

MR. BEVER: Shannon Bever, 1610 West Waverly Court.

(Witness sworn.)

MR. BEVER: I live across the street from the Lees, currently remodeling my home. I've talked to them about it, I've looked at their plans, and I'm definitely in favor. I think the way it's designed right now is preferable to the alternatives just aesthetically. I would much rather look at the current design than the alternatives. Thank you.

CHAIRMAN DIVITO: Thank you. All right, if no one else wants to come up, we can close it down for Board discussion. So, thank you.

MR. GINNODO: Thank you.

MR. SELBKA: I think it's a nice design. It's a minimal request for a variance and it would add to the property and to the area. So, I'd be in favor of this.

MR. SIAVELIS: I concur, agreed.

MR. GEISEL: Particularly since they're trying to use the existing footprint.

CHAIRMAN DIVITO: Absolutely.

MR. SIAVELIS: It's restrained as well. The extent of the variance sought is pretty restrained.

CHAIRMAN DIVITO: Yes, absolutely. Is there a motion?

MR. SCHWINGBECK: Yes, a motion to approve.

MR. GEISEL: Second.

CHAIRMAN DIVITO: Derek?

MR. MACH: Mr. Drake.

MR. DRAKE: Yes.

MR. MACH: Mr. Geisel.

MR. GEISEL: Yes.

MR. MACH: Mr. Jaffe.

MR. JAFFE: Yes.

MR. MACH: Mr. Schwingbeck.

MR. SCHWINGBECK: Yes.

MR. MACH: Mr. Selbka.

MR. SELBKA: Yes.

MR. MACH: Mr. Siavelis.

MR. SIAVELIS: Yes.

MR. MACH: Chairman Divito.

CHAIRMAN DIVITO: Yes. You're approved, congrats.

MR. GINNODO: Thank you.

MR. LEE: Thank you.

CHAIRMAN DIVITO: All right. Derek, last week, or last month, did you actually present those different things that were going to be voted on? Do we need to do anything on that? Any action that we need to take on it?

MR. MACH: No action is necessary. It's anticipated that it's going to go to Plan Commission in January and then Village Board will follow up regarding code amendments. There was a memo shared with the Zoning Board regarding some changes that Staff is proposing to Chapter 28.

CHAIRMAN DIVITO: Right. All right, so is there a motion to adjourn?

MR. SELBKA: Motion.

MR. DRAKE: Second.

CHAIRMAN DIVITO: All in favor?

(Chorus of ayes.)

CHAIRMAN DIVITO: Opposed?

(No response.)

CHAIRMAN DIVITO: Thank you, guys.

(Whereupon, the above-mentioned petition was adjourned at 7:29 p.m.)

ZONING BOARD OF APPEALS VILLAGE OF ARLINGTON HEIGHTS

FINDINGS December 11, 2017

PETITIONER: Homes/Lee Residence

ADDRESS OF PROPERTY: 2529 N. Raleigh St.

VARIATION: 5.1-3.7

A 139 square foot variation from Chapter 28, Section 5.1-3.7 (Maximum Floor Area Ratio) to allow a Floor Area of 4,081 square feet where 3,942 square feet is allowed.

The petitioner testified as to hardship, uniqueness of circumstances, and the character of the locality. The petitioner explained that they are proposing a second story addition and that they are not expanding the footprint of the home. The petitioner explained that the second story addition is above the existing attached garage.

Based upon the foregoing as well as other evidence submitted, the Zoning Board of Appeals finds that the petitioner has established the necessary elements for the granting of a variance, namely; that the petitioners would sustain a hardship if the variance were not granted; that the situation of the petitioners is unique; and, that the granting of a variance would not alter the essential character of the neighborhood. Proof of ownership and compliance with the Notification Provisions of the Ordinance were presented.

Thereafter, a motion was made by Mr. Schwingbeck and seconded by Mr. Geisel. Thereafter, the Board voted 7-0 to approve the variance request.

Now, therefore, after hearing all the evidence and after due deliberation, the Zoning Board of Appeals, voted 7-0 to grant the variance as requested.

The granting of a variance for this property shall not be construed as an approval to construct or encroach upon any easement areas unless written consent has been granted by each utility company and a copy of each letter is on file with the petition for this variation, nor be construed as a waiver of any requirements of the building code or other applicable ordinances of the Village.

It is expressly noted that no order of this Board permitting the aforesaid variance shall be valid for a period longer than one (1) year unless such construction is started and proceeds to completion within the terms of such permit.

David Divito, Chairman
Zoning Board of Appeals
Village of Arlington Heights



Item: 1176 N. Beverly Ln. - ZBA#17-059

Department: Planning & Community Development

REQUEST

A 1.9 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) to allow a home with a side yard setback of 3.1 feet from the east property line instead of the required 5 feet and an additional 2.0 feet for the eaves.

ATTACHMENTS:

Description	Type
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: January 8, 2018
Date Prepared: January 2, 2018
Project Title: 1176 N. Beverly Ln. Residence
Address: 1176 N. Bevelry Ln.

Background Information

Petition Number: ZBA #17-059
Petitioner: Jim Cochran / JKJ Properties
Address: 1176 N. Beverly Ln.
Arlington Heights IL 60004
Existing Zoning: R-3, Single-Family Residential District

Requested Action/Background Information

The petitioner is proposing an addition to the front of an existing single-story house as well as a new full second floor. An existing two-car detached garage will be replaced with a new two-car detached garage. The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 6,500 square feet and the proposed residence with the addition will be 2,695 square feet. The petitioner requests the following variation:

- **A 1.9 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) to allow a home with a side yard setback of 3.1 feet from the east property line instead of the required 5 feet and an additional 2.0 feet for the eaves.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	12/15/17	
2. List of Property Owners Within 250 feet of Subject Property	✓	12/15/17	
3. Letter that was Mailed	✓	12/15/17	
4. Photographs of Sign on Property	✓	12/15/17	

Photographs of Existing Structure



ZBA# 17-059

1176 N Beverly Ln - ZBA

Rev. Eng: Nanci Julius, P.E.

cc: James J. Massarelli, P.E. Director of Engineering

Submitted: December 15, 2017

Completed: December 19, 2017

The proposed ZBA application indicates that the petitioner is seeking:

A 1.9 ft variance to allow a home with a side yard setback of 3.1 ft from the east property line instead of the required 5 ft and an additional 2 ft for the eave; and a 1.5 ft variance to allow an increase to the building height from 25 ft to 26.5 ft.

NOTE: The plans are for a second story addition/remodel and the setback is existing. The existing home also does not have any eaves on the east side.

The Engineering Department has **NO OBJECTION** to the proposed setback variance for the structure, however; due to the 2' eaves, there will need to be gutters to prevent excess storm water runoff from negatively impacting the neighbor's driveway/property. The Engineering Department has **NO COMMENT** on the building height.

RECEIVED

DEC 20 2017

**PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT**



**Village of Arlington Heights
Building & Life Safety Department**

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Plan Reviewer, Building & Life Safety Department

Project Name: JKJ Properties

Project Address: 1176 N Beverly Lane

ZBA #: 17-059

Date: December 18, 2017

RECEIVED
DEC 19 2017
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

Derek:

I have reviewed the request for the following variances:

- to allow a side yard setback of 3.1 feet from the north property line where a minimum of 5.0 feet is required, and an additional 2 feet for the eave;
- to allow a midpoint building height of 26.5 where a maximum of 25 feet is required;

and, have no objections to the variances with the following comments and required changes:

1. The second floor addition on the east property line with a distance of less than 5 feet to the lot line shall have a minimum fire-resistance rating of 1-hour with exposure from both the interior and exterior of the wall.
2. The soffit and fascia of the same wall section are not permitted to be less than 2 feet to the lot line, and is required to have a minimum fire-resistance rating of 1-hour.
3. Openings on the east wall are limited to 25% of the maximum wall area.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: JKJ Properties

Project Address: 1176 N. Beverly Lane

ZBA #: 17-059

ZBA Hearing Date: January 8th, 2018

To: Jim Massarelli, Director of Engineering
Steven Touloumis, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: December 15th, 2017

- A 1.9 foot variance from Chapter 28, Section 5.1-3.6 (Required Minimum Yards) to allow a home with a side yard setback of 3.1 feet from the east property line instead of the required 5 feet and an additional 2.0 feet for the eaves.
- A 1.5 foot variance from Chapter 28, Section 5.1-3.9 to allow an increase to the building height (midpoint) from 25.0 feet to 26.5 feet.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THIS PROJECT RECEIVED DESIGN COMMISSION APPROVAL ON DEC. 12, 2017, WITH A REQUIREMENT TO REDUCE THE POOF HEIGHT TO ELIMINATE THE BUILDING HEIGHT VARIATION.

Please review, comment, and return to me no later than Thursday, December 28th, 2017.

STEVE HAUZINGER, DESIGN PLANNER

PETITION

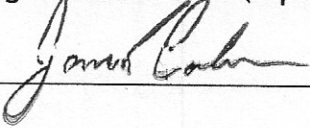
NOW COMES the Petitioners JKJ Properties, being the owners of the property commonly known as: 1176 N. Beverly., and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.6, CHAPTER 28, of the Arlington Heights Municipal Code, In order to: ALLOW A REDUCTION IN THE SIDEYARD (EAST) SETBACK FROM 5.0' TO 3.13'.

I hereby state that the following hardship would exist if the variation were not granted: Limits expansion of existing home at the first floor and second, which sits within the 5.0' East property line setback and expansion on the West is not possible, as this is the existing driveway.

I hereby state that the following unique circumstances exist:

- 1) Existing home sits within the 5.0' side yard setback on the East, at 3.13" from lot line.
- 2) Limited square footage of existing home
- 3) Older home with outdated space/finishes

I hereby state that the variation, if granted, will not alter the essential character of the locality because: the existing East side is adjacent to the neighbors driveway, so does not inhibit or crowd the neighbors home, as well as it is in keeping with the size (sq.ft.) of the neighborhoods homes.

Signed:  Date: 11/16/17

JKJ Properties

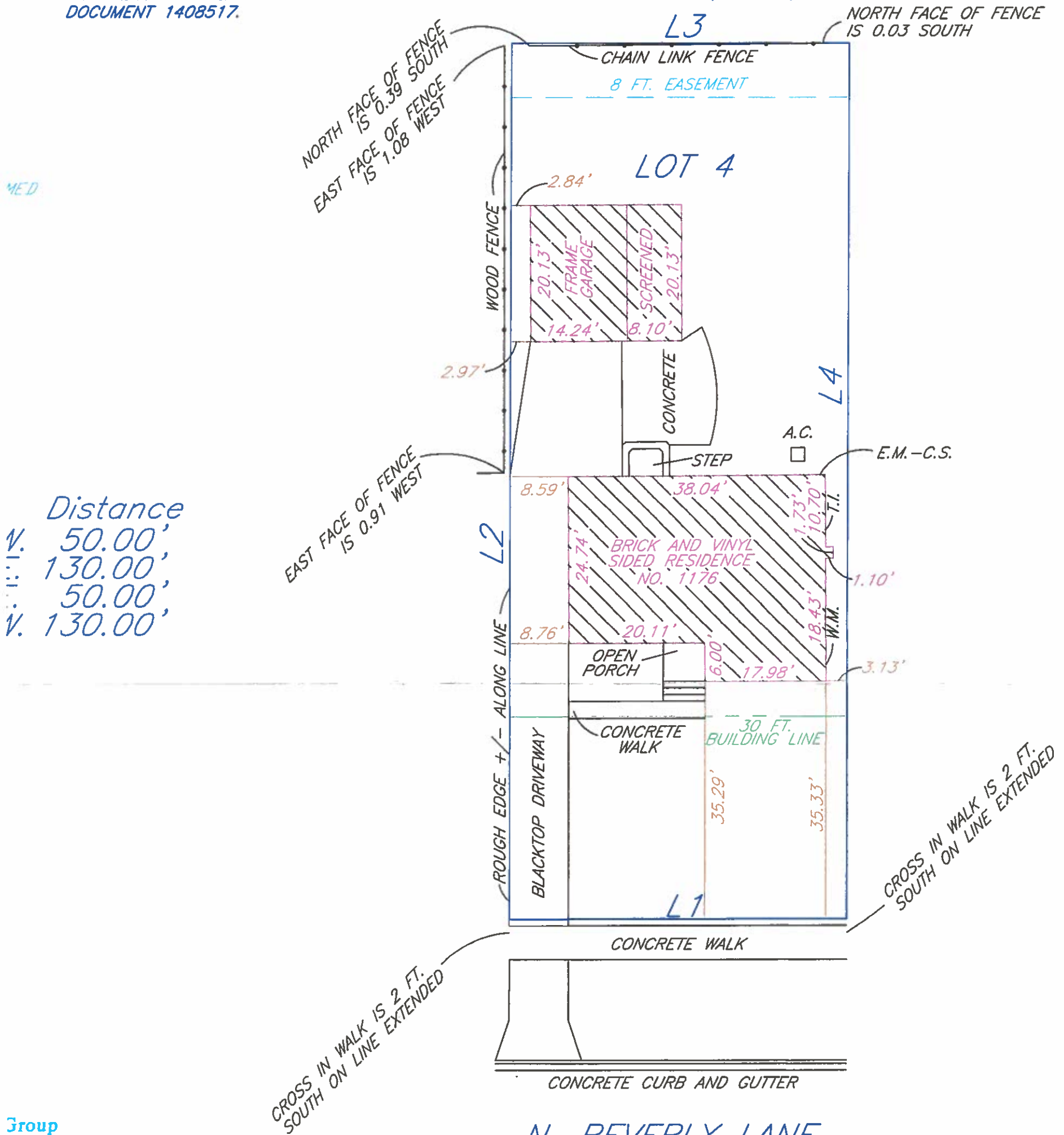
PLAT OF SURVEY
by
Michael J. Emmert Surveys, Inc.
of

Property located at: 1176 N. BEVERLY LANE

Legally described as:

LOT 4 IN BLOCK 2 IN ARLINGTON GREENS, BEING A SUBDIVISION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS, AS DOCUMENT 1408517.

RECEIVED
NOV 16 2017
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT



Group

ic., does hereby certify that we have surveyed the above
he plat hereon drawn. The legal description shown hereon is
d or title policy for building setbacks, easements or other
ensions not noted hereon shall not be assumed by scaling or
fore building and report any discrepancies. This professional
Illinois Minimum Standards for a Boundary Survey.

7

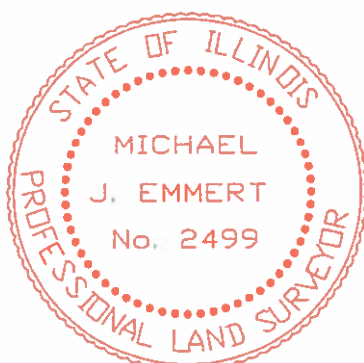
,

President

or No. 2499

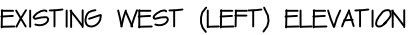
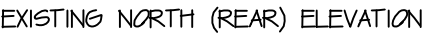
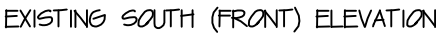
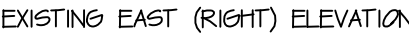
2018

urveyor Corporation No. 184.004811



	1/8	1/4	3/8	1/2	5/8	3/4	7/8	
0 AND	.01	.02	.03	.04	.05	.06	.07	.08 = 1 INCH
1 AND	.09	.10	.11	.125	.14	.15	.16	.17 = 2 INCHES
2 AND	.18	.19	.20	.21	.22	.23	.24	.25 = 3 INCHES
3 AND	.26	.27	.28	.29	.30	.31	.32	.33 = 4 INCHES
4 AND	.34	.35	.36	.375	.39	.40	.41	.42 = 5 INCHES
5 AND	.43	.44	.45	.46	.47	.48	.49	.50 = 6 INCHES
6 AND	.51	.52	.53	.54	.55	.56	.57	.58 = 7 INCHES
7 AND	.59	.60	.61	.625	.64	.65	.66	.67 = 8 INCHES
8 AND	.68	.69	.70	.71	.72	.73	.74	.75 = 9 INCHES
9 AND	.76	.77	.78	.79	.80	.81	.82	.83 = 10 INCHES
10 AND	.84	.85	.86	.875	.89	.90	.91	.92 = 11 INCHES
11 AND	.93	.94	.95	.96	.97	.98	.99	1.0 = 1 FOOT

mike@mjesurveys.com
Michael J. Emmert Surveys, Inc
185 East Vallette Street
Elmhurst, Illinois 60126
Office 630-516-0383
Fax 630-516-0387



1/8" = 1'-0"



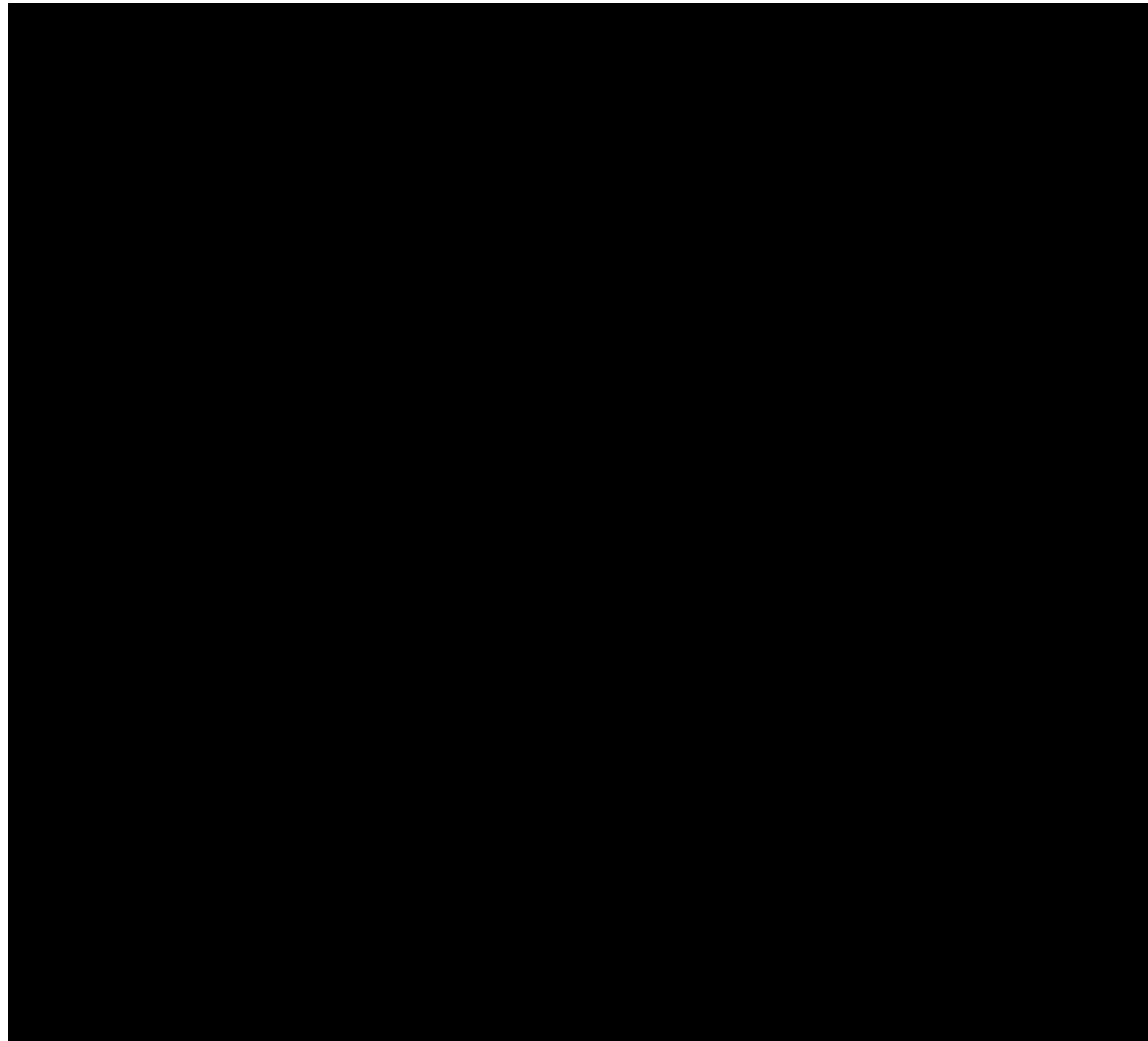
1'-20'-0"



SHT. MTL. FLASHING @
ALL ROOF/WALL
INTERSECTIONS

NEW ROOF SHINGLES 'C' RATING & (1) LAYER
ICE & WATER SHIELD @ EAVES
2' BEYOND INTERIOR WALL _____

A diagram of an atom. It consists of a central circle representing the nucleus, divided horizontally. The top half contains the number '2', and the bottom half contains the letter 'A' followed by a vertical bar '|'. Surrounding the nucleus are 11 small circles, each containing a minus sign (-), representing electrons. There are 2 electrons in the innermost shell and 9 electrons in the outer shell.

$$1/8'' = 1'-0''$$


GENERAL CONTRACTOR
1275 E. Davis
Arlington Heights, IL 60005
T: 847.255.2322
email: jimjrcdb@gmail.com



03.20.17



ARCHITECT
847-489-1703
e mail: cwisdesign@gmail.com

922 Monroe Avenue
Wauconda, Illinois 60084
T: 847.489.1703
email: cwisdesign@gmail.com
DESIGN REG #184.007566-001

SECOND FLOOR ADDITION &
KITCHEN/FIRST FLOOR REMODELING:

JKJ PROPERTIES

1176 N. BEVERLY
ARLINGTON HEIGHTS, ILLINOIS

NO.	DATE	DESCRIPTION
1	11.16.17	DESIGN COMM
2	11.16.17	ZBA

© 2017 CW Design Group, Inc.

PROJECT NUMBER
17016.00

DEMO PLAN
FOUNDATION

A1



03.20.17



922 Monroe Avenue
Wauconda, Illinois 60084
T: 847.489.1703
email: cwdesign@gmail.com
DESIGN REG #184.007566-001

SECOND FLOOR ADDITION &
KITCHEN/FIRST FLOOR REMODELING:

JKJ PROPERTIES
1176 N. BEVERLY
ARLINGTON HEIGHTS, ILLINOIS

NO.	DATE	DESCRIPTION
1	11.16.17	DESIGN COMM
2	11.16.17	ZBA

© 2017 CW Design Group, Inc

PROJECT NUMBER
17016.00

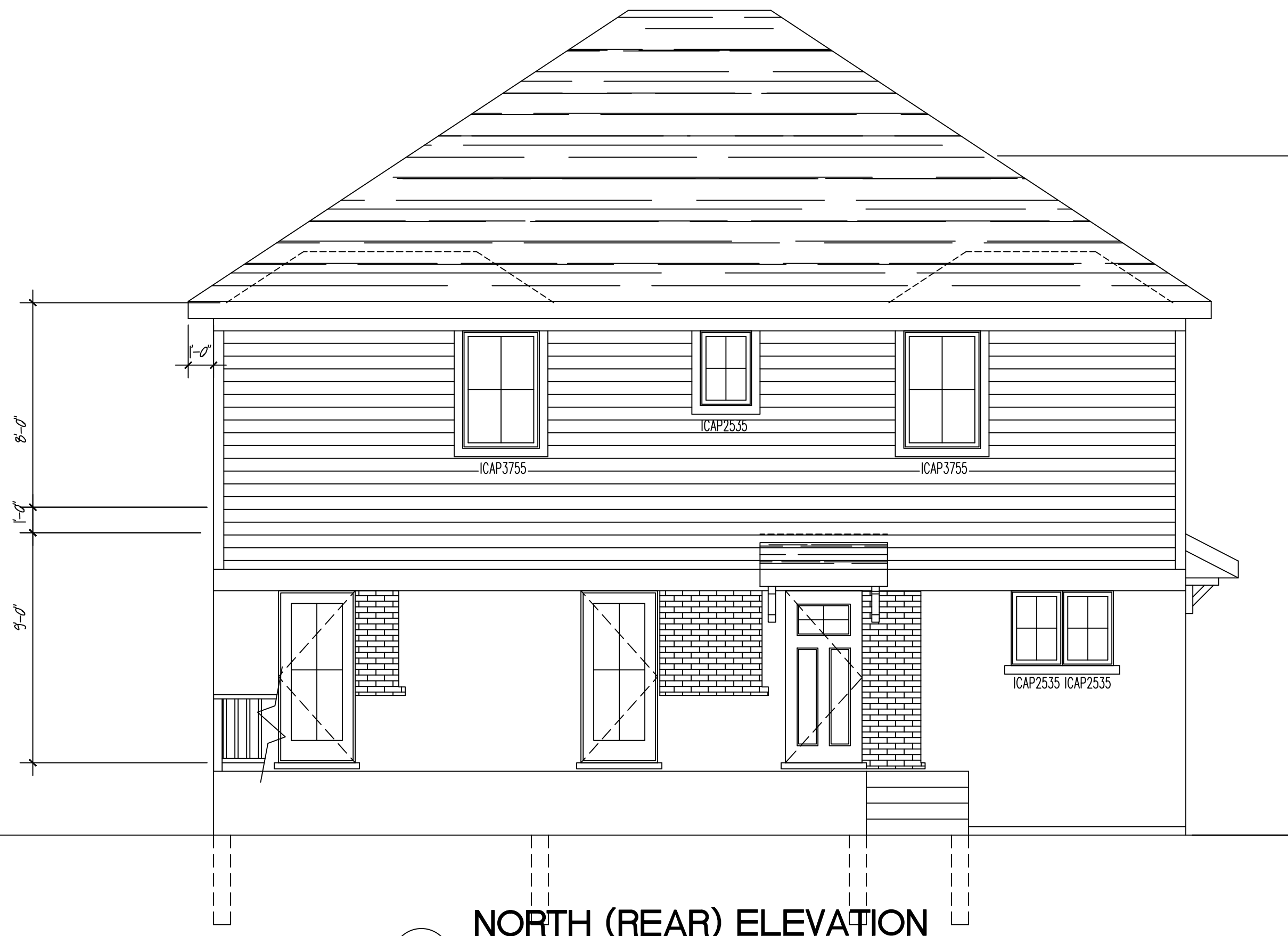
EXTERIOR
ELEVATIONS
A3



EAST (RIGHT) ELEVATION

4
A3

1/4" = 1'-0"



NORTH (REAR) ELEVATION

3
A3

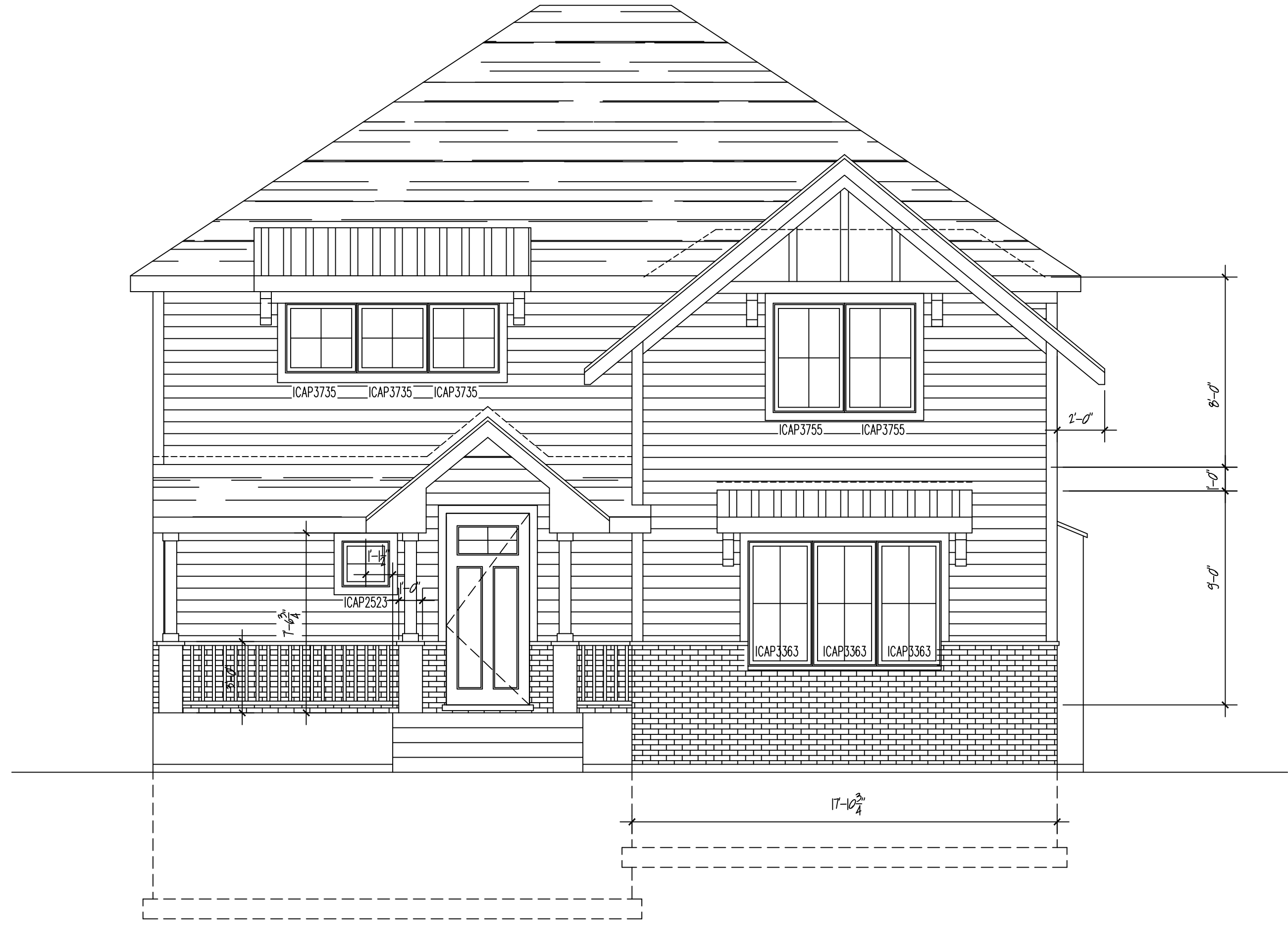
1/4" = 1'-0"



WEST (LEFT) ELEVATION

2
A3

1/4" = 1'-0"



SOUTH (FRONT) ELEVATION

1
A3

1/4" = 1'-0"



Item: 2914 N. Mitchell Ave. - ZBA#17-060

Department: Planning & Community Development

REQUEST

A 6.6 foot variation from Chapter 28, Section 5.1-3.6 (Minimum Required Yards) to allow an addition with a rear yard setback of 23.4 feet where 30.0 feet is required and an additional 1.0 foot for the eave.

ATTACHMENTS:

Description	Type
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: January 8, 2018
Date Prepared: January 2, 2018
Project Title: Burke Residence
Address: 2914 N. Mitchell Ave.

Background Information

Petition Number: ZBA #17-060
Petitioner: Paul Rogner / Par Craft Ltd.
Address: 825 E. Rand Rd. #230
Arlington Heights IL 60004
Existing Zoning: R-3, Single-Family Residential District

Requested Action/Background Information

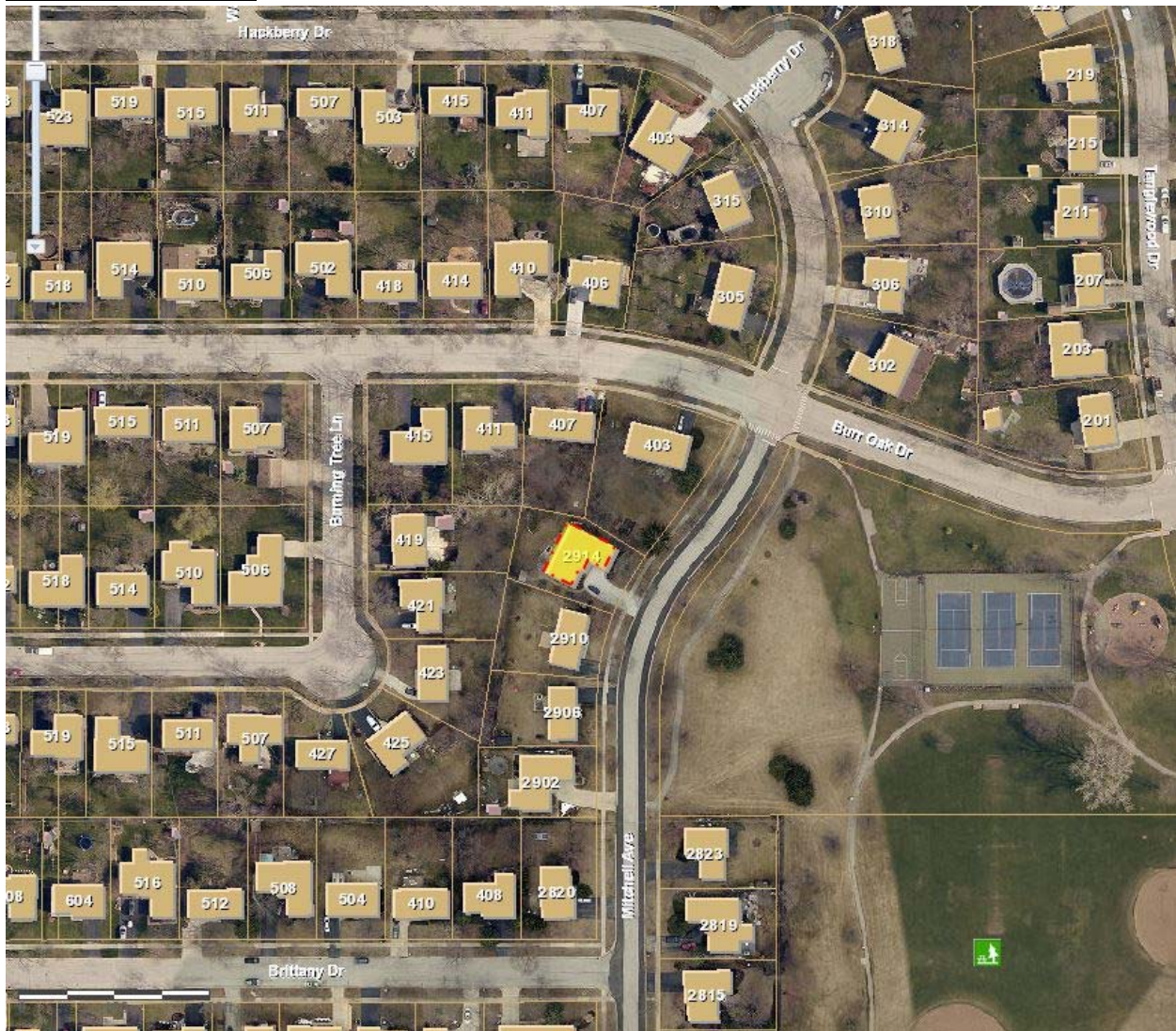
The subject site is an irregularly- shaped lot, zoned R-3, One Family Dwelling District. The petitioner proposes adding a 1 story sunroom to the rear of their home. This is an addition that has been planned since 2009, when the foundation for the future sunroom was poured in conjunction with another project in order to save money. Building the sunroom on the existing foundation, in the necessary location, results in a sunroom that has a rear yard setback of 23.4 feet where 30 feet is required. Therefore, the petitioner requests the following variation:

- **A 6.6 foot variation from Chapter 28, Section 5.1-3.6 (Minimum Required Yards) to allow an addition with a rear yard setback of 23.4 feet where 30.0 feet is required and an additional 1.0 foot for the eave.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	12/20/17	
2. List of Property Owners Within 250 feet of Subject Property	✓	12/20/17	
3. Letter that was Mailed	✓	12/20/17	
4. Photographs of Sign on Property	✓	12/20/17	

Photographs of Existing Structure



ZBA# 17-060
2914 N Mitchell Ave- ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering

Submitted: December 15, 2017
Completed: December 19, 2017

The proposed ZBA application indicates that the petitioner is seeking:

A 6 ft, 7 ½" variance to all an addition with a rear yard setback of 23 ft, 4 ½" where 30 ft is required, and an additional 1 ft for the cave.

The Engineering Department has NO OBJECTION to the proposed setback variance.

RECEIVED

DEC 20 2017

**PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT**



Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Plan Reviewer, Building & Life Safety Department

Project Name: Burke Residence

Project Address: 2914 N Mitchell Ave

ZBA #: 17-060

Date: December 18, 2017

Derek:

I have reviewed the request for the following variance:

- A 6 foot, 7 ½ inch variation to allow an addition with a rear yard setback of 23 feet, 4 ½ inches where 30 feet is required, and an additional 1 foot for the eave;

While I have no objection to the variance, the following comments need to be addressed:

1. A review of the permit for the foundation and brick patio from 2009 (09-1156) shows the foundation was for a screened porch, not a sunroom. A review of the inspections found that the foundation was properly installed and the project was completed. See attached documents.
2. This type of foundation is not allowed for a sunroom and a full footing and foundation is required by the Village.

It is my recommendation that the variance not be approved until the footing/foundation issue is resolved, or the project is changed back to the screened porch as indicated on the 2009 permit.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Burke Residence

Project Address: 2914 N. Mitchell Ave.

ZBA #: 17-060

ZBA Hearing Date: January 8th, 2018

To: Jim Massarelli, Director of Engineering
Steven Touloumis, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: December 15, 2017

- A 6 foot, 7½ inch variation from Chapter 28, Section 5.1-3.6 (Minimum Required Yards) to allow an addition with a rear yard setback of 23 feet, 4½ inches where 30 feet is required and an additional 1 foot for the eave.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THE PROPOSED ADDITION IS NICELY DESIGNED TO
FIT WITH THE EXISTING HOUSE.

- S. HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Thursday, December 28th, 2017.

PETITION

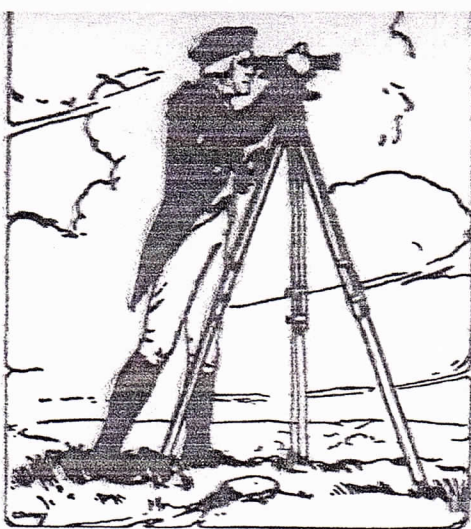
NOW COMES the Petitioner Ron and Terry Burke being the owner of the property commonly known as 2914 N. Mitchell Ave., Arlington Heights, IL and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 5.1-3.6, Chapter 28, of the Arlington Heights Municipal Code, in order to: adjust the rear yard setback from 30' to 23'4".

I hereby state that the following hardship would exist if the variation were not granted: We would not be able to build the sun room space that we have planned since 2009. The main floor spaces of the home don't have a good connection to the back yard, where we spend most of our time. This space would allow us to maintain that connection to the back yard throughout the year. Also, we started the initial planning for this project by pouring the foundation for the room in conjunction with a brick patio back in 2009. We were attempting to plan ahead and save expense down the road. The 2009 permit application reflected the addition of a foundation for a future space at that time. We had no idea that the space planned, and its footprint, was an issue for the zoning requirements of our lot.

I hereby state that the following unique circumstances exist: The main living spaces of our home are setback into our yard more than many homes in our area. As a result our backyard is not as deep as most and does not accommodate such a space as it would on many other lots. All of the homes around us have rear yards deeper than ours and could easily accommodate such a space. We did look into building the sun room on the other side of the home, where it might be easier accommodated by the setback restrictions. However, the space would not work for the layout of the home on that side since the home is a split level to the north side. The main ground floor spaces are at the south side of our home and not the north.

We hereby state that the variation, if granted, will not alter the essential character of the locality because: We have designed the space to blend in with the rest of the home. The rooflines and materials are identical to that which is already existing on the home. Also, the variance, if granted, would be on the back of the lot and not the front, thereby impacting the neighborhood overall to a lesser extent.

Signed: Ronald Burke Date: Dec 7, 2017



MURRY AND MOODY
Consulting Engineers - Land Surveyors

— Since 1958 —

933 S. Plum Grove Rd., Suite 101 Palatine, Illinois 60067

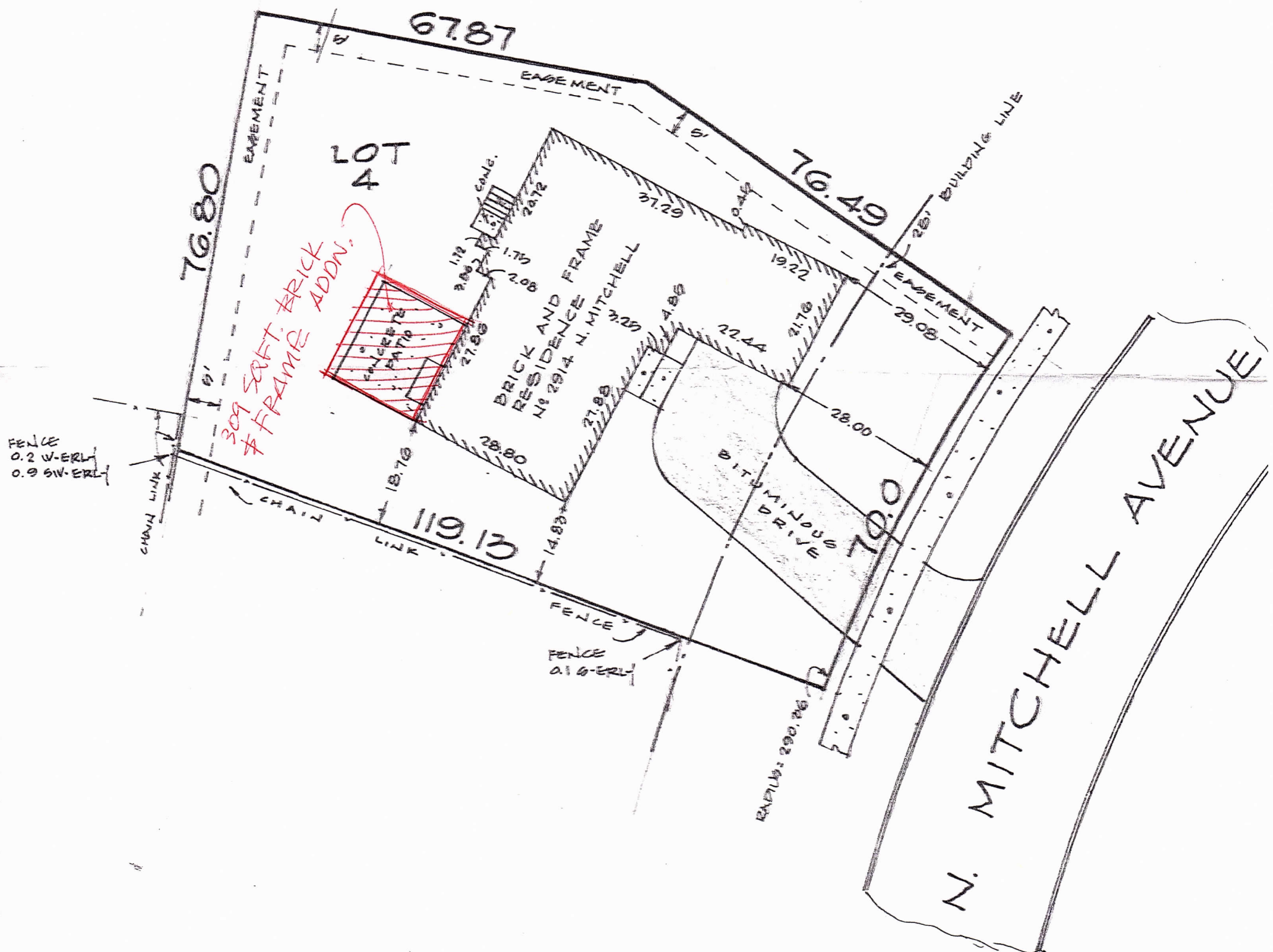
Phone: (708) 358-5960



PLAT OF SURVEY

OF

LOT 4 IN BLOCK 5 IN BERKLEY SQUARE UNIT 7 A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 7 PART OF THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 8, 1968 AS DOCUMENT 20578659 IN COOK COUNTY, ILLINOIS.



This survey has been made for mortgage purposes and shall not be used for any other purpose.

Dimensions shown thus: 50.25 are feet and decimal parts thereof.
Dimensions shown thus: 50'-3" are feet and inches.

Check legal description, building lines and easements with Title Policy or Torrens Certificate and report any discrepancies immediately.

STATE OF ILLINOIS }
COUNTY OF COOK } ss.
ROBERT MURRY
THOMAS A. MOODY

I, an Illinois Registered Land Surveyor, certify that I have surveyed the above described property and the above plat is a correct representation of said property.

Palatine, Illinois JUNE 3, 1991

Thomas A. Moody
Illinois Registered Land Surveyor

ORDER No. 91-995 35824 SURVEY MADE FOR FLORIA & BELCONIS

SCALE 1" = 2'

GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODES, ORDINANCES, REGULATIONS AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- CONTRACTORS SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPENCIES BEFORE PROCEEDING WITH WORK OR BE RESPONSIBLE FOR SAME.
- PROVIDE 2" MIN. WOOD FIRESTOPPING TO CUT OFF ALL CONCEALED DRAFT OPENINGS BETWEEN FLOORS AND ATTIC, PER IRC 2006.
- ALL COOKING AND HEATING DEVICES SHALL BE U.L. OR A.G. ASSOC. LABELED AND APPROVED OR EQUIVALENT.
- HOT AND COLD AIR DUCTS TO BE NON-COMBUSTIBLE MATERIAL.
- SILL SEALER UNDER ALL EXTERIOR WALLS.
- ALL FURNACE ROOMS TO BE DRYWALLED AND TAPED PRIOR TO INSTALLATION OF FURNACE.
- HOLES MAY BE BORED THROUGH JOISTS MAXIMUM 2 1/2" DIA. WITH EDGES MINIMUM 2" FROM BOTTOM OR TOP OF JOISTS.
- ALL WOOD SILL PLATES BEARING ON CONCRETE SHALL BE PRESSURE-TREATED FOR ROT AND TERMITES.
- ALL GLAZING SHALL BE PER IBC/IRC REQUIREMENTS.
- ALL CONTRACTORS SHALL CARRY WORKMAN'S COMPENSATION; PUBLIC LIABILITY AND PROPERTY DAMAGE INSURANCE. THE OWNER SHALL MAINTAIN FIRE EXTENDED COVERAGE AND BUILDER'S RISK INSURANCE.
- PROVIDE 1/2" WATER-PROOF CEMENT BACKER BOARD IN TUB AND SHOWER WET WALLS WITH CERAMIC TILE.
- PROVIDE MIN. 3/8" UNDERLAYMENT BOARD UNDER FLOOR AREAS THAT ARE TO HAVE TILE.
- APPROVED JOIST HANGERS ARE REQUIRED AS CONNECTORS.
- ALL DUCTWORK IN UNHEATED SPACES TO BE INSULATED.
- TEMPERED GLASS REQUIRED ON WINDOWS AND DOORS PER 2006 IRC SECTION R308.
- PROVIDE 1 HOUR FIRE SEPERATION BETWEEN GARAGE AND LIVING AREAS.
- STAIRS, HANDRAILS, & GUARDRAILS TO COMPLY TO 2009 IRC .
- 1/2" GYP. BOARD ON ALL WALLS & CEILINGS UNLESS OTHERWISE NOTED.
- ALL WALLS AND CEILINGS TO RECEIVE 1 PRIMER COAT AND 2 FINISH COATS OF PAINT.
- ALL MANUFACTURED PRODUCTS AND MATERIALS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. VERIFY WITH ALL APPLICABLE LOCAL CODES.
- ALL CONSTRUCTION MATERIALS AND METHODS ARE TO BE FOLLOWED IN ACCORDANCE WITH THE REQUIREMENTS OF 2015 STATE OF ILLINOIS ENERGY CONSERVATION CODE (PUBLIC ACT 096-0778).
- ALL CONSTRUCTION DEMOLITION TO BE EXECUTED IN ACCORDANCE WITH THE EPA'S NATIONAL LEAD SAFE RENOVATION PROGRAM. INTERIOR AND EXTERIOR MATERIALS ARE TO BE TESTED FOR LEAD PRIOR TO DEMOLITION PHASE AND TEST RESULTS REPORTED TO OWNER.

GENERAL ELECTRICAL NOTES

- ELECTRIC PANEL LOCATION: 3'-0" CLEAR EACH SIDE, 4'-0" CLEAR AT FRONT AND 6'-6" MINIMUM HEADROOM INCLUDING PIPING.
- ALL CLOTHES CLOSETS, EXCEPT WALK-INS, SHALL HAVE RECESSED PULL CHAIN LIGHT FIXTURES. LIGHTING FIXTURES INSTALLED IN INSULATED JOIST SPACES SHALL BE PROTECTED BY ICT TYPE FIXTURES (INSULATED THERMAL PROTECTION).
- ALL OUTLETS OF KITCHEN MUST BE G.F.C.I. PROTECTED.
- EVERY ENTRANCE TO EVERY HABITABLE ROOM AND HALLWAY MUST HAVE AN ACCESSIBLE LIGHT SWITCH TO A PERMANENT LIGHT FIXTURE OR ELECTRICAL OUTLET PER 2005 NEC.
- ALL FIXTURES IN CLOTHES CLOSETS MUST CONFORM TO 2005 NEC.
- ALL PADDLE FAN INSTALLATIONS REQUIRE APPROVED TYPE CEILING BOXES.

GENERAL CONCRETE NOTES

- ALL FOOTINGS TO BE KEYED 4 INCHES INTO UNDISTURBED SOIL OR COMPACTED FILL AT 95% COMPACTION PER ASTM D-1557.
- ALL FOOTINGS TO BE DESIGNED FOR 3,000 PSF SOIL BEARING CAPACITY.
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ALL GOVERNING CODES AND ORDINANCES.
- ALL REINFORCING BARS ARE TO BE ASTM GRADE 40.
- ALL WELDED WIRE MESH ARE TO CONFORM TO ASTM 815-61T.
- ALL CONCRETE TO BE MIXED AND PLACED IN ACCORDANCE WITH ALL GOVERNING CODES AND ORDINANCES.
- PROTECT ALL CONCRETE FROM ADVERSE WEATHER.
- ALL EXPOSED CONCRETE TO HAVE 5% TO 7% AIR ENTRAINMENT.
- CONCRETE TO BE READY MIXED, 3,500 PSI (MIN.), 28 DAY STRENGTH (5 BAG MIX) TO BE POURED CONTINUOUSLY WHENEVER POSSIBLE.
- NO CONCRETE IS TO BE POURED INTO STANDING WATER OR ONTO FROZEN SUB-GRADE.
- INTERIOR FLATWORK TO RECEIVE SMOOTH STEEL TROWEL FINISH. EXTERIOR FLATWORK TO RECEIVE A BROOM FINISH ON ALL EXPOSED FACES.
- PROVIDE CONTROL JOINTS RADIATING OUT FROM ALL INTERIOR STEEL COLUMNS AND AS REQUIRED IN ALL LARGE POURS.
- PROVIDE ALL GRANULAR FILL UNDER EXTERIOR STOOPS.
- PROVIDE 4#4 HOOKED RODS IN WALLS WHERE FOOTING ELEVATIONS ARE NOT CONTINUOUS.
- PROVIDE FIBERGLASS REINFORCED DAMPROOFING ON ALL FOUNDATION WALLS UNLESS OTHERWISE NOTED.
- CONTROL JOINTS TO BE A MIN. 25% OF DEPTH OF SLAB
- USE EXPANSION MATERIAL AT ALL FLOOR SLAB TO WALL CONNECTIONS.
- ALL EXTERIOR FLATWORK TO BE POURED ON MIN. 5" COMPACTED GRAVEL COMPACTED IN MAX. 3" LIFTS
- PROVIDE CONTROL JOINTS ON ANY FLOOR SLABS & PATIOS GREATER THAN 120 SQUARE FEET IN AREA.

STRUCTURAL NOTES

- DESIGN LIVE LOADS: FLOOR = 40 PSF
SLEEPING AREAS: FLOOR = 40 PSF
ATTICS: FLOOR = 20 PSF
- FRAMING LUMBER TO BE OF THE FOLLOWING GRADES:
STUDS: SPF, STANDARD OR BETTER
JOISTS AND RAFTERS: DF-L #2 OR BETTER
MINIMUM STRESSES: F**b**) = 875 PSI, E = 1,400,000 PSI
- PROVIDE 2ix12 HEADERS OVER ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
- ALL INTERIOR BEARING WALLS TO BE 2x4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
- ALL JOISTS TO HAVE A MIN. 2" BEARING ON WOOD OR STEEL, MIN. 3 1/2" BEARING ON MASONRY.
- ALL LUMBER SHALL HAVE AN AVERAGE MOISTURE CONTENT OF NOT MORE THAN 19%.
- APPROVED JOIST HANGERS ARE REQUIRED AS CONNECTORS.
- ENGINEERING SPECS. FOR PRE-ENGINEERED TRUSSES TO BE PROVIDED UNDER SEPERATE COVER.

GENERAL EXCAVATION NOTES

- ALL WORK SHALL CONFORM WITH ALL LOCAL CODES AND ORDINANCES.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING EXCAVATION GRADES FROM A GRADE STAKE SHOWING TOP OF FOUNDATION ELEVATION. THIS GRADE STAKE SHALL BE OUTSIDE THE BUILDING AREA AND SHALL BE PROVIDED BY THE BUILDER.
- STRIP BLACK DIRT FROM BUILDING ZONE.
- MACHINE EXCAVATE TO AN ELEVATION 6 INCHES BELOW THE PROPOSED TOP OF FOOTING ELEVATION TO ALLOW FOR THE FINAL 4 INCHES TO BE KEYED INTO UNDISTURBED SOIL BY HAND BY OTHERS.
- ALL MATERIAL GENERATED FROM EXCAVATION SHALL BE SEPERATED INTO HOMOGENEOUS STOCKPILES.
- EXCAVATE AS REQUIRED TO PROVIDE 8 INCHES OF GRADE 3 STONE UNDER THE CMP CULVERT (IF ANY). INVERTS OF CULVERT SHALL CONFORM TO THE EXISTING FLOW LINE IN THE DITCHLINE, AND SHALL BE 18 INCHES (MIN.) BELOW THE CROWN ON THE ROAD. SUBCONTRACTOR SHALL CHECK FOR PROPER PITCH AND DEPTH PRIOR TO FILLING STONE OVER THE PIPE. INSTALLATION OF A DRIVEWAY WITH A HUMP OVER THE CULVERT PIPE SHALL BE PROHIBITED.
- PRESUMPTIVE SOIL BEARING CAPACITY IS 3,000 PSF ON UNDISTURBED SOIL. IF AT PLAN DEPTH A QUESTIONABLE SOIL CONDITION IS ENCOUNTERED, SUBCONTRACTOR SHALL CONSULT BUILDER OR BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH EXCAVATING DEEPER THAN PLAN.
- NO EXCAVATIONS SHALL BE MADE WHOSE DEPTH BELOW THE FOOTING IS GREATER THAN 1/2 THE HORIZONTAL DISTANCE FROM THE NEAREST EDGE OF THAT FOOTING.
- ALL BACKFILL AT STOOPS, SLABS, STEPS AND PAVEMENTS SHALL BE CLEAN GRANULAR FILL. PLACE IN 8 INCH LAYERS AND COMPACT TO 95% MAXIMUM DRY DENSITY PER ASTM D-1557, OR PROVIDE ALL SELF-COMPACTING PEA GRAVEL MATERIAL.
- ALL SLABS ON GRADE SHALL BEAR ON MECHANICALLY COMPACTED CRUSHED STONE OR SELF-COMPACTING PEA GRAVEL CAPABLE OF SUPPORTING 1,000 PSF.
- BACKFILL SHALL BE BROUGHT UP EQUALLY ON EACH SIDE OF WALLS AND EQUALLY AROUND ALL SIDES OF THE BUILDING.

DO NOT BACKFILL UNTIL FOUNDATION WALLS HAVE ADEQUATELY CURED.
- ONLY RUBBER Tired MACHINES MAY DRIVE ON EXISTING PAVEMENT AT STREET. LOADING AND UNLOADING OF METAL TRACK MACHINES SHALL BE MADE ON-SITE OR THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES WHICH OCCUR.
- SUBCONTRACTOR AND/OR BUILDER SHALL CALL JULIE AT LEAST 48 HOURS PRIOR TO THE START OF ANY DIGGING OPERATIONS, OR BE HELD RESPONSIBLE FOR ANY REPAIRS TO UNDERGROUND UTILITY LINES DAMAGED OR DESTROYED IN THE PROCESS.
- ANY EXISTING FIELD TILES, WHETHER FLOWING OR NOT, SEVERED DURING THE EXCAVATION PHASE SHALL BE IMMEDIATELY MARKED SO AS TO ALLOW FOR PROPER RE-CONNECTION AROUND THE FOUNDATION IN CONFORMANCE WITH STATE DRAINAGE LAW.
- TAKE CARE WHEN DIGGING FOR THE FOOTINGS. THE USE OF ROCK UNDER THE FOOTINGS CAN FACILITATE WATER ACCUMULATION UNDER THE FLOOR SLAB BASEMENT AND CONTRIBUTE TO FLOODING AS THE GROUND WATER LEVEL RISES DURING EXTREMELY WET PERIODS. THEREFORE, CRUSHED ROCK CANNOT BE PERMITTED UNDER FOUNDATIONS UNLESS A SOILS REPORT BY AN ILLINOIS LICENSED SOILS ENGINEER SPECIFICALLY ADDRESSES THE EXISTING AND POTENTIAL HIGH LEVELS OF GROUND WATER TABLE AND ADEQUATE PREVENTIVE MEASURES TO PROTECT THE HOMEOWNER.

GENERAL STEEL NOTES

- STEEL WORK SHALL CONFORM TO THE CURRENT SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AS ADOPTED BY THE A.I.S.C.
- CONNECTIONS SHALL BE BOLTED OR WELDED. BOLTS SHALL CONFORM TO ASTM A325 AND BE 3/4 INCH DIAMETER UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATIONS A-36. STEEL FOR PIPE COLUMNS SHALL BE OF EQUIVALENT CAPACITY AND WELDABILITY TO ASTM SPECIFICATIONS A-501.
- ALL STEEL FLITCH PLATES SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATIONS A-36, AND BE SHOP DRILLED FOR STAGGERED BOLTING.
- ALL STRUCTURAL STEEL BEAMS, COLUMNS, FLITCH PLATES, BOLTS AND SHIMS SHALL HAVE A SHOP APPLIED COAT OF RUST-INHIBITING PAINT.
- STEEL FABRICATOR TO SUPPLY ALL NECESSARY BOLTS, FLANGES, SEAT ANGLES AND SHIMS NECESSARY FOR PROPER INSTALLATION.
- STEEL BASEMENT COLUMNS SHALL REST ON STACKED STEEL SHIMS NOT TO EXCEED 2 INCHES IN HEIGHT. SETTING STEEL COLUMNS ON CHUNKS OF BRICK SHALL BE PROHIBITED.
- ALL HOLES IN ALL CONNECTIONS SHALL RECEIVE A BOLT AND NUT AND ALL NUTS SHALL BE FIRMLY TIGHTENED PRIOR TO IMPOSING LOADING FROM ABOVE. MIS-ALIGNED CONNECTIONS SHALL BE FIELD-DRILLED AS REQUIRED TO INSERT ALL BOLTS, OR BE FIELD-WELDED TO REPLACE SUCH BOLTS(S).

PRESSURE TREATED MATERIALS

ALL HANGERS AND FASTENERS USED ON DECK TO BE SPECIFIED STAINLESS STEEL, G185, AND OR HOT DIPPED GALVANIZED FOR USE WITH ACQ AND COPPER AZOLE TREATED LUMBER.

SPECIAL SAFETY NOTE

ALL CONTRACTORS, SUBCONTRACTORS AND THEIR REPRESENTATIVES WORKING ON THIS PROJECT SHALL AT ALL TIMES PRIOR AND DURING THE COURSE OF THEIR ACTIVITY BE RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES AS WELL AS OTHERS AND IN THE CARE OF THE PROPERTY. EACH AS REPRESENTATIVES OF THEIR EMPLOYEES SHALL ASCERTAIN THAT THE CONDITIONS UNDER WHICH THEY WILL BE REQUIRED TO ACCOMPLISH THEIR WORK ARE SAFE AND MEET ALL REGULATIONS OF THE OCCUPATIONAL SAFETY HAZARD ACT OR OTHER GOVERNING REGULATIONS. THE BEGINNING OF WORK BY A CONTRACTOR OR SUBCONTRACTOR SHALL INDICATE SATISFACTION CONCERNING SAFETY AND FULL RESPONSIBILITY FOR ACCIDENTS AND/OR DAMAGE. IF UNSATISFIED, THE CONTRACTOR OR SUBCONTRACTOR SHALL INDICATE THE ACTIONS AND/OR DEVICES NECESSARY TO RENDER THE JOB-SITE SAFE. IF THE WORK OF OTHER PARTIES IS, UPON INSPECTION, FOUND AT ANY TIME TO BE UNSAFE, THE CONTRACTOR OR SUBCONTRACTOR SHALL IMMEDIATELY STOP ALL WORK AND NOTIFY THE GENERAL CONTRACTOR, ARCHITECT AND OWNER. THE BEGINNING OF WORK SHALL INDICATE ACKNOWLEDGEMENT AND ACCEPTANCE OF THESE REQUIREMENTS.

SPECIAL NOTICE

THE USE OF THESE PLANS TO OBTAIN A BUILDING PERMIT SHALL CONSTITUTE THE ACCEPTANCE AND APPROVAL OF ALL REQUIREMENTS CONTAINED THEREIN.

PLANS BASED ON ASSUMPTION OF ADEQUATE SOIL BEARING CAPACITY. OWNER IS RESPONSIBLE FOR PROVIDING A SOIL TEST BY AN APPROVED SOILS ENGINEER. THE GENERAL CONTRACTOR SHALL BRING ALL ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT. THE GENERAL CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.

ALL SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL PRE-EXISTING SITE CONDITIONS PRIOR TO SUBMITTING PROPOSAL FOR NEW WORK. GENERAL CONTRACTOR AND OWNER ARE RESPONSIBLE FOR ALLOWING ACCESS TO THE HOME FOR THIS TYPE OF INSPECTION BY THE SUBCONTRACTOR.



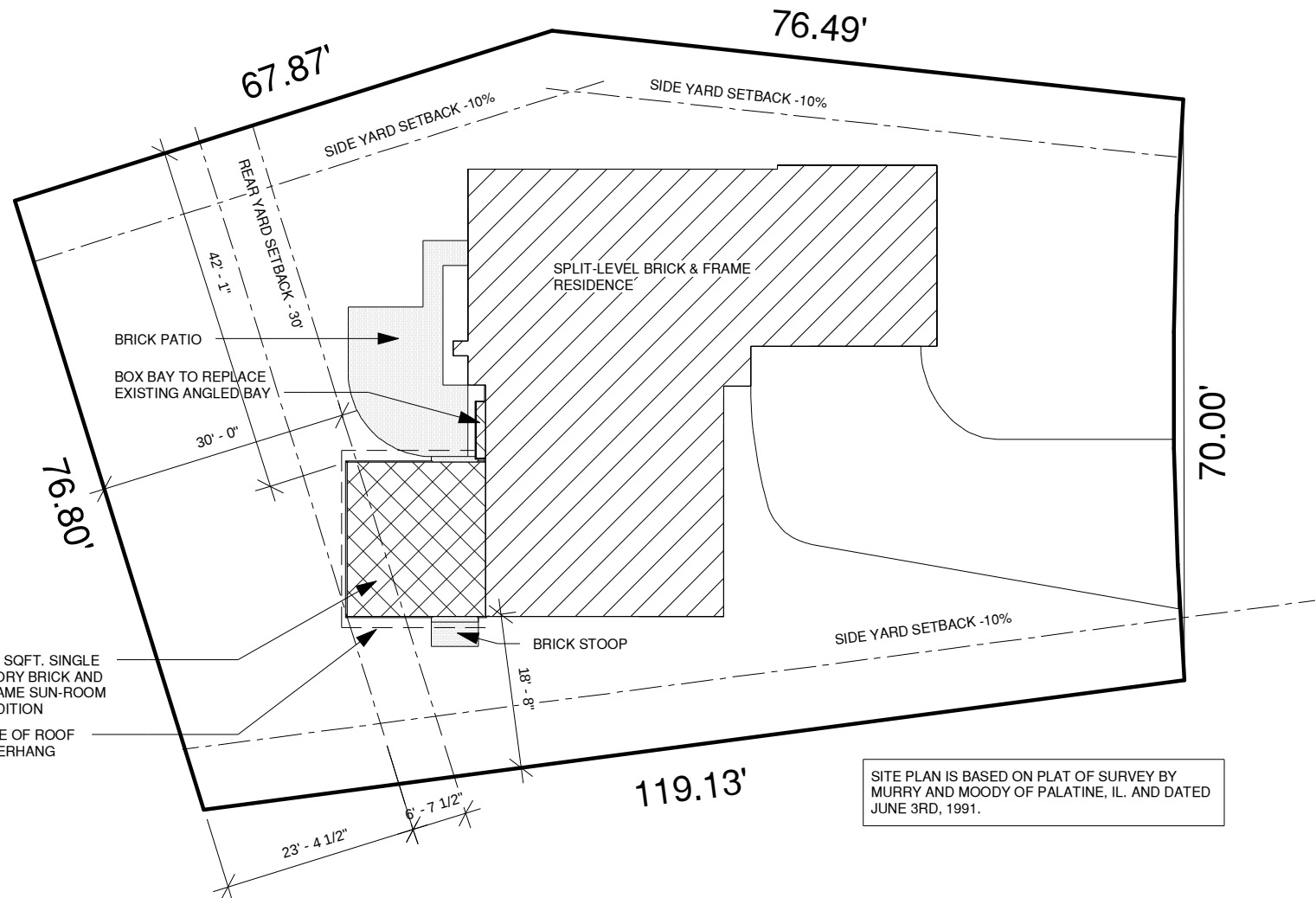
SOUTHWEST PERSPECTIVE VIEW



NORTHWEST PERSPECTIVE VIEW



WEST PERSPECTIVE VIEW



SITE PLAN

SCALE: 1" = 20'-0"



ARCHITECTS

BUILDERS

REMODELERS

825 East Rand Road, Suite 230
Arlington Heights, IL 60004
Phone: (847) 394-4131
Fax: (847) 394-4132
www.parcraft.com

RESIDENTIAL
ADDITION &
REMODEL FOR:

RON & TERRY
BURKE

2914 N. MITCHELL AVE.
ARLINGTON HEIGHTS, IL

	ISSUE	DATE
	PRELIMINARY	10/11/17
	DESIGN DEV.	11/13/17
	ZONING	11/27/17
	BID SET	
	PERMIT SET	

DRAWN BY: ES

CHECKED BY: PAR

SIGNATURE.:

DATE:

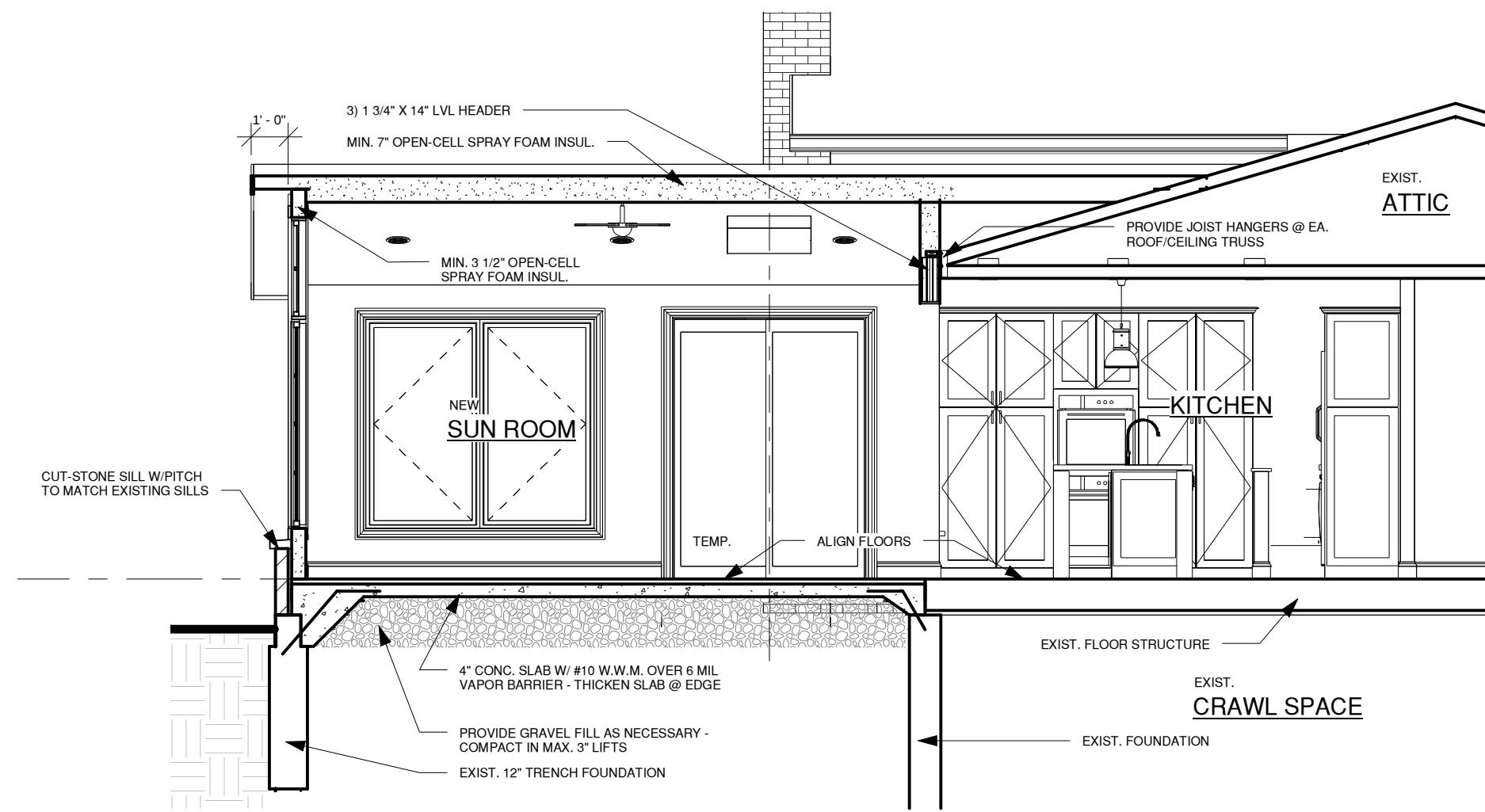
EXPIRES.: 11/30/18

JOB NO.: BURKE

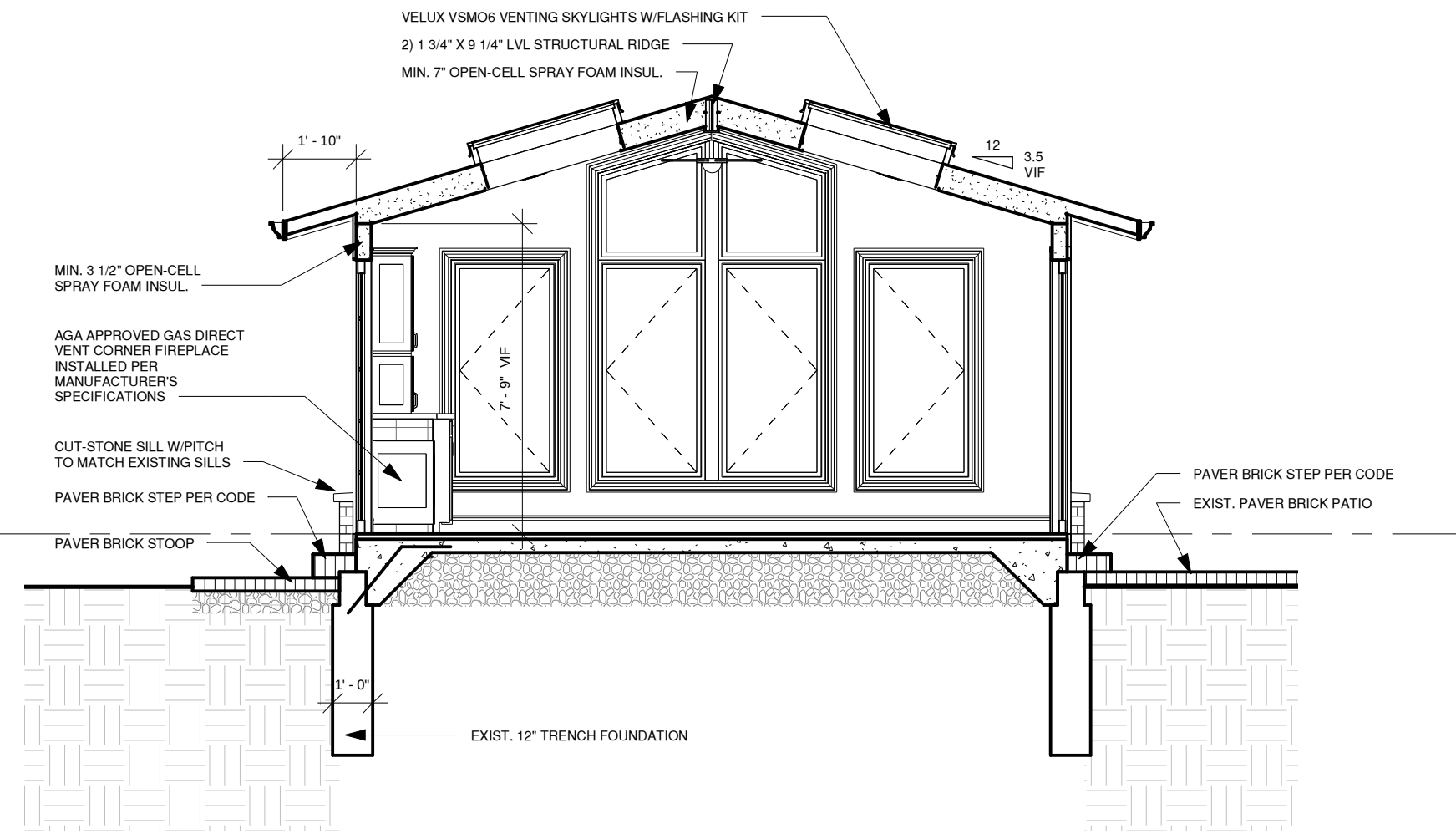
SHEET:

T1

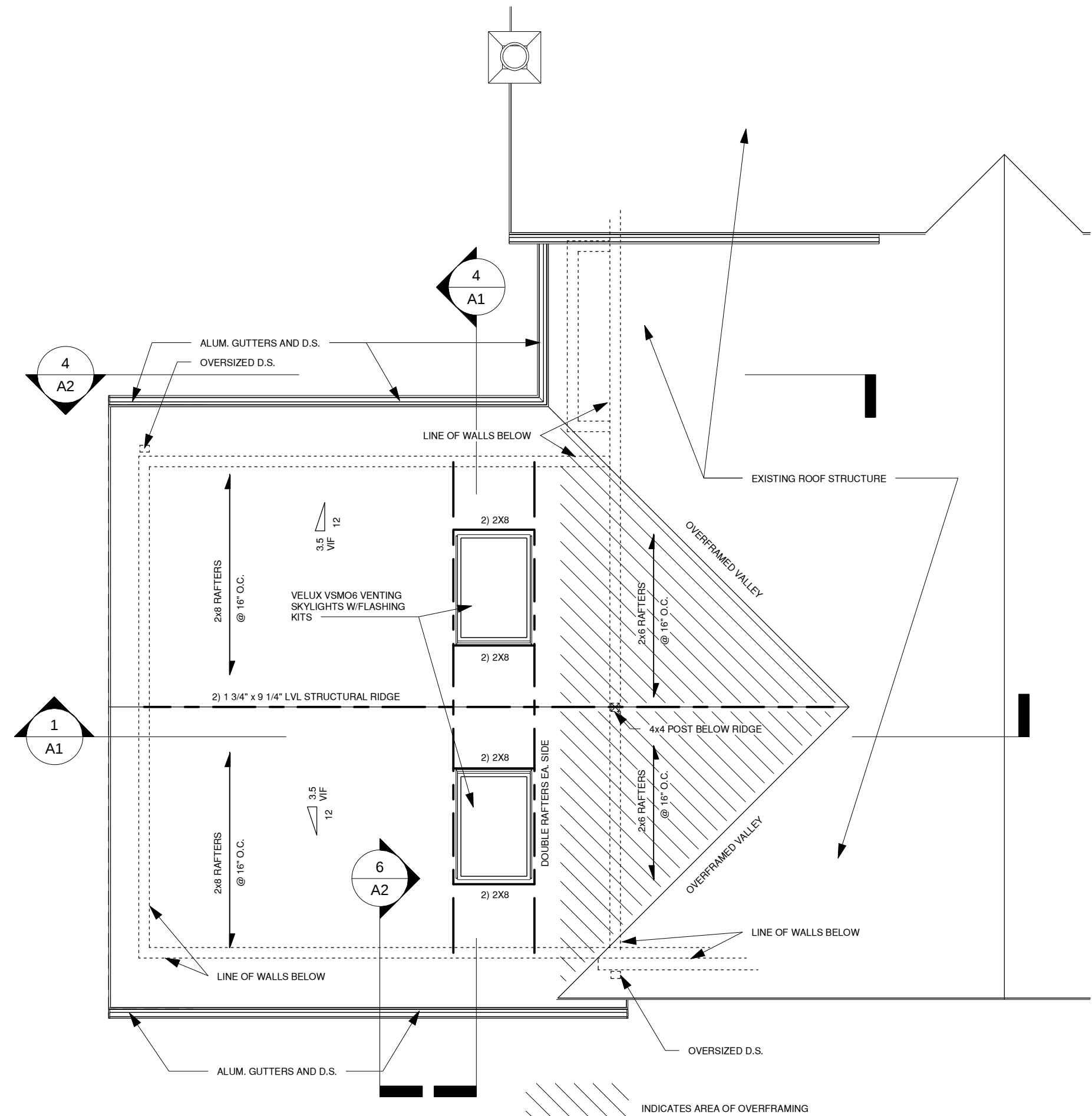
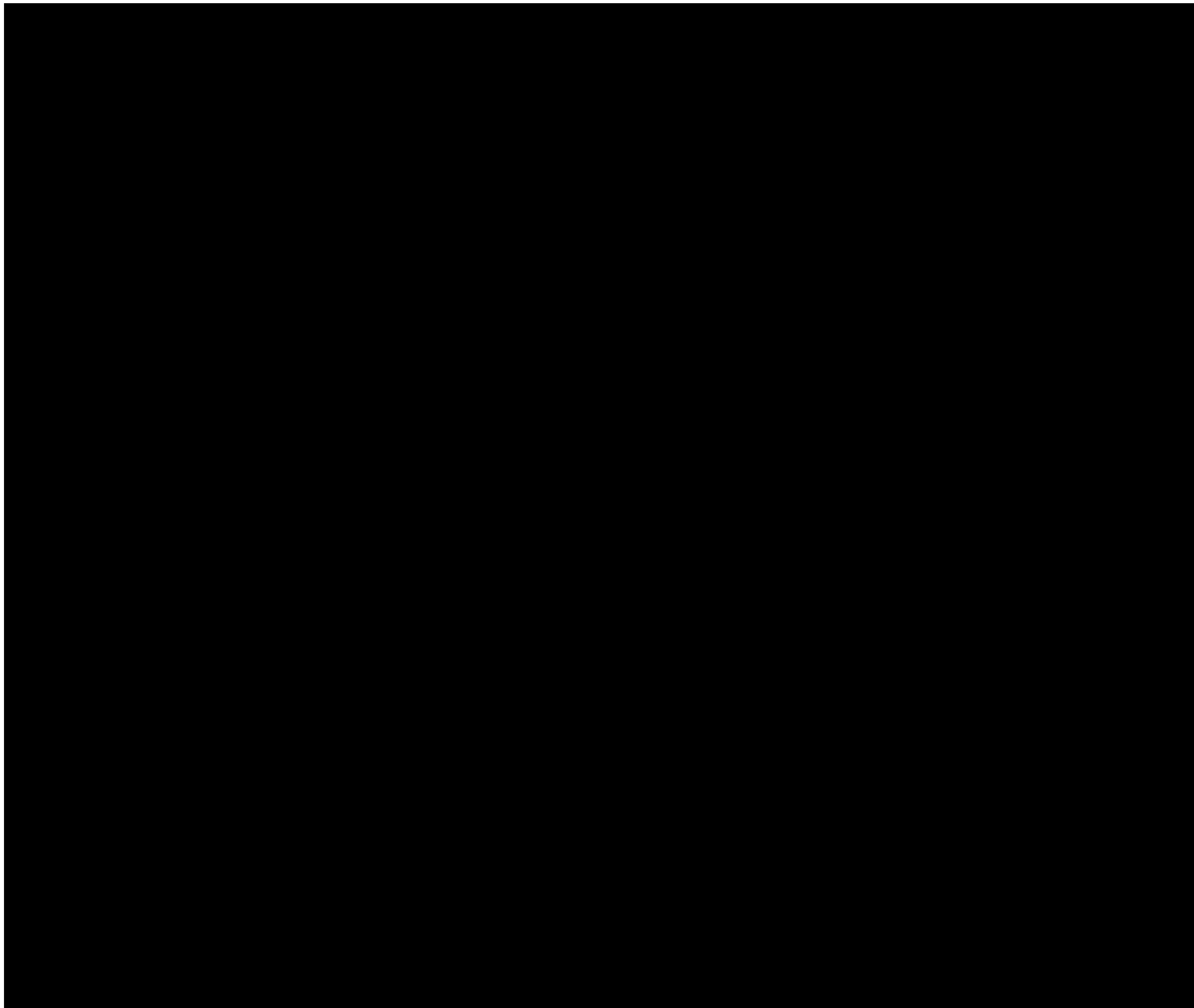
OF:



1 BUILDING SECTION - through sun room
SCALE: 1/4" = 1'-0"



4 BUILDING SECTION - through sun room
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"



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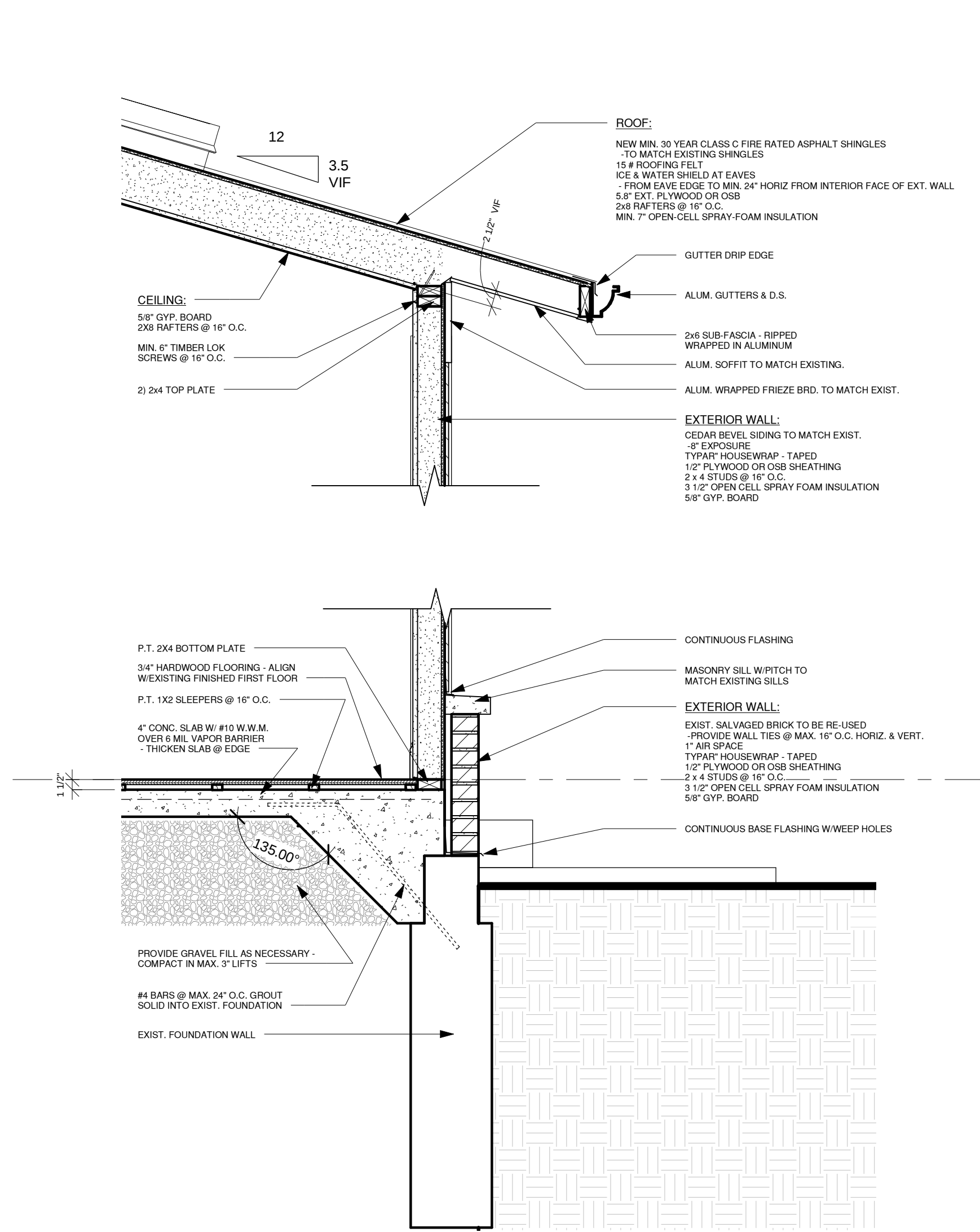
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PRELIMINARY	10/11/17
DESIGN DEV.	11/13/17
ZONING	11/27/17
BID SET	
PERMIT SET	

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CHECKED BY: PAR

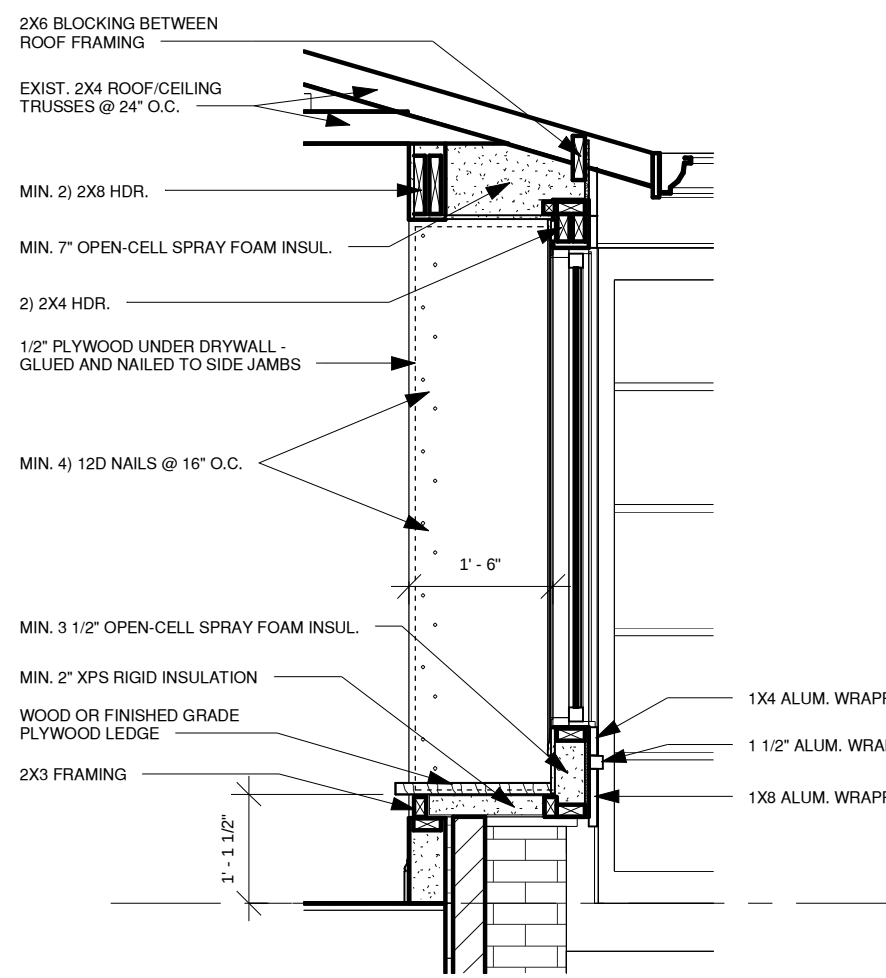
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EXPIRES.: 11/30/18

JOB NO.: BURKE

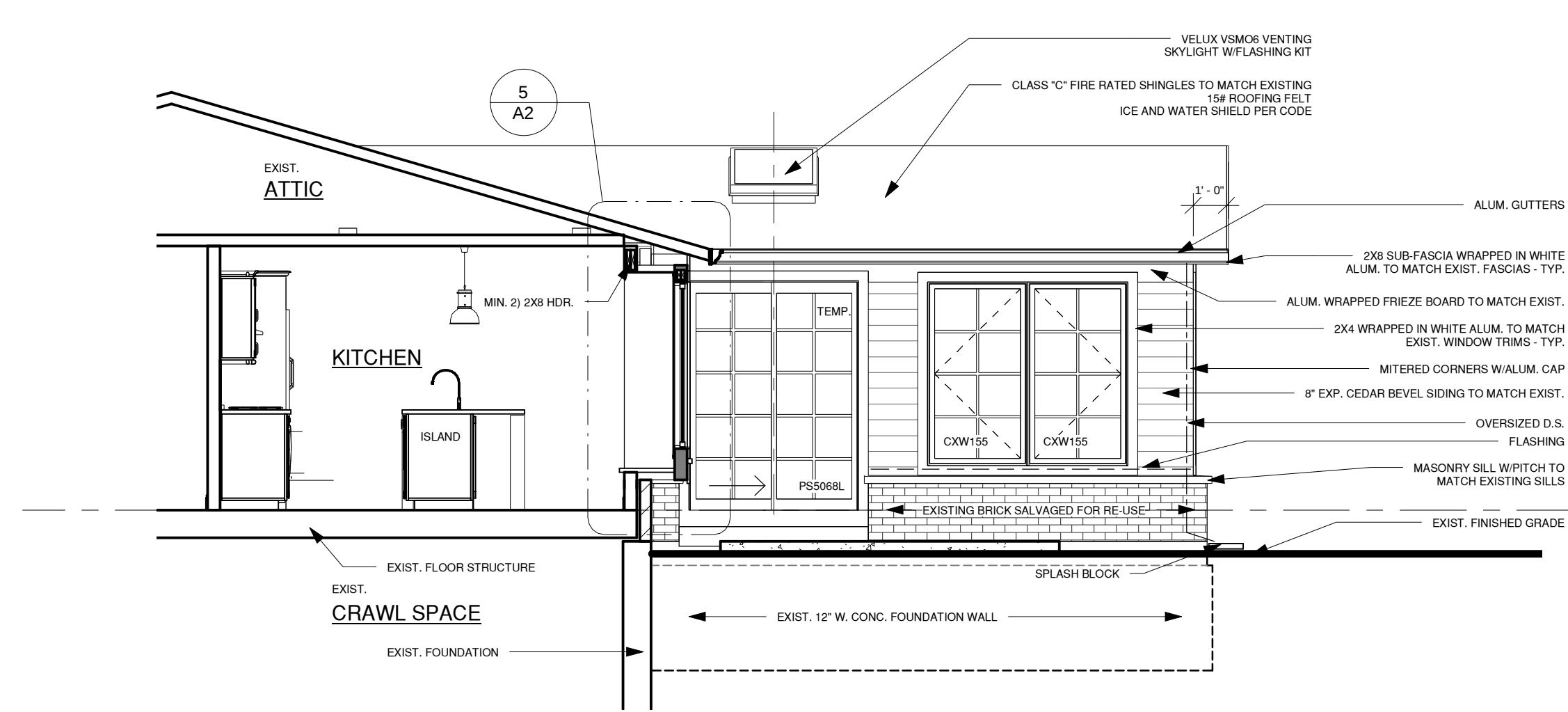
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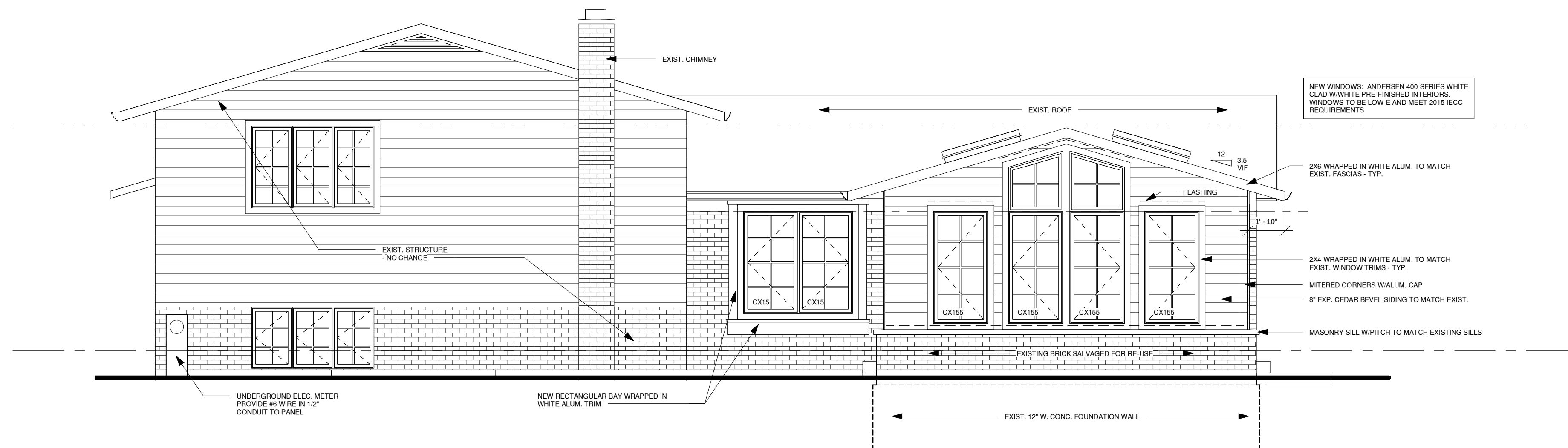
6 WALL SECTION - typ. wall/roof construction
SCALE: 3/4" = 1'-0"



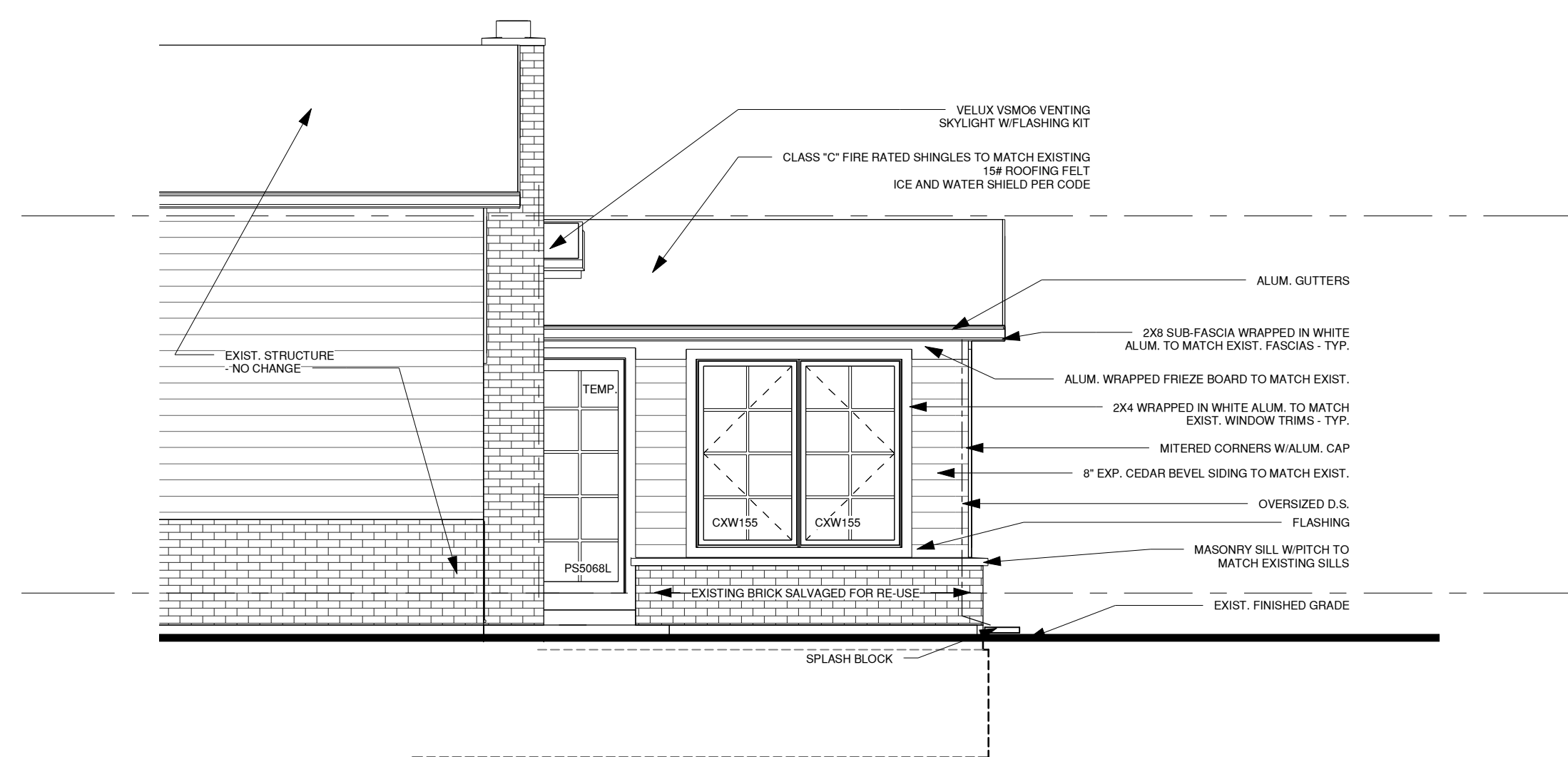
5 DETAIL SECTION - box bay construction
SCALE: 3/4" = 1'-0"



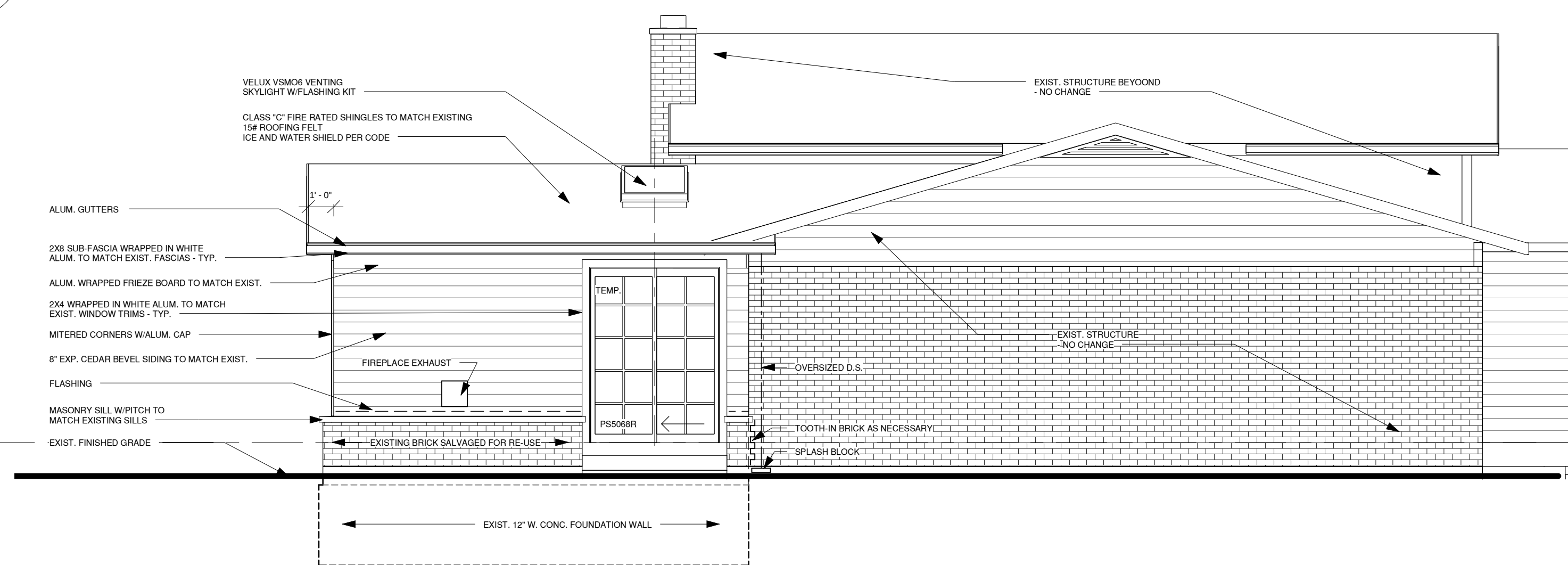
4 BUILDING SECTION - through kitchen
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



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BID SET	
PERMIT SET	

DRAWN BY: ES
CHECKED BY: PAR

SIGNATURE:
DATE:
EXPIRES: 11/30/18

JOB NO.: BURKE

SHEET:
A2
OF:



Item: 935 N. Haddow Ave. - ZBA#17-061

Department: Planning & Community Development

REQUEST

A 1 foot variation from Chapter 28, Section 5.1-3.4 (Minimum Lot Size) to allow a lot with a width of 49 feet to be buildable where 50 feet is required.

ATTACHMENTS:

Description

Supporting Documents

Type

Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: January 8, 2018
Date Prepared: December 14th, 2017
Project Title: Murray Residence
Address: 935 N. Haddow Ave.

Background Information

Petition Number: ZBA #17-061
Petitioner: Joseph & Kathleen Murray
Address: 935 N. Haddow Ave.
Arlington Heights IL 60004
Existing Zoning: R-3, Single-Family Residential District

Requested Action/Background Information

The subject site is zoned R-3, One Family Dwelling District. The petitioner proposes adding a one-story addition with a basement to the rear of their home. However, the lot has a width of 49 feet, which is under the minimum allowable width for a buildable lot.

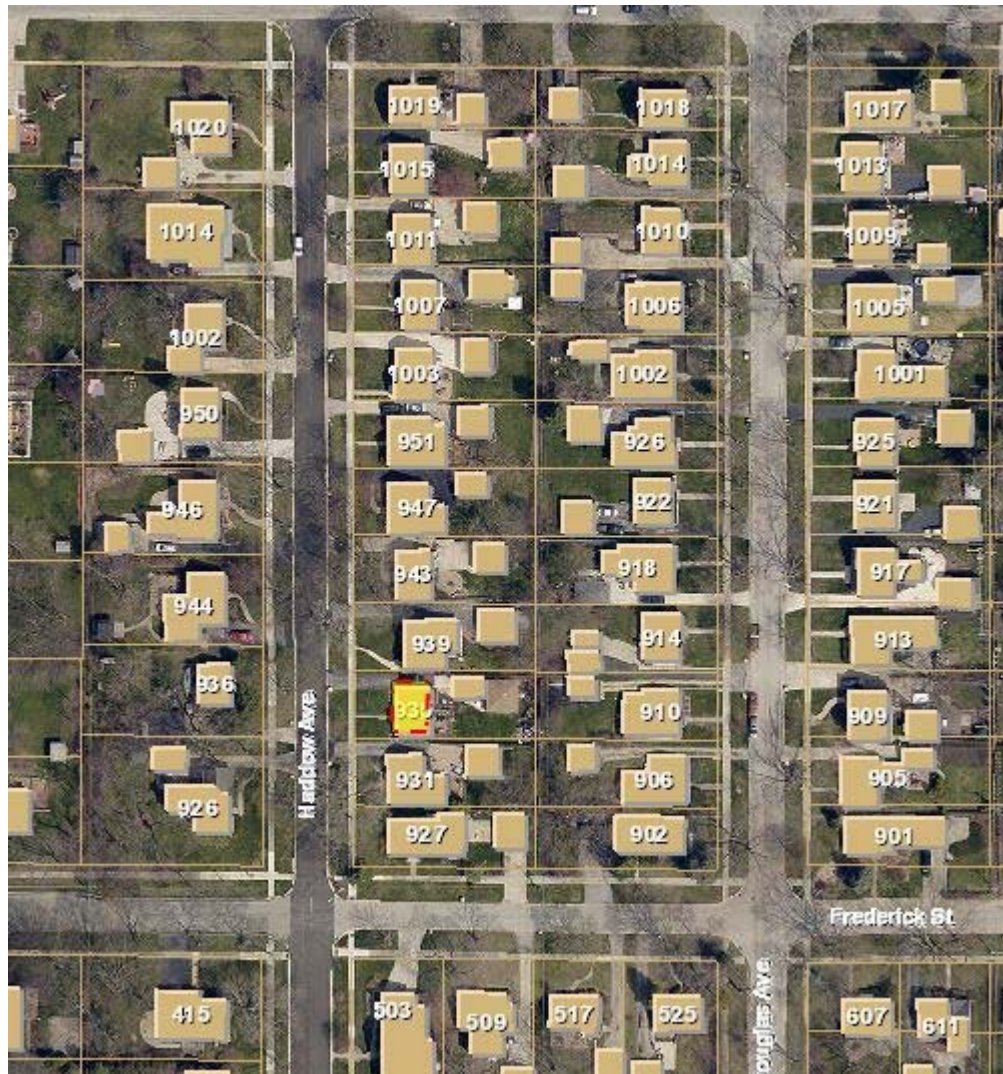
Sections 5.1-3.4 and 5.1-3.5 of the Zoning Code set forth minimum lot size and width requirements for the R-3 District which is 70 feet in width and 8,750 square feet in area for an interior lot. As part of 5.1-3.4, the Director of Building is authorized to issue permits for structures on lots that are less than the minimum area and width requirements if the majority of the frontage on which the property is located is developed with lots that are below the minimum district requirements; provided that no permit shall be issued for any parcel containing less than 6,250 SF and a lot width of 50 feet. The petitioner's property is 49.0 feet wide and 6,508 SF, which does not meet the absolute minimum lot width of 50 feet. Therefore, petitioner requests the following variation:

- **A 1 foot variation from Chapter 28, Section 5.1-3.4 (Minimum Lot Size) to allow a lot with a width of 49 feet to be buildable where 50 feet is required.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	12/22/17	
2. List of Property Owners Within 250 feet of Subject Property	✓	12/22/17	
3. Letter that was Mailed	✓	12/22/17	
4. Photographs of Sign on Property	✓	12/22/17	

Photographs of Existing Structure



ZBA# 17-061
935 N Haddow Ave- ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering

Submitted: December 15, 2017
Completed: December 21, 2017

The proposed ZBA application indicates that the petitioner is seeking:

A 1 ft variation to allow a lot with a width of 49 ft to be buildable where 50 ft is required.

The Engineering Department has NO OBJECTION to the proposed variance.

The plans for the addition show a window well in the south side yard. The window well as shown would be less than 2 ft from the south property line and would not meet code. The petitioner has been made aware of the minimum setback required for window wells and has indicated they will revise their plans to relocate the window well.

RECEIVED
DEC 20 2017
**PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT**



Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Building & Life Safety Department

Project Name: Murray Residence

Project Address: 935 N Haddow Ave

ZBA #: 17-061

Date: December 18, 2017

Derek:

I have reviewed the request for the following variance:

- A 1-foot variance to allow a lot with a width of 49 feet to be buildable where 50 feet is required.

and, have no objection to the variance with the following comments:

1. The south wall of the addition with a distance of less than 5 feet to the lot line shall have a minimum fire-resistance rating of 1-hour with exposure from both the interior and exterior of the wall.
2. The soffit and fascia of the same wall section within 5 feet of the lot line shall have 5/8-inch drywall under the normal weather protective materials.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Murray Residence

Project Address: 935 N. Haddow Ave.

ZBA #: 17-061

ZBA Hearing Date: January 8th, 2018

To: Jim Massarelli, Director of Engineering
Steven Touloumis, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: December 15, 2017

- A 1 foot variation from Chapter 28, Section 5.1-3.4 (Minimum Lot Size) to allow a lot with a width of 49 feet to be buildable where 50 feet is required.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: THE PROPOSED ADDITION IS NICELY DESIGNED TO
FIT WITH THE EXISTING HOUSE.

- S. HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me no later than Thursday, December 28th, 2017.

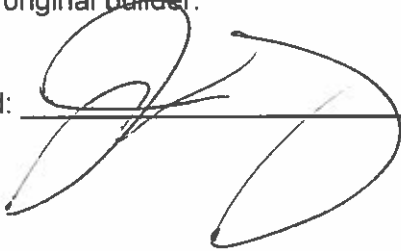
NOW COMES the Petitioner, Joseph and Kathleen Murray being the owner of the property commonly known as: 935 N. Haddow Ave. and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from 5.1-3.4, Chapter 28, of the Arlington Heights Municipal Code, in order to allow an addition on a substandard lot width variation.

I hereby state that the following hardship would exist if the variation were not granted:

I hereby state that the following unique circumstances exist: _____

I hereby state that the variation, if granted, will not alter the essential character of the locality because: The addition we would like to add to our home is similar in size and scope to several in our immediate neighborhood. Our lot sizes are smaller than others in the neighborhood based on the original builder.

Signed: _____



Date: _____

12/8/17

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DEC 08 2017
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT

S-T-R 29-42-11
Project Number 11865-0
Client John O'Brien, Att'y
Book-Page Number 258-20
Date of Field Work 07/27/06
Drawn by PJD

Plat of Survey

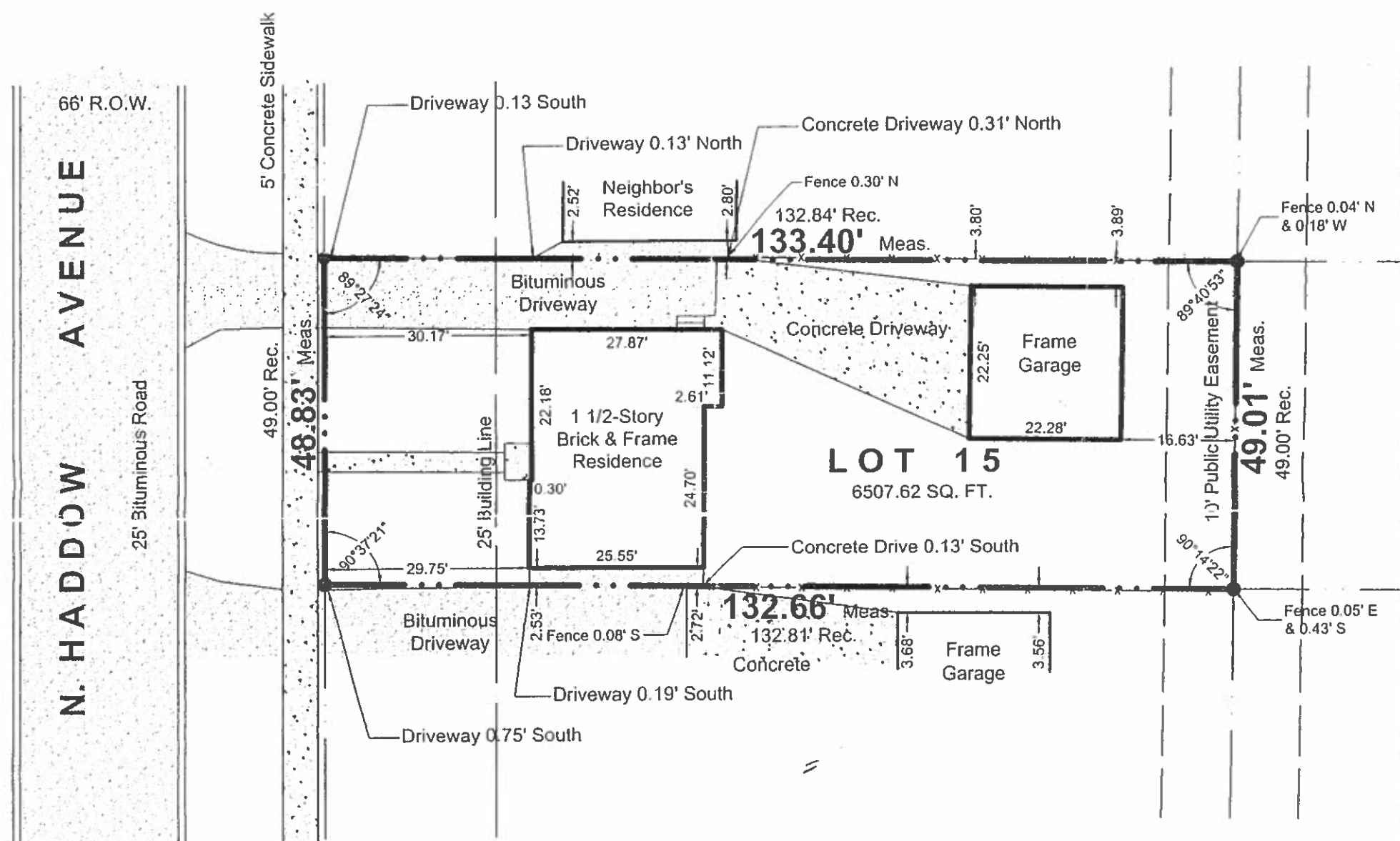
LEGAL DESCRIPTION

LOT 15 IN GOELZS SUBDIVISION OF BLOCK 1 IN D.W. MILLER'S ARLINGTON HEIGHTS ACRE ADDITION IN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

ALSO KNOWN AS: 935 N. HADDOW AVENUE, ARLINGTON HEIGHTS.



RECEIVED
DEC 08 2017
PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT
Scale 1" = 20'



LEGEND

- SET IRON PIPE
- FOUND IRON PIPE
- ✚ CROSS IN CONCRETE
- MONUMENT
- x— WOOD FENCE
- CHAIN LINK FENCE
- Meas. MEASURED DISTANCE
- Rec. RECORDED DISTANCE
- R.O.W. RIGHT OF WAY

1. THE LEGAL DESCRIPTION SHOWN HEREON IS THAT WHICH WAS PROVIDED TO BARRINGTON ENGINEERING CONSULTANTS, LTD. BY THE CLIENT.
2. FOR EASEMENTS, BUILDING LINES AND OTHER RESTRICTIONS NOT SHOWN ON THIS SURVEY, REFER TO YOUR ABSTRACT, DEED, CONTRACT, TITLE POLICY AND LOCAL BUILDING LINE REGULATIONS.
3. SCALING FROM REPRODUCTIONS IS NOT RECOMMENDED.
4. BUILDING TIE DIMENSIONS SHOULD NOT BE USED TO DETERMINE LOT LINE LOCATIONS. REFER TO ACTUAL LOT CORNERS FOR CONSTRUCTION.
5. ANY REPRODUCTION OF THIS PLAT IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT FROM BARRINGTON ENGINEERING CONSULTANTS, LTD.



BARRINGTON
ENGINEERING
CONSULTANTS, LTD.

LAND PLANNING • CIVIL ENGINEERING • LAND SURVEYING

215 S. NORTHWEST HWY. • SUITE 202A • BARRINGTON, IL 60010

PHONE: 847.382.6337 • FAX: 847.382.6366

REGISTRATION NUMBER: 184-002883

STATE OF ILLINOIS)
COUNTY OF COOK) SS

I HEREBY CERTIFY THAT WE HAVE SURVEYED THE PREMISES ABOVE DESCRIBED, AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

BARRINGTON ENGINEERING CONSULTANTS, LTD.

DATE: 08/01/06

BY: Keith E. Lacy III
KEITH E. LACY III, P.E., P.L.S.
PROFESSIONAL LAND SURVEYOR
ILLINOIS NO. 035-003330

MY PROFESSIONAL LICENSE RENEWAL DATE IS 11/30/06



GENERAL NOTES:

- ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN CONSTRUCTION OF THE PROJECT INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.
- ALL CODES, TRADE STANDARDS AND MANUFACTURER'S INSTRUCTIONS REFERENCED IN THE CONTRACT DOCUMENTS SHALL BE THE LATEST EDITION.
- DETAILS SELECTION ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYPICAL" IMPLY ALL CONDITIONS TREATED SIMILARLY. MODIFICATIONS TO BE MADE BY CONTRACTOR TO ACCOMMODATE MINOR VARIATIONS.
- ALL DRAWINGS SHALL BE FULLY COORDINATED BY CONTRACTOR TO VERIFY ALL DIMENSIONS, LOCATE COMPRESSED SLABS, SLOPES, DRAINS, RECESSES, REGLETS, BOLT SETTINGS, SLEEVES, ETC.
- THE CONTRACTOR SHALL VERIFY AND PROTECT ALL SERVICE LINES AND EXISTING SITE AREA FROM DETERIORATION OR DAMAGE.
- THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES, TECHNIQUES OR THE FAILURE OF THE BUILDER TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWINGS OR THE REQUIRED CODES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY BUILDING PERMITS.
- CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENT OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/OR FABRICATIONS OF THE WORK.
- THE CONTRACTOR AND SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE SUFFICIENTLY IN ADVANCE OF WORK TO BE PERFORMED, TO ASSURE THE ORDERLY PROGRESS OF THE WORK.
- CONTRACTORS SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVERSPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.
- ALL MANUFACTURER'S PRINTED WARNINGS FOR HANDLING OF PRODUCTS MUST BE STRICTLY OBSERVED. THE WORDS "OR EQUAL" ARE TO BE ASSUMED WHENEVER A SPECIFIC MANUFACTURER IS NOTED. HOWEVER, THE CONSTRUCTION MANAGER MUST APPROVE ALL SUBSTITUTIONS.
- THE CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES WITHOUT WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER.

GENERAL ARCHITECTURAL NOTES:

- INTERIOR WALLS AND CEILING FINISH AND TRIM SHALL BE OF THE CLASS IN ACCORDANCE WITH FLAME SPREAD RATINGS AS FOLLOWS: CLASSIFICATION FLAME SPREAD RATING SMOKE DEVELOPED CLASS 10 TO 25 100 INSTITUT⁺ RESIDENTIAL CLASS 226 TO 75 450 BUSINESS, INDUSTRIAL, STORAGE CLASS 316 TO 266 450 FLOOR COVERINGS SHALL BE USED IN ACCORDANCE WITH THE CRITICAL RADIANT FLUX CHARACTERISTICS AS FOLLOWS: CLASSIFICATIONS CRITICAL RADIANT FLUX:
 - 0.45 WATTS/SQUARE CM
 - 0.22 TO 0.44 WATTS/SQUARE CM
- ALL DOORS SHALL REMAIN KEYLESS IN THE DIRECTION OF EGRESS.
- ALL GLAZED DOORS, ANY GLAZED PANEL MORE THAN 18" IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR, AND ANY GLAZED PANEL LESS THAN 24" ABOVE THE FLOOR SHALL BE GLAZED WITH SAFETY GLAZING MATERIALS.
- INSTALL APPROVED CARBON MONOXIDE DETECTORS WITHIN 400' OF EVERY BEDROOM, OR MIN. OF ONE ON EVERY LEVEL, OR IN THE ROOM CONTAINING A CENTRAL HEATING UNIT.
- INSTALL APPROVED SMOKE DETECTORS WITHIN 150' OF EVERY BEDROOM, MIN. OF ONE EVERY LEVEL, AND AT TOP OF EVERY STAIR.

SPECIAL NOTICE:

THE ARCHITECT IS NOT SUPERVISING THE CONSTRUCTION OF THIS BUILDING. THEREFORE, THE USE OF THESE DRAWINGS BY THE OWNER OR ANY CONTRACTOR, SUBCONTRACTOR, BUILDER, TRADESMAN OR WORKMAN SHALL CONSTITUTE AND HOLD HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO THE CONSTRUCTING MEANS, METHODS, TECHNIQUES, SEQUENCE OR PROCEDURES AND FOR ANY SAFETY PRECAUTION OR PROGRAMS IN CONNECTION WITH THE WORK. FURTHER, THE ARCHITECT SHALL BE HELD HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO ANY COSTS OR PROBLEMS ARISING FROM THE NEGLIGENCE OF THE CONTRACTOR, SUBCONTRACTOR, BUILDER, TRADESMAN OR WORKMAN, OR FOR THEIR FAILURE TO COMPLY WITH THESE PLANS AND SPECIFICATIONS.

SPECIAL SAFETY NOTE:

ALL CONTRACTORS, SUBCONTRACTOR AND THEIR REPRESENTATIVES AND/OR EMPLOYEES WORKING ON THIS PROJECT SHALL, AT ALL TIME PRIOR AND DURING THE COURSE OF THEIR ACTIVITY, BE RESPONSIBLE FOR THEIR OWN SAFETY AND THAT OF THEIR EMPLOYEES AS WELL AS OTHERS AND FOR THE SAFETY OF THE PROPERTY. ALL CONTRACTORS, SUBCONTRACTORS AND THEIR REPRESENTATIVES AND EMPLOYEES SHALL ASCERTAIN THAT THE CONDITIONS UNDER WHICH THEY WILL BE REQUIRED TO ACCOMPLISH THEIR WORK ARE SAFE AND MEET ALL REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HAZARD ACT AND INDICATE SATISFACTION CONCERNING SAFETY AND TAKE SUCH ACTION AS NECESSARY TO RENDER THE JOB - SITE SAFE IF THE WORK OF ANY PARTIES IS UPON INSPECTION FOUND AT ANY TIME TO BE UNSAFE. THE CONTRACTOR OR SUBCONTRACTOR, ARCHITECT AND OWNER, EACH CONTRACTOR AND SUBCONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY ACCIDENTS AND/OR DAMAGES CAUSED BY SUCH CONTRACTOR OR SUBCONTRACTOR. THE COMMENCEMENT OF WORK BY ANY CONTRACTOR OR SUBCONTRACTOR SHALL INDICATE ACKNOWLEDGMENT OF THESE REQUIREMENTS.

CONCRETE NOTES:

- ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE WITH MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
- ALL REINFORCED CONCRETE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE CURRENT ACI-318 - BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- FOR ALL FOUNDATION WALLS, FOOTINGS AND SLABS CONCRETE SHALL BE 6 BAG MAXIMUM.
- IN ON-GRADE CONCRETE SLABS THE WUF. REINFORCEMENT SHALL BE LOCATED MIDWAY IN THE SLAB THICKNESS.
- ALL EXTERIOR CONCRETE TO BE AIR-ENTRAINED.
- PROVIDE CONCRETE REINFORCING BARS AT LOCATIONS SHOWN ON DRAWINGS.
- PROVISIONS MUST BE TAKEN TO PROTECT ALL CONCRETE WORK FROM FROST DAMAGE WITH SPECIAL ATTENTION PAID TO FOOTINGS AND OTHER ON-GRADE CONSTRUCTION PRIOR TO BACKFILLING AND ENCLOSING THE BUILDING.
- ANCHOR BOLTS SHALL BE 1/2" DIAMETER MINIMUM AND 8" LONG. PLACEMENT OF ANCHOR BOLTS SHALL BE 12" FROM PLATE END, 4" - 0" O.C. MAXIMUM INTERMEDIATE SPACING. MINIMUM 2 BOLTS PER SILL PLATE SECTION. APPROVED STRAP ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLT METHOD.

GENERAL STRUCTURAL NOTES:

GOVERNING CODES AND SPECIFICATIONS:

- CABO- 1 & 2 FAMILY DWELLING CODE

DESIGN LOADINGS:

LIVE LOADS: Roof.....30 psf + SNOW DRIFTING
Floors.....40 psf
WIND LOADS: Main wind force resisting system.....20 psf
Components / Cladding.....30 psf
Uplift.....40 psf
FOUNDATION SURCHARGE: Lateral soil pressure.....30 psf

EXISTING CONDITIONS:

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SIZES, DIMENSIONS AND CONDITIONS AS SHOWN ON THE DRAWINGS.
- ALL EXISTING SIZES ARE TO BE CONSIDERED AS ASSUMPTION AND ARE OFFERED ONLY AS A REPRESENTATION OF THE TYPE OF CONSTRUCTION WHICH MAY BE ENCOUNTERED IN THE COURSE OF THE WORK, BUT NOT NECESSARILY THE ACTUAL SIZES OF CONDITIONS. IF CONDITIONS IN THE FIELD ARE DIFFERENT FROM WHAT IS SHOWN ON THE DRAWINGS, NOTIFY ARCHITECT/ENGINEER IMMEDIATELY.

DEMOLITION AND SHORING:

- BUILDING STRUCTURAL AREAS WHICH ARE TO BE REMOVED, SHALL BE DONE IN A MANNER WHICH SHALL MAINTAIN THE STABILITY OF THE STRUCTURE, AND SHALL ALLOW THE STRUCTURE TO REMAIN IN A SAFE CONDITION.
- CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR THE DESIGN AND INSTALLATION OF ALL TEMPORARY SHORING WHICH IS TO BE USED.

BACKFILLING:

- ALL BACKFILL MATERIALS ALONG FOUNDATION WALLS AND UNDER SLABS ON GRADE SHALL BE FREE DRAINING AND SUBJECT TO THE REVIEW OF THE ARCHITECT/ENGINEER.
- BACKFILLING SHALL BE DONE EVENLY ON BOTH SIDES OF FOUNDATION WALLS, EXCEPT THAT FOR BASEMENT WALLS, BACKFILL MATERIAL SHALL BE PLACED AFTER THE INSTALLATION OF THE FIRST FLOOR FRAMING AND CONCRETE BASEMENT SLAB OR WHILE BEING TEMPORARILY BRACED UNTILL FIRST FLOOR INSTALLATION.
- RETAINING WALLS SHALL BE BACKFILLED ONLY AFTER HAVING REACHED THEIR DESIGN STRENGTH OR WHILE BEING TEMPORARILY BRACED.

ALLOWABLE SOIL BEARING PRESSURE:

- ALL FOUNDATION HAVE BEEN DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 3000 psi. IF FOR ANY REASON THE INDICATED BEARING ALLOWABLE IS NOT ATTAINABLE AT ELEVATIONS SHOWN ON THE DRAWINGS, THE ARCHITECT/ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- BEARING SHALL BE ON VIRGIN UNDISTURBED SOILS OR IF FILL IS REQUIRED, IT SHALL BE APPROVED FOR USE BY AN APPROVED TESTING LABORATORY, AND SHALL BE COMPACTED IN ACCORDANCE WITH APPROPRIATE ASTM STANDARDS, TO OBTAIN THE REQUIRED ALLOWABLE BEARING PRESSURE.

CONCRETE AND REINFORCEMENT:

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE "AMERICAN CONCRETE INSTITUTE BUILDINGS CODE" (ACI 318) AND WITH " SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING " (ACI 308), LATEST EDITIONS.
- ALL CONCRETE SHALL ATTAIN A 28 DAY ULTIMATE COMPRESSIVE STRENGTH UNLESS OTHERWISE NOTED BELOW:
FOOTINGS, FOUNDATION WALLS, PIERS.....3000 psi NORMAL WEIGHT
SLABS-ON-GRADE.....4000 psi NORMAL WEIGHT
- REINFORCEMENT GRADES, BARS REINFORCEMENT SHALL CONFORM TO ASTM A 615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185.
- CALCIUM CHLORIDE, OR ADMIXTURES CONTAINING SAME, SHALL NOT BE PERMITTED IN ANY CONCRETE.
- ALL CONCRETE SUBJECTED TO FREEZE-THAW SHALL BE 5% AIR ENTRAINED.

MASONRY:

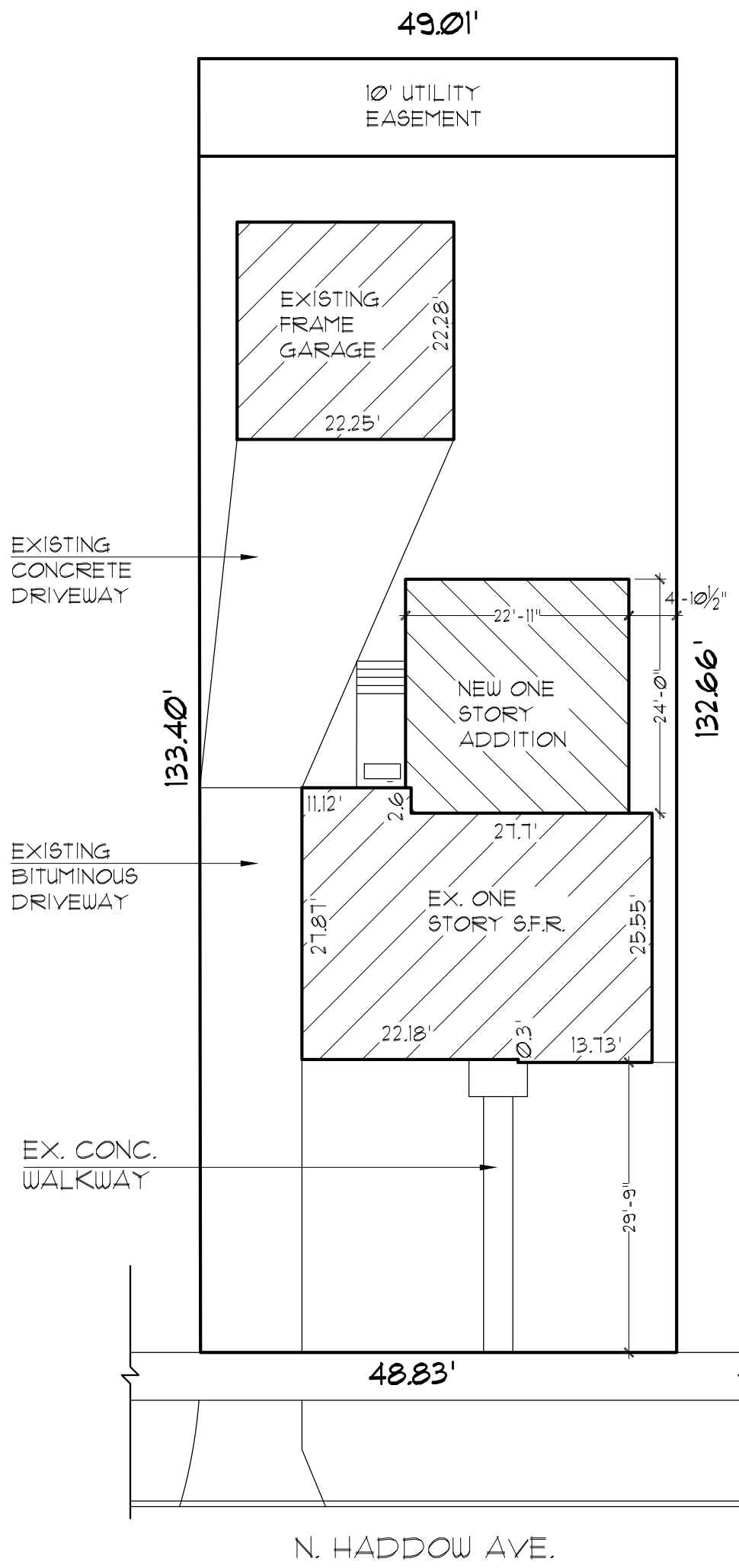
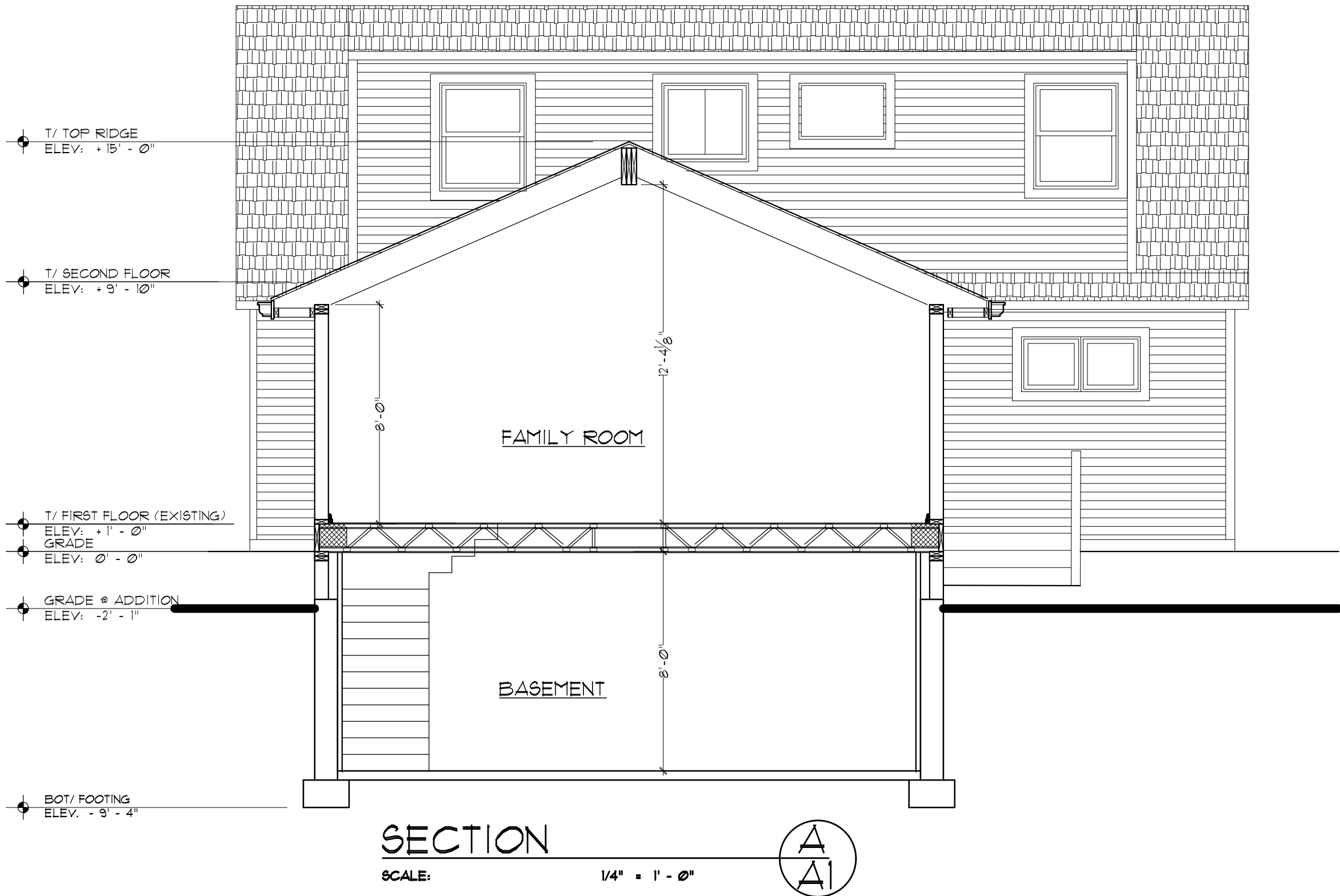
- ALL MASONRY CONSTRUCTION TO COMPLY WITH "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACI 530) AND "BUILDING CODE REQUIREMENTS FOR ENGINEERED BRICK MASONRY" (BIA 196).
- MASONRY MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING ASTM SPECIFICATIONS:
BRICK: ASTM C62 (COMMON BRICK) AND C716 (FACE BRICK). MINIMUM COMPRESSIVE STRENGTH = 5000 PSI, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
HOLLOW AND SOLID LOAD BEARING CONCRETE BLOCK: ASTM C90, GRADE N, fm = 1000 PSI, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
MORTAR: ASTM C710 TYPE S WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH = 1800 PSI.
GROUT TO CONFORM TO ASTM C416 WITH 2500 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
MASONRY REINFORCEMENT: ASTM A2 - GALVANIZED.
- CALCIUM CHLORIDE AND/OR ADMIXTURES CONTAINING SAME SHALL NOT BE INCLUDED IN MORTAR OR GROUT MIX.
- NO EXTERIOR MASONRY SHALL BE LAID WHEN THE OUTSIDE AIR TEMPERATURE IS LESS THAN 40°F, UNLESS THE RECOMMENDATIONS SPECIFIED BY THE INTERNATIONAL MASONRY INDUSTRY ALL-WEATHER COUNCIL IN THE BOOK "RECOMMENDED PRACTICES AND GUIDE SPECIFICATIONS FOR COLD WEATHER MASONRY CONSTRUCTION" ARE STRICTLY FOLLOWED.
- MASONRY WALLS SHALL BE ADEQUATELY BRACED AGAINST WIND LOAD OF 20 PSI DURING THEIR ERECTION, AND UNTIL THEIR DESIGN SUPPORTS ARE IN PLACE.

WOOD:

- ALL WOOD CONSTRUCTION TO COMPLY WITH "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION"
- ALL FRAMING MEMBERS SHALL BE HEM-FIR OR SPRUCE-PINE-FIR UNLESS NOTED OTHERWISE, OF THE FOLLOWING GRADES:
JOISTS AND RAFTERS.....No. 2
TIMBERS.....No. 1
STUDS.....51UD
- ML DENOTES MICRO LAM (ENGINEERED WOOD). ML TO HAVE Fb+2.6 KSI, E+1800 KSI MIN.
- PARALLAM (ENGINEERED WOOD) TO HAVE Fb+2.9 KSI, E+2000 KSI MIN.
- ROOF SHEATING TO BE 5/8" THICK PLYWOOD APA STRUCTURAL I BLOCKED AT ALL EDGES AND NAILED AT ALL EDGES WITH 8d NAILS AT 6" ON CENTERS AND AT 12" ON CENTERS AT ALL INTERMEDIATE ROOF RAFTERS, TYP. UNO.
- ALL NAILING AND FASTENING TO BE PER APPLICABLE CODES, TYP. UNO.

COORDINATION:

- ALL DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE CHECKED BY THE GENERAL CONTRACTOR, AND ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ARCHITECT/ENGINEER.
- THE INFORMATION CONTAINED ON THE STRUCTURAL DRAWINGS IS IN ITSELF, INCOMPLETE AND VOID UNLESS USED IN CONJUNCTION WITH THE CONTRACT DOCUMENTS AND ALL SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE.
- THE STRUCTURAL ENGINEER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL OR SUB-CONTRACTOR, OR THOSE WORKING IN SUCH CAPACITIES IN THE METHODS USED IN THE EXECUTION OF THE WORK, AND SAFETY PRECAUTIONS OR LACK THEREOF, TAKEN AT THE PROJECT SITE.
- THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED.



CODES:

- INTERNATIONAL BUILDING CODE - 2009
- INTERNATIONAL RESIDENTIAL CODE - 2009
- NATIONAL ELECTRIC CODE - 2005
- ILLINOIS PLUMBING CODE - 2004
- ILLINOIS ACCESSIBILITY CODE - 1991
- INTERNATIONAL MECHANICAL CODE - 2009
- ILLINOIS FUEL GAS CODE - 2009
- INTERNATIONAL ENERGY CONSERVATION CODE - 2009
- INTERNATIONAL PROPERTY MAINTENANCE CODE 2009
- INTERNATIONAL FIRE CODE 2009
- ILLINOIS FUEL GAS CODE - 2009
- INTERNATIONAL URBAN-WILDLAND CODE 2009.

INDEX OF DRAWINGS

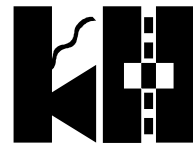
- A-1 SITE PLAN/NOTES
- A-2 DEMOLITION PLANS, ROOF PLAN, SECTION
- A-3 FLOOR PLANS
- A-4 ELEVATIONS
- M-1 MECHANICAL PLANS
- M-2 MECHANICAL NOTES AND DETAILS
- P-1 PLUMBING RISER DIAGRAMS
- E-1 ELECTRICAL PLANS

A COPY OF APPROVED PLANS SHALL BE KEPT ON THE SITE OF THE BUILDING OR WORK AT THE TIME OF INSPECTION.

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED UNDER MY SUPERVISION, AND TO THE BEST OF MY BELIEF THEY COMPLY WITH ZONING AND BUILDING ORDINANCES OF THE VILLAGE OF NORRIDGE

Kasia Halberg 01-26-2011
KASIA HOCHBERG DATE
ILLINOIS LICENSE # 001-0159000

FIELD VERIFICATION
CONTRACTOR SHALL VERIFY ALL FIGURED DIMENSION AND CONDITIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OF FABRICATING ANY WORK. DO NOT SCALE THESE DRAWINGS.



KASIA HOCHBERG ARCHITECT
KASIA HOCHBERG
LINCOLNWOOD, ILLINOIS 60120
Tel. 312/719-3724
Email: kasiahochberg@comcast.net

One Story Addition
for Joe and Kate Murray
at 935 N. Hadow Ave. - Arlington Heights, IL

REV.	DATE	DESCRIPTION

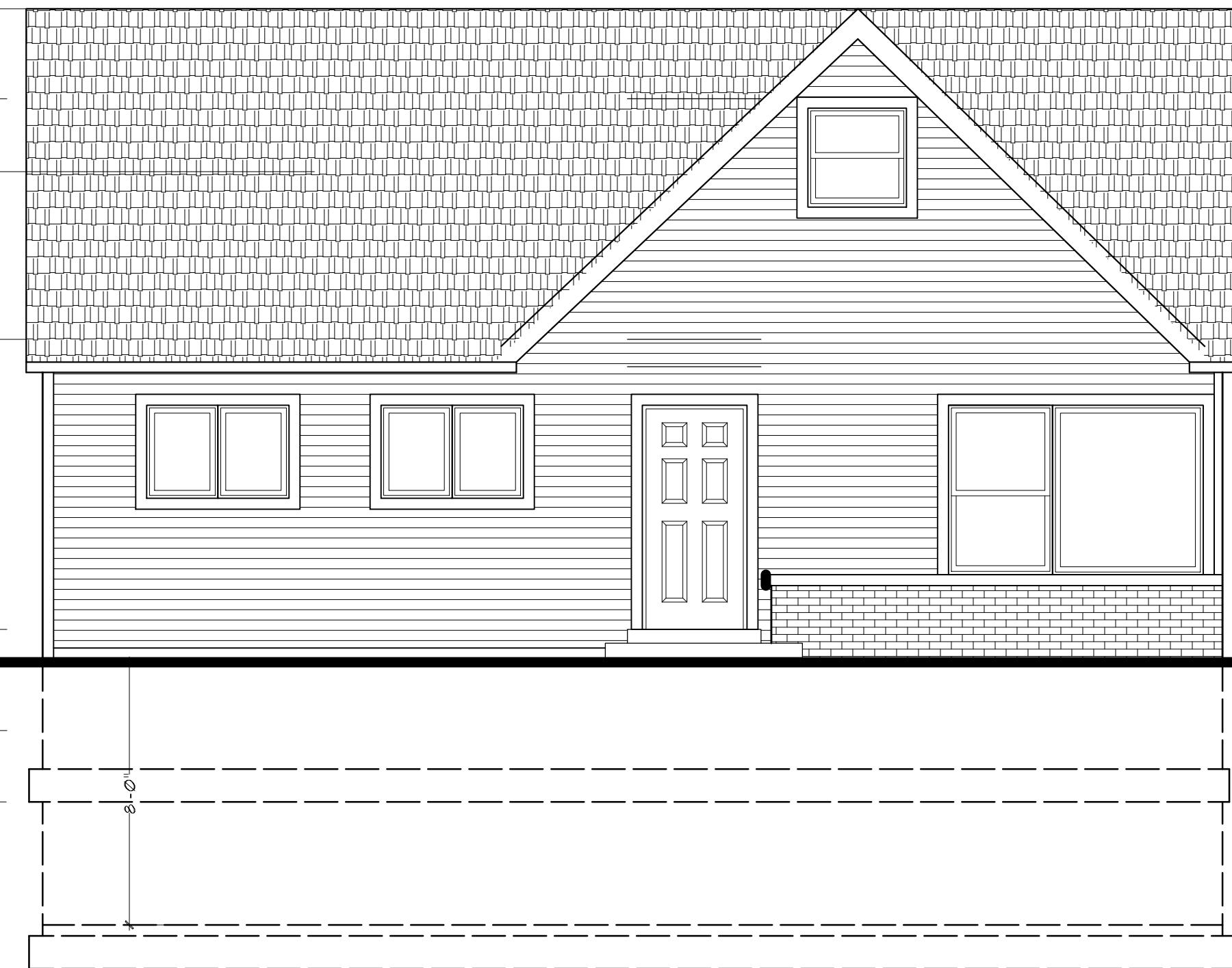
DATE	DRAWN BY	CHECKED	ARCHITECT
08-01-2016	K.H.	K.H.	KASIA HOCHBERG

JOB NUMBER
16 - 124
SHEET NUMBER
A-1

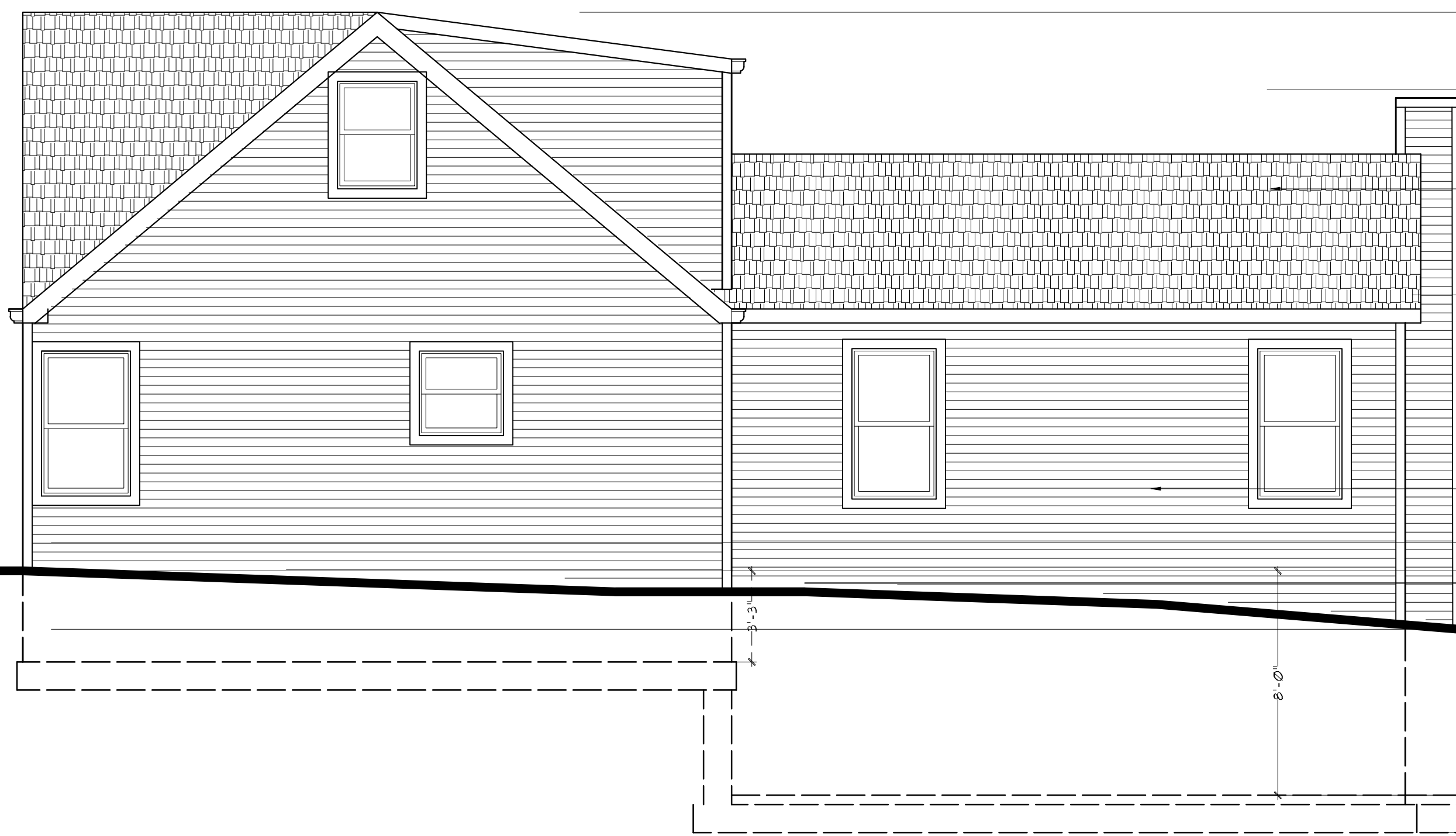


NORTH ELEVATION
SCALE: 1/4" = 1' - 0"

- T/ TOP RIDGE
ELEV.: +19' - 11"
- T/ TOP PLATES
ELEV.: +11' - 2"
- T/ TOP RIDGE
ELEV.: +15' - 0"
- ASPHALT SHINGLES
- T/ SECOND FLOOR (EXISTING)
ELEV.: +9' - 10"
- T/ FIRST FLOOR (EXISTING)
ELEV.: +1' - 0"
- GRADE
ELEV.: 0' - 0"
- GRADE & ADDITION
ELEV.: -2' - 1"
- BOT/ EX. FOOTING
ELEV.: -4' - 3"
- BOT/ FOOTING
ELEV.: -9' - 8"

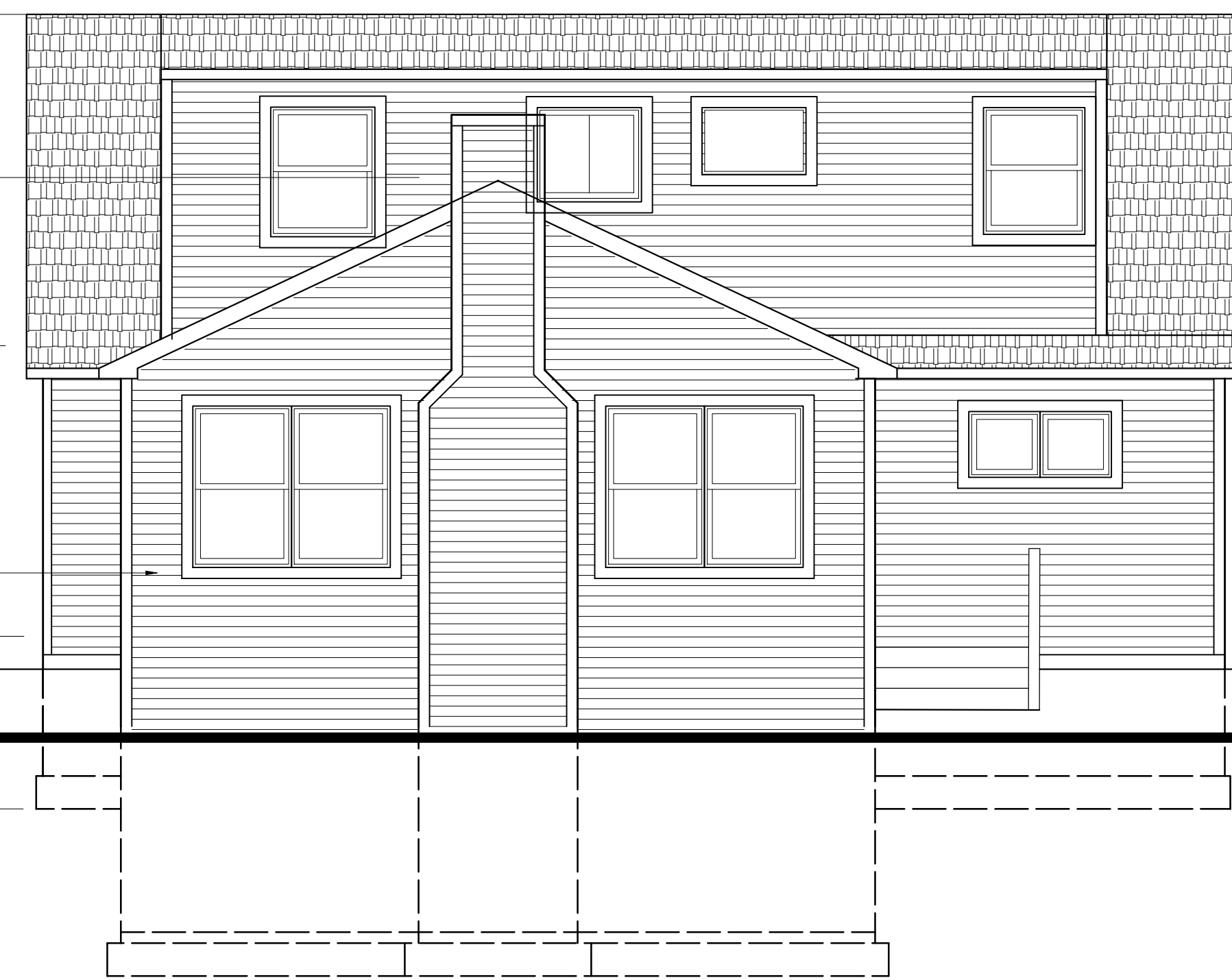


WEST ELEVATION
SCALE: 1/4" = 1' - 0"

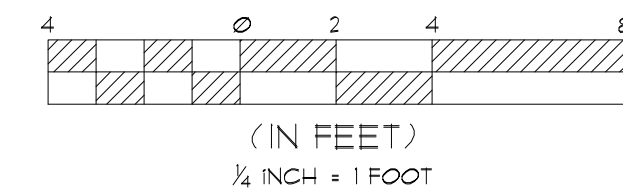


SOUTH ELEVATION
SCALE: 1/4" = 1' - 0"

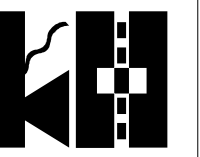
- T/ TOP RIDGE
ELEV.: +19' - 11"
- T/ TOP PLATES
ELEV.: +11' - 2"
- T/ TOP RIDGE
ELEV.: +15' - 0"
- ASPHALT SHINGLES
- T/ SECOND FLOOR
ELEV.: +9' - 10"
- 4" VINYL SIDING (TYP.)
- T/ FIRST FLOOR (EXISTING)
ELEV.: +1' - 0"
- GRADE
ELEV.: 0' - 0"
- GRADE & ADDITION
ELEV.: -2' - 1"
- BOT/ EX. FOOTING
ELEV.: -4' - 3"
- BOT/ FOOTING
ELEV.: -9' - 4"



EAST ELEVATION
SCALE: 1/4" = 1' - 0"



FIELD VERIFICATION
CONTRACTOR SHALL VERIFY ALL FIGURED DIMENSION
AND CONDITIONS AT THE JOB SITE AND NOTIFY THE
ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS
OR DISCREPANCIES BEFORE BEGINNING OF
FABRICATING ANY WORK. DO NOT SCALE THESE
DRAWINGS.



KASIA HOCHBERG ARCHITECT
KASIA HOCHBERG
LINCOLNWOOD, ILLINOIS 60112
Tel. 312/719-3724
Email: kasiahochberg@comcast.net

One Story Addition
for Joe and Kate Murray
at 935 N. Haddon Ave. - Arlington Heights, IL

ELEVATIONS

DATE	DRAWN BY	CHECKED	ARCHITECT
08-07-2016	K.H.	K.H.	KASIA HOCHBERG

REV. #	DATE	DESCRIPTION
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JOB NUMBER
16 - 124
SHEET NUMBER
A = 4



Item: 1301 N. Illinois Ave. - ZBA#17-062

Department: Planning & Community Development

REQUEST

A variation from Chapter 28 Section 5.1-3.4 Minimum Lot Size and Section 5.1-3.5 Minimum Lot Width and 5.3-1.1 Table Minimum Lot Width and Size to allow a lot width of 85.0 feet whereas 90 feet is required and lot size of 8,915 square feet whereas 9,900 square feet is required.

ATTACHMENTS:

Description

Supporting Documents

Type

Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: January 8, 2018
Date Prepared: January 2, 2018
Project Title: 1301 N. Illinois Ave.
Address: 1301 N. Illinois Ave.

Background Information

Petition Number: ZBA #17-062
Petitioner: Ella Sander – Trident Development & Construction
Address: 600 Northgate Pkwy. #C
Wheeling, IL 60090
Existing Zoning: R-3, Single-Family Residential District

Requested Action/Background Information

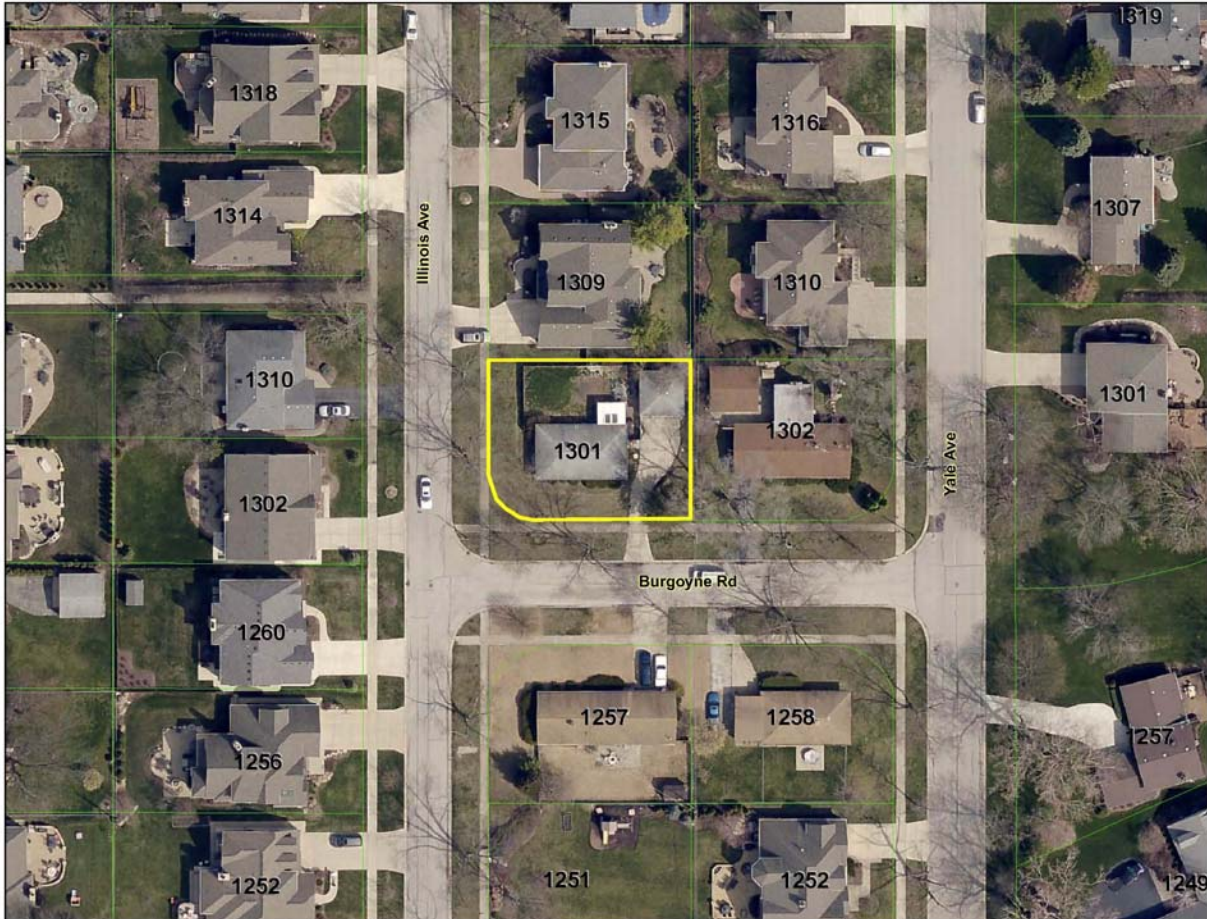
The petitioner proposes to tear down the existing ranch home and construct a new home. The proposal is before the Zoning Board of Appeals because of the substandard lot width and area. Sections 5.1-3.4 and 5.1-3.5 of the Zoning Code set forth minimum lot size and width requirements for the R-3 District. As part of Section 5.1-3.4, the Director of Building is authorized to issue permits for structures on lots that are less than the minimum area and width requirements if the majority of the frontage on which the property is located is developed with lots that are below the minimum district requirements. The majority of the lots comply or exceed the code requirement for both lot width and area; therefore, in order for the petitioner to construct the new home, variations for lot width and lot size are required. The proposed lot width is 85.0 feet whereas 90 feet is required and the proposed lot area is 8,915 square feet whereas 9,900 square feet is required. The petitioner requests a variation for lot width and area in order to make the subject property a buildable lot.

- **A variation from Chapter 28 Section 5.1-3.4 Minimum Lot Size and Section 5.1-3.5 Minimum Lot Width and 5.3-1.1 Table Minimum Lot Width and Size to allow a lot width of 85.0 feet whereas 90 feet is required and lot size of 8,915 square feet whereas 9,900 square feet is required.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	12/20/17	
2. List of Property Owners Within 250 feet of Subject Property	✓	12/20/17	
3. Letter that was Mailed	✓	12/20/17	
4. Photographs of Sign on Property	✓	12/20/17	

Photographs of Existing Structure



ZBA# 17-062
1301 N Illinois Ave - ZBA
Rev. Eng: Nanci Julius, P.E.
cc: James J. Massarelli, P.E. Director of Engineering

Submitted: December 15, 2017
Completed: December 19, 2017

The proposed ZBA application indicates that the petitioner is seeking:

A variation to allow a lot width of 85 ft whereas 90 ft is required, and lot size of 8,915 sq ft whereas 9,000 sq ft is required:

NOTE: This is an established subdivision with a SFR that will be demolished and a new home constructed. The lot size is existing and the petitioner is not requesting any other variances.

The Engineering Department has NO OBJECTION to the proposed variances.

RECEIVED

DEC 20 2017

**PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT**



Village of Arlington Heights Building & Life Safety Department

Interoffice Memorandum

To: Derek Mach, Zoning Board of Appeals Liaison

From: Deb Pierce, Plan Reviewer, Building & Life Safety Department

Project Name: Trident Development

Project Address: 1301 N Illinois Ave

ZBA #: 17-062

Date: December 18, 2017

Derek:

I have reviewed the request for the following variances:

- To allow a lot width of 85.0 feet where 90 feet is required;
- To allow a lot size of 8,915 square feet where 9,900 square feet is required;

and, have no objections to the variances.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: Trident Development

Project Address: 1301 N. Illinois Avenue

ZBA #: 17-062

ZBA Hearing Date: January 8th, 2018

To: Jim Massarelli, Director of Engineering
Steven Touloumis, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: December 15th, 2017

- A variation from Chapter 28 Section 5.1-3.4 Minimum Lot Size and Section 5.1-3.5 Minimum Lot Width and 5.3-1.1 Table Minimum Lot Width and Size to allow a lot width of 85.0 feet whereas 90 feet is required and lot size of 8,915 square feet whereas 9,900 square feet is required.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: A DESIGN COMMISSION APPLICATION IS REQUIRED TO BE SUBMITTED FOR REVIEW. OVERALL, THE DESIGN IS NICELY DONE AND FAVORABLE FOR AN ADMINISTRATIVE APPROVAL.

Please review, comment, and return to me no later than Thursday, December 28th, 2017.

-STEVE HAUTZINGER, DESIGN PLANNER

PETITION

NOW COMES the Petitioner, Trident Development & Construction, Inc

being the representative of the owner of the property commonly know as:

1301 N. Illinois Ave, Arlington Heights, IL 60004

appeals to the Zoning Board of Appeals of the Village of Arlington Heights for Variation from

Section 5.1 – 3.5, Chapter 28, of Arlington Heights Municipal Code, in order to:

Build new home on a substandard lot.

I hereby state that the following hardship would exist if the variation were not granted:

Existing house is a very old small outdated construction in a condition that is not possible to improve according today standards and codes.

I hereby state that the following unique circumstances exist:

It is an established subdivision with existing lots.

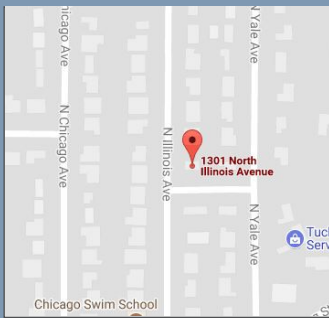
I hereby that the variation, if granted, will not alter the essential character of the locality because:

As of today a lot of new houses were built around. New home is going to bland in and bring beautiful outlook and increase the value of the neighborhood.



12-7-17

Trident Development & Construction, Inc



PROPERTY ADDRESS: 1301 N ILLINOIS AVENUE, ARLINGTON HEIGHTS, ILLINOIS 60004

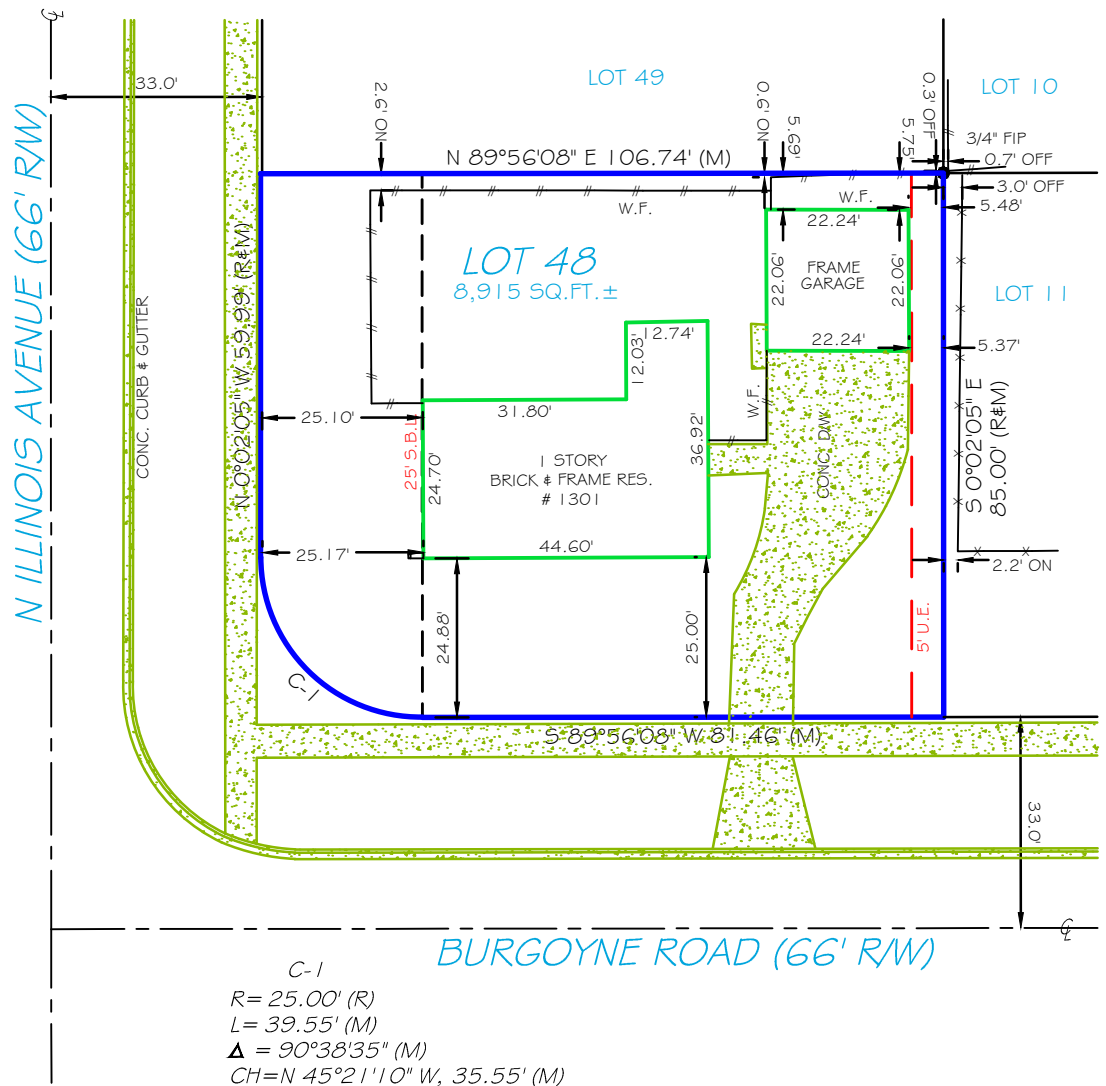
SURVEY NUMBER: 1711.2212

FIELD WORK DATE: 11/24/2017

REVISION DATE(S): (REV: 11/30/2017)

17112212
BOUNDARY SURVEY
COOK COUNTY

LOT 48 IN RAYMOND L. LUTGERT'S SUBDIVISION OF THE WEST 78 ACRES OF THE SOUTHWEST 1/4 OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPT THE SOUTH 25 FEET THEREOF) IN COOK COUNTY, ILLINOIS.

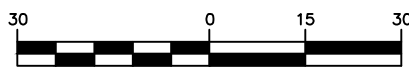


STATE OF ILLINOIS } SS
COUNTY OF DU PAGE

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS 30TH DAY OF NOVEMBER, 2017 AT 312 S. HALE STREET IN WHEATON, IL 60187.

Warren D. Johnson

ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971
LICENSE EXPIRES 11/30/2018
EXACTA LAND SURVEYORS LB# 5763



GRAPHIC SCALE (In Feet)
1 inch = 30' ft.



THE ABOVE SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE NUMBER IN THE BOTTOM RIGHT CORNER.

CLIENT NUMBER:

DATE: 11/30/2017

BUYER:

SELLER:

CERTIFIED TO:

This is page 1 of 2 and is not valid without all pages.

POINTS OF INTEREST
NONE VISIBLE

Exacta Proudly Supports

THE **cara** PROGRAM
transforming lives...

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Since 1991, The Cara Program has placed more than 4,800 motivated adults into more than 6,600 quality jobs, catalyzing the same number of families to stop the transfer of poverty from one generation to the next.

EXACTA ILLINOIS SURVEYORS, INC.

316 East Jackson Street, Morris, IL 60450
LB# 184005763 | P: 773.305.4010 | F: 773.305.4011

Please Remit Payment To: 2132 E9th St | Suite 310, Cleveland, OH 44115

LEGAL DESCRIPTION:

LOT 48 IN RAYMOND L. LUTGERT'S SUBDIVISION OF THE WEST 78 ACRES OF THE SOUTHWEST 1/4 OF SECTION 19, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPT THE SOUTH 25 FEET THEREOF) IN COOK COUNTY, ILLINOIS.

JOB SPECIFIC SURVEYOR NOTES:

GENERAL SURVEYOR NOTES:

The legal description used to perform this survey was supplied by others. The survey does not determine or imply ownership. This survey only shows improvements found above ground. Underground footings, utilities, and encroachments are not located on this survey map. If there is a septic tank, well or drain field on this survey, the location of such items was shown to us by others and are not verified. This survey is exclusively for the use of the parties to whom it is certified. Any additions or deletions to this 2-page survey document are strictly prohibited. Dimensions are in feet and decimals thereof. Due to varying construction standards, house dimensions are approximate. Any FEMA flood zone data contained in this survey is for informational purposes only. Research to obtain such data was performed at www.fema.gov. All pins marked as set are 5/8 diameter, 18" iron rebar. An examination of the abstract of title was not performed by the signing surveyor to determine which instruments, if any, are affecting this property. Points of Interest (POI's) are selected above-ground improvements which may be in conflict with boundary, building setback, or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor. These POI's may not represent all items of interest to the viewer. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements. The information contained in this survey has been performed exclusively and is the sole responsibility of, Exacta Illinois Surveyors, Inc. Additional logo or references to third party firms are for informational purposes only. House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity. Surveyor bearings are used for angular reference and are used to show angular relationships of lines only and are not related or orientated to true or magnetic north. Bearings are shown as surveyor bearings, and when shown as matching those on the subdivision plats on which this survey is based, they are to be deemed no more accurate as the determination of a north orientation made on and for those original subdivision plats. North 0 degrees east is assumed and upon preparation of this plat, the resulting bearing between found points as shown on this survey is the basis of said surveyor bearings as defined and required to be noted by illinois administrative code title 68, chapter 12, sub-chapter b, part 1270, section 1270.56, paragraph b, subparagraph 6, item k.

LEGEND:

LINETYPES: (UNLESS OTHERWISE NOTED)	
BOUNDARY LINE	IRON FENCE
STRUCTURE	OVERHEAD LINES
CENTERLINE	ON-ON
CHAIN-LINK or WIRE FENCE	SURVEY TIE LINE
EASEMENT	WALL OR PARTY WALL
EDGE OF WATER	WOOD FENCE
	VINYL FENCE

SURVEYOR'S LEGEND

SURFACE TYPES: (UNLESS OTHERWISE NOTED)	
ASPHALT	BRICK or TILE
CONCRETE	COVERED AREA
WATER	WOOD

SYMBOLS: (UNLESS OTHERWISE NOTED)	
BENCH MARK	FIRE HYDRANT
CENTERLINE	FIND OR SET MONUMENT
CENTRAL ANGLE or DELTA	GUYWIRE OR ANCHOR
COMMON OWNERSHIP	MANHOLE
CONTROL POINT	TREE
CONCRETE MONUMENT	UTILITY OR LIGHT POLE
CATCH BASIN	WELL
ELEVATION	

(C)	CALCULATED
(D)	DEED
(F)	FIELD
(M)	MEASURED
(P)	PLAT
(R)	RECORD
(S)	SURVEY
A.S.B.L.	ACCESSORY SETBACK LINE
A/C	AIR CONDITIONING
B.C.	BLOCK CORNER
B.F.P.	BACKFLOW PREVENTOR
B.R.	BEARING REFERENCE
B.R.L.	BUILDING RESTRICTION LINE
B/W	BAY/BOX WINDOW
BLDG.	BUILDING
BLK.	BLOCK
BM	BENCHMARK
BSMT.	BASEMENT
C	CURVE
C.B.	CONCRETE BLOCK
C.L.F.	CHAIN LINK FENCE
C.O.	CLEAN OUT
C.V.G.	CONCRETE VALLEY GUTTER
C/L	CENTER LINE
C/P	COVERED PORCH
C/S	CONCRETE SLAB
CATV	CABLE TV RISER
CH	CHORD BEARING
CHIM.	CHIMNEY
CONC.	CONCRETE
COR.	CORNER
CS/W	CONCRETE SIDEWALK
D.F.	DRAIN FIELD
D.H.	DRILL HOLE
D/W	DRIVEWAY

E.O.W.	EDGE OF WATER
ELEV.	ELEVATION
EM	ELECTRIC METER
ENCL.	ENCLOSURE
ENT.	ENTRANCE
EUB	ELECTRIC UTILITY BOX
F.F.	FINISHED FLOOR
F.O.P.	EDGE OF PAVEMENT
F/DH	FOUND DRILL HOLE
FCM	FND. CONCRETE MONUMENT
FIP	FOUND IRON PIPE
FIPC	FOUND IRON PIPE & CAP
FIR	FOUND IRON ROD
FIRC	FOUND IRON ROD & CAP
FN	FOUND NAIL
FN&D	FOUND NAIL AND DISC
FND.	FOUND
FPM	FOUND PARKER-KALON NAIL
FPM&D	FOUND PK NAIL & DISC
FRRSK	FOUND RAILROAD SPIKE
GAR.	GARAGE
GM	GAS METER
ID.	IDENTIFICATION
ILL.	ILLEGIBLE
INST.	INSTRUMENT
INT.	INTERSECTION
L	LENGTH
LB#	LICENSE # - BUSINESS
LS#	LICENSE # - SURVEYOR
M.B.	MAP BOOK
M.E.S.	MITERED END SECTION
M.F.	METAL FENCE
MES	MITERED END SECTION
MH	MANHOLE
N.R.	NON RADIAL

N.T.S.	NOT TO SCALE
NAVD88	NORTH AMERICAN VERTICAL DATUM OF 1988
NGVD29	NATIONAL GEODETIC VERTICAL DATUM OF 1929
O.C.S.	ON CONCRETE SLAB
O.G.	ON GROUND
O.R.B	OFFICIAL RECORD BOOK
O.R.V.	OFFICIAL RECORD VOLUME
O/A	OVERALL
O/S	OFFSET
OFF	OUTSIDE OF SUBJECT PARCEL
OH.	OVERHANG
OHL	OVERHEAD LINES
ON	INSIDE OF SUBJECT PARCEL
P.B.	PLAT BOOK
P.C.	POINT OF CURVATURE
P.C.C.	POINT OF COMPOUND CURVATURE
P.C.P.	PERMANENT CONTROL POINT
P.I.	POINT OF INTERSECTION
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
P.P.	PINCHED PIPE
P.R.C.	POINT OF REVERSE CURVATURE
P.R.M.	PERMANENT REFERENCE MONUMENT
P.T.	POINT OF TANGENCY
P/E	POOL EQUIPMENT
PG.	PAGE
PLS	PROFESSIONAL LAND SURVEYOR
PLT	PLANTER
PSM	PROFESSIONAL SURVEYOR AND MAPPER
R	RADIUS or RADIAL

R.P.	RADIUS POINT
R/W	RIGHT OF WAY
RES.	RESIDENCE
RGE.	RANGE
S.B.L.	SET BACK LINE
S.C.L.	SURVEY CLOSURE LINE
S.T.L.	SURVEY TIE LINE
S.W.	SEAWALL
S/GD	SET GLUE DISC
S/W	SIDEWALK
SCR.	SCREEN
SEC.	SECTION
SEP.	SEPTIC TANK
SEW.	SEWER
SIRC	SET IRON ROD & CAP
SN&D	SET NAIL & DISC
SQ.FT.	SQUARE FEET
STY.	STORY
SV	SEWER VALVE
T.O.B.	TOP OF BANK
TBM	TEMPORARY BENCHMARK
TEL.	TELEPHONE FACILITIES
TWP.	TOWNSHIP
TX	TRANSFORMER
TYP.	TYPICAL
U.R.	UTILITY RISER
UG	UNDERGROUND
UR	UTILITY RISER
V.F.	VINYL FENCE
W.F.	WOODEN FENCE
W/C	WITNESS CORNER
W/F	WATER FILTER
WM	WATER METER/VALVE BOX
WV	WATER VALVE

A.E.	ACCESS EASEMENT
A.N.E.	ANCHOR EASEMENT
C.M.E.	CANAL MAINTENANCE ESMT.
C.U.E.	COUNTY UTILITY ESMT.
D.E.	DRAINAGE EASEMENT
D.U.E.	DRAINAGE AND UTILITY ESMT.
ESMT.	EASEMENT
I.E./E.E.	INGRESS/EGRESS ESMT.
IRR.	IRRIGATION EASEMENT
L.A.E.	LIMITED ACCESS ESMT.
L.B.E.	LANDSCAPE BUFFER ESMT.
L.E.	LANDSCAPE ESMT.
L.M.E.	LAKE OR LANDSCAPE MAINTENANCE EASEMENT
M.E.	MAINTENANCE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
R.O.E.	ROOF OVERHANG ESMT.
S.W.E.	SIDEWALK EASEMENT
S.W.M.E.	STORM WATER MANAGEMENT EASEMENT
T.U.E.	TECHNOLOGICAL UTILITY ESMT.
U.E.	UTILITY EASEMENT

ELECTRONIC SIGNATURE:

In order to "Electronically Sign" all of the PDFs sent by STARS, you must use a hash calculator. A free online hash calculator is available at <http://www.fileformat.info/tool/md5sum.htm>. To Electronically Sign any survey PDF: 1. Save the PDF onto your computer. 2. Use the online tool at <http://www.fileformat.info/tool/md5sum.htm> to browse for the saved PDF on your computer. 3. Select the Hash Method as SHA. 4. Click Submit. Your PDF is electronically signed if all of the characters in the SHA-1 code submitted by STARS matches the code which is produced by the hash calculator. If they match exactly, your PDF is electronically signed. If the codes do not match exactly, your PDF is not authentic.

PRINTING INSTRUCTIONS:

- While viewing the survey in Adobe Reader, select the "Print" button under the "File" tab.
- Select a printer with legal sized paper.
- Under "Print Range", click select the "All" toggle.
- Under the "Page Handling" section, select the number of copies that you would like to print.
- Under the "Page Scaling" selection drop down menu, select "None."
- Uncheck the "Auto Rotate and Center" checkbox.
- Check the "Choose Paper size by PDF" checkbox.
- Click OK to print.

TO PRINT IN BLACK + WHITE:

- In the main print screen, choose "Properties".
- Choose "Quality" from the options.
- Change from "Auto Color" or "Full Color" to "Gray Scale".

OFFER VALID ONLY FOR THE BUYERS LISTED ON THE FIRST PAGE OF THIS SURVEY:

EXACTA

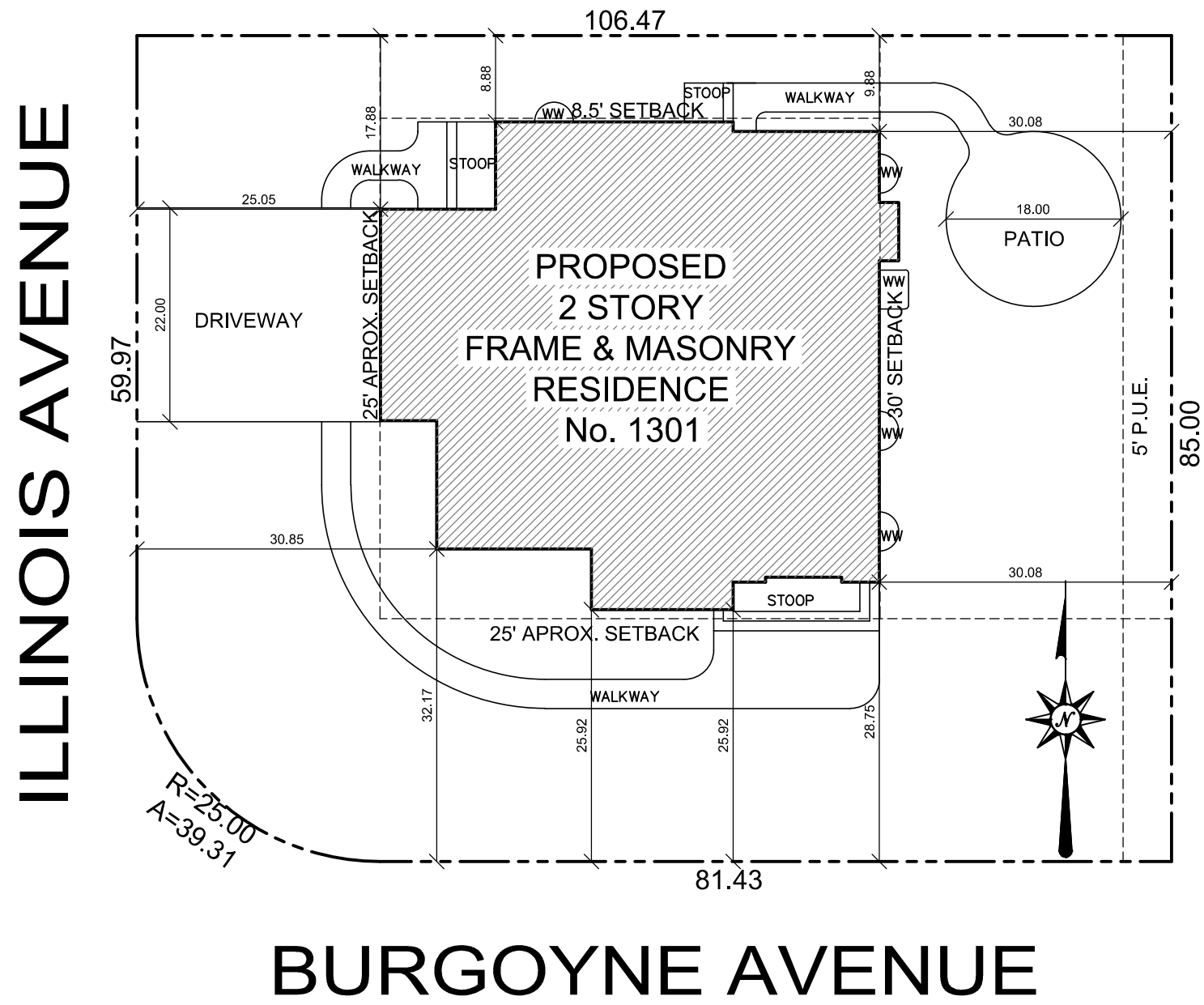
25% off

(UP TO \$500)

FUTURE SURVEYING SERVICES ON THIS PROPERTY*

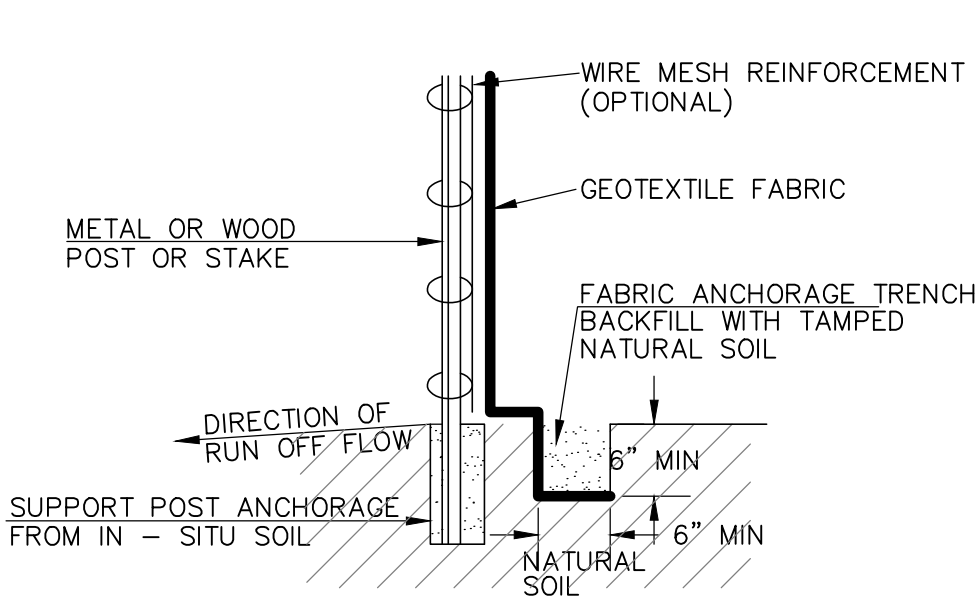
*Offer valid for fence stakeouts and additions to the existing structures only.

Offer valid only for the buyer as listed on the first page of this survey. Total discount not to exceed \$500. Coupon expires 2 years from the date of issuance.



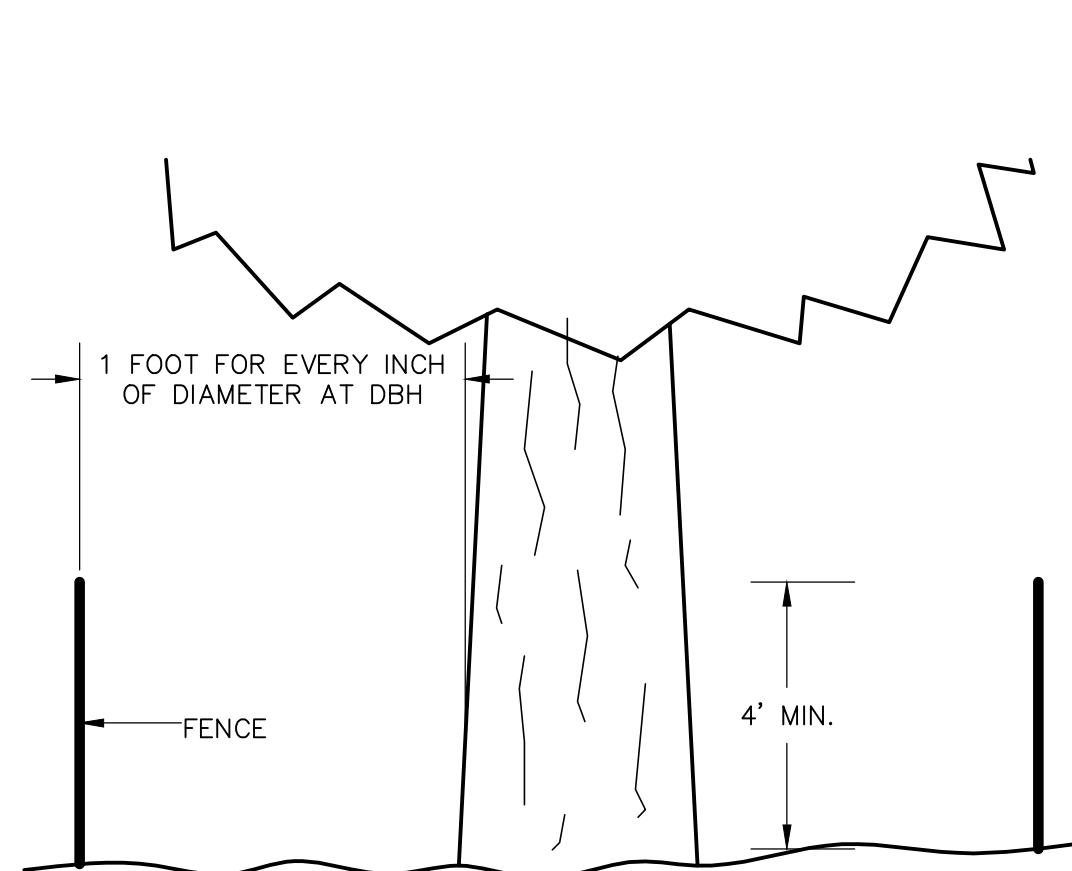
SITE PLAN

SCALE 1/8" = 1'-0"



SILT CONSTRUCTION FENCE DETAIL

NOT TO SCALE

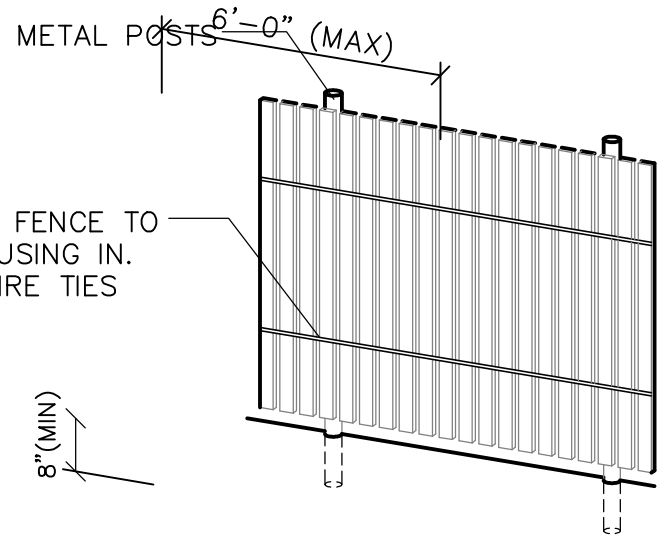


TREE PROTECTION DETAIL

NOT TO SCALE

- NOTES:
1. DEPENDING UPON CONFIGURATION, ATTACH FABRIC TO WIRE MESH W/ HOG RINGS, STEEL POSTS W/ TIE WIRES OR WOOD POSTS W/ NAILS
 2. SILT FENCE SHALL BE REMOVED AS DIRECTED BY ENGINEER.
 3. SILT FENCE SHALL BE MIRAFI PREFABRICATED SILT FENCE OR APPROVED EQUAL.

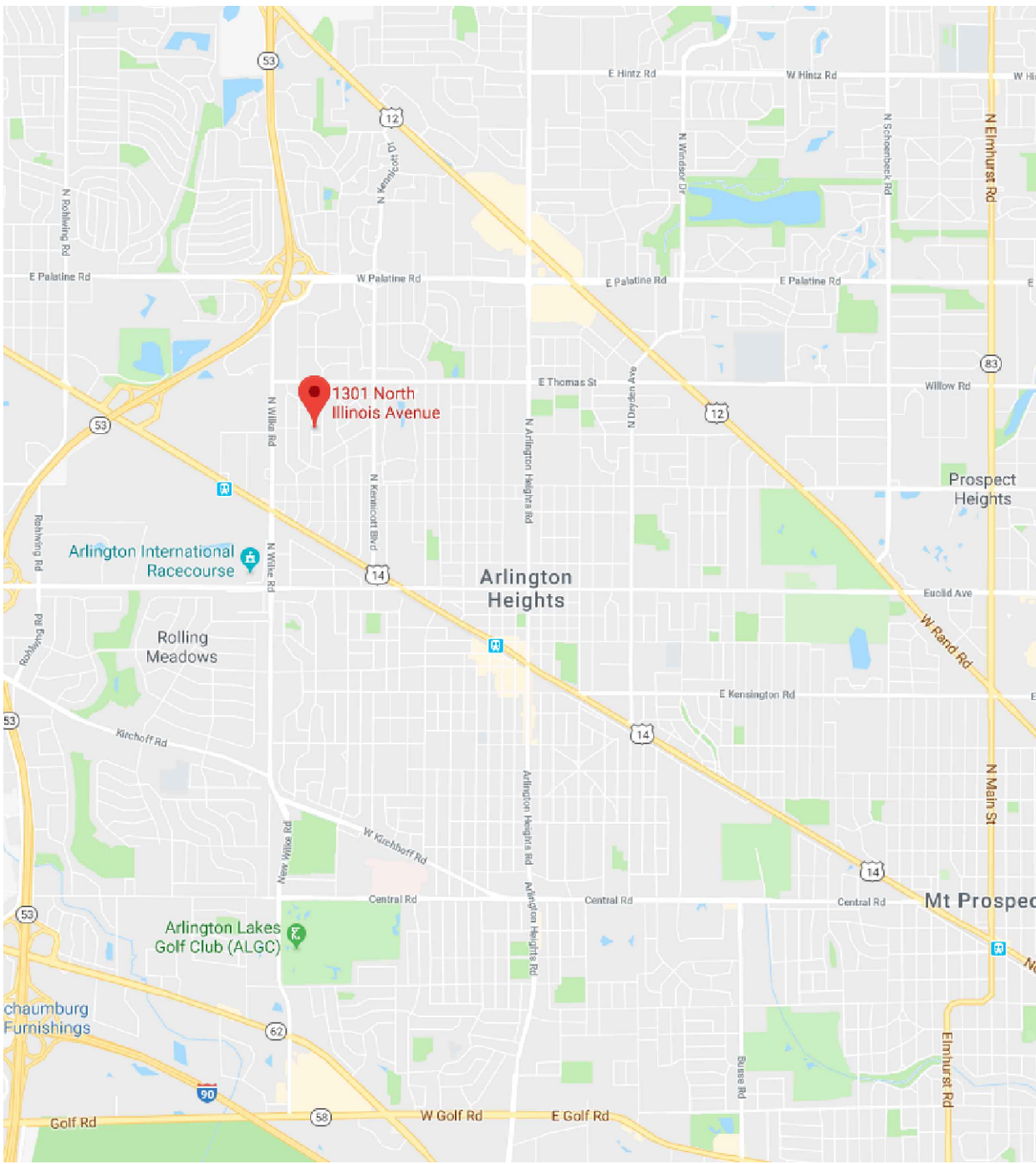
- NOTES:
1. INSTALL & MAINTAIN 4' TALL WOODEN SLAT SNOW OR CHAIN LINK FENCE SECURED TO METAL POSTS SPACED A MAXIMUM OF 6' APART. FENCE TO BE LOCATED AT A DISTANCE FROM TRUNK EQUAL TO 1 FOOT FOR EVERY INCH OF DIAMETER MEASURED AT BREAST HEIGHT (DBH=4.5' FROM GROUND LEVEL).
 2. SNOW FENCE MUST BE SECURED TO METAL STAKES WITH A MINIMUM OF 4 WIRE TIES.
 3. CHAIN LINK FENCE TO HAVE POSTS SECURED AT EACH SECTION TO MAINTAIN UPRIGHT AND STATIONARY THROUGHOUT CONSTRUCTION.
 4. FAILURE TO INSTALL AND MAINTAIN PROTECTIVE TREE FENCING IN ACCORDANCE WITH VILLAGE STANDARDS WILL RESULT IN ISSUANCE OF A STOP WORK ORDER ON THE PROJECT.



SITE NOTES

1. ALL EXCAVATED SOIL/MATERIALS NOT TO BE USED FOR BACKFILL WILL BE IMMEDIATELY REMOVED FROM THE SITE. NO ON SITE STOCKPILING OF EXCAVATED MATERIAL WILL BE ALLOWED.
2. ALL DISTURBED PARKWAY LAWN AREAS WITHIN THE PUBLIC RIGHT OF WAY WILL BE RESTORED WITH 6" OF PULVERIZED TOPSOIL & SOD AND WATERED AS REQUIRED TO SUSTAIN GROWTH. THE RESTORATION WILL BE COMPLETED WITHIN FIVE DAYS OF THE DISTURBANCE.
3. THE GENERAL CONTRACTOR (OR HOMEOWNER ACTING AS THE GENERAL CONTRACTOR) IS TO PROVIDE AND MAINTAIN A 6 FOOT HIGH CONSTRUCTION FENCE DURING NON WORKING HOURS THAT WILL ENCLOSE ALL OPEN EXCAVATION UNTIL FOUNDATION IS BACKFILLED AND FIRST FLOOR DECK IS COMPLETED. PROVIDE AND MAINTAIN A 6 FOOT HIGH FENCE ALONG THE FULL LENGTH OF INTERIOR SIDE YARDS UNTIL EXTERIOR CONSTRUCTION IS COMPLETE.
4. WHEN REQUIRED BY THE ILLINOIS STATE PLUMBING CODE, THE GENERAL CONTRACTOR (OR HOMEOWNER ACTING AS GENERAL CONTRACTOR) IS TO PROVIDE AND MAINTAIN AN APPROVED PORTABLE TOILET FOR THE CONSTRUCTION SITE. THE LOCATION OF THE PORTABLE TOILET MUST BE A MIN. OF 6 FEET FROM ALL PROPERTY LINES.
5. CONSTRUCTION DEBRIS & REFUSE CONTAINMENT SHALL BE REQUIRED FOR ALL JOB SITES. CONTAINMENT SHALL OCCUR ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT AND SHALL BE WITHIN A DUMPER, STRUCTURE, OR CONTAINER THAT CAN BE COVERED TO PREVENT WINDBLOWN DEBRIS. ALL SUCH UNITS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.
6. ARABIC NUMERALS, AT LEAST THREE (3) INCHES IN HEIGHT, SHALL BE PLACED ON THE BUILDING IN A CONSPICUOUS PLACE AND SHALL BE OF A COLOR WHICH CAN BE CLEARLY SEEN AGAINST THE BACKGROUND FROM THE STREET.
7. CLEANOUTS ARE REQUIRED FOR ALL UTILITY SERVICE LINES WHERE THE LENGTH EXCEEDS 100 FEET OR A CHANGE OF DIRECTION OCCURS.
8. ALL DOWNSPOUTS SHALL SPLASH ON GRADE TO THE FRONT OR REAR OF THE RESIDENCE ONLY AND SHALL NOT EXTEND MORE THAN 5 FEET BEYOND THE STRUCTURE.
9. ALL SITE IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE VILLAGE'S STANDARDS AND SPECIFICATIONS FOR PUBLIC & PRIVATE IMPROVEMENTS
10. ALL UNDERGROUND IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE VILLAGE & ILLINOIS STANDARD SPECIFICATIONS FOR WATER & SEWER CONSTRUCTION
11. THE CONTRACTOR SHALL INDEMNIFY THE VILLAGE, ARCHITECT & OWNER, THEIR EMPLOYEES & AGENTS FROM ALL PROJECT CONSTRUCTION & TESTING RELATED LIABILITY.
12. THE CONTRACTOR SHALL REQUEST UTILITY LOCATES FROM ALL UTILITY COMPANIES BEFORE PROCEEDING & SHALL BE RESPONSIBLE FOR ANY DAMAGE THEREOF. (JULIE: 800-892-0123)
13. CONTRACTOR TO COORDINATE WITH THE PUBLIC WORKS DEPARTMENT TO INSTALL AN EXTERIOR REMOTE READING DEVICE
14. THE CONTRACTOR SHALL INSTALL & MAINTAIN ALL REQUIRED SOIL EROSION CONTROL MEASURES BEFORE STARTING WORK
15. ALL TRIBUTARY AREAS FROM ADJACENT PROPERTIES WILL CONTINUE TO DRAIN INTO THE SUBJECT PROPERTY AND THE CONTRACTOR WILL MAKE ANY FIELD ADJUSTMENTS TO ADHERE TO THIS REQUIREMENT
16. ALL DISTURBED VILLAGE STREETS TO BE RESTORED AS FOLLOWS:
ASPHALT PAVEMENTS – 2" BIT, SURFACE COURSE AND 8" BAW;
CONCRETE PAVEMENTS – 7"PCC CLASS SI W/ #6 BARS DOWELED @30"O.C. INTO THE EXISTING ADJACENT PAVEMENT
17. ALL DISTURBED PUBLIC SIDEWALKS ARE TO BE REPLACED WITH 5" PCC CLASS SI OVER A 3"CA-6 BASE WITHIN FIVE CALENDAR DAYS FOLLOWING COMPLETION OF WORK IN SAID AREAS, WEATHER PERMITTING.
18. SILT CONTROL FENCING TO BE INSTALLED AROUND ALL PERIMETERS OF AREAS THAT WILL BE DISTURBED BY CONSTRUCTION PRIOR TO COMMENCING WORK
19. CONTRACTOR MUST CONTACT THE PUBLIC IMPROVEMENTS INSPECTOR AT LEAST 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS FOR ALL STORM SEWER PIPE & RELATED DRAINAGE STRUCTURES AND LAWN GRADING WORK
20. ALL OPEN EXCAVATIONS WITHIN THE PUBLIC RIGHT OF WAY WILL BE WATER JETTED PRIOR TO FINAL RESTORATION
21. THE OWNER MUST PROVIDE WRITTEN NOTICE (W/ CONTACT PERSONS NAME & PHONE NUMBER) AT LEAST ONE WEEK IN ADVANCE TO ALL AFFECTED RESIDENTS WHOSE FRONTAGES WILL BE DISTURBED TO PERFORM THE REQUIRED UTILITY SERVICE CONNECTION AND OTHER OFF SITE WORK ASSOCIATED WITH THE SUBJECT PROPERTY. IN ADDITION, THE NOTIFICATION MUST STATE THAT THE FINAL SURFACE RESTORATION WILL BE COMPLETED WITHIN FIVE CALENDAR DAYS FOLLOWING COMPLETION OF THE WORK IN SAID AREAS, WEATHER PERMITTING. A COPY OF SAID CORRESPONDENCE MUST ALSO BE PROVIDED TO THE ENGINEERING DEPARTMENT, ATTN. PUBLIC IMPROVEMENTS INSPECTOR.
22. THE CONTRACTOR WILL PROVIDE TREE PROTECTION IN ACCORDANCE WITH THE VILLAGE STANDARD DETAIL.
23. RESIDENTIAL MATERIAL REQUIREMENTS FOR DRIVEWAYS: DRIVEWAYS MEETING THESE REQUIREMENTS SHALL BE PROVIDED AT ALL LOCATIONS APPROVED BY THE VILLAGE ENGINEER WHERE VEHICULAR TRAFFIC IS INTENDED TO LEAVE THE ROADWAY AND MOVE ONTO PRIVATE PROPERTY. DRIVEWAYS FOR RESIDENTIAL BUILDINGS MUST BE CONSTRUCTED OF 1) A MINIMUM FLEXIBLE PAVEMENT OF 2" BITUMINOUS CONCRETE SURFACE, CLASS 1 OVER 6" AGGREGATE BASE COURSE (CRUSHED) TYPE B. 2) RIGID PAVEMENT: 4" CONCRETE OVER 4" AGGREGATE BASE W/ WIRE MESH OR 3) RIGID PAVEMENT: 6" CONCRETE OVER 4" AGGREGATE BASE COURSE W/OUT WIRE MESH. IN APRON ONLY – USE 6" CONCRETE OVER 4" AGGREGATE W/OUT WIRE MESH
24. THE GRADE OF PITCH OF DRIVEWAYS SHALL BE POSITIVE (1% MIN.) AND DRAINED AWAY FROM THE RESIDENCE.
25. CONCRETE SERVICE WALK TO CONSIST OF A MINIMUM FIVE INCHES (5") PCC CLASS SI OVER A THREE INCH (3") AGGREGATE CA-6 BASE.

PROJECT LOCATION



GENERAL NOTES

1. CONTRACTOR SHALL PROCEED WITH THE UNDERSTANDING AND AGREEMENT THAT A SATISFACTORY JOB IS OBTAINABLE WITH THE INFORMATION AS PROVIDED. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DIMENSIONAL ACCURACY. ALL DIFFERENCES IN ANTICIPATED DIMENSIONS OR CONDITIONS SHALL BE IMMEDIATELY SUBMITTED IN WRITING TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK OR THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAME. ANY DEVIATION FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT OF ARCHITECT SHALL BE HE RESPONSIBILITY OF OWNER AND SHALL NULLIFY AND VOID ANY ARCHITECTURAL CONDITION.
2. THE CONTRACTOR SHALL VERIFY THE DIMENSIONS OF EXISTING CONSTRUCTION IN THE FIELD. PLANS OF NEW AND EXISTING CONSTRUCTION SHALL NOT BE SCALED. DUE TO THE NATURE OF CONSTRUCTION, THE WRITTEN DIMENSIONS DEPICTED MAY VARY SLIGHTLY FROM ACTUAL CONDITIONS. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO MAKE ALL FINAL MEASUREMENTS AND FIELD ADJUSTMENTS PRIOR TO ORDERING MATERIALS AND COORDINATING LABOR.
3. DUE TO THE NATURE OF CONSTRUCTION, THESE DRAWINGS MAY NOT DEPICT EVERY PIECE OF MATERIAL AND ALL LABOR REQUIRED FOR CONSTRUCTION. THE GENERAL CONTRACTOR IS TO PROVIDE AN ALLOWANCE OR CONTINGENCY FUND TO COVER SUCH UNFORESEEN CONDITIONS OR PLAN MISINTERPRETATIONS. BY PROCEEDING WITH CONSTRUCTION, THE GENERAL CONTRACTOR/BUILDER,SUB-CONTRACTOR AGREE AND ARE SATISFIED WITH THESE PLANS AS BEING ADEQUATE TO CONSTRUCT THE PROJECT AS INTENDED.
4. THE CONTRACTOR SHALL SUBMIT WRITTEN NOTICE TO THE ARCHITECT AND OWNER IF DISCREPANCIES EXIST.
5. BEFORE SUBMITTING PROPOSALS FOR THIS WORK, EACH BIDDER WILL BE HELD TO HAVE EXAMINED THE BUILDING SITE AND SATISFIED HIMSELF/HERSELF AS TO THE EXISTING CONDITIONS UNDER WHICH THEY WILL BE OBLIGED TO OPERATE IN PERFORMING THEIR PART OF THE WORK, OR THAT IN ANY MANNER AFFECT THE WORK UNDER CONTRACT.
6. ALL FEDERAL AND ILLINOIS HEALTH AND SAFETY ACTS SHALL BE INCORPORATED INTO THE GENERAL SPECIFICATIONS. ANY CONTRACTOR OR EMPLOYEE THEREOF REFUSING TO COMPLY WITH THE SAFETY STANDARDS SET FORTH IN THE ACTS SHALL BE DISMISSED FROM THE JOB SITE. ANY FINES LEVIED BY THE STATE OR FEDERAL OSHA OFFICERS SHALL BE PAID BY THE SUBCONTRACTOR.
7. FURNISH ALL LABOR, MATERIALS, TOOLS, INSURANCE AND PERMITS NECESSARY TO COMPLETE THE WORK AS SHOWN AND AS REASONABLY IMPLIED BY THE DRAWINGS, SPECIFICATIONS, NOTES AND REQUIRED BY ANY CODE WITH JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPERLY FINISHED JOB.
8. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
9. EACH SUBCONTRACTOR IS RESPONSIBLE FOR THE ACTION AND SUPERVISION OF HIS/HER EMPLOYEE, AS WELLS AS THE QUALITY AND SAFETY OF LADDERS, SCAFFOLDS, AND ANY CONSTRUCTION TOOLS OR STRUCTURES USED OR ERECTED A THE JOB SITE. ALL EMPLOYEES ARE TO HAVE MEDICAL/WORKER'S COMPENSATION AND LIABILITY COVERAGE UNDER THE INSURANCE POLICIES OF THEIR EMPLOYERS.
10. THE PROPERTY OWNER, GENERAL CONTRACTOR, AND SUB-CONTRACTORS UNDERSTAND AND AGREE THAT THE ARCHITECT IS NOT TO PROVIDE ANY SITE SUPERVISION OR SITE VISITATION. THE OWNER, GENERAL CONTRACTOR, AND SUB-CONTRACTORS ARE SOLELY RESPONSIBLE FOR SITE CONDITIONS, CONSTRUCTION PROCEDURES, AND SCHEDULING AND MATERIAL INSTALLATION AT THIS JOB.
11. EACH SUBCONTRACTOR SHALL IMMEDIATELY NOTIFY THE GENERAL CONTRACTOR AND PROPERTY OWNER OF ANY PERCEIVED HAZARD TO LIFE, HEALTH OR PROPERTY (OR ANY POTENTIALLY DANGEROUS SITUATION), WHICH MAY DEVELOP DURING THE COURSE OF CONSTRUCTION. WORK SHALL BE HALTED UNTIL SUCH HAZARDS ARE ELIMINATED.
12. ALL MATERIALS AND PRODUCTS ARE TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS FOR COMPARABLE EXISTING CONDITIONS. CONTRACTOR IS TO MAKE HIMSELF FAMILIAR WITH THE EXISTING CONDITIONS AND THE MATERIALS AND INSTALLATION METHODS AND PRECAUTIONS BEFORE COMMENCING WORK.
13. GENERAL CONTRACTOR SHALL PROTECT ADJACENT AREAS AND PROPERTIES NOT IN CONTRACT.
14. EACH CONTRACTOR OR SUBCONTRACTOR IN SIGNING THEIR CONTRACT GUARANTEES THEIR WORK FOR A PERIOD OF 1 YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION AND SHALL LEAVE THE WORK IN PERFECT ORDER UPON COMPLETION. NEITHER THE FINAL CERTIFICATE OF PAYMENT NOR ANY PROVISION IN THE CONTRACT DOCUMENTS SHALL RELIEVE THE CONTRACTOR OR SUB-CONTRACTOR OF THE RESPONSIBILITY FOR NEGLIGENCE, FAULTY MATERIALS, OR WORKMANSHIP, WITHIN THE EXTENT AND PERIOD PROVIDED BY LAW.
15. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS ARE TO SUPPLY THE OWNER WITH CERTIFICATES OF INSURANCE PRIOR TO CONSTRUCTION.
16. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING WITH OWNER THE INSTALLATION REQUIREMENTS OF ALL FURNISHED ITEMS.

DRAWING INDEX

- | | |
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| | SILT FENCE DETAIL |
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| | SITE NOTES |
| | PROJECT LOCATION |
| | GENERAL NOTES |
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| A-2 | CONSTRUCTION NOTES |
| | ELECTRICAL NOTES |
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APPLICABLE CODES

- INTERNATIONAL RESIDENTIAL CODE 2009
- NATIONAL ELECTRICAL CODE 2005 (NEC)
- STATE OF ILLINOIS ENERGY CONSERVATION CODE
- 2012 IECC
- INTERNATIONAL FIRE CODE 2009
- INTERNATIONAL MECHANICAL CODE 2009
- STATE OF ILLINOIS PLUMBING CODE 2014

ZONING INFORMATION

ZONED	= R-3
LOT AREA	= 8,915.82 S.F.
BUILDING SETBACKS (REQUIRED)	
FRONT	= 25'
SIDES	= (10%) = 8'-6"
REAR	= 30'

MAXIMUM BUILDING HEIGHT =25' AND 2.5 STORIES

FLOOR AREA RATIO CALCULATIONS

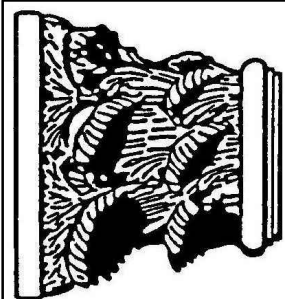
1ST FLOOR	= 2210.85
2ND FLOOR	= 2189.13
TOTAL	= 4399.98 S.F.

MAXIMUM ALLOWABLE = 4404.33 S.F.

REVIEWER REVIEW OR A
NE SIGNED AMY RESIDENCE
1011 NO S AVNEUE
AR IN TON E E TS NO S

TOWN STUDIOS, INC.

1297 SHERMER ROAD
NORTHBROOK, ILLINOIS 60062



PHONE: 847-498-0900
WWW.TOWNSTUDIOS.COM

DATE 12/17

SHEET NO 1

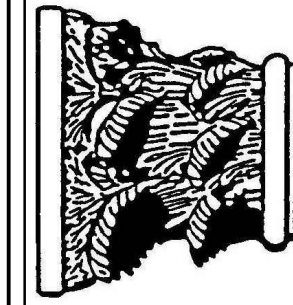
A1
O 1 S E E T S



1 SOUTH ELEVATION FRONT BURBOYNE AVE
SCALE 1/8"=1'-0"



2 EAST ELEVATION RIGHT SIDE
SCALE 1/8"=1'-0"



TOWN STUDIOS, INC.

1297 SHERMER ROAD
NORTHBROOK, ILLINOIS 60062
PHONE: 847-498-0900
WWW.TOWNSTUDIOS.COM

PRELIMINARY REVIEW OR APPROVAL
NEED SIGNATURE OF ARCHITECT
101 TOWNSTONE DRIVE, TOWNSTUDIOS.COM

DATE
12/17

SHEET NO.

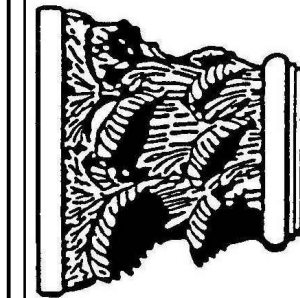
A7
OF 1 SHEETS



1 NORTH ELEVATION REAR
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION EAST SIDE NORTH AVENUE
SCALE: 1/4" = 1'-0"



TOWN STUDIOS, INC.

1297 SHERMER ROAD
NORTHBROOK, ILLINOIS 60062

PHONE: 847-498-0900
WWW.TOWNSTUDIOS.COM

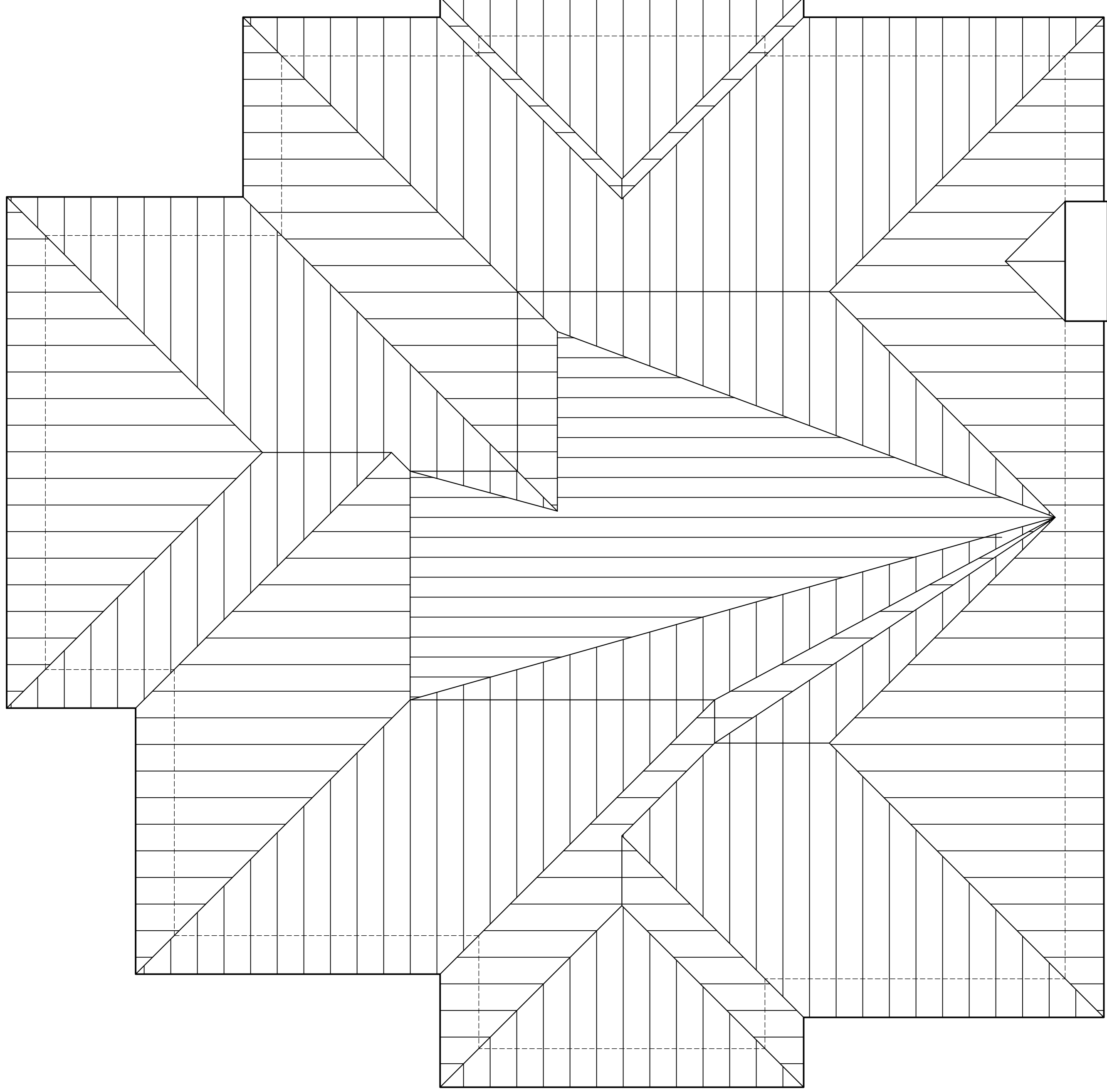
PRELIMINARY REVIEW OR APPROVAL
NEED SIGNATURE OF ARCHITECT
1/11/17
ARCHITECT: TOWN STUDIOS, INC.

DATE: 12/11/17

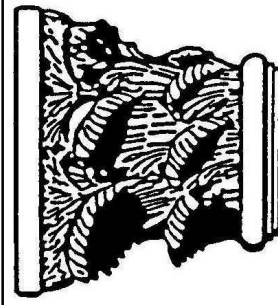
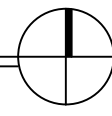
SHEET NO.

A

OF 1 SHEETS



1 ROOF PLAN
SCALE 1/8" = 1'-0"



TOWN STUDIOS, INC.
1297 SHERMER ROAD
NORTHBROOK, ILLINOIS 60062
PHONE: 847-498-0900
WWW.TOWNSTUDIOS.COM

PRELIMINARY REVIEW OR A
NEED SINCE FAMILY RESIDENCE
1001 TOWN ESTATES DRIVE
ARNDT TON ESTATES DRIVE

DATE
12/17

SHEET NO.

A12
OF 1 SHEETS



Item: 2101 S. Arlington Heights Rd. - ZBA#17-063

Department: Planning & Community Development

REQUEST

A variation from Chapter 28, Section 11.2, Schedule of Parking Requirement, to allow a reduction to the minimum required parking from 254 to 219 parking spaces.

ATTACHMENTS:

Description	Type
Supporting Documents	Exhibits

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: January 8, 2018
Date Prepared: January 2, 2018
Project Title: 2101 S. Arlington Heights Road
Address: 2101 S. Arlington Heights Road

Background Information

Petition Number: ZBA #17-063
Petitioner: Avi Metchik
Address: 2400 Augusta Drive, Suite 330
Houston, Texas 77057

Existing Zoning: O-T, Office Transitional District

Requested Action/Background Information

Chapter 28, Section 12.1-b4, allows the Zoning Board of Appeals to waive the parking requirements when the character or use of the building is such as to make unnecessary the full provision of parking facilities, or where such regulations would impose an unreasonable hardship upon the use of the lot, as merely granting an advantage or convenience.

Parking Summary					
<i>Space</i>	<i>Tenant</i>	<i>Use</i>	<i>Total SF</i>	<i>Parking req'd</i>	<i>Stalls Req'd</i>
100	Stephen A. Vile	Medical	1,162	1/200	6
103	R.F. Wittmeyer	Medical	1,823	1/300	6
103A	Vacant	Prof Office	1,176	1/300	4
107	Nittsu Shoji USA	Prof Office	2,161	1/300	7
108	Northwest Community	Medical	4,452	1/200	22
111	Suburban Endocrinology	Medical	5,403	1/200	27
116	Clarity Clinic	Medical	2,707	1/200	14
116A	Clarity Clinic (prop expansion)	Medical	2,221	1/200	11
117	Arlington Smith Family	Medical	2,157	1/200	11
125	Greater Illinois Title	Prof Office	2,278	1/300	8
129-135	The Center for Emotional	Medical	1,873	1/200	9
145	Vacant	Prof Office	1,208	1/300	4
150	Northwest Urology	Medical	6,976	1/200	35
155	Vacant	Prof Office	1,228	1/300	4
160	Vacant	Prof Office	7,004	1/300	23
165	Innovative Pain Specialists	Medical	1,225	1/200	6
185	Vacant	Prof Office	3,107	1/300	10
195	Vacant	Prof Office	4,080	1/300	14
	Supporting Office Areas	Prof Office	9,982	1/300	33
Total Required Parking					254

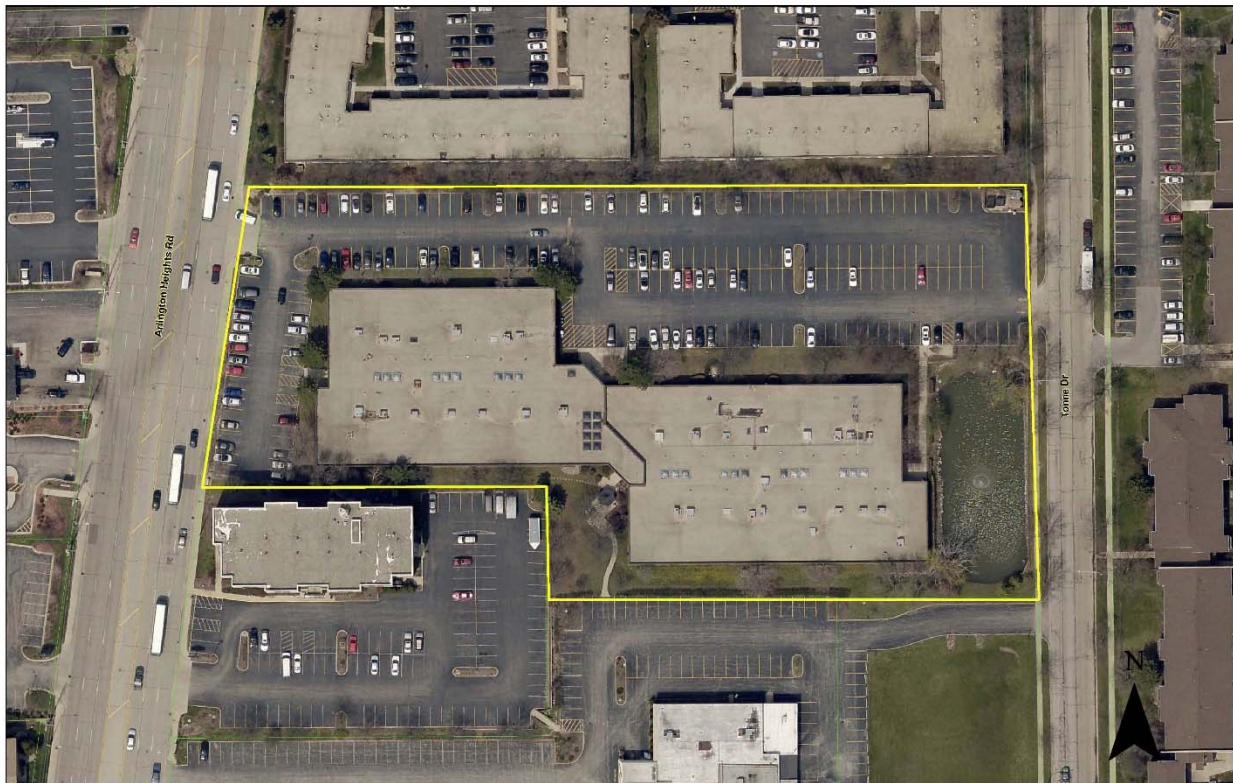
The parking ratios set forth in Chapter 28, Section 11.4, the Zoning Ordinance requires one parking stall for every 200 square feet for medical/dental related uses and 300 square feet for professional office uses. Based on the square footage for the businesses, the total number of parking stalls required for the site is 254 spaces. At this time, the site has a total of 219 parking spaces, thereby resulting in a deficit of 35 parking stalls. The proposed expansion of Clarity Clinic increases the parking demand which adds to the parking deficit. Therefore, the petitioner requests the following variance:

- **A variation from Chapter 28, Section 11.2, Schedule of Parking Requirement, to allow a reduction to the minimum required parking from 254 to 219 parking spaces.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone; and (2) the plight of the owner is due to unique circumstances; and (3) the variation, if granted, will not alter the essential character of the locality. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the three conditions enumerated.

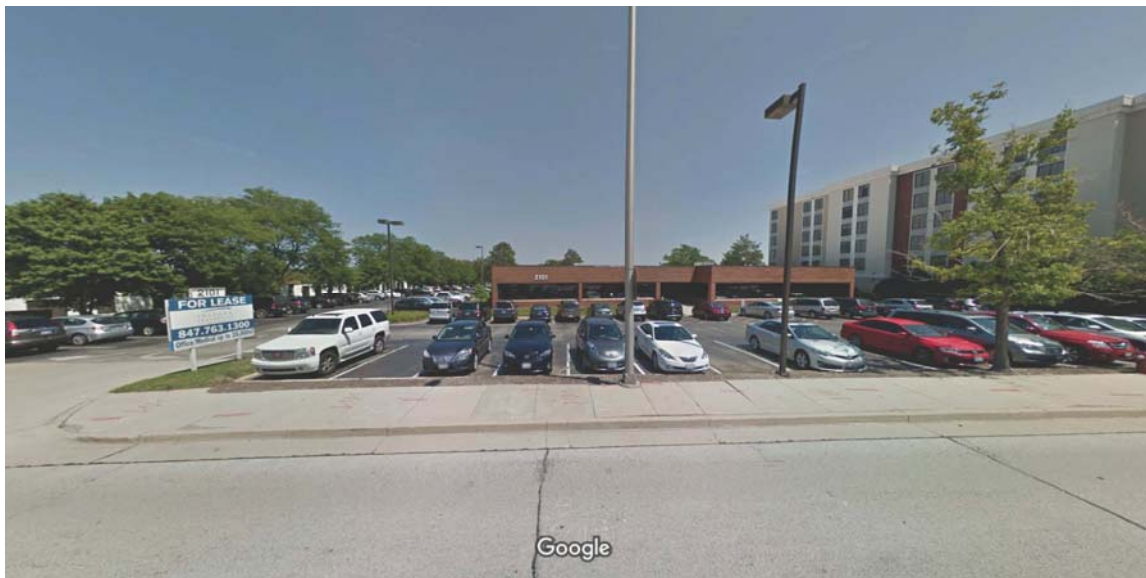
Map of General Vicinity



Items Required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	12/20/17	
2. List of Property Owners Within 250 feet of Subject Property	✓	12/20/17	
3. Letter that was Mailed	✓	12/20/17	
4. Photographs of Sign on Property	✓	12/20/17	

Photographs of Existing Structure



PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: 2101 S. Arlington Heights Road

Project Address: 2101 S. Arlington Heights Road

ZBA #: 17-063

ZBA Hearing Date: January 8th, 2018

To: Jim Massarelli, Director of Engineering
Steven Touloumis, Director of Building Services

C: Bill Enright, Deputy Director of Planning and Community Development
Steve Hautzinger, Design Planner

From: Derek Mach, Zoning Board of Appeals Liaison

Transmitted On: January 2nd, 2018

- A variation from Chapter 28, Section 11.2, Schedule of Parking Requirement, to allow a reduction to the minimum required parking from 254 to 219 parking spaces.

Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: OK SAT 1/2/18

Please review, comment, and return to me ASAP or no later than Thursday, January 3, 2018.

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: 2101 S. Arlington Heights Road

Project Address: 2101 S. Arlington Heights Road

ZBA #: 17-063

ZBA Hearing Date: January 8th, 2018

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- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: _____

Please review, comment, and return to me ASAP or no later than Thursday, January 3, 2018.

ENGR

No

OBJECTIONS

[Handwritten Signature]

PROJECT REVIEW TRANSMITTAL
for
Zoning Board of Appeals Review

Project Name: 2101 S. Arlington Heights Road

Project Address: 2101 S. Arlington Heights Road

ZBA #: 17-063

ZBA Hearing Date: January 8th, 2018

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Attached are the Petitioner's:

- ☐ Application & Petition
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Other: _____

Comments: No COMMENTS.

- S. HAUTZINGER, DESIGN PLANNER

Please review, comment, and return to me ASAP or no later than Thursday, January 3, 2018.

PETITION

PETITION

NOW COMES the Petitioner Ari Matchile on behalf of Interagency Arlington Green, LLC

being the owner of the property commonly know as: Arlington Green Executive Center

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section

11.4, Chapter 28, of the Arlington Heights Municipal Code, in order to: Obtain a

Construction permit for new tenants wanting to come to the building.

I hereby state that the following hardship would exist if the variation were not granted:

We would not be able to bring in new tenants to the building, and new businesses into the Village of Arlington Heights

I hereby state that the following unique circumstances exist: There is plenty of available

parking, as evidenced by our studies, and there will not be any parking difficulties.

I hereby state that the variation, if granted, will not alter the essential character of the locality because: There is

adequate available parking at the facility, so there will not be any alteration of the essential character of the locality

Signed: [Signature]
Petitioner

Date: 12/18/17

STATEMENT OF ENCROACHMENTS

- (A) Wall appears to encroach over the parcel line a maximum of 1.2' to the north.

NOTES CORRESPONDING TO SCHEDULE "B"

- (B) Easement in, upon, under, over and along the land to install and maintain all equipment for the purpose of serving the land and other property with telephone and electric service together with right of access to said equipment as created by Grant of Easement by American National Bank and Trust Company of Chicago, as Trustee to Commonwealth Edison Company and Illinois Bell Telephone Company recorded July 31, 1984 as Document 27194232.
- (AFFECTS THE SUBJECT PROPERTY AS SHOWN.)

GENERAL NOTES

- No observable evidence of earthmoving work, building construction or building additions within recent months was found at the time of survey.
- No information as to changes in street right-of-way was provided or observed.
- No observable evidence of street or sidewalk curbside or repairs was found at the time of survey.
- No observable evidence of site use as a solid waste dump, dump or sanitary landfill was found at the time of the survey.
- No observable evidence that the site is used as a cemetery was found at the time of the survey.
- Project site has direct physical access to Arlington Heights Road and Tonnie Road, both public rights-of-way maintained by the County of Cook.
- All utilities as shown are approximate locations derived from actual measurements and available records. They should not be interpreted to be in exact location nor should it be assumed that they are the only utilities in the area.
- The legal description (as surveyed) has a closure within acceptable limits for a survey of this nature.
- The property herein described creates a mathematically closed figure within acceptable limits with no gaps, gores or overlaps.

PROPERTY PICTURE



VICINITY MAP
NOT TO SCALE

FLOOD NOTE

By graphics showing only, this property is in Zone X (Unshaded) of the Flood Insurance Rate Map, Community Panel No. 17031C0011, which bears an effective date of August 19, 2008 and is not in a Special Flood Hazard Area. By on-site research dated April 17, 2012 to the National Flood Insurance Program (NFIP) website, we have learned this community DOES participate in the program. No field surveying was performed to determine the zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

BASIS OF BEARINGS

Bearings are based on east line of Section 18 and the centerline of Tonnie Road. Using a bearing of N00°00'00"W.

ZONING NOTES

No zoning provided by Insurer

LAND AREA

193,271 SQ. FT. (4.44 Acres)

PARKING STALLS

213 Regular Spaces
8 Handicap Spaces
219 Total Spaces

LEGEND

- STORM MANHOLE
- SANITARY MANHOLE
- ROUND CATCH BASIN
- REC TRANS BOX
- HIGHWAY SYMBOL
- HANDICAP PARKING
- WAL BOX
- SET 1/2" REBAR
- FOUND 1/2" REBAR
- BULLARD
- LIGHT POLE
- MEASURED POINT (BELOW)
- FENCE
- WATER VALVE
- HYDRANT
- BOX
- WATER VALVE
- CATCH BASIN
- TELEPHONE BOX
- CONCRETE PAVEMENT

LEGAL DESCRIPTION

That part of the Southeast 1/4 of the Northwest 1/4 of Section 16, Township 41 North, Range 11 East of the Third Principal Meridian described as follows:

Beginning at Northwest corner of said Southeast 1/4 of the Northwest 1/4 and running thence West along the North line of said Southeast 1/4 of the Northwest 1/4 a distance of 172.0 feet to the center line of Arlington Heights Road; thence Southwesterly along said road center line a distance of 241.36 feet; thence East along a line parallel with said North line of the Southeast 1/4 of the Northwest 1/4 a distance of 333.5 feet; thence South along a line forming an angle of 80 degrees with the last described line a distance of 90.88 feet; thence East along a line parallel with said North line of the Southeast 1/4 of the Northwest 1/4 a distance of 422.74 feet to the intersection of said line with the East line of said Southeast 1/4 of the Northwest 1/4; thence North along the East line of said Southeast 1/4 of the Northwest 1/4 a distance of 333.69 feet to the Point of Beginning all in Cook County, Illinois.

(Except so much as has been taken by the road dedication for Arlington Heights Road and Tonnie Road as shown on Plat of Dedication dated May 7, 1964 and recorded June 12, 1964 as Document 27124937, and road dedication for Arlington Heights Road as shown on Plat of Survey from Illinois Registered Land Surveyor No. 35-2787 recorded August 8, 1996 as Document 96866647.)

The property herein described is the same as the pertinent property as described in First American Title Insurance Company, File No. HCS-536799-C442, effective date May 10, 2013.

SHEET TITLE

ALTA/ACSM LAND TITLE SURVEY
PROJECT
Arlington Green Executive Center
2101 S. Arlington Heights Road
Arlington Heights, IL 60005

SURVEYED BY:

Williams & Wicks
400 E. 1st Street, Suite 200
Chicago, IL 60601
Tel: (312) 467-1000
Fax: (312) 467-1001
www.williams-wicks.com

ALTA/ACSM LAND TITLE SURVEY

SURVEYOR'S CERTIFICATE

To: Bank of America, National Association, successor by merger to LaSalle Bank National Association, as Trustee for the Certificateholders of Morgan Stanley Dean Witter Capital Inc., Commercial Mortgage Pass-Through Certificate, Series 2003-4427, First American Title Insurance Company and Zedco Title Services, LLC.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6B1, 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 13, 14, 16, 17 & 18 of Table A thereof. The said work was completed on April 10, 2012.

Date of Map: 07/12/13

Handwritten signature of the surveyor, with a circular seal of the State of Illinois, License No. 2996, expires November 30, 2014.

COORDINATED BY:

OLD REPUBLIC SITE MANAGEMENT SERVICES
17330 Preston Road, Suite 150A
Dallas, Texas 75252
P: (469) 737-7000 F: (469) 737-7070

PROJECT NUMBER

121474-S

SHEET

1 OF 1

Arlington Green Parking Analysis

<u>12/18/2017</u>		<u>12/19/2017</u>		<u>12/20/2017</u>		<u>12/21/2017</u>	
<u>Time</u>	<u>Spaces Available</u>	<u>Time</u>	<u>Spaces Available</u>	<u>Time</u>	<u>Spaces Available</u>	<u>Time</u>	<u>Spaces Available</u>
8:00 AM	146	8:00 AM	151	8:00 AM	137	8:00 AM	151
9:00 AM	111	9:00 AM	108	9:00 AM	115	9:00 AM	113
10:00 AM	94	10:00 AM	91	10:00 AM	86	10:00 AM	121
11:00 AM	97	11:00 AM	98	11:00 AM	89	11:00 AM	111
12:00 PM	109	12:00 PM	113	12:00 PM	101	12:00 PM	126
1:00 AM	103	1:00 AM	128	1:00 AM	91	1:00 AM	142
2:00 AM	89	2:00 AM	93	2:00 AM	74	2:00 AM	118
3:00 AM	108	3:00 AM	81	3:00 AM	87	3:00 AM	98
4:00 AM	77	4:00 AM	76	4:00 AM	68	4:00 AM	86
5:00 AM	110	5:00 AM	98	5:00 AM	84	5:00 AM	110
6:00 AM	149	6:00 AM	153	6:00 AM	147	6:00 AM	162

Total number of parking spaces within the subject parking lot is 219