



AGENDA
ZONING BOARD OF APPEALS
Buechner Room, 1st Floor
Arlington Heights Village Hall, 33 S. Arlington Heights Rd.
Arlington Heights IL 60005
March 10, 2025
7:00 PM

- I. CALL TO ORDER
- II. ROLL CALL OF MEMBERS
- III. APPROVAL OF MINUTES
 - A. 216 E Council Trail - 2/10/25
 - B. 616 E. Marion St. - 2/10/25
- IV. OLD BUSINESS
- V. NEW BUSINESS
 - A. 2417 E. Gresham Ct. - ZBA24-045
 - B. 507 E. Euclid Ave. - ZBA25-003
 - C. 326 E. Magnolia St. - ZBA25-004
- VI. OTHER BUSINESS
- VII. PUBLIC COMMENT

Anyone wishing to speak on a subject not on the Agenda may speak at this time. Please limit your comments to three minutes.

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact the Health & Human Services Department, at 33 S. Arlington Heights Road, Arlington Heights, IL 60005, healthmail@vah.com or 847/368-5760.

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

FEBRUARY 10, 2025

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: Giolli Residence – 216 E. Council Trail

Applicant: Kevin Davis / Fairfield Homes

Zoning Relief Requested:

- A 5.5-foot variation from Chapter 28, Section 5.1-1.3c (Required Minimum Yards) to allow an addition (porch) with an exterior side yard setback of 24.0 feet instead of the required 29.5 feet and an additional 1.0 feet for the eave.
- A 0.9-foot variation from Chapter 28, Section 5.1-1.3d (Required Minimum Yards) to allow an addition with a rear yard setback of 29.1 feet instead of the required 30.0 feet and an additional 1.0 feet for the eave.

Date of Publication: 1/25/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Drake, Jaffe, Lanaghan, Portera, Siavelis

Having heard and considered the testimony and evidence at the public hearing of January 13, 2025, the ZBA makes the following **findings of fact**:

The petitioner is proposing a complete renovation and an addition to the existing split-level home. The existing attached two-car garage will be expanded and an additional garage bay will be added. Per Chapter 28, Zoning Regulations, the front yard is the Tonne Road frontage and the exterior side yard is the Council Trail frontage. The property has a total land area of 19,439 square feet and the proposed residence with the addition will have 3,538 square feet. The proposed addition is encroaching into the required rear yard setback. In addition, the proposed porch is encroaching into the required exterior side yard setback.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an "X"):

- X The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and
- X The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
- X The proposed variation is in harmony with the spirit and intent of this Chapter; and
- X The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- **A 5.5-foot variation from Chapter 28, Section 5.1-1.3c (Required Minimum Yards) to allow an addition (porch) with an exterior side yard setback of 24.0 feet instead of the required 29.5 feet and an additional 1.0 feet for the eave.**
- **A 0.9-foot variation from Chapter 28, Section 5.1-1.3d (Required Minimum Yards) to allow an addition with a rear yard setback of 29.1 feet instead of the required 30.0 feet and an additional 1.0 feet for the eave.**

Reason for Determination:

The Zoning Board commented that the lot is large and that the homeowner is working with the existing footprint in order to expand on a corner lot. The Zoning Board also commented that the garage expansion will decrease the number of cars on the driveway.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

5 ayes 0 nays 2 absent 0 abstain

Date: February 10, 2025

Peter Siavelis, Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 216 EAST COUNCIL TRAIL - ZBA #24-050

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 10th day of February, 2025 at the hour of
7:00 p.m.

MEMBERS PRESENT:

PETER SIAVELIS, Chairperson
THOMAS DRAKE
JEFFREY LANAGHAN
BENJAMIN JAFFE
FRANK PORTERA

ALSO PRESENT:

DEREK MACH, Development Planner
DARKO BOJIN, Assistant Planner

CHAIRPERSON SIAVELIS: So, we're calling tonight's meeting to order. Welcome, everyone, to the Village of Arlington Heights Zoning Board of Appeals meeting for February. Tonight is February 10th, 2025.

Derek, roll call, please.

MR. MACH: Chairman Siavelis.

CHAIRPERSON SIAVELIS: Here.

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Here.

MR. MACH: Mr. Jaffe.

COMMISSIONER JAFFE: Here.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Here.

MR. MACH: Mr. O'Connor.

(No response.)

MR. MACH: Mr. Selbka.

(No response.)

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Here.

CHAIRPERSON SIAVELIS: All right, next up, Pledge of Allegiance. The flag is right there behind you, folks, on your left.

(Pledge of Allegiance recited.)

CHAIRPERSON SIAVELIS: All right, approval of the minutes from the January meeting is the next topic. I was not at that January meeting so I'm going to abstain from discussion on it, but I will move us along in that regard. So, hopefully, everybody has had a chance to review the draft minutes?

Assuming such, do we have any revisions, proposed revisions, edits, additions to the draft minutes?

(No response.)

CHAIRPERSON SIAVELIS: Okay, hearing none, do we have a motion to approve the draft minutes from the prior meeting?

COMMISSIONER LANAGHAN: So moved.

CHAIRPERSON SIAVELIS: Do we have a second?

COMMISSIONER PORTERA: Second.

CHAIRPERSON SIAVELIS: Okay, all in favor?

(Chorus of ayes.)

CHAIRPERSON SIAVELIS: Any opposed?

(No response.)

CHAIRPERSON SIAVELIS: Hearing none, motion carries.

Folks, before we begin the substantive discussion on the two new business items on tonight's docket, we need to go through some hearing procedures because, in fact, there are such procedures that govern how this meeting will proceed and the showings and things you folks have to address as petitioners.

First item of procedures or rules here is the quorum-voting issue. If less than six members are present, the petitioner has the option to continue this meeting. It takes four affirmative votes to allow a variance regardless of the number of Board members in attendance. If your petition is denied, you as a petitioner cannot reapply for

an entire year, so there is a preclusive effect. So, do the math as well here. There's five of us here, okay, you have to go four in one, okay, or four votes in favor, one vote against, for your petitions to be voted on and approved, okay. So, that's something you as a petitioner can make a decision on or judgment on.

Okay, let's now talk about the elements that you as a petitioner need to establish in order for this Board to be able to grant a variation in your favor, grant a variance in your favor. These are four elements that were in the paperwork that you submitted as part of the process to the Village before tonight. These four elements are as follows:

1. That the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property;
2. That the plight of the owner is due to unique circumstances which may include the length of time the subject property has been vacant as zoned;
3. That the proposed variation is in harmony with the spirit and intent of Chapter 28 of the Village's Code; and
4. That the variation requested is the minimum variation necessary to allow reasonable use of the property.

A variation shall be permitted only if the evidence, in the judgment of this Board of Appeals, sustains each of the four elements enumerated. Again, this is your responsibility to speak to and demonstrate and to satisfy each of the four elements. It is not our responsibility as the Board to pull that testimony out of you. We have denied variances in the past when the petitioner has not established each of those four elements, okay. So, that is, again, your burden, not ours to satisfy.

Okay, some additional aspects of the procedure, I as Chair will open an agenda item and provide some very brief introductory remarks on a petition. Then Derek, as Staff, will provide a presentation which is essentially a brief overview of the project and the variance requested. Then we shift to the applicant's presentation at the podium to discuss the four elements, and make sure you address each of those four like I said, by way of documents or testimony.

Anybody speaking or witnesses testifying on behalf must be sworn in under oath and must state and spell their respective names for the record, because, keep in mind, everything that you say tonight will be transcribed into the record by our reporter right here, okay? So, I urge you to speak slowly and enunciate such that the reporter can hear you clearly and we have an accurate transcript. If you're not speaking clearly or concisely, we may ask you to slow down and repeat yourself, and let's try to avoid interrupting each other or talking over each other because that makes the life of the reporter a lot more difficult, okay?

So, with that in mind, and by the way, Derek, do we have any formal public commentary tonight?

MR. MACH: We do not have any formal objectors it seems.

CHAIRPERSON SIAVELIS: Objectors, excellent. Thank you very much; I appreciate that.

So, the first item of new business is ZBA Petition #24-050, 216 East Council Trail.

Derek?

MR. MACH: Thank you, Chair.

The Petitioner is proposing a complete renovation and an addition to the existing split-level home. The existing attached two-car garage will be expanded and an additional garage bay will be added. The proposed addition is encroaching into the required rear yard setback. In addition, the proposed porch is encroaching into the required exterior side yard setback.

Therefore, they're requesting a 5.5-foot variation from Chapter 28, Section 5.1-1.3c to allow an addition with an exterior side yard setback of 24 feet instead of the required 29.5 feet, and an additional one foot for the eave, as well as a 0.9-foot variation from Chapter 28, Section 5.1-1.3d to allow an addition with a rear yard setback of 29.1 feet instead of the required 30 feet, and an additional one foot for the eave. Thank you.

CHAIRPERSON SIAVELIS: Great, thank you very much, Derek.

Okay, who is speaking on behalf of this petition right now? All right, come on up, ma'am.

MRS. GIOLLI: Hi.

CHAIRPERSON SIAVELIS: Hello. Have you signed in?

MRS. GIOLLI: Yes.

CHAIRPERSON SIAVELIS: Okay, can you identify yourself on the record, please?

MRS. GIOLLI: I am Phyllis Giolli at 216 East Council Trail.

CHAIRPERSON SIAVELIS: Okay. All right, Phyllis, you have the floor. Please proceed.

MRS. GIOLLI: Okay, I believe you have records that my contractor sent over showing that the whole block signed a petition saying that it was okay with them, that they had no problem with the setback or anything.

CHAIRPERSON SIAVELIS: So, you're basically referring to the letters of support from your neighbors?

MRS. GIOLLI: Yes. I believe he sent them to you, and hopefully you received them.

CHAIRPERSON SIAVELIS: That is correct.

MR. MACH: Correct.

CHAIRPERSON SIAVELIS: That is correct.

MRS. GIOLLI: Okay, great. Okay, so we've been living in this home, we're going on 25 years. We love Arlington Heights. We're doing this because we wanted to make it our forever home. So, that's a big decision for us to do this, otherwise we're going to have to move. I am moving in my elderly parents into my home. One has Alzheimer's and then one has a hard time walking. So, that's why we're doing the addition in the back for them and the third car garage.

The third car garage, we have five vehicles, and I do not want four vehicles on the driveway. It looks trashy and that's my biggest peeve. When my kids start parking their cars, I just don't like that thing.

Okay, so we got the garage. We are on a half acre and we are in the corner. So, that's why it's difficult to understand that when they say side, when they explain to me side yard. We're facing, the front our house is actually the side yard is what they're saying to me. So, we are on a half acre, and our neighbor next to us is on a half acre. So, we have plenty of distance between us to add the third car garage, and we still

have distance on us and them. So, hopefully that's understandable.

The variance for the porch, I am looking at kind of this letter saying they're both porches, so I wasn't understanding that too much. I think the porch is, we're asking for three feet, or is that the garage? Because they both say porch on the petition.

CHAIRPERSON SIAVELIS: Yes, Derek, can you clarify there?

MR. MACH: I'm sorry. The --

MRS. GIOLLI: One says 5.5 and it says additional porch, and then the 0.9 is additional porch which I'm not --

MR. MACH: The 0.9-foot variation is an addition encroaching into the rear yard setback.

MRS. GIOLLI: Okay, so that's the porch?

COMMISSIONER LANAGHAN: No, that would be the --

MR. MACH: Tonne Road would be defined as the front; therefore, this would be the rear yard, and then this porch is encroaching towards Council Trail.

MRS. GIOLLI: Our side yard is the porch, correct?

MR. MACH: Yes.

MRS. GIOLLI: Okay, so we're asking for a foot, less than a foot, 0.9. I guess our house was built in the 1950's, late 50's, and it was, what is it called? No, no, it was not city property.

MR. GIOLLI: It was unincorporated back then.

MRS. GIOLLI: It was unincorporated back then. So, when they built the house, they just built them. So, I don't think they went with the line and the variance and had inspections and rules. So, they actually built ours 0.9-foot forward.

So, I'm looking to put a porch. I do sit in my front a lot, I enjoy that. We have a lot of walkers. We don't have sidewalks, so we have a lot of walkers with their dogs, if you know the area. We talk, we enjoy ourselves. My neighbors are wonderful. I don't have any covered porch, so we're facing the south so it's full sun there. So, we get, our blinds have to be closed at all times, so I'm looking to cover it for rain when they walk in the door, plus sun and sitting out there so I don't have the beating sun on me.

Also, I have, is it four homes? Four homes that were built on my block, and every single home has a porch built on it. So, I'm kind of going with the style of the block, and I'm enhancing the neighborhood and making it look, so 399 Council has a porch, full. 397 has a full. This is all homes that are built on my street.

MR. GIOLLI: Derek, are those in the packet? Do we have to submit those?

MR. MACH: No, they're not.

MRS. GIOLLI: They're not. I took them today.

CHAIRPERSON SIAVELIS: Okay, let's hold on one second. If you're going to be speaking from the seats, which is fine, well, actually it's not fine to speak from the seats. You've got to come to the podium, and we'll identify you and swear you into the record so it's clear.

MRS. GIOLLI: That's my husband.

CHAIRPERSON SIAVELIS: So, this is the spot where you, if you want to answer anything else, come up so we can, he doesn't have to. There's certain --

MRS. GIOLLI: It's husband and wife, you know how we go.

CHAIRPERSON SIAVELIS: All right, so if there are certain things that he is better positioned to answer to facilitate the process --

MRS. GIOLLI: Yes.

CHAIRPERSON SIAVELIS: -- he should come up and sign in.

MRS. GIOLLI: You can come up at the same time. He did sign in.

CHAIRPERSON SIAVELIS: And then be just sworn in.

MR. GIOLLI: I'm listening. I'll just stand here. All right, I'll just state my name. I'm Joe Giolli.

CHAIRPERSON SIAVELIS: Okay. All right, right hand. Phyllis, did I swear you in?

MRS. GIOLLI: No, you did not.

CHAIRPERSON SIAVELIS: Oh, my. What a transgression on my part. Let me, both of you raise your hand up. Thank you very much.

(Witnesses sworn.)

CHAIRPERSON SIAVELIS: All right, we're not going to start from the top with you, Phyllis.

MRS. GIOLLI: No, no, no.

CHAIRPERSON SIAVELIS: We're not doing that to you.

MRS. GIOLLI: No. I'm not a great speaker, so that's it.

CHAIRPERSON SIAVELIS: All right, so what were you going to add there, or are you trying to add there?

MR. GIOLLI: Oh, she covered it, that these were not added in. We took pictures today just to show you that all the new homes that have been put up all have covered porches, and we're just trying to fit into the neighborhood as a newer home with our remodel so it fits the neighborhood better.

CHAIRPERSON SIAVELIS: Okay, so that's evidence. That's a support of your petition right now. If it wasn't submitted to Derek, it's got to go to Derek.

MRS. GIOLLI: Okay.

CHAIRPERSON SIAVELIS: How many people live in your house before the in-laws come in?

MR. GIOLLI: Just four of us. Two kids.

MRS. GIOLLI: Two, 26-year-old and a 24.

MR. GIOLLI: Two adult children.

CHAIRPERSON SIAVELIS: So, four, two of which are adult children. So, you have four drivers right now, right?

MR. GIOLLI: Yes.

CHAIRPERSON SIAVELIS: And then --

MRS. GIOLLI: And we have an antique car in the garage.

CHAIRPERSON SIAVELIS: Okay, I see that in the picture there, right.

MRS. GIOLLI: Oh, you do?

CHAIRPERSON SIAVELIS: Yes. Is that a true two-car garage or is that really like a one-and-a-half?

MRS. GIOLLI: I believe it's a two-car.

MR. GIOLLI: No, it's a two-car.

CHAIRPERSON SIAVELIS: You can fit two in there?

MRS. GIOLLI: Yes, perfectly, yes.

CHAIRPERSON SIAVELIS: You can fit that full-size pickup truck?

MR. GIOLLI: Tightly.

CHAIRPERSON SIAVELIS: Okay, Jeff, I don't know if you had any questions or anything more.

COMMISSIONER LANAGHAN: They've basically done a pretty good job of answering them. So, if I understand correctly, this, what would technically be your side yard, but actually the front of your house --

MRS. GIOLLI: Correct.

COMMISSIONER LANAGHAN: -- is actually built about a foot over the line as it is now. You have an existing walkway and --

MRS. GIOLLI: Stoop.

COMMISSIONER LANAGHAN: -- stoop out there.

MRS. GIOLLI: Correct.

COMMISSIONER LANAGHAN: And you're looking to cover that and extend that a little bit is my guess.

MRS. GIOLLI: Correct. The stoop would not be extended. There is a stoop that was permanent, everything, put in. It was existing so we just want to cover it.

MR. GIOLLI: We just want to cover it so it matches the neighborhood.

COMMISSIONER LANAGHAN: Got you, and provide some cover --

MR. GIOLLI: Yes.

MRS. GIOLLI: -- for the sun.

MR. GIOLLI: My father-in-law likes to sit outside and it's just too hot in the summer with the sun beating down.

MRS. GIOLLI: We can't even open the windows or the blinds.

COMMISSIONER LANAGHAN: I got you, and then the other question, just for my clarification, the garage which is extending into the rear yard technically, your side yard is huge.

MR. GIOLLI: Yes. It's a little confusing, but yes.

COMMISSIONER LANAGHAN: No, I live on the corner side; I know what your problem is. So, that one's extending down, and Derek, if I'm reading this correctly, that's extending about five yards into the rear yard, is that, am I --

MR. MACH: Less than a foot.

COMMISSIONER LANAGHAN: So, that one's less than a foot, oh, because the porch is out there. So, you need a variance for the porch that exists to cover it, correct?

MR. GIOLLI: Yes.

COMMISSIONER LANAGHAN: And then the new addition is about a foot into what is technically the rear yard. That garage that you're adding can't squeeze a foot out of that to get it to match?

MRS. GIOLLI: I think it's this truck and then the antique car and, you know, because he's going to be putting that truck in there --

COMMISSIONER LANAGHAN: Got you.

MRS. GIOLLI: -- because I don't want a truck on the driveway.

COMMISSIONER LANAGHAN: Understood.

MRS. GIOLLI: I want it clean.

CHAIRPERSON SIAVELIS: How long have you lived in this?

MRS. GIOLLI: It's 25 years we're going on.

CHAIRPERSON SIAVELIS: Okay.

COMMISSIONER LANAGHAN: I don't have any other questions, Peter. I pretty much understand what's going on there.

MRS. GIOLLI: And our neighbor that is next to us that will be closer to the garage is perfectly fine, and he's the one that signed the petition.

MR. GIOLLI: Everyone signed on the letter.

MRS. GIOLLI: Yes, everyone did, but specifically our neighbors, the one that's going to be, because nobody is on the other side.

MR. GIOLLI: Right. Got the neighbors behind us and everyone on the block

--

MRS. GIOLLI: Right.

MR. GIOLLI: -- except the one house that was empty.

MRS. GIOLLI: Right. We got the neighbors behind and everyone on the petition. I don't think I have anything else.

CHAIRPERSON SIAVELIS: Okay, any other questions? Okay, any other questions from Board members?

COMMISSIONER JAFFE: I just want to see one quick thing here. Okay, it's pretty straight-forward to me.

CHAIRPERSON SIAVELIS: Tom, do you have any questions? I'm sorry, I asked and I didn't take note.

COMMISSIONER DRAKE: I don't, no.

CHAIRPERSON SIAVELIS: Jeff, I assume you --

COMMISSIONER LANAGHAN: I am good, yes.

CHAIRPERSON SIAVELIS: Okay.

All right, folks, go ahead and take a seat.

MR. GIOLLI: Thank you for your time.

MRS. GIOLLI: Thank you.

CHAIRPERSON SIAVELIS: So, we'll go to deliberations at this stage.

Jeff, do you want to start with deliberations?

COMMISSIONER LANAGHAN: Yes, I'll start. So, you know, understanding the corner side yard dilemmas that folks run into, completely understand wanting to enclose the porch, with adding family, you know, your parents coming and needing an extra garage space, I also understand not wanting to have four to five cars out there. It makes it very difficult to maneuver stuff around. They seem like pretty reasonable asks.

The fact that they have 22 of their neighbors who have signed on saying they were in support of it, which is amazing and great job by you guys, you know, I see absolutely no problem with this.

CHAIRPERSON SIAVELIS: Yes, and it's a big lot.

COMMISSIONER LANAGHAN: It's a big lot. Still, even with the slight encroachment, you still have plenty of room to both the streets and the neighbors.

CHAIRPERSON SIAVELIS: Right. Right, by my count it's 144 by 134. There is a sizeable amount of land between the neighbors.

COMMISSIONER LANAGHAN: Yes.

CHAIRPERSON SIAVELIS: So, any other?

COMMISSIONER JAFFE: I was just going to add that after I drove by the property, yes, everything is unique in all of our cases, and because these lots are so big, the size of the variances that are being requested are almost inconsequential. So, I don't

have any concerns with this.

CHAIRPERSON SIAVELIS: Okay, good to know.

All right, do we have --

MR. MACH: Chairman, just if there's anyone in the audience?

CHAIRPERSON SIAVELIS: Yes, okay. Actually, I can't see behind that podium over there, so that's a good point.

Thanks, Derek.

Is there anyone in the audience who wishes to speak in behalf or in regard to this petition?

(No response.)

CHAIRPERSON SIAVELIS: Didn't think so, but okay, great.

With that in mind, do we have a motion?

COMMISSIONER LANAGHAN: I move to approve the variances as requested.

CHAIRPERSON SIAVELIS: Both of them?

COMMISSIONER LANAGHAN: Both of them as requested, correct.

COMMISSIONER JAFFE: I'm sorry. Second.

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. Jaffe.

COMMISSIONER JAFFE: Yes.

MR. MACH: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. MACH: Chairman Siavelis.

CHAIRPERSON SIAVELIS: Yes.

Congratulations.

MRS. GIOLLI: Thank you.

MR. GIOLLI: Thank you very much.

CHAIRPERSON SIAVELIS: Petition is granted; variances approved.

COMMISSIONER LANAGHAN: Good luck with the remodel. You can stay if you'd like, but you're welcome to leave.

MRS. GIOLLI: Okay, thank you.

MR. GIOLLI: Have a good evening. Thank you.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:19 p.m.)

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

FEBRUARY 10, 2025

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: Finn Residence – 616 E. Marion St.

Applicant: Maxx Klein – Airoom

Zoning Relief Requested:

- A 6.5-foot variation from Chapter 28, Section 5.1-3.3c (Required Minimum Yards) to allow an addition (porch) with an exterior side yard setback of 22.3 feet instead of the required 28.8 feet and an additional 1.0 feet for the eave.

Date of Publication: 1/25/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Drake, Jaffe, Lanaghan, Portera, Siavelis

Having heard and considered the testimony and evidence at the public hearing of January 13, 2025, the ZBA makes the following **findings of fact**:

The subject property is zoned R-3 – Residential Single-Family District and the property has a total land area of 9,764 square feet. The petitioner is proposing to construct a main entry porch on the southern face of the building. The proposed porch is approximately 8 feet deep by approximately 23 feet in width and the proposed exterior side yard setback is 22.3 feet; however, per code, an exterior side yard setback of 28.8 feet is required.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

- X The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and

- X The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
- X The proposed variation is in harmony with the spirit and intent of this Chapter; and
- X The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- A 6.5-foot variation from Chapter 28, Section 5.1-3.3c (Required Minimum Yards) to allow an addition (porch) with an exterior side yard setback of 22.3 feet instead of the required 28.8 feet and an additional 1.0 feet for the eave.

Reason for Determination:

The Zoning Board commented that the request is reasonable and there has been no resistance to the petition. The Zoning Board also commented that the homeowner wants to improve the curb appeal of their home.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

5 ayes 0 nays 2 absent 0 abstain

Date: February 10, 2025

Peter Siavelis, Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 616 EAST MARION STREET - ZBA #24-051

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 10th day of February, 2025 at the hour of
7:19 p.m.

MEMBERS PRESENT:

PETER SIAVELIS, Chairperson
THOMAS DRAKE
JEFFREY LANAGHAN
BENJAMIN JAFFE
FRANK PORTERA

ALSO PRESENT:

DEREK MACH, Development Planner
DARKO BOJIN, Assistant Planner

CHAIRPERSON SIAVELIS: Okay, up next is ZBA Petition #24-051, 616 East Marion Street.

MR. MACH: Chairman, Darko is going to present this petition.

CHAIRPERSON SIAVELIS: All right, go ahead.

MR. BOJIN: Thank you, Chairman.

The Petitioner is proposing to construct a main entry porch addition to the existing home. The proposed porch is proposed to be set back 22.3 feet where 28.8 feet is required by code.

Therefore, the Petitioner is requesting a 6.5-foot variation from Chapter 28, Section 5.1-3.3c to allow a porch with an exterior side yard setback of 22.3 feet instead of the required 28.8 feet, and an additional one foot for the eave. Thank you.

CHAIRPERSON SIAVELIS: Great, thank you very much.

MR. KANG: Hi, my name is Sam Kang. I'm an architect representing the owner, Melissa Finn, who's here, one of the owners.

CHAIRPERSON SIAVELIS: Wait, hold on before you get started.

MR. KANG: Swear?

CHAIRPERSON SIAVELIS: Hold on, I want to make sure. Did you get the spelling of his last name or do you need the spelling of his last name? Are you good? Okay, all right.

Right hand?

(Witness sworn.)

CHAIRPERSON SIAVELIS: All right, please proceed.

MR. KANG: Thank you. So, the owner wants to expand the existing front porch, to widen it and provide a little shelter there. The reason is their lot is narrow and wide. The main entrance is considered on the wrong side, but it's also considered the side yard so you can't encroach with a porch. The front yard is actually much bigger than the rear yard, twice as big, so most of the activities, family activities happen in the front yard. The north side is less used because it's dark, you know, the north side. The front yard also faces an open park, so they enjoy that view and they enjoy playing with the kids they have in the front yard. That's where the bulk of their time is spent.

So, it makes sense to request really an expansion of their porch for a little seating area for gathering together and watching their kids in the front yard play. Of course, they also use the park across the street. So, this is not any different than other houses of this lot, typical lot. Still, it's just being on the wrong side in other areas of the neighborhood. So, it's consistent with the neighborhood standards there.

So, I have a cold so bear with me. I'm going to go through these items one-by-one.

So, the proposed alteration doesn't change, it's compatible with the neighborhood and the existing area. So, we believe that it meets those criteria.

Number two, this is a unique circumstance because of the size and location of the entrance and the way, there is very minimal yard space in the rear, and it's more conducive for the family to spend more time in the front yard, in the southern side with more sunlight, healthier for them in the sunlight. So, they would really like to make it more usable with the front porch that they could sit out there and watch their kids.

The porch encroachment allows for, so I mentioned that, I'm sorry. I covered --

CHAIRPERSON SIAVELIS: I think you covered one, two and three.

MR. KANG: Yes. I'm looking for the fourth, okay.

CHAIRPERSON SIAVELIS: Are you -- well, go ahead, finish what you're saying. I apologize.

MR. KANG: All right, the requested variance is the minimum necessary for reasonable use of the property. It's not a, it's just to increase the front porch. It actually will add more to the appearance, there's a small little porch in the middle, but it will fit the house. This actual element will help with the facade, you know, increase the attractiveness of the facade. So, and this also provides a little bit of shelter. It's not a huge porch at all, it's a modest size, but we hope that you will consider this request.

CHAIRPERSON SIAVELIS: Okay, any questions?

COMMISSIONER JAFFE: Just a couple of clarifying questions. You said you're expanding the corners. So, what is in place today is just a covered area for the front door and that's it?

MR. KANG: Yes, that one.

COMMISSIONER JAFFE: Okay, so basically everything to the --

MR. KANG: Right. That's east, yes.

COMMISSIONER JAFFE: Okay, how long has the Petitioner lived in this house?

MR. KANG: A little over five years. So, they have young kids and they want to stay there for a long time.

CHAIRPERSON SIAVELIS: How many kids are we talking about, or how many people total? Four?

MR. KANG: Two kids.

CHAIRPERSON SIAVELIS: Two kids, okay, four people.

MR. KANG: Young kids. So, they want to stay here a while. This is a nice area, a park across the street. The other side is just a church, and then the park, tennis court. So, they love this area and they get along with their neighborhood. They constantly walk in the neighborhood, and everyone gets along with them, you know.

COMMISSIONER LANAGHAN: How deep is the porch that you're making? Off of the house, that is.

MR. KANG: It's written down, but the new porch is --

COMMISSIONER LANAGHAN: That's about six feet based on the variance --

MR. KANG: Yes, I think it's approximately seven feet, six inches --

COMMISSIONER LANAGHAN: Okay.

MR. KANG: -- that's from the building. The setback is obviously not up to the building so it's more like six-foot something.

COMMISSIONER LANAGHAN: And the existing covered entry, is that being expanded out a little bit as well?

MR. KANG: Yes, a little bit.

COMMISSIONER LANAGHAN: Okay.

MR. KANG: Right now, you can't really use it for seating or anything, it's too small. So, the whole purpose of this is to be able to put a couple of wicker chairs out there and table to watch their kids play in the front yard.

CHAIRPERSON SIAVELIS: Derek, I didn't see any, in the packet, any

neighborhood commentary, either pro or con?

MR. BOJIN: None received.

CHAIRPERSON SIAVELIS: Okay, any other questions?

COMMISSIONER LANAGHAN: To that point, have the neighbors been approached, and did you get any kind of feedback whatsoever?

MR. KANG: Yes. She's walked around the neighborhood; they all received the packets. She's talked to them and they've been supportive of it. They like the design; they like the new entrance. They think it's going to be improving the neighborhood instead of the little thing they have now. So, she has talked to them.

COMMISSIONER LANAGHAN: Okay, thank you.

CHAIRPERSON SIAVELIS: Any other questions from the Board members?

(No response.)

CHAIRPERSON SIAVELIS: Okay, you can take a seat.

MR. KANG: Thank you.

CHAIRPERSON SIAVELIS: Are there any questions? Just in case somebody slipped in when I wasn't paying attention. Are there any questions from members of the public who wish to speak in regards to this petition?

(No response.)

CHAIRPERSON SIAVELIS: Okay, hearing none, we move to the deliberation phase.

Ben, would you like to commence deliberations?

COMMISSIONER JAFFE: Sure. I think it's a very straight-forward and reasonable request. All the requirements in my thinking have been met. There's been no neighborhood or neighbor resistance. So, I would be comfortable supporting this as presented.

CHAIRPERSON SIAVELIS: Agreed, and again, I note that this is a relatively modest porch addition being requested. This is a wide lot as it faces the curb, right, for curb appeal. It's 106, almost 107 feet wide. Then you have that radius or curvature there on the southeast side. So, you know, I think what the Petitioner is asking for is quite modest and reasonable, and frankly I would have probably asked for more if I was going to do this, but I totally get that, what they're seeking, and I'm in support of it.

So, Jeff or Tom, do you have anything else?

COMMISSIONER LANAGHAN: No.

COMMISSIONER DRAKE: Agreed.

CHAIRPERSON SIAVELIS: Frank?

COMMISSIONER PORTERA: Agreed.

CHAIRPERSON SIAVELIS: Okay, do we have a motion?

COMMISSIONER JAFFE: I move to approve the variance as presented.

CHAIRPERSON SIAVELIS: Do we have a second?

COMMISSIONER DRAKE: Second.

CHAIRPERSON SIAVELIS: Derek?

MR. BOJIN: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. BOJIN: Mr. Jaffe.

COMMISSIONER JAFFE: Yes.

MR. BOJIN: Mr. Lanaghan.

COMMISSIONER LANAGHAN: Yes.

MR. BOJIN: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. BOJIN: Chairman Siavelis.

CHAIRPERSON SIAVELIS: Yes.

Congratulations.

MR. KANG: Thank you.

CHAIRPERSON SIAVELIS: Petition granted and variances allowed.

All right, now we move to our favorite topic of the evening, the public commentary section upon which any resident of Arlington Heights who may wish to speak on a subject not on the agenda, now is your time to speak, but you will be strictly limited to three minutes and three minutes only.

(No response.)

CHAIRPERSON SIAVELIS: Hearing none, we'll close that portion now as well. Darn.

Is there a motion for adjournment?

COMMISSIONER DRAKE: Move to adjourn.

COMMISSIONER LANAGHAN: Second.

CHAIRPERSON SIAVELIS: All in favor?

(Chorus of ayes.)

CHAIRPERSON SIAVELIS: Any opposed?

(No response.)

CHAIRPERSON SIAVELIS: Hearing none, we are adjourned.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:29 p.m.)



VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

Zoning Board of Appeals
3/10/2025

Item: 2417 E. Greshan Ct. - ZBA24-045
Department: Planning & Community Development

Item Description:

REQUEST

A variation from Chapter 28, Section 6.5-2 to allow a gazebo (accessory structure) in the front yard where gazebos are only permitted in the rear yard.

ATTACHMENTS:

1. Exhibits 3-10-25_2417 E Greshan Ct

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: March 10, 2025
Date Prepared: March 5, 2025
Project Title: Meinhardt Residence
Address: 2417 E. Greshan Ct.

Background Information

Petition Number: ZBA #24-045
Petitioner: Amy Williams / Midtown Home Improvements
Address: 945 N. Edgewood Ave, Suite C & D
Wood Dale, IL 60191

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

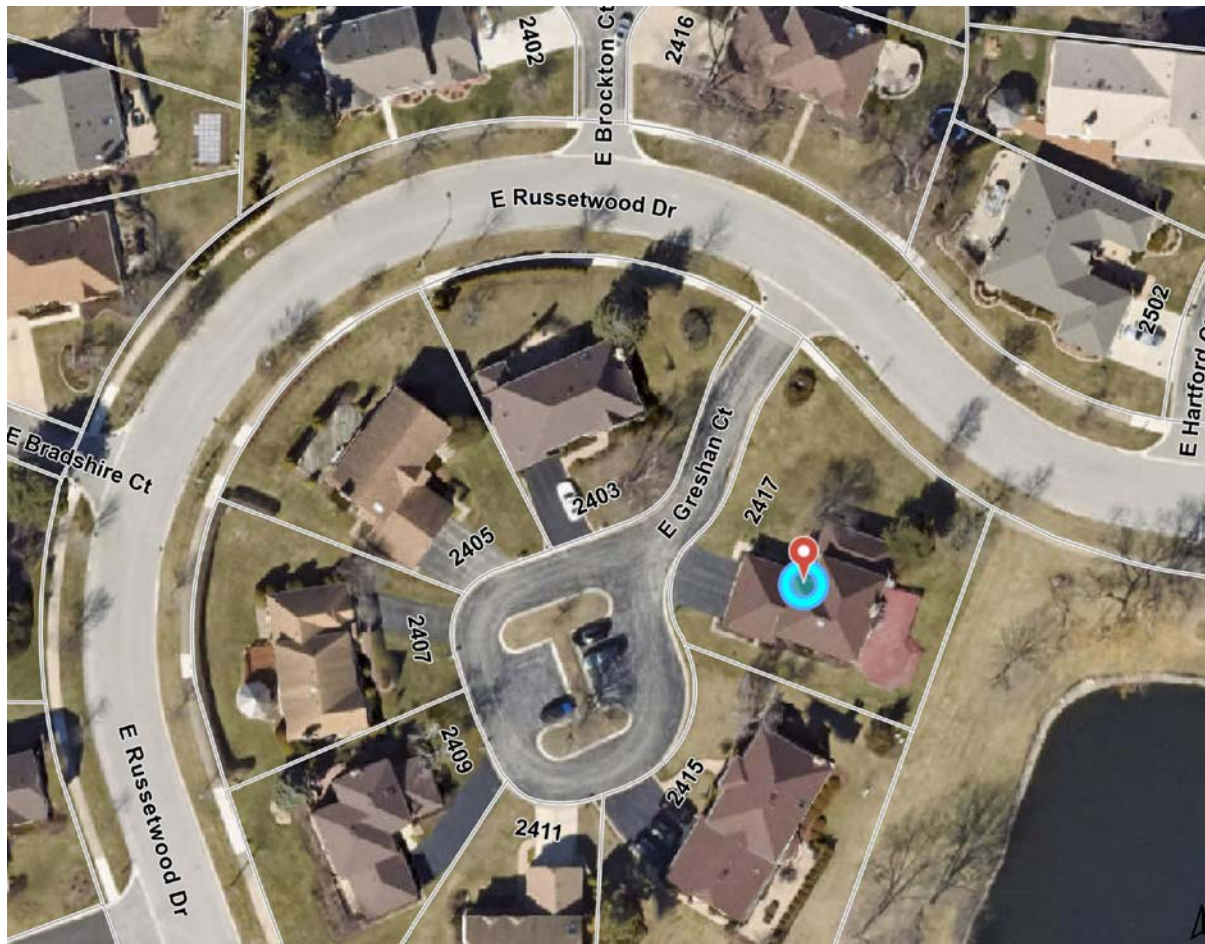
The subject property is approximately 12,968 square feet and the property is zoned R-3, One Family Dwelling District. The petitioner is proposing a 196 square foot gazebo that is approximately 11'-6" tall located northeast of the residence within the front yard where accessory structures are only permitted in the rear yard. Therefore, the petitioner is requesting the following variation:

- A variation from Chapter 28, Section 6.5-2 to allow a gazebo (accessory structure) in the front yard where gazebos are only permitted in the rear yard.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	2/22/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	2/22/25	
3. Letter that was Mailed	✓	2/22/25	
4. Photographs of Sign on Property	✓	2/22/25	

Photographs of Existing Structure



Village of Arlington Heights



To: Amy Williams / Midtown Home Improvement
From: Derek Mach
Department: Department of Planning and Community Development
File Number: ZBA 24-045
Project: 2417 E. Greshan Ct.
Date: March 5, 2025

ZONING COMMENTS:

The zoning comments below for your use and consideration. If you have any questions, please contact dmach@vah.com:

Planning and Community Development

1. The colors of the gazebo should be selected to complement the existing house and surrounding neighborhood.

Building and Life Safety

1. BLS has no objection to this ZBA application.

Engineering

1. Engineering has NO OBJECTION to a variation from Chapter 28, Section 6.5-2 to allow a gazebo (accessory structure) in the front yard where gazebos are only permitted in the rear yard. NOT: An existing and proposed grading plan may be required as part of the permit submittal.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Monday, March 10, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A variation from Chapter 28, Section 6.5-2 to allow a gazebo (accessory structure) in the front yard where gazebos are only permitted in the rear yard.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planning_mail@yah.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

Parcel 1: Lot 1 in Block "F", in the Courts of Russetwood Unit 4, being a Subdivision of part of the South West ¼ of the North East ¼ of Section 21, Township 42 North, Range 11, East of the Third Principal Meridian, in Cook County, Illinois.

Parcel 2: Easement for ingress and egress for the benefit of Parcel 1 as set forth in the Declaration of covenants, conditions and restrictions recorded as Document 25486664 and as created by deed recorded July 18, 1985 as Document 85107171 in Cook County, Illinois.

Commonly known as: 2417 E. Gresham Court, Arlington Heights IL 60004.

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@yah.com.

Peter Siavelis, Chairman
Zoning Board of Appeals

Published in Daily Herald Feb. 22, 2025 (280592)

CERTIFICATE OF PUBLICATION

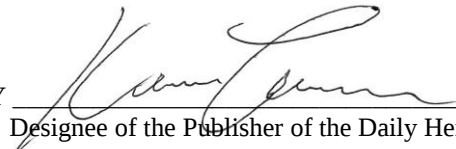
Paddock Publications, Inc.

Northwest Suburbs Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 02/22/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY


Designee of the Publisher of the Daily Herald

Control # 280592



PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner William + Susan Meinhardt
being the owner of the property commonly known as: 2417 Gresham Ct
and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a
Variation from Section 12.1c
Chapter 28, of the Arlington Heights Municipal Code, in order to: obtain a zoning variance for a gazebo.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): the gazebo will still be within property lines. There is no property adjacent to where the gazebo would go (in proposed location)

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): Due to unique circumstances: placing gazebo in another location would place it too close to adjacent property or too close to an easement.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): The proposed variation will not alter supply of air + light to adjacent properties. This will not cause any street congestion or safety issues. Will not diminish property value.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): There is more open area where the gazebo is proposed to be located at than if it were on another side of the property.

Signed: [Signature]

Petitioner

Date: 11/5/24

Revised 5/1/24

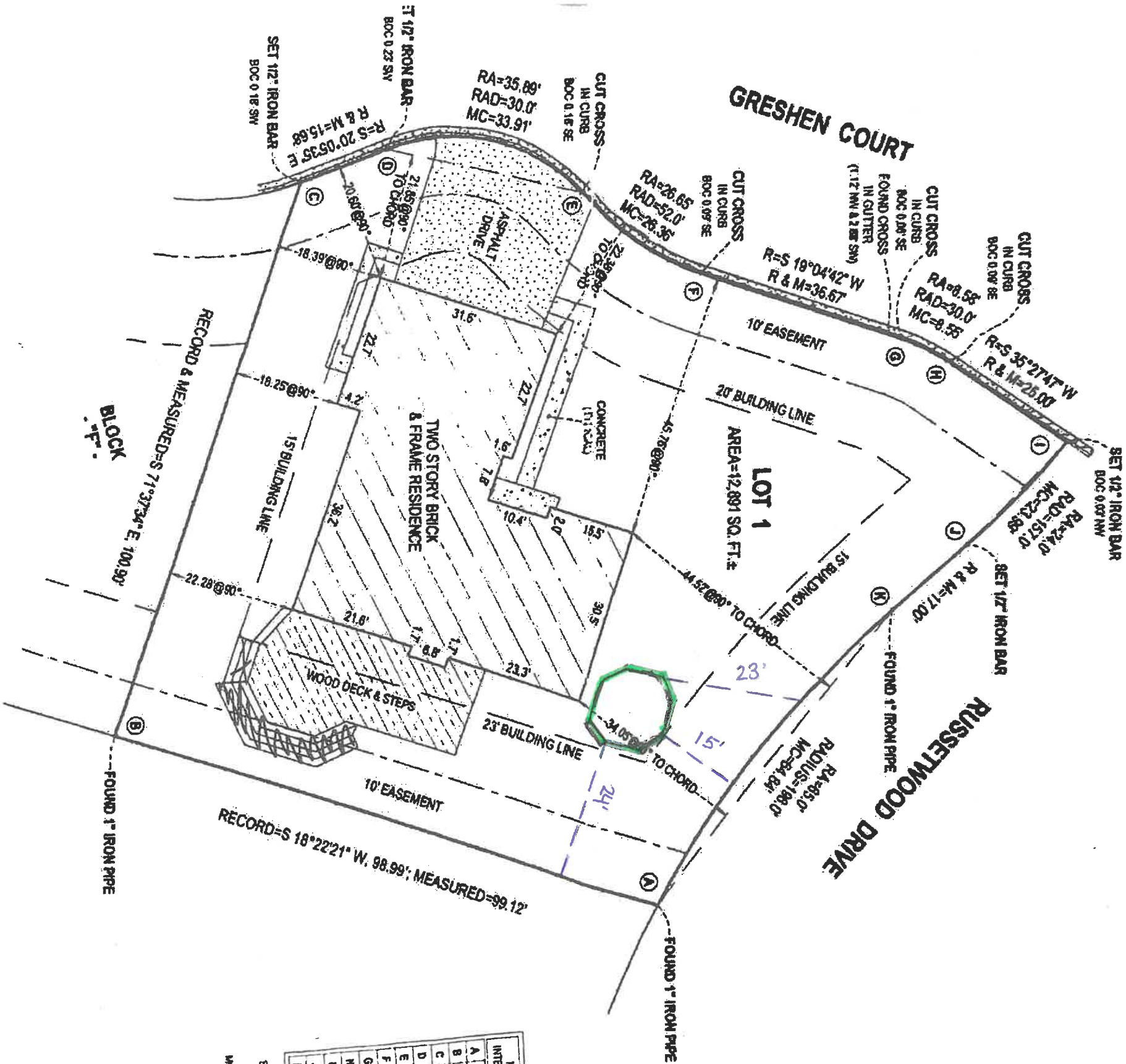
218 N. County Street
Waukegan, IL 60085
Phone: 847-336-2473
Fax: 847-336-2113

MID WEST SURVEY COMPANY
Made Professional Design Firm (04/03/03)
PLAT OF SURVEY

Northwest Suburbs:
Phone: 847-392-7600
Fax: 847-392-7719

PARCEL 1: LOT 1 IN BLOCK "F" IN THE COURTS OF RUSSETWOOD UNIT 4 BEING A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 21, TOWNSHIP 42 NORTH, RANGE 11, IN COOK COUNTY, ILLINOIS.

PARCEL 2: EASEMENT FOR INGRESS AND EGRESS FOR THE BENEFIT OF PARCEL 1 AS SET FORTH IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED AS DOCUMENT 2546444 AND AS CREATED BY DEED RECORDED JULY 16, 1985 AS DOCUMENT 8319771, IN COOK COUNTY, ILLINOIS.



MEASURED INTERIOR ANGLES	
A	M=110°22'58"
B	M=80°12'24"
C	M=128°22'01"
D	M=145°55'19"
E	M=160°15'55"
F	M=194°40'57"
G	M=171°46'28"
H	M=171°46'27"
I	M=81°37'50"
J	M=175°25'35"
K	M=169°26'37"

BOC - BACK OF CURB
RA - RECORD ARC
MC - MEASURED CHORD
RAD - RADIUS

All distances shown in feet and decimal parts thereof. No distances are to be determined by scaling. Field work completed on 07/16/2006.

Job no. 313331 P.L.N. 05-21-273-027 Scale 1" = 20'
Address 241 E. GRESHEN COURT Township WHEELING
ARLINGTON HEIGHTS, IL Ordered by MICHAEL S. GRANT Printed by G.D.F.
COPYRIGHT 2006 - MID WEST SURVEY COMPANY

STATE OF ILLINOIS)
COUNTY OF LAKE) S.S.

On behalf of MID WEST SURVEY COMPANY, I hereby certify that the above described property was surveyed under my supervision and that the attached plat is a correct representation of said survey. This professional service conforms to the current Illinois professional standards for a boundary survey.

Dated JULY 7, 2006 By *Michael S. Grant* MID WEST SURVEY COMPANY
Midwest Professional Land Surveyor, My license expires 11/2008

GENERAL NOTES

1.

ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN CONSTRUCTION OF THE PROJECT INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.
2.

ALL CODES, TRADE STANDARDS, AND MANUFACTURER'S INSTRUCTIONS REFERENCED IN THE CONTRACT DOCUMENTS SHALL BE THE LATEST EDITION.
3.

DETAILS AND SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYPICAL" IMPLY ALL CONDITIONS TREATED SIMILARLY. MODIFICATIONS TO BE MADE BY CONTRACTOR TO ACCOMMODATE MINOR VARIATIONS.
4.

ALL DRAWINGS SHALL BE FULLY COORDINATED BY CONTRACTOR TO VERIFY ALL DIMENSIONS, LOCATE DEPRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, REGLETS, BOLT SETTINGS, SLEEVES, ETC.
5.

THE CONTRACTOR SHALL VERIFY AND PROTECT ALL SERVICE LINES AND EXISTING SITE AREA FROM DETERIORATION OR DAMAGE.
6.

THE ARCHITECT/ ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES, TECHNIQUES OR THE FAILURE OF THE BUILDER TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWINGS OR THE REQUIRED CODES.
7.

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.
8.

CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN CONTRACT DOCUMENTS TO THE ATTENTION OF THE ARCHITECT IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS IN THE CONTRACT DOCUMENT OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT BEFORE CONSTRUCTION AND/ OR FABRICATIONS OF THE WORK.
9.

THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE SUFFICIENTLY IN ADVANCE OF WORK TO BE PERFORMED, TO ASSURE THE ORDERLY PROGRESS OF THE WORK.
10.

CONTRACTORS SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT, OVER SPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.
11.

ALL MANUFACTURER'S PRINTED WARNINGS FOR HANDLING OF PRODUCTS MUST BE STRICTLY OBSERVED. THE WORDS "OR EQUAL" ARE TO BE ASSUMED WHENEVER A SPECIFIC MANUFACTURER IS NOTED. HOWEVER, CONSTRUCTION MANAGER MUST APPROVE ALL SUBSTITUTIONS.
12.

THE CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.

SITE WORK NOTES

1.

ALL DUMPSTERS, STRUCTURES, OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.

STRUCTURAL DESIGN CRITERIA:

1.

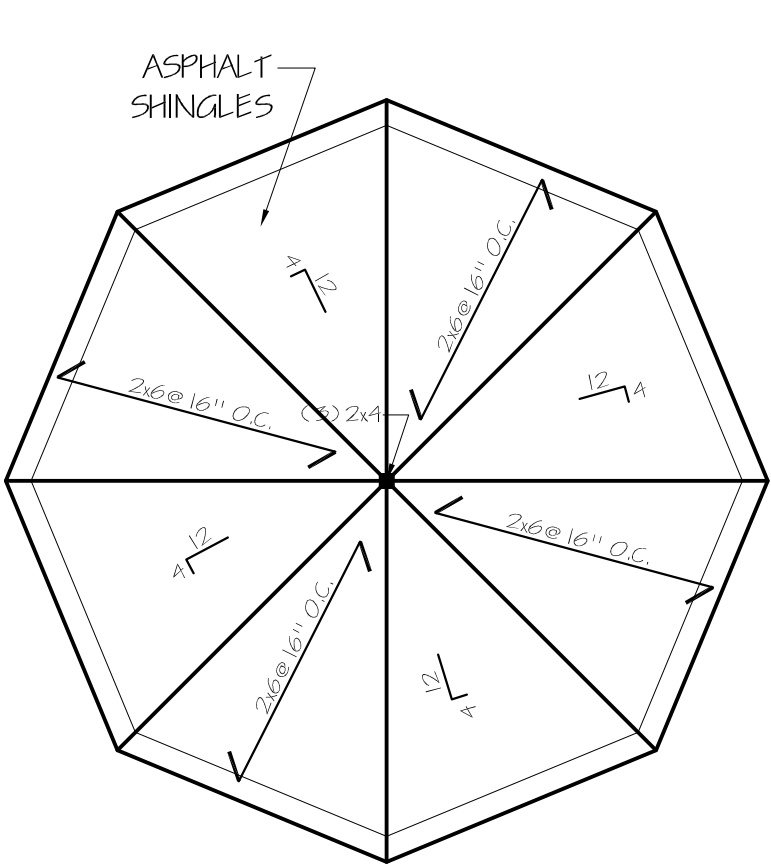
LIVE LOAD: 40PSF + 10PSF DEAD LOAD
2.

WIND: MAIN WIND FORCE RES. SYSTEM 20PSF, UPLIFT LOAD 15PSF.
3.

SOIL BEARING: 2,500PSF.
4.

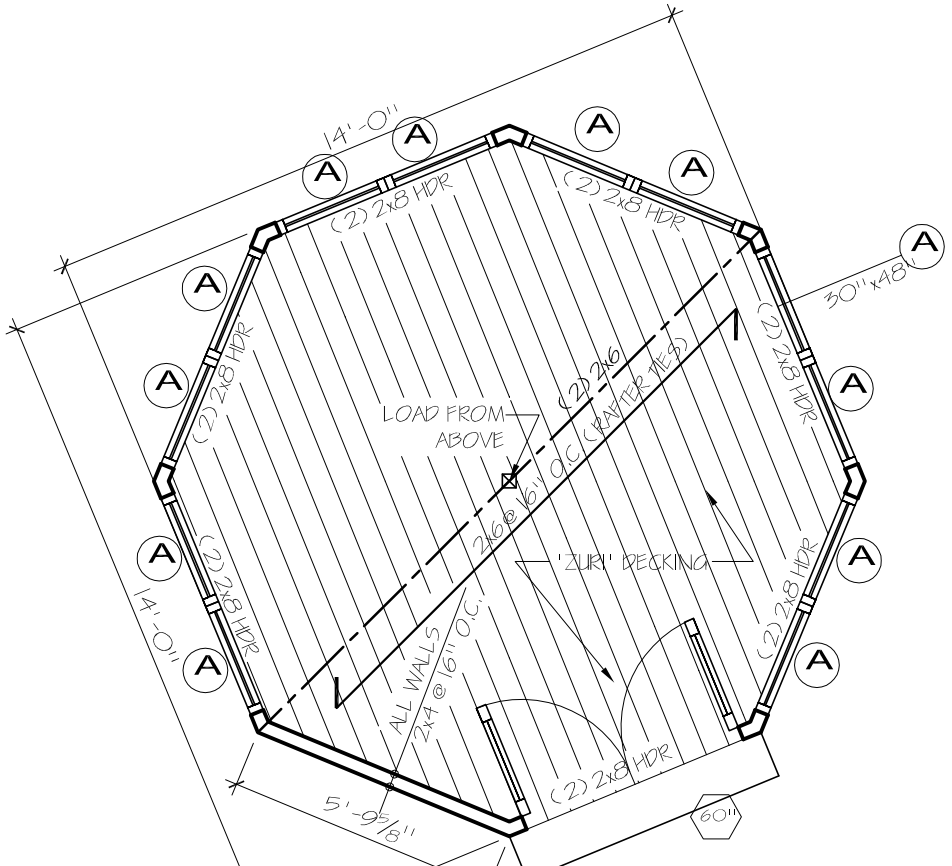
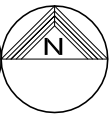
CONCRETE: 3000 PSI @28 DAYS
5.

GUARDRAIL DESIGNED TO RESIST SIMULTANEOUS HORIZONTAL THRUST OF 50 PLF & APPLIED POINT LOAD OF 200 POUNDS AT ANY LOCATION ALONG TOP RAIL.



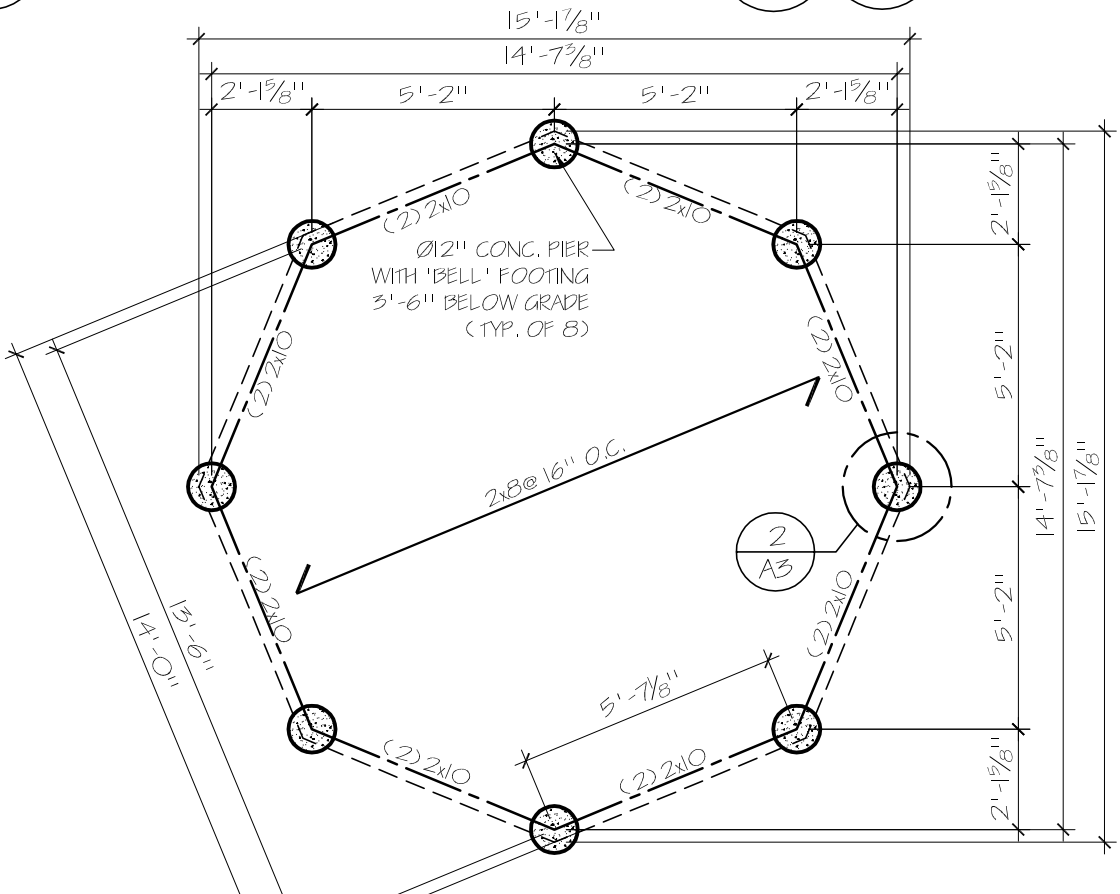
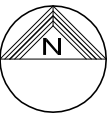
ROOF PLAN
SCALE: 1/4" = 1'-0"

3
A2



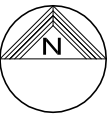
GAZEBO
FLOOR PLAN
SCALE: 1/4" = 1'-0"

2
A2



GAZEBO
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

1
A2



ISSUE DATES

DATE	DESCRIPTION	PERMIT ISSUE
06.24.2024		



PRO-PLAN ARCHITECTS, PC
andrew kaczynski
705 devon park ridge
tel 773.233.2675
WWW.PROPLANARCHITECTS.COM

JOB NO 24056

DRAWN BY:
ANDY KACPRZYNSKI

DRAWING LIST
PROPOSED PLANS
NOTES

GAZEBO

2417 GRESHAN CT, ARLINGTON HTS, IL

SHEET NO

A2

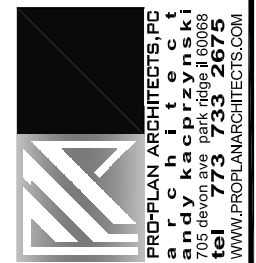
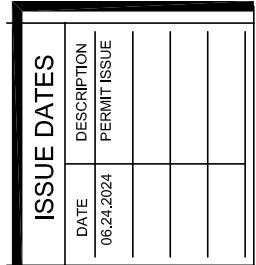


1. WOOD:
SOUTHERN YELLOW PINE, PRESSURE TREATED USING ACQ-C, ACQ-D, CBA-A, OR CA-B PRESERVATIVE, GRADE No.1 OR BETTER SHALL BE USED FOR COLUMNS, AND GRADE No.2 OR BETTER SHALL BE USED FOR ALL OTHER MEMBERS.
2. FASTENERS:
NAILS- STAINLESS STEEL OR HOT-DIPPED GALVANIZED, SIZED AS SPECIFIED IN DETAILS.
DECK SCREWS- $2\frac{1}{2}$ " TO $3\frac{1}{2}$ " LONG, #8 SIZE MIN., STAINLESS STEEL OR HOT-DIPPED GALVANIZED.
LAG BOLTS- STAINLESS STEEL OR HOT-DIPPED GALVANIZED, SIZED AS SPECIFIED IN DETAILS. MATERIAL SHALL BE SAE GRADE 2.
HEX BOLTS- STAINLESS STEEL OR HOT-DIPPED GALVANIZED, SIZED AS SPECIFIED IN DETAILS. MATERIAL SHALL BE ASTM A307.
3. CONCRETE:
CONCRETE, WHETHER PREPACKAGED OR REDI-MIX, SHALL HAVE A COMPRESSIVE STRENGTH OF 3,500 POUNDS PER SQUARE INCH 28 DAYS AFTER PLACEMENT, AND SHALL HAVE 5% - 8% AIR ENTRAINMENT.
4. REINFORCEMENT BARS:
REINFORCEMENT BARS SHALL BE ASTM A615, GRADE 60 STEEL.
5. MASONRY:
MASONRY UNITS SHALL COMPLY WITH APPLICABLE ASTM STANDARDS, AND MORTAR SHALL BE TYPE M OR S, WITH $f_m=1,150$ PSI.
6. METAL CONSTRUCTION CONNECTORS:
THESE SHALL BE STAINLESS STEEL, HOT-DIPPED GALVANIZED OR TRIPLE ZINC GALVANIZED (G-185), SIMPSON STRONG TIE, UNITED STEEL PRODUCTS OR EQUAL, TO BE USED FOR JOIST HANGER, COLUMN BASE, METAL STRAP, AND METAL ANGLE CONNECTIONS.
7. FLASHING AND SEALANTS:
FLASHING SHALL BE 28 GA. STAINLESS STEEL (0.15" MIN. THICKNESS ASTM A167, TYPE 304) OR 16-oz COLD ROLLED COPPER (0.021" MIN. THICKNESS, ASTM B 370). CARLISE COATINGS' CCW-705 SELF-ADHERING VAPOR/ AIR BARRIER SYSTEM OR EQUAL SHALL BE USED FOR THE VAPOR BARRIER AT THE LEDGER BEAM CONNECTIONS. SEALANT SHALL BE 100% SILICONE RUBBER SEALANT WITH A 50 YEAR DURABILITY GUARANTEE.
8. STRUCTURAL STEEL:
ALL STRUCTURAL STEEL SHALL BE ASTM A-36, COATED WITH A RUST PROHIBITED PRIMER WITH A MIN. DRY THICKNESS OF 3 MILS.

1. CONTRACTOR TO LOCATE UTILITIES PRIOR TO EXCAVATING FOR FOUNDATION.
2. CONTRACTOR TO NOTIFY DIGGER (1-312-744-7000) 48 HOURS MINIMUM PRIOR TO EXCAVATION.
3. REINFORCEMENT TO BE ASTM A-6-15, GR-60, EPOXY COATED, MINIMUM SPLICE LENGTH IS 30 BAR DIAMETERS.
4. CONCRETE TO HAVE $f_c = 3500$ PSI W/ 5-8% AIR ENTRAINMENT.

1. ALL FASTENERS, FLASHING, OR OTHER METAL HARDWARE THAT IS TO COME INTO CONTACT WITH ANY ACQ TREATED LUMBER MUST BE OF HOT-DIPPED GALVANIZED MATERIAL. THE NEW PRESSURE-TREATED WOOD CONTAINS HIGH CONCENTRATIONS OF COPPER, WHICH COULD QUICKLY CORRODE THE CRITICAL FLASHINGS, FASTENERS, AND CONNECTORS WHERE THE HOUSE AND THE DECK MEET THE FOUNDATION WALLS (OR FLOOR SLABS).
2. HOT-DIP GALVANIZED FASTENERS AND CONNECTORS ARE GENERALLY ACCEPTABLE FOR ABOVE GRADE APPLICATIONS. HOT-DIP GALVANIZED FASTENERS SHOULD MEET ASTM A153. HOT-DIP GALVANIZED CONNECTORS SHOULD MEET ASTM A653, CLASS G185 SHEET WITH 1.85 OUNCES OF ZINC COATING PER SQUARE FOOT MINIMUM.
3. FASTENERS AND CONNECTORS USED TOGETHER SHOULD BE OF THE SAME TYPE (E.G. HOT-DIP NAILS WITH HOT-DIP JOIST HANGERS). TYPE 304 AND 316 STAINLESS STEEL PRODUCTS ARE RECOMMENDED FOR MAXIMUM CORROSION RESISTANCE.

1. A LIGHT IS REQUIRED ON THE EXTERIOR SIDE OF THE OUTDOOR ENTRANCE / EXIT AT GRADE LEVEL ACCESS. 2017 NEC ARTICLE 210.70(A)(2)(2)
2. ALL ELECTRICAL WORK IS TO COMPLY WITH ALL APPLICABLE PROVISIONS OF THE 2017 NATIONAL ELECTRIC CODE.



DRAWING LIST
NOTES, ELEVATION
TYP. DETAILS

SHEET NO

A3

GAZEBO
2417 GRESHAM CT, ARLINGTON HTS, IL





VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

Zoning Board of Appeals
3/10/2025

Item: 507 E. Euclid Ave. - ZBA25-003

Department: Planning & Community Development

Item Description:

REQUEST

- A 60 square foot variation from Chapter 28, Section 5.1-3.5b (Maximum Impervious Surface Coverage) to allow 4,215 square feet of impervious surface coverage where 4,155 square feet is allowed.
- A 3.8-foot variation from Chapter 28, Section 10.2-11.1(b) to allow a driveway that is 25.8 feet wide where the maximum width allowed is 22 feet.

ATTACHMENTS:

1. Exhibits 3-10-25_507 E Euclid Ave

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: March 10, 2025
Date Prepared: March 5, 2025
Project Title: Salaverria Residence
Address: 507 E. Euclid Ave.

Background Information

Petition Number: ZBA #25-003
Petitioner: Robert Flubacker Architects
Address: 1895 Rohlwing Rd, Suite B
Rolling Meadows IL 60008

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

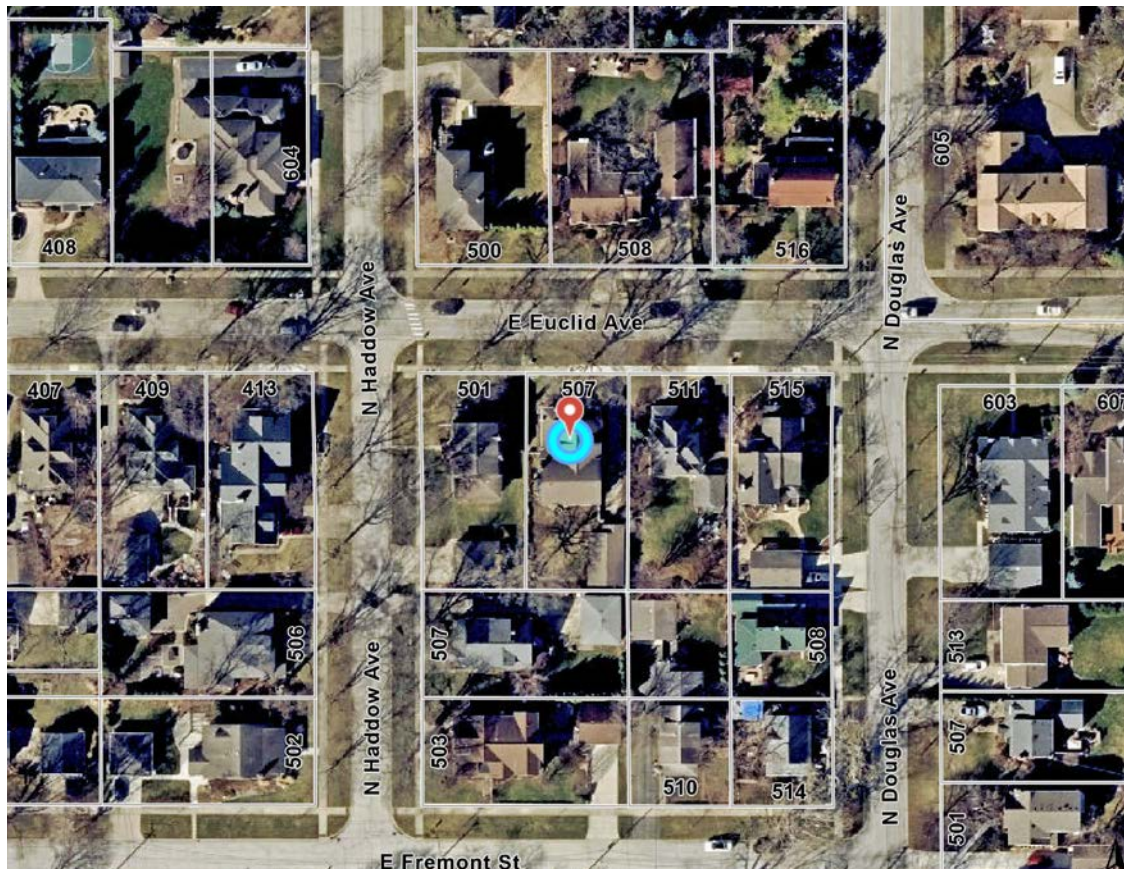
The subject site is zoned R-3, One Family Dwelling District and the petitioner is proposing a new driveway and an addition to the existing home. The property has a total land area of 6,957 square feet and the residence has approximately 3,121 square feet. The existing impervious surface coverage complies with code; however, with the new driveway expansion and porch, the property will have 4,215 square feet of impervious surface coverage which exceeds the maximum allowed. In addition, the driveway exceeds the allowable width near the detached garage. The proposed expansion is 25.8 feet where the maximum width allowed is 22 feet. Therefore, the petitioner is requesting the following variations:

- A 60 square foot variation from Chapter 28, Section 5.1-3.5b (Maximum Impervious Surface Coverage) to allow 4,215 square feet of impervious surface coverage where 4,155 square feet is allowed.
- A 3.8-foot variation from Chapter 28, Section 10.2-11.1(b) to allow a driveway that is 25.8 feet wide where the maximum width allowed is 22 feet.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	2/21/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	2/21/25	
3. Letter that was Mailed	✓	2/21/25	
4. Photographs of Sign on Property	✓	2/21/25	

Photographs of Existing Structure



Village of Arlington Heights



To: Robert Flubacker / Robert Flubacker Architects
From: Derek Mach
Department: Department of Planning and Community Development
File Number: ZBA 25-03
Project: 507 E. Euclid Ave.
Date: March 5, 2025

ZONING COMMENTS:

The zoning comments below for your use and consideration. If you have any questions, please contact dmach@vah.com:

Planning and Community Development

1. The design of the proposed screened porch addition is nicely done to fit with the character of the existing house and neighborhood.

Building and Life Safety

1. BLS has no objections.

Engineering

1. The Engineering Division has no objection to the requested variance from Chapter 28, section 5.1-3.5 (b) Maximum Impervious Surface Coverage for the widening of the driveway from 9 ft to 12 ft will result in an impervious coverage of approximately 53%, however; the new footing sump is proposed to discharge between the home and the driveway extension. The property drains from west to east, discharge from the sump could be directed to the property to the east. It is recommended that a green infrastructure element be utilized in the rear yard to capture the sump discharge and offset the increase in impervious coverage.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Monday, March 10, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 60 square foot variation from Chapter 28, Section 5.1-3.5b (Maximum Impervious Surface Coverage) to allow 4,215 square feet of impervious surface coverage where 4,155 square feet is allowed.
- A 3.8-foot variation from Chapter 28, Section 10.2-11.1(b) to allow a driveway that is 25.8 feet wide where the maximum width allowed is 22 feet.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planning-mail@vgh.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

Lot 3 in Block 4 in Sherman E. Pate's Addition to Arlington Heights, a Subdivision of the wet 1306 feet of the north 331 feet of the east ½ of the southwest ¼ of Section 29, Township 42 North, Range 11, east of the Third Principal Meridian, according to a Plat thereof recorded January 3, 1916 as Document 5779876 in Cook County, Illinois.

Commonly known as: 507 E. Euclid Avenue, Arlington Heights IL 60004

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@vgh.com.

Published in Daily Herald Feb. 22, 2025 (280596)

CERTIFICATE OF PUBLICATION

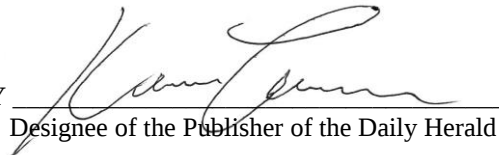
Paddock Publications, Inc.

Northwest Suburbs Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 02/22/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY


Designee of the Publisher of the Daily Herald

Control # 280596



PETITION

NOW COMES the Petitioner, **Robert Flubacker**, being the petitioner of the property commonly known as: **507 E. Euclid Ave.**, and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for variations from, **Section 5.1-3.5(b) Maximum Impervious Surface Coverage**, Chapter 28, of the Arlington Heights Municipal Code, in order to:

Replace the existing driveway.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variations were granted:

We would like to replace the existing approx. 9 foot wide asphalt driveway, which is in major disrepair, with a more current standard of a 12 foot wide driveway from Euclid Ave. and widening at the existing detached garage to access the 2-car overhead door. Many other houses along this area have their driveways also entering off Euclid Ave. to a rear yard detached garage.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned:

The property has an existing detached garage in the rear yard. Due to the lot width and the location of the existing house on the lot it is not possible, or financially feasible, to rebuild the garage closer to Euclid Ave. and therefore reduce the amount of driveway impervious surface area.

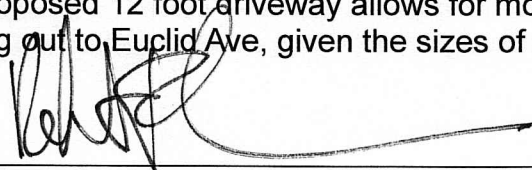
I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter:

With the exception of the variations requested, the project falls below the other zoning requirements. The project maintains the character of the neighborhood, while providing easier access to the existing detached garage..

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property:

The proposed 12 foot driveway allows for more manageable access, especially when backing out to Euclid Ave, given the sizes of modern cars.

Signed:


Robert Flubacker, Petitioner

Date:

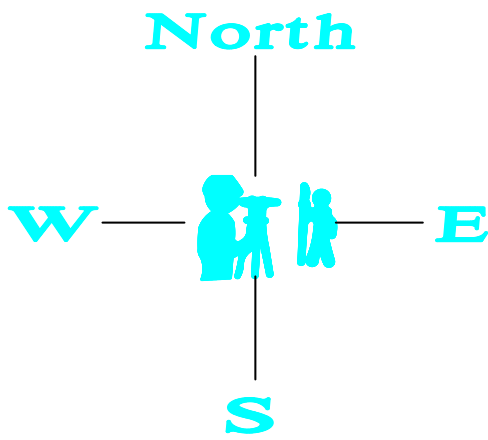
1/30/25

PLAT OF SURVEY

by
Michael J. Emmert Surveys, Inc.
of

Property located at: 507 E. EUCLID AVENUE

E. EUCLID AVENUE



1 IN. = 16 FT.
VERIFY SCALE
AGAINST THIS
GRAPHIC

BASIS OF BEARINGS IS ASSUMED

Legally described as:

LOT 3 IN BLOCK 4 IN SHERMAN E. PATE'S ADDITION
TO ARLINGTON HEIGHTS, A SUBDIVISION OF THE WEST
1306 FEET OF THE NORTH 331 FEET OF THE EAST
HALF OF THE SOUTHWEST QUARTER OF SECTION 29,
TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD
PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT
THEREOF RECORDED JANUARY 3, 1916 AS DOCUMENT
57798786, IN COOK COUNTY, ILLINOIS.

LINE TABLE

Line	Bearing	Distance	Measure
L1	S.89°54'40"E.	62.50'	62.50'
L2	S.00°02'55"E.	133.00'	133.00'
L3	N.89°48'58"W.	62.50'	62.50'
L4	N.00°02'56"W.	132.90'	132.90'

A.C. - AIR CONDITIONER
W.M. - WATER METER
G.M. - GAS METER
T.I. - TELEPHONE INTERFACE
C.S. - CABLE SERVICE
E.M. - ELECTRIC METER

Survey ordered by: DeWald Law Group

State of Illinois)
County of Du Page)

Michael J. Emmert Surveys, Inc., does hereby certify that we have surveyed the above
described property and prepared the plat hereon drawn. The legal description shown hereon is
provided by others. Refer to deed or title policy for building setbacks, easements or other
restrictions which may exist. Dimensions not noted hereon shall not be assumed by scaling or
otherwise. Compare all points before building and report any discrepancies. This professional
service conforms to the current Illinois Minimum Standards for a Boundary Survey.
Date of field survey: June 13, 2024

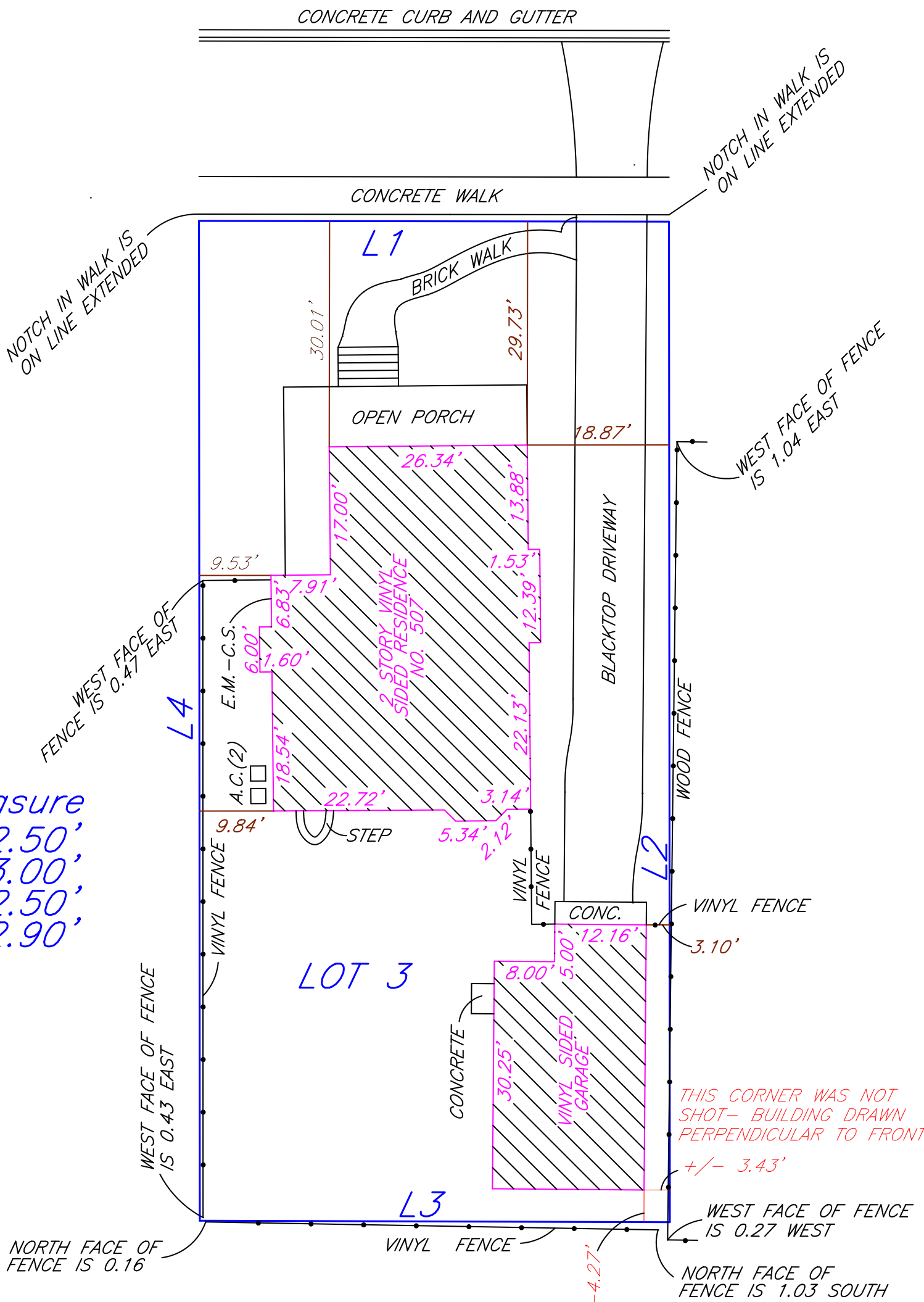
Dated this 13th day of June, 2024

By: _____ President

Professional Illinois Land Surveyor No. 2499

License expires on November 30, 2024

Professional Design Firm Land Surveyor Corporation No. 184.004811



	1/8	1/4	3/8	1/2	5/8	3/4	7/8	
0 AND	.01	.02	.03	.04	.05	.06	.07	.08 = 1 INCH
1 AND	.09	.10	.11	.125	.14	.15	.16	.17 = 2 INCHES
2 AND	.18	.19	.20	.21	.22	.23	.24	.25 = 3 INCHES
3 AND	.26	.27	.28	.29	.30	.31	.32	.33 = 4 INCHES
4 AND	.34	.35	.36	.375	.39	.40	.41	.42 = 5 INCHES
5 AND	.43	.44	.45	.46	.47	.48	.49	.50 = 6 INCHES
6 AND	.51	.52	.53	.54	.55	.56	.57	.58 = 7 INCHES
7 AND	.59	.60	.61	.625	.64	.65	.66	.67 = 8 INCHES
8 AND	.68	.69	.70	.71	.72	.73	.74	.75 = 9 INCHES
9 AND	.76	.77	.78	.79	.80	.81	.82	.83 = 10 INCHES
10 AND	.84	.85	.86	.875	.89	.90	.91	.92 = 11 INCHES
11 AND	.93	.94	.95	.96	.97	.98	.99	1.0 = 1 FOOT



mike@mjesurveys.com
Michael J. Emmert Surveys, Inc
185 East Vallette Street
Elmhurst, Illinois 60126
Office 630-516-0383

ABBREVIATIONS

●	AT	EXP.	EXPANSION	PLAM.	PLASTIC LAMINATE
▲	ANGLE	F.D.	FLOOR DRAIN	PLYWD.	PLYWOOD
5S	PIVE SHELVES	F.F.	FINISH FLOOR	P.S.F.	POUNDS PER SQUARE FOOT
A/C.	AIR CONDITIONING	FIN.	FINISH	P.S.I.	POUNDS PER SQUARE INCH
ADJ.	ADJUSTABLE	FIXT.	FIXTURE	PARALL.	PARALLEL STRAND LUMBER
A.F.F.	ABOVE FINISH FLOOR	FND.	FOUNDATION	PVC.	POLYVINYL CHLORIDE
ALT.	ALTERNATE	F.O.C.	FACE OF CONCRETE	R.	RADIUS
ALUM.	ALUMINUM	F.O.S.	FACE OF STUD	R.D.M.	ROOF DRAIN
APPROX.	APPROXIMATE	FRZ.	FREEZER	R.R.	ROOF RAFTERS
ARCH.	ARCHITECTURAL	F.S.	FOOTING SUMP	R&G	ROD & SHELF
B.	BOTTOM OF	FTG	FOOTING	REBAR.	REINFORCING BAR
B.D.	BOARD	FURN.	FURNACE	REF.	REFRIGERATOR
B.I.	BUILT-IN	GA.	GAUGE	REG.	REGULAR
B.D.R.	BUILDING	GALV.	GALVANIZED	REINF.	REINFORCE
B.O.	BY OWNER	GLU-LAM.	GLUE LAMINATED BEAM	RM.	ROOM
B.RG.	BEARING	GYP.D.	GYP.SUM BOARD	R.O.	ROUGH OPENING
C.B.	CARPET	HGT.	HEIGHT	S.C.	SOLID CORE
CAB.	CABINET	H.M.	HOLLOW METAL	SECT.	SECTION
C.I.	CAST IRON	HORZ.	HORIZONTAL	S.H.	SINGLE-HUNG CLOSET ROD
C.J.	CONCRETE JOINTS	HTG.	HEATING	SIM.	SIMILAR
C.L.	CENTER LINE	H.V.A.C.	HEATING VENTILATION,	SUMP	SUMP PIT
C.L.G.	CEILING		AIR CONDITIONING	SPEC.	SPECIFICATION
C.M.U.	CONCRETE MASONRY UNIT	H.W.	HOT WATER	SQ.	SQUARE
C.O.	CASED OPENING/ CLEAN OUT	INSUL.	INSULATION	ST.	STANDARD
COL.	COLUMN	INT.	INTERIOR	STL.	STEEL
CONC.	CONCRETE	L.	LINEN	STOR.	STORAGE
CONSTR.	CONSTRUCTION	LAM.	LAMINATE	STRUCT.	STRUCTURAL
CONT.	CONTINUOUS	LAV.	LAVATORY	SUSP.	SUSPENDED
C.T.	CERAMIC TILE	LLV.	LONG LEG VERTICAL	T/	TOP OF
C.W.	COLD WATER	LVL.	LAMINATED VENEER LUMBER	T&B.	TOP & BOTTOM
C.RYR.	CRYSTAL	MAX.	MAXIMUM	TONGUE	TONGUE & GROOVE
DEM.	DEMOLITION	M.C.	MEDICINE CABINET	TEL.	TELEPHONE
D.	DOUBLE-HUNG CLOSET RODS	MECH.	MECHANICAL	T.M.E.	TIME TO MATCH EXIST.
D.A.	DIAMETER	MED.	MEDIUM	TOP OF PLAT.	TOP OF PLATE
DM.	DIMENSION	MICRO.	MICROWAVE	TV.	TELEVISION
DISP.	DISPOSAL	MIN.	MINIMUM	TYP.	TYPICAL
DIVISION	DIVISION	MISC.	MISCELLANEOUS	UN.	UNLESS OTHERWISE NOTED
D.N.	DOWN	M.S.C.	MASONRY OPENING	V.C.T.	VINYL COMPOSITION TILE
D.S.	DOWN SPOUT	MTL.	METAL	VERT.	VERTICAL
DISHW.	DISHWASHER	NON-FRZ.	NON-FREEZE HOSE BIBB	V.T.R.	VENT THRU ROOF
E.A.	EACH	N.I.C.	NOT IN CONTRACT	W/	WITH
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	NO.	NUMBER	W.	WASHER
		NOM.	NOMINAL	W.C.	WATER CLOSET
ELECT.	ELECTRICAL	N.T.S.	NOT TO SCALE	WOOD	WOOD
ELEV.	ELEVATION	O.A.	OVER ALL	WDW.	WINDOW
EP.	EJECTOR PIT/SUMP	O.C.	ON CENTER	W.H.	WATER HEATER
EQU.	EQUAL	O.H.	OVERHANG	WALK-IN	WALK-IN CLOSET
EQUIP.	EQUIPMENT	OPP.	OPPOSITE	W/O	WITHOUT
EQUIV.	EQUIVALENT	O.VEN	OVEN	WT.	WEIGHT
E.W.	EACH WAY	PERF.	PERFORATED	W.W.F.	WELDED WIRE FABRIC
EXIST.	EXISTING	PL.	PLATE		

LIST OF DRAWINGS

A-0 TITLE SHEET / SITE PLAN
A-1 FIRST FLOOR PLAN / SECOND FLOOR PLAN
A-2 EXTERIOR ELEVATIONS
A-3 DETACHED GARAGE FLOOR PLAN / DETACHED GARAGE
ELEVATIONS

SYMBOLS

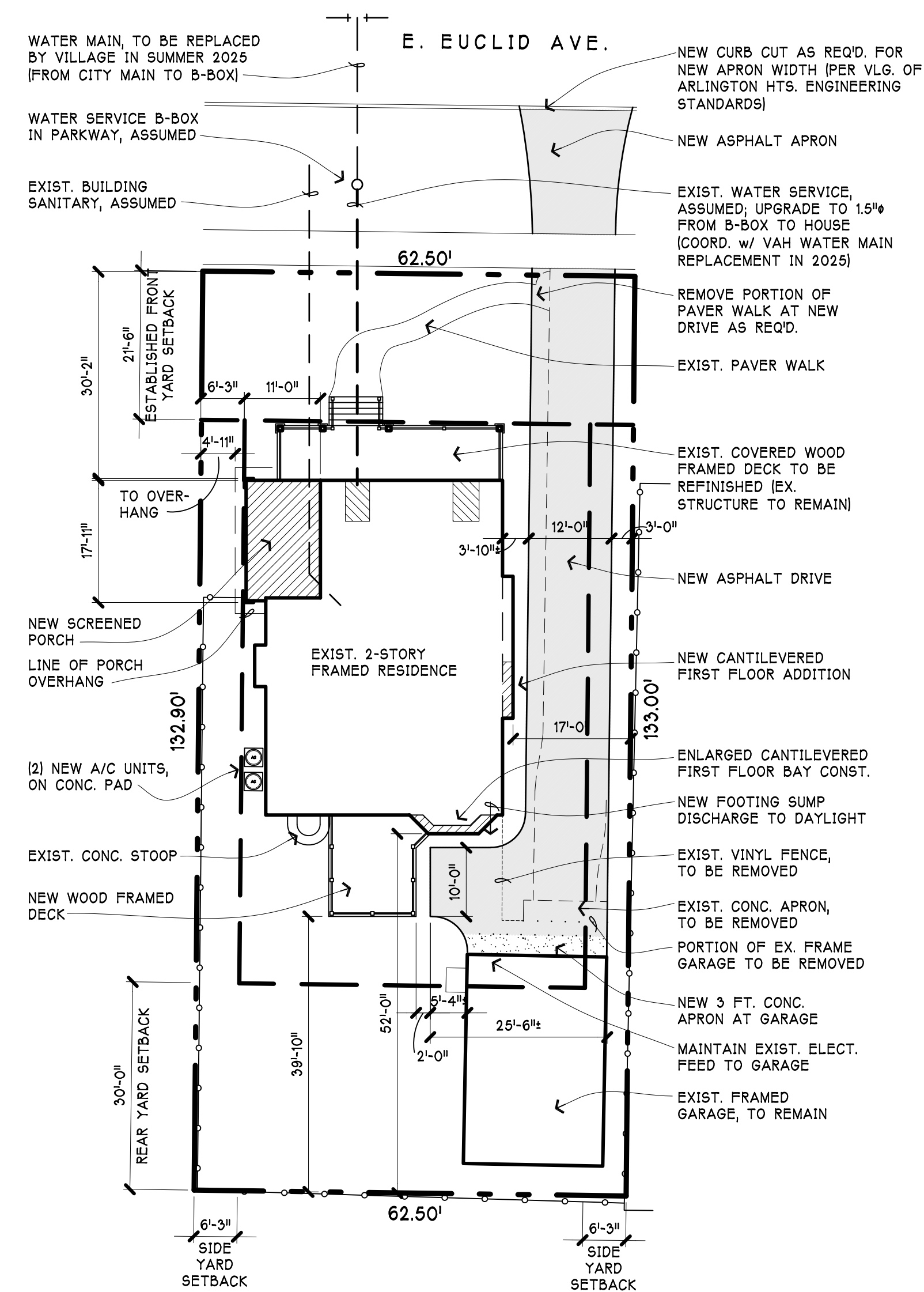

 DETAIL NUMBER (TYP.)

 SHEET NUMBER (TYP.)
 ELEVATION KEY

ROOM NAME

EXISTING PARTITION TO REMAIN
 NEW FRAMED PARTITION

SITE PLAN



CODE REVIEW

ZONING		R-3
PIN		03-29-307-002-0000
LOT AREA		8,309 SQ.FT.

	EXISTING	ALLOWED	PROPOSED
<u>BUILDING AREAS</u>			
FIRST FLOOR	1,562 SQ.FT.		1,591 SQ.FT.
SECOND FLOOR	1,326 SQ.FT.		1,370 SQ.FT.
SCREENED PORCH	NONE		189 SQ.FT.
COVERED FRONT PORCH	367 SQ.FT.		260 SQ.FT.
WOOD FRAMED DECK	NONE		189 SQ.FT.
DETACHED GARAGE	671 SQ.FT.		610 SQ.FT.
ACCESSORY STRUCTURES	NONE		NONE
DRIVEWAY	893 SQ.FT.		1,573 SQ.FT.
OTHER IMPERVIOUS	204 SQ.FT.		193 SQ.FT.
<u>FLOOR AREA RATIO (FAR)</u>			
	2,888 SQ.FT.	3,739 SQ.FT.	3,149 SQ.FT.
	0.35	0.45	0.36
<u>BUILDING LOT COVERAGE</u>			
	2,600 SQ.FT.	2,908 SQ.FT.	2,649 SQ.FT.
	31%	35%	32%
<u>IMPERVIOUS SURFACE COVER.</u>			
	3,697 SQ.FT.	4,155 SQ.FT.	4,404 SQ.FT.
	44%	50%	57%
<u>BUILDING HEIGHT</u>		25 FT.	25 FT.
			EXIST.

<u>ESTABLISHED FRONT YARD SETBACK:</u>	
501 E. EUCLID AVE.	22'-9"
507 E. EUCLID AVE.	21'-7"
511 E. EUCLID AVE.	21'-5 1/2"
515 E. EUCLID AVE.	20'-3"

AVERAGE OF (4) LOTS = 21'-6"

1895-B Rohlwing Rd.
Rolling Meadows,
Illinois 60008
847-704-3200

IL Design Firm
#184.001489
Expire: 4/30/2025

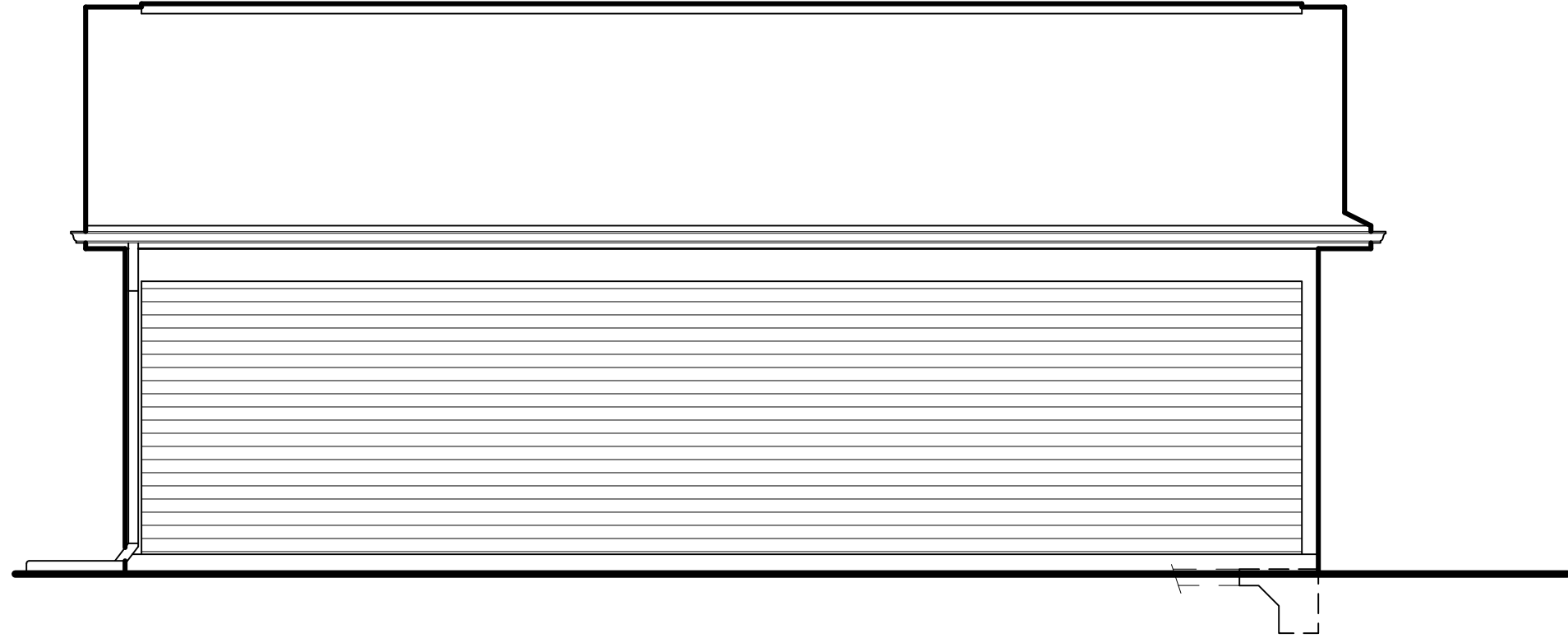
ALTERATIONS AND ADDITIONS FOR
THE SALAVERRIA RESIDENCE
507 E. EUCLID AVE.
ARLINGTON HEIGHTS, ILLINOIS

[illegible]

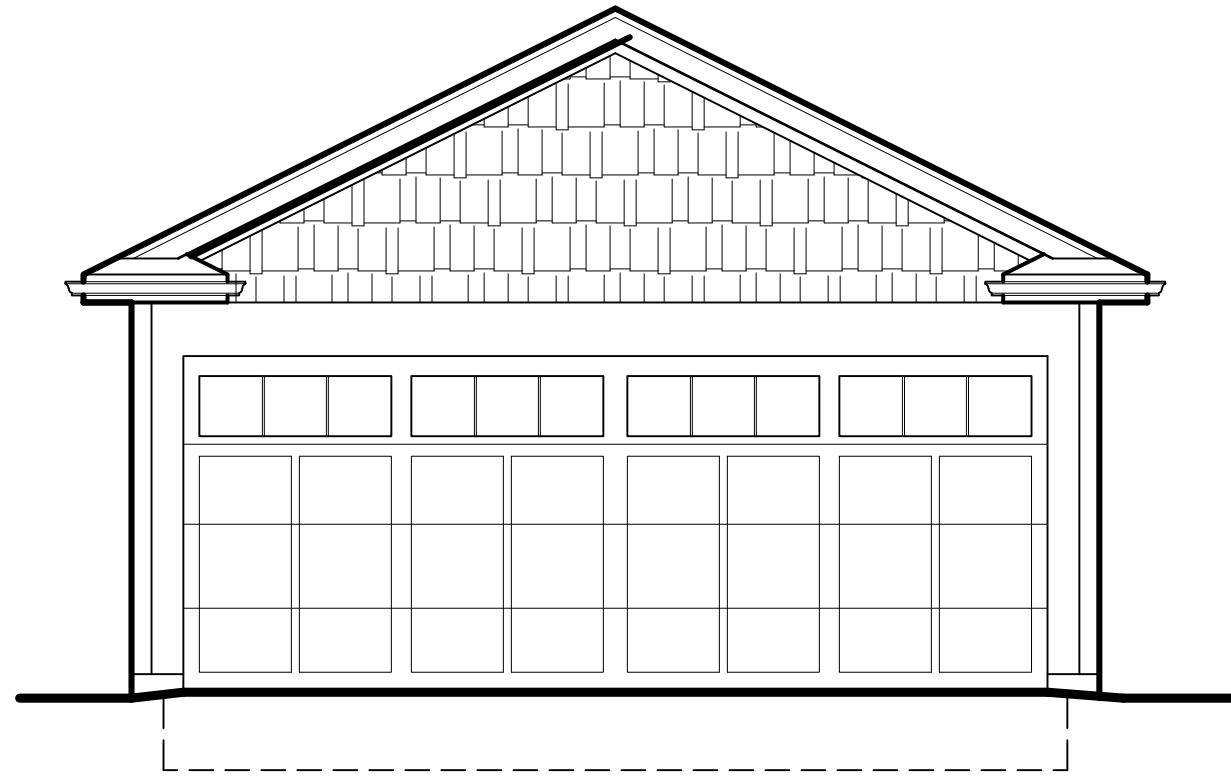
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Project Number
24021

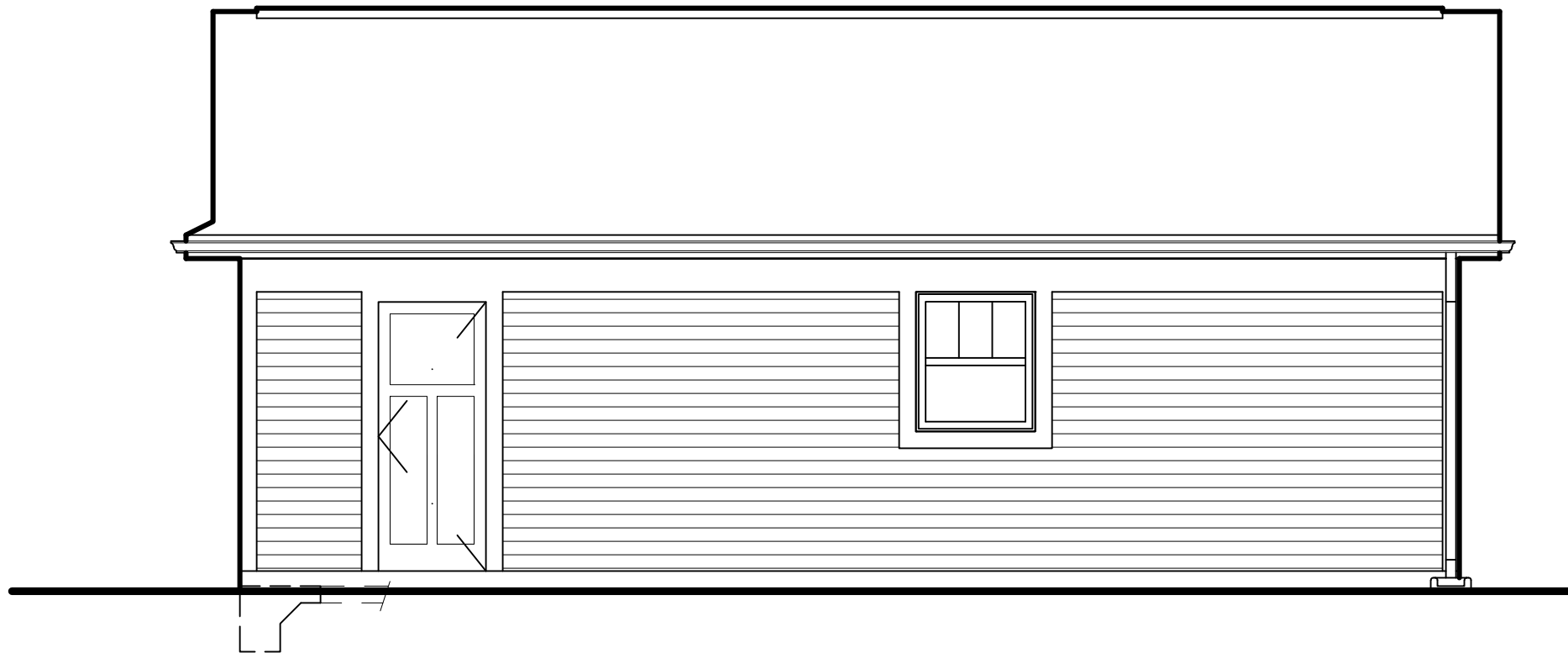
A-0



2 GARAGE - EAST ELEVATION
A-3 1/4" = 1'-0"



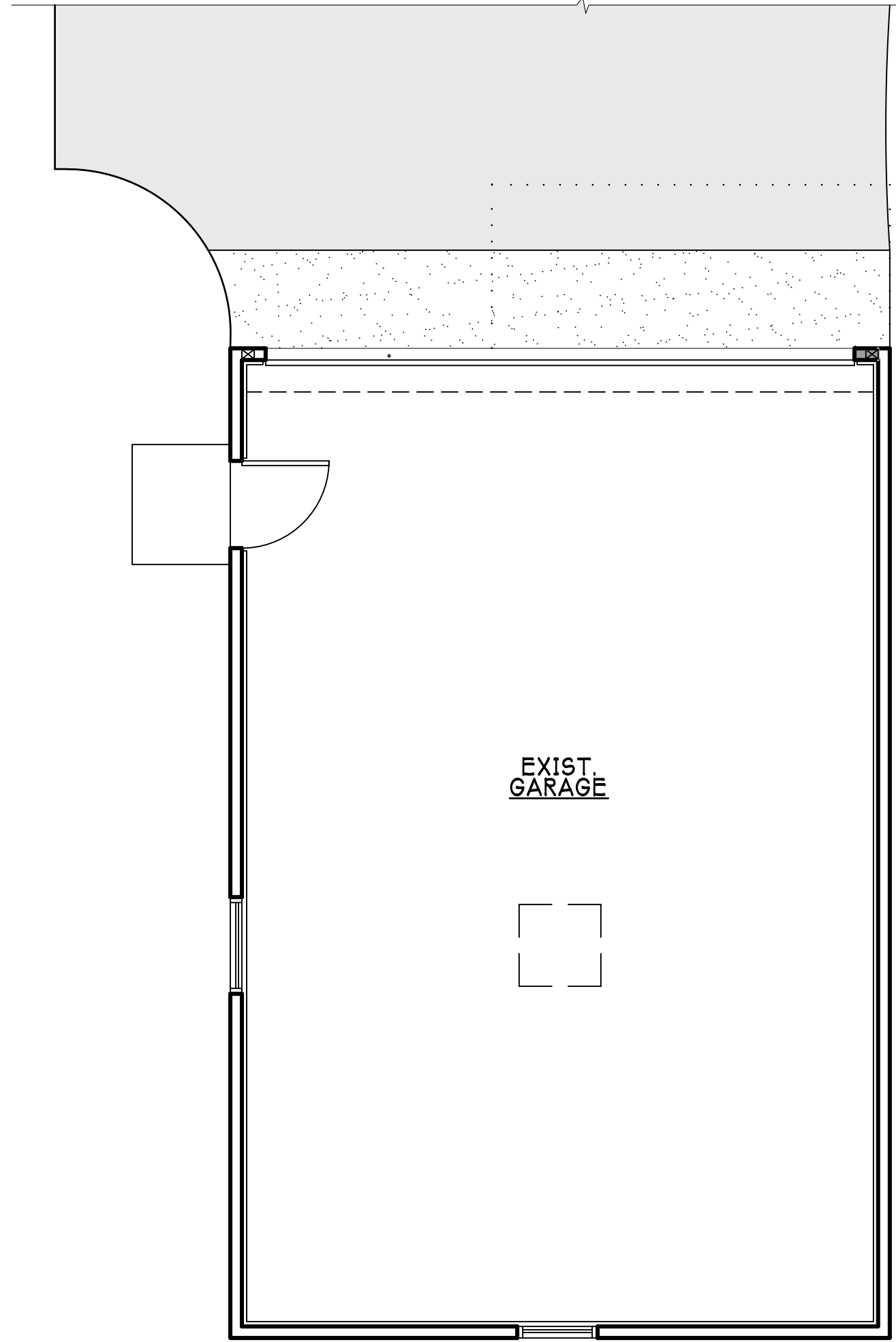
3 GARAGE - NORTH ELEVATION
A-3 1/4" = 1'-0"



4 GARAGE - WEST ELEVATION
A-3 1/4" = 1'-0"



5 GARAGE - SOUTH ELEVATION
A-3 1/4" = 1'-0"



1 GARAGE FLOOR PLAN
A-3 1/4" = 1'-0"

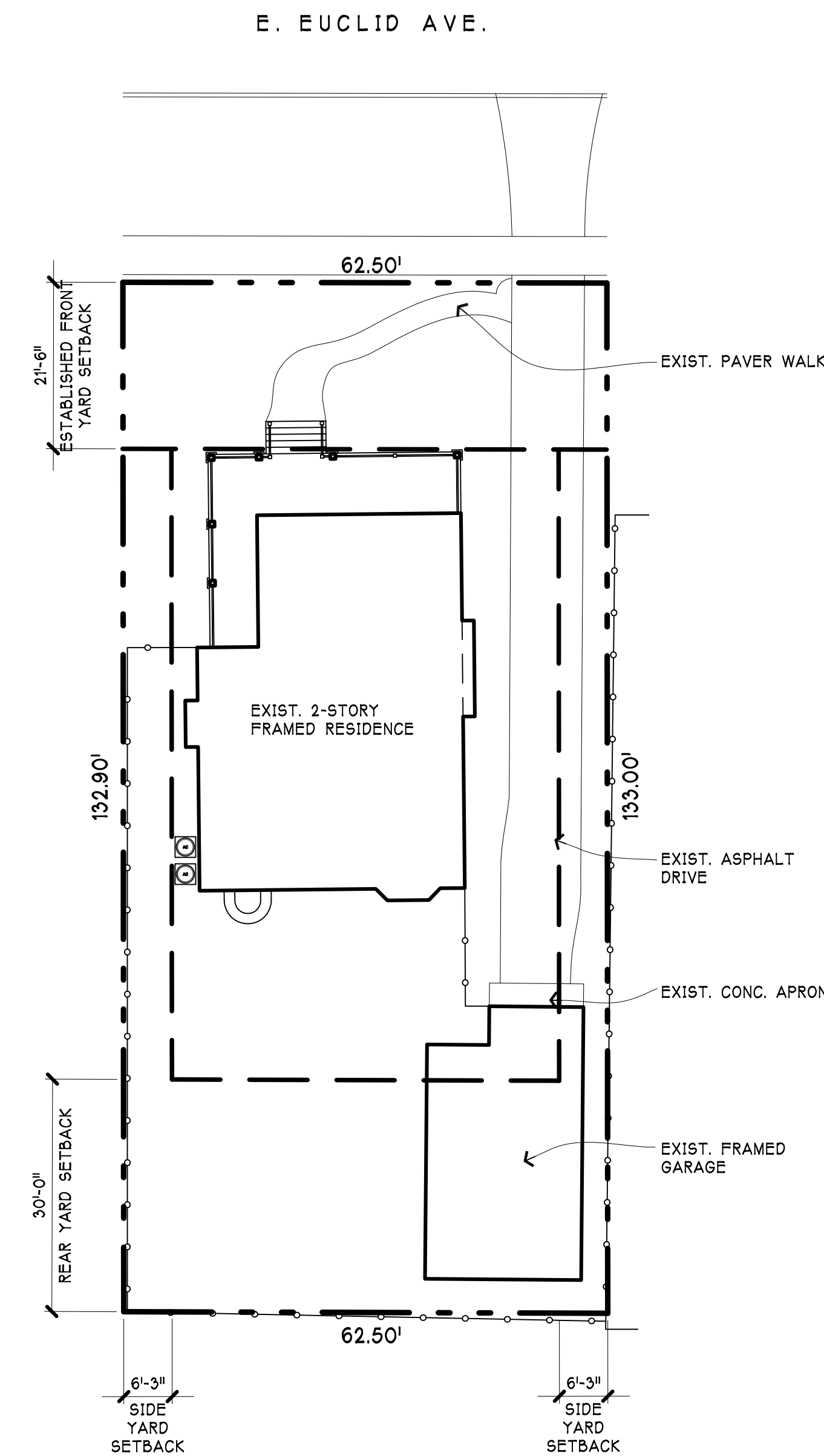
Date	Description
1/30/25	ZBA

ALTERATIONS AND ADDITIONS FOR

THE SALAVERRIA RESIDENCE

507 E. EUCLID
ARLINGTON HTS., ILLINOIS

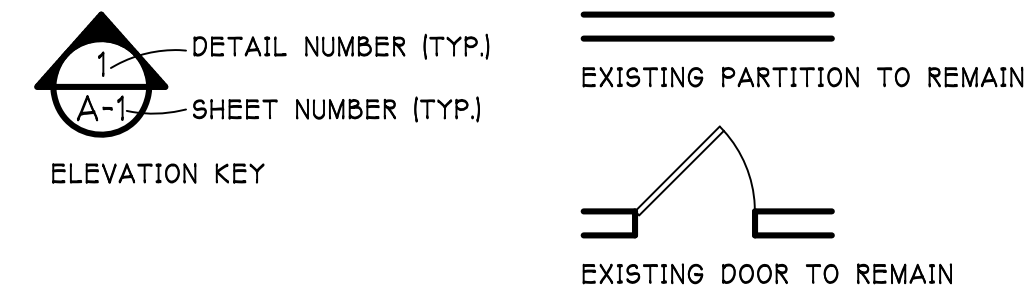
SITE PLAN



CODE REVIEW

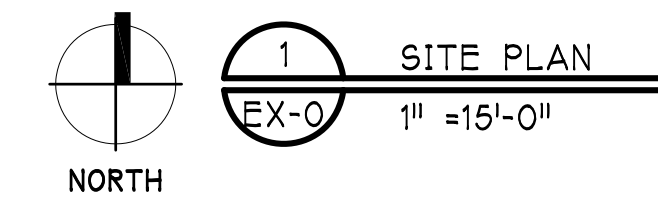
ZONING		R-3	
PIN		03-29-307-002-0000	
<u>LOT AREA</u>		8,309 SQ.FT.	
<u>BUILDING AREAS</u>	<u>EXISTING</u>	<u>ALLOWED</u>	<u>PROPOSED</u>
FIRST FLOOR	1,562 SQ.FT.		
SECOND FLOOR	1,335 SQ.FT.		
COVERED FRONT PORCH	364 SQ.FT.		
DETACHED GARAGE	671 SQ.FT.		
ACCESSORY STRUCTURES	NONE		
OTHER IMPERVIOUS	1,054 SQ.FT.		
<u>FLOOR AREA RATIO (FAR)</u>	2,897 SQ.FT.	3,739 SQ.FT.	0.45
<u>BUILDING LOT COVERAGE</u>	2,597 SQ.FT.	2,908 SQ.FT.	35%
<u>IMPERVIOUS SURFACE COVER.</u>	3,651 SQ.FT.	4,155 SQ.FT.	50%
<u>BUILDING HEIGHT</u>	25 FT.	25 FT.	
<u>ESTABLISHED FRONT YARD SETBACK:</u>			
501 E. EUCLID AVE.	22'-9"		
507 E. EUCLID AVE.	21'-7"		
511 E. EUCLID AVE.	21'-5 1/2"		
515 E. EUCLID AVE.	20'-3"		
AVERAGE OF (4) LOTS = 21'-6"			

SYMBOLS

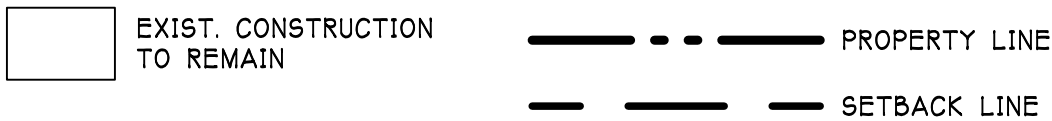


LIST OF DRAWINGS

EX-0 TITLE SHEET / EXIST. SITE PLAN
EX-1 EXIST. FIRST FLOOR PLAN
EX-2 EXIST. BASEMENT PLAN / EXIST. SECOND FLOOR PLAN
EX-3 EXIST. EXTERIOR ELEVATIONS



SITE PLAN LEGEND:



1895-B Rohlwing Rd.
Rolling Meadows,
Illinois 60008
847-704-3200

IL Design Firm
#184.001489
Expire: 4/30/2025

ALTERATIONS AND ADDITIONS FOR
THE SALAVERRIA RESIDENCE
507 E. EUCLID AVE.
ARLINGTON HEIGHTS, ILLINOIS

[illegible]

© 2024 R.F.A. LTD.
Project Number
24021

EX-0



VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

Zoning Board of Appeals
3/10/2025

Item: 326 E. Magnolia St. - ZBA25-004

Department: Planning & Community Development

Item Description:

REQUEST

A 9.3-foot variation from Chapter 28, Section 5.1-1.3d (Required Minimum Yards) to allow an addition with a rear yard setback of 20.7 feet instead of the required 30.0 feet and an additional 1.0 feet for the eave.

ATTACHMENTS:

1. Exhibits 3-10-25_326 E Magnolia St

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Derek Mach, Planner
Hearing Date: March 10, 2025
Date Prepared: March 5, 2025
Project Title: Fischer Residence
Address: 326 E. Magnolia St.

Background Information

Petition Number: ZBA #25-004
Petitioner: Andrew Fischer
Address: 326 E. Magnolia St.
Arlington Heights IL 60005

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

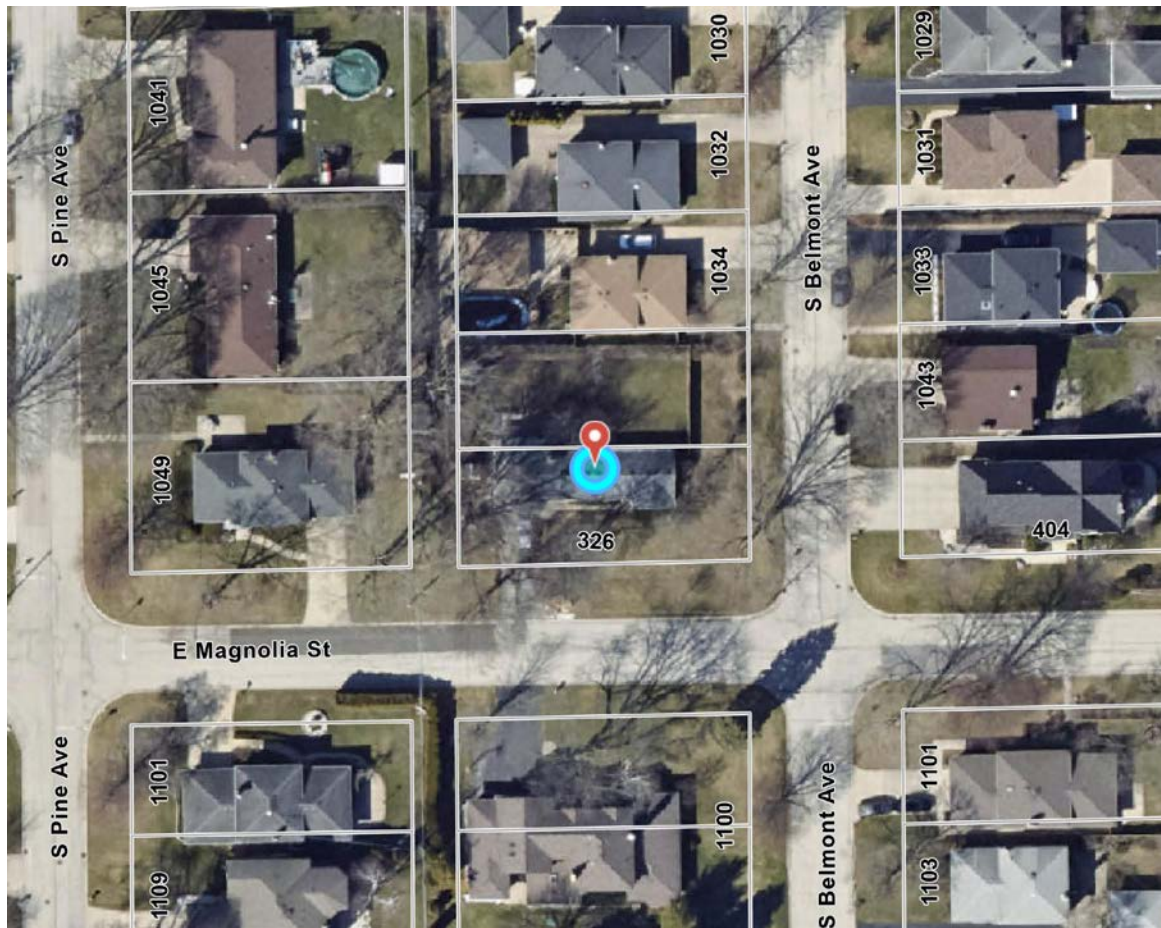
The property is zoned R-3, One Family Dwelling District. The petitioner is proposing an addition to the existing one-story home. Per Chapter 28, Zoning Regulations, the front yard is the Belmont Avenue frontage and the rear yard is along the west property line. The property has a total land area of 12,246 square feet and the proposed residence with the addition will have approximately 2,171 square feet. The proposed addition is encroaching into the required 30-foot rear yard setback. Therefore, the petitioner is requesting the following variation:

- **A 9.3-foot variation from Chapter 28, Section 5.1-1.3d (Required Minimum Yards) to allow an addition with a rear yard setback of 20.7 feet instead of the required 30.0 feet and an additional 1.0 feet for the eave.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

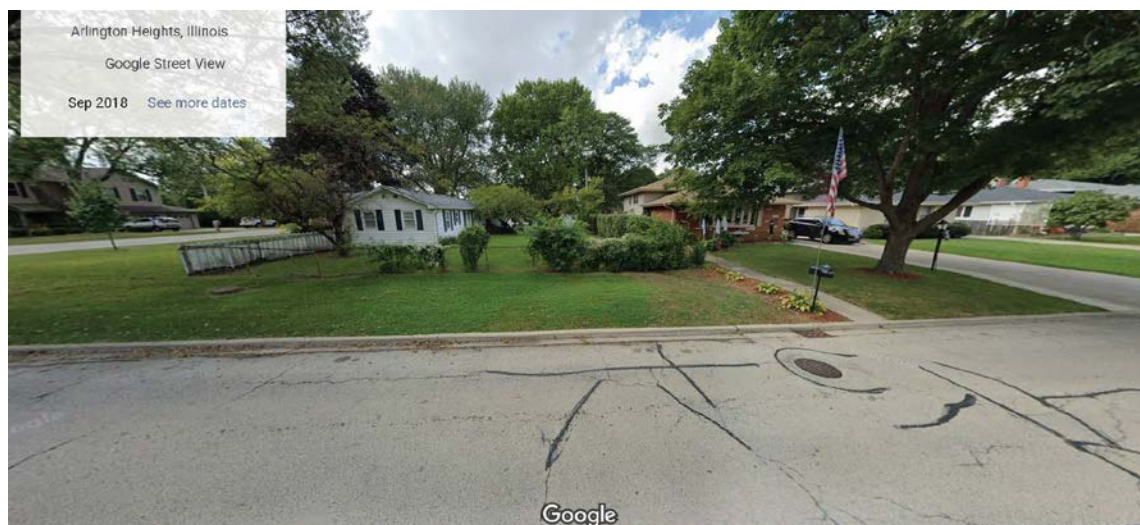
Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	2/20/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	2/20/25	
3. Letter that was Mailed	✓	2/20/25	
4. Photographs of Sign on Property	✓	2/20/25	

Photographs of Existing Structure



Village of Arlington Heights



To: Andrew Fischer
From: Derek Mach
Department: Department of Planning and Community Development
File Number: ZBA 25-04
Project: 326 E. Magnolia St.
Date: March 5, 2025

ZONING COMMENTS:

The zoning comments below for your use and consideration. If you have any questions, please contact dmach@vah.com:

Planning and Community Development

1. The design of the proposed addition is nicely done to fit with the character of the existing house.

Building and Life Safety

1. BLS has no objection.

Engineering

1. The Engineering Division has no objection to the requested variance from Chapter 28, section 5.1-1.3 to allow for an addition that exceeds the minimum rear setback. The property is a corner lot with a vacant right-of-way to the west. The existing drainage pattern is from west to east, with a swale at the northerly limits of the property. At permit the applicant must maintain the existing drainage patterns.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Monday, March 10, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A 9.3-foot variation from Chapter 28, Section 5.1-1.3d (Required Minimum Yards) to allow an addition with a rear yard setback of 20.7 feet instead of the required 30.0 feet and an additional 1.0 feet for the eave.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planning-mail@vgh.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

Lots 22 and 23 in Block 3 in Feuerborn and Klode's Arlington Manor, being a subdivision of part of the west half of the northwest quarter of Section 10, and part of the northeast quarter of Section 10, and part of the northeast quarter of Section 9, Township 42 North, Range 11, east of the Third Principal Meridian, according to the plat thereof, recorded May 7, 1926, as Document Number 9267929, in Cook County, Illinois. Commonly known as: 326 E. Magnolia Street, Arlington Heights IL 60005

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@vgh.com.

Peter Siavelis, Chairman

Zoning Board of Appeals

Published in Daily Herald Feb. 22, 2025 (280597)

CERTIFICATE OF PUBLICATION

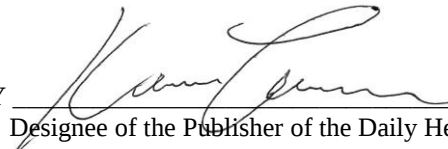
Paddock Publications, Inc.

Northwest Suburbs Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 02/22/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY


Designee of the Publisher of the Daily Herald

Control # 280597



PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner Andrew Fischer

being the owner of the property commonly known as: 326 East Magnolia Street

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section 6.1-1.3

Chapter 28, of the Arlington Heights Municipal Code, in order to:

Construct an addition beyond the limit of the rear yard of the property. The intent of the addition is to increase the livable area of the residence and provide a remote bedroom suite separated from the existing living spaces.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain):

The proposed addition is located in a manner that has the least possible visual impact on the neighborhood and is screened by perimeter fencing on each side. Architecturally, it will appear as a simple extension of the garage volume with a slight foot-and-a-half increase in height above the original roof line. With the increased lot coverage, the property maintains a generous 'rear' yard to the north.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain):

The original residence was constructed around the 1950's, prior to the Village's current adopted ordinances. By today's setback requirements, the existing home already impedes the rear yard which is functionally the side yard based on the home's orientation to E Magnolia St.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain):

Because the addition is located within the west-most perimeter of the existing home, it aligns with the spirit of any rear-facing home addition. The proposed location also preserves the large back yard, which is the property's greatest asset.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain):

The proposed addition is aligned with the existing home, and does not seek to extend farther into the rear yard setback. For constructibility, the proposed alignment with the north end of the existing garage is the most opportune location to connect the addition and maintain the openness of the back yard.

Signed: Andrew Fischer

Petitioner

Date: 02/05/2025

Revised 5/1/24

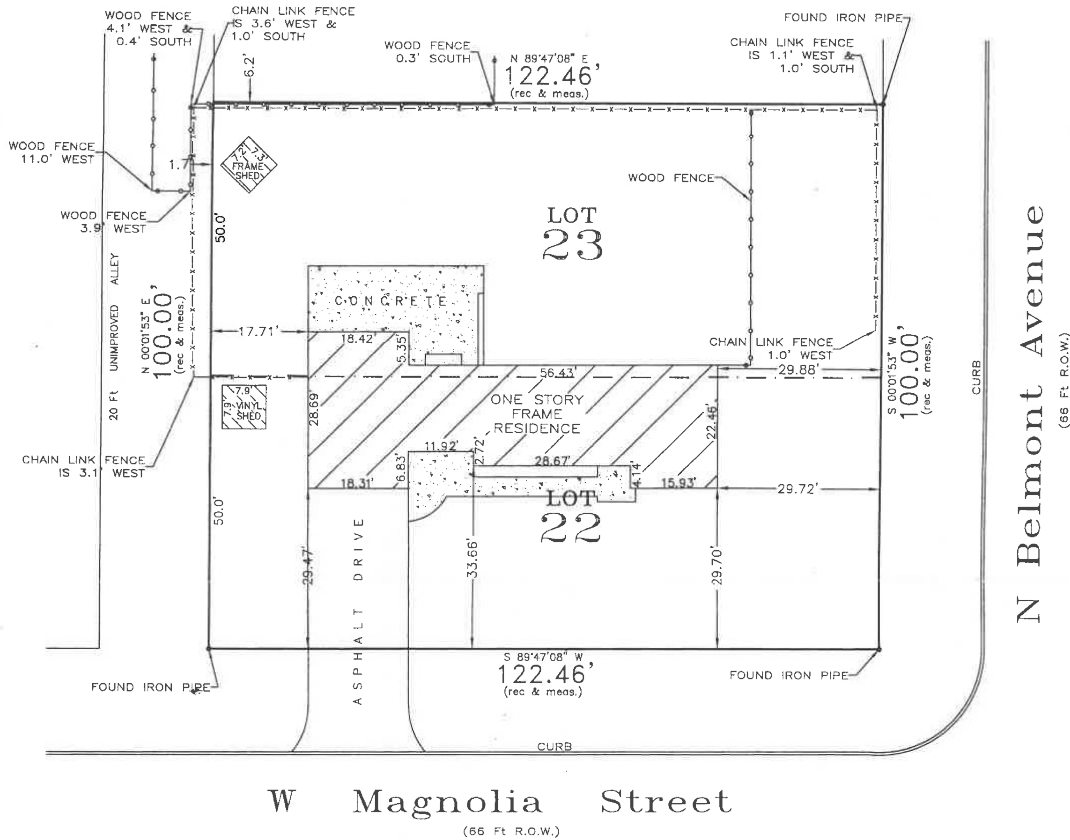
Plat of Survey

of
LOTS 22 AND 23 IN BLOCK 3 IN FEUERBORN AND KLODE'S ARLINGTON MANOR, BEING A SUBDIVISION OF PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 10, AND PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 41 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED MAY 7, 1926, AS DOCUMENT NUMBER 9267929, IN COOK COUNTY, ILLINOIS.

ADDRESS: 326 MAGNOLIA STREET, ARLINGTON HEIGHTS, ILLINOIS



BASIS OF BEARING IS NORTH LINE OF LOT 23 AS FOUND MONUMENTED AND OCCUPIED.
N 89°47'08" E
Area of Survey 12,248 Sq Ft. / 0.28 Acres
(More or Less)



W Magnolia Street
(66 Ft R.O.W.)

STATE OF ILLINOIS) S.S.
COUNTY OF COOK)

I, JOSEPH P. MAIKISCH DO HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT.

MY PROFESSIONAL LICENSE RENEWS 11/24/2024
DATED THIS 5th DAY OF JUNE, A.D. 2024.



ILLINOIS PROFESSIONAL LAND SURVEYOR #3253

PROFESSIONAL DESIGN FIRM NUMBER 184-004603



Residential + Commercial Land Surveying
Phone (708) 968-8145
onlinelandsurveying@gmail.com
1205 W. PETERSON AVE. Unit D
PARK RIDGE, ILLINOIS 60068

LEGEND
Iron Pipe Found: o
Iron Pipe Set: •
Cross Found: +
Found Notch: -
Wood Fence: ---
Metal Fence: - - -
Vinyl Fence: - v - v -
Chain Link Fence: - x - x - x -
Interior Lot Line: ---
Utility & Drainage Easement: - - -
Building Setback Line: ---
(R)=Record (M)=Measured (A)=Assumed
N=North / S=South / E=East / W=West

IMPORTANT NOTES

- This survey was prepared using a legal description provided by others.
- Base of Bearing is as the North Arrow indicates and is relative to the recorded plat of subdivision.
- No construction should be done based solely on this plat, any discrepancies found must be reported to the surveyor for explanation or verification. Property corners are set or monumented as possible.

Client:	Joseph LaZara	
Scale:	1"=20'	Field Work Completed
Drawn By:	JM	06/05/24
Checked By:	SM	Revised:
		/ /

FISCHER RESIDENCE

24009

326 EAST MAGNOLIA STREET
ARLINGTON HEIGHTS, IL 60005

ISSUED FOR: ZONING BOARD OF APPEALS DATE: 12-20-2024

CERTIFICATIONS

TAYLOR METCALF
ON BEHALF OF FATHOMS DESIGN, PLLC
EXPIRES: 11-30-2026

ILLINOIS LICENSED PROFESSIONAL DESIGN FIRM
NAME: FATHOMS DESIGN, PLLC
NUMBER: 184.009055-0001
EXPIRES: 04-30-2025

SHEET INDEX

A1	COVER SHEET
A2	SITE PLAN
A3	FLOOR PLAN & ELEVATIONS

CONTACT INFORMATION

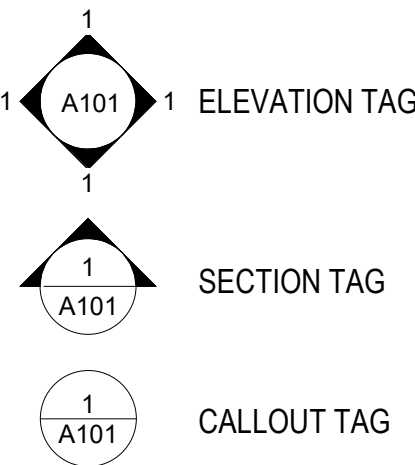
CLIENT
ANDREW FISCHER
ANDREWJFISCHER1@GMAIL.COM
323.363.5029

ARCHITECT
FATHOMS DESIGN, PLLC
TAYLOR@FATHOMS.DESIGN
630.447.9495

ABBREVIATIONS

@	AT
#	NUMBER
AFF	ABOVE FINISHED FLOOR
CONC	CONCRETE
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
DN	DOWN
DBL	DOUBLE
ELEC	ELECTRICAL
ENG	ENGINEERED
ERR	EXISTING TO BE RELOCATED
ETR	EXISTING TO REMAIN
EXIST	EXISTING
FF	FINISHED FLOOR
GYP	GYPSUM BOARD
HM	HOLLOW METAL
MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBERBOARD
MIN	MINIMUM
NIC	NOT IN CONTRACT
NOM	NOMINAL
NJ	NUMBER OF JACK STUDS
NK	NUMBER OF KING STUDS
OC	ON CENTER
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
PT	PAINT
SAN	SANITARY
TYP	TYPICAL
T/	TOP OF
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
WD	WOOD

DRAWING SYMBOLS



APPLICABLE CODES

INCLUDING VILLAGE OF ARLINGTON HEIGHTS AND STATE OF ILLINOIS ADOPTED AMMENDMENTS:
2021 ILLINOIS ENERGY CONSERVATION CODE (IECC)
2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
2018 INTERNATIONAL FIRE CODE (IFC)
2018 INTERNATIONAL FUEL GAS CODE (IFGC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2018 INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC)
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2017 NATIONAL ELECTRIC CODE (NEC)
2018 ILLINOIS ACCESSIBILITY CODE (IAC)
2015 NFPA 101 - LIFE SAFETY CODE (LSC)
2014 STATE OF ILLINOIS PLUMBING CODE

FATHOMS

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#	REVISION	DATE
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NOT FOR CONSTRUCTION

PROJECT

PROJECT NAME:
FISCHER RESIDENCE

PROJECT ADDRESS:
326 EAST MAGNOLIA STREET
ARLINGTON HEIGHTS, IL
60005

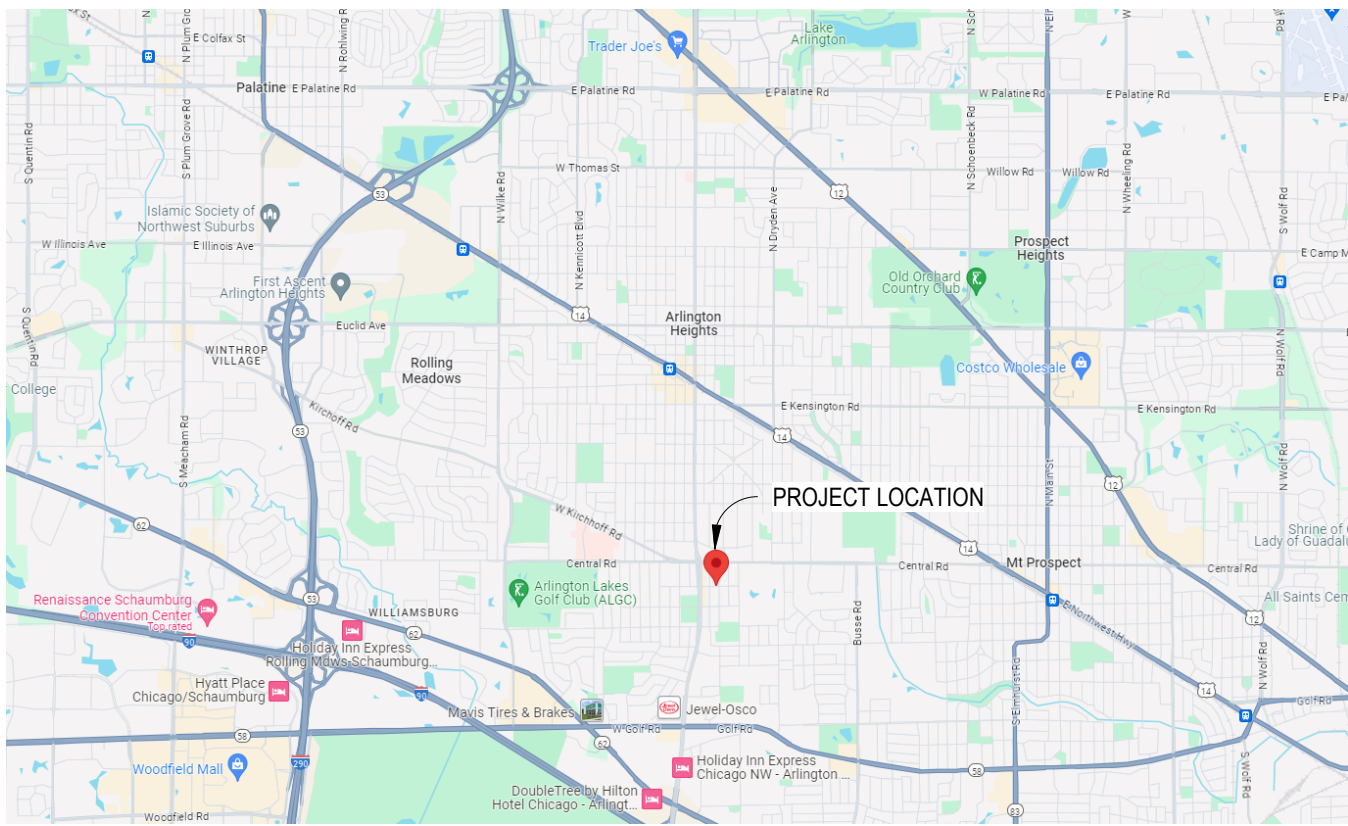
PROJECT NUMBER:
24009

ISSUED FOR:
ZONING BOARD OF APPEALS

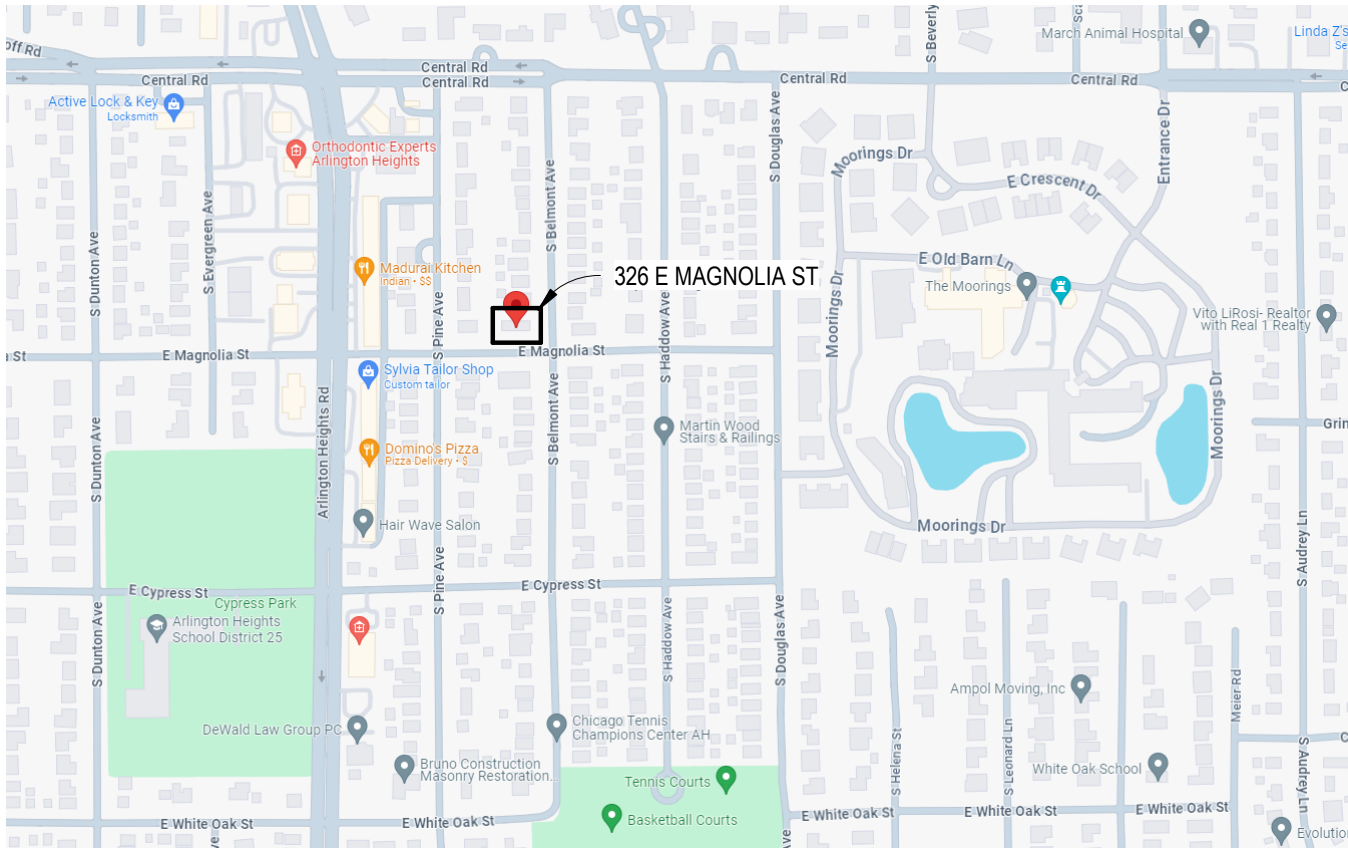
ISSUED ON:
12-20-2024

COVER SHEET

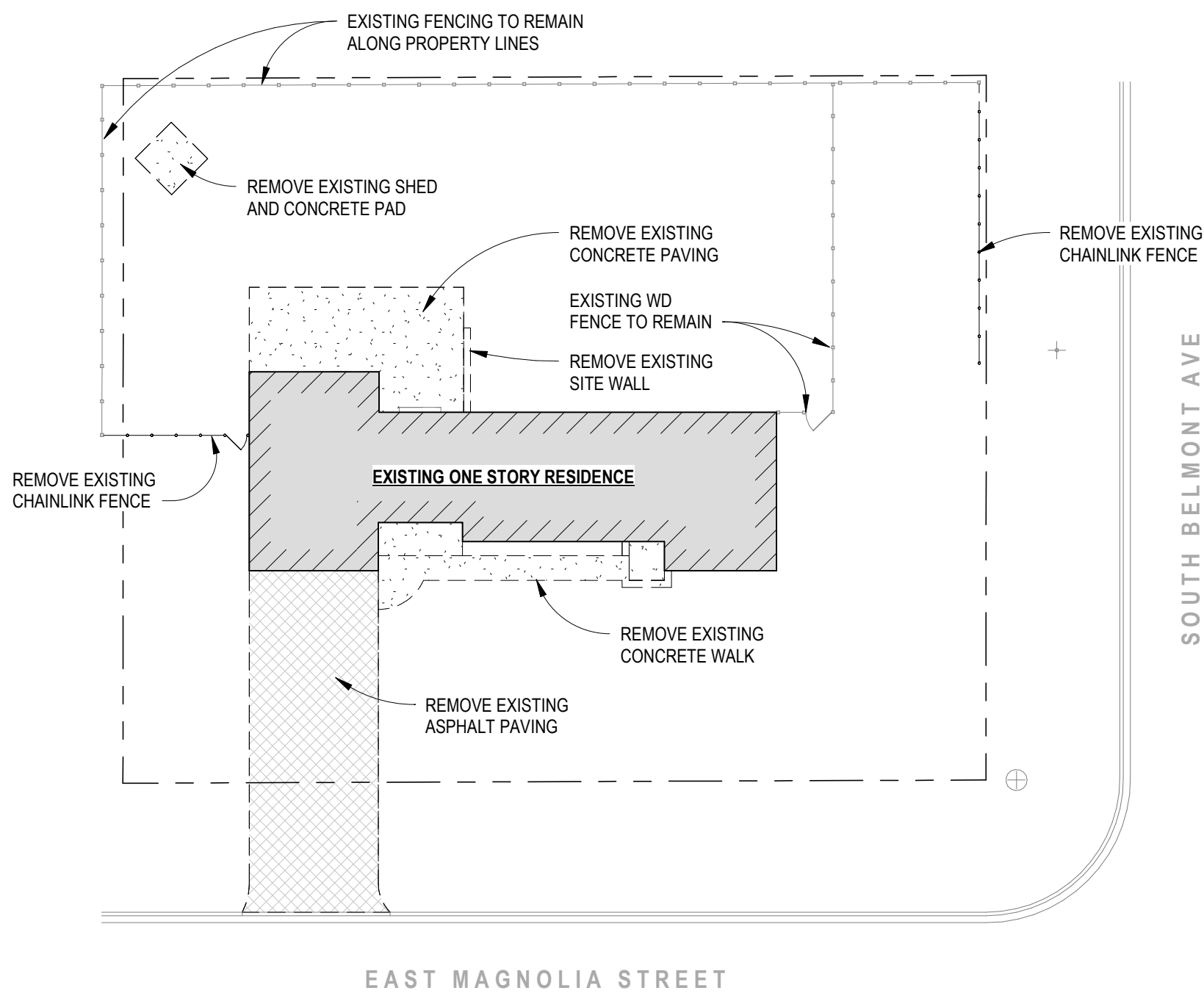
A1



LOCATION MAP

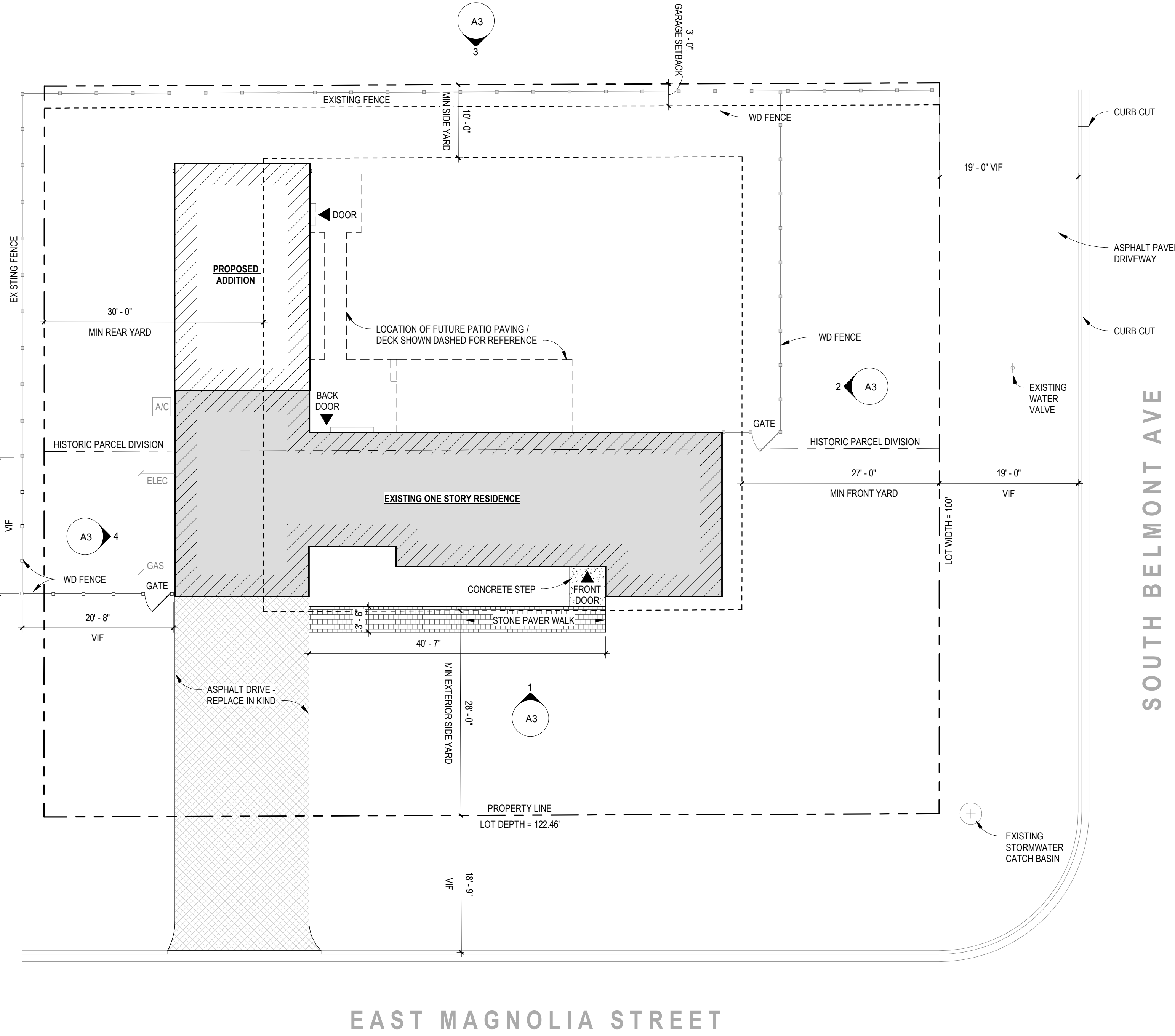


VICINITY MAP



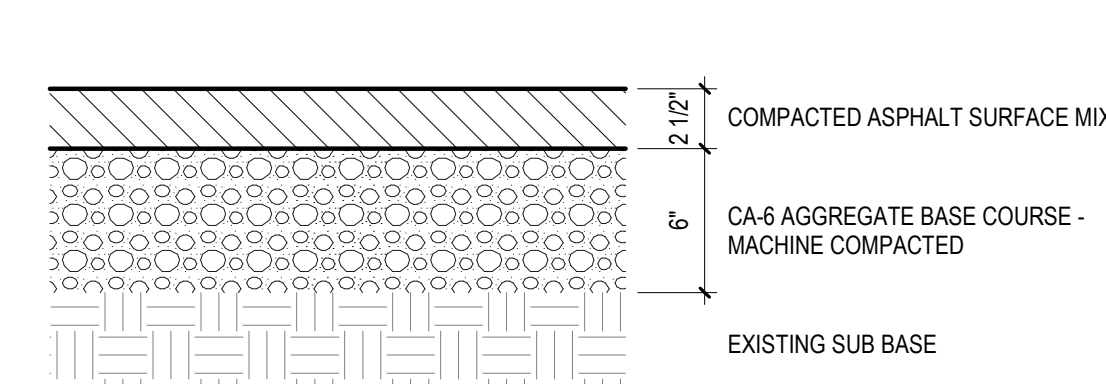
1 SITE DEMOLITION PLAN

SCALE: 1" = 20'-0"



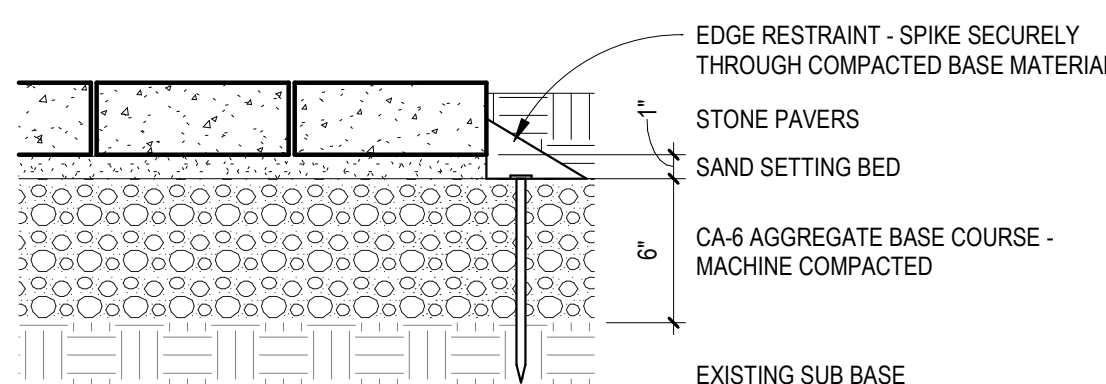
2 SITE PLAN

SCALE: 1" = 100'-0"



4 TYP ASPHALT PAVING SECTION

SCALE: 1 1/2" = 1'-0"



5 TYP PAVER WALK SECTION

SCALE: 1 1/2" = 1'-0"

SITE NOTES

1. GRADE SHALL BE MIN 6" BELOW T/F FOUNDATION
2. GRADE SHALL SLOPE AWAY FROM FOUNDATION MIN 6" RISE WITHIN THE FIRST 10'
3. DRIVEWAY SLOPE TO MATCH EXISTING GRADE WITH POSITIVE DRAINAGE AWAY FROM GARAGE STRUCTURE - MIN 2% SLOPE
4. DRIVEWAY SLOPE SHALL BE MAX 8.3%
5. DRIVEWAY APRON SLOPE SHALL BE MAX 5%
6. OWNER / CONTRACTOR SHALL CONTACT J.U.L.I.E. PRIOR TO DIGGING.

ZONING DATA

USE DISTRICT = R-1
LOT TYPE = CORNER
PROPERTY AREA = 12,245 SF
FLOOR AREA (FAR) ALLOWABLE
 $3,062 \div [(12,245 - 8,750) \times 0.25] = 3,970$ SF
PROPOSED
EXIST RESIDENCE = 1,600 GSF
EXIST BASEMENT = 0 GSF
EXIST ATTIC = 0 GSF
PROPOSED ADDITION = 571 GSF
TOTAL = 2,171 SF

LOT COVERAGE ALLOWABLE
 $12,245 \times 0.30 = 3,673$ SF

PROPOSED
EXIST RESIDENCE = 1,600 GSF
PROPOSED ADDITION = 571 GSF
TOTAL = 2,171 SF

IMPERVIOUS SURFACE COVERAGE ALLOWABLE
FULL PROPERTY: $12,245 \times 0.50 = 6,122$ SF
FRONT+EXT SIDE YARDS: $4,533 \times 0.50 = 2,266$ SF

PROPOSED (INCLUDING EXISTING TO REMAIN)

FULL PROPERTY:
RESIDENCE = 1,600 GSF
PROPOSED ADDITION = 571 GSF
PAVING = 1,034 SF
TOTAL = 3,205 SF

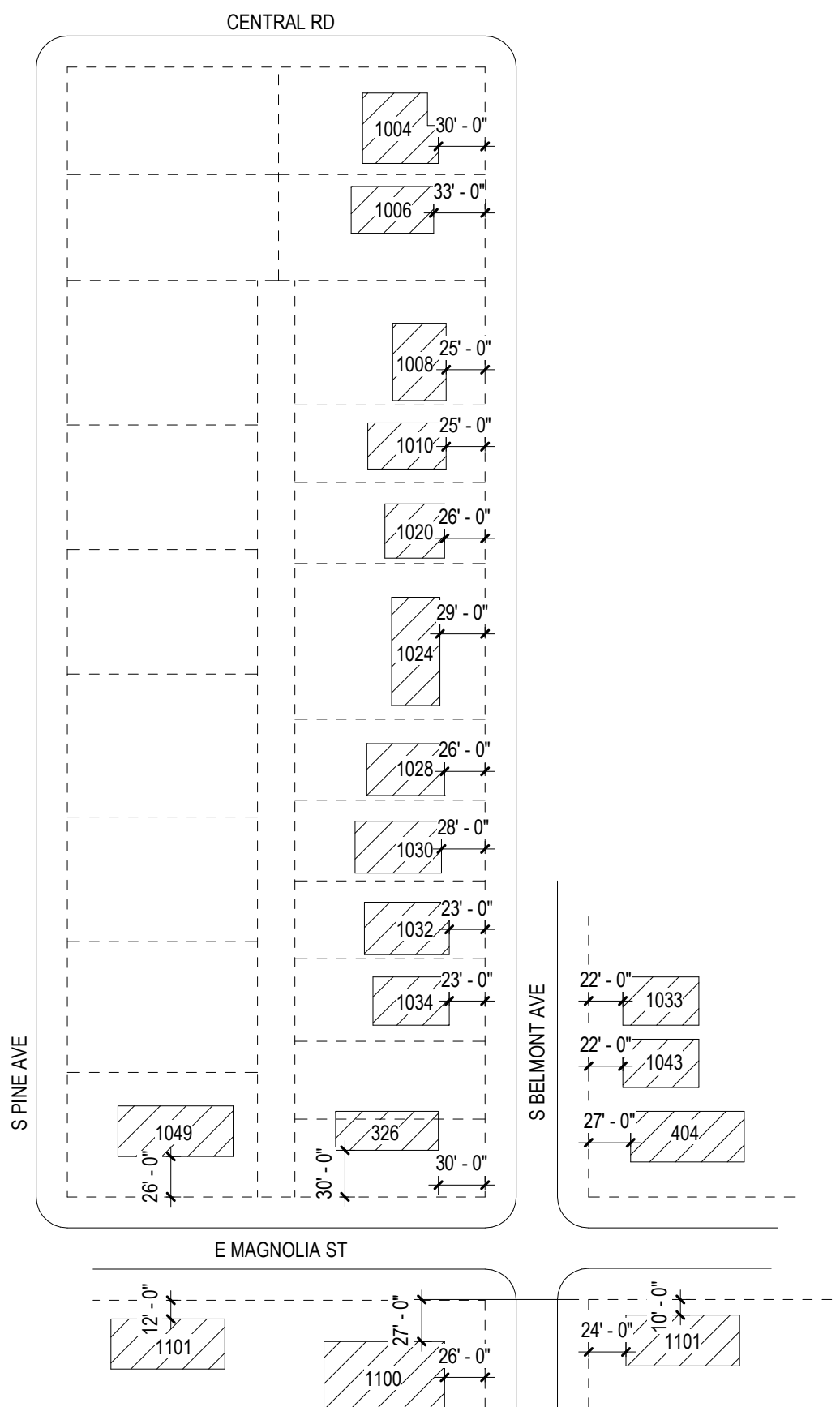
FRONT+EXT SIDE YARD:
TOTAL = 972 SF

MINIMUM SETBACKS

FRONT YARD (AVERAGE) = 27' (SEE STUDY BELOW)
SIDE YARD (10% LOT WIDTH) = 10'-0"
EXTERIOR SIDE YARD (AVERAGE) = 28' (SEE STUDY BELOW)
BACK YARD = 30'
ACCESSORY STRUCTURE = 3'

MAXIMUM HEIGHTS

PRINCIPAL STRUCTURE = 25'
ACCESSORY STRUCTURE = 15'



3 SETBACK MAP

SCALE: 1" = 100'-0"

FATHOMS

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REVISIONS

#	REVISION	DATE
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PROJECT

PROJECT NAME:
FISCHER RESIDENCE

PROJECT ADDRESS:

326 EAST MAGNOLIA STREET
ARLINGTON HEIGHTS, IL
60005

PROJECT NUMBER:

24009

ISSUED FOR:

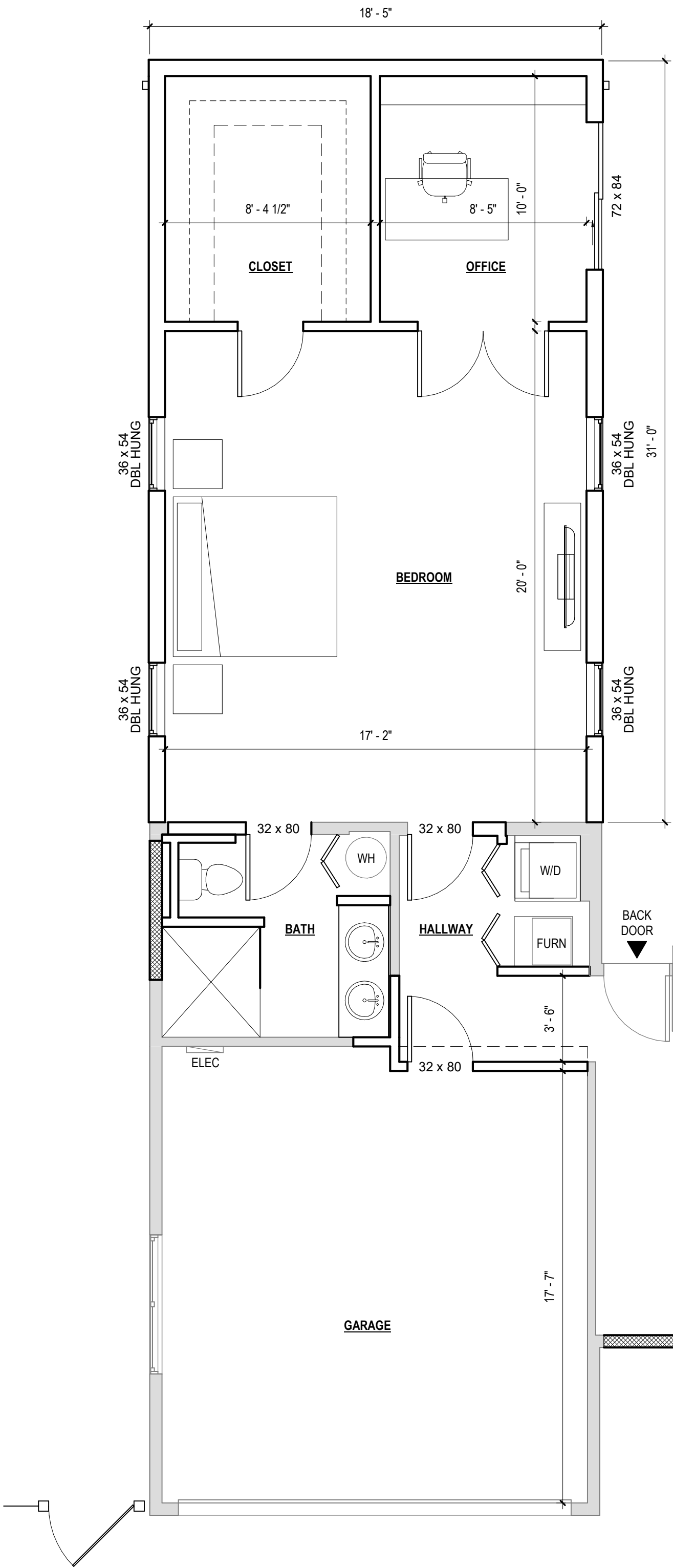
ZONING BOARD OF APPEALS

ISSUED ON:

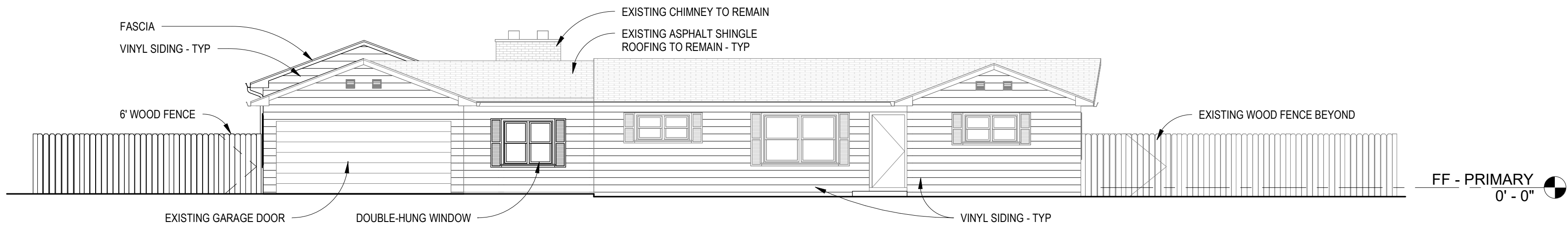
12-20-2024

SITE PLAN

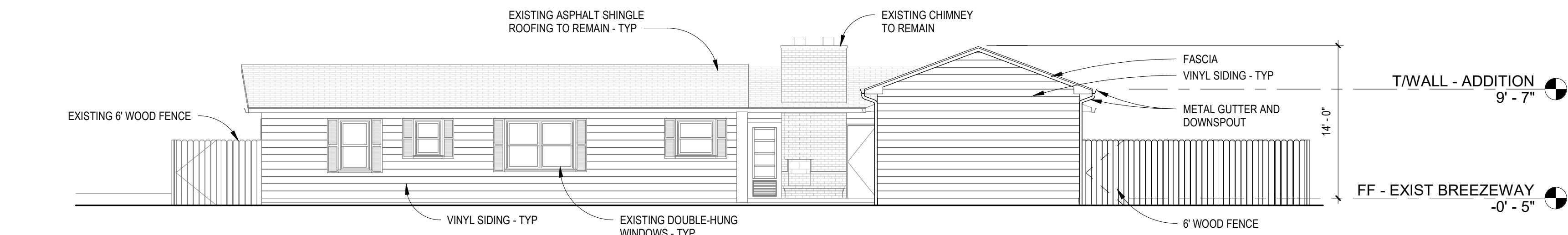
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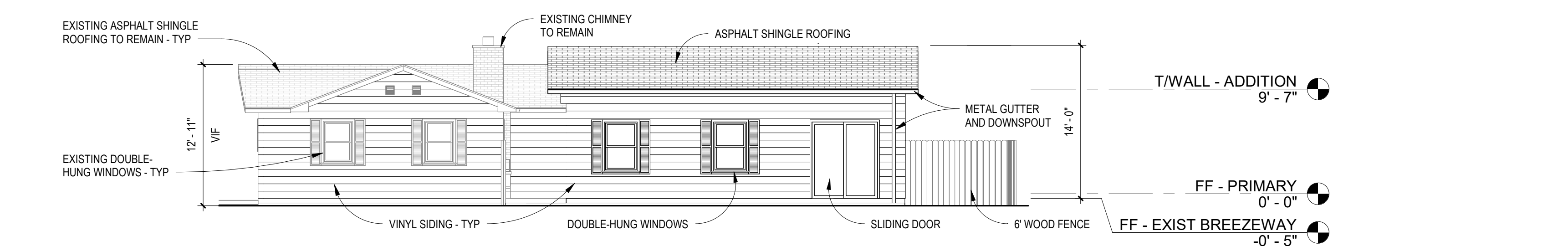
5 | FLOOR PLAN
SCALE: 1/4" = 1'-0"



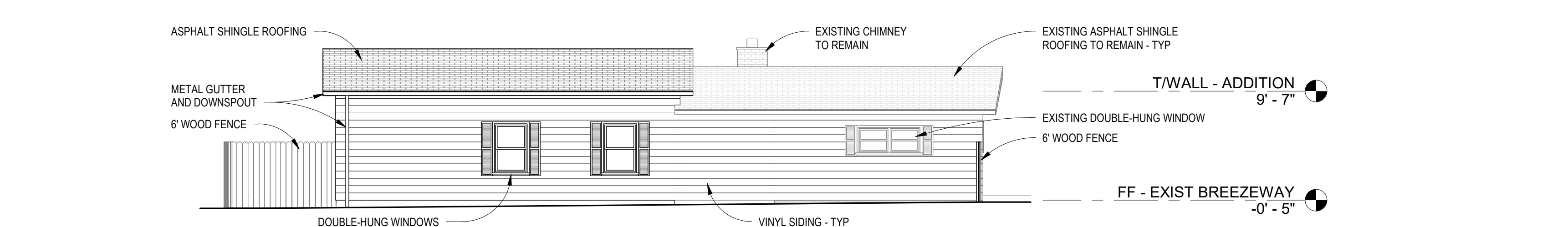
1 | SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 | NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 | EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 | WEST ELEVATION
SCALE: 1/8" = 1'-0"

PLAN LEGEND

- EXISTING CONSTRUCTION INDICATED GRAY
- DEMOLISHED CONSTRUCTION INDICATED DASHED
- NEW CONSTRUCTION INDICATED BLACK
- TYP PARTITION/INFILL WALL: 2x4 WD FRAMING @ 16" OC W/ 1/2" GYP FINISH
- WALLS TO RECIEVE INSULATION - SEE WALL SECTIONS FOR SPECIFICATIONS
- BI-FOLD DOOR - LOUVER TYPE AT FURNACE CLOSET
- SWING DOOR
- SLIDING DOOR
- WINDOW UNIT

FATHOMS

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REVISIONS		
#	REVISION	DATE

NOT FOR CONSTRUCTION

PROJECT

PROJECT NAME:
FISCHER RESIDENCE

PROJECT ADDRESS:
326 EAST MAGNOLIA STREET
ARLINGTON HEIGHTS, IL
60005

PROJECT NUMBER:
24009

ISSUED FOR:
ZONING BOARD OF APPEALS

ISSUED ON:
12-20-2024

FLOOR PLAN &
ELEVATIONS

A3