



AGENDA
ZONING BOARD OF APPEALS
Buechner Room, 1st Floor
Arlington Heights Village Hall, 33 S. Arlington Heights Rd.
Arlington Heights IL 60005
August 11, 2025
7:00 PM

- I. CALL TO ORDER
- II. ROLL CALL OF MEMBERS
- III. APPROVAL OF MINUTES
 - A. Minutes 7/14/25
 - B. Findings 7/14/25 - 919 S. Vail Ave.
 - C. Findings 7/14/25 - 819 N. Highland Ave.
 - D. Findings 7/14/25 - 1319 N. Salem Blvd.
 - E. Findings 7/14/25 - 106 S. Windsor Dr.
 - F. Findings 7/14/25 - 513 N. Douglas Ave.
- IV. OLD BUSINESS
- V. NEW BUSINESS
 - A. 1015 N. Forrest Ave. - ZBA25-023
 - B. 401 N. Pine Ave. - ZBA25-024
 - C. 604 W. Techy Rd. - ZBA25-026
- VI. OTHER BUSINESS
- VII. PUBLIC COMMENT

Anyone wishing to speak on a subject not on the Agenda may speak at this time. Please limit your comments to three minutes.

VIII. ADJOURNMENT

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact the Health & Human Services Department, at 33 S. Arlington Heights Road, Arlington Heights, IL 60005, healthmail@vah.com or 847/368-5760.

DRAFT

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 919 SOUTH VAIL AVENUE - ZBA #25-012

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 14th day of July, 2025 at the hour of
7:00 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairperson
TOM DRAKE
PETER SIAVELIS
MICHAEL O'CONNOR
FRANK PORTERA
JOSEPH SELBKA

ALSO PRESENT:

DEREK MACH, Development Planner
DARKO BOJIN, Assistant Planner
DAN OSOBA, Planner

DRAFT

CHAIRPERSON JAFFE: All right, we're going to call this month's Zoning Board of Appeal's meeting to order.

Let's start with roll call, please.

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Here.

MR. OSOBA: Mr. Selbka.

COMMISSIONER SELBKA: Here.

MR. OSOBA: Mr. O'Connor.

COMMISSIONER O'CONNOR: Here.

MR. OSOBA: Mr. Lanaghan.

(No response.)

MR. OSOBA: Mr. Siavelis.

COMMISSIONER SIAVELIS: Yes, here.

MR. OSOBA: Mr. Drake.

COMMISSIONER DRAKE: Here.

MR. OSOBA: Chairman Jaffe.

CHAIRPERSON JAFFE: Yes.

Okay, now we'll proceed to the Pledge of Allegiance. If you'd all stand and face the flag in the corner of the room?

(Pledge of Allegiance recited.)

CHAIRPERSON JAFFE: Okay, next, we need to approve the minutes of the June 9th meeting.

Has everyone had an opportunity to review those minutes? And if so, are they complete and accurate, or are any changes needed?

COMMISSIONER SIAVELIS: I was, I'm going to abstain because I was not here at last month's meeting. So, this is an abstention.

CHAIRPERSON JAFFE: Okay.

All right, is there a motion?

COMMISSIONER SELBKA: Motion to approve.

CHAIRPERSON JAFFE: Seconded?

COMMISSIONER DRAKE: Second.

CHAIRPERSON JAFFE: All in favor?

(Chorus of ayes.)

CHAIRPERSON JAFFE: All opposed?

(No response.)

CHAIRPERSON JAFFE: Okay, hearing procedures. So, for the audience, we're going to just quickly go over the order of operations and how these meetings are run.

First, from a quorum, if less than six members are present, petitioners have the option to continue the meeting as it takes four affirmative votes to approve a variance regardless of the number of Board members in attendance. If denied, a petitioner cannot reapply for a whole year. So, tonight, we have six Board members with us, so you'll need to go four of six to secure approval for your variance.

The hardship, so the document you completed that was submitted in

your packet we've all had a chance to review, but we expect you to explain the four elements necessary for this Board to establish in order to be able to grant a variation. Those four elements are:

1. That the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property;
2. That the plight of the owner is due to unique circumstances which may include the length of time the subject property has been vacant as zoned;
3. That the proposed variation is in harmony with the spirit and intent of this Chapter; and finally,
4. That the variation requested is the minimum variation necessary to allow reasonable use of the property.

A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated. So, again, we look to you, the petitioner, to explain all four of those. When you come to the stand, explain your reasoning, your logic, your justification, and we'll have some questions for you.

Sequence of events. I will open each agenda item and if there's any introductory remarks. We will swear in the petitioner. We'll need your name, address, and affirm that you'll be telling the truth. Staff presentation will give a brief overview of the project and the variance request. You, the applicant, will then present your case in favor of zoning relief by way of documents or testimony. As I said, the applicant's hand and any witnesses testifying must be sworn under oath, and must state and spell their respective names for the record.

Public comment. Members of the public may speak on the application. Speakers must be sworn under oath, and state and spell their name clearly.

There are no formal objectors, correct?

MR. OSOBA: There are none.

CHAIRPERSON JAFFE: Do I have to read those sections or just go to the public comment?

MR. OSOBA: You don't have to.

CHAIRPERSON JAFFE: Okay, so since there are no formal objectors this evening, regarding public comment, any person who is not formally registered as an objector may speak at the hearing but must limit their comments to three minutes. The Chair may, in his or her discretion, alter the maximum time provided to public commenters provided the maximum time is applied to all speakers.

Public comment is specific to the individual variances. You'll see there is an agenda item for public comment at the end if you want to ask about the Bears, taxes or anything else, but if you come to the stand, please limit your comments just to the variances being requested.

The applicant will then make a closing statement and present any follow-up testimony or evidence. The applicant will rest their case. The Board will then make a motion to deliberate and close public testimony. We will deliberate and vote on the matter.

All ZBA final decisions must be in writing. If the agenda packet does not include a final draft order that is acceptable to the ZBA, the substantive motion should be to direct Staff to prepare an appropriate final order for approval at a subsequent meeting.

With that, we can move to new business, which is our first petition,

Petition A, 919 South Vail Avenue, ZBA #25-012.

Dan, do you want to start with the Staff presentation, or will Derek?

MR. MACH: The Petitioner is proposing to construct an addition to the existing single-story home. The Petitioner did receive approval for a similar project on October 16, 2023 with variations from the Zoning Board. However, that approval did expire. The Petitioner is returning this evening with a slightly modified footprint and the elimination of two of the four variances that were approved back in 2023.

This evening, they're proposing an expansion to the garage in order to create a two-car front load garage. The expansion for the garage is encroaching into the required side yard setback along the north property line. In addition, the two air conditioning units are encroaching into the required side yard setback along the south property line.

Therefore, they're requesting:

- A four-foot variation from Chapter 28, Section 5.1-3.3b to allow an addition with a side yard setback of three feet instead of the required seven feet, and an additional one foot for the eave; as well as
- A variance from Chapter 28, Section 6.6-5 to allow two air conditioning units in the required side yard setback along the south property line.

Thank you.

CHAIRPERSON JAFFE: Thank you.

Hi.

MR. FLUBACKER: How are you doing tonight?

CHAIRPERSON JAFFE: Good. Can you state your name?

MR. FLUBACKER: Bob Flubacker with Robert Flubacker Architects.

CHAIRPERSON JAFFE: And address?

MR. FLUBACKER: 1895 Rohlwing Road, Rolling Meadows, Illinois.

(Witness sworn.)

CHAIRPERSON JAFFE: And then will you also be speaking?

MS. FEATHERSTONE: Sure. Sherry Featherstone, 919 South Vail, Arlington Heights.

(Witness sworn.)

CHAIRPERSON JAFFE: Okay.

MR. FLUBACKER: So, as Derek mentioned, we had applied for a zoning variation or a set of zoning variations back in December of '23. Due to pricing issues and just delays in being able to get the project to a scope that worked, time has elapsed on that zoning variation which, by the way, since I'm first up and I'm going to leave, I'd like to put in the public comments that these variations should be good for two years, not one.

COMMISSIONER SIAVELIS: Bob, what's the basis for that? What do you want to see it doubled for?

MR. FLUBACKER: The time that it takes from getting the application approved, getting the construction documents put together, going through the bid process, getting the permit, it's not uncommon that that takes longer than a year, but just, you know --

COMMISSIONER SIAVELIS: No, that's fair enough. That's why I wanted it in the record, so the basis for the request.

MR. FLUBACKER: Sure.

COMMISSIONER SIAVELIS: And just one other thing, how many variances

have you sought and received from the Village over the years would you say approximately? And that colors your experience and impacts your view of what you just asked about.

MR. FLUBACKER: I'd say somewhere between 30 and 40 probably.

So, the additional project that got approved a year and a half ago had four variations. Two of them had to do with the size of the project, with lot coverage and FAR. Those have been eliminated because we have downsized the project. The two variations remain; one is for rebuilding the garage basically to the same north wall as the existing garage, just reconfiguring slightly.

Then, the second one is for air conditioning units being on the side of the project rather than in the rear because we still plan on doing that other addition as a later phase and would like the variation for the air conditioners at this time. One thing we can do to kind of accommodate the neighbors in the meantime is we can put the connections on that south wall but actually move the equipment around to the back wall until that addition does happen.

COMMISSIONER SIAVELIS: So, elaborate a little bit further on the last point you made.

MR. FLUBACKER: So, the air conditioning units as proposed are on the southeast corner of the existing home.

COMMISSIONER SIAVELIS: Right.

MR. FLUBACKER: The addition that was planned went parallel to that wall into the backyard, that's why we needed the air conditioning unit at that location. What I'm suggesting is we can put the electrical and refrigerant piping connection on that south wall. The connections to the units are flexible so we can put the equipment around the corner in the back of the home today, and then when the addition happens, just pick up and move the equipment to the south side of the existing house when that addition happens.

CHAIRPERSON JAFFE: So, the second unit is needed because the addition won't be hooked up to the primary residence's main --

MR. FLUBACKER: We'll have both units immediately. The addition would not add another air conditioning unit. So, the future addition wouldn't, this addition proposed would add another air conditioning unit to have two total.

CHAIRPERSON JAFFE: One existing right now?

MR. FLUBACKER: Right.

CHAIRPERSON JAFFE: And then another one.

MR. FLUBACKER: Yes.

COMMISSIONER SIAVELIS: Okay, so Bob, on the drawings that were submitted to us, right, we're showing on the screen?

MR. FLUBACKER: Yes.

COMMISSIONER SIAVELIS: It's slightly different than what you talked about just now. What is shown on the screen is post second addition, right?

MR. FLUBACKER: Right.

COMMISSIONER SIAVELIS: The future addition you're contemplating.

MR. FLUBACKER: Right, right.

COMMISSIONER SIAVELIS: So, the paperwork you've submitted doesn't reflect what you've talked about as a --

MR. FLUBACKER: I'm just offering that --

COMMISSIONER SIAVELIS: -- compromise? Okay.

MR. FLUBACKER: I'm just offering that as something we can do in the meantime. I'd like the paperwork to stay the way it's presented and have the variation for the AC units immediately.

COMMISSIONER SIAVELIS: Okay, so that's where I was going to go next.

MR. FLUBACKER: Yes.

COMMISSIONER SIAVELIS: What are you particularly asking us about or for from a variation standpoint?

MR. FLUBACKER: What's in the paperwork.

COMMISSIONER SIAVELIS: Okay, got you.

MR. FLUBACKER: Yes.

COMMISSIONER SIAVELIS: Okay, and then just do me a favor, tell me what is the distance from the southern edge of those two units to the southern property line?

MR. FLUBACKER: Well, the setback line, which you can see is just above the two AC units, is seven feet.

COMMISSIONER SIAVELIS: Okay.

MR. FLUBACKER: So, assuming they're two to two-and-a-half-feet wide, you know, puts it to four-and-a-half feet roughly.

COMMISSIONER SIAVELIS: Okay, how many folks live in this home?

MS. FEATHERSTONE: Me.

COMMISSIONER SIAVELIS: Just you live in this house?

MS. FEATHERSTONE: Yes.

COMMISSIONER SIAVELIS: Okay. All right, how long have you lived in the neighborhood or in Arlington Heights?

MS. FEATHERSTONE: Oh, my, 1990-ish --

COMMISSIONER SIAVELIS: Okay, 35 years and counting.

MS. FEATHERSTONE: -- somewhere in there, yes.

COMMISSIONER SIAVELIS: Okay, and have you talked to your neighbors?

MS. FEATHERSTONE: They're all fine with it.

COMMISSIONER SIAVELIS: Okay, nobody voiced any opposition to you?

MS. FEATHERSTONE: No.

MR. FLUBACKER: And then specific to the neighbor to the south.

COMMISSIONER SIAVELIS: That's where I'm going with this.

MS. FEATHERSTONE: Yes, the neighbor to the south was fine.

COMMISSIONER SIAVELIS: The adjoining neighbor to the south would be impacted theoretically by those two units.

MS. FEATHERSTONE: And they're fine. Where they sit, they sit on, I think on their side of the house it's a chimney. It's where those units would be aligned to at their house, so there is no visual.

COMMISSIONER SIAVELIS: No visual impact?

MS. FEATHERSTONE: No.

COMMISSIONER SIAVELIS: Okay, I don't have anything else.

CHAIRPERSON JAFFE: Anybody else?

(No response.)

CHAIRPERSON JAFFE: All right, you can take a seat and we'll see if there's any public comment.

MS. FEATHERSTONE: Thank you.

CHAIRPERSON JAFFE: Is there anybody present who wishes to comment on this petition?

(No response.)

CHAIRPERSON JAFFE: Okay, we'll close it down for Board deliberation.

COMMISSIONER SIAVELIS: Sure, I'll start. I think this is a reasonable request. I understand why Bob offered up the compromise that he did, but I don't think it's necessary. Frankly, I think four-and-a-half to five feet from the property line is sufficient here. I do like the fact that the owner clarified what structure it is basically opposed or corresponds on the neighbor's side being a chimney there, and we have no neighborhood opposition.

So, I'm in support of the petition and the variances sought as drafted and presented in the papers, not necessarily the compromise offered that Bob made. Although I do appreciate that, I don't think we need to get to that.

CHAIRPERSON JAFFE: Any other comments, thoughts?

(No response.)

CHAIRPERSON JAFFE: Is there a motion?

COMMISSIONER SIAVELIS: I'll move as stated.

COMMISSIONER PORTERA: Second.

MR. MACH: Mr. Siavelis.

COMMISSIONER SIAVELIS: Yes.

MR. MACH: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. MACH: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. MACH: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. MACH: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. MACH: Chairman Jaffe.

CHAIRPERSON JAFFE: Yes.

Your variances have been approved. Thank you.

MS. FEATHERSTONE: Thank you.

MR. FLUBACKER: Thank you very much.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:13 p.m.)

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 819 NORTH HIGHLAND AVENUE - ZBA #25-018

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 14th day of July, 2025 at the hour of
7:13 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairperson
TOM DRAKE
PETER SIAVELIS
MICHAEL O'CONNOR
FRANK PORTERA
JOSEPH SELBKA

ALSO PRESENT:

DEREK MACH, Development Planner
DARKO BOJIN, Assistant Planner
DAN OSOBA, Planner

CHAIRPERSON JAFFE: Okay, next up, Agenda Item B, 819 North Highland Avenue, ZBA #25-018.

How are you?

MR. COCHRAN: Hi, guys. Jim Cochran, JRC Design Build.

CHAIRPERSON JAFFE: Address?

MR. COCHRAN: 1275 East Davis, Arlington Heights, Illinois.

MS. LALL: Regina Lall, 819 North Highland Avenue. I'm the owner.

(Witnesses sworn.)

CHAIRPERSON JAFFE: Okay, Staff report?

MR. OSOBA: The property is zoned R-3 Residential Single-Family Zone District. The Petitioner is proposing to construct a new 247 square-foot addition and interior remodel to connect the existing home to the detached garage that's existing on the north of the property. The existing garage is connected to the home with a covered breezeway and is located 4.72 feet from the north property line. Attaching the detached garage to the home would require compliance with the side yard setbacks of the R-3 District which would equal 10 percent of the lot width, or 7.5 feet on this lot.

Therefore, the Petitioner is requesting the following variation:

- A 2.78-foot variation from Chapter 28, Section 5.1-3.3b to allow a side setback of 4.72 feet from the newly attached garage where 7.5 feet is required.

MR. COCHRAN: That is correct. Yes, so that's an existing attached garage with the roof line. Basically, what we're doing is filling it in between so that she can have her modern kitchen attached to the garage. We originally proposed to her to put the addition on the back of the home, but then there was no way to get from the garage to the house without going outside. Again, there is also a basement stairway in the back of the house that we would have had to have gotten riden of that they want to keep. That was one of the reasons we ask for the variance.

CHAIRPERSON JAFFE: Tom?

COMMISSIONER DRAKE: Hello, I have a few questions. You've heard some of these already. How long in the home?

MS. LALL: 10 years.

COMMISSIONER DRAKE: 10 years, all right. How many folks live in the house?

MS. LALL: Six.

COMMISSIONER DRAKE: Six. How many drivers do you have?

MS. LALL: Two right now.

COMMISSIONER DRAKE: Okay, what about the neighbors? Did you physically talk to the neighbors?

MS. LALL: Yes, they're all happy about it.

COMMISSIONER DRAKE: No feedback? No negativity?

MS. LALL: Only positivity.

COMMISSIONER DRAKE: Everybody's on board?

MS. LALL: Yes.

COMMISSIONER DRAKE: All right, that's it.

CHAIRPERSON JAFFE: Any other questions from the Board?

(No response.)

CHAIRPERSON JAFFE: Okay, you may have a seat.

MS. LALL: Thanks.

MR. COCHRAN: Thank you.

CHAIRPERSON JAFFE: You're welcome.

Is there anybody present who wishes to comment on this petition?

(No response.)

CHAIRPERSON JAFFE: Okay, none being heard, we'll close it down.
Tom?

COMMISSIONER DRAKE: Yes, I think this is pretty straight-forward. It's an existing non-conforming. None of the three Staff Departments had any opposition. No neighbor opposition that we heard. I think it's a good use of the space, it will give them more living space. It's a nice design and I think they satisfied all four points of the criteria we're looking for. So, I'm in favor of approval.

COMMISSIONER SIAVELIS: Yes, I agree with you, Tom. Frankly, what are you supposed to do with the gap or the breezeway between there? I mean, it's a logical spot for, you know, expansion, utilization of space, especially in the context of having six folks living in this house. So, I mean, this is entirely reasonable, and there's a number of houses -- oops, sorry, apologies, houses in the Village that have that sort of configuration with the garage and like a breezeway between there, and of those, a number of them have had this type of addition or adder to it. So, I think this is entirely reasonable.

CHAIRPERSON JAFFE: I just think it's an increase also in safety and security, having to walk in and out of, you know, one garage and the house and back and forth. I'm in support.

Is there a motion?

COMMISSIONER DRAKE: Move to approve as presented.

COMMISSIONER PORTERA: Second.

MR. OSOBA: Commissioner Selbka.

COMMISSIONER SELBKA: Yes.

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. OSOBA: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. OSOBA: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. OSOBA: Mr. Siavelis.

COMMISSIONER SIAVELIS: Yes.

MR. OSOBA: Chair Jaffe.

CHAIRPERSON JAFFE: Yes.

Congratulations.

MR. COCHRAN: Thank you, gentlemen.

MS. LALL: Thank you.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:17 p.m.)

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 1319 NORTH SALEM BOULEVARD - ZBA #25-020

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 14th day of July, 2025 at the hour of
7:17 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairperson
TOM DRAKE
PETER SIAVELIS
MICHAEL O'CONNOR
FRANK PORTERA
JOSEPH SELBKA

ALSO PRESENT:

DEREK MACH, Development Planner
DARKO BOJIN, Assistant Planner
DAN OSOBA, Planner

CHAIRPERSON JAFFE: Okay, Agenda Item C, 1319 North Salem Boulevard, ZBA #25-020.

Good evening.

MR. MILEWSKI: Hi.

CHAIRPERSON JAFFE: What's your name?

MR. MILEWSKI: I'm Tom Milewski, owner of 1319 North Salem Boulevard.

CHAIRPERSON JAFFE: Okay.

MRS. MILEWSKI: I'm Michelle Milewski, same address, owner.

(Witnesses sworn.)

CHAIRPERSON JAFFE: Staff report?

MR. BOJIN: The property is zoned R-3 Residential Single-Family. The Petitioner is proposing to construct a front yard porch that is 36 feet and one-half inch wide, and 6.5 feet deep. The addition would have a front yard setback of 34.26 feet where 39.23 feet is required.

Therefore, the Petitioner is requesting the following variation:

- A 4.97-foot variation from Chapter 28, Section 5.1-1.3a to allow an addition with a front yard setback of 34.26 feet instead of the required 39.23 feet, and an additional one foot for the eave.

Thank you.

MR. MILEWSKI: So, again, thank you today. So, basically, we're asking to build a front porch of the house. We have an existing portico where we'd just like to extend on both sides of a new roof, or I guess it would be a new ceiling for that portico. So, it really isn't a, you know, it's really an extension of an existing structure of the element of the house. So, I would also like to include that four houses down has the exact same architectural style as well as the same design front porch, so it fits with the neighborhood property and aesthetics.

Generally speaking, we have four kids. We'd like to, they play basketball, we'd like to be sitting outside on our porch.

CHAIRPERSON JAFFE: Joe?

COMMISSIONER SELBKA: Have you spoken to your neighbors about this?

MR. MILEWSKI: Yes, all approved.

COMMISSIONER SELBKA: And you have four kids. How long have you lived in the house?

MR. MILEWSKI: Nine years.

COMMISSIONER SELBKA: Those are the only questions I have.

CHAIRPERSON JAFFE: Any questions from the Board?

(No response.)

CHAIRPERSON JAFFE: Okay, you may have a seat.

MR. MILEWSKI: Thank you.

CHAIRPERSON JAFFE: Is there anybody present who wishes to speak on this petition?

(No response.)

CHAIRPERSON JAFFE: Okay, close it down for deliberation.

Joe?

COMMISSIONER SELBKA: I'm in favor of the variance. I think it's a reasonable request. It's a nice design. I don't see any reason to say no.

CHAIRPERSON JAFFE: Any other thoughts, comments?

(No response.)

CHAIRPERSON JAFFE: I would agree, this is pretty reasonable and straightforward. So, no concerns.

Is there a motion?

COMMISSIONER SELBKA: Motion to approve.

COMMISSIONER PORTERA: Second.

MR. BOJIN: Mr. Siavelis.

COMMISSIONER SIAVELIS: Yes.

MR. BOJIN: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. BOJIN: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. BOJIN: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. BOJIN: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. BOJIN: Chair Jaffe.

CHAIRPERSON JAFFE: Yes.

Congratulations.

MR. MILEWSKI: Thank you.

MRS. MILEWSKI: Thank you.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:20 p.m.)

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 106 SOUTH WINDSOR DRIVE - ZBA #25-021

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 14th day of July, 2025 at the hour of
7:20 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairperson
TOM DRAKE
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JOSEPH SELBKA

ALSO PRESENT:

DEREK MACH, Development Planner
DARKO BOJIN, Assistant Planner
DAN OSOBA, Planner

CHAIRPERSON JAFFE: Okay, Agenda Item D, 106 South Windsor Drive, ZBA #25-021.

Hi.

MR. FREUDENBERGER: Hi.

CHAIRPERSON JAFFE: Would you state your name?

MR. FREUDENBERGER: Scott Freudenberger, 106 South Windsor.

MRS. FREUDENBERGER: Deborah Freudenberger with the same address.

(Witnesses sworn.)

MR. OSOBA: The property is zoned R-3 Residential Single-Family District. The Petitioner has constructed a 160 square-foot shed in the rear of the property located 1.29 feet from the north side property line. A building permit was obtained for the construction of the shed; however, it was constructed at a distance of 1.29 feet from the property line instead of the required three feet as shown on the approved permit. The shed is compliant with height, size, and rear setback requirements, but is encroaching within the three-foot side yard setback required for accessory structures.

Therefore, the Petitioner is requesting the following variation:

- A 1.71-foot variation from Chapter 28, Section 6.5-2 to allow a shed to be located 1.29 feet from the side property line where three feet is required.

MR. FREUDENBERGER: Thank you. So, yes, we wanted to build this shed. We have a 1,500 square-foot home. There's four of us, my wife and two kids. We have very limited storage in the home, no basement. So, we built the shed, or we were replacing the existing shed, there was already a shed there in the exact same location. Our landscaper contractor came in and, as Dan said, you know, got the, you know, approval but, much to our now realization, he had, you know, put it 1.29 instead of the three. It was in the exact same location, so we didn't realize that there was any issue until the final inspection.

But we've lived here for 19 years. The existing shed was, we've never had an issue with any of the neighbors. No issue related to compatibility, you know. It meets the height and size requirements today. No issue with the utility easement on the back end.

We did talk to our neighbor who is on the north end there. We got a letter, which I can share with you guys, of support, that they were totally good and said they thought it looked great, much better than the existing one.

CHAIRPERSON JAFFE: Can you just give one copy?

MR. OSOBA: I have it.

CHAIRPERSON JAFFE: Oh, you already have it?

MR. OSOBA: Yes.

CHAIRPERSON JAFFE: Okay, yes, you can just pass it on.

COMMISSIONER SIAVELIS: Once you give it to us, we can't return it.

MR. FREUDENBERGER: Oh, yes.

CHAIRPERSON JAFFE: Is it okay?

MR. FREUDENBERGER: Yes. There should be one for each of you guys. So, I have an extra one.

So, the neighbor supported the variance. You know, any of the work we've done in 19 years, we've always pulled a permit until this circumstance was one that we thought we had followed the permit process. So, you know, the shed is built. The

issue of moving that, Tuff Shed who is the manufacturer said if the shed is moved, it would void the warranty on it. It would potentially cause issues with the shed and the, what do you call it, the building structure, it would jeopardize the integrity of the building structure.

So, the shed has been completed. Actually, the electrical is already done and the city has already reviewed the electrical and approved it. So, we're here obviously requesting a variance approval.

COMMISSIONER PORTERA: The shed that was originally there, was that there before you moved there?

MR. FREUDENBERGER: Yes.

COMMISSIONER PORTERA: Okay, and you just, they unfortunately put it on the exact same spot as the old shed was?

MR. FREUDENBERGER: Yes, that's right.

COMMISSIONER PORTERA: Okay, I think they've answered all my questions that I had. So, I really don't have any other questions for you guys.

CHAIRPERSON JAFFE: More of a question to Staff. So, the sequence of events in the permit process, would there be an on-site inspection before the final shed is completed? Like should the Village have caught this before they went to the final inspection and saw that it was in the exact same place that it was before and where it shouldn't have been?

MR. OSOBA: It's my understanding that the Building Department does one inspection for sheds. I don't believe that they have pre or initial inspections. It's certainly something we can look into, but from my understanding, they only do the one final inspection based on the permit.

CHAIRPERSON JAFFE: What kind of base is there?

MR. FREUDENBERGER: It's a cement, I believe.

CHAIRPERSON JAFFE: Okay.

COMMISSIONER SIAVELIS: It's cement, it's not on gravel or anything?

MR. FREUDENBERGER: No, cement.

COMMISSIONER SIAVELIS: Was that the pre-existing slab that was from the prior shed?

MR. FREUDENBERGER: Yes. Yes.

CHAIRPERSON JAFFE: Any other questions?

(No response.)

CHAIRPERSON JAFFE: You may have a seat.

MR. FREUDENBERGER: Okay, thank you.

CHAIRPERSON JAFFE: Anybody present who wishes to discuss this?

(No response.)

CHAIRPERSON JAFFE: Okay. All right, so we'll close it down.

Do you want to take this up, Frank?

COMMISSIONER PORTERA: Yes. I think this is a reasonable request. It's unfortunate how this played out. The homeowners did the right thing by pulling the permit. I will take their word that they, you know, pulled the permit properly and I'm sure it's in the record, but it's kind of a human error here.

It seems that it's going to do more harm than good forcing the homeowners to move this, voiding the warranty and kind of neutralizing, you know, the structure of the shed and the concrete slab and all that. We have a neighbor letter here that is in favor and no neighbors here to object or a formally dispute the petition, so I'm in

favor.

COMMISSIONER SIAVELIS: Yes, I agree with you, Frank, on those points. Then just for one item of clarification, that neighbor who submitted the letter of support, Christine Ray, she's just not a neighbor, she's the direct neighbor or the adjacent neighbor. So, if there is an issue, if she flagged an issue or voiced opposition, I think this would look a little differently, but --

COMMISSIONER PORTERA: Yes.

COMMISSIONER SIAVELIS: -- since they have written support from your adjacent neighbor, I think that's important. Frankly, the other point about that, that slab being the original slab and they just tore down the old shed and put the new shed on top, I can see how that error happens. It's not necessarily excusable but it's explainable. So, I'm in support for those reasons.

CHAIRPERSON JAFFE: Is there a motion?

COMMISSIONER PORTERA: I move to approve the variance as presented.

COMMISSIONER SIAVELIS: I'll second.

MR. OSOBA: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. OSOBA: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. OSOBA: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. OSOBA: Mr. Siavelis.

COMMISSIONER SIAVELIS: Yes.

MR. OSOBA: Chair Jaffe.

CHAIRPERSON JAFFE: Yes0

Congratulations.

MRS. FREUDENBERGER: Thank you.

MR. FREUDENBERGER: Thank you.

CHAIRPERSON JAFFE: You're welcome.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:27 p.m.)

ZONING BOARD

REPORT OF PROCEEDINGS OF A MEETING
BEFORE THE VILLAGE OF ARLINGTON HEIGHTS
ZONING BOARD OF APPEALS

OF APPEALS

RE: 513 NORTH DOUGLAS AVENUE - ZBA #25-022

REPORT OF PROCEEDINGS had before the Village of
Arlington Heights Zoning Board of Appeals taken at the Arlington Heights
Village Hall, 33 South Arlington Heights Road, 1st Floor, Buechner Room,
Arlington Heights, Illinois on the 14th day of July, 2025 at the hour of
7:27 p.m.

MEMBERS PRESENT:

BENJAMIN JAFFE, Chairperson
TOM DRAKE
PETER SIAVELIS
MICHAEL O'CONNOR
FRANK PORTERA
JOSEPH SELBKA

ALSO PRESENT:

DEREK MACH, Development Planner
DARKO BOJIN, Assistant Planner
DAN OSOBA, Planner

CHAIRPERSON JAFFE: All right, next on the agenda, Item E, 513 North Douglas Avenue, ZBA #25-022.

MR. GINNODO: I've got to sign in first.

CHAIRPERSON JAFFE: No worries.

COMMISSIONER SIAVELIS: First time here in front of this Board?

MR. GINNODO: I'm late, sorry.

CHAIRPERSON JAFFE: Well, while Keith is doing that, why don't we just do the Staff report?

MR. OSOBA: Sure.

CHAIRPERSON JAFFE: Thank you.

MR. OSOBA: The property is zoned R-3 Residential Single-Family District. The Petitioner is proposing to construct a covered front porch within the front yard of the property. The front porch is proposed to match the existing 4.63-foot north side setback which is an existing non-conforming condition. The minimum side setback for this property is 5.6 feet. Additionally, the front porch encroaches eight feet into the required front yard setback of 30 feet. These proposed improvements to the front yard exceed the maximum impervious surface coverage for the front yard specifically by 87.09 square feet.

Therefore, the Petitioner is requesting the following variations:

- An eight-foot variation from Chapter 28, Section 5.1-3.3(a) to permit a front porch to be located 22 feet from the front property line where a front yard setback of 30 feet is required;
- A 0.97-foot variation from Chapter 28, Section 5.1-3.3(b) to permit a front porch to be located 4.63 feet from the side or north property line where a side yard setback of 5.6 feet is required; and
- An 87.09 square-foot variation from Chapter 28, Section 5.1-3.5(b)(2) to permit a front yard impervious surface coverage of 927.15 square feet where 840.06 square feet is required.

CHAIRPERSON JAFFE: Could you state your name and address for the record?

MR. GINNODO: Keith Ginnodo, Kingsley-Ginnodo Architects, 314 North Pine, Arlington Heights.

(Witness sworn.)

MR. GINNODO: The owner is not here; she's on vacation with her two children. The whole impetus of the front porch project is a dream that has been in the family for a while. She just wants to sit on the swing in the front porch with her kids and hang out in the front yard. That's basically what the project is all about, and the beautification of other aspects of the front of the house.

So, the front porch does project in front of the house by eight feet, three feet more than, you know, the normal five by 10 that's permitted. It also extends to the north edge of the building to align with the face of the house. It's not uncommon in the neighborhood to have a front porch that's usable besides just the stoop over the front door. I discussed the purpose of the porch, so that she and her two children can swing on the porch and play on the porch and all that kind of stuff.

The property has no public sidewalk that runs along the front of it, so the lawn looks really long and lovely actually, but the thing is they feel a little bit pushed back on the site. To the north of them, their front porch will align with the garage of the

adjacent property, and to the south of them, there is a big hedge that runs between the two properties. So, they feel like they're kind of set back and they want to be part of the neighborhood and build community. So, that's the source of that.

The 88 square feet of impervious surface coverage in the front yard will be approximately 190 square feet over the whole property. So, they'll still have almost 200 square feet of impervious if you include the entire property in that calculation, realizing that the front yard does have its restriction. Without that sidewalk which would be about 280 square feet, there's kind of a grass offset there and I don't think there's ever going to be a sidewalk that gets built there because it doesn't continue further south.

The reason that square footage is what it is, the two young daughters will soon be driving. I mean, right now they're 11 and nine, but she's planning on living in the house for as long as she needs to until the kids matriculate college probably. So, they have widened the driveway for the one-car garage so they can get two cars to navigate side by side. That's really the largest part of it.

So, I think in the end what they're asking for is beneficial. It's in keeping with the neighborhood, and it kind of, hopefully it fosters community as well.

COMMISSIONER O'CONNOR: Okay, is the size of the porch, is this the absolute minimum size you can go? I know not the absolute minimum, but you know what I'm actually trying to get --

MR. GINNODO: Not the absolute, yes. So, when you get a three-person, when you get three seats on a swing, it gets to be about six feet wide, and then you've got to be able to swing in it. It's between the column and the wall. We don't want a knuckle scrape and any of that kind of stuff.

COMMISSIONER O'CONNOR: Sure.

MR. GINNODO: So, it's a reasonable minimum to accomplish that.

COMMISSIONER O'CONNOR: Okay, and I saw the letters of support. So, the person directly to the north was one of those supporters?

MR. GINNODO: Yes, and directly to the south, and directly across the street.

COMMISSIONER O'CONNOR: Yes, when you go through that neighborhood, there are quite a few porches.

MR. GINNODO: Yes.

COMMISSIONER O'CONNOR: Some even kind of closed off --

MR. GINNODO: Yes, some of the older ones especially, yes.

COMMISSIONER O'CONNOR: Yes.

MR. GINNODO: Yes.

COMMISSIONER O'CONNOR: Okay, and you mentioned something about expanding the driveway in the future? Is that --

MR. GINNODO: No, not in the future. There will be future drivers.

COMMISSIONER O'CONNOR: Yes.

MR. GINNODO: Right now, it's a one-car garage. They can kind of stick their car in front of it. We've tried to kind of keep the position of the garage as you can see on part of the driveway. It's just a matter of like making it work instead of being, again two cars scraping against each other.

COMMISSIONER O'CONNOR: Yes, okay. No, I just want to make sure since the impervious surface is already an issue in the front.

MR. GINNODO: Yes, exactly.

COMMISSIONER O'CONNOR: I got you, okay.

MR. GINNODO: Yes.

COMMISSIONER O'CONNOR: Okay, yes, I think you answered most of my questions.

Any other questions?

(No response.)

CHAIRPERSON JAFFE: All right, thank you. You can have a seat.

I'll ask, I think I know what the answer is, is there anybody present to comment on this petition?

(No response.)

CHAIRPERSON JAFFE: All right, Mike, let's close it down.

COMMISSIONER O'CONNOR: Yes. I think I got most of the questions answered that I was looking to get answered here. I think, you know, there was concern about the impervious surface. There is no sidewalk in this area. The whole lot is in conformance. Again, there is a front yard rule, but also when you do drive by and you go down the block, it is set back pretty far. So, I think it fit in pretty well in the neighborhood which I was a little concerned with just reading it, but I have no concerns. I'm in support of it.

CHAIRPERSON JAFFE: Agreed.

Is there a motion?

COMMISSIONER O'CONNOR: Motion to approve as written.

COMMISSIONER DRAKE: Second.

MR. OSOBA: Mr. Selbka.

COMMISSIONER SELBKA: Yes.

MR. OSOBA: Mr. Portera.

COMMISSIONER PORTERA: Yes.

MR. OSOBA: Mr. O'Connor.

COMMISSIONER O'CONNOR: Yes.

MR. OSOBA: Mr. Drake.

COMMISSIONER DRAKE: Yes.

MR. OSOBA: Mr. Siavelis.

COMMISSIONER SIAVELIS: Yes.

MR. OSOBA: Chair Jaffe.

CHAIRPERSON JAFFE: Yes.

Congratulations.

MR. GINNODO: Thank you very much.

CHAIRPERSON JAFFE: Do we have other business?

COMMISSIONER SIAVELIS: Actually, I think there is. Just one quick. Bob Flubacker's comment was actually well taken I think and well based. What's the --

MR. MACH: It is on the list, a short list of code amendments, yes, that I think Staff is going to propose. We seen that variance approximately once a year it seems.

COMMISSIONER SIAVELIS: You've seen which variance? You see that issue we're talking about?

MR. MACH: Yes, where projects return because the existing variance has

then expired.

COMMISSIONER SIAVELIS: Right, and you can't, the Village can't renew those variances like, you know, automatically, correct? That has to come back in front of the Board?

MR. MACH: Correct, and it currently states one year. The proposal is two years.

COMMISSIONER SIAVELIS: Right, the code says one year.

MR. MACH: Correct.

COMMISSIONER SIAVELIS: Yes.

MR. MACH: Yes, no, it is on our list.

CHAIRPERSON JAFFE: But is there any correlation between the period in which a permit is valid and the period in which a petitioner could re-petition? So, if one moves from one year to two years, does that mean that a petitioner being denied, does that change that calculation or is that still one year?

COMMISSIONER SIAVELIS: No, I would say that's a different calculation because it's a different result, right? One comes off a denial, the other one comes off a grant or approval, right? Is that, under Bob's -- so does that make sense, Mr. Chairman?

CHAIRPERSON JAFFE: Yes, sorry.

COMMISSIONER SIAVELIS: Okay, so the --

CHAIRPERSON JAFFE: I'm not used to hearing that term, sorry if I was delayed in responding.

COMMISSIONER SIAVELIS: You're thrown by Mr. Chairman, right?

So, Bob's, the way I interpret Bob's proposal, Derek, is two years from the date of either approval by this Board or the grant of the permit, right? Because those are two different dates, right? The grant of the permit is something, well, I guess you send out, the Village sends out after a vote like this, so Bob Flubacker's client received approval of the variance, I assume that the Village sends out some sort of formal communication to them that says, you know, congratulations, your petition has been granted, the following variances are okay, right? Does the two-year clock start running from that date or today's date?

MR. MACH: Today's date, the date of the hearing.

COMMISSIONER SIAVELIS: Okay, so even still, I mean, how, typically, how fast does the Village send out the confirmatory letter?

MR. MACH: We send the findings and the approved minutes after the next hearing date; however, the Petitioner can go apply for the permit tomorrow. You know, sometimes they're in for permitting it already, we wouldn't sign off on zoning if a variance was necessary, but yes, he can proceed to permit.

COMMISSIONER SIAVELIS: Okay, so there is a situation in the current framework where there's 11 months, right, where essentially, you've received the correspondence and the clock has been ticking on you for one month already, so you have 11 months to get your act together. You have to break ground then, is that what it is, or what's --

MR. MACH: Once the permit is issued.

COMMISSIONER SIAVELIS: Okay.

MR. MACH: There are situations where someone is in for permit and Staff will approve the permit tomorrow if the variance was granted.

COMMISSIONER SELBKA: But there's other situations where we have a lot of comments associated with the permit, and that's where the delays are --

COMMISSIONER SIAVELIS: And that's probably, Joe, Bob's commentary.

COMMISSIONER SELBKA: Right.

COMMISSIONER SIAVELIS: Maybe on projects where financing isn't secure or there is some concern, or if it's a larger residential project or dealing with --

COMMISSIONER DRAKE: When are those code changes likely to be looked at and potentially approved? Is there a timetable on that?

MR. OSOBA: I think we're aiming for the end of the year, but that's very tentative at this point. There's a lot of kind of discussion and we want to make sure there's no unintended consequences. A lot of the discussion tonight is useful, but I think we're wanting to make sure that we're not making changes to code and then having to remake changes to the code. So, we want to get it right the first time, but I think the tentative timeline is the end of the year.

COMMISSIONER O'CONNOR: Have you looked at what other Villages do?

MR. OSOBA: Yes.

COMMISSIONER O'CONNOR: Have you seen a year or two years?

MR. OSOBA: It varies mostly, yes.

CHAIRPERSON JAFFE: All right, any other business? Is there anybody present who wishes to make public comment?

(No response.)

CHAIRPERSON JAFFE: Is there a motion for adjournment?

COMMISSIONER SELBKA: Motion to adjourn.

COMMISSIONER O'CONNOR: I second that.

CHAIRPERSON JAFFE: All in favor?

(Chorus of ayes.)

CHAIRPERSON JAFFE: All opposed?

(No response.)

CHAIRPERSON JAFFE: We're adjourned.

(Whereupon, the public hearing on the above-mentioned petition was adjourned at 7:40 p.m.)

STATE OF ILLINOIS)
) SS.
COUNTY OF KANE)

I, RON LeGRAND, SR., depose and say that
I am a digital court reporter doing business in the State of
Illinois; that I reported verbatim the foregoing proceedings and
that the foregoing is a true and correct transcript to the best of
my knowledge and ability.

RON LeGRAND, SR.

SUBSCRIBED AND SWORN TO
BEFORE ME THIS _____ DAY OF
_____, A.D. 2025.

NOTARY PUBLIC

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

JULY 14, 2025

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 919 S. Vail Ave. – Featherstone Residence

Applicant: Robert Flubacker

Zoning Relief Requested:

- A 4.0-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback of 3.0 feet instead of the required 7.0 feet and an additional 1.0 feet for the eave.
- A variance from Chapter 28, Section 6.6-5 (Permitted Obstructions) to allow two air conditioning units in the required side yard setback along the south property line.

Date of Publication: 6/28/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Drake, Portera, Selbka, Jaffe, Siavelis, O’Connor

Having heard and considered the testimony and evidence at the public hearing of July 14, 2025, the ZBA makes the following **findings of fact**:

The subject site is zoned R-3, One Family Dwelling District. The property has a total land area of 9,244 square feet and the proposed residence with the addition will be approximately 2,400 square feet. The petitioner is proposing to construct an addition to the existing single story home which includes an expansion to the garage in order to create a two car front load garage. The expansion for the garage is encroaching into the required side yard setback along the north property line. In addition, the two air conditioning units are encroaching into the required side yard setback along the south property line.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

- X The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and
- X The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
- X The proposed variation is in harmony with the spirit and intent of this Chapter; and
- X The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- A 4.0-foot variation from Chapter 28, Section 5.1-3.3b (Required Minimum Yards) to allow an addition with a side yard setback of 3.0 feet instead of the required 7.0 feet and an additional 1.0 feet for the eave.
- A variance from Chapter 28, Section 6.6-5 (Permitted Obstructions) to allow two air conditioning units in the required side yard setback along the south property line.

Reason for Determination:

The Zoning Board commented that the petitioner received zoning variations for the project in December of 2023. The variances have expired since the project did not commence.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

6 ayes 0 nays 1 absent 0 abstain

Date: July 14, 2025

Benjamin Jaffe, Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

JULY 14, 2025

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 819 N. Highland Ave. – Lall Residence

Applicant: Kevin Purdom / JRC Design Build

Zoning Relief Requested:

- A 2.78-foot variation from Chapter 28, Section 5.1-3.3(b) to allow a side setback of 4.72-feet from the newly attached garage where 7.5 feet is required.

Date of Publication: 6/28/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Drake, Portera, Selbka, Jaffe, Siavelis, O’Connor

Having heard and considered the testimony and evidence at the public hearing of July 14, 2025, the ZBA makes the following findings of fact:

The petitioner is proposing to construct a new 247 square-foot addition and interior remodel to connect the existing home to the detached garaged on the north of the property. The existing detached garage is connected to the home with a covered breezeway and is located 4.72-feet from the north side property line. Attaching the detached garage to the home with the proposed building addition will require compliance with the side yard setbacks of the R-3 District, which equals 10-percent of the lot width or 7.5-feet on this lot.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

- The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and
- The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and

- X The proposed variation is in harmony with the spirit and intent of this Chapter; and
- X The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- A 2.78-foot variation from Chapter 28, Section 5.1-3.3(b) to allow a side setback of 4.72-feet from the newly attached garage where 7.5 feet is required.

Reason for Determination:

The Petitioner testified as to the hardship, existing conditions of the subject property, and similar improvements in the surrounding neighborhood. The Zoning Board commented that the variance is minimal, a good use of the space, and a logical location for an expansion to increase safety and security between the two structures.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

6 ayes 0 nays 1 absent 0 abstain

Date: July 14, 2025

Benjamin Jaffe, Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

JULY 14, 2025

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: Milewski Residence – 1319 N. Salem Blvd.

Applicant: Kevin Erdmann / Erdmann Construction

Zoning Relief Requested:

- A 4.97-foot variation from Chapter 28, Section 5.1-1.3.a. (Required Minimum Yards) to allow an addition (porch) with a front yard setback of 34.26 feet instead of the required 39.23 feet and an additional 1.0 foot for the eave.

Date of Publication: 6/28/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Drake, Portera, Selbka, Jaffe, Siavelis, O’Connor

Having heard and considered the testimony and evidence at the public hearing of July 14, 2025, the ZBA makes the following **findings of fact**:

The property is zoned R-3 and has a total land area of 15,008 square feet. The petitioner is proposing to construct a front yard porch that is 36 feet and one-half inch wide, and 6.5 feet deep. This addition would have a front yard setback of 34.26 feet where 39.23 feet is required.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

X The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and

X The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and

X The proposed variation is in harmony with the spirit and intent of this Chapter; and

X The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- A 4.97-foot variation from Chapter 28, Section 5.1-1.3.a. (Required Minimum Yards) to allow an addition (porch) with a front yard setback of 34.26 feet instead of the required 39.23 feet and an additional 1.0 foot for the eave.

Reason for Determination:

The petitioner testified that the current configuration of the porch made it difficult to use. The Zoning Board commented that the variance is consistent with the character of the neighborhood and would help with the enjoyment of the property.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

6 ayes 0 nays 1 absent 0 abstain

Date: July 14, 2025

Benjamin Jaffe, Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS
ZONING BOARD OF APPEALS
PUBLIC HEARING
JULY 14, 2025
FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 106 S. Windsor Dr. - Freudenberger Residence

Applicant: Scott Freudenberger

Zoning Relief Requested:

- A 1.71 foot variation from Chapter 28, Section 6.5-2 to allow a shed side to be located 1.29 feet from the side property line where 3 feet is required.

Date of Publication: 6/28/25

Manner of Publication: Daily Herald

Zoning Board of Appeals ("ZBA") Members Present:

Drake, Portera, Selbka, Jaffe, Siavelis, O'Connor

Having heard and considered the testimony and evidence at the public hearing of July 14, 2025, the ZBA makes the following findings of fact:

The petitioner has constructed a 160 square-foot shed in the rear of the property 1.29-feet from the north side property line. A building permit was obtained for the construction of the shed; however, it was constructed a distance of 1.29-feet from the property line instead of the required 3-feet as shown on the approved permit. The shed is compliant with height, size, and rear setback requirements, but is encroaching within the required 3-foot side yard setback for accessory structures.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an "X"):

- The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and
- The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
- The proposed variation is in harmony with the spirit and intent of this Chapter; and

X The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- A 1.71 foot variation from Chapter 28, Section 6.5-2 to allow a shed side to be located 1.29 feet from the side property line where 3 feet is required.

Reason for Determination:

The Petitioner testified as to the hardship, existing shed location, minimal impact on surrounding properties, and that the neighbor adjacent to the shed has no concerns with the shed placement or design. The Zoning Board commented that the request is reasonable and minimal to permit the shed location, and that the closest neighbor does not have any opposition to the request.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

6 ayes 0 nays 1 absent 0 abstain

Date: July 14, 2025

Benjamin Jaffe, Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.

VILLAGE OF ARLINGTON HEIGHTS, ILLINOIS

ZONING BOARD OF APPEALS

PUBLIC HEARING

JULY 14, 2025

FINDINGS OF FACT, DECISION AND ORDER

Agenda Item: 513 N. Douglas Ave – Organ Residence

Applicant: Keith Ginnodo / Kingsley-Ginnodo Architects

Zoning Relief Requested:

- An 8.0-foot variation from Chapter 28, Section 5.1-3.3(a) to permit a front porch to be located 22 feet from the front property line where a front yard setback of 30 feet is required.
- A 0.97-foot variation from Chapter 28, Section 5.1-3.3(b) to permit a front porch to be located 4.63 feet from the side (north) property line where a side yard setback of 5.6 feet is required.
- An 87.09 square-foot variation from Chapter 28, Section 5.1-3.5(b)(2) to permit a front yard impervious surface coverage of 927.15 square-feet where 840.06 square-feet is required.

Date of Publication: 6/28/25

Manner of Publication: Daily Herald

Zoning Board of Appeals (“ZBA”) Members Present:

Drake, Portera, Selbka, Jaffe, Siavelis, O’Connor

Having heard and considered the testimony and evidence at the public hearing of July 14, 2025, the ZBA makes the following findings of fact:

The petitioner is proposing to construct a covered front porch within the front yard of the property. The front porch is proposed to match the 4.63-foot north side setback of the existing home, which is an existing non-conforming condition. The minimum side setback for this property is 5.6-feet. Additionally, the porch encroaches 8-feet into the required front yard setback of 30-feet. These proposed improvements to the front yard exceed the maximum impervious surface coverage for the front yard specifically by 87.09 square-feet.

For Variation Requests:

(Pursuant to Chapter 6, Article II, Section 6-202(e)(2)(c), in consideration of the standards of practical difficulties or particular hardship, the ZBA shall require evidence of the below.)

The ZBA finds that evidence of the following was presented at the public hearing (check all that apply with an “X”):

- X The proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and
- X The plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and
- X The proposed variation is in harmony with the spirit and intent of this Chapter; and
- X The variance requested is the minimum variance necessary to allow reasonable use of the property.

Does the ZBA Find in Favor of the Applicant for Relief Requested?

Relief Granted (if any):

- An 8.0-foot variation from Chapter 28, Section 5.1-3.3(a) to permit a front porch to be located 22 feet from the front property line where a front yard setback of 30 feet is required.
- A 0.97-foot variation from Chapter 28, Section 5.1-3.3(b) to permit a front porch to be located 4.63 feet from the side (north) property line where a side yard setback of 5.6 feet is required.
- An 87.09 square-foot variation from Chapter 28, Section 5.1-3.5(b)(2) to permit a front yard impervious surface coverage of 927.15 square-feet where 840.06 square-feet is required.

Reason for Determination:

The Petitioner testified as to the hardship, existing site conditions, and consistency with other similar projects in the surrounding neighborhood. The Zoning Board commented that the variance is minimal, will fit in well with the surrounding neighborhood, and does not have any neighborhood opposition.

Based on the information contained in the application and the testimony and evidence presented at the public hearing, the ZBA voted on the approval of these findings of fact, decision and order and the requested application resulting in the following vote:

6 ayes 0 nays 1 absent 0 abstain

Date: July 14, 2025

Benjamin Jaffe, Chair
Zoning Board of Appeals
Village of Arlington Heights

Pursuant to Chapter 6, Article II, Section 6-202(e)(3), in exercising the enumerated powers of the Zoning Board of Appeals, the ZBA may reverse, affirm, or modify the order, requirement, decision, or determination appealed from and to that end shall have all the powers of the Administrative Officer from whom the appeal is taken.



VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

Zoning Board of Appeals
8/11/2025

Item: 1015 N. Forrest Ave. - ZBA25-023

Department: Planning & Community Development

Item Description:

REQUEST

- A variation from Chapter 28, Section 10.2-11(1)(a) (Parking – In Yards) to allow gravel driveway surface where concrete or asphalt is required.

ATTACHMENTS:

1. Exhibits_1015 N Forrest Ave

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Dan Osoba, Planner
Hearing Date: August 11, 2025
Date Prepared: August 6, 2025
Project Title: Peart Residence
Address: 1015 N. Forrest Ave.

Background Information

Petition Number: ZBA #25-023
Petitioner: Jordan & Victoria Peart
Address: 1015 N. Forrest Ave.
Arlington Heights IL 60004

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

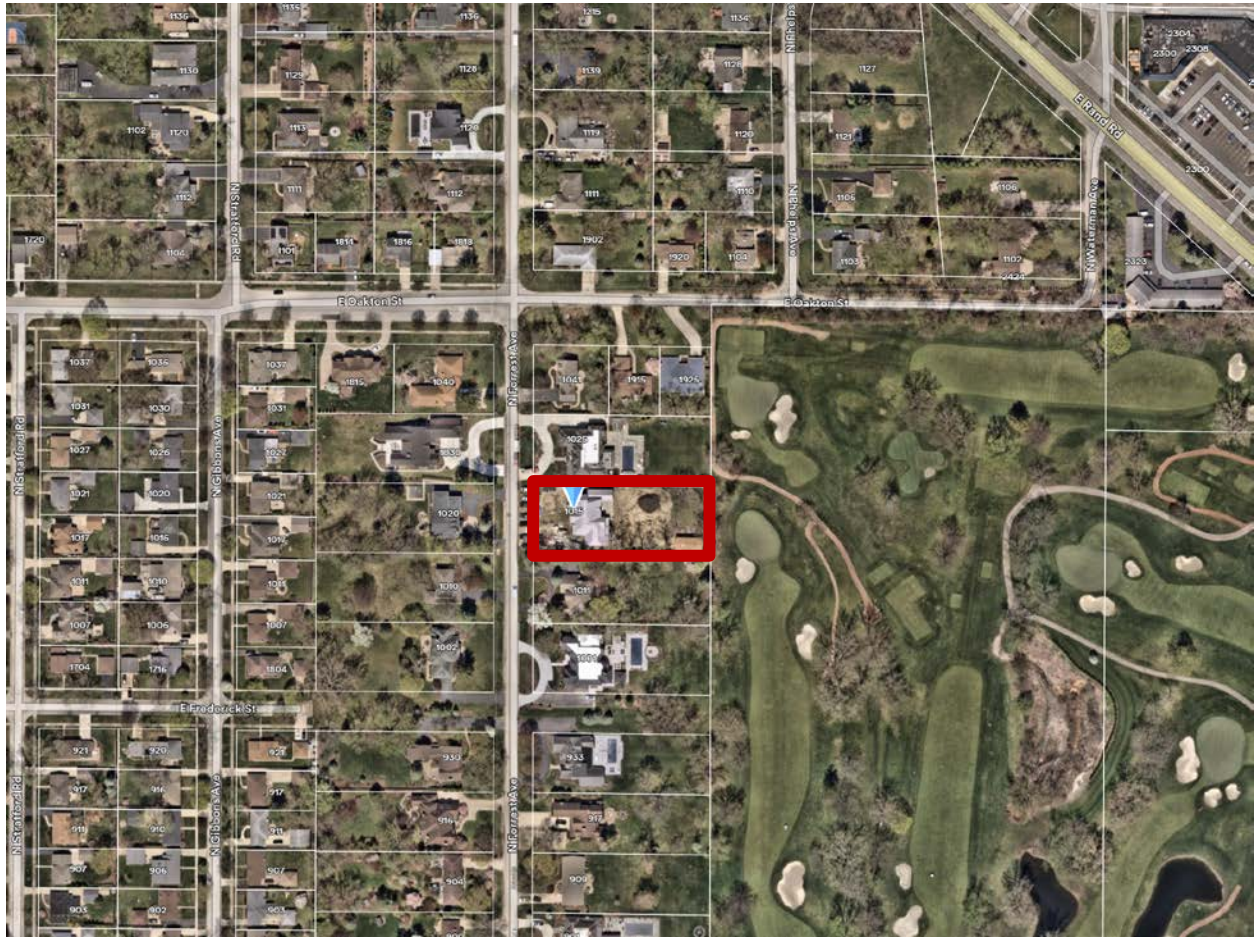
The Petitioner is proposing to allow a gravel driveway to the rear of the home, which extends from an attached garage to the existing detached garage structure at the rear of the property. A new home is currently under construction on the site and the gravel drive would connect the rear garage and provide required access to the N. Forrest Avenue right-of-way. Driveways are required to be constructed of concrete or asphalt. Green infrastructure applications may be utilized in lieu of concrete or asphalt surfaces subject to Village Engineer approval. Therefore, the Petitioner is requesting the following variation:

- A variation from Chapter 28, Section 10.2-11(1)(a) (Parking – In Yards) to allow gravel driveway surface where concrete or asphalt is required.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	7/24/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	7/24/25	
3. Letter that was Mailed	✓	7/21/25	
4. Photographs of Sign on Property	✓	7/24/25	

Photographs of Existing Structure



Village of Arlington Heights



To: Jordan & Victoria Peart
From: Dan Osoba
Department: Department of Planning and Community Development
File Number: ZBA 25-023
Project: 1015 N. Forrest Avenue
Date: August 6, 2025

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the variance to Chapter 28, Section 10.2-11.1.a to permit a gravel driveway in the rear yard to connect the existing attached one-car garage to the detached garage in the rear yard. If you have any questions, please contact dosoba@vah.com:

Planning and Community Development

1. No comments.

Building and Life Safety

1. No comments.

Engineering

1. The Public Works & Engineering Division is NOT IN FAVOR of the requested variance to Chapter 28, Section 10.2-11.1(a) to permit a gravel driveway in the rear yard. Although the new single-family home has two sump pump discharge locations, the driveway to the garage is not impacted by the location of the sumps. Staff would be in favor of a green infrastructure application as a substitution to the hard surface required by code.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Monday, August 11, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A variation from Chapter 28, Section 10.2-11(1)(a) (Parking - In Yards) to allow gravel driveway surface where concrete or asphalt is required.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planning@mail@vgh.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

LOT 3 IN C.H. TAYLOR'S ARLINGTON TOWN GARDENS, BEING A SUBDIVISION OF THE WEST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED MARCH 7, 1946 AS DOCUMENT 13735491, IN COOK COUNTY, ILLINOIS.

Commonly known as: 1015 N. Forest Avenue, Arlington Heights IL 60004

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@vgh.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals
Published in Daily Herald July 26, 2025 (299139)

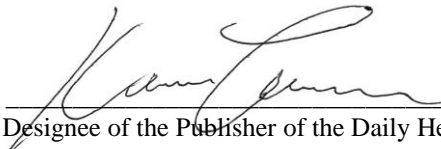
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 07/26/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY 
Designee of the Publisher of the Daily Herald

Control # 299139



PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner Jordan & Tori Peart

being the owner of the property commonly known as: 1015 N. Forrest Avenue

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section Section 10.2-11.1.a

Chapter 28, of the Arlington Heights Municipal Code, in order to: _____

Allow a gravel driveway at the rear of the home, extending from the one-car garage stall to the detached garage structure.

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): The gravel driveway will not alter the essential character of the area. It is located behind the home and out of view from the public right-of-way, will provide limited-use access while reducing impervious surface. Its natural appearance is more in keeping with the character of the area than asphalt or concrete.

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): The unique circumstances include the layout of the lot and the existing detached garage, which create a need for functional rear yard access. The proposed gravel driveway is a practical solution that respects the existing site conditions and would not increase the impervious surface coverage. These conditions are specific to this property due to the existing garage and not common to others in the area.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): _____
The proposed variation supports the spirit and intent of the zoning code by maintaining the residential character of the property, minimizing visual impact from the street, and reducing impervious surface. It provides necessary access in a low-impact, context-sensitive manner that aligns with responsible site planning.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): _____

The proposed gravel driveway is the minimum variance necessary to provide practical access between the existing garage spaces. It avoids overbuilding and limits impact by using a permeable surface.

Signed: Victoria Peart

Petitioner

Date: 6/26/2025

Revised 5/1/24

1015 N. Forrest – Variance Request Statement

We are requesting a zoning variance to allow the use of a decorative gravel driveway in lieu of a continuous asphalt or concrete surface connecting our existing one-car attached garage to an existing detached garage at the rear of the property.

Unique Circumstances

The property has a unique layout due to the existing detached garage located at the rear of the lot. While zoning code requires a hard-surface (concrete or asphalt) driveway for access, enforcing this creates an unnecessary burden. A solid surface connection between the attached and detached garages would unnecessarily disrupt the rear yard, especially given our minimal use of the driveway. These circumstances are specific to our property and not commonly found on neighboring lots.

Additionally, the property has a high water table, which increases discharge from our two sump pumps. As indicated in our civil engineering plans, these pumps discharge toward the rear of the property due to the absence of a stormwater line at the street. A properly graded gravel driveway supports natural water infiltration, reducing runoff and minimizing the risk of standing water.

Minimum Variation Necessary

This request represents the minimum variation required to make reasonable use of the property. We are not eliminating access or adding any new driveway paths—we are simply seeking to use a more permeable, environmentally responsible material.

Harmony with the Intent of the Zoning Code

The proposed gravel driveway supports the spirit and intent of the zoning ordinance by minimizing impervious surface area, reducing environmental impact, and preserving the rear yard's green space and character. The driveway will be located out of public view and will not disrupt the streetscape or neighborhood character.

A continuous paved driveway between the two garages would divide the lot both visually and physically, compromising the open backyard that is integral to the home's overall design. In contrast, a gravel driveway is more compatible with the landscaped character of the yard and preserves its natural aesthetic.

Environmental & Functional Justification

There is no practical need for continuous vehicle circulation between the two garages. The rear garage is not used as a drive-through or for routine access from the main driveway, just an occasional use. A gravel surface provides sufficient access for occasional use while supporting the site's drainage needs and avoiding unnecessary environmental disruption.


Conclusion

We respectfully request approval of this variance to use a decorative gravel driveway, which provides a functional, environmentally sensitive, and aesthetically appropriate solution tailored to the unique conditions of our property.

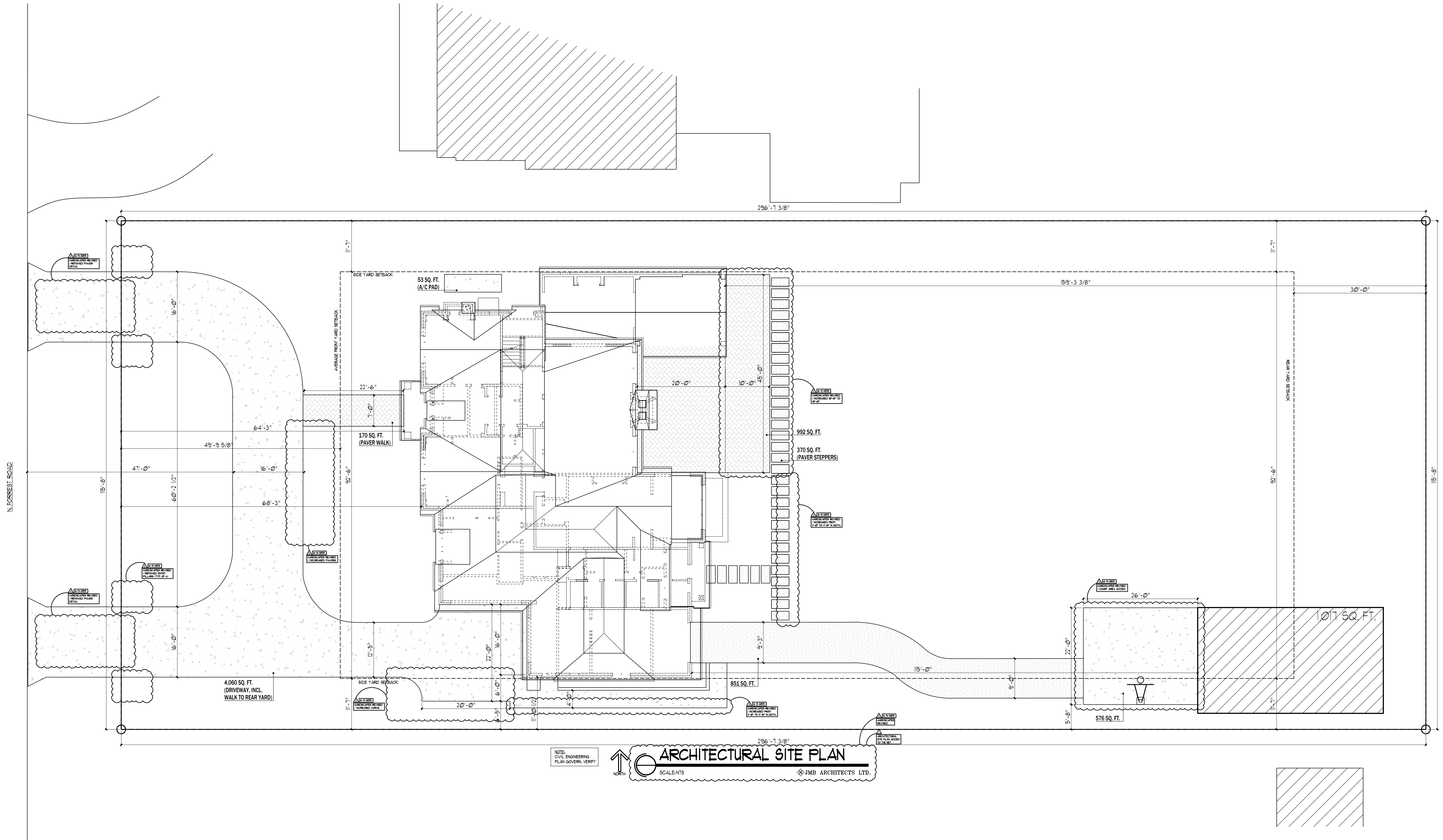
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John Michael Belcher A.L.A. N.C.A.R.B.
 180 W. Park Suite #10
 Elmhurst, Illinois 60126
JMB ARCHITECTS, LTD.
 E-Mail: jmbarch@jmbarchitect.com Phone: 630.279.8228 Web: JMBArchitect.com

NEW RESIDENCE for:
MR. & MRS. PEART
 1015 N. FORREST AVENUE
 ARLINGTON HEIGHTS, IL 60004

DATE: 1/8/2024
 DRAWN BY: JA
 CHECKED BY: JMB
 PERMIT:
 REVISION: 8/19/2024
 REVISION: 6/19/2025
 PROJECT NO.:
 SEAL DATE:

 EXPIRES DATE: 1/30/2028

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T1-1
 SHEET:



NOTE: CIVIL ENGINEERING PLAN GOVERN. VERIFY SCALE(S) ARCHITECTURAL SITE PLAN © JMB ARCHITECTS LTD.



VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

Zoning Board of Appeals
8/11/2025

Item: 401 N. Pine Ave. - ZBA25-024
Department: Planning & Community Development

Item Description:

REQUEST

- A 2.54-foot variation from Chapter 28, Section 5.1-3.3(b) (Required Minimum Yards) to allow a second story addition with a side yard setback of 4.06-feet instead of the required 6.6-foot minimum and an additional 2-feet for the eave.
- A 2.54-foot variation from Chapter 28, Section 6.6-5.1 (Table of Permitted Obstructions) to allow a deck to encroach in the required side yard with a side setback of 4.06-feet instead of the required 6.6-foot minimum.
- A variation from Chapter 28, Section 6.5-2 (Accessory Structures) to allow a portion of a pergola in the side yard where accessory structures are only permitted in the rear yard.

ATTACHMENTS:

1. Exhibits_401 N Pine Ave

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Dan Osoba, Planner
Hearing Date: August 11, 2025
Date Prepared: August 6, 2025
Project Title: Colletti Residence
Address: 401 N. Pine Ave.

Background Information

Petition Number: ZBA #25-024
Petitioner: Kevin Purdom – JRC Design Build
Address: 1275 E. Davis St.
Arlington Heights IL 60005

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

The Petitioner is proposing to construct a second-story addition in the rear of the existing single-family dwelling along with a deck and pergola located in the side and rear yard. The existing home is setback 4.06-feet from the interior side yard where a minimum side yard setback of 6.6-feet is required. The Petitioner is proposing to maintain this non-conforming setback for the second-story addition. The proposed deck is also encroaching into the required 6.6-foot setback and maintaining the same non-conforming setback as the existing home and building addition at 4.06-feet. The pergola, which is considered an accessory structure, may only be located in the rear of the property and is partially proposed within the required side yard. Therefore, the Petitioner is requesting the following variations:

- **A 2.54-foot variation from Chapter 28, Section 5.1-3.3(b) (Required Minimum Yards) to allow a second story addition with a side yard setback of 4.06-feet instead of the required 6.6-foot minimum and an additional 2-feet for the eave.**
- **A 2.54-foot variation from Chapter 28, Section 6.6-5.1 (Table of Permitted Obstructions) to allow a deck to encroach in the required side yard with a side setback of 4.06-feet instead of the required 6.6-foot minimum.**
- **A variation from Chapter 28, Section 6.5-2 (Accessory Structures) to allow a portion of a pergola in the side yard where accessory structures are only permitted in the rear yard.**

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Photographs of Existing Structure



Village of Arlington Heights



To: Kevin Purdom
From: Dan Osoba
Department: Department of Planning and Community Development
File Number: ZBA 25-024
Project: 401 N. Pine Avenue
Date: August 6, 2025

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the following variances:

- A 2.54-foot variation from Chapter 28, Section 5.1-3.3(b) (Required Minimum Yards) to allow a second story addition with a side yard setback of 4.06-feet instead of the required 6.6-foot minimum and an additional 2-feet for the eave.
- A 2.54-foot variation from Chapter 28, Section 6.6-5.1 (Table of Permitted Obstructions) to allow a deck to encroach in the required side yard with a side setback of 4.06-feet instead of the required 6.6-foot minimum.
- A variation from Chapter 28, Section 6.5-2 (Accessory Structures) to allow a portion of a pergola in the side yard where accessory structures are only permitted in the rear yard.

If you have any questions, please contact dosoba@vah.com:

Planning and Community Development

1. The proposed addition appears to fit with the character of the existing house and neighborhood. However, a complete Design Commission application is required to be submitted for review.

Building and Life Safety

1. No comments.

Engineering

1. The Public Works & Engineering Division have no objections to the requested variance.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Monday, August 11, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

• A 2.54-foot variation from Chapter 28, Section 5.1-3.3(b) (Required Minimum Yards) to allow a second story addition with a side yard setback of 4.06-feet instead of the required 6.6-foot minimum and an additional 2-feet for the eave.

• A 2.54-foot variation from Chapter 28, Section 6.6-5.1 (Table of Permitted Obstructions) to allow a deck to encroach in the required side yard with a side setback of 4.06-feet instead of the required 6.6-foot minimum.

• A variation from Chapter 28, Section 6.5-2 (Accessory Structures) to allow a portion of a pergola in the side yard where accessory structures are only permitted in the rear yard.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planning@mail@vnh.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

LOT 13 IN HENRY HINRICH'S SECOND ADDITION TO ARLINGTON HEIGHTS, IN THE EAST HALF OF THE SOUTHWEST ¼ OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS. Commonly known as: 401 N. Pine Avenue, Arlington Heights IL 60004

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@vnh.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals
Published in Daily Herald July 26, 2025 (299140)

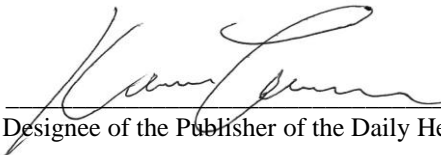
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 07/26/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY 
Designee of the Publisher of the Daily Herald

Control # 299140



PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 if the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner _____

being the owner of the property commonly know as: _____

and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a Variation from Section _____

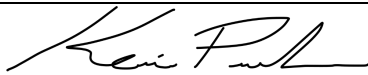
Chapter 28, of the Arlington Heights Municipal Code, in order to: _____

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): _____

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): _____

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): _____

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): _____

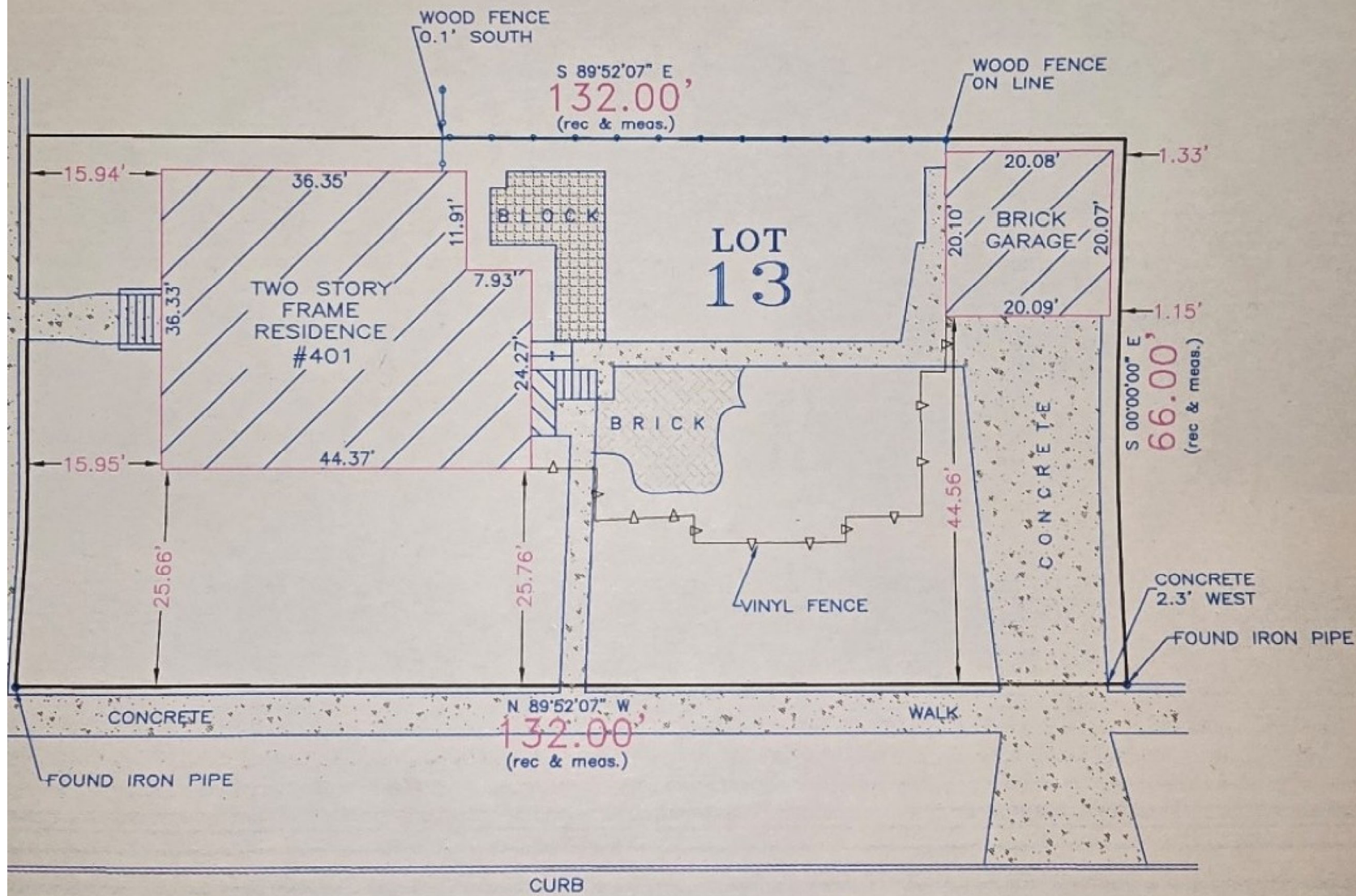
Signed:  _____ Date: _____
Petitioner

Plat of Survey

of

LOT 13 IN HENRY HINRICH'S SECOND ADDITION TO ARLINGTON HEIGHTS, IN THE EAST HALF OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS

ADDRESS: 401 N PINE AVENUE, ARLINGTON HEIGHTS, ILLINOIS



St James Street

(66 Ft R.O.W.)

ADDITION TO THE COLLETTI RESIDENCE



1275 E. DAVIS, ARLINGTON HEIGHTS, IL 60005
 PHONE: (847)255-2322
 EMAIL: KEVINJDCDB@GMAIL.COM
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ADDITION TO THE COLLETTI RESIDENCE

401 N PINE AVENUE
 ARLINGTON HEIGHTS, IL 60004

DATE
 1-06/09/2025

ISSUE DATE
 1-06/09/2025 1-BID

PROJECT DATA

PROJECT LOCATION:	401 N PINE AVE	
ZONING DISTRICT:	R-3	
LOT AREA:	8,712 SF	
PIN:	03-29-313-004-0000	
MAX LOT COVERAGE:(35%)	3,049 SF	
PROPOSED LOT COVERAGE:	2,302 SF	
MAX FAR: (45%)	3,920 SF	
PROPOSED FAR:	2,863 SF	
MAX IMPERVIOUS COVERAGE (50%)	4,356 SF	
MAX FRONT YARD IMPERVIOUS (50%)	1,650 SF ALLOWED	504 SF PROPOSED
PROPOSED IMPERVIOUS COVERAGE:	3,608 SF	
MAX BUILDING HEIGHT:	25'-0"	
PROPOSED BUILDING HEIGHT:	EX TO REMAIN	
LOCATION AREAS:		
BASEMENT		1,300 SF
FIRST FLOOR		1,505 SF
SECOND FLOOR		1,358 SF
GARAGE		400 SF
TOTAL SQUARE FOOTAGE:	2,863 SF	

SHEET INDEX - ARCHITECTURAL		
A0	COVER SHEET	1-06/09/2025
A1	EXISTING DRAWINGS	1-06/09/2025
A2	FOUNDATION & BASEMENT PLANS	1-06/09/2025
A3	FIRST FLOOR PLAN	1-06/09/2025
A4	SECOND FLOOR PLAN	1-06/09/2025
A5	ROOF PLAN & STAIR DETAILS	1-06/09/2025
A6	ELEVATIONS	1-06/09/2025
A7	STRUCTURAL DETAILS	1-06/09/2025
A8	SPECIFICATIONS	1-06/09/2025
MEP1	FIRST & SECOND FLOOR MEP PLANS	1-06/09/2025

PROJECT SCOPE OF WORK

- OPTION 1: DESIGN BUILD A REVISED 1ST FLOOR, RELOCATING THE POWDER ROOM AND REMOVING ALL OF THE WALLS TO THE 3 BACK ROOMS. PATCH IN HARDWOOD TO MATCH EXISTING. **ADD A KITCHEN REMODEL**
- OPTION 2: DESIGN BUILD A 2ND FLOOR ADDITION OVER THE REAR OF THE HOME AND REWORK FLOOR PLAN TO INCLUDE 4-BEDROOMS, 2-BATHS AND A LAUNDRY ROOM.
- OPTION 3: DESIGN BUILD A NEW 2-CAR GARAGE + **DRIVE ADDITIONAL 3 OR 4 CAR.**
- OPTION 4: DESIGN BUILD A REVISED HEATING SYSTEM FROM THE EXISTING BOILER AND ADD AC.
- OPTION 5: RESIDE AND REROOF THE EXISTING HOME. WITH JAMES HARDIE SIDING AND GAF PREMIUM ROOFING.
- OPTION 6: REPAINT THE ENTIRE HOME.

DESIGN CRITERIA

FLOOR	
SLEEPING ROOMS	40# LL - 10# DL
OTHER ROOMS	40# LL - 10# DL
VEH. GARAGES	50# LL - 10# DL
WALL	
	60# PLF OR ACTUAL LOAD
	20 PSF WIND 0'-20' HEIGHT
	25 PSF WIND 21'-29' HEIGHT
	30 PSF WIND 30' HEIGHT AND ABOVE
CEILING	
UNHAB W/O STOR	10# LL - 10# DL
UNHAB LIM STOR	20# LL - 10# DL
HAB W/ FIX STAIR	30# LL - 10# DL
WIND SPEED	
	115 MPH
	3 SECOND GUST
	& 89 NOMINAL
ROOF	
	30# LL (SNOW) - 10# DL (ALL SLOPES)
CATHEDRAL	
	30# LL - 15# DL (ALL SLOPES)
EXT DECK	
	40# LL - 10# DL
EXT BALCONY	
	40# LL - 10# DL
STAIRS	
	40# LL + 300#
	CONCENTRATED LOAD
GUARD & HANDRAILS	
	200# LL AT ANY DIRECTION
	APPLIED AT THE TOP
FROST DEPTH	
	42" (3'-6")
STRUCTURAL FRAMING LUMBER	
	BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE)
	GRADE #2 SPECIES SPF DOMESTIC OR CANADIAN BASE Fb 875
	SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM
	PRODUCT WITH THE CURRENT SIZE, Fb, AND E VALUES PER MANUFACTURER
MANUFACTURER - TRUS-JOIST	
	PRODUCT - LVL HEADERS & BEAMS MICRO-LAM

APPLICABLE CODES - ARLINGTON HEIGHTS

ALL WORK PERFORMED AND MATERIALS USED SHALL COMPLY WITH THE FOLLOWING:

BUILDING CODE	2018 INTERNATIONAL RESIDENTIAL CODE WITH AMENDMENTS
MECHANICAL CODE	2018 INTERNATIONAL MECHANICAL CODE
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
PLUMBING CODE	2014 ILLINOIS PLUMBING CODE WITH AMENDMENTS
ENERGY CODE	2021 ILLINOIS ENERGY CONSERVATION CODE WITH STATE AMENDMENTS

-ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES, AND REGULATIONS.
 -MANUFACTURERS' SPECIFICATIONS AND TRADE ASSOCIATIONS RECOMMENDATIONS.
 -ACCEPTED ENGINEERING AND CONSTRUCTION PRACTICES.

ABBREVIATIONS

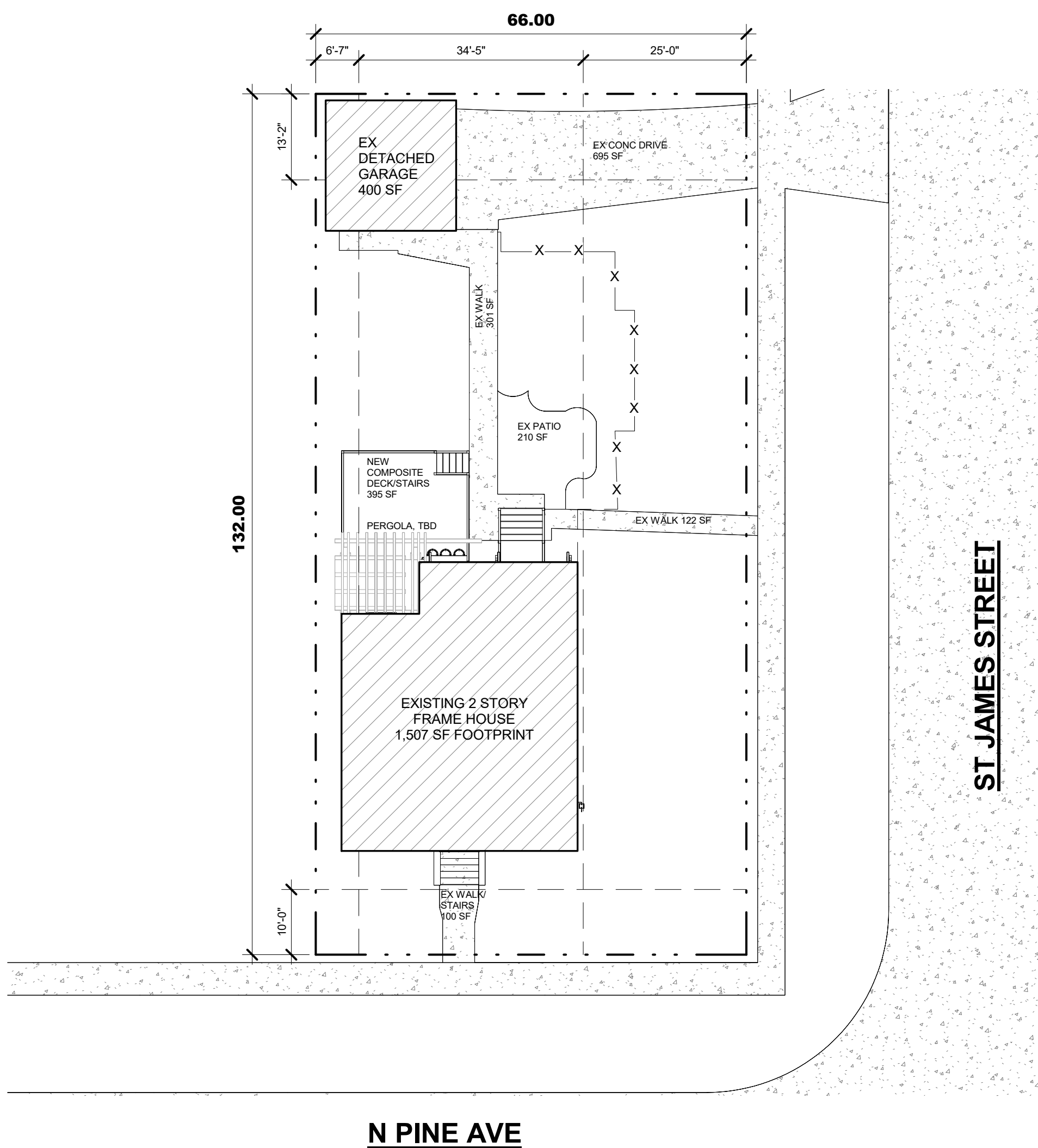
A.B.	ANCHOR BOLT	L.	LINEN
ABV	ABOVE	LAM.	LAMINATE
A.C.	AIR CONDITIONING	LAV.	LAVATORY
ACOUS.	ACOUSTIC	LL	LIVE LOAD
ADJ.	ADJUSTABLE	LP	LOW POINT
A.F.F.	ABOVE FINISH FLOOR	MAX.	MAXIMUM
ALUM.	ALUMINUM	MC	MEDICINE CABINET
ALT.	ALTERNATE	MECH	MECHANICAL
A.P.	ACCESS PANEL	MED	MEDIUM
APPROX.	APPROXIMATE	MIN	MINIMUM
ARCH.	ARCHITECTURAL	MISC	MISCELLANEOUS
@	AT	ML	MICROLAM
BD	BOARD	MO	MASONRY OPENING
BI	BUILT-IN	MRBL	MARBLE
BLDG	BUILDING	MTL	METAL
BOT.	BOTTOM	MW	MICROWAVE
B.	BOTTOM OF	NIC	NOT IN CONTRACT
BRG.	BEARING	NO	NUMBER
BRG. PL.	BEARING PLATE	NOM	NOMINAL
B.U.R.	BUILT UP ROOFING	NTS	NOT TO SCALE
CRPT	CARPET	O	OVEN
CABT	CABINET	OC	OVERALL
C.I.	CAST IRON	ON	ON CENTER
C.J.	CEILING JOISTS	OPP	OPPOSITE
C.J.T.	CONSTRUCTION JOINTS	OPT.	OPTIONAL
CL	CENTERLINE	PERF.	PERFORATED
CL.G.	CEILING	PL	POINT LOAD
CL	CLOSET	P LAM	PLASTIC LAMINATE
C.M.U.	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
C. O	CASED OPENING	PSF	POUNDS PER SQUARE FOOT
COL.	COLUMN	PSI	POUNDS PER SQUARE INCH
CONC.	CONCRETE	PVC	POLYVINYLCHLORIDE
CONST.	CONSTRUCTION	QT	QUARRY TILE
CONT.	CONTINUOUS	R	RADIUS
C.T.	CERAMIC TILE	RD	ROOF DRAIN
C.W.	COLD WATER	R & S	ROD AND SHELF
DEMO.	DEMOLITION	REC	RECESSED
DIA.	DIAMETER	REF	REFRIGERATOR
DIAG.	DIAGONAL	REG	REGULAR
DIM.	DIMENSION	REINFC	REINFORCE
DISP.	DISPOSAL	RM	ROOM
DIV.	DIVISION	RO	ROUGH OPENING
DL	DEAD LOAD	RR	ROOF RAFTERS
DN.	DOWN	SECT	SECTION
DWGS.	DRAWINGS	SHLV	SHELVES
D.S.	DOWNSPOUT	SHT	SHEET
D.W.	DISHWASHER	SHWR	SHOWER
EA.	EACH	SHTG	SHEATHING
EX.	EXISTING	SIM	SIMILAR
EIFS	EXTERIOR INSULATION FINISH SYSTEM	SL	SLIDING
EQ	EQUAL	SPEC	SPECIFICATION
EXP.	EXPANSION	SQ	SQUARE
ELEC.	ELECTRICAL	SF	SQUARE FOOT
ELEV.	ELEVATION	SS	SANITARY SUMP
EQUIP.	EQUIPMENT	STD	STANDARD
EQUIV.	EQUIVALENT	STL	STEEL
E.W	EACH WAY	STOR	STORAGE
F	FURNACE	STRUCT	STRUCTURE
FD	FLOOR DRAIN	SUSP	SUSPENDED
FE	FIRE EXTINGUISHER	T & B	TOP AND BOTTOM
FF	FINISH FLOOR	TOP OF	TOP OF
FIN.	FINISH	TEL	TELEPHONE
FIXT	FIXTURE	T & G	TONGUE AND GROOVE
FLR	FLOOR	THK	THICK
FLASHG	FLASHING	TJI	TRUST JOIST
FDN	FOUNDATION	TOP	TOP OF PLATE
FO	FACE OF	TV	TELEVISION
FS	FOOTING SUMP	TV	TYPICAL
FTG	FOOTING	UC	UNDER COUNTER
FURN	FURNACE	UN	UNLESS OTHERWISE NOTED
G/A	GALVE	VCT	VINYL COMPOSITION TILE
GALV	GALVANIZED	VERT	VERTICAL
GFI	GROUND FAULT INTERRUPT	VIF	VERIFY IN FIELD
GLU-LAM	GLUE LAMINATED BEAM	W/	WITH
GYP.	GYPSUM	WC	WATER CLOSET
HD	HEAD	WIC	WALK IN CLOSET
HDR	HEADER	WD	WOOD
HT	HEIGHT	WDO	WINDOW
HM	HOLLOW METAL	WH	WATER HEATER
HORZ	HORIZONTAL	W/O	WITHOUT
HP	HIGH POINT	WP	WATERPROOF
HTG	HEATING	WT	WEIGHT
HVAC	HEATING VENTILATE AIR CONDITIONING	WWF	WELDED WIRE FABRIC
INT.	INTERIOR		

SITE PLAN NOTES

- INFORMATION ON THIS DRAWING IS ACCUMULATED FROM EXISTING DOCUMENTATION AND MUST BE CONFIRMED BY THE CONTRACTOR AND COORDINATED WITH THE ARCHITECT PRIOR TO CONSTRUCTION. ARCHITECTURAL SITE PLAN IN FOR SCHEMATIC PURPOSES ONLY. SEE SITE ENGINEERING PLAN AND LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- VERIFY LOCATIONS OF ALL UTILITIES AND OTHER BUILDING SERVICES PRIOR TO EXCAVATION.
- PROVIDE REQUIRED WORK TO ACCOMMODATE EXISTING UTILITIES OR OTHER BUILDING SERVICES.
- PROTECT EXISTING LANDSCAPING DURING CONSTRUCTION, TO GREATEST EXTENT POSSIBLE.
- PROVIDE TEMPORARY CONSTRUCTION/SECURITY FENCING AROUND ALL OPEN EXCAVATIONS. HEIGHT AS REQ'D BY LOCAL CODES.
- VERIFY LOCATIONS OF ALL MATERIAL STOCKPILES AND DUMPSTERS WITH OWNER.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCIES IN FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.
- PLEASE NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- STATE LAW: BEFORE DIGGING, CALL JULIE (811 OR 1-800-892-0123) FOR LOCATION OF PUBLIC AND PRIVATE UTILITIES AT WORK SITE. 48 HOUR NOTICE IS REQUIRED.
- THE HOUSE SHALL PASS A BLOWER DOOR TEST AND A COPY OF THE RESULTS SHALL BE PROVIDED TO THE BUILDING DEPARTMENT PRIOR TO SCHEDULING THE FINAL INSPECTIONS.
- CONSTRUCTION DEBRIS AND REFUSE CONTAINMENT SHALL BE REQUIRED FOR ALL JOB SITES. CONTAINMENT SHALL OCCUR ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT & SHALL BE WITHIN A DUMPSTER, STRUCTURE, OR CONTAINER THAT CAN BE COVERED TO PREVENT WINDBLOWN DEBRIS. ALL SUCH DUMPSTERS, STRUCTURES, OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.
- ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH NEW SOD ON 6" OF TOPSOIL. ALL SOD SHALL BE WATERED AS REQ'D TO SUSTAIN GROWTH.
- ALL PARKWAY TREES SHALL HAVE A SNOW FENCE THAT EXTENDS TO THE DRIP LINE. NO TRAFFIC SHALL GO OVER THE ROOT SYSTEM. SURFACE DRAINAGE TO BE DIVERTED FROM STRUCTURE SO AS NOT TO CREATE A HAZARD ON THIS OR ADJACENT PROPERTY. GRADE FROM FOUNDATION TO DROP A MINIMUM OF 6" IN 10'-0". PROVIDE SWALES OR DRAINS TO ENSURE DRAINAGE FROM STRUCTURE AND ADJACENT PROPERTY.
- TOILET FACILITIES SHALL BE PROVIDED AT ALL JOB SITES PER ILLINOIS PLUMBING CODE. THIS WILL BE A CONDITION OF THE PERMIT.
- PROVIDE AND MAINTAIN A 5'-0" HIGH FENCE ALONG THE FULL LENGTH OF INTERIOR SIDE YARDS UNTIL EXTERIOR CONSTRUCTION IS COMPLETE.
- PROVIDE AND MAINTAIN A 5'-0" HIGH CONSTRUCTION FENCE DURING NON-WORKING HOURS THAT WILL ENCLOSE ALL OPEN EXCAVATIONS UNTIL FOUNDATION IS BACK-FILLED & FIRST FLOOR DECK IS COMPLETED.
- ERECT PROTECTIVE SNOWFENCE PRIOR TO ANY CONSTRUCTION ACTIVITY. DO NOT STORE ANY EQUIPMENT OR MATERIALS WITHIN THE PROTECTION AREA. REMOVE THE PROTECTIVE SNOW FENCE ONLY AFTER CONSTRUCTION IS COMPLETE.
- ALL TREES ARE TO BE PROTECTED DURING CONSTRUCTION WITH FENCING FOR EVERY 1" OF TREE DIAMETER. MAINTAIN 1'-0" DISTANCE AROUND FOR FENCING.
- MAINTAIN EXISTING DRAINAGE PATTERNS. ANY DRAINAGE ISSUES THAT MAY ARISE FROM THE CONSTRUCTION ASSOCIATED WITH THIS PERMIT WILL BE ADDRESSED BY THE PERMITTEE. RESTORE PARKWAY AND PAVEMENT TO PRE-CONSTRUCTION CONDITIONS.

ENERGY CODE COMPLIANCE NOTES

- ENERGY CODE COMPLIANCE DESIGN BY PRESCRIPTIVE MEANS. CLIMATE ZONE: 5
 MAX. GLAZING U-FACTOR: 0.30
 ACTUAL U-FACTOR:
 MIN. SKYLIGHT U-FACTOR: 0.55
 ACTUAL SKYLIGHT U-FACTOR:
 SHGC: N/R
 MIN. CEILING R-VALUE: 49
 ACTUAL CEILING R-VALUE: 49
 MIN. FRAME WALL R-VALUE: 30 OR 20 + 5 OR 13+10
 ACTUAL WALL R-VALUE: 30 (CLOSED CELL FOAM INSULATION)
 MIN. FLOOR R-VALUE: 30
 ACTUAL FLOOR R-VALUE:
 MIN. BASEMENT R-VALUE: 15 OR 19
 ACTUAL BASEMENT R-VALUE:
 GC TO PROVIDE PERMANENT CERTIFICATE TO BE POSTED ADJACENT TO ELECTRICAL PANEL INDICATING INSULATION VALUES FOR BUILDING INSULATION, FENESTRATION AND DUCT SYSTEMS. SPRAY FOAM BOX SILLS AND SILL PLATES, AND ADD R-15 HIGH DENSITY FRICTION FIT BATT INSULATION.
- ALL PENETRATIONS THROUGH THERMAL ENVELOPE SHALL BE ADEQUATELY SEALED BY CALK, GASKET, WEATHERSTRIPPING OR OTHER BARRIER MEANS PER 2021 IECC REQUIREMENTS. ALL WINDOWS AND EXTERIOR DOOR JAMBS ARE TO BE SEALED WITH LOW-EXPANSION FOAM. ALL BOTTOM PLATES ON EXTERIOR WALLS SHALL BE GLUED TO SUB-FLOOR.
- ALL FIREPLACES SHALL HAVE GASKETED DOORS & OUTSIDE COMBUSTION AIR.
- ALL RECESSED LIGHTING IN THERMAL ENVELOPE SHALL BE SEALED TO PREVENT AIR LEAKAGE. ALL RECESSED DOWNLIGHTING TO BE IC-RATED.
- PROVIDE PROGRAMMABLE THERMOSTATS FOR EACH ZONE WITH SETBACK AND MANUAL OVERRIDE.
- ALL DUCTWORK SHALL BE ADEQUATELY SEALED. ALL SUPPLY DUCTWORK IN UNCONDITIONED ATTIC TO HAVE R-8 INSULATION. ALL OTHER DUCTWORK TO HAVE R-6 INSULATION. HVAC CONTRACTOR SHALL PROVIDE EITHER POST-CONSTRUCTION OR ROUGH-IN TEST OF TOTAL AIR LEAKAGE FOR DUCT SYSTEMS.
- ALL MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 100 DEG F OR BELOW 55 DEG F SHALL BE INSULATED TO A MINIMUM OF R-3. ALL HOT WATER LINES TO HAVE R-3 PIPE INSULATION & MANUAL SWITCH FOR RECIRC. PUMP.
- ALL ACCESS HATCHES/DOORS TO UNCONDITIONED SPACE SHALL BE INSULATED & WEATHERSTRIPPED.
- 100% OF ALL LIGHTING TO HAVE HIGH-EFFICACY BULBS.
- FURNACE: +90% AFUE
 WATER HEATER: +95% AFUE
 A/C: 13+ SEER
 SHGC: 0.27 OR BTR
- WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE NO MORE THAN 0.3 CFM PER SF, AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SF.



1 SITE PLAN - PROPOSED

A0 1/16" = 1'-0"

IMPERVIOUS SF

WALKS/DRIVEWAY	1,096 SF
PATIO/DECK/STAIRS	605 SF
HOUSE	1,507 SF
GARAGE	400 SF
PORCHES	0 SF
SHED	0 SF
TOTAL	3,608 SF

SITE SETBACKS (R-3)

	REQUIRED	PROPOSED
FRONTYARD	25'-0"	EX TO REMAIN
INTERIOR SIDEYARD 10% LOT WIDTH	6'-0"	EX TO REMAIN
INTERIOR SIDEYARD 10% LOT WIDTH	6'-0"	EX TO REMAIN
REARYARD	30'-0"	EX TO REMAIN
HEIGHT - MEAN	MAX 25'-0"	EX TO REMAIN

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN		SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM		WINTER DESIGN TEMP	ICE BARRIER LAYMENT REQ.	FLOOD HAZARDS CHAPTER VILLAGE CODE	AIR FREEZING INDEX	MEAN ANNUAL TEMP	
	SPEED (MPH)	TOPO EFFECTS				WYTHRINGS	FROST LINE DEPTH						TERMITE
25	115	NO	NO	NO	b	SEVERE	42"	MOD TO HEAVY	-4	YES	NOV 6 2000	2000	47.6

SITE PLAN LEGEND

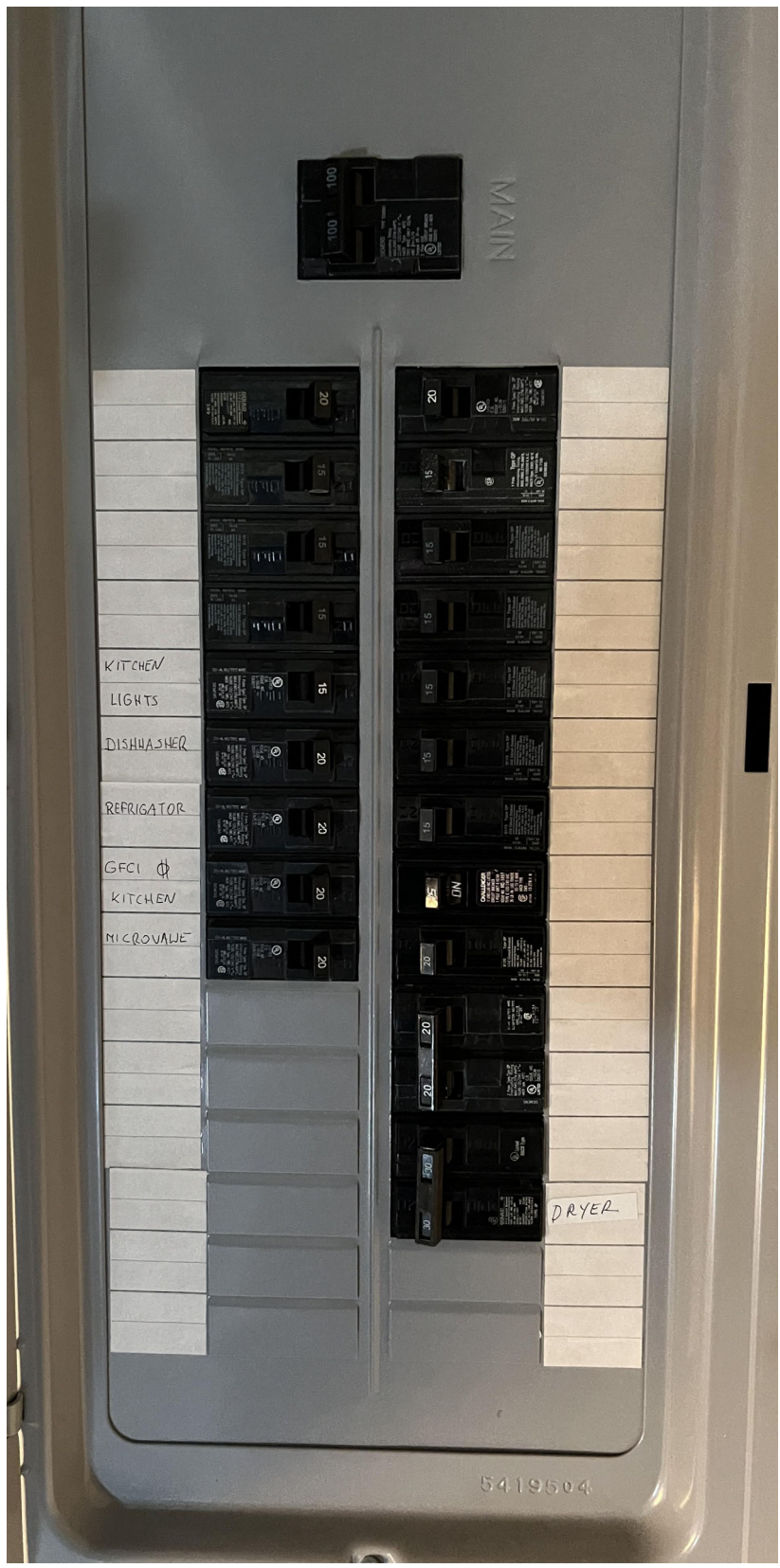
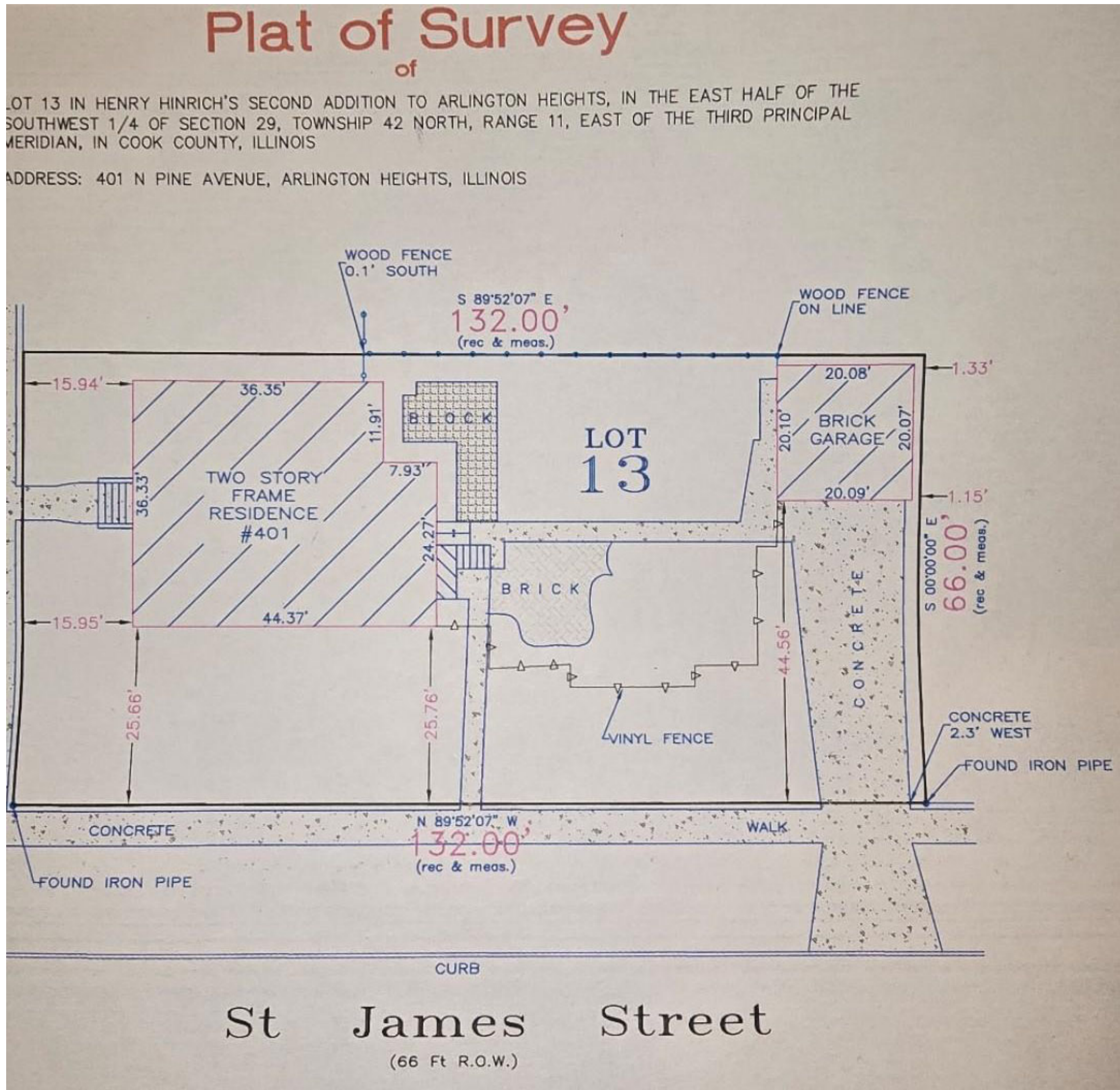
- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- E — ELECTRIC SERVICE
- G — GAS SERVICE
- (— STORM SEWER
- (— SANITARY SEWER
- W — WATER SERVICE
- X — FENCE

THESE DRAWINGS ARE NOT APPROVED OR STAMPED FOR CONSTRUCTION AND ARE FOR CONCEPT/DESIGN/BIDDING PURPOSES ONLY. DIMENSIONS, HEIGHTS, FINISHES, AND UTILITY LOCATIONS TO BE VERIFIED.

SHEET TITLE
 COVER SHEET

SHEET NUMBER

A0



EX ELEC PANEL



1 WEST ELEVATION - EXISTING FRONT
A1 1/8" = 1'-0"



2 EAST ELEVATION - EXISTING REAR
A1 1/8" = 1'-0"



3 SOUTH ELEVATION - EXISTING SIDE
A1 1/8" = 1'-0"



4 NORTH ELEVATION - EXISTING SIDE
A1 1/8" = 1'-0"



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ADDITION TO THE COLLETTI RESIDENCE

401 N PINE AVENUE
 ARLINGTON HEIGHTS, IL 60004

DATE
 1-06/09/2025

ISSUE DATE
 1-06/09/2025 1 - BID

PLAT OF SURVEY
NTS

NOT FOR CONSTRUCTION

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SHEET TITLE
 EXISTING DRAWINGS

SHEET NUMBER

A1

ADDITION TO THE COLLETTI RESIDENCE

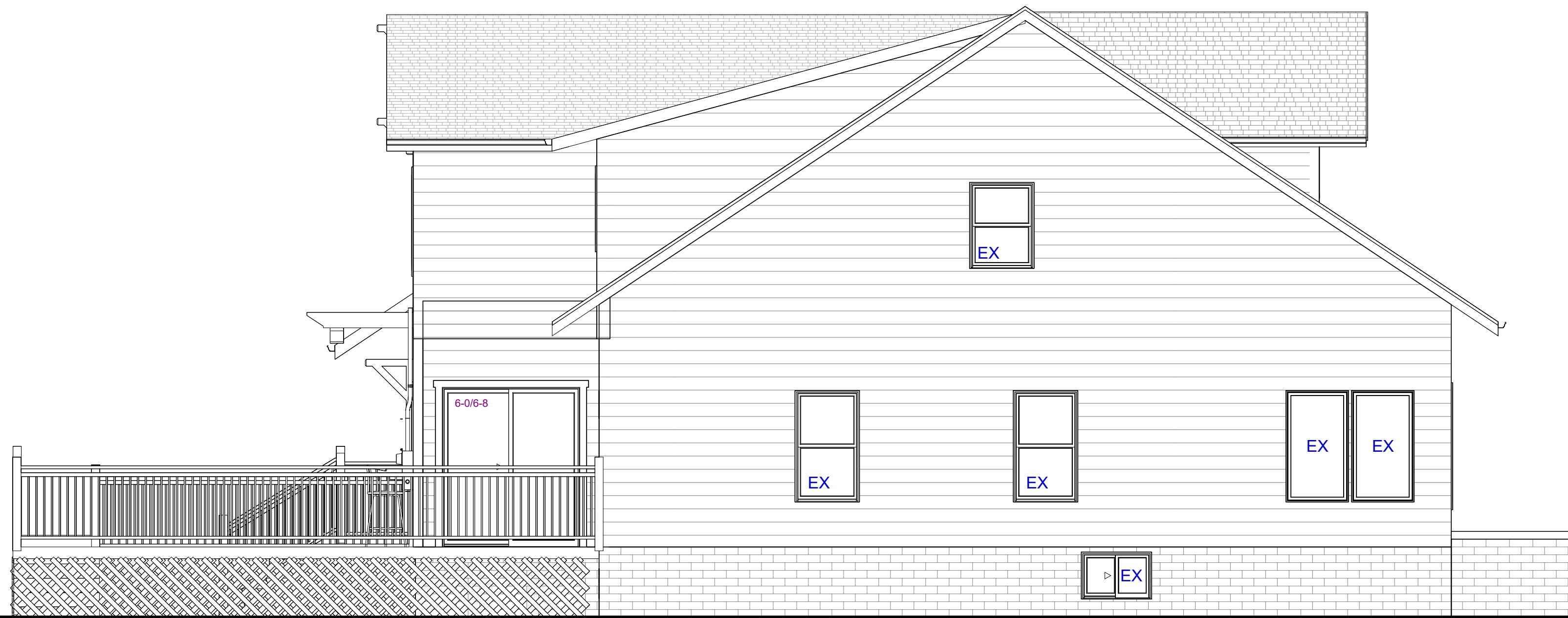
401 N PINE AVENUE
 ARLINGTON HEIGHTS, IL 60004

DATE

1- 06/09/2025

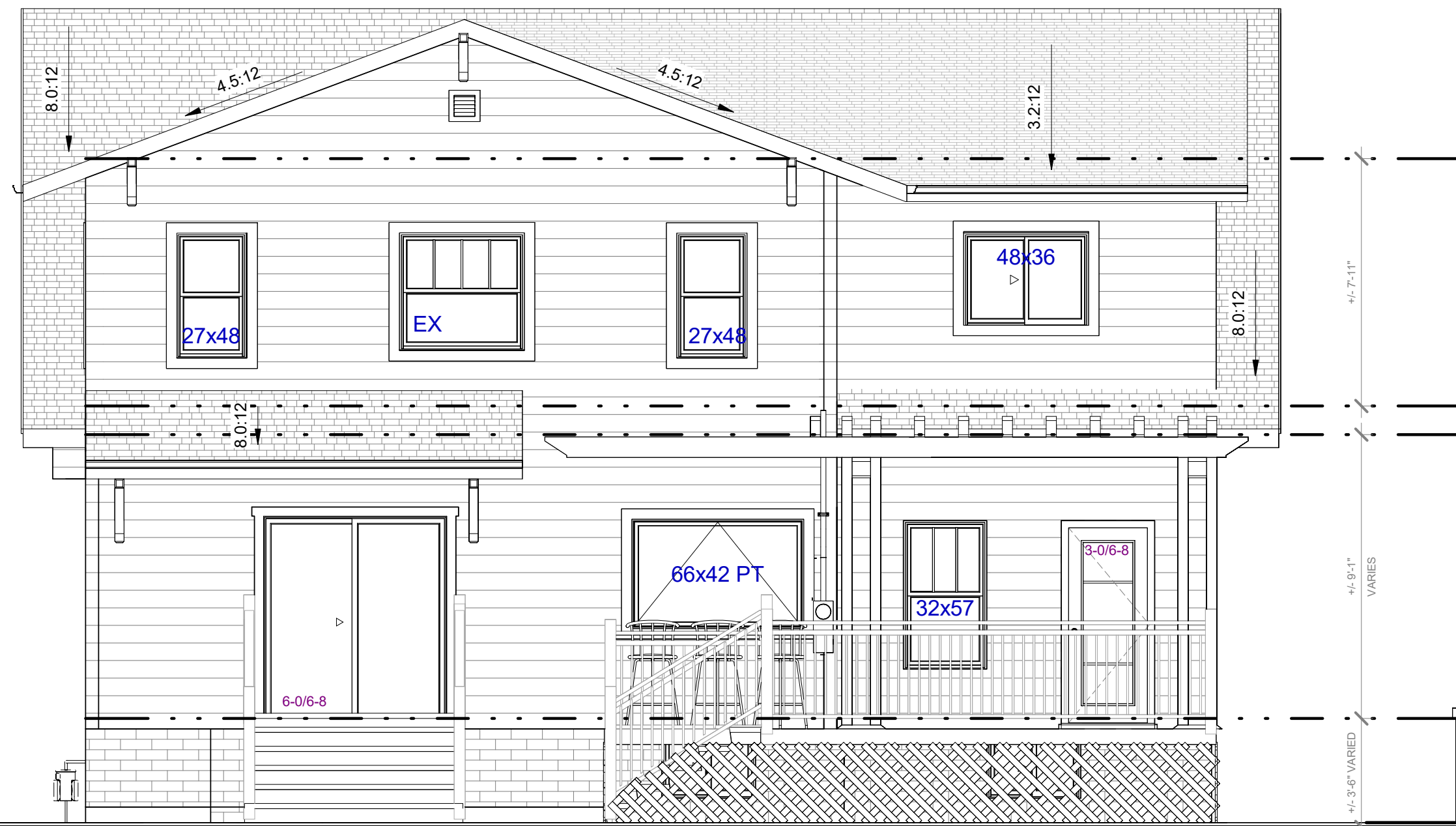
ISSUE DATE

1- 06/09/2025 1 - BID



1 WEST ELEVATION - PROPOSED FRONT
 A6 1/4" = 1'-0"

2 NORTH ELEVATION - PROPOSED SIDE
 A6 1/4" = 1'-0"



3 EAST ELEVATION - PROPOSED REAR
 A6 1/4" = 1'-0"

4 SOUTH ELEVATION - PROPOSED SIDE
 A6 1/4" = 1'-0"

ELEVATION MATERIALS

LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.	LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.
SIDING (1)	[Horizontal Lines]	HORIZ LAP SIDING	MATCH EX	TRIM AND FASCIA	[None]	TRIM	MATCH EX
SIDING (2)	[Brick Pattern]	BRICK	EX TO REMAIN	SOFFIT AND FASCIA	[None]	ALUMINUM - VENTED	MATCH EX
ROOFING (1)	[Shingle Pattern]	ASPHALT SHINGLES	MATCH EX	COLUMNS	[None]	WHITE	MATCH EX
DOORS	[None]	STYLE TBD	MATCH EX	GUTTERS, DOWNSPOUTS	[None]	ALUMINUM	MATCH EX
				WINDOWS	[None]	VINYL (INTERIOR - EXTERIOR -)	MATCH EX

WINDOW NOTES:

- WINDOW SIZES - ROUGH OPENING TO BE VERIFIED IN FIELD W/ CHOSEN WINDOW MANUF. & CONTRACTOR PRIOR TO CONSTRUCTION
- GLASS SIZES TO BE FOLLOWED AS CLOSE AS POSSIBLE PER DIFFERENT MANUF.
- BEDROOM WINDOWS TO HAVE EGRESS HARDWARE & FOLLOW EGRESS REQUIREMENTS AS LABELED ON ELEVATIONS.
- WINDOWS IN WHICH THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" ABOVE THE TOP OF THE FLOOR ARE REQUIRED TO BE TEMPERED.
- FIELD VERIFY EMERGENCY ESCAPE & RESCUE OPENINGS IN SLEEPING ROOMS EGRESS WINDOW REQUIREMENTS PROVIDE A NET CLEAR OPENING OF 5.7 SF OR GREATER, ACHIEVED BY SIMPLY OPENING THE WINDOW PROVIDE A NET CLEAR OPENING OF 5.0 SF OR GREATER FOR GRADE LEVEL WINDOWS. A MINIMUM CLEAR WIDTH OF 20" A MINIMUM CLEAR HEIGHT OF 24" A SILL HEIGHT OF LESS THAN 44" AFF
- ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.30
- ALL BATHROOM GLASS AND GLASS IN AREAS OF HAZARD SHALL BE SAFETY GLAZING. PERMANENTLY ETCHED, AND THE ETCHING SHALL BE VISIBLE AFTER INSTALLATION TO VERIFY COMPLIANCE. SECTION: IRC R308.4
- E = EGRESS F = FROSTED PRIVACY GLASS T= TEMPERED SAFETY GLASS EX = EXISTING WINDOW TO REMAIN

NOT FOR CONSTRUCTION

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SHEET TITLE
 ELEVATIONS

SHEET NUMBER

A6



VILLAGE OF
ARLINGTON HEIGHTS
INC. 1887

Zoning Board of Appeals
8/11/2025

Item: 604 W. Techy Rd. - ZBA25-026
Department: Planning & Community Development

Item Description:

REQUEST

- A variation from Chapter 28, Section 6.5-2 (Accessory Structures) to allow a pergola in the side yard where accessory structures are only permitted in the rear yard.

ATTACHMENTS:

1. Exhibits_604 W Techny Rd

ARLINGTON HEIGHTS ZONING BOARD OF APPEALS

Staff Analysis

Prepared By: Darko Bojin, Assistant Planner
Hearing Date: August 11, 2025
Date Prepared: August 6, 2025
Project Title: Padmanabha Residence
Address: 604 W. Techny Rd.

Background Information

Petition Number: ZBA #25-026
Petitioner: Prakash Padmanabha
Address: 604 W. Techny Rd.
Arlington Heights IL 60004

Existing Zoning: R-3 – Residential Single-Family District

Requested Action/Background Information

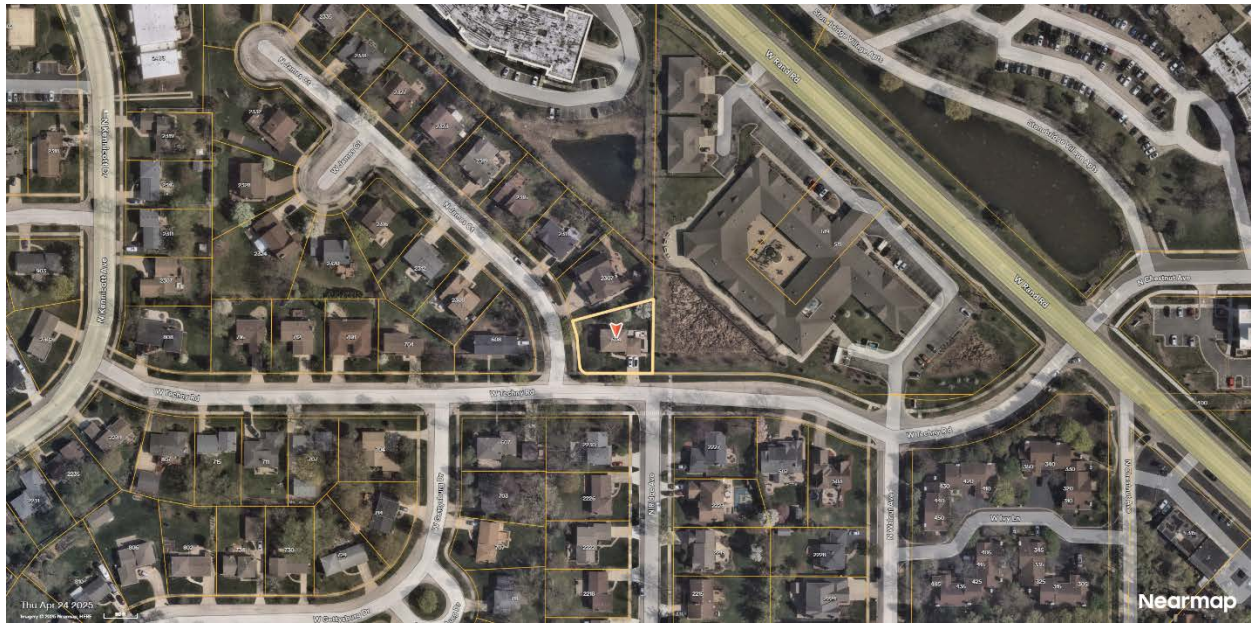
The property is zoned R-3 and has a total land area of approximately 10,730 square feet. The petitioner is proposing to install a pergola in the side yard. Code prohibits accessory structures to be built in the side yard. Therefore, the petitioner is requesting the following variation:

- A variation from Chapter 28, Section 6.5-2 (Accessory Structures) to allow a pergola in the side yard where accessory structures are only permitted in the rear yard.

Variation Review Standards

In its consideration of the standards of practical difficulties or particular hardships, the Zoning Board of Appeals shall require evidence that (1) the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property; and (2) the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned; and (3) the proposed variation is in harmony with the spirit and intent of this Chapter; and (4) the variance requested is the minimum variance necessary to allow reasonable use of the property. A variation shall be permitted only if the evidence, in the judgment of the Board of Appeals, sustains each of the four conditions enumerated.

Map of General Vicinity



Items required to be Submitted 15 Days Prior to Public Hearing

<u>Item</u>	<u>Provided</u>	<u>Dated</u>	<u>Remarks</u>
1. Notification Affidavit	✓	7/25/25	
2. List of Property Owners Within 250 feet of Subject Property	✓	7/25/25	
3. Letter that was Mailed	✓	7/25/25	
4. Photographs of Sign on Property	✓	7/25/25	

Photographs of Existing Structure



Village of Arlington Heights



To: Prakash Padmanabha
From: Darko Bojin
Department: Department of Planning and Community Development
File Number: ZBA 25-026
Project: 604 W. Techny Road
Date: August 6, 2025

ZONING COMMENTS:

For your use and consideration, review the zoning review comments below regarding the following variances:

- A variation from Chapter 28, Section 6.5-2 (Accessory Structures) to allow a pergola in the side yard where accessory structures are only permitted in the rear yard.

If you have any questions, please contact dbojin@vah.com:

Planning and Community Development

1. No Comments.

Building and Life Safety

1. Approved with note: 1. The means and methods of anchoring to the ground should be clearly specified in the manufacturer's specifications. If such details are not provided, a concrete footing will be required.

Engineering

1. The Engineering Division has no objection to the requested variation from Chapter 28, Section 6.5-2 (Accessory Structures) to allow a pergola in the side yard where accessory structures are only permitted in the rear yard.

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held on Monday, August 11, 2025, 7:00 P.M. in the Buechner Room, 1st Floor of the Arlington Heights Village Hall, 33 S. Arlington Heights Road, Arlington Heights, Illinois, at which time the Zoning Board of Appeals will consider a request for:

- A variation from Chapter 28, Section 6.5-2 (Accessory Structures) to allow a pergola in the side yard where accessory structures are only permitted in the rear yard.

Any person who also desires to formally register as an objector, with the right to cross-examine others at the hearing, must complete and file an appearance form with the Village Director of Planning and Community Development, no later than 4:30 pm five days before the date of the hearing. Forms are available by contacting the Department of Planning and Community Development at 847-368-5200 or planning-mail@vgh.com.

At the public hearing, the Zoning Board of Appeals will accept and consider all testimony and evidence pertaining to the application, and will consider any zoning actions or relief that may be necessary or convenient to allow development of the type described in this notice, or development that is less dense than the type described in this notice, including, without limitation, variations or other special approvals on the property legally described as:

LOT 1 IN TECHNY COURT SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHEAST ¼ OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS ACCORDING TO PLAT THEREOF RECORDED SEPTEMBER 20, 1978 AS DOCUMENT 24635184, IN COOK COUNTY, ILLINOIS. Commonly known as: 604 W. Techny Rd. Arlington Heights IL 60004

Persons with disabilities requiring auxiliary aids or services, such as an American Sign Language interpreter or written materials in accessible formats, should contact Health & Human Services at 33 S. Arlington Heights Road, Arlington Heights, Illinois 60005, (847) 368-5760 (Voice), (847) 368-5980 (Fax) or healthmail@vgh.com.

Benjamin Jaffe, Chair
Zoning Board of Appeals
Published in Daily Herald July 26, 2025 (299141)

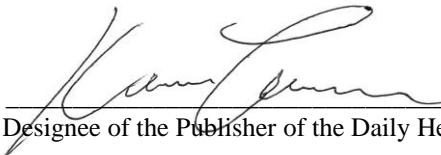
CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

**Northwest Suburbs
Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/5.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 07/26/2025 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY 
Designee of the Publisher of the Daily Herald

Control # 299141



PETITION

The following petition form shall be used when submitting a petition for a variation from Chapter 28 of the Arlington Heights Municipal Code. This must be submitted with a fully executed application to the Zoning Board of Appeals. Please refer to Section 12 of Chapter 28 of the Arlington Heights Municipal Code for information regarding the criteria by which the Zoning Board of Appeals will evaluate variation requests. (Attached to this application packet.)

PETITION

NOW COMES the Petitioner Prakash Padmanabha
being the owner of the property commonly known as: 604, W TECHNICAL RD
and appeals to the Zoning Board of Appeals of the Village of Arlington Heights for a
Variation from Section _____
Chapter 28, of the Arlington Heights Municipal Code, in order to: Install a
louvered Pergola on an existing Patio

I hereby state that the proposed use will not alter the essential character of the locality and will be compatible with existing uses and zoning of nearby property if the variation(s) were granted (please explain): Installation of a louvered pergola on an existing patio in the sideyard that altering the essential character of the locality

I hereby state that the plight of the owner is due to unique circumstances, which may include the length of time the subject property has been vacant as zoned (please explain): Installation of the pergola is to provide shade and protection from the rain.

I hereby state that the proposed variation is in harmony with the spirit and intent of this Chapter (please explain): The structure is designed to comply with zoning setbacks, does not obstruct visibility or access, and supports the overall goal of promoting attractive and compatible residential development.

I hereby state that the variance requested is the minimum variance necessary to allow reasonable use of the property (please explain): Goal is to provide shade and protection from the sun and rain. Due to the nature of the structure of the building, patio is on the sideyard.

Signed:  Date: 07/10/2025
Petitioner

North



BASES OF RECTANGLES IS ASSUMED

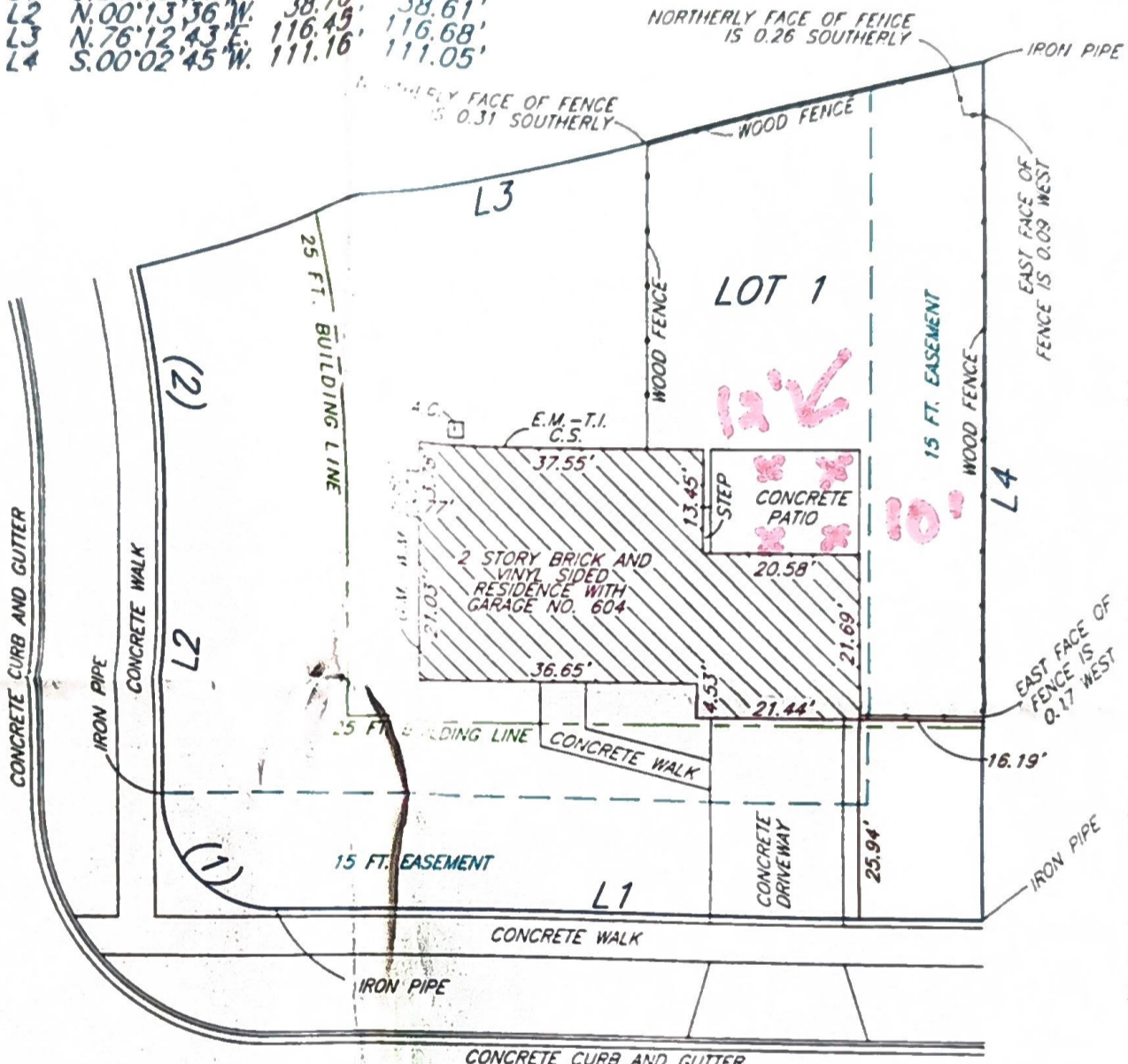
PLAT OF SURVEY

by
Michael J. Emmert Surveys, Inc.

Property located at
Legally described as
LOT 1 IN TECHNY COURT SUBDIVISION BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 18,
TOWNSHIP 41 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, ACCORDING TO
THE PLAT THEREOF RECORDED SEPTEMBER 20, 1978 AS DOCUMENT 24639184, IN COOK COUNTY, ILLINOIS.

Line	Bearing	Distance	Measure
L1	S.89°46'24"W.	94.17'	94.29'
L2	N.00°13'36"W.	38.70'	38.61'
L3	N.76°12'43"E.	116.45'	116.68'
L4	S.00°02'45"W.	111.16'	111.05'

JAMES COURT



- A.C. - AIR CONDITIONER
- W.M. - WATER METER
- G.M. - GAS METER
- T.I. - TELEPHONE INTERFACE
- C.S. - CABLE SERVICE
- E.M. - ELECTRIC METER

Survey ordered by: Skoubis Allkakos, LLC

State of Illinois
County of Du Page

Michael J. Emmert Surveys, Inc. does hereby certify that we have surveyed the above described property and prepared the plat hereon drawn. The legal description shown hereon is provided by others. Refer to deed or title policy for building setbacks, easements or other restrictions which may exist. Dimensions not noted hereon shall not be assumed by scaling or otherwise. Compare all points before building and report any discrepancies. This professional service conforms to the current Illinois Minimum Standards for a Boundary Survey.
Date of field survey: October 11, 2023

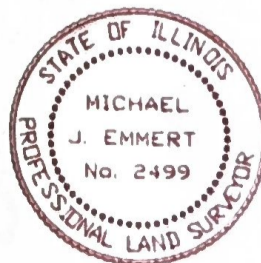
Dated this 11th day of October, 2023

By: President
Professional Illinois Land Surveyor No. 2499
License expires on November 30, 2024
Professional Design Firm Land Surveyor Corporation No. 184.004811

W. TECHNY ROAD

NO.	RADIUS	ARC	CHORD	CHORD BEARING
(1)	15.00'	23.56'	21.21'	N.45°13'36"W.
(2)	128.00'	30.37'	30.30'	N.07°03'39"W.

	1/8	1/4	3/8	1/2	5/8	3/4	7/8	
0 AND	01	02	03	04	05	06	07	08 = 1 INCH
1 AND	09	10	11	12	14	15	16	17 = 2 INCHES
2 AND	18	19	20	21	22	23	24	25 = 3 INCHES
3 AND	26	27	28	29	30	31	32	33 = 4 INCHES
4 AND	34	35	36	37	39	40	41	42 = 5 INCHES
5 AND	43	44	45	46	47	48	49	50 = 6 INCHES
6 AND	51	52	53	54	55	56	57	58 = 7 INCHES
7 AND	59	60	61	62	64	65	66	67 = 8 INCHES
8 AND	68	69	70	71	72	73	74	75 = 9 INCHES
9 AND	76	77	78	79	80	81	82	83 = 10 INCHES
10 AND	84	85	86	87	89	90	91	92 = 11 INCHES
11 AND	93	94	95	96	97	98	99	10 = 1 FOOT



mike@mjesurveys.com
Michael J. Emmert Surveys, Inc
185 East Vallette Street
Elmhurst, Illinois 60126
Office 630-516-0383

Construction Plan for 10x12 Louvered Pergola Installation on Existing Paver Patio

Project Overview

- Pergola Type: Free-standing louvered pergola (pre-manufactured kit from Amazon)
- Dimensions: 10 feet (width) x 12 feet (length)
- Height: ~8-9 feet (as per manufacturer specifications)
- Foundation: Existing paver patio
- Attachment Type: Surface-mount post bases anchored to pavers (with optional concrete footings underneath for stability)

Materials Required

Item	Quantity
Louvered Pergola Kit (from Amazon)	1 (10x12 size)
Simpson Strong-Tie or similar post bases	4 (if not included)
Concrete (optional, for footing anchors under pavers)	4 footing areas
Anchoring bolts / concrete anchors	As needed
Tools (drill, level, wrench, hammer drill)	-

Steps to Install Pergola

Step 1: Planning & Layout

1. Measure and mark 10 ft by 12 ft area on pavers.
2. Use stakes and string or chalk to outline the pergola.
3. Ensure the outline is square using the 3-4-5 rule or a carpenter's square.

Step 2: Prepare Anchor Points

1. Mark post locations at each of the 4 corners.
2. Option 1 (Recommended): Remove pavers at post locations and dig 12-18" deep holes.
 - Fill holes with concrete to create a stable base.
 - Install post base anchors into wet concrete or use wedge anchors afterward.
3. Option 2: Directly attach post bases (supplied with the pergola or purchased separately) to pavers using masonry anchors, per manufacturer recommendations.

Step 3: Assemble Pergola Kit

1. Follow the manufacturer's step-by-step assembly guide included with the pergola kit.

2. Typically, this involves assembling the frame first, securing posts to post bases, and then assembling and attaching the louvered roof.
3. Use a spirit level to ensure all components are plumb and square.
4. Tighten all fasteners securely.

Step 4: Secure Pergola to Patio

1. Using the provided or recommended anchors, secure the base plates of the pergola to the patio surface or concrete footings.
2. Verify that the pergola is stable before proceeding.

Step 5: Finishing

1. Check louver operation to ensure smooth opening and closing.
2. Apply any touch-up paint or protective coating if recommended by the manufacturer.
3. Install any additional features provided in the kit, such as drainage systems or side screens.

Optional Add-ons (if not included)

- Retractable canopy or side screens
- LED string lights
- Planter boxes at corners
- Integrated gutter for rain (if available)

Estimated Time & Cost

- Time: 1-2 weekends (DIY with 2 people)
- DIY Cost Range: \$1,200 - \$2,000 (depending on pergola model and shipping)

Safety Tips

- Wear gloves and eye protection.
- Have a friend help with lifting heavy components.
- Follow all manufacturer safety instructions.
- If unsure about anchoring, consult a local contractor for stability and safety.